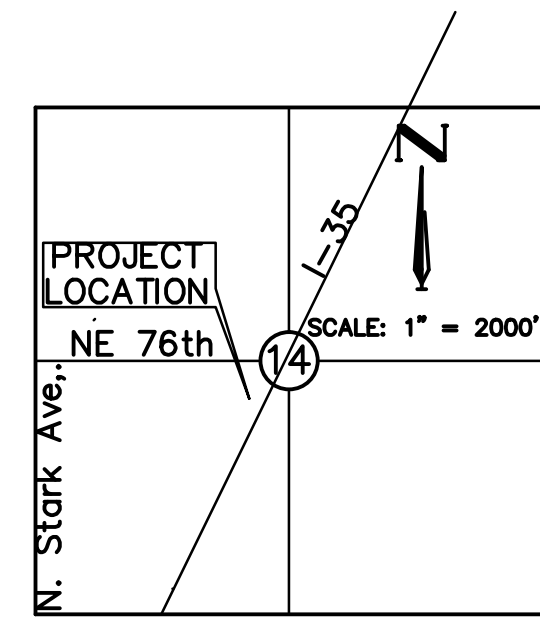


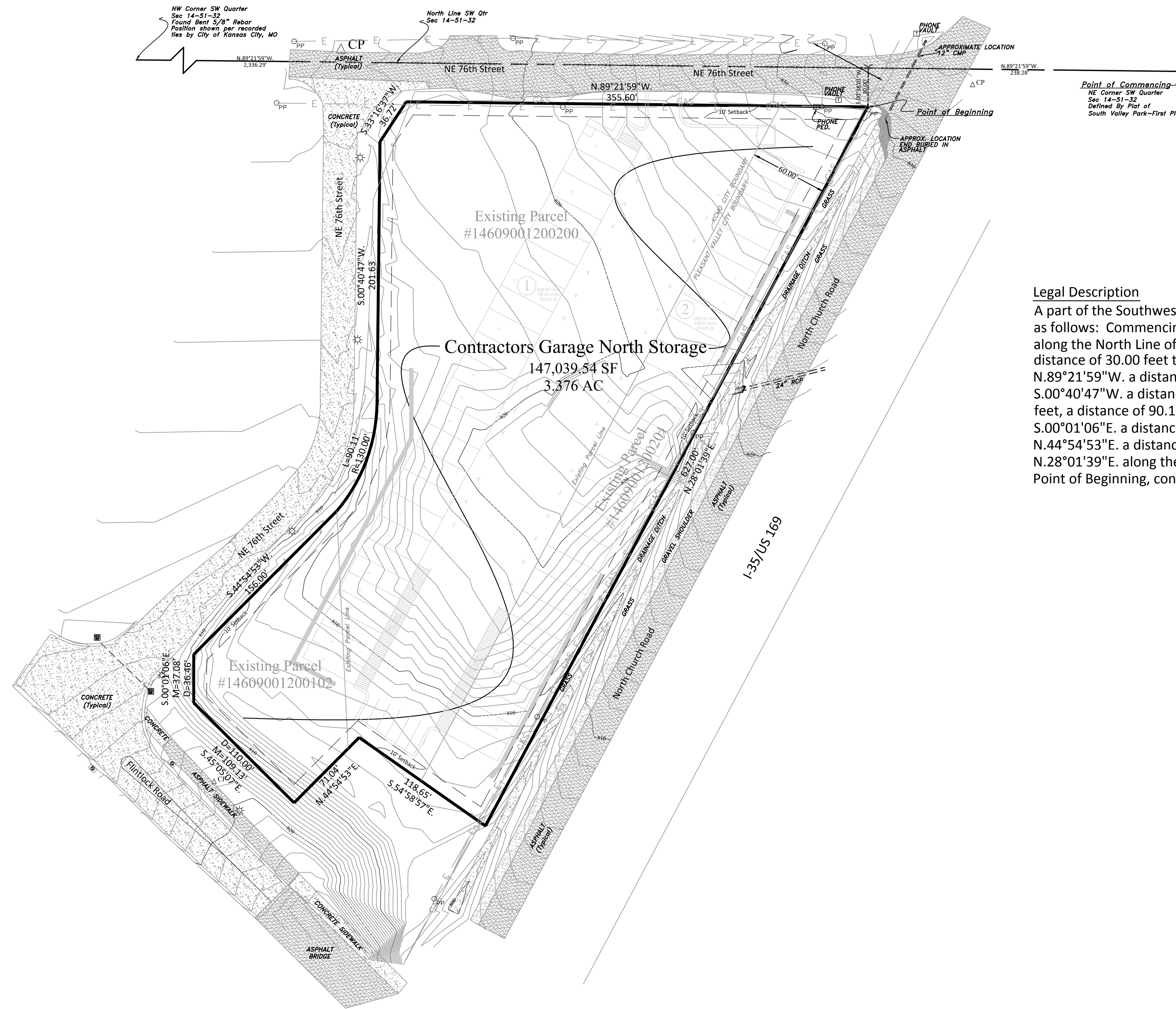
# PRELIMINARY PLAT CONTRACTORS GARAGE NORTH STORAGE

Part of the Southwest 1/4, Section 14, Township 51, Range 32,  
Kansas City/Pleasant Valley, Clay County, Missouri



LOCATION MAP  
Sec. 14, T 51, R 32

**APPROVED**  
Ordinance 190328

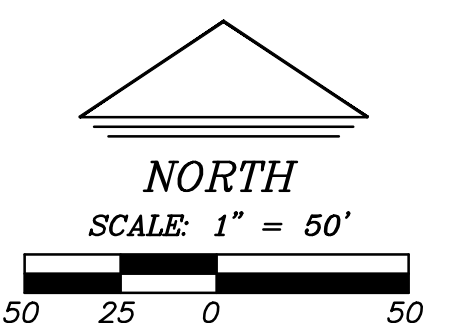



**Legal Description**

A part of the Southwest 1/4 of Section 14, Township 51, Range 32, Clay County, Missouri described as follows: Commencing at the Northeast Corner of said Southwest 1/4; Thence N.89°21'59"W. along the North Line of said Southwest 1/4 a distance of 238.28 feet; Thence S.00°38'01"W. a distance of 30.00 feet to the Point of Beginning of the tract to be described; Thence N.89°21'59"W. a distance of 355.60 feet; Thence S.33°16'37"W. a distance of 36.72 feet; Thence S.00°40'47"W. a distance of 201.63 feet; Thence along a curve to the right with a radius of 130.00 feet, a distance of 90.11 feet; Thence S.44°54'53"W. a distance of 156.00 feet; Thence S.00°01'06"E. a distance of 37.08 feet; Thence S.45°05'07"E. a distance of 109.13 feet; Thence N.44°54'53"E. a distance of 71.04 feet; Thence S.54°58'57"E. a distance of 118.65 feet; Thence N.28°01'39"E. along the North Church Road Right-Of-Way, a distance of 627.00 feet back to the Point of Beginning, containing 3.376 Acres more or less.

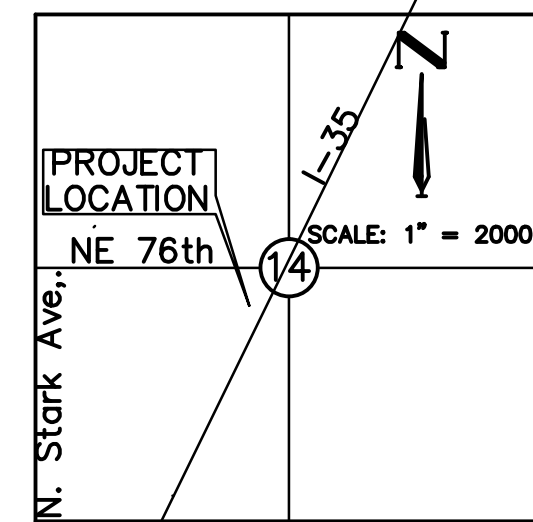
**Developer/Owner**  
Contractors Garage North, LLC  
Brian Combs/Kevin Combs  
8500 NE 89th Place  
Kansas City, MO 64157  
913.558.9742

**Civil Engineer**  
Green Engineering, LLC  
P.O. Box 221  
Olathe, KS 66051  
913.782.4040



|   |     |     |        |       |            |                    |
|---|-----|-----|--------|-------|------------|--------------------|
| <b>Contractors Garage VI</b><br>Preliminary Plat/Development Plans<br>Preliminary Plat  |     |     |        |       |            | SHEET<br><b>C3</b> |
|  <b>GREEN ENGINEERING, LLC</b><br>PO BOX 221 OLATHE, KS 66051<br>PHONE: (913) 782-4040 |     |     |        |       |            |                    |
| SEC   | TWP | RNG | COUNTY | STATE | DATE       | PROJECT NO.        |
| 14  | 51  | 32  | CLAY   | MO    | 11/30/2018 | 180801             |





**LOCATION MAP**  
Sec. 14, T 51, R 32

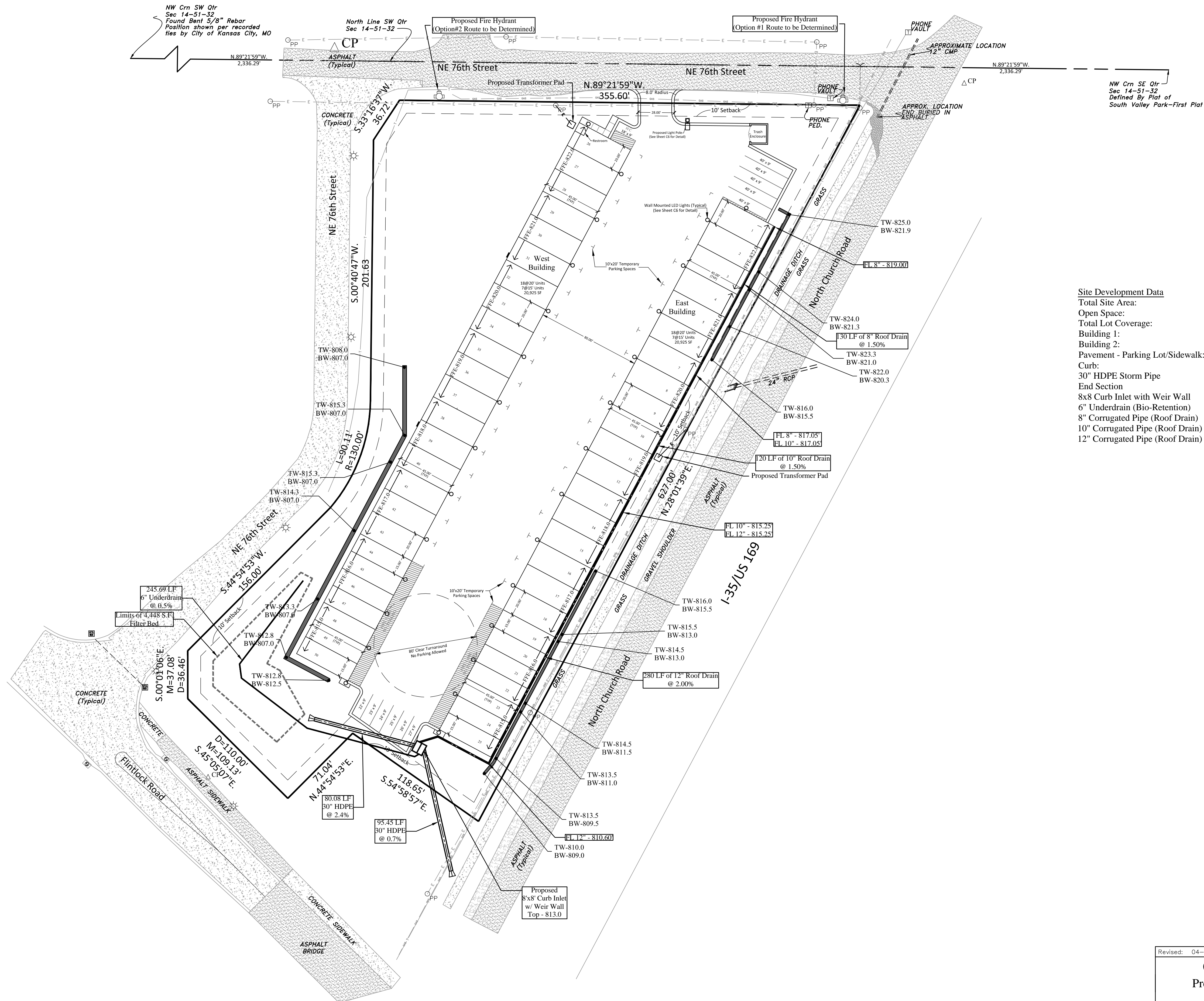
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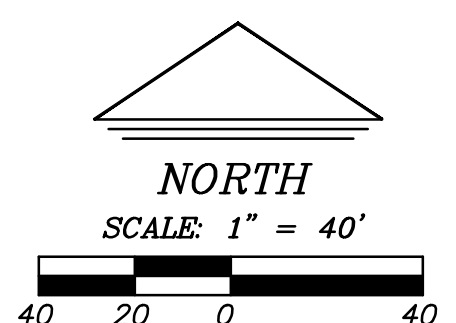
**MEP**  
Gladfelter Engineering Group  
Greg Gladfelter  
3710 Robinson Pike  
Grandview, MO 64030  
913.387.2340

**Architect**  
I-DIZ Architecture Planning & Design  
Todd Wetherilt  
6344 Ash Street  
Prairie Village, KS 66208  
913.620.4543

**Landscape Architect**  
Richard Clayton Barrett, ASLA, LLC  
7128 Nall Avenue  
Overland Park, KS 66208  
913.362.1171

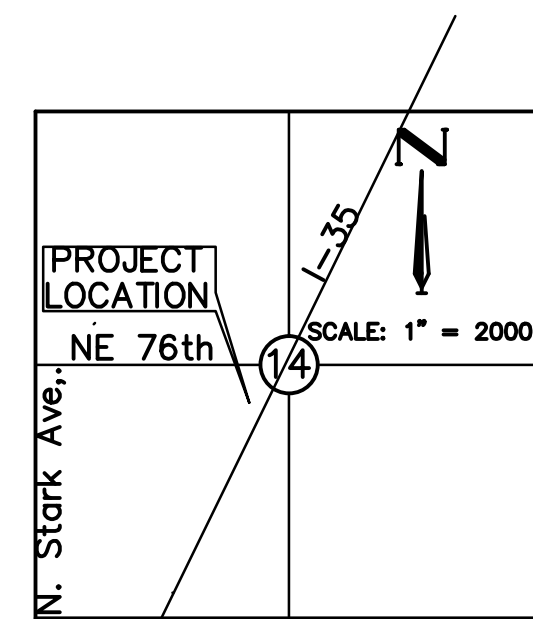


| Site Development Data             |                           |
|-----------------------------------|---------------------------|
| Total Site Area:                  | 147,039.54 SF or 3.376 AC |
| Open Space:                       | 59,837.46 SF or 1.374 AC  |
| Total Lot Coverage:               | 87,202.08 SF or 2.002 AC  |
| Building 1:                       | 20,925.00 SF              |
| Building 2:                       | 20,925.00 SF              |
| Pavement - Parking Lot/Sidewalk:  | 44,683.71 SF              |
| Curb:                             | 357 LF                    |
| 30" HDPE Storm Pipe:              | 176 LF                    |
| End Section:                      | 2 Qty.                    |
| 8x8 Curb Inlet with Weir Wall:    | 1 Qty.                    |
| 6" Underdrain (Bio-Retention):    | 246 LF                    |
| 8" Corrugated Pipe (Roof Drain):  | 130 LF                    |
| 10" Corrugated Pipe (Roof Drain): | 120 LF                    |
| 12" Corrugated Pipe (Roof Drain): | 280 LF                    |



| Revised: 04-10-2019                |     |     |        |       |                    |             |
|------------------------------------|-----|-----|--------|-------|--------------------|-------------|
| <b>Contractors Garage VI</b>       |     |     |        |       | SHEET<br><b>C4</b> |             |
| Preliminary Plat/Development Plans |     |     |        |       |                    |             |
| Site Plan                          |     |     |        |       |                    |             |
| <b>GREEN ENGINEERING, LLC</b>      |     |     |        |       |                    |             |
| PO BOX 221 OLATHE, KS 66051        |     |     |        |       |                    |             |
| PHONE: (913) 782-4040              |     |     |        |       |                    |             |
| SEC                                | TWP | RNG | COUNTY | STATE | DATE               | PROJECT NO. |
| 14                                 | 51  | 32  | CLAY   | MO    | 02/13/2019         | 180801      |





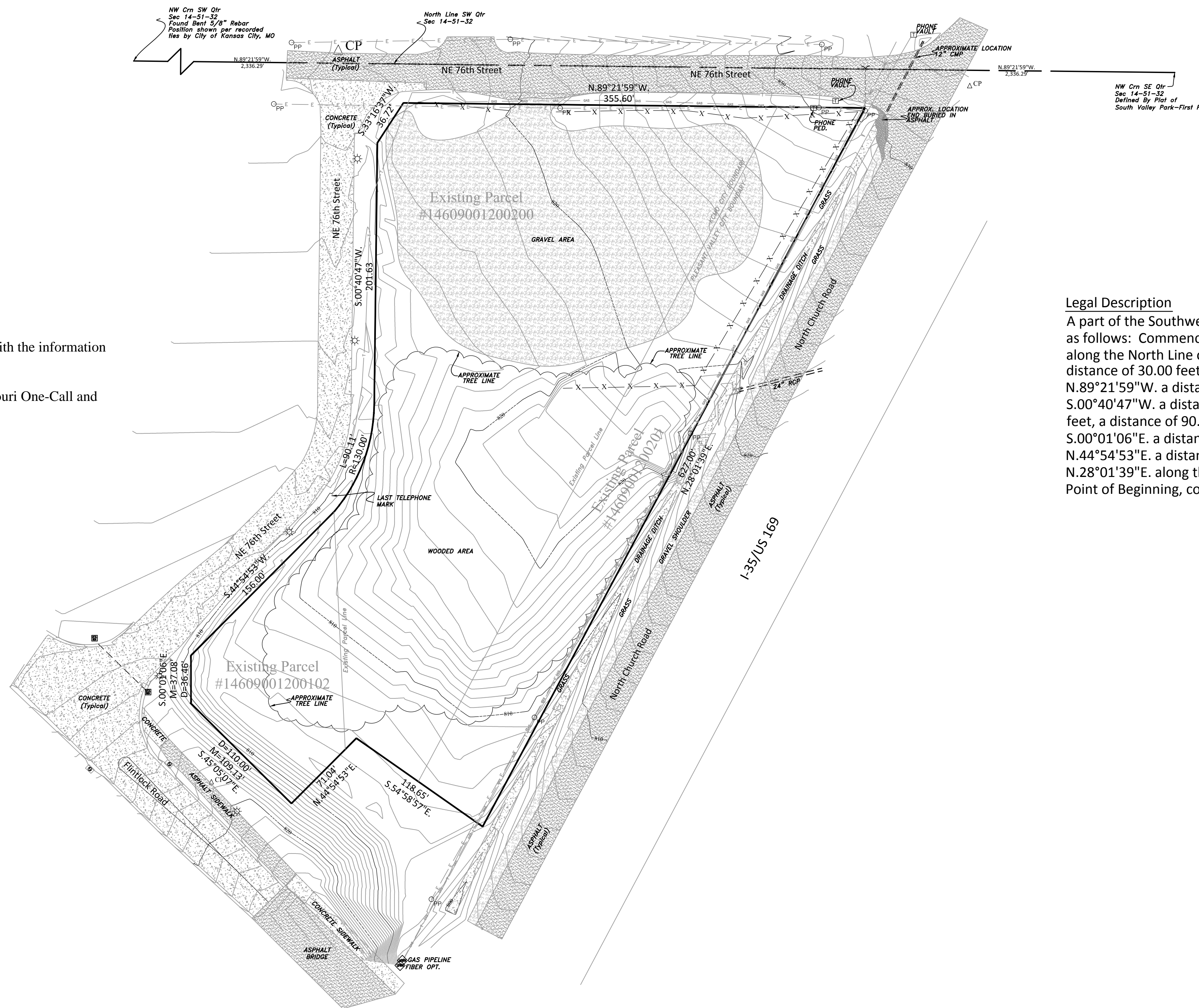
**LOCATION MAP**  
Sec. 14, T 51, R 32

**NOTES**

- The existing utilities shown on the plans are approximate locations in accordance with the information available from public records, Missouri One-Call, and the Utility Companies.
- 48 Hours prior to commencement of construction, the contractor shall contact Missouri One-Call and all Utility Companies for field markings of all Utilities.



**CALL BEFORE YOU DIG 1-800-DIG-RITE**  
**MISSOURI ONE-CALL 1-800-344-7483**

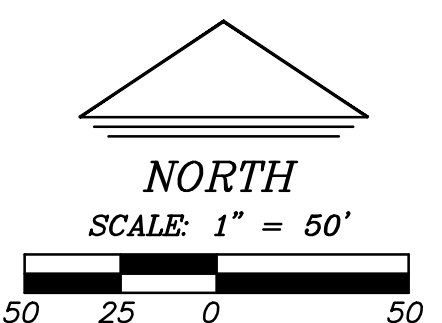


**Legal Description**

A part of the Southwest ¼ of Section 14, Township 51, Range 32, Clay County, Missouri described as follows: Commencing at the Northeast Corner of said Southwest ¼; Thence N.89°21'59"W. along the North Line of said Southwest ¼ a distance of 238.28 feet; Thence S.00°38'01"W. a distance of 30.00 feet to the Point of Beginning of the tract to be described; Thence N.89°21'59"W. a distance of 355.60 feet; Thence S.33°16'37"W. a distance of 36.72 feet; Thence S.00°40'47"W. a distance of 201.63 feet; Thence along a curve to the right with a radius of 130.00 feet, a distance of 90.11 feet; Thence S.44°54'53"W. a distance of 156.00 feet; Thence S.00°01'06"E. a distance of 37.08 feet; Thence S.45°05'07"E. a distance of 109.13 feet; Thence N.44°54'53"E. a distance of 71.04 feet; Thence S.54°58'57"E. a distance of 118.65 feet; Thence N.28°01'39"E. along the North Church Road Right-Of-Way, a distance of 627.00 feet back to the Point of Beginning, containing 3.376 Acres more or less.

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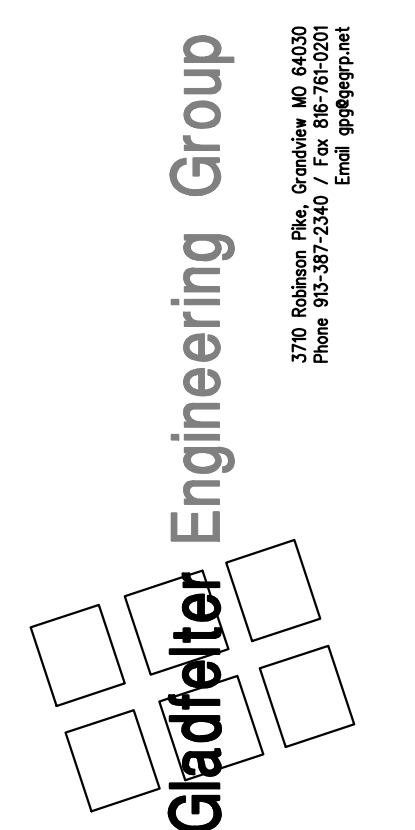


|   |     |     |        |       |            |                    |
|---|-----|-----|--------|-------|------------|--------------------|
| <b>Contractors Garage VI</b><br>Preliminary Plat/Development Plans<br>Existing Conditions & Utility Map |     |     |        |       |            | SHEET<br><b>C2</b> |
| <b>GREEN ENGINEERING, LLC</b>   |     |     |        |       |            |                    |
| PO BOX 221 OLATHE, KS 66051<br>PHONE: (913) 782-4040  |     |     |        |       |            |                    |
| SEC   | TWP | RNG | COUNTY | STATE | DATE       | PROJECT NO.        |
| 14  | 51  | 32  | CLAY   | MO    | 11/30/2018 | 180801             |





**CONTRACTORS GARAGE**  
 9501 NE 76TH STREET  
 LIBERTY, MO

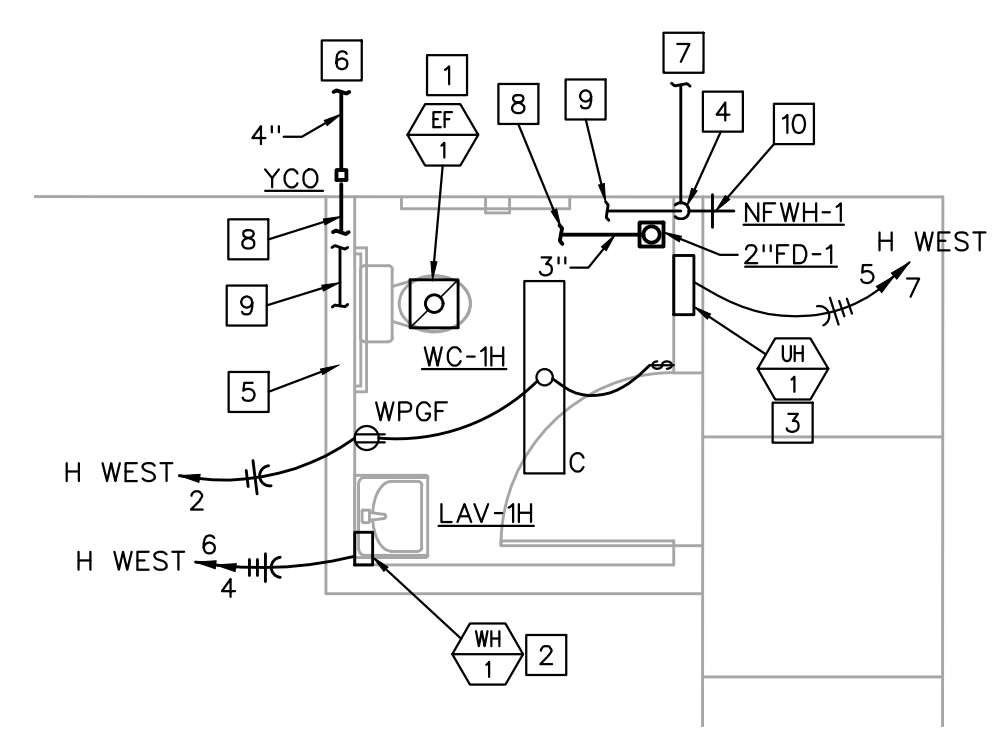


|                 |             |
|-----------------|-------------|
| Date:           | Issued for: |
| 02/15/19        | PERMIT      |
| Project number: |             |
| 18-275          |             |
| Drawn:          |             |
| JEE/SWB/GPG     |             |
| Date:           | 2018-11-12  |
| Sheet Number:   |             |

**MP2.1**

**PLAN NOTES**

- INTERLOCK EF WITH LIGHT FIXTURE. EXTEND 4" ROUND DUCT UP THRU ROOF TO WEATHER PROOF CAP.
- INSTALL INSTANTANEOUS WATER HEATER BELOW LAVATORY.
- COORDINATE LOCATION AND UNIT HEATER STYLE TO NOT OBSTRUCT WHEEL CHAIR ACCESS.
- 3/4" CW RISER. SEE "DOMESTIC WATER" RISER THIS SHEET FOR CONTINUATION.
- INSTALL ALL WATER BEARING PIPING ON HEATED SIDE OF WALL INSULATION.
- 4" SAN. SEE SITE PLAN FOR CONTINUATION. INCREASE TO 6" WHERE SHOWN ON SITE PLAN.
- 3/4" DOMESTIC COLD WATER. SEE SITE PLAN FOR CONTINUATION.
- W OR SAN BELOW FLOOR. SEE "SANITARY WASTE AND VENT" RISER DIAGRAM, THIS SHEET, FOR CONTINUATION.
- 3/4" DOMESTIC COLD WATER PIPING. SEE "DOMESTIC WATER" RISER DIAGRAM, THIS SHEET, FOR CONTINUATION.
- MAKE SURE VALVE IS IN HEATED AREA TO PREVENT FREEZING OF WATER IN PIPE.



NOTE: RESTROOM WILL BE ROUGHED-IN BUT NO FIXTURES INSTALLED UNTIL SANITARY SEWER IS EXTENDED TO THE SITE.

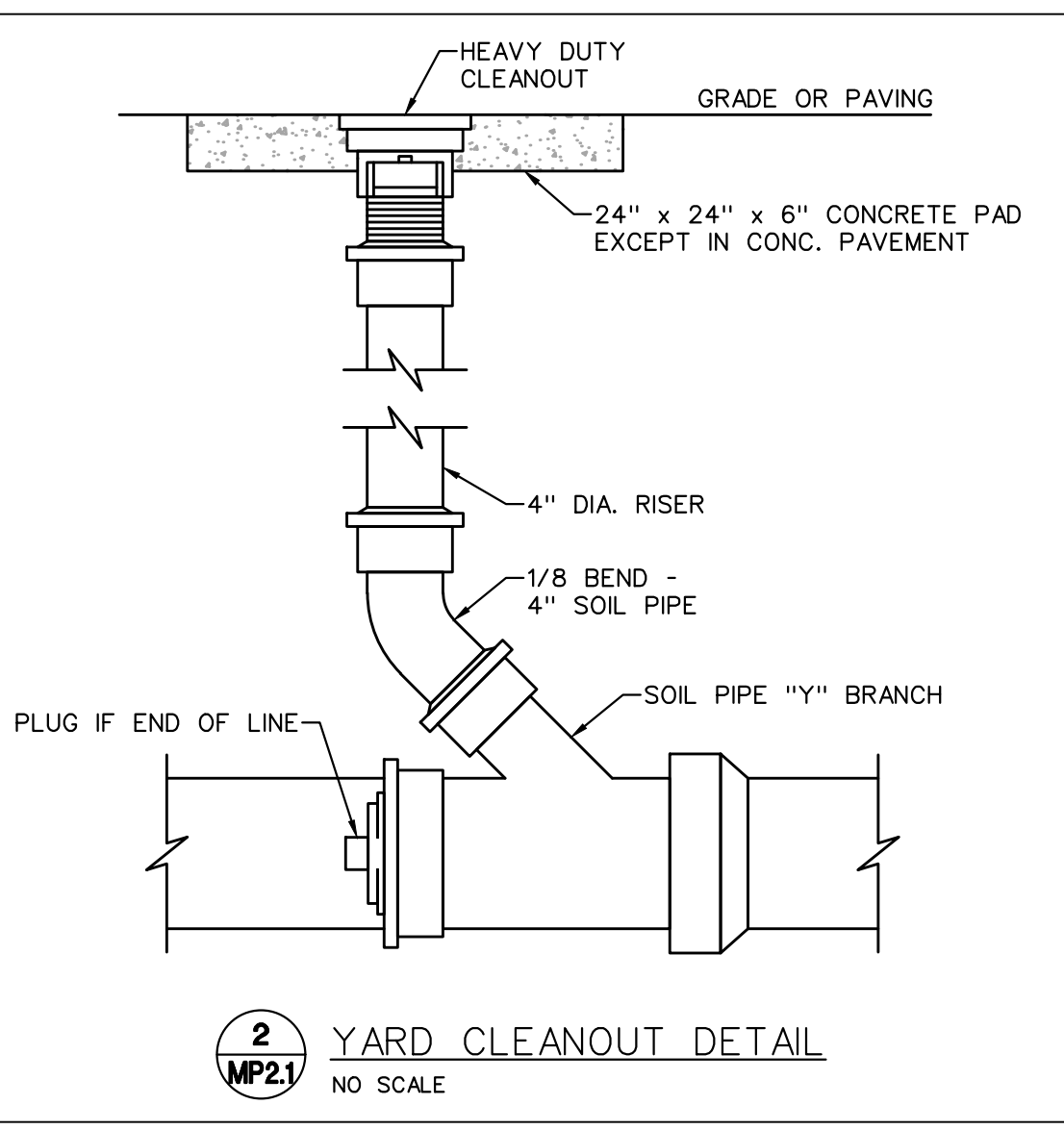
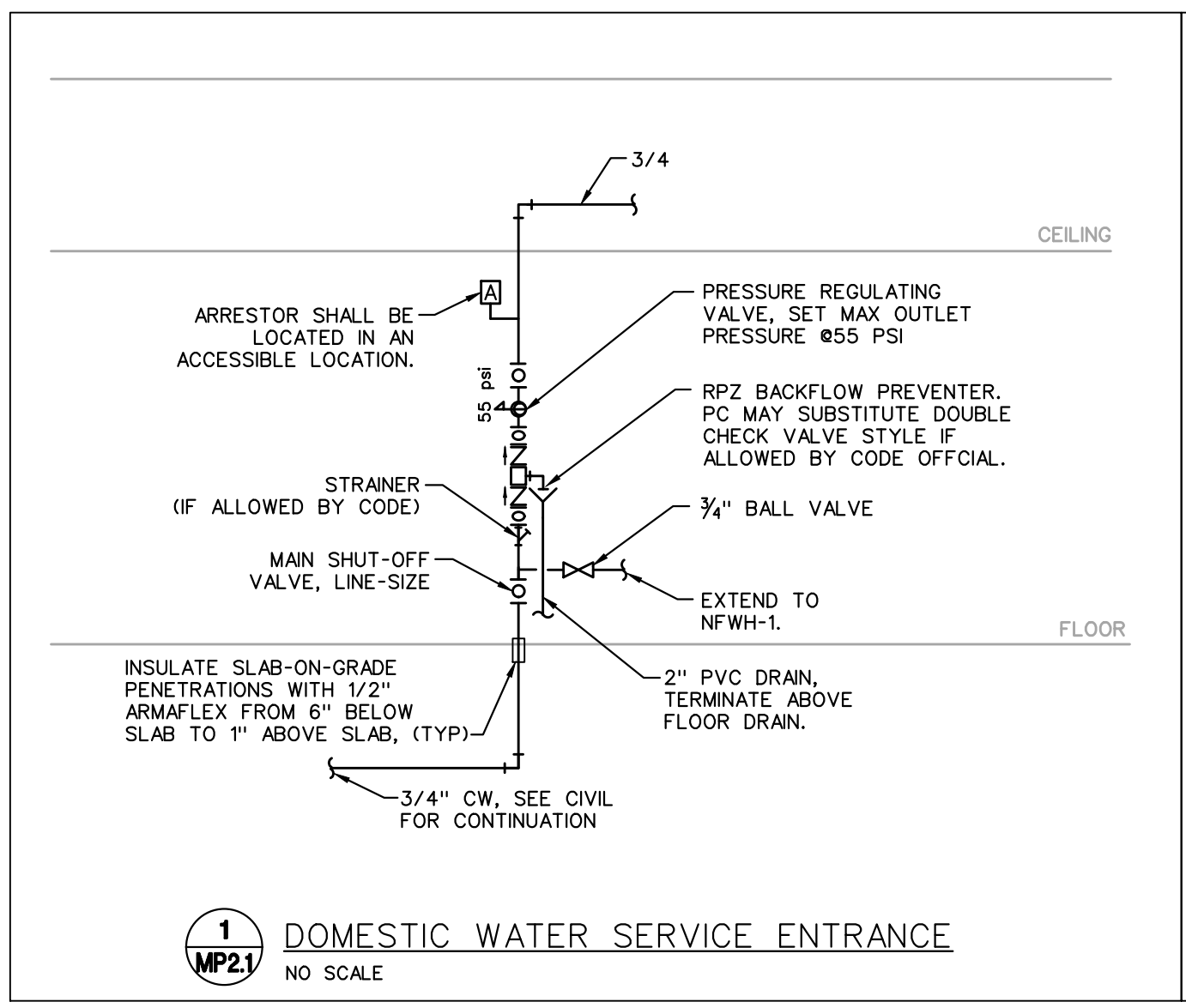
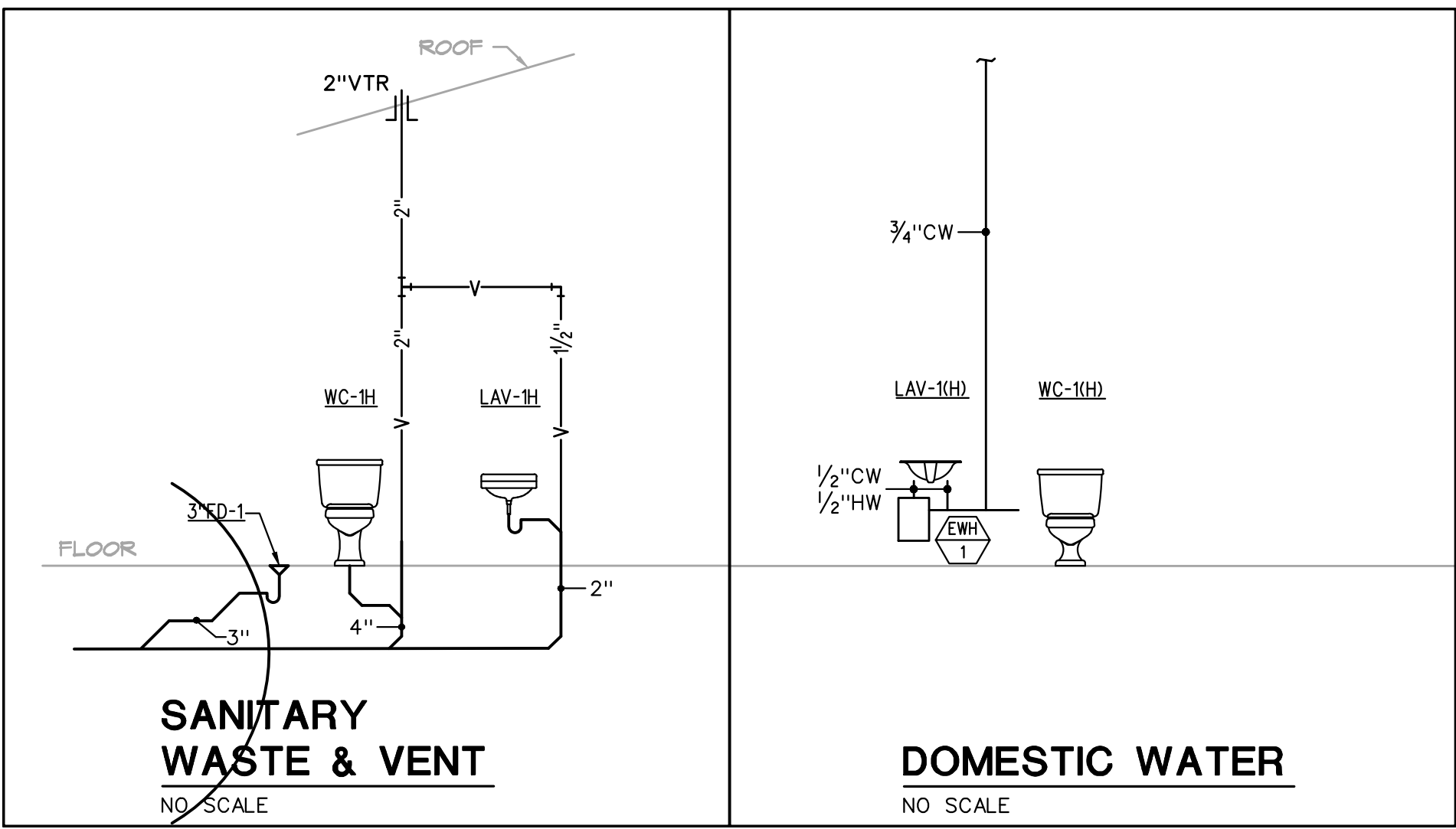
**WEST BUILDING RESTROOM PARTIAL PLAN**  
 1/4" = 1'-0"  
 NORTH

**MECHANICAL/PLUMBING SPECIFICATION**

- DUCTWORK FABRICATION AND INSTALLATION SHALL BE IN ACCORDANCE WITH SMACNA STANDARDS.
- ALL DUCTWORK SHALL BE SHEET METAL, CONSTRUCTED TO SMACNA STANDARDS, MINIMUM OF 2" WG PRESSURE CLASS AND SEAL CLASS 'C'. MINIMUM. ALL LONGITUDINAL AND TRANSVERSE JOINTS TO BE SEALED, EXCEPT AS OTHERWISE NOTED. ROUND AND FLEX DUCT CONNECTIONS SHALL BE MADE WITH SPIN COLLARS WITH EXTRACTORS AND VOLUME DAMPERS.
- ABOVE GROUND WASTE AND VENT PIPING SHALL BE SCHEDULE 40 PVC WITH SOLVENT CEMENT JOINTS, EXCEPT USE STANDARD WEIGHT NO-HUB CAST IRON IN AIR PLENUMS. VENT PIPING MAY BE SCHEDULE 40 GALVANIZED STEEL WITH SCREWED JOINTS. PAINT ALL EXTERIOR PIPING WITH UV RESISTANT PAINT.
- ABOVE GROUND WATER PIPING SHALL BE TYPE 'L' HARD COPPER WITH LEAD FREE SOLDER JOINTS AND TYPE 'K' BELOW GROUND.
- SERVICE VALVES FOR WATER PIPING SYSTEMS UP THRU 2" SHALL BE 1/4 TURN, 150 LB. BALL VALVE WITH BRONZE CHROME PLATED BALL AND TFE SEATS, NIBCO S-585-70.
- DOMESTIC WATER PIPING SHALL BE INSULATED WITH 1" FIBERGLASS WITH ALL SERVICE JACKET OR COMPARABLE UNICELLULAR INSULATION WITH SMOKE/FLAME RATING OF 25/50. WHEN INSTALLED WITHIN A CHASE ALONG AN EXTERIOR WALL, THE INSULATION SHALL BE 1-1/2" FIBERGLASS AND THE PIPING SHALL BE LOCATED ON THE INTERIOR SIDE OF THE BUILDING WALL INSULATION.
- PROVIDE PLUMBING FIXTURES AS SCHEDULED OR SELECTED BY OWNER WITH ALL REQUIRED TRIM AND ACCESSORIES FOR A COMPLETE WORKING AND CODE COMPLIANT INSTALLATION. PROVIDE STOP VALVES AND WATER HAMMER ARRESTORS, SIZED AS INDICATED OR PER MANUFACTURER FOR EACH FIXTURE OR EACH GROUP OF FIXTURES. REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATION OF THE FIXTURES.
- MEET ALL REQUIREMENTS OF THE ADA FOR ALL FIXTURES REQUIRED TO BE HANDICAP ACCESSIBLE. INSULATE PIPING BENEATH HANDICAP FIXTURES PER ADA, HANDI-LAV-GARD SYSTEM OR EQUIVALENT.
- INSTALL PLUMBING FIXTURES AND EQUIPMENT IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. VERIFY ROUGH-IN REQUIREMENTS WITH MANUFACTURER'S DRAWINGS AND INSTALL PER MANUFACTURER'S RECOMMENDATIONS. PROVIDE WATER-CONSERVING FIXTURES AND APPURTENANCES IF/AS REQUIRED BY LOCAL AUTHORITIES. CONFIRM ALL LOCATIONS AND MOUNTING HEIGHTS WITH ARCHITECTURAL DRAWINGS AND/OR SPECIFICATIONS. CAULK FIXTURES TO WALLS/FLOORS. SET COUNTER MOUNTED SINKS AND LAVATORIES IN A BED OF CAULK. THE SPECIFIED PLUMBING FIXTURES, OR APPROVED EQUALS, SHALL BE USED UNLESS OTHERWISE NOTED OR INDICATED.
- WATER CLOSET (WC-1H), TOTO #CSC744SL.01, FLOOR-MOUNTED, CONSTRUCTED OF VITREOUS CHINA, MEETING ANSI A-117.1 AND ADA BARRIER-FREE REQUIREMENTS, 17" HIGH, 1.6-GALLON FLUSH, CLOSE-COUPLED TANK DESIGN WITH ELONGATED BOWL AND SIPHON JET ACTION. TANK SHALL BE VITREOUS CHINA WITH COVER, 3/8" FLEXIBLE RISER WITH LOOSE KEY ANGLE STOP VALVE. CHROME-PLATED BRASS TRIP LEVER AND MANUFACTURER'S BOLT CAPS. PROVIDE BENKE #527 WHITE ELONGATED OPEN FRONT SEAT LESS COVER, PERMA BUMPER.
- LAVATORY (LAV-1H), TOTO #LT307.4 (20"X18"), WALL-HUNG TYPE, CONSTRUCTED OF VITREOUS CHINA, MEETING ANSI A-117.1 AND ADA BARRIER-FREE REQUIREMENTS. LAVATORY SHALL HAVE 4-INCH FAUCET CENTERS AND DRILLED FOR CONCEALED ARM CARRIER. PROVIDE 3/8-INCH FLEXIBLE RISER W/ANGLE SUPPLIES WITH LOOSE KEY STOPS, 1-1/4-INCH INLET 1-1/2-INCH OUTLET CHROME PLATED CAST BRASS "P" TRAP W/CLEANOUT PLUG AND ESCUTCHEON W/SET SCREW. PROVIDE DELTA #523-WFQHDHF HEAVY DUTY SINGLE LEVER FAUCET, 4-INCH CENTERS, VANDAL-RESISTANT 1.0 GPM AERATOR, PERFORATED OFFSET GRID DRAIN (W/ 1-1/4" TAILPIECE) AND VANDAL-RESISTANT SINGLE LEVER HANDLE. PROVIDE WITH J.R. SMITH CARRIER (TO MATCH WALL TYPE). MOUNT AT ADA HEIGHT AND MAINTAIN CLEARANCES UNDER LAVATORY AS REQUIRED BY ADA REGULATIONS. INSULATE WASTE AND HOT WATER SUPPLY UNDER LAVATORY WITH UNDERSINK PROTECTIVE PIPE COVER, MOLDED, ANTIMICROBIAL, WITH FLUSH REUSABLE FASTENERS, TRUEBRO LAV GUARD.
- INSTANTANEOUS WATER HEATER (EWH-1), EEMAX MODEL #EX 95T, 65°F RISE AT 1.0 GPM, 40-AMP, 9.5KW, 240/1/60.
- FLOOR DRAINS (FD-1), J.R. SMITH 2005-B OR 2010-B SERIES. RATED FOR GENERAL LIGHT DUTY USE WITH DUCO CAST IRON BODY, FLASHING COLLAR, TRAP PRIMER CONNECTION, POLISHED BRONZE 5" SQUARE TOP, SEDIMENT BUCKET, AND HEEL PROOF GRATE, PROVIDE WITH SEPARATE TRAP.
- YARD CLEANOUT (YCO), PVC CONSTRUCTION, WITH CLOSURE PLUG. IF INSTALLED IN PAVEMENT OR SIDEWALK, PROVIDE HEAVY DUTY CAST FLUSH METAL COVER AND SLEEVE TO PROTECT CLEANOUT.
- WALL UNIT HEATER (WUH-1), INDEECO WCI SERIES, MODEL # 932U0300V, 240/1/60, 2250 WATTS, RECESSED WALL MOUNTING, TAMPERPROOF THERMOSTAT.
- EXHAUST FAN (EF-1), COOK MODEL # GC-142, 84 CFM @ .25"SP, 59-WATTS, 120/1/60. INTERLOCK WITH LIGHT SWITCH. PROVIDE WITH SPEED CONTROL FOR BALANCING.

**MECHANICAL/PLUMBING GENERAL NOTES**

- INSTALLATION SHALL BE IN ACCORDANCE WITH THE 2012 INTERNATIONAL MECHANICAL AND PLUMBING CODES, NFPA 90A AND 101 AND ALL STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS.
- PLANS AND SPECIFICATIONS SHALL TAKE PRECEDENCE OVER THE CODE WHERE CODE REQUIREMENTS ARE EXCEEDED.
- DRAWINGS ARE DIAGRAMATIC AND ARE INTENDED TO INDICATE THE GENERAL DESIGN CONCEPT. THEY DO NOT NECESSARILY INDICATE EACH AND EVERY FITTING OR FEATURE. THE CONTRACTOR SHALL PROVIDE ALL ITEMS NECESSARY FOR AN INSTALLATION THAT IS COMPLETE IN EVERY RESPECT.
- DRAWINGS SHOWING EXISTING CONDITIONS ARE BASED ON INFORMATION FURNISHED BY OTHERS, EXISTING BUILDING CONSTRUCTION & 'RECORD' DRAWINGS AND LIMITED SITE OBSERVATIONS. THEY ARE INTENDED TO INDICATE DESIGN CONCEPTS ONLY AND ARE NOT GUARANTEED TO BE 100% ACCURATE OR ALL INCLUSIVE NOR DO THEY NECESSARILY SHOW EACH AND EVERY FITTING AND DEVICE NOR ARE THEY GUARANTEED TO SHOW EACH AND EVERY ITEM REQUIRING REMOVAL AND/OR RELOCATION. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL EXISTING CONDITIONS AND HOW THEY MAY AFFECT THE PROSECUTION OF THE WORK OF THIS CONTRACT.
- CONTRACTOR SHALL FULLY COOPERATE WITH THE GENERAL CONTRACTOR TO MAINTAIN THE SCHEDULE AND PHASING OF THE WORK. REFER TO ARCHITECTURAL AND DIVISION 1 SPECIFICATIONS.
- 'FURNISHED' SHALL MEAN CONTRACTOR SHALL SUPPLY THE INSTALLED ITEM. 'INSTALLED' SHALL MEAN CONTRACTOR SHALL PROVIDE LABOR TO PLACE THE ITEM IN SERVICE. 'PROVIDED' SHALL MEAN CONTRACTOR SHALL FURNISH AND INSTALL THE ITEM.
- REFER TO ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR DIMENSIONS. DO NOT SCALE MECHANICAL DRAWINGS. CONFORM TO ARCHITECTURAL AND STRUCTURAL REQUIREMENTS FOR EXACT PLACEMENT AND LOCATION OF EQUIPMENT AND FOR REQUIRED STRUCTURAL SUPPORT, BRACING AND REINFORCEMENT.
- REFER TO STRUCTURAL DRAWINGS FOR SPECIFIC REQUIREMENTS CONCERNING EQUIPMENT PAD CONSTRUCTION, STRUCTURAL SUPPORTS AND MOUNTINGS FOR MECHANICAL EQUIPMENT AND SUPPLEMENTAL STEEL.
- VERIFY ALL ACTUAL JOB CONDITIONS AND DETERMINE WHICH MAY AFFECT PROSECUTION OF THE WORK. COORDINATE WITH BUILDING STRUCTURE, EXISTING CONDITIONS AND ALL OTHER TRADES AS REQUIRED TO PROPERLY, NEATLY AND ORDERLY INSTALL ALL SYSTEMS WITHIN THE CONFINES OF THE SPACE AVAILABLE AND WITHOUT INTERFERENCES. ANY CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE PURCHASE OF EQUIPMENT AND COMMENCEMENT OF THE WORK. FAILURE TO DETERMINE ACTUAL CONDITIONS WILL NOT BE CONSIDERED GROUNDS FOR GRANTING ADDITIONAL COMPENSATION OR TIME.
- VERIFY EXACT LOCATION, SIZE, CONDITION AND SERVICE OF EXISTING DUCTWORK, PIPING AND EQUIPMENT. DETERMINE SUITABILITY OF USE, CAPACITY AND CONNECTION PRIOR TO MAKING NEW CONNECTIONS. NOTIFY A/E OF ANY OBSERVED OR SUSPECTED DEFICIENCY.
- IN GENERAL, KEEP DUCTWORK AND PIPING HIGH AS POSSIBLE. IN NO EVENT SHALL HORIZONTAL WORK BE INSTALLED SO THAT HEADROOM IS LESS THAN 7'-6" ABOVE FINISH FLOOR WITHOUT PRIOR APPROVAL.
- ALL MECHANICAL AND PLUMBING EQUIPMENT SHALL BE INSTALLED TO PROVIDE MANUFACTURER'S RECOMMENDED OPERATING AND SERVICE CLEARANCES FOR ALL EQUIPMENT. THE CONTRACTOR IS RESPONSIBLE FOR DIMENSIONS AND DIFFERING CLEARANCE REQUIREMENTS OF ACTUAL EQUIPMENT FURNISHED.
- ALL FIXTURES AND EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S REQUIREMENTS AND PER LISTINGS.
- ALL WATER BEARING PIPING SHALL BE SLOPED FOR DRAINAGE WITH BALL DRAIN VALVES AT LOW POINTS.
- DRAINAGE PIPING SHALL BE SLOPED IN ACCORDANCE WITH CODE, BUT NOT LESS THAN 1/8" PER FOOT FOR 3" AND LARGER PIPING AND 1/4" PER FOOT FOR 2-1/2" AND SMALLER PIPING. ALL INVERT ELEVATIONS SHALL BE COORDINATED WITH THE STRUCTURAL FOOTINGS.
- COORDINATE ALL UNDERGROUND PIPING WITH GRADE BEAMS, WALL FOOTINGS, COLUMN FOUNDATIONS AND OTHER STRUCTURAL CONDITIONS. COORDINATE FLOOR PENETRATIONS WITH STRUCTURAL DRAWINGS. SET SLEEVES IN FLOORS AND WALLS AND ATTACHMENTS FOR HANGERS AS CONSTRUCTION PROGRESSES. COORDINATE EXACT SIZE AND LOCATION OF ALL SLEEVES WITH STRUCTURAL ENGINEER. ALL PENETRATIONS SHALL BE SEALED AND HELD AS TIGHT TO COLUMNS OR WALLS AS POSSIBLE.
- PROVIDE DIELECTRIC UNIONS AT ALL CONNECTIONS BETWEEN DISSIMILAR METALS.
- CAULK AND SEAL ALL DUCT AND PIPING PENETRATIONS OF EXTERIOR OR DEMISING WALLS.
- ALL POWER WIRING SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR. DISCONNECT SWITCHES AND MOTOR STARTERS SHALL BE FURNISHED BY THE ELECTRICAL CONTRACTOR, EXCEPT WHERE SPECIFICALLY INDICATED TO BE FURNISHED BY THE MECHANICAL CONTRACTOR. COORDINATE REQUIRED POWER FOR EQUIPMENT WITH THE ELECTRICAL CONTRACTOR.
- TEST AND CLEAN PIPING SYSTEMS PER INDUSTRY STANDARDS. PRESSURE TEST OF PRESSURE PIPING SHALL BE AT 1-1/2 TIMES THE ANTICIPATED OPERATING PRESSURE, BUT NOT LESS THAN 50 PSIG FOR 2 HOURS. NON-PRESSURIZED SYSTEMS SHALL BE TESTED WITH 10' WATER COLUMN ABOVE NORMAL OPERATING CONDITIONS OR 5 PSI FOR 2 HOURS. THERE SHALL BE NO MEASURABLE DROP DURING THE TEST PERIOD.



**FIXTURE BRANCH SCHEDULE**

| FIXTURE             | WASTE  | VENT   | COLD     | HOT      |
|---------------------|--------|--------|----------|----------|
| Water Closet (ft)   | 4"     | 2"     | 1/2"     | ---      |
| Water Closet (fv)   | 4"     | 2"     | 1"       | ---      |
| Urinal              | 2"     | 1 1/2" | 3/4"     | ---      |
| Lavatory            | 1 1/2" | 1 1/2" | 1/2"     | 1/2"     |
| Sink                | 2"     | 1 1/2" | 1/2"     | 1/2"     |
| Triple Sink         | 2"     | 1 1/2" | (2) 1/2" | (2) 1/2" |
| Shower, Tub         | 2"     | 1 1/2" | 1/2"     | 1/2"     |
| Water Fountain      | 1 1/2" | 1 1/2" | 1/2"     | ---      |
| Janitor Sink (fir)  | 3"     | 2"     | 3/4"     | 3/4"     |
| Janitor Sink (wall) | 2"     | 1 1/2" | 1/2"     | 1/2"     |
| Floor Drain         | 2"     | 1 1/2" | ---      | ---      |
| Floor Sink          | 3"     | 2"     | ---      | ---      |
| Eqpt Floor Drain    | 3"     | 2"     | ---      | ---      |
| Hub Drain           | 2"     | 1 1/2" | ---      | ---      |
| Dishwasher          | 2"     | 1 1/2" | ---      | 1/2"     |
| Washer Box          | 2"     | 1 1/2" | ---      | 1/2"     |
| Ice Maker           | ---    | ---    | 1/2"     | ---      |
| FPWH, HB            | ---    | ---    | 3/4"     | ---      |

**WATER HAMMER ARRESTOR SCHEDULE**

| MARK NO. | MANUFACTURER | MODEL NO.  | PDI UNIT RATING | FIXTURE UNIT CAPACITY | REMARKS |
|----------|--------------|------------|-----------------|-----------------------|---------|
| [AA]     | SIoux CHIEF  | 660 SERIES | AA              | 4 (SINGLE FIXT)       | X       |
| [A]      | SIoux CHIEF  | 652        | A               | 1 - 11                | X       |
| [B]      | SIoux CHIEF  | 653        | B               | 12 - 32               | X       |
| [C]      | SIoux CHIEF  | 654        | C               | 33 - 60               | X       |
| [D]      | SIoux CHIEF  | 655        | D               | 61 - 113              | X       |
| [X]      |              |            | X               | X                     | X       |

- NOTES:  
 1. Minimum waste or vent size below slab on grade shall be 2".  
 2. Size as shown on drawings and diagrams, but not less than listed.

Gladfelter Engineering Group assumes design responsibility for this project for only the mechanical, plumbing and electrical disciplines with drawing sheet number beginning with M, P and E. All other drawings should be considered the work of others. Further, drawings in this project set may contain drawing information, including but not limited to: architectural plans, sections and elevations, site plans and surveys and other information pertinent to showing the mechanical, plumbing and electrical work which is furnished by others, generally indicated by screened or light type. Gladfelter Engineering Group assumes no responsibility or liability for the accuracy or regulatory compliance for work prepared by others even though shown on MPE drawings. Gladfelter Engineering Group assumes responsibility only for the design of mechanical, plumbing and electrical disciplines contained herein, generally indicated in bold type.

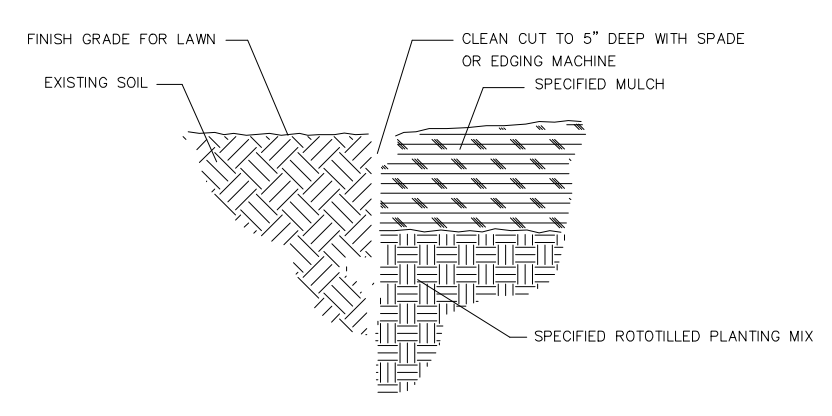
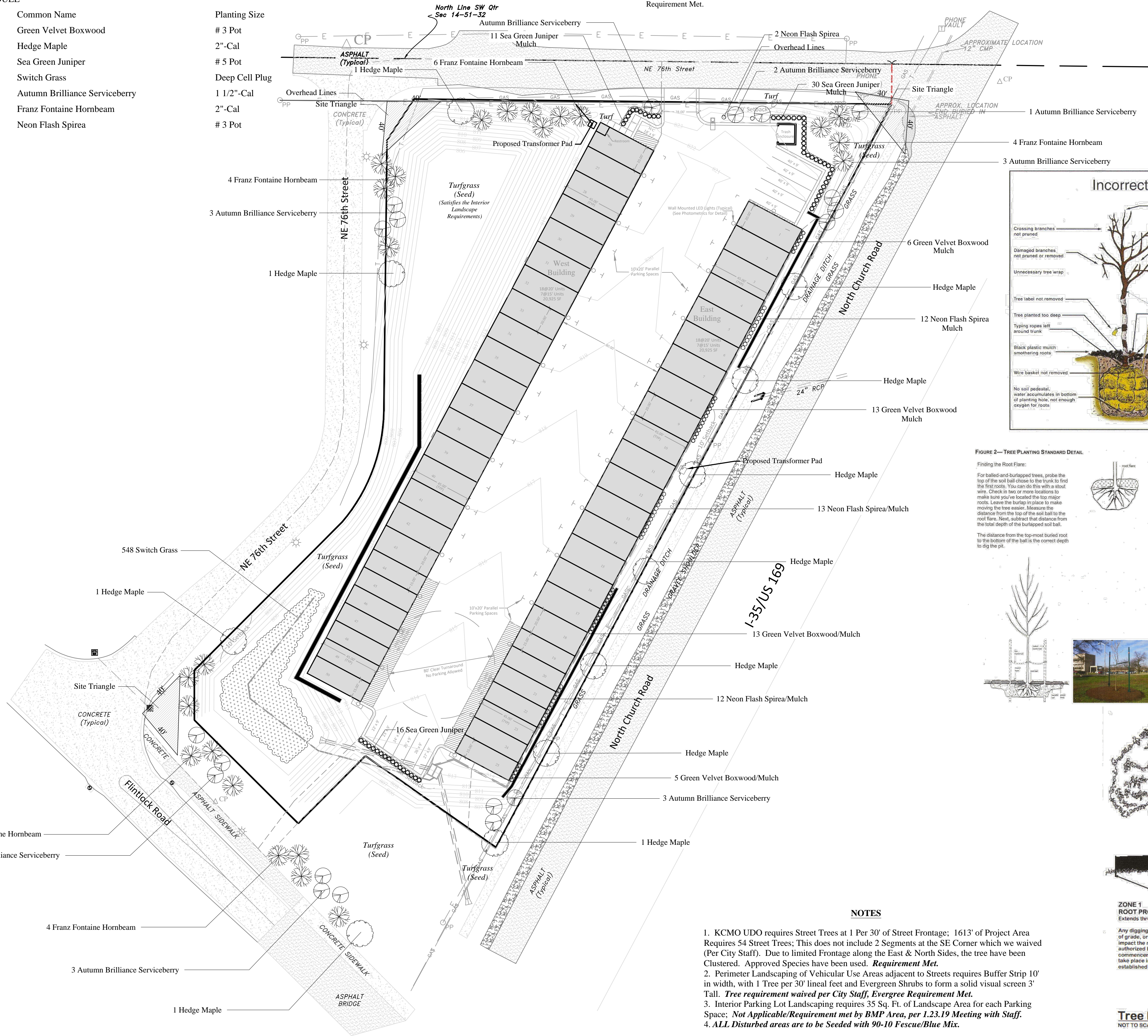


KCMO UDO REQUIRES 1 STREET TREE PER 30 LINEAL FEET  
 1613.52 LINEAL FEET REQUIRES 53.78 (54) TREES  
 THIS DOES NOT INCLUDE 189.69' ON TWO SIDES OF THE SE CORNER (PER CITY STAFF)  
 TREES ARE CLUSTERED AND NOT EVENLY SPACED  
 Requirement Met.

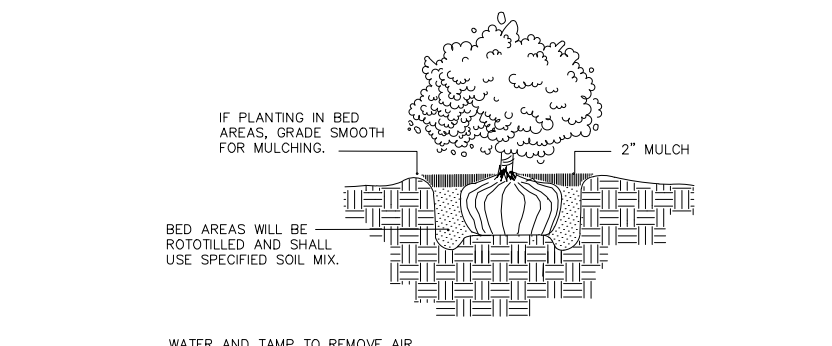
| Quantity | Symbol | Scientific Name                         | Common Name                    | Planting Size  |
|----------|--------|---|--------------------------------|----------------|
| 37       |        | Buxus 'Green Velvet'                    | Green Velvet Boxwood           | # 3 Pot        |
| 11       |        | Acer campestre                          | Hedge Maple                    | 2"-Cal         |
| 57       |        | Juniperus chinensis 'Sea Green'         | Sea Green Juniper              | # 5 Pot        |
| 548      |        | Panicum virgatum                        | Switch Grass                   | Deep Cell Plug |
| 19       |        | Amelanchier arborea 'Autumn Brilliance' | Autumn Brilliance Serviceberry | 1 1/2"-Cal     |
| 24       |        | Carpinus betulus 'Franz Fontaine'       | Franz Fontaine Hornbeam        | 2"-Cal         |
| 39       |        | Spirea japonica 'Neon Flash'            | Neon Flash Spirea              | # 3 Pot        |

PLANT SCHEDULE

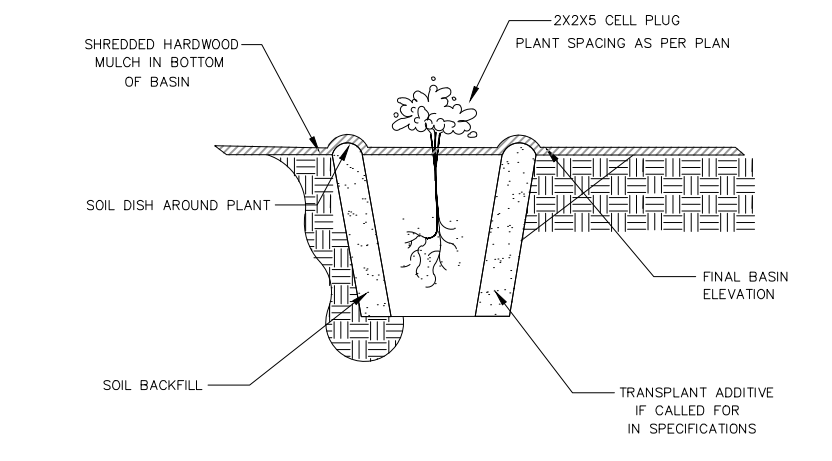
**CONTRACTOR'S GARAGE VI**  
 NE 76th Street & N. Flintlock Road  
 Gladstone, MO  
**Fine Commercial Landscape Development**



GARDEN OR NATURAL BED EDGE  
 No Scale



SHRUB PLANTING  
 NO SCALE



DEEP CELL PLUG PLANTING DETAIL  
 NO SCALE

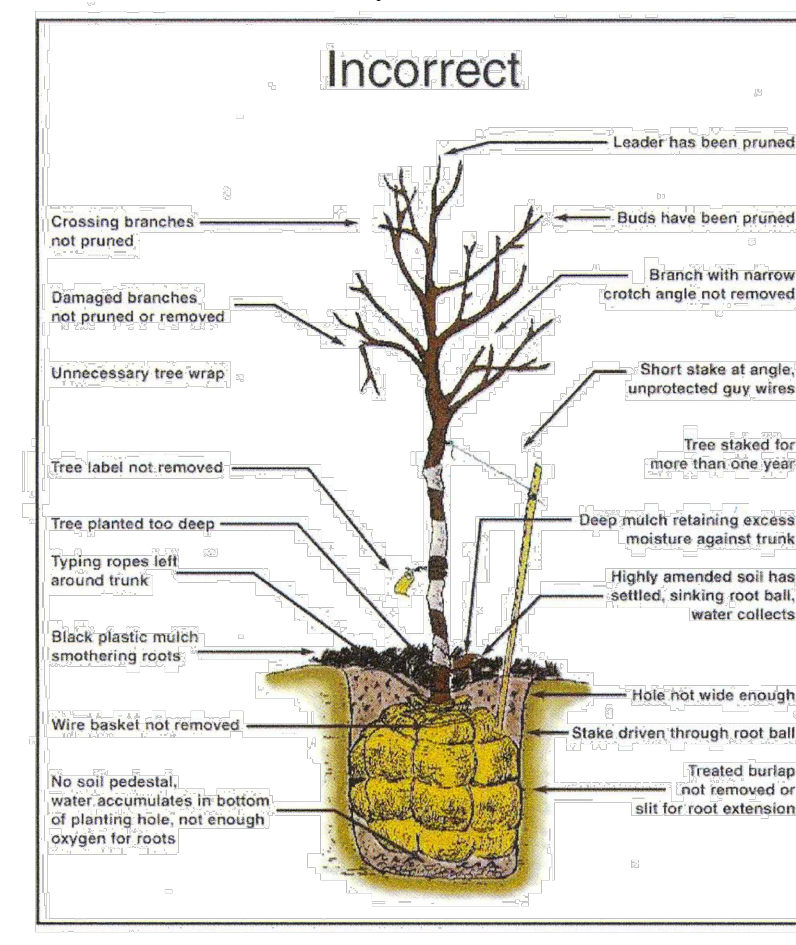


FIGURE 2—TREE PLANTING STANDARD DETAIL

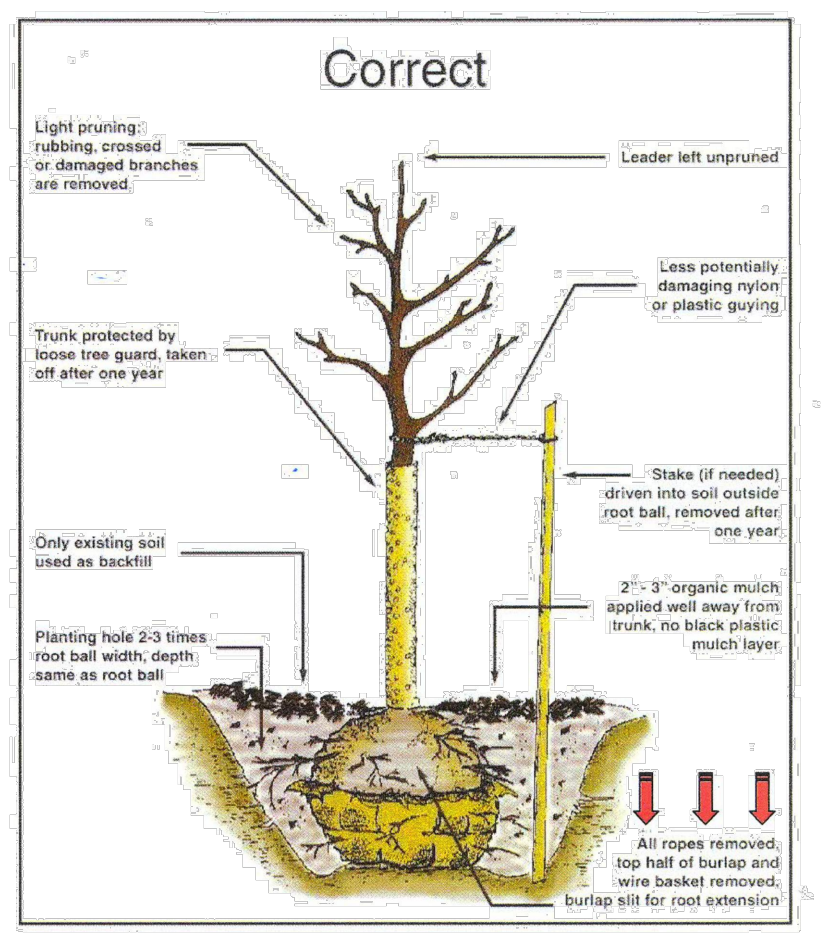
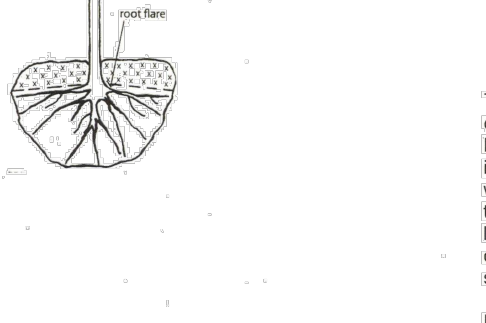
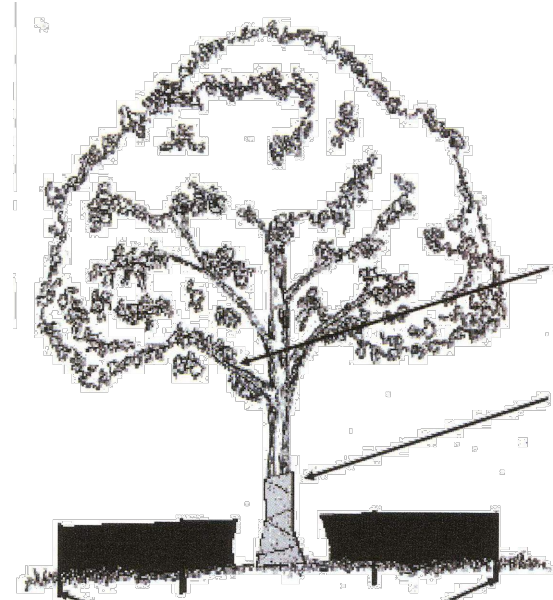
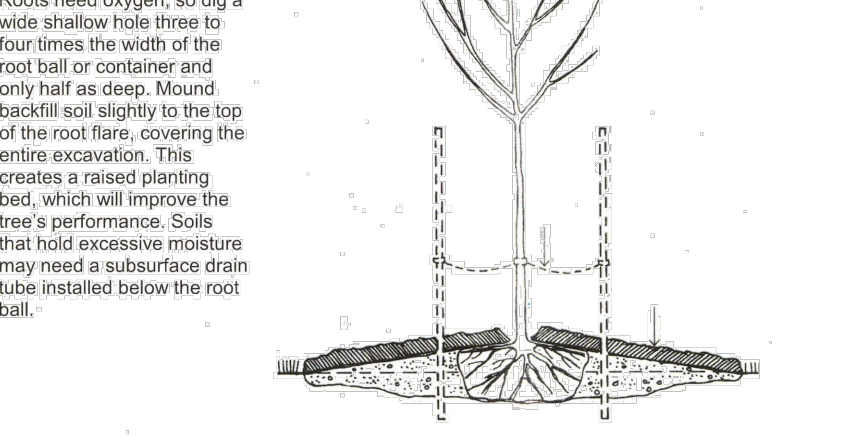


FIGURE 3—TREE PLANTING IN COMPACTED SOIL DETAIL

**Finding the Root Flare:**  
 For balled and burlapped trees, probe the top of the soil ball close to the trunk to find the first roots. You can do this with a stout wire. Check in two or more locations to make sure you've located the true major roots. Leave the burlap in place to make moving the tree easier. Measure the distance from the top of the soil ball to the root flare. Next, subtract that distance from the total depth of the burlapped soil ball. The distance from the top-most buried root to the bottom of the ball is the correct depth to dig the pit.



To test for compacted soil, do a simple percolation test. Dig a hole 12 inches to 18 inches deep and fill it with water. If the water is still in the hole 12 to 18 hours later, then you have compacted or heavy clay soils.



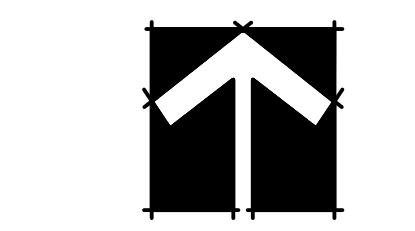
**TREE PROTECTION AREA**  
 The area inside a perimeter established at the Critical Root Zone (CRZ). The CRZ is equal to the drip-line (farthest extent of tree canopy) or is equal to one foot radially from the tree for every one inch of trunk diameter at breast height (DBH), whichever is greater.

**ZONE 2 LOWER CANOPY PROTECTION.**  
 Contact City Forester if any pruning is needed prior to work if potential for damage exists.

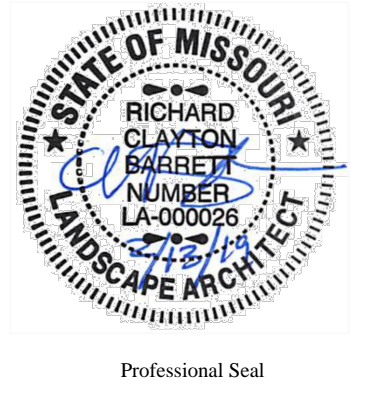
**ZONE 3 TRUNK PROTECTION.**  
 Required if construction equipment involved within ten feet or less (permitted inside the CRZ only if equipment is operated exclusively on existing hardscape and no soil compaction takes place).

**NOTES**  
 Fencing Height must be at least 48".  
 Attach "Tree Protection Area" Signs (templates available from City Forester) to Fencing every 50 feet.  
 The Tree Protection Area shall not be modified or removed prior to consent of the City Forester.  
 Materials, debris, equipment, and site amenities shall not be stored within the Tree Protection Area.  
 Entrance to the Tree Protection Area is not permitted without consent of the City Forester.

**Tree Protection Detail - Individual Tree**  
 NOT TO SCALE

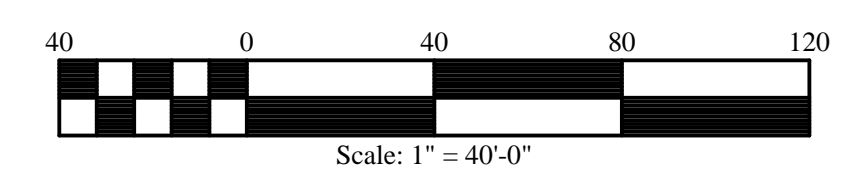


Date Page  
 2.13.19 01



**RICHARD CLAYTON BARRETT**  
 Richard Clayton Barrett, ASLA, LLC

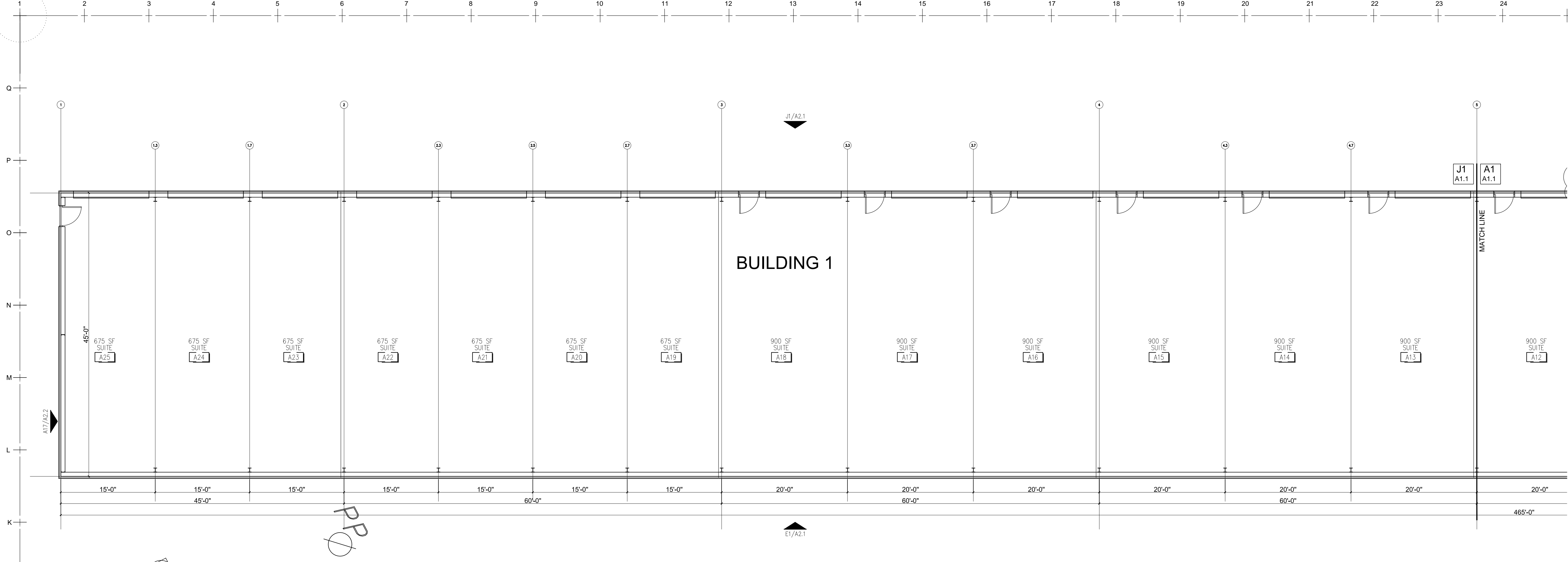
7128 Nall Avenue  
 Overland Park, KS, 66208  
 Phone 913.362.1200  
 Fax 913.362.1171



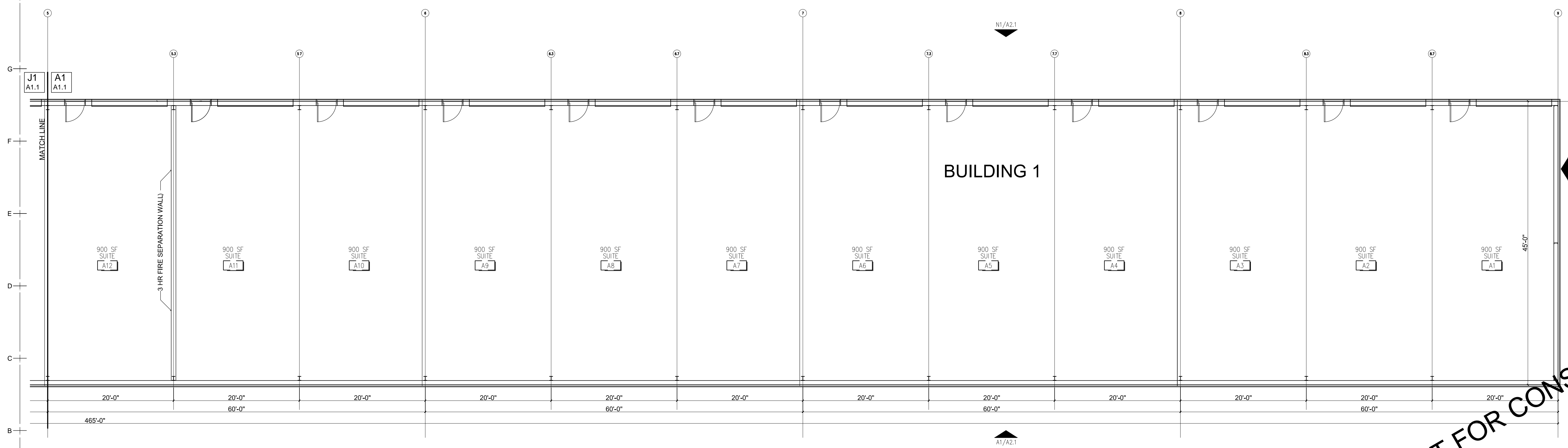
LANDSCAPE ARCHITECTURAL SITE PLAN

- NOTES**
- KCMO UDO requires Street Trees at 1 Per 30' of Street Frontage: 1613' of Project Area Requires 54 Street Trees; This does not include 2 Segments at the SE Corner which we waived (Per City Staff). Due to limited Frontage along the East & North Sides, the tree have been Clustered. Approved Species have been used. **Requirement Met.**
  - Perimeter Landscaping of Vehicular Use Areas adjacent to Streets requires Buffer Strip 10' in width, with 1 Tree per 30' lineal feet and Evergreen Shrubs to form a solid visual screen 3' Tall. **Tree requirement waived per City Staff, Evergreen Requirement Met.**
  - Interior Parking Lot Landscaping requires 35 Sq. Ft. of Landscape Area for each Parking Space: **Not Applicable/Requirement met by BMP Area, per 1.23.19 Meeting with Staff.**
  - ALL Disturbed areas are to be Seeded with 90-10 Fescue/Blue Mix.**





**J1 FLOOR PLAN**  
 A1.0 1/8" = 1'-0" NORTH



**A1 FLOOR PLAN**  
 A1.0 1/8" = 1'-0" NORTH

**Contractors Garage VI**  
 N Church Rd & NE 76th St  
 Kansas City, MO 64158

|               |             |
|---------------|-------------|
| PROJECT NO:   | 18018.00    |
| DATE:         | 12/5/18     |
| DRAWN BY:     | TJW         |
| CHECKED BY:   | TJW         |
| STATUS:       | SD REVIEW   |
| REVISED DATE: | DESCRIPTION |

**NOT FOR CONSTRUCTION**  
**FLOOR PLAN**  
**A1.1**



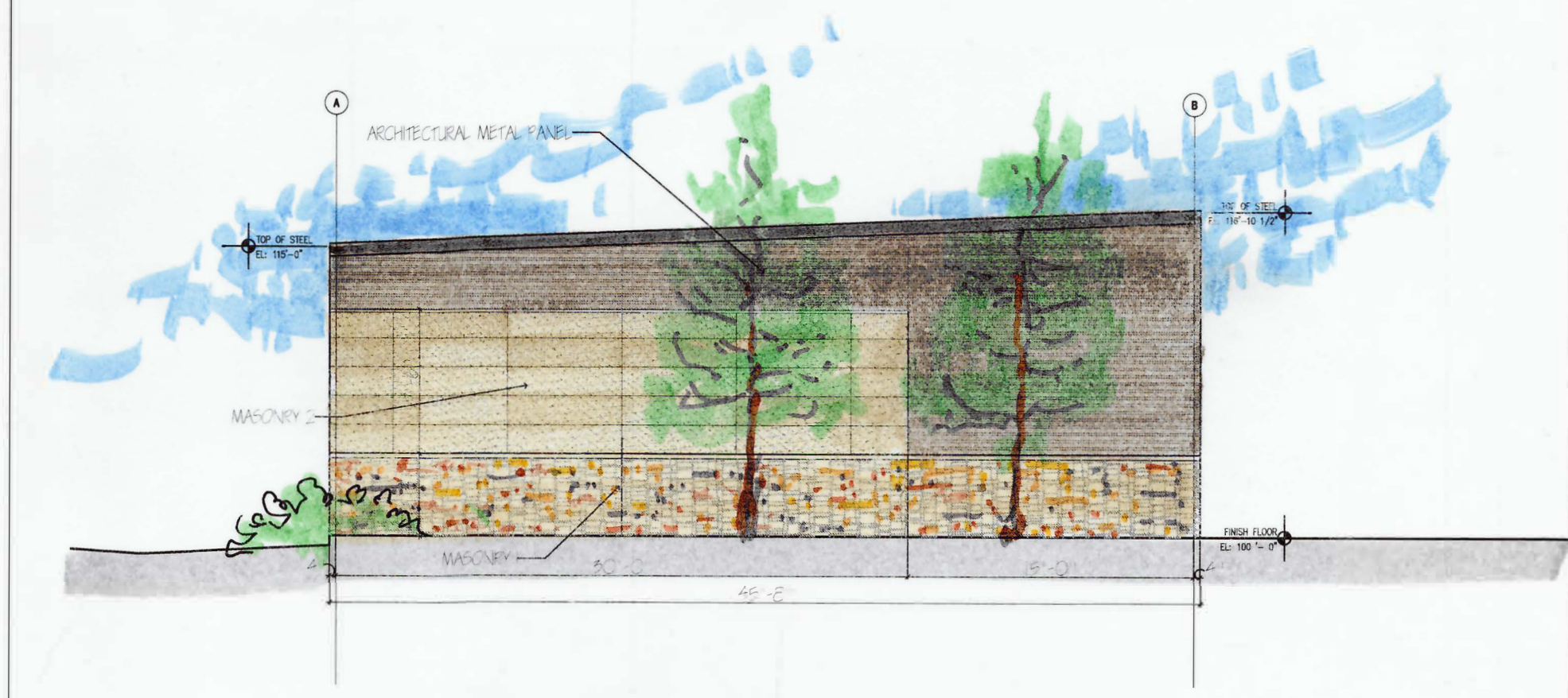
**Owner:**  
 Contractor's Garage VI, LLC  
 913-568-1134 ph

**Civil:**  
 Green Engineering, LLC  
 913-782-4040 ph

**Structural:**  
 Apex Engineers, Inc.  
 816-421-3222 ph

**Landscape Architect:**  
 Richard Clayton Barrett, LLC  
 816-362-1200 ph

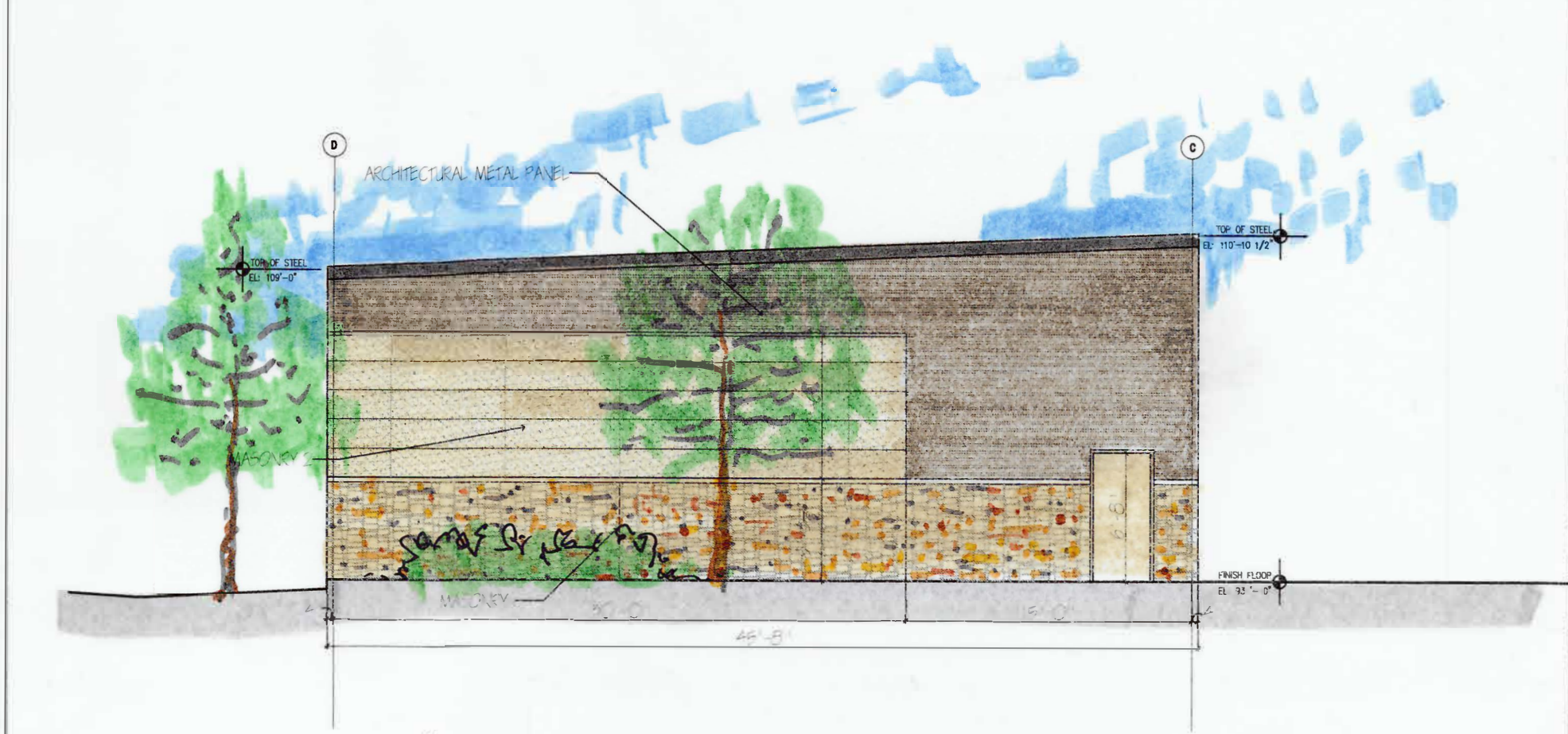
**Contractors Garage VI**  
 9501 NE 76th St  
 Kansas City, MO 64158



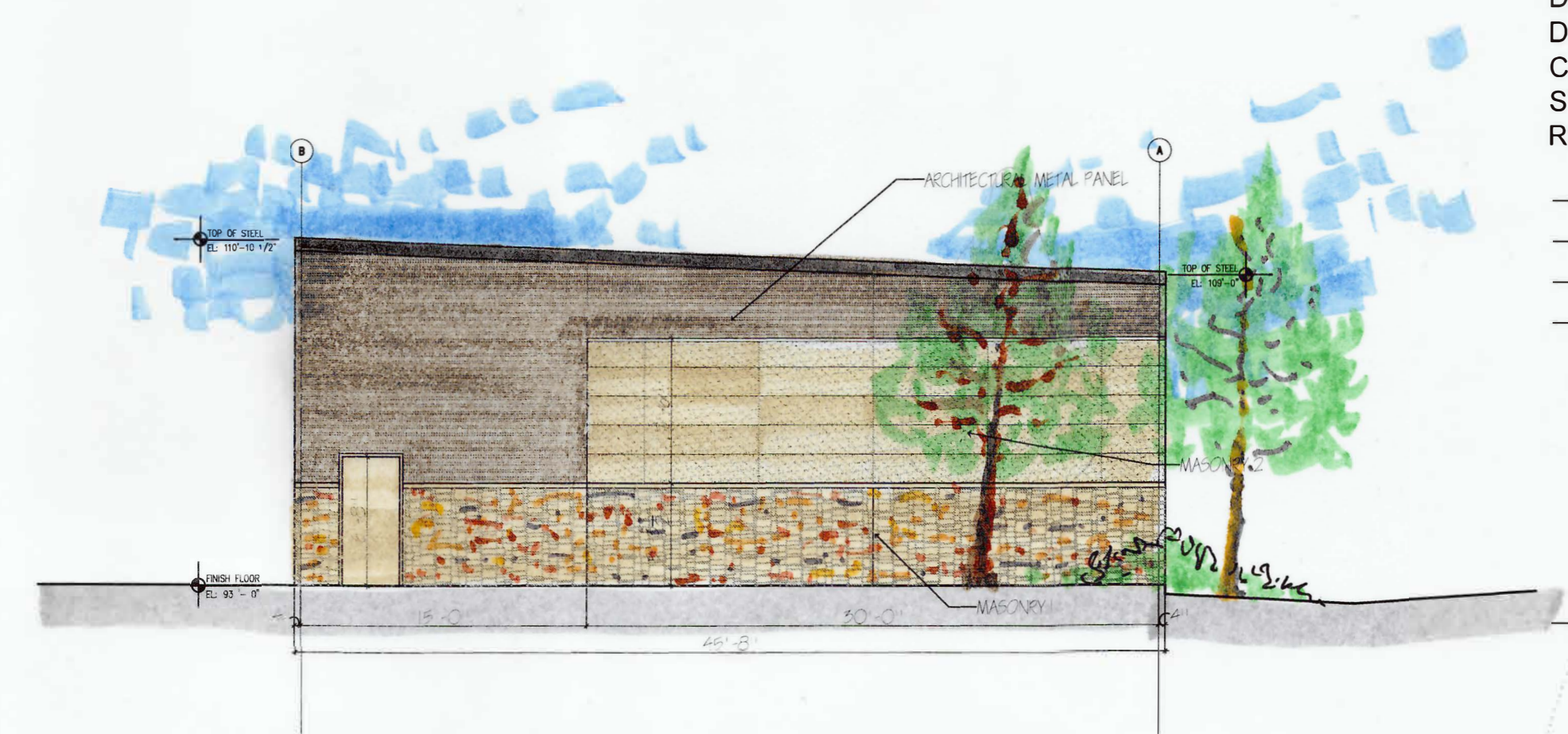
**E9 | N END ELEVATION - BUILDING 1**  
 A2.1 | 1/8" = 1'-0" | 0 2 4 8



**E17 | N END ELEVATION - BUILDING 2**  
 A2.1 | 1/8" = 1'-0" | 0 2 4 8



**A9 | S END ELEVATION - BUILDING 2**  
 A2.1 | 1/8" = 1'-0" | 0 2 4 8



**A17 | S END ELEVATION - BUILDING 1**  
 A2.1 | 1/8" = 1'-0" | 0 2 4 8

|               |             |
|---------------|-------------|
| PROJECT NO:   | 18018.00    |
| DATE:         | 1/28/18     |
| DRAWN BY:     | TJW         |
| CHECKED BY:   | TJW         |
| STATUS:       | PZ REVIEW   |
| REVISED DATE: | DESCRIPTION |
|               |             |
|               |             |
|               |             |

**ELEVATIONS**

**A2.2**





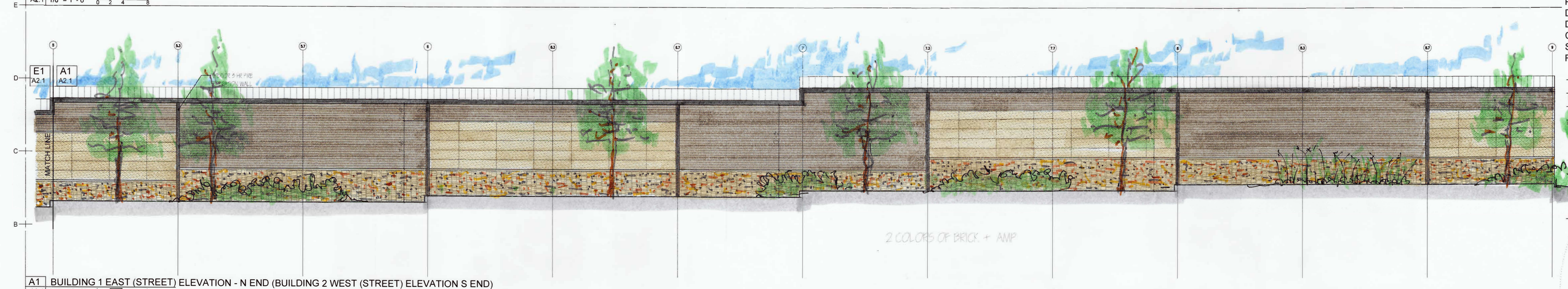
N1 BUILDING 1 WEST (DRIVE) ELEVATION - N END (BUILDING 2 EAST (DRIVE) ELEVATION S END)  
 A2.1 1/8" = 1' - 0"



J1 BUILDING 1 WEST (DRIVE) ELEVATION - S END (BUILDING 2 EAST (DRIVE) ELEVATION N END)  
 A2.1 1/8" = 1' - 0"



E1 BUILDING 1 EAST (STREET) ELEVATION - S END (BUILDING 2 WEST (STREET) ELEVATION-N END)  
 A2.1 1/8" = 1' - 0"



A1 BUILDING 1 EAST (STREET) ELEVATION - N END (BUILDING 2 WEST (STREET) ELEVATION S END)  
 A2.1 1/8" = 1' - 0"

**i·d·i** ARCHITECTURE  
 PLANNING  
 DESIGN  
 6344 Ash  
 Prairie Village, KS 66208  
 913.620.4543  
 idizinc@yahoo.com

Owner:  
 Contractor's Garage VI, LLC  
 913-568-1134 ph

Civil:  
 Green Engineering, LLC  
 913-782-4040 ph

Structural:  
 Apex Engineers, Inc.  
 816-421-3222 ph

Landscape Architect:  
 Richard Clayton Barrett, LLC  
 816-362-1200 ph

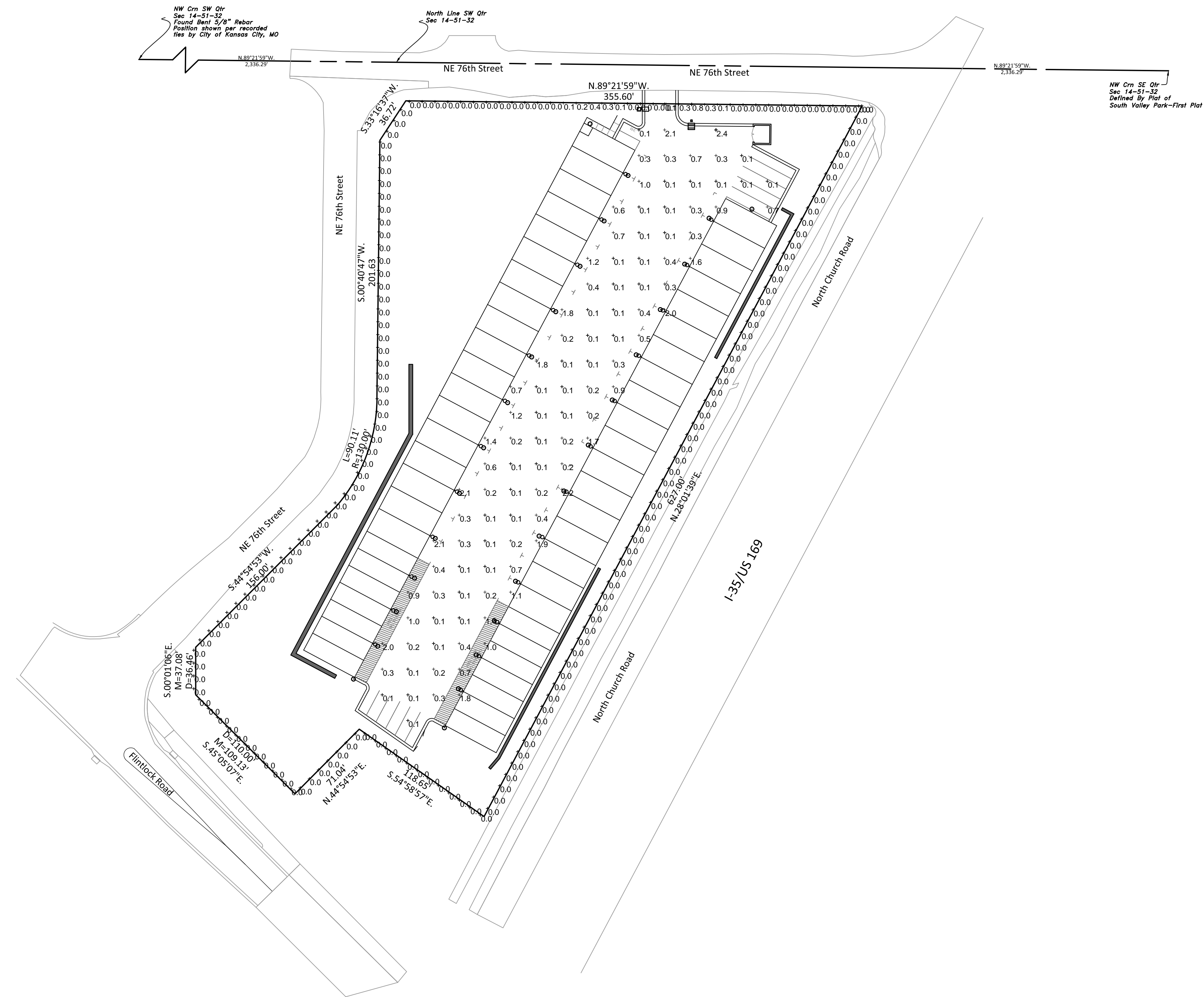
**Contractors Garage VI**  
 9501 NE 76th St  
 Kansas City, MO 64158

|               |             |
|---------------|-------------|
| PROJECT NO:   | 18018.00    |
| DATE:         | 1/28/18     |
| DRAWN BY:     | TJW         |
| CHECKED BY:   | TJW         |
| STATUS:       | PZ REVIEW   |
| REVISED DATE: | DESCRIPTION |

**ELEVATIONS**

**A2.1**





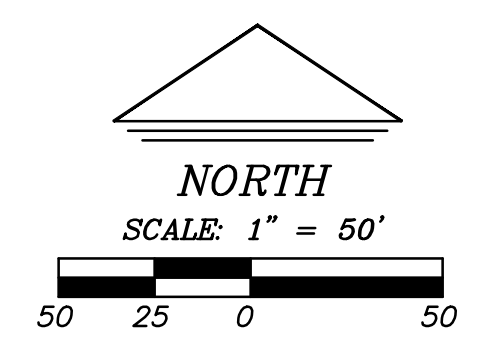
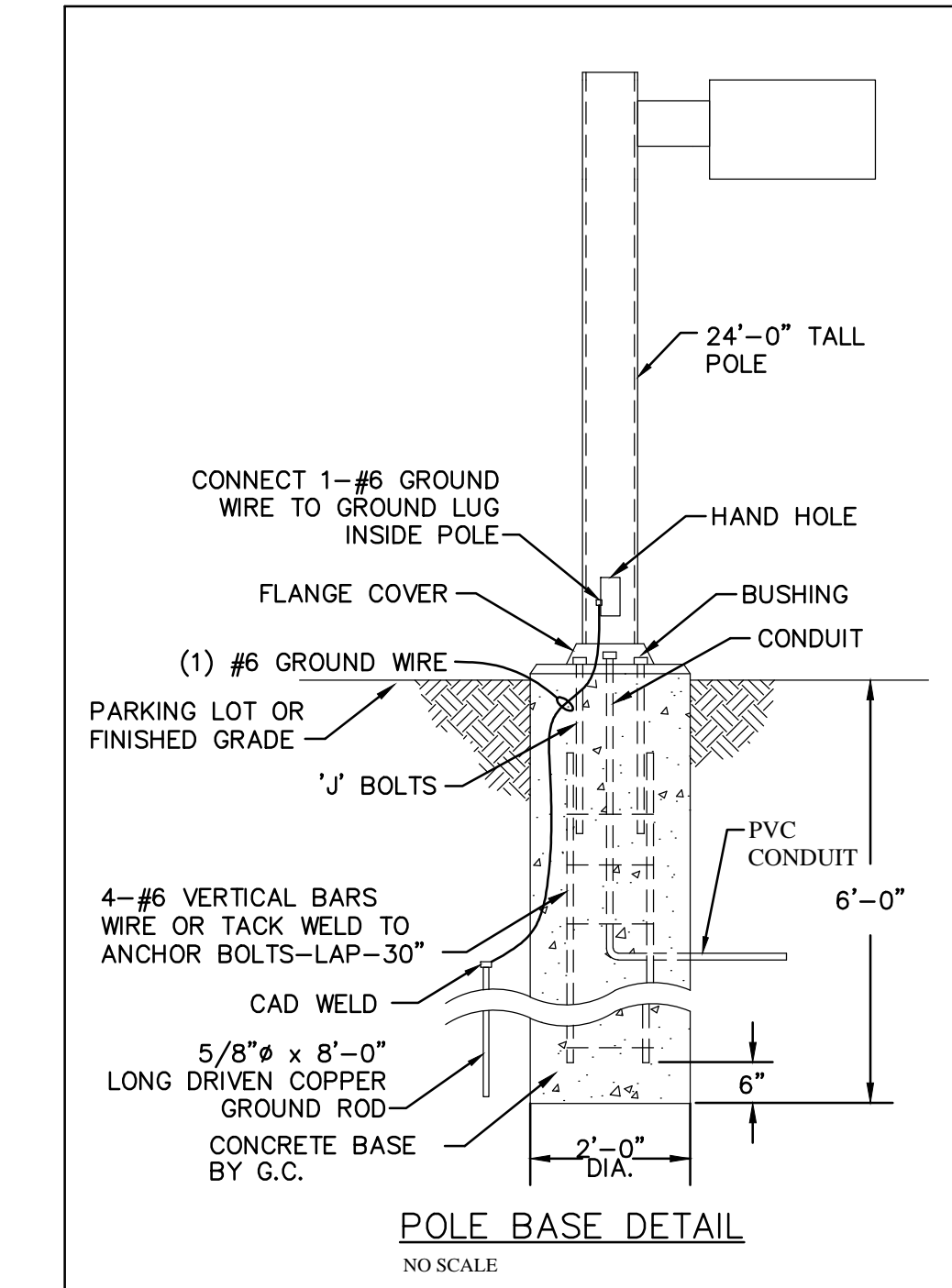
NW Crn SW Qtr  
Sec 14-51-32  
Found Steel 3/8" Rebar  
Position shown per recorded  
files by City of Kansas City, MO

North Line SW Qtr  
Sec 14-51-32

NW Crn SE Qtr  
Sec 14-51-32  
Defined By Plat of  
South Valley Park-First Plat

| LUMINAIRE SCHEDULE |       |     |                        |  |  |                            |          |      |       |
|--------------------|-------|-----|------------------------|--|--|----------------------------|----------|------|-------|
| Symbol             | Label | Qty | Catalog Number         | Description  | Lamp   | File                       | Lumens   | LLF  | Watts |
| ■                  | A     | 1   | ELA16-144L-200-NW-G2-3 | ELA Area LED, 144LED's, 4000K, Type 3 OPTIC, CLEAR GLASS LENS                    | (4) MIDAS TANGO LIGHT ARRAY OF 36 LED's (NICHIA) DRIVEN AT 200mA | ELA16-144L-200-NW-G2-3.ies | Absolute | 0.95 | 45    |
| ○                  | B     | 28  | LPW7                   | LytePro 7 LED Small Wall Sconce Cast aluminum housing, frosted plastic enclosure | (1) WHITE COB LED  | LPW7.IES                   | Absolute | 0.95 | 14    |

| STATISTICS       |        |        |        |        |         |         |
|------------------|--------|--------|--------|--------|---------|---------|
| Description      | Symbol | Avg    | Max    | Min    | Max/Min | Avg/Min |
| Parking Lot Area | +      | 0.5 fc | 2.4 fc | 0.1 fc | 24.0:1  | 5.0:1   |
| Property Line    | +      | 0.0 fc | 0.8 fc | 0.0 fc | N / A   | N / A   |



**Contractors Garage VI**  
Preliminary Plat/Development Plans  
Photometrics/Lighting

SHEET  
**C6**

**GREEN ENGINEERING, LLC**  
PO BOX 221 OLATHE, KS 66051  
PHONE: (913) 782-4040

| SEC | TWP | RNG | COUNTY | STATE | DATE       | PROJECT NO. |
|-----|-----|-----|--------|-------|------------|-------------|
| 14  | 51  | 32  | CLAY   | MO    | 02/13/2019 | 180801      |