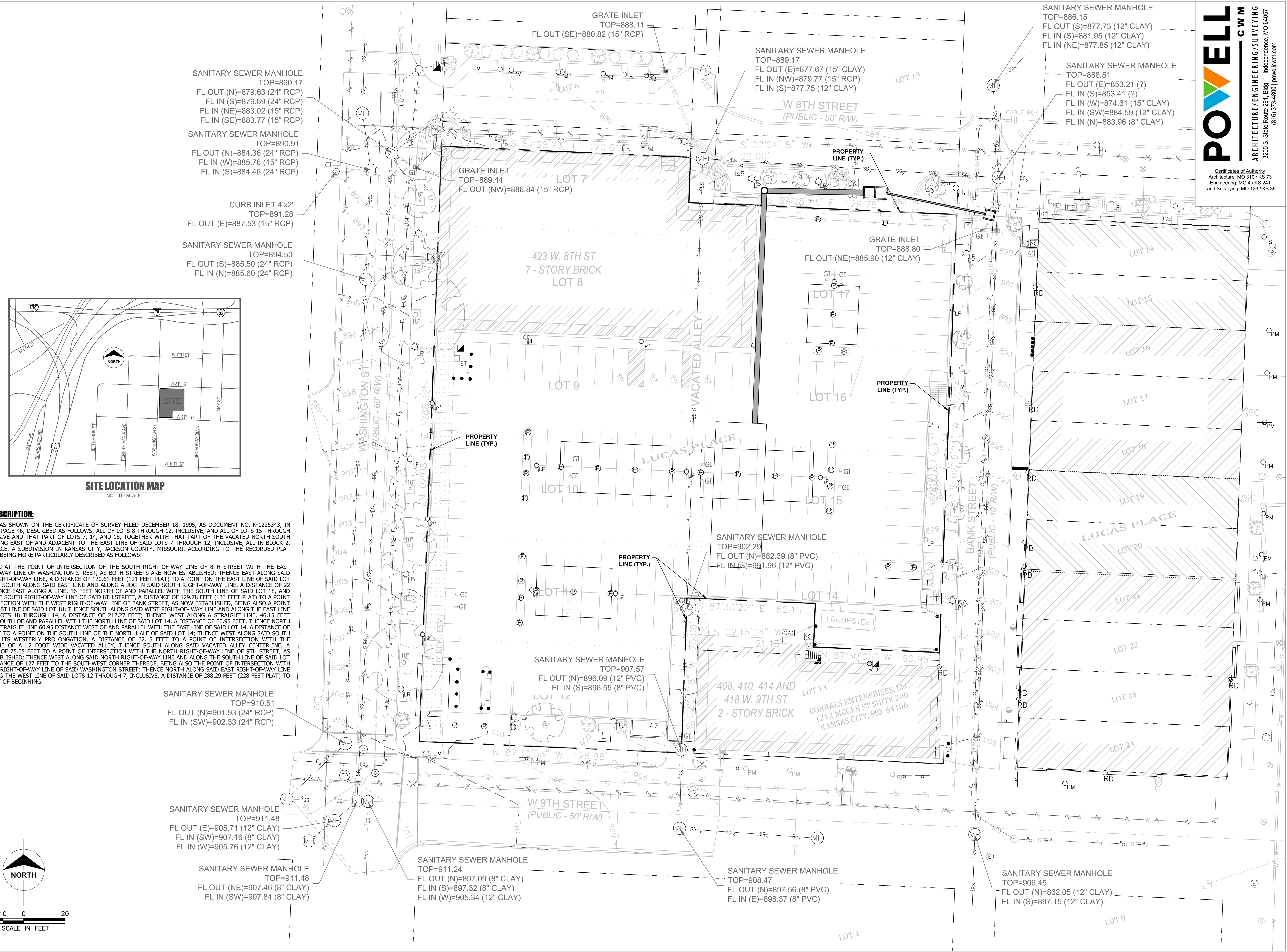


POWELL CWM
ARCHITECTURE/ENGINEERING/SURVEYING
3200 S. State Route 291, Bldg. 1, Independence, MO 64057
(816) 373-4800 | powellcwm.com

Certificates of Authority
Architecture: MO 310 / KS 73
Engineering: MO 4 / KS 241
Land Surveying: MO 123 / KS 36

Fashionbilt - Development Plan
423 W. 8TH STREET
KANSAS CITY, MO. 64105



SANITARY SEWER MANHOLE
TOP=890.17
FL OUT (N)=879.63 (24" RCP)
FL IN (S)=879.69 (24" RCP)
FL IN (NE)=883.02 (15" RCP)
FL IN (SE)=883.77 (15" RCP)

SANITARY SEWER MANHOLE
TOP=890.91
FL OUT (N)=884.36 (24" RCP)
FL IN (W)=885.76 (15" RCP)
FL IN (S)=884.46 (24" RCP)

CURB INLET 4'x2'
TOP=891.28
FL OUT (E)=887.53 (15" RCP)

SANITARY SEWER MANHOLE
TOP=894.50
FL OUT (S)=885.50 (24" RCP)
FL IN (N)=885.60 (24" RCP)

GRATE INLET
TOP=889.44
FL OUT (NW)=886.84 (15" RCP)

SANITARY SEWER MANHOLE
TOP=889.17
FL OUT (E)=877.67 (15" CLAY)
FL IN (NW)=879.77 (15" RCP)
FL IN (S)=877.75 (12" CLAY)

SANITARY SEWER MANHOLE
TOP=886.15
FL OUT (S)=877.73 (12" CLAY)
FL IN (S)=881.95 (12" CLAY)
FL IN (NE)=877.85 (12" CLAY)

SANITARY SEWER MANHOLE
TOP=888.51
FL OUT (E)=853.21 (?)
FL IN (S)=853.41 (?)
FL IN (W)=874.61 (15" CLAY)
FL IN (SW)=884.59 (12" CLAY)
FL IN (N)=883.96 (8" CLAY)

GRATE INLET
TOP=888.80
FL OUT (NE)=885.90 (12" CLAY)

SANITARY SEWER MANHOLE
TOP=902.29
FL OUT (N)=882.39 (8" PVC)
FL IN (S)=901.96 (12" PVC)

SANITARY SEWER MANHOLE
TOP=907.57
FL OUT (N)=896.09 (12" PVC)
FL IN (S)=896.55 (8" PVC)

SANITARY SEWER MANHOLE
TOP=910.51
FL OUT (N)=901.93 (24" RCP)
FL IN (SW)=902.33 (24" RCP)

SANITARY SEWER MANHOLE
TOP=911.48
FL OUT (E)=905.71 (12" CLAY)
FL IN (SW)=907.16 (8" CLAY)
FL IN (W)=905.76 (12" CLAY)

SANITARY SEWER MANHOLE
TOP=911.48
FL OUT (NE)=907.46 (8" CLAY)
FL IN (SW)=907.84 (8" CLAY)

SANITARY SEWER MANHOLE
TOP=911.24
FL OUT (N)=897.09 (8" CLAY)
FL IN (S)=897.32 (8" CLAY)
FL IN (W)=905.34 (12" CLAY)

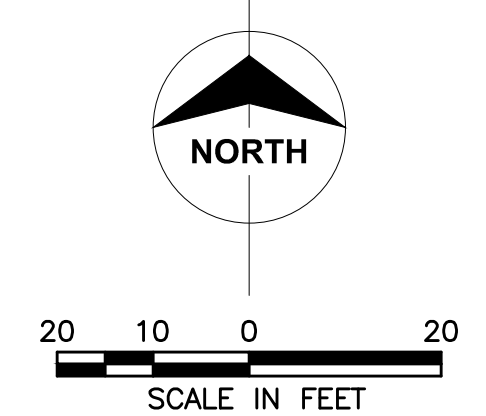
SANITARY SEWER MANHOLE
TOP=908.47
FL OUT (N)=897.56 (8" PVC)
FL IN (E)=898.37 (8" PVC)

SANITARY SEWER MANHOLE
TOP=906.45
FL OUT (N)=862.05 (12" CLAY)
FL IN (S)=897.15 (12" CLAY)



LEGAL DESCRIPTION:
TRACT A, AS SHOWN ON THE CERTIFICATE OF SURVEY FILED DECEMBER 18, 1995, AS DOCUMENT NO. K-1225343, IN BOOK S-5, PAGE 46, DESCRIBED AS FOLLOWS: ALL OF LOTS 8 THROUGH 12, INCLUSIVE, AND ALL OF LOTS 15 THROUGH 17, INCLUSIVE AND THAT PART OF LOTS 7, 14, AND 18, TOGETHER WITH THAT PART OF THE VACATED NORTH-SOUTH ALLEY, LYING EAST OF AND ADJACENT TO THE EAST LINE OF SAID LOTS 7 THROUGH 12, INCLUSIVE, ALL IN BLOCK 2, LUCAS PLACE, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE POINT OF INTERSECTION OF THE SOUTH RIGHT-OF-WAY LINE OF 8TH STREET WITH THE EAST RIGHT-OF-WAY LINE OF WASHINGTON STREET, AS BOTH STREETS ARE NOW ESTABLISHED; THENCE EAST ALONG SAID SOUTH RIGHT-OF-WAY LINE, A DISTANCE OF 120.61 FEET (121 FEET PLAT) TO A POINT ON THE EAST LINE OF SAID LOT 7; THENCE SOUTH ALONG SAID EAST LINE AND ALONG A JOG IN SAID SOUTH RIGHT-OF-WAY LINE, A DISTANCE OF 22 FEET; THENCE EAST ALONG A LINE, 16 FEET NORTH OF AND PARALLEL WITH THE SOUTH LINE OF SAID LOT 18, AND ALONG THE SOUTH RIGHT-OF-WAY LINE OF SAID 8TH STREET, A DISTANCE OF 129.78 FEET (133 FEET PLAT) TO A POINT OF INTERSECTION WITH THE WEST RIGHT-OF-WAY LINE OF BANK STREET, AS NOW ESTABLISHED, BEING ALSO A POINT ON THE EAST LINE OF SAID LOT 18; THENCE SOUTH ALONG SAID WEST RIGHT-OF-WAY LINE AND ALONG THE EAST LINE OF SAID LOTS 18 THROUGH 14, A DISTANCE OF 212.27 FEET; THENCE WEST ALONG A STRAIGHT LINE, 46.15 FEET DISTANT SOUTH OF AND PARALLEL WITH THE NORTH LINE OF SAID LOT 14, A DISTANCE OF 60.95 FEET; THENCE NORTH ALONG A STRAIGHT LINE 60.95 DISTANCE WEST OF AND PARALLEL WITH THE EAST LINE OF SAID LOT 14, A DISTANCE OF 21.25 FEET TO A POINT ON THE SOUTH LINE OF THE NORTH HALF OF SAID LOT 14; THENCE WEST ALONG SAID SOUTH LINE AND ITS WESTERLY PROLONGATION, A DISTANCE OF 62.15 FEET TO A POINT OF INTERSECTION WITH THE CENTERLINE OF A 12 FOOT WIDE VACATED ALLEY, THENCE SOUTH ALONG SAID VACATED ALLEY CENTERLINE, A DISTANCE OF 75.05 FEET TO A POINT OF INTERSECTION WITH THE NORTH RIGHT-OF-WAY LINE OF 9TH STREET, AS NOW ESTABLISHED; THENCE WEST ALONG SAID NORTH RIGHT-OF-WAY LINE AND ALONG THE SOUTH LINE OF SAID LOT 12, A DISTANCE OF 127 FEET TO THE SOUTHWEST CORNER THEREOF, BEING ALSO THE POINT OF INTERSECTION WITH THE EAST RIGHT-OF-WAY LINE OF SAID WASHINGTON STREET; THENCE NORTH ALONG SAID EAST RIGHT-OF-WAY LINE AND ALONG THE WEST LINE OF SAID LOTS 12 THROUGH 7, INCLUSIVE, A DISTANCE OF 288.29 FEET (228 FEET PLAT) TO THE POINT OF BEGINNING.



NOT FOR CONSTRUCTION

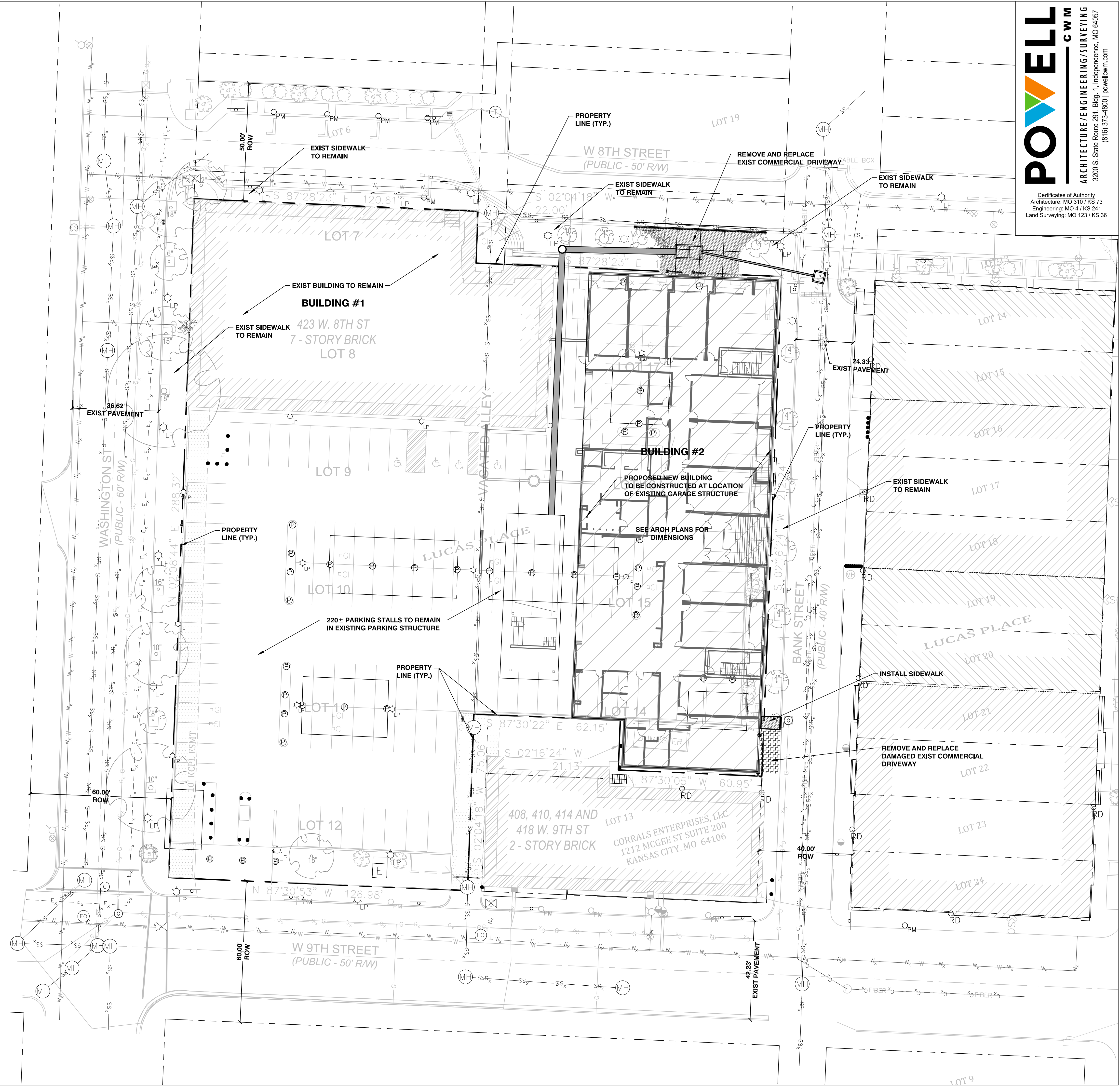
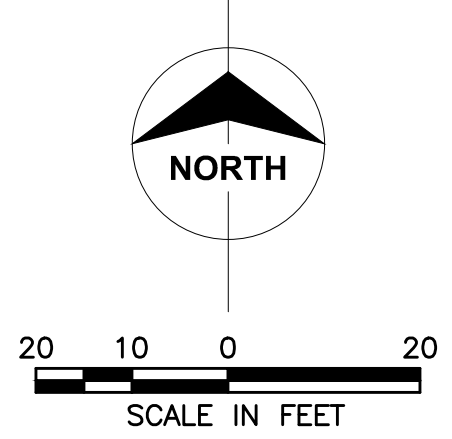
REV ISSUE DATE
City Submittal 2021 09 03

EXISTING CONDITIONS
CO.10

Development Summary Table	
Item	Description
a Zoning	
Existing =	DC-15
Proposed =	DC-15
b Total Land Area	
Existing =	1,410 AC
Proposed =	1,410 AC
c Right-of-way Land Area	
Existing =	0.00 AC
Proposed =	0.00 AC
d Net Land Area	
Existing =	1,410 AC
Proposed =	1,410 AC
e Proposed Building Use	
Building 1	
Apartments	89,600 SF
Building 2	
Apartments	208,300 SF
f Structure Height & Number of Floors	
Building 1 =	90 FT
	8 Floors
Building 2 =	138 FT
	9 Floors
g Gross Floor Area & Units	
Building #1	
Basement	12,800 SF
	5 Rooms
Level 1	12,800 SF
	15 Rooms
Level 2	12,800 SF
	15 Rooms
Level 4	12,800 SF
	16 Rooms
Level 5	12,800 SF
	16 Rooms
Level 6	12,800 SF
	16 Rooms
Level 7	12,800 SF
	15 Rooms
Building #1 Total =	89,600 SF
Building #1 Total =	98 Rooms
Building #2	
Basement	10,000 SF
	6 Rooms
Level 1	24,800 SF
	10 Rooms
Level 2	24,800 SF
	14 Rooms
Level 3	24,800 SF
	14 Rooms
Level 4	24,800 SF
	14 Rooms
Level 5	24,800 SF
	14 Rooms
Level 6	24,800 SF
	14 Rooms
Level 7	24,800 SF
	14 Rooms
Level 8	12,350 SF
	12 Rooms
Level 9	12,350 SF
	12 Rooms
Building #2 Total =	208,300 SF
Building #2 Total =	124 Rooms
Project Total =	297,900 SF
Project Total =	222 Rooms
h Building Coverage & Floor Ratio	
FAR =	4.85
i Gross & Net Density	
Gross Density	157.45 Units/Acre
Net Density	157.45 Units/Acre
j Vehicle Parking	
Ratio (Lodging) =	N/A (DC Zoning District)
Required Spaces =	0
Planned Spaces =	200
k Bike Parking	
Short term Ratio =	10% of Veh. Parking (3 min.)
Required Spaces =	20
Provided Spaces =	20
Long term Ratio =	1 (+1 per 30 rooms)
Required Spaces =	9
Provided Spaces =	36
l Construction Timeline	
Begin =	3/1/2022
Construction =	24 months
Completion =	3/31/2024
m Amendments to Development Plan	
	None

NOTE:

- ALL EXISTING PERIMETER LANDSCAPE AND STREET TO REMAIN. PROTECT IN PLACE.
- SHORT TERM AND LONG TERM BICYCLE PARKING IS ACCOUNTED FOR IN THE LOWER LEVELS OF EACH BUILDING.
- THE EXISTING GRADES ON THE SITE WILL NOT BE MODIFIED AND THE NEW BUILDING SHALL MATCH EXISTING GRADES THEREFORE A GRADING PLAN IS NOT PROVIDED.
- THE DEVELOPER ELECTS TO PAY THE CITY OF KANSAS CITY, MISSOURI, IN LIEU OF REQUIRED PARKLAND DEDICATING FOR 222 MULTI-FAMILY UNITS PURSUANT TO SECTION 88-408 OF THE ZONING AND DEVELOPMENT CODE.
- 8TH STREET IS AN IMAGE STREET PER THE KANSAS CITY DOWNTOWN STREETScape MASTER PLAN AND THE EXISTING CONDITION INCLUDES THE REQUIRED ELEMENTS OF THE MASTER PLAN.



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Certificates of Authority
 Architecture: MO 310 / KS 73
 Engineering: MO 4 / KS 241
 Land Surveying: MO 123 / KS 36

Fashionbilt – Development Plan

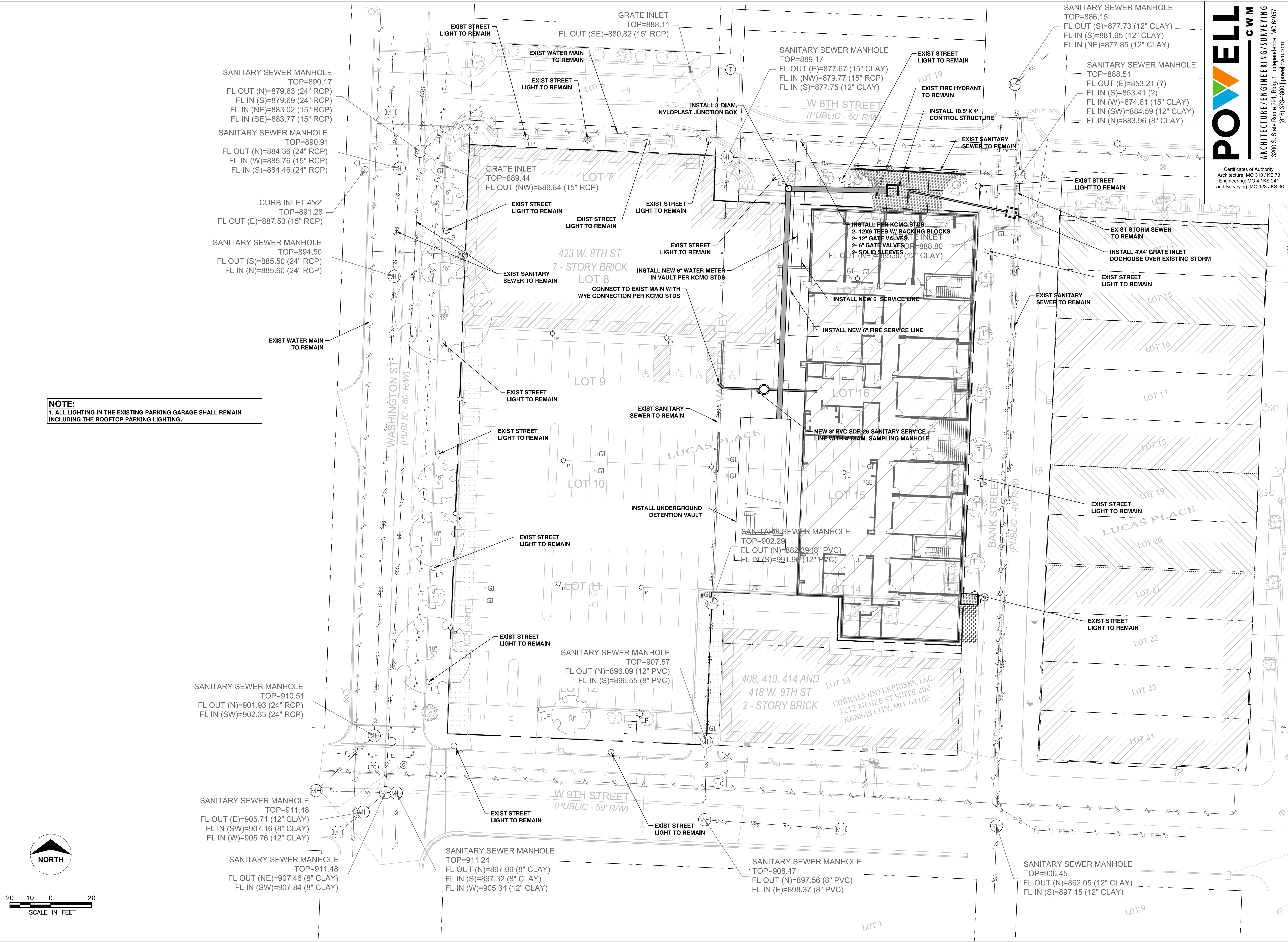
423 W. 8TH STREET
 KANSAS CITY, MO, 64105

NOT FOR CONSTRUCTION

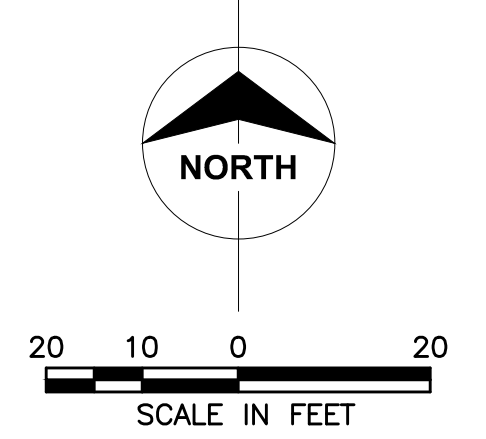
REV	ISSUE	DATE
1	City Submittal	2021 09 03

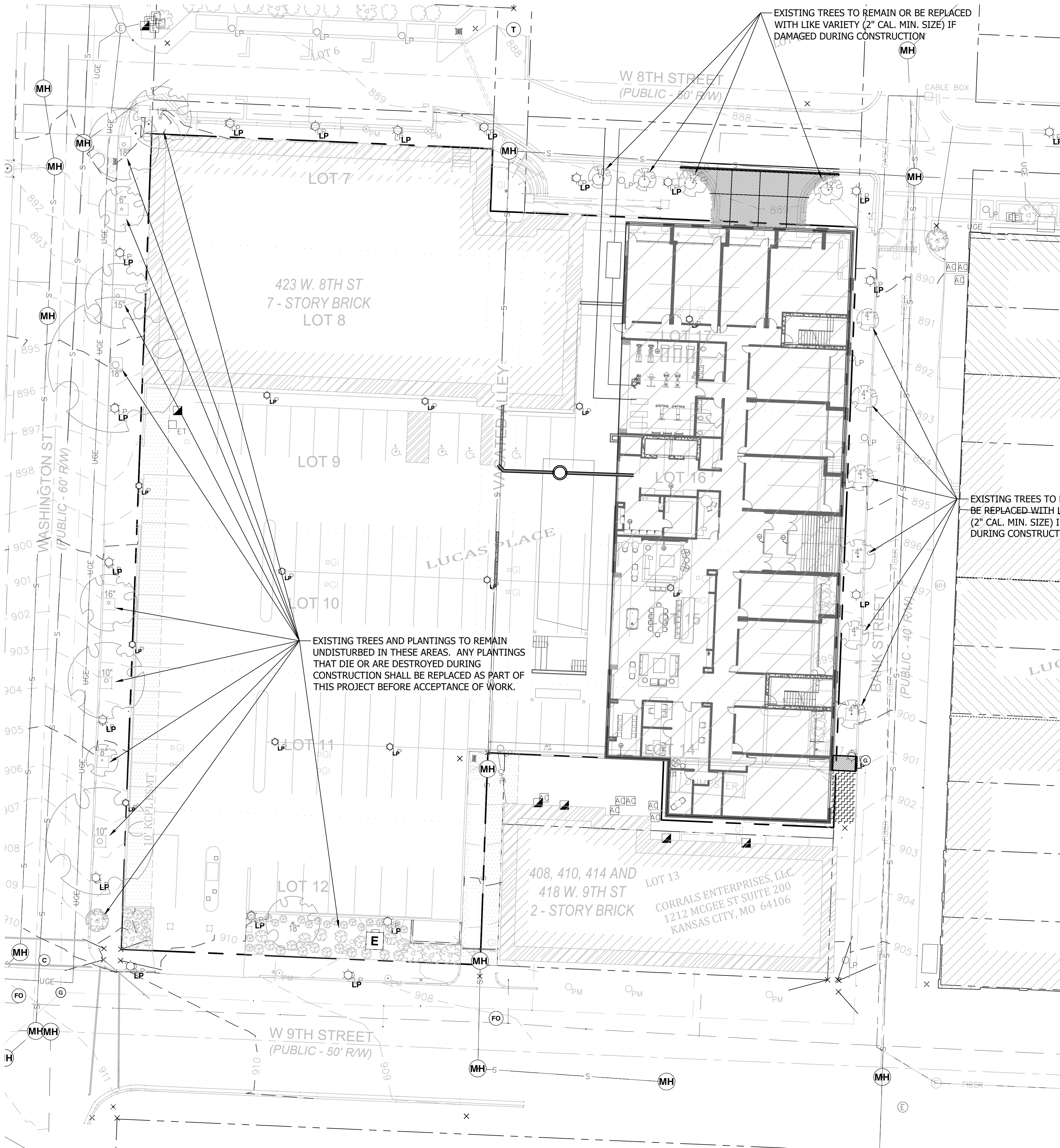
NOT FOR CONSTRUCTION

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City Submittal 2021 09 03



NOTE:
1. ALL LIGHTING IN THE EXISTING PARKING GARAGE SHALL REMAIN INCLUDING THE ROOFTOP PARKING LIGHTING.





EXISTING TREES TO REMAIN OR BE REPLACED WITH LIKE VARIETY (2" CAL. MIN. SIZE) IF DAMAGED DURING CONSTRUCTION

EXISTING TREES TO REMAIN OR BE REPLACED WITH LIKE VARIETY (2" CAL. MIN. SIZE) IF DAMAGED DURING CONSTRUCTION

EXISTING TREES AND PLANTINGS TO REMAIN UNDISTURBED IN THESE AREAS. ANY PLANTINGS THAT DIE OR ARE DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AS PART OF THIS PROJECT BEFORE ACCEPTANCE OF WORK.

LANDSCAPE CALCULATIONS:

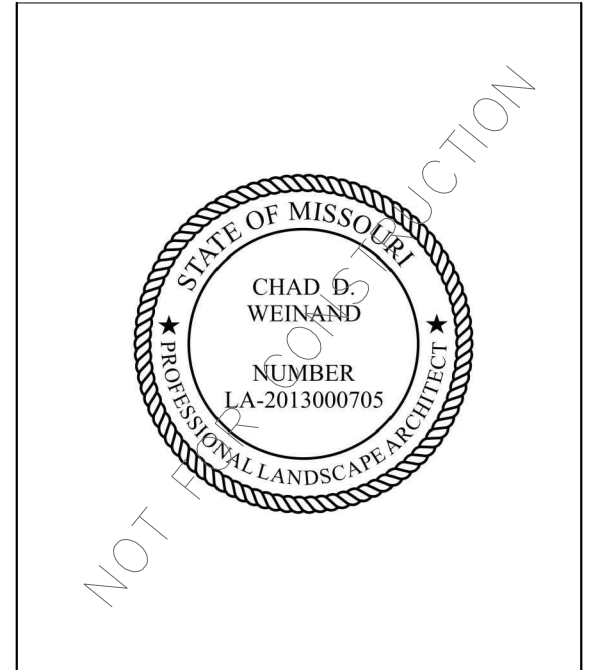
88-425-03 - STREET TREES
C. STREET TREES - ONE 2" CALIPER TREE PER 30 LF OF FRONTAGE
NORTH (W. 8TH ST.) 88.48 LF / 30 = 3 TREES REQ'D (4 EXISTING)
EAST (BANK ST.) 209.49 LF / 30 = 7 TREES REQ'D (6 EXISTING)

LANDSCAPE PLAN NOTES:

- Existing underground (u/g), overhead (o.h.) utilities and drainage structures have been plotted from available information and therefore, their locations must be considered approximate only. It is the responsibility of the contractors to verify existence and location of all utilities before starting any work.
- No substitutions for variety or cultivars shall be accepted without first obtaining written approval from Owner's Representative.
- All plant material shall be of excellent quality, free of disease and infestation, and true to type, variety, size specified, and form per American Nursery Association Standards (z60.1).
- Contractor shall thoroughly water in each plant immediately following installation.
- Proposed trees shall not be placed over existing or proposed utility service lines. It is the contractor's responsibility to understand utility locations and have them marked during tree planting operations. If utility is damaged during planting, contractor is responsible for notifying the general contractor and owner of utility and paying for repair of the damaged utility.
- Plant materials which exhibit evidence of insect pests, disease and/or damage must be appropriately treated. Dead plants must be promptly removed and replaced.

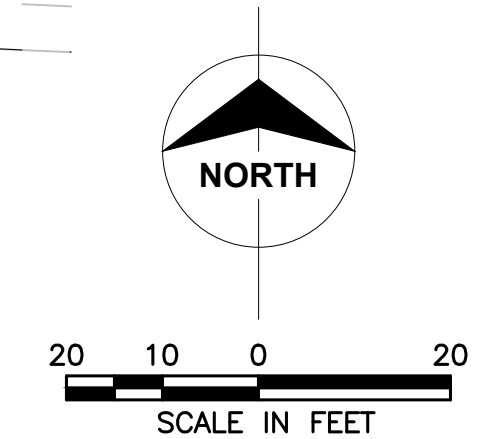
Fashionbilt - Final Development Plan

423 W. 8TH STREET
KANSAS CITY, MO, 64105



REV	ISSUE	DATE
	City Submittal	2021 09 03
	FDP Submittal	2022 06 30

1 LANDSCAPE & STREET TREE PLAN
1" = 20'



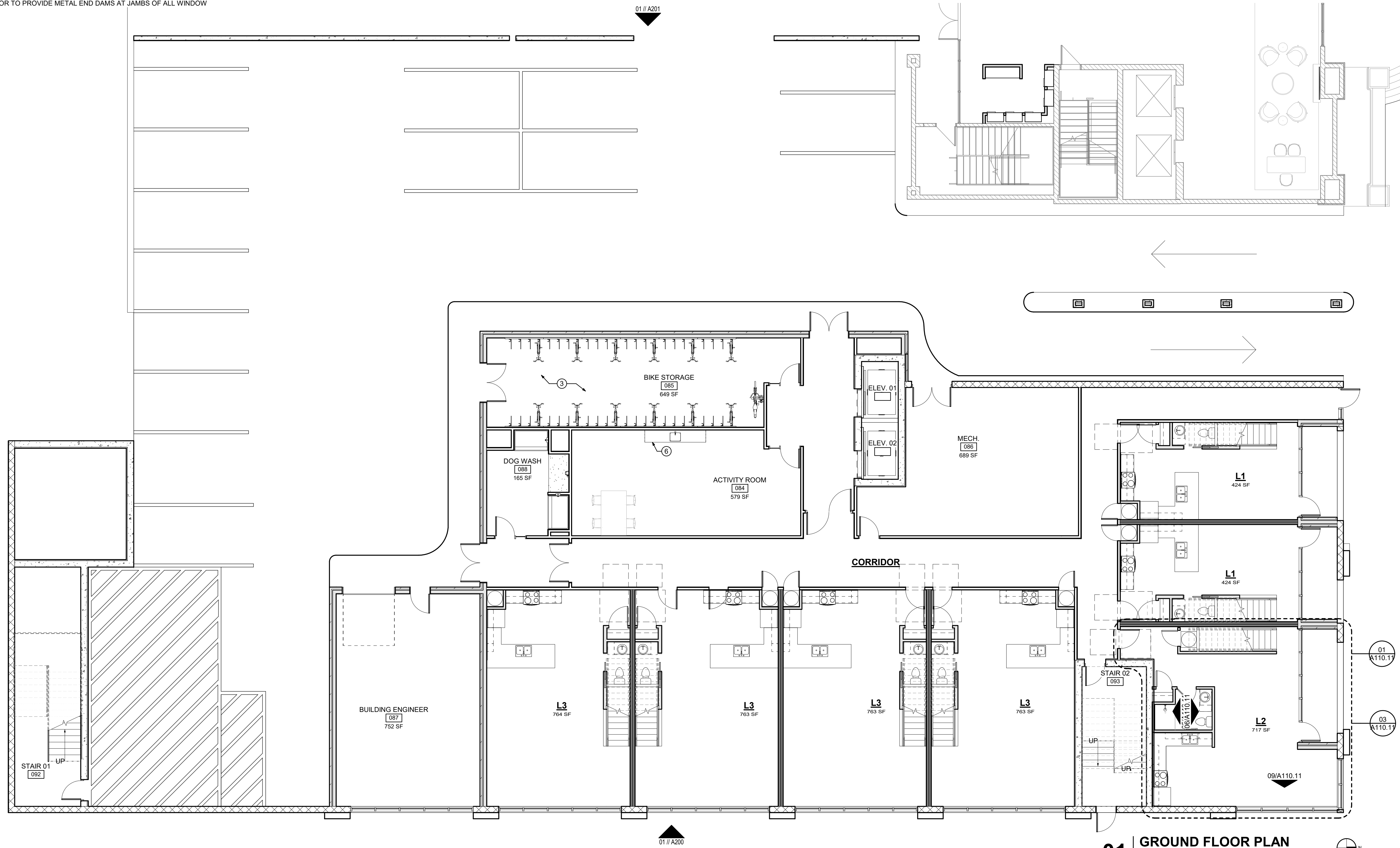
Chad D. Weinand, PLA, ASLA
Landscape Architecture
15173 W. 157th Terrace, Olathe, Kansas 66062
913.484.3738 - cweinand74@gmail.com
Copyright 2021

GENERAL NOTES-FLOOR PLAN

- A. ALL DIMENSIONS TO EXISTING ITEMS ARE +/-
- B. ALL WALLS TO BE P1 WALL TYPE UNLESS TAGGED OTHERWISE.
- C. WINDOWS ARE TO BE CENTERED UNLESS DIMENSIONED OTHERWISE.
- D. PROVIDE CONDUIT AND PULL STRING FOR IT/AV/SECURITY WORK AS REQUIRED.
- E. COORDINATE WITH MEP & IT/AV/SECURITY.
- F. EGRESS DOORS TO HAVE MINIMUM WIDTH 32" BETWEEN THE FACE OF DOOR AND THE STOP WHEN OPEN 90°
- G. CONFIRM DIMMERS AND SWITCHING WITH MEP
- H. CONTRACTOR TO COORDINATE ALL MEP AND STRUCTURAL REQUIREMENTS.
- I. CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND PROVIDING ALL BLOCKING AS REQUIRED FOR KITCHEN EQUIPMENT, TENANT PROVIDED TV, LIGHT FIXTURES, RESTROOM ACCESSORIES, ETC.
- J. REFER TO SHEET A001 FOR ALL WALL TYPES AND WALL TYPE DETAILS.
- K. ALL EXTERIOR WALL DIMENSIONS ARE TAKEN FROM EXTERIOR FACE OF MASONRY IN MASONRY WALLS, AND EXTERIOR FACE OF SHEATHING (EDGE OF SLAB) ON ALL OTHER WALLS. INTERIOR WALLS ARE DIMENSIONED TO FACE OF STUD.
- L. DIMENSIONS FOR INTERIOR PARTITIONS ARE TO OUTSIDE FACE OF WALL FINISH.
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- Q. CONTRACTOR TO ENSURE PROJECT SITE IS SECURE AFTER BUSINESS HOURS 6AM - 5PM MONDAY THROUGH FRIDAY.
- R. CONTRACTOR TO PROVIDE METAL END DAMS AT JAMBS OF ALL WINDOW OPENINGS.

FLOOR PLAN KEYNOTES

- 1. NEW ANODIZED ALUMINUM STOREFRONT GLAZING SYSTEM WITH 1" INSULATED GLASS. FRAME PROFILE AND FINISH TO MATCH EXISTING SYSTEM.
- 2. RECESSED MAILBOXES.
- 3. WALL MOUNTED BIKE RACK. 4 BIKES PER RACK.
- 4. WALL MOUNTED TV ON BRACKET. PROVIDE 3/4" FIRE RETARDANT PLYWOOD BLOCKING IN WALL. PROVIDE POWER / DATA / CABLE PER MEP.
- 5. PROVIDE PLUMBING SUPPLY & WASTE LINES FOR EQUIPMENT. LOCATE FLOOR DRAINS UNDER ALL UC ICE MAKERS (AS REQUIRED).



01 GROUND FLOOR PLAN
1/8" = 1'-0"

Fashionbilt - New Building

XXXX STREET NAME,
CITY, STATE, XXXXXX

REV	ISSUE	DATE
1	40% DD	2021 07 01
2	45% DD	2021 07 12
3	50% DD	2021 07 23

GROUND FLOOR PLAN

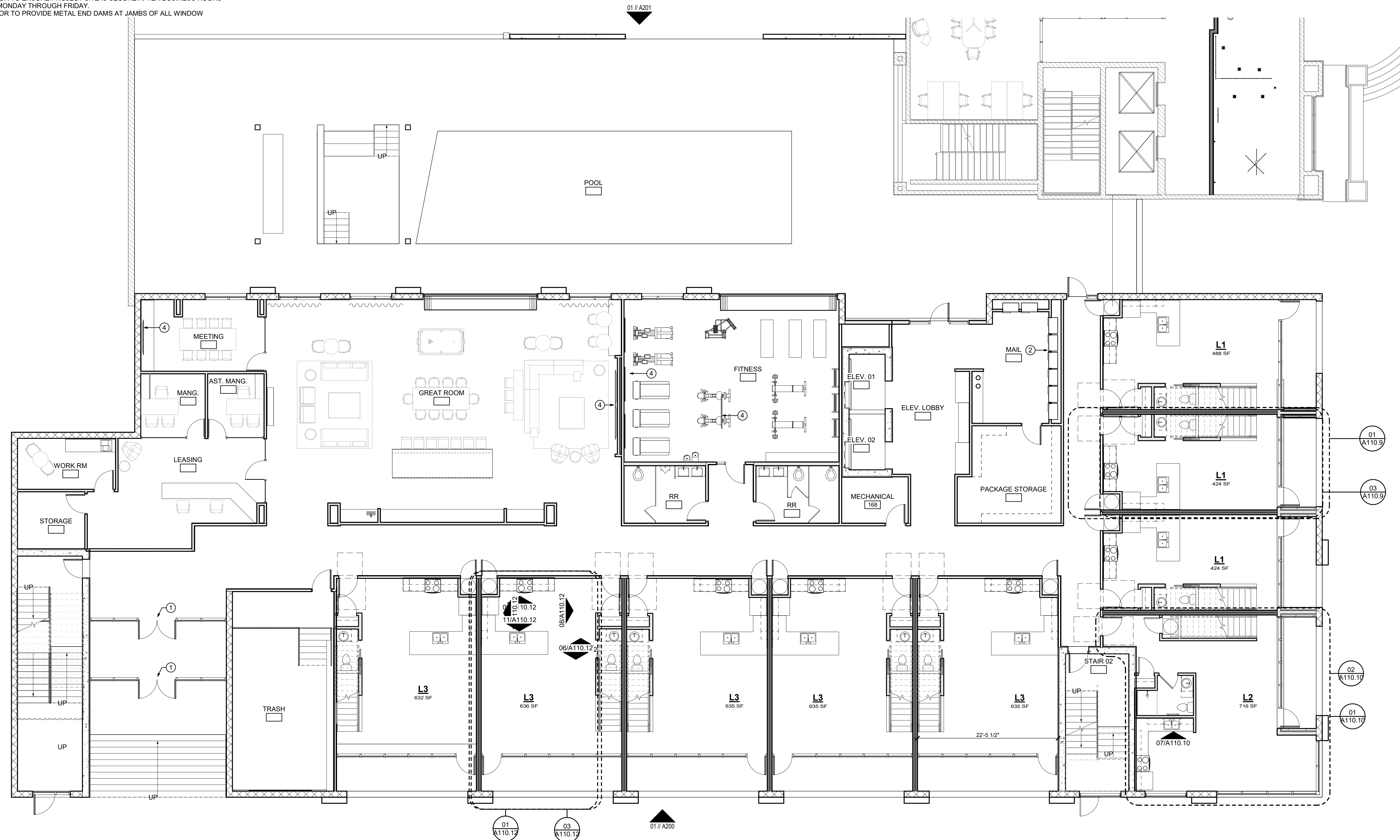
A100

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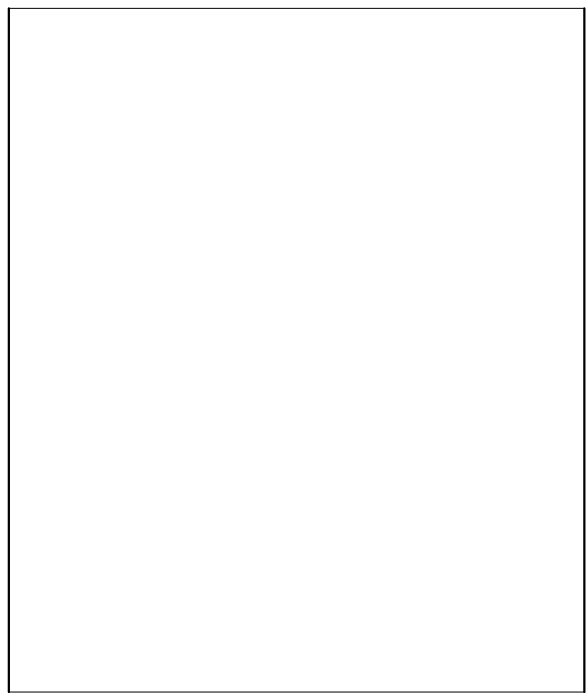
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Fashionbilt - New Building

XXXX STREET NAME,
CITY, STATE, XXXXX



REV	ISSUE	DATE
	30% DD	2021 06 24
	40% DD	2021 07 01
	45% DD	2021 07 12
	50% DD	2021 07 23

01 | FIRST FLOOR PLAN
1/8" = 1'-0"

FIRST FLOOR PLAN

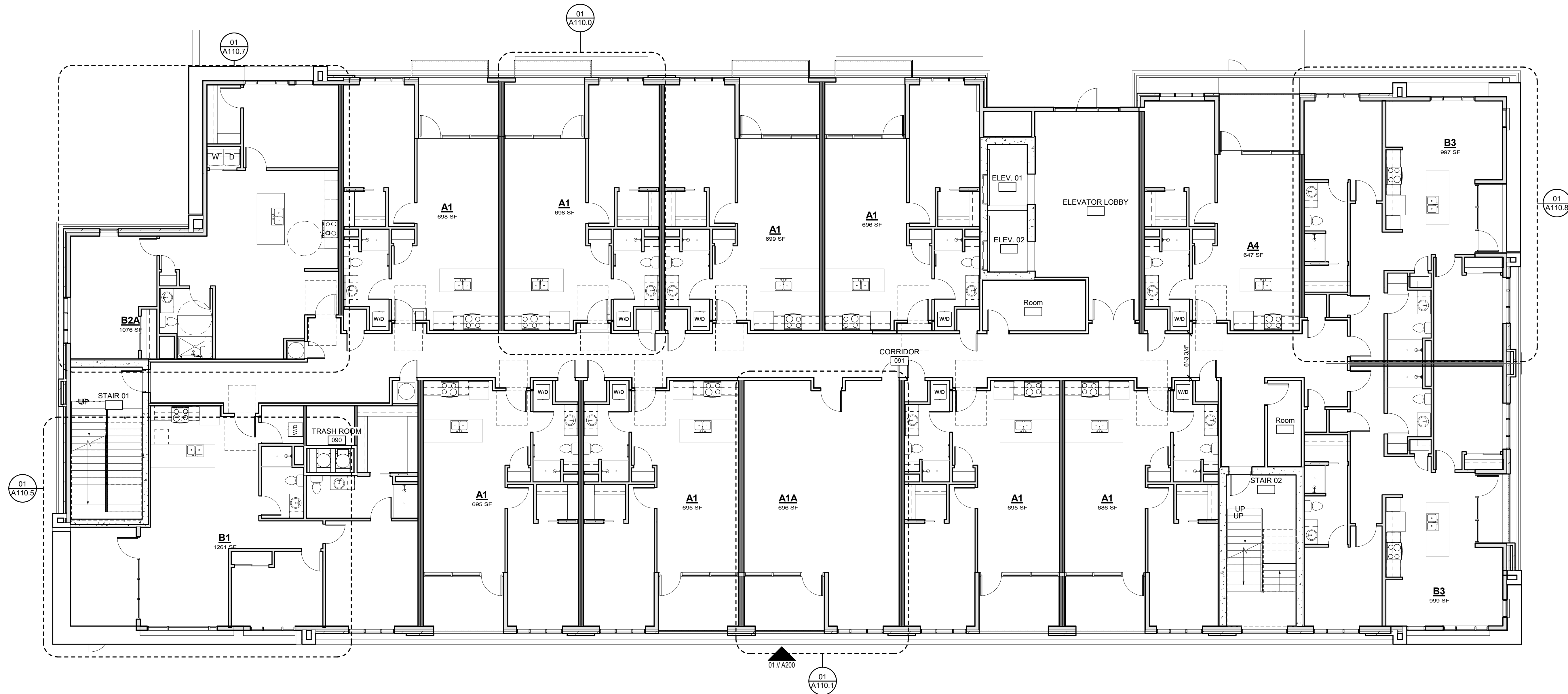
A101

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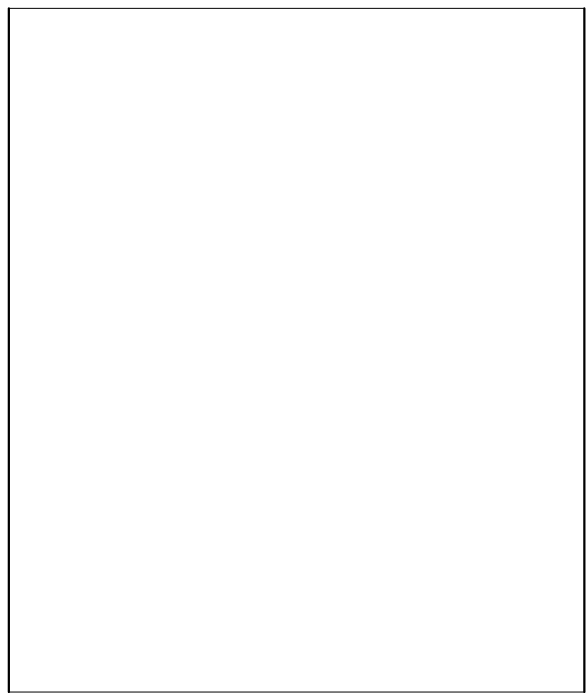
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Fashionbilt - New Building

XXXX STREET NAME,
CITY, STATE, XXXXX



REV	ISSUE	DATE
01	30% DD	2021 06 24
02	40% DD	2021 07 01
03	45% DD	2021 07 12
04	50% DD	2021 07 23

01 SECOND - SEVENTH FLOOR PLAN
1/8" = 1'-0"

SECOND - SEVENTH FLOOR PLAN

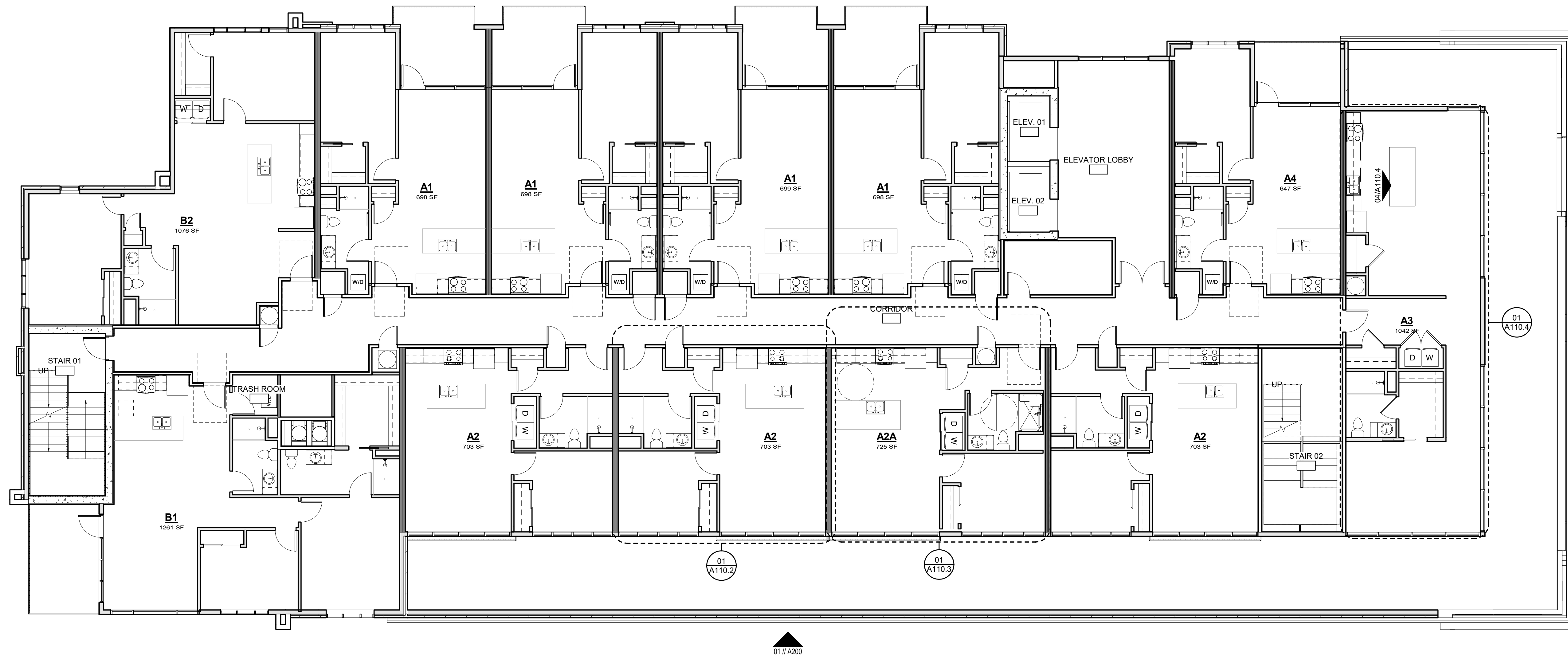
A102

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- D. PROVIDE CONDUIT AND PULL STRING FOR IT/AV/SECURITY WORK AS REQUIRED. COORDINATE WITH MEP & IT/AV/SECURITY.
- E. EGRESS DOORS TO HAVE MINIMUM WIDTH 32" BETWEEN THE FACE OF DOOR AND THE STOP WHEN OPEN 90°
- F. CONFIRM DIMMERS AND SWITCHING WITH MEP.
- G. CONTRACTOR TO COORDINATE ALL MEP AND STRUCTURAL REQUIREMENTS.
- H. CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND PROVIDING ALL BLOCKING AS REQUIRED FOR KITCHEN EQUIPMENT, TENANT PROVIDED TV, LIGHT FIXTURES, RESTROOM ACCESSORIES, ETC.
- I. REFER TO SHEET A001 FOR ALL WALL TYPES AND WALL TYPE DETAILS.
- J. ALL EXTERIOR WALL DIMENSIONS ARE TAKEN FROM EXTERIOR FACE OF MASONRY IN MASONRY WALLS, AND EXTERIOR FACE OF SHEATHING (EDGE OF SLAB) ON ALL OTHER WALLS. INTERIOR WALLS ARE DIMENSIONED TO FACE OF STUD.
- K. DIMENSIONS FOR INTERIOR PARTITIONS ARE TO OUTSIDE FACE OF WALL FINISH.
- L. REFER TO CIVIL FOR ALL SITE RELATED FILL AND GRADING REQUIREMENTS.
- M. CONTRACTOR TO COORDINATE ALL STRUCTURAL, CIVIL, MEP, IT/AV/SECURITY & HISTORICAL REQUIREMENTS, WITH ELECTRICAL & OWNER'S IT/AV/SECURITY VENDOR.
- N. CONTRACTOR SHALL COORDINATE ALL UNDERSLAB / TRENCHED ITEMS AS REQUIRED.
- O. CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND PROVIDING ALL BLOCKING AS REQUIRED FOR KITCHEN EQUIPMENT, CABINETS, TENANT PROVIDED LCDS, LIGHT FIXTURES, RESTROOM ACCESSORIES, ETC.
- P. CONTRACTOR TO ENSURE PROJECT SITE IS SECURE AFTER BUSINESS HOURS 6AM - 5PM MONDAY THROUGH FRIDAY
- Q. CONTRACTOR TO PROVIDE METAL END DAMS AT JAMBS OF ALL WINDOW OPENINGS.

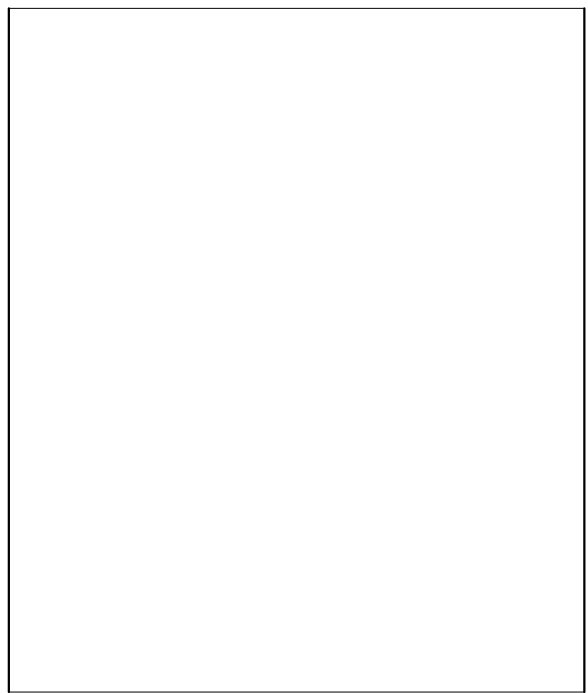
FLOOR PLAN KEYNOTES

- 1. NEW ANODIZED ALUMINUM STOREFRONT GLAZING SYSTEM WITH 1" INSULATED GLASS. FRAME PROFILE AND FINISH TO MATCH EXISTING SYSTEM.
- 2. RECESSED MAILBOXES.
- 3. WALL MOUNTED BIKE RACK. 4 BIKES PER RACK.
- 4. WALL MOUNTED TV ON BRACKET. PROVIDE 3/4" FIRE RETARDANT PLYWOOD BLOCKING IN WALL. PROVIDE POWER / DATA / CABLE PER MEP.
- 6. PROVIDE PLUMBING SUPPLY & WASTE LINES FOR EQUIPMENT. LOCATE FLOOR DRAINS UNDER ALL UC ICE MAKERS (AS REQUIRED).



Fashionbilt - New Building

XXXX STREET NAME
CITY, STATE, XXXXX



REV	ISSUE	DATE
	30% DD	2021 06 24
	40% DD	2021 07 01
	45% DD	2021 07 12
	50% DD	2021 07 23

01 | EIGHTH & NINTH FLOOR PLAN
1/8" = 1'-0"

EIGHTH & NINTH FLOOR PLAN

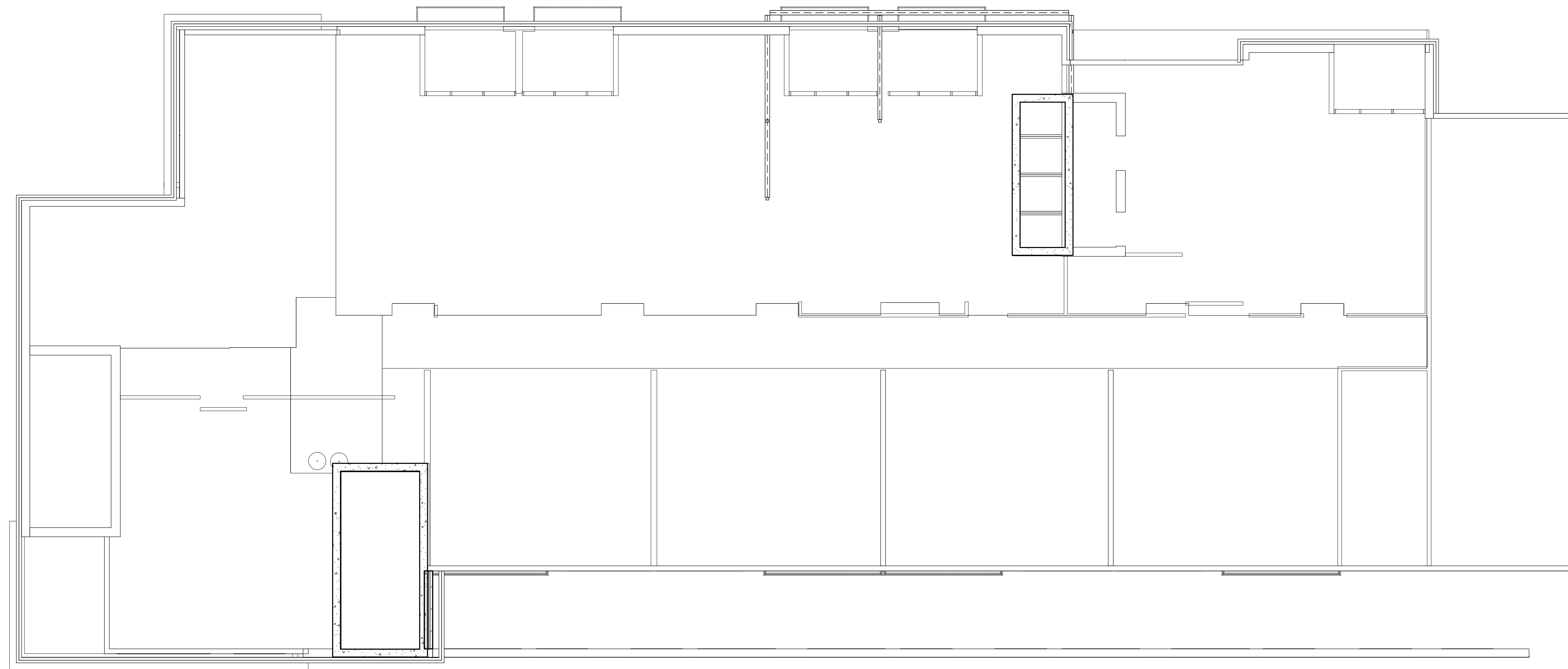
A103

GENERAL NOTES-ROOF PLAN

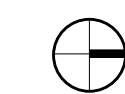
- A. PROVIDE BOOTS AT ALL RTU'S AND SLEEVES AT ALL ROOF PENETRATIONS. INSTALL PER MANUFACTURERS INSTALLATION INSTRUCTIONS.
- B. COORDINATE RTU CURB AND REINFORCEMENT WITH STRUCTURAL
- C. PROVIDE CRICKET (ISO OR EPS) AT HIGH SIDE OF ALL RTU'S
- D. PROVIDE MINIMUM INSULATION VALUES FOR CLIMATE ZONE PER GENERAL INFORMATION / CODE REVIEW.
- E. AT PARAPET WALL CAP, PROVIDE BRONZE ANODIZED ALUMINUM BRAKE METAL WALL CAP WITH CONTINUOUS CLEAT ON BOTH SIDES. RE: SMACNA ARCHITECTURAL SHEET METAL MANUAL 2003 FIGURE3-4A. SEALANT BOTH SIDES.
- F. WHERE DISSIMILAR METALS WILL CONTACT EACH OTHER OR CORROSIVE SUBSTRATES, PROTECT AGAINST GALVANIC REACTION BY COATING CONTACT SURFACES WITH BITUMINOUS COATING OR BY OTHER PERMANENT SEPARATION AS RECOMMENDED BY FABRICATOR OR MANUFACTURER OF DISSIMILAR METALS.
- G. WHERE INSTALLING METAL FLASHING DIRECTLY ON CEMENTITIOUS OR WOOD SUBSTRATES, INSTALL A COURSE OF FELT UNDERLAYMENT AND COVER WITH A SLIP SHEET OR INSTALL A POLYETHYLENE UNDERLAYMENT.
- H. INSTALL SHEET METAL TRIM WITHOUT OIL CANNING, BUCKLING AND TOOL MARKS.
- I. INSTALL SHEET METAL FLASHING AND TRIM TRUE TO LINE AND LEVELS INDICATED. PROVIDE UNIFORM, NEAT SEAMS WITH MINIMUM EXPOSURE OF SOLDER, WELDS AND ELASTOMERIC SEALANT.
- J. INSTALL SHEET METAL FLASHING AND TRIM TO FIT SUBSTRATES AND TO RESULT IN WATERTIGHT PERFORMANCE. VERIFY SHAPES AND DIMENSIONS OF SURFACES TO BE COVERED BEFORE FABRICATING SHEET METAL.

ROOF PLAN KEYNOTES

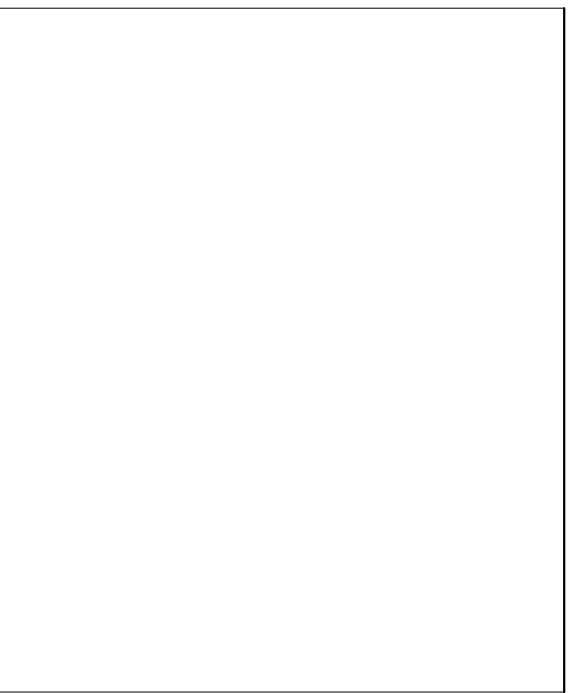
- 1 Text
ROOF PLAN TEXT



01 | ROOF PLAN
1/8" = 1'-0"



Fashionbilt - New Building
XXXX STREET NAME
CITY, STATE, XXXXXX



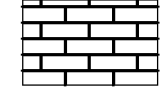



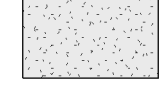
REV	ISSUE	DATE
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	40% DD	2021 07 01
	45% DD	2021 07 12
	50% DD	2021 07 23

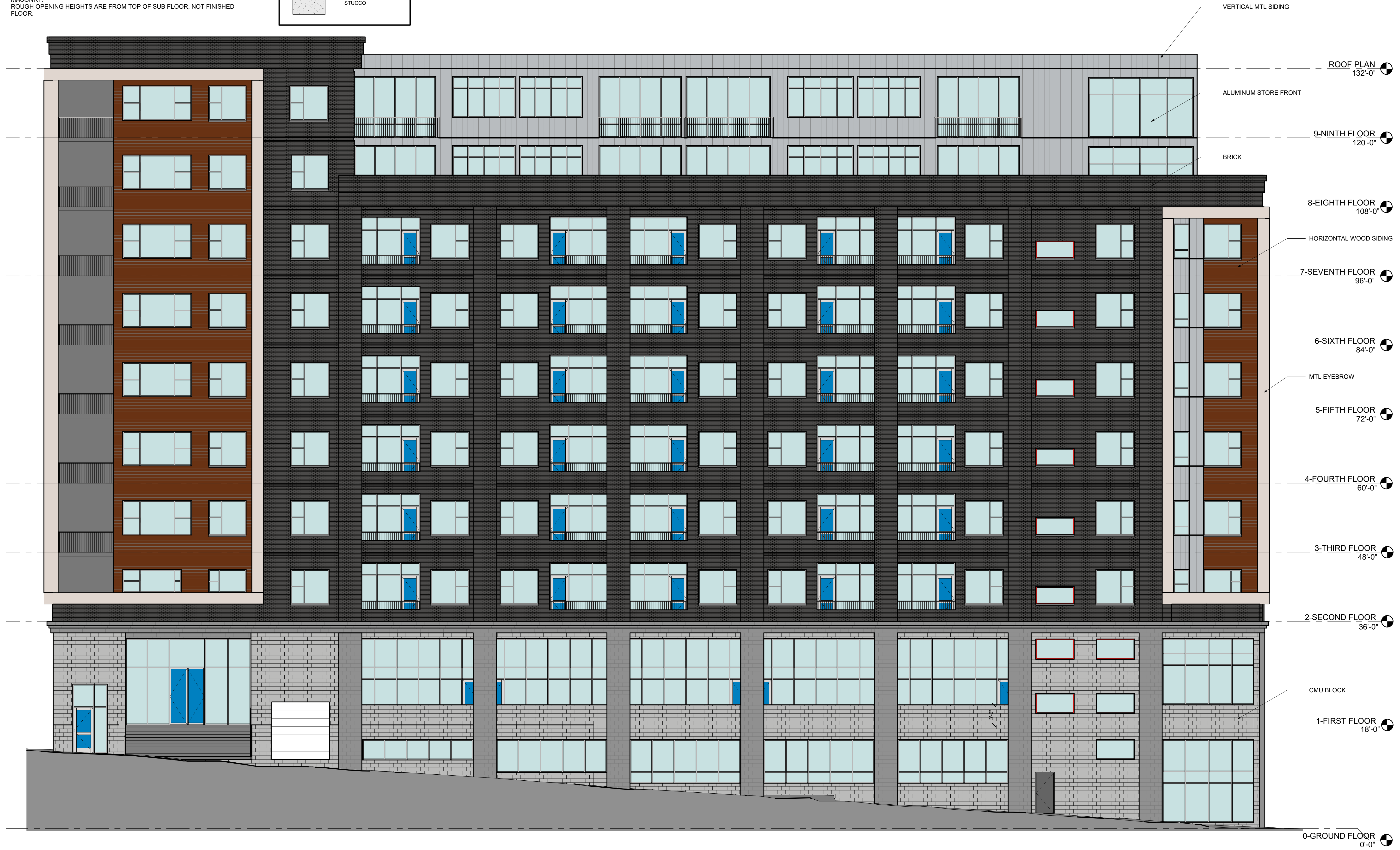
ROOF PLAN

A104

GENERAL NOTES-EXTERIOR ELEVATION

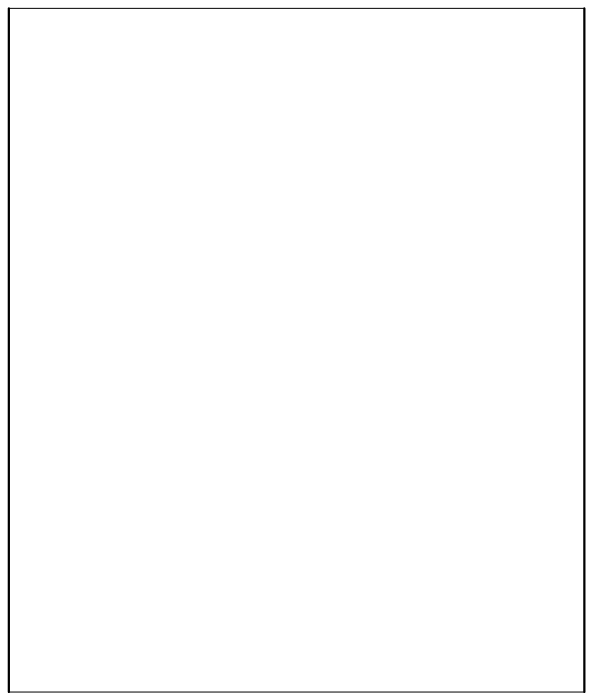
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3. PROVIDE FLASHING AT ALL HEADERS (DOOR + WINDOW). RUN BENEATH WALL SYSTEM MINIMUM OF 8" ABOVE OPENING AND ATTACH WITH NON-GALVANIC MECHANICAL FASTENERS.
4. REFER TO CIVIL FOR FILL AND GRADING REQUIREMENTS.
5. MATCH OPENINGS @ BRICK VENEER TO MODULE, ADJUST TRIM ACCORDINGLY.
6. COORDINATE CLADDING DETAILS WITH MANUFACTURER'S BEST PRACTICES.
7. COORDINATE WITH ARCHITECT PRIOR TO PROCUREMENT AND INSTALLATION. USE PRESSURE TREATED LUMBER WHERE IN CONTACT WITH CONCRETE OR MASONRY.
8. ROUGH OPENING HEIGHTS ARE FROM TOP OF SUB FLOOR, NOT FINISHED FLOOR.

MATERIAL LEGEND	
	BRICK
	BLOCK
	HORIZ WOOD SIDING
	VERT MTL SIDING
	STUCCO



Fashionbilt - New Building

XXXX STREET NAME,
CITY, STATE, XXXXXX



RE	ISSU	DAT
V	E	E
	30% DD	2021 06 24
	40% DD	2021 07 01
	45% DD	2021 07 12
	50% DD	2021 07 23

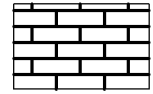

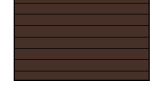

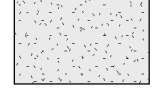
01 | EAST ELEVATION
1/8" = 1'-0"

EXTERIOR ELEVATIONS

A200

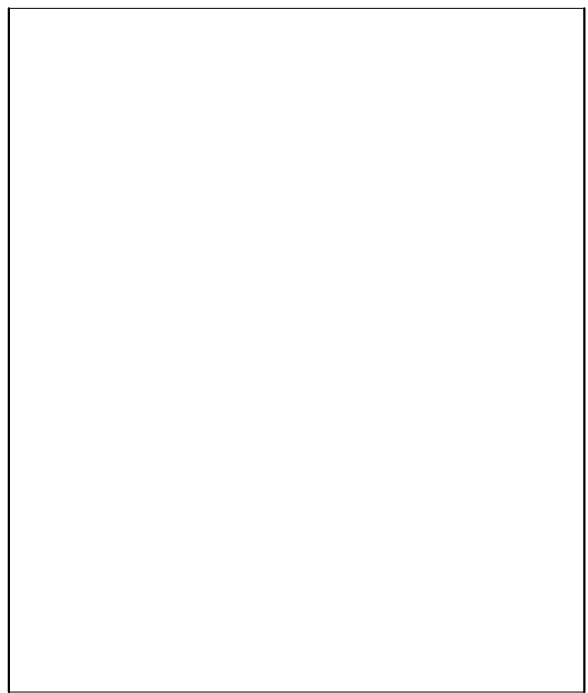
GENERAL NOTES-EXTERIOR ELEVATION

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MATERIAL LEGEND	
	BRICK
	BLOCK
	HORIZ WOOD SIDING
	VERT MTL SIDING
	STUCCO



Fashionbilt - New Building
XXXX STREET NAME,
CITY, STATE, XXXXX



REV	ISSUE	DATE
1	30% DD	2021 06 24
2	40% DD	2021 07 01
3	45% DD	2021 07 12
4	50% DD	2021 07 23


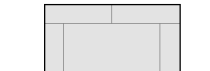
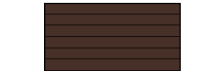


EXTERIOR ELEVATIONS

A201

01 WEST ELEVATION
1/8" = 1'-0"

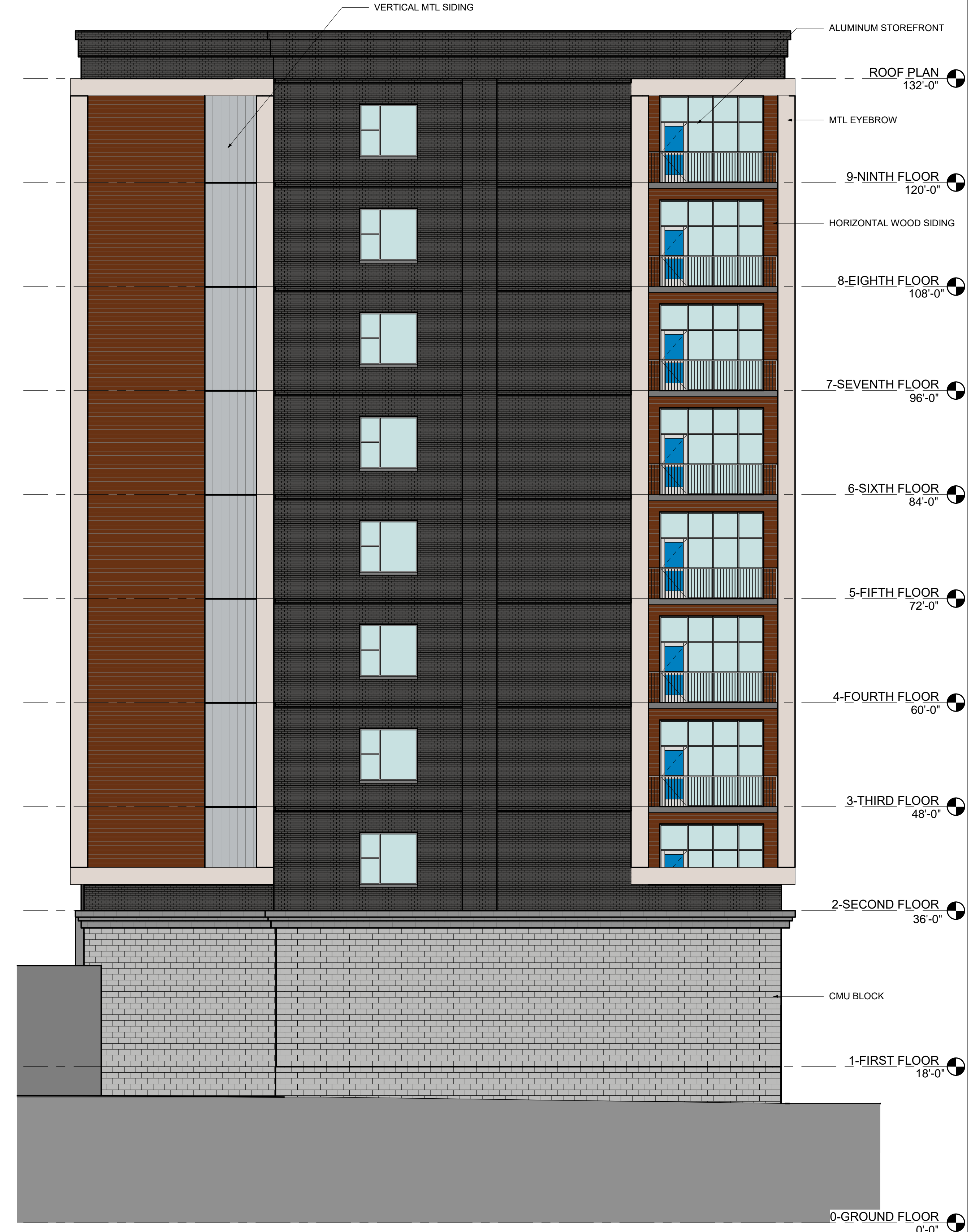
GENERAL NOTES-EXTERIOR ELEVATION

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MATERIAL LEGEND	
	BRICK
	BLOCK
	HORIZ WOOD SIDING
	VERT MTL SIDING
	STUCCO



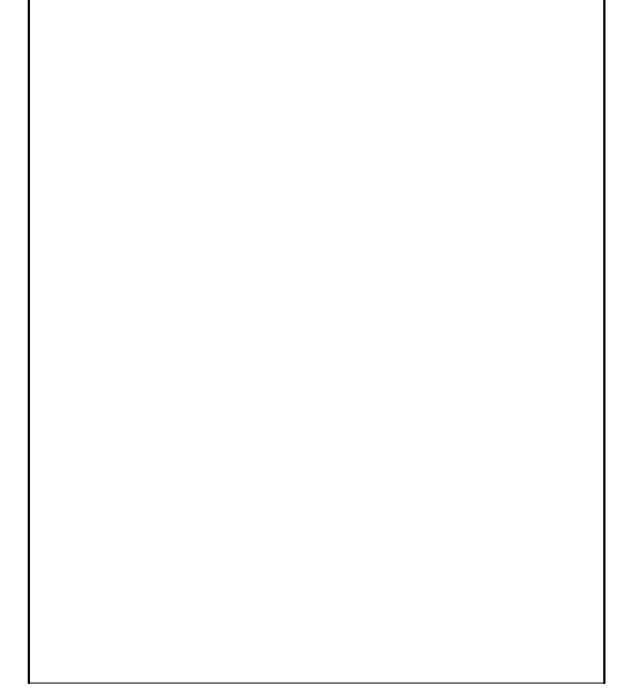
01 | NORTH ELEVATION
1/8" = 1'-0"



02 | SOUTH ELEVATION
1/8" = 1'-0"

Fashionbilt - New Building

XXXX STREET NAME,
CITY, STATE, XXXXXX



REV	ISSUE	DATE
	30% DD	2021 06 24
	40% DD	2021 07 01
	45% DD	2021 07 12
	50% DD	2021 07 23

EXTERIOR ELEVATIONS

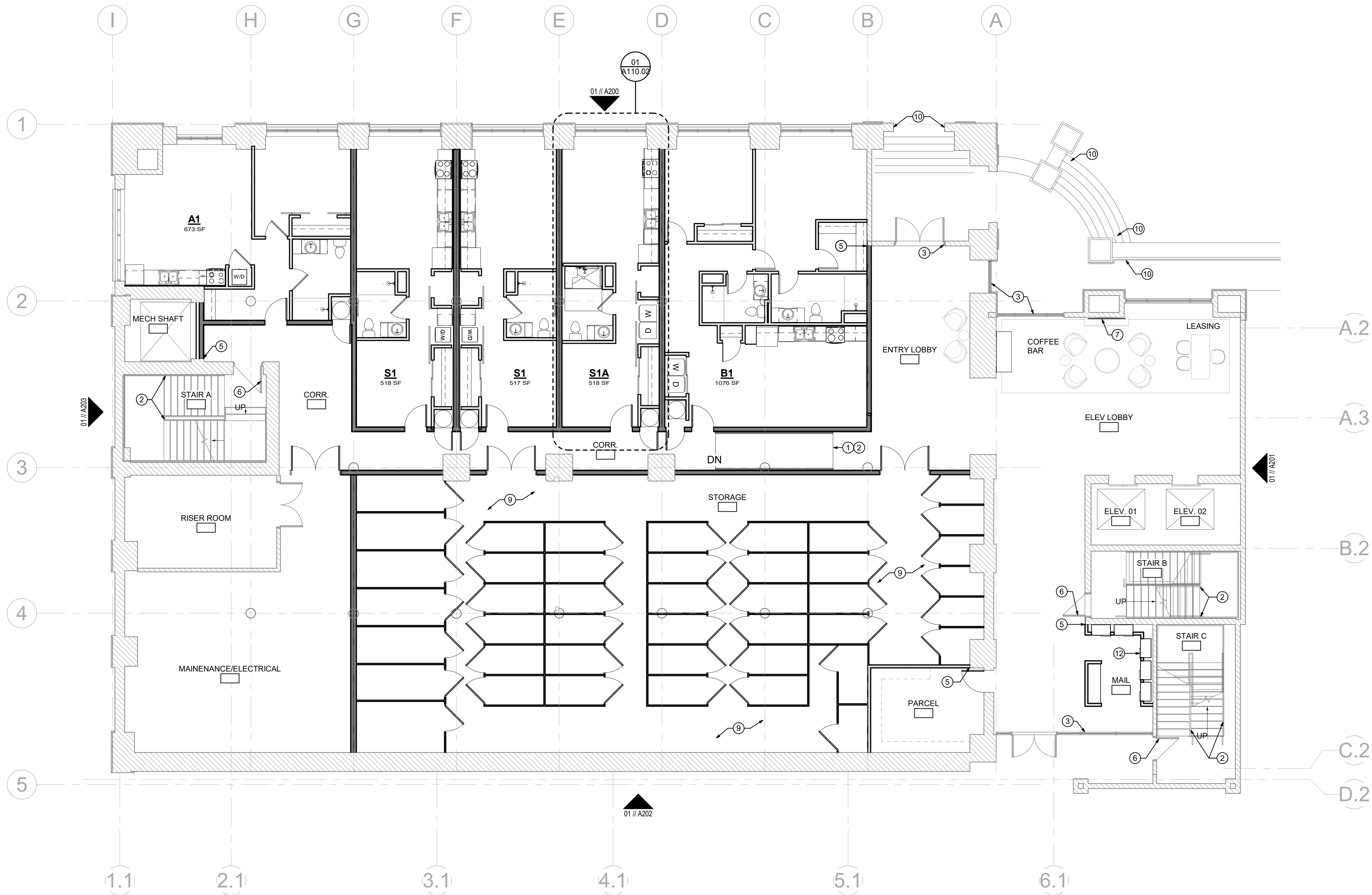
A202

GENERAL NOTES-FLOOR PLAN

- A. ALL DIMENSIONS TO EXISTING ITEMS ARE +/-
- B. ALL WALLS TO BE P1 WALL TYPE UNLESS TAGGED OTHERWISE.
- C. ALL NEW WINDOWS ARE TO BE CENTERED UNLESS DIMENSIONED OTHERWISE.
- D. PROVIDE CONDUIT AND PULL STRING FOR IT/AV/SECURITY WORK AS REQUIRED. COORDINATE WITH MEP & IT/AV/SECURITY.
- E. EGRESS DOORS TO HAVE MINIMUM WIDTH 32" BETWEEN THE FACE OF DOOR AND THE STOP WHEN OPEN 90°
- F. CONFIRM DIMMERS AND SWITCHING WITH MEP.
- G. CONTRACTOR TO COORDINATE ALL MEP AND STRUCTURAL REQUIREMENTS.
- H. CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND PROVIDING ALL BLOCKING AS REQUIRED FOR KITCHEN EQUIPMENT, TENANT PROVIDED TV, LIGHT FIXTURES, RESTROOM ACCESSORIES, ETC.
- I. REFER TO SHEET A001 FOR ALL WALL TYPES AND WALL TYPE DETAILS.
- J. DIMENSIONS FOR INTERIOR PARTITIONS ARE TO OUTSIDE FACE OF WALL FINISH.
- K. REFER TO CIVIL FOR ALL SITE RELATED FILL AND GRADING REQUIREMENTS.
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- N. CONTRACTOR TO ENSURE PROJECT SITE IS SECURE AFTER BUSINESS HOURS 6AM - 5PM MONDAY THROUGH FRIDAY.
- O. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL REQUIREMENTS OF THE PART 2 FEDERAL HISTORIC TAX CREDIT APPLICATION AS REQUIRED TO SATISFY ALL HISTORICAL REVIEW APPROVALS, COMMENTS AND CONCERNS. IF DISCREPANCIES OR CONFLICTS EXIST BETWEEN THESE DOCUMENTS AND THE PART 2 APPLICATION, THE PART 2 SUPERCEDES. NOTIFY OWNER AND ARCHITECT IMMEDIATELY.
- P. CONTRACTOR TO PROVIDE METAL END DAMS AT JAMBS OF ALL WINDOW OPENINGS.
- Q. CONTRACTOR SHALL COORDINATE ALL UNDERSLAB/TRENCHED ITEMS AS REQUIRED.
- R. INFILL ALL PENETRATION HOLES IN CONCRETE FLOOR TO MATCH AND ALIGN

FLOOR PLAN KEYNOTES

- 1 NEW RAMP AND ALL ASSOCIATED HARDWEAR TO BE INSTALLED. RAMP MUST BE ADA COMPLIANT.
- 2 PROVIDE CODE COMPLIANT METAL GUARDRAILS & HANDRAILS AT ALL STAIRS, RAMPS, INTERIOR RAILS TO BE PAINTED. EXTERIOR RAILS TO BE GALVANIZED.
- 3 NEW ANODIZED ALUMINUM STOREFRONT GLAZING SYSTEM WITH 1" INSULATED GLASS. FRAME PROFILE AND FINISH TO MATCH EXISTING SYSTEM.
- 4 FULL HEIGHT 1/2" FRAMELESS TEMPERED GLASS PANELS SET IN 1 1/2" TOP CHANNEL AND 1" BOTTOM CHANNEL IN ANODIZED ALUMINUM. PROVIDE MINIMUM NUMBER OF PANELS POSSIBLE.
- 5 ALIGN FACE OF NEW WALL WITH FACE OF EXISTING WALL OR COLUMN SURFACE.
- 6 REPAIR EXISTING DOOR/FRAME, PRIME AND PAINT.
- 7 WALL MOUNTED TV ON BRACKET. PROVIDE 3/4" FIRE RETARDANT PLYWOOD BLOCKING IN WALL. PROVIDE POWER / DATA / CABLE PER MEP.
- 8 PROVIDE PLUMBING SUPPLY & WASTE LINES FOR WETBAR EQUIPMENT. LOCATE FLOOR DRAINS UNDER ALL UC ICE MAKERS (AS REQUIRED).
- 9 FULL HEIGHT METAL MESH TENANT STORAGE LOCKERS. CLEAN & REPAIR ALUMINUM RAILING AS REQUIRED. STRAIGHTEN ALL BENT RODS/TUBES AND ENSURE RAILING IS STRAIGHT ALONG ENTIRE LENGTH. VERIFY THAT RAILING IS CODE COMPLIANT.
- 10 EXISTING SKYLIGHT OVERHEAD.
- 11 RECESSED MAILBOXES.
- 13 WALL MOUNTED BIKE RACK. 4 BIKES PER RACK.



01 | FIRST FLOOR PLAN
1/8" = 1'-0"

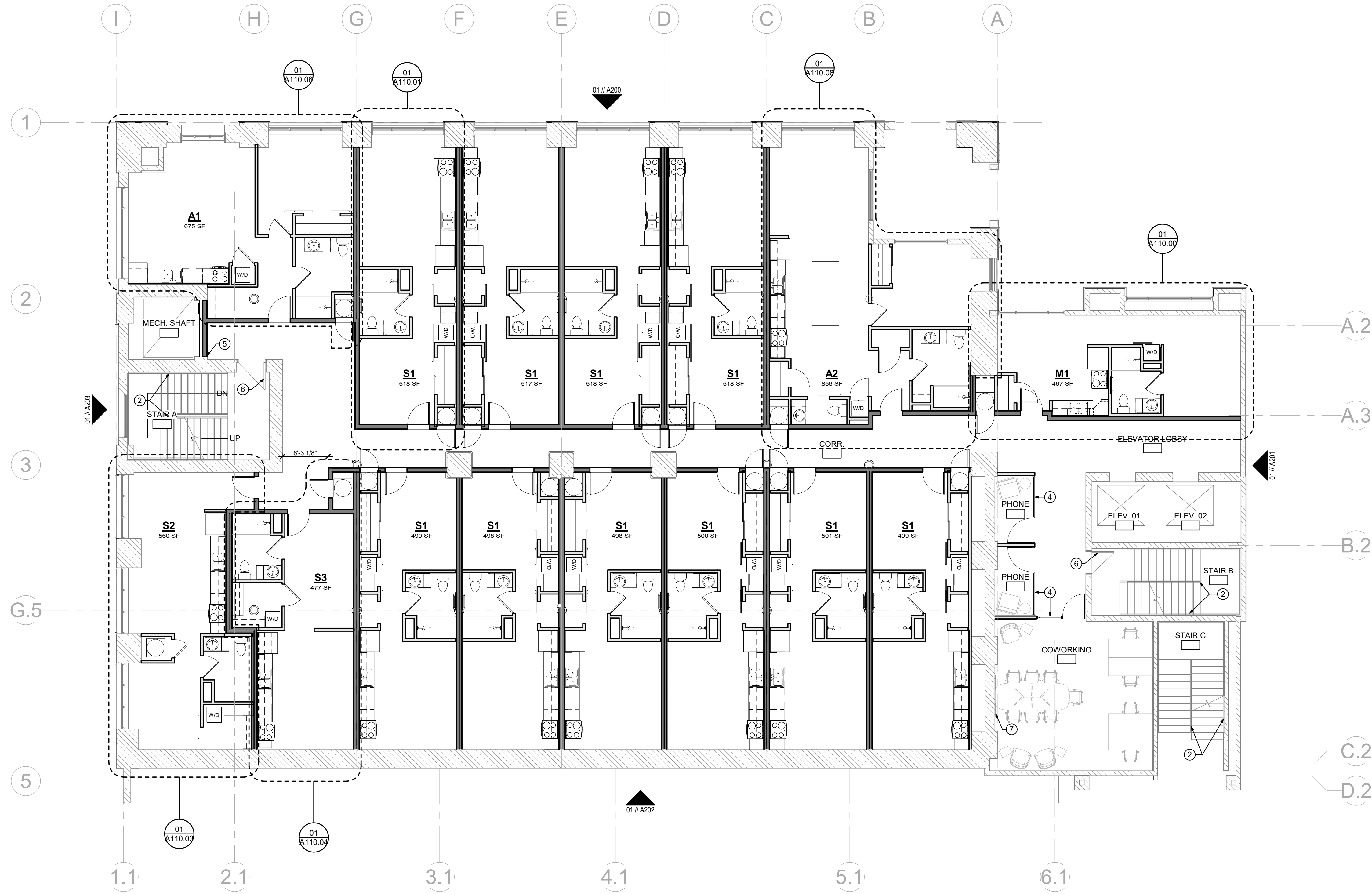
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	City Submittal	2021-09-03

GENERAL NOTES-FLOOR PLAN

- A. ALL DIMENSIONS TO EXISTING ITEMS ARE +/-
- B. ALL WALLS TO BE P1 WALL TYPE UNLESS TAGGED OTHERWISE.
- C. ALL NEW WINDOWS ARE TO BE CENTERED UNLESS DIMENSIONED OTHERWISE.
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- P. CONTRACTOR TO PROVIDE METAL END DAMS AT JAMBS OF ALL WINDOW OPENINGS.
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FLOOR PLAN KEYNOTES

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- 11 EXISTING SKYLIGHT OVERHEAD.
- 12 RECESSED MAILBOXES.
- 13 WALL MOUNTED BIKE RACK. 4 BIKES PER RACK.



01 SECOND FLOOR PLAN
1/8" = 1'-0"

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	City Submittal	2021-09-03

SECOND FLOOR PLAN

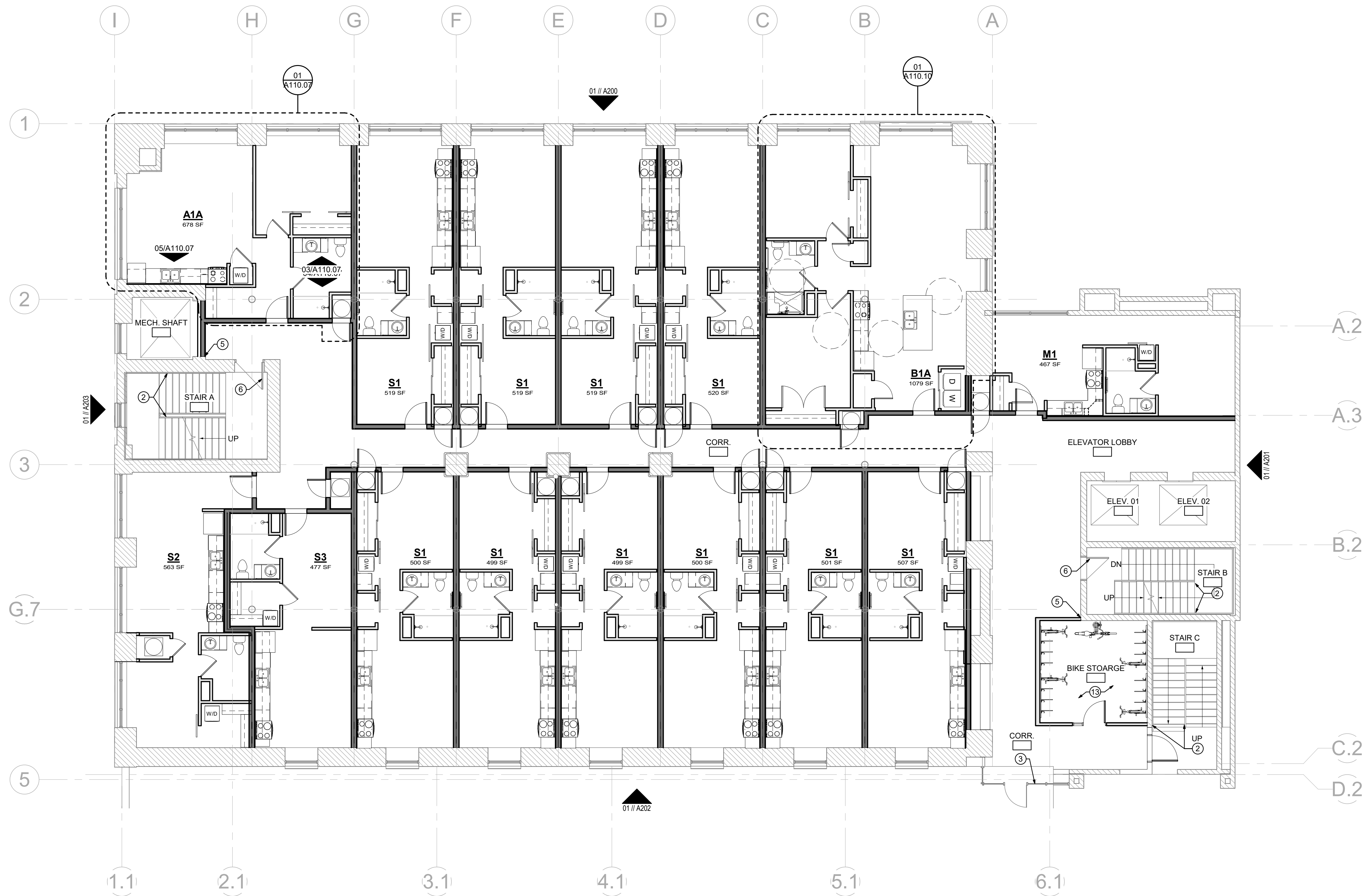
A101

GENERAL NOTES-FLOOR PLAN

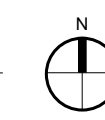
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FLOOR PLAN KEYNOTES

- 1 NEW RAMP AND ALL ASSOCIATED HARDWEAR TO BE INSTALLED. RAMP MUST BE ADA COMPLIANT.
- 2 PROVIDE CODE COMPLIANT METAL GUARDRAILS & HANDRAILS AT ALL STAIRS, RAMPS. INTERIOR RAILS TO BE PAINTED. EXTERIOR RAILS TO BE GALVANIZED.
- 3 NEW ANODIZED ALUMINUM STOREFRONT GLAZING SYSTEM WITH 1" INSULATED GLASS. FRAME PROFILE AND FINISH TO MATCH EXISTING SYSTEM.
- 4 FULL HEIGHT 1/2" FRAMELESS TEMPERED GLASS PANELS SET IN 1 1/2" TOP CHANNEL AND 1" BOTTOM CHANNEL IN ANODIZED ALUMINUM. PROVIDE MINIMUM NUMBER OF PANELS POSSIBLE.
- 5 ALIGN FACE OF NEW WALL WITH FACE OF EXISTING WALL OR COLUMN SURFACE.
- 6 REPAIR EXISTING DOOR/FRAME. PRIME AND PAINT.
- 7 WALL MOUNTED TV ON BRACKET. PROVIDE 3/4" FIRE RETARDANT PLYWOOD BLOCKING IN WALL. PROVIDE POWER / DATA / CABLE PER MEP.
- 8 PROVIDE PLUMBING SUPPLY & WASTE LINES FOR WETBAR EQUIPMENT. LOCATE FLOOR DRAINS UNDER ALL UC ICE MAKERS (AS REQUIRED).
- 9 FULL HEIGHT METAL MESH TENANT STORAGE LOCKERS.
- 10 CLEAN & REPAIR ALUMINUM RAILING AS REQUIRED. STRAIGHTEN ALL BENT RODS/TUBES AND ENSURE RAILING IS STRAIGHT ALONG ENTIRE LENGTH. VERIFY THAT RAILING IS CODE COMPLIANT.
- 11 EXISTING SKYLIGHT OVERHEAD.
- 12 RECESSED MAILBOXES.
- 13 WALL MOUNTED BIKE RACK. 4 BIKES PER RACK.



01 | **THIRD FLOOR PLAN**
1/8" = 1'-0"



RE	ISSU	DAT
V	E	E
	City Submittal	2021-09-03

THIRD FLOOR
PLAN

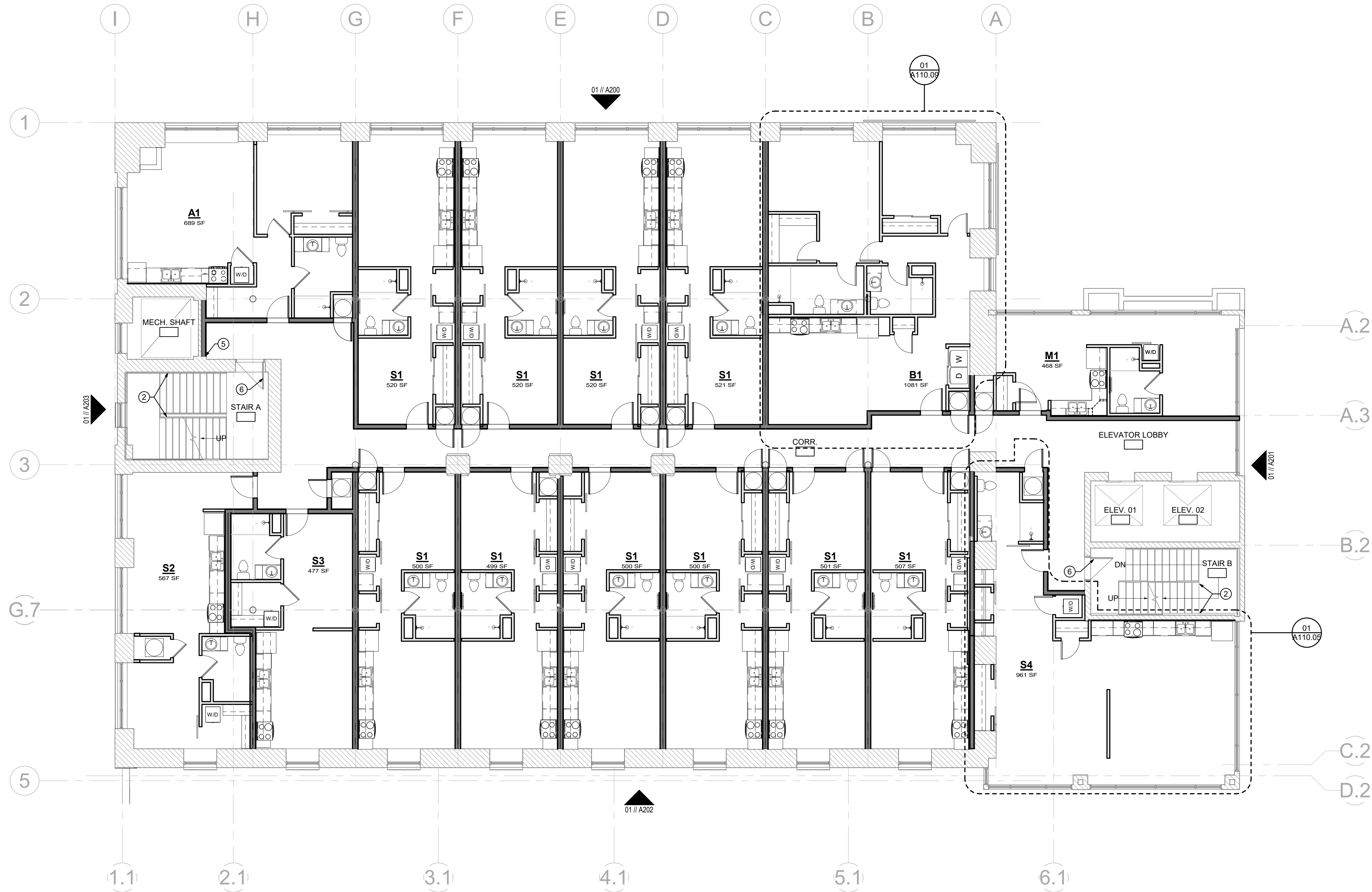
A102

GENERAL NOTES-FLOOR PLAN

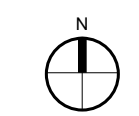
- A. ALL DIMENSIONS TO EXISTING ITEMS ARE +/-
- B. ALL WALLS TO BE P1 WALL TYPE UNLESS TAGGED OTHERWISE.
- C. ALL NEW WINDOWS ARE TO BE CENTERED UNLESS DIMENSIONED OTHERWISE.
- D. PROVIDE CONDUIT AND PULL STRING FOR IT/AV/SECURITY WORK AS REQUIRED.
- E. COORDINATE WITH MEP & IT/AV/SECURITY.
- F. EGRESS DOORS TO HAVE MINIMUM WIDTH 32" BETWEEN THE FACE OF DOOR AND THE STOP WHEN OPEN 90°
- G. CONFIRM DIMMERS AND SWITCHING WITH MEP.
- H. CONTRACTOR TO COORDINATE ALL MEP AND STRUCTURAL REQUIREMENTS.
- I. CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND PROVIDING ALL BLOCKING AS REQUIRED FOR KITCHEN EQUIPMENT, TENANT PROVIDED TV, LIGHT FIXTURES, RESTROOM ACCESSORIES, ETC.
- J. REFER TO SHEET A001 FOR ALL WALL TYPES AND WALL TYPE DETAILS.
- K. DIMENSIONS FOR INTERIOR PARTITIONS ARE TO OUTSIDE FACE OF WALL FINISH.
- L. REFER TO CIVIL FOR ALL SITE RELATED FILL AND GRADING REQUIREMENTS.
- M. CONTRACTOR TO COORDINATE ALL STRUCTURAL, CIVIL, MEP, IT/AV/SECURITY & HISTORICAL REQUIREMENTS. WITH ELECTRICAL & OWNER'S IT/AV/SECURITY VENDOR.
- N. CONTRACTOR TO PROVIDE LINTEL AT ALL NEW AND MODIFIED MASONRY OPENINGS. SHORE OPENINGS AS REQUIRED AND COORDINATE WITH STRUCTURAL. LINTELS TO BE PRIMED AND PAINTED.
- O. CONTRACTOR TO ENSURE PROJECT SITE IS SECURE AFTER BUSINESS HOURS 6AM - 5PM MONDAY THROUGH FRIDAY.
- P. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL REQUIREMENTS OF THE PART 2 FEDERAL HISTORIC TAX CREDIT APPLICATION AS REQUIRED TO SATISFY ALL HISTORICAL REVIEW APPROVALS, COMMENTS AND CONCERNS. IF DISCREPANCIES OR CONFLICTS EXIST BETWEEN THESE DOCUMENTS AND THE PART 2 APPLICATION, THE PART 2 SUPERCEDES. NOTIFY OWNER AND ARCHITECT IMMEDIATELY.
- Q. CONTRACTOR TO PROVIDE METAL END DAMS AT JAMBS OF ALL WINDOW OPENINGS.
- R. CONTRACTOR SHALL COORDINATE ALL UNDERSLAB/TRENCHED ITEMS AS REQUIRED.
- S. INFILL ALL PENETRATION HOLES IN CONCRETE FLOOR TO MATCH AND ALIGN

FLOOR PLAN KEYNOTES

- 1 NEW RAMP AND ALL ASSOCIATED HARDWARE TO BE INSTALLED. RAMP MUST BE ADA COMPLIANT.
- 2 PROVIDE CODE COMPLIANT METAL GUARDRAILS & HANDRAILS AT ALL STAIRS, RAMPS. INTERIOR RAILS TO BE PAINTED. EXTERIOR RAILS TO BE GALVANIZED.
- 3 NEW ANODIZED ALUMINUM STOREFRONT GLAZING SYSTEM WITH 1" INSULATED GLASS. FRAME PROFILE AND FINISH TO MATCH EXISTING SYSTEM.
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- 11 EXISTING SKYLIGHT OVERHEAD.
- 12 RECESSED MAILBOXES.
- 13 WALL MOUNTED BIKE RACK. 4 BIKES PER RACK.



01 | 4TH - 6TH TYPICAL FLOOR PLAN
1/8" = 1'-0"



RE	ISSU	DAT
V	E	E
	City Submittal	2021-09-03

TYPICAL FLOOR PLAN (FLOORS 4-6)

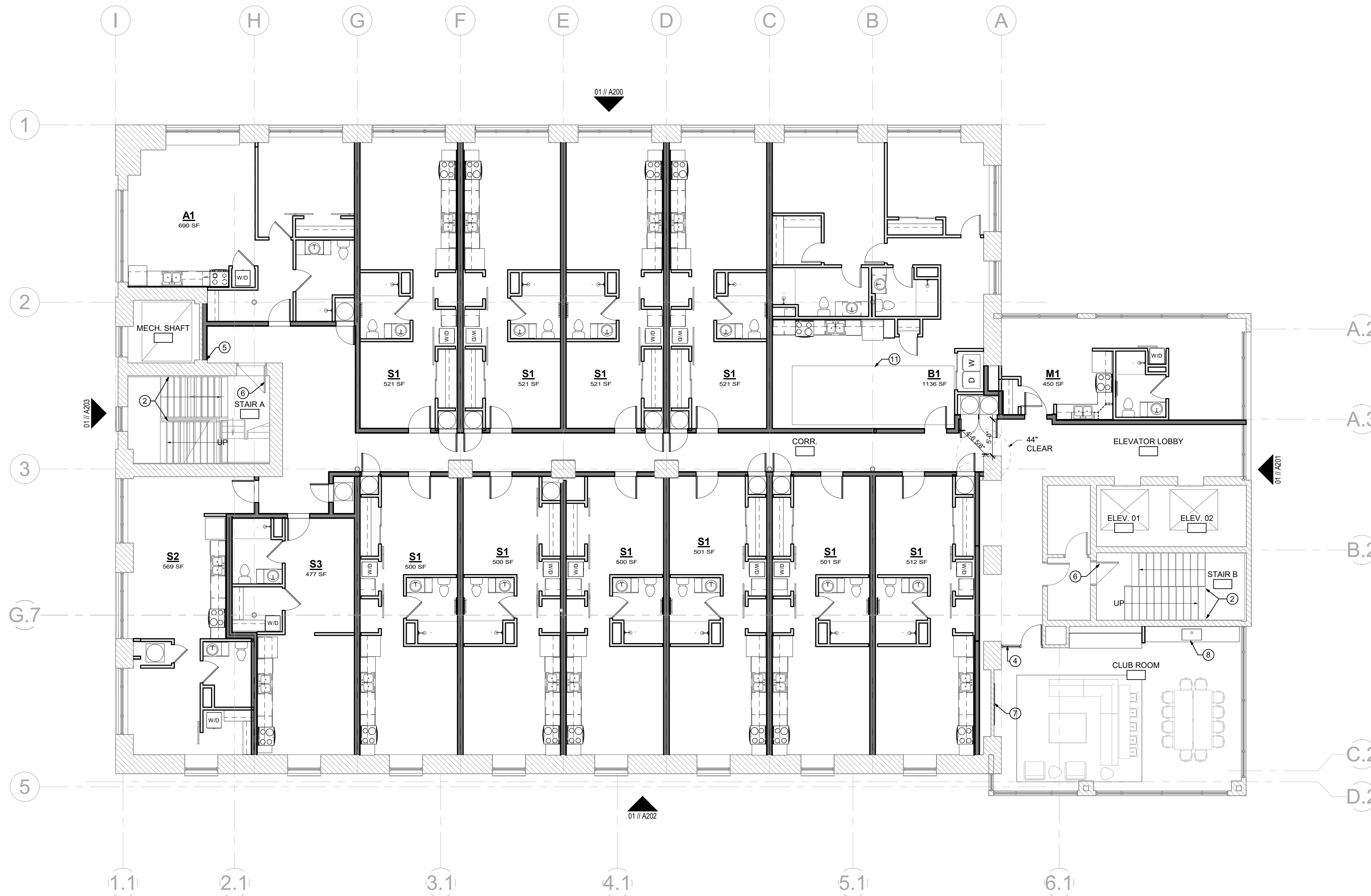
A103

GENERAL NOTES-FLOOR PLAN

- A. ALL DIMENSIONS TO EXISTING ITEMS ARE +/-
- B. ALL WALLS TO BE P1 WALL TYPE UNLESS TAGGED OTHERWISE.
- C. ALL NEW WINDOWS ARE TO BE CENTERED UNLESS DIMENSIONED OTHERWISE.
- D. PROVIDE CONDUIT AND PULL STRING FOR IT/AV/SECURITY WORK AS REQUIRED. COORDINATE WITH MEP & IT/AV/SECURITY.
- E. EGRESS DOORS TO HAVE MINIMUM WIDTH 32" BETWEEN THE FACE OF DOOR AND THE STOP WHEN OPEN 90°
- F. CONFIRM DIMMERS AND SWITCHING WITH MEP.
- G. CONTRACTOR TO COORDINATE ALL MEP AND STRUCTURAL REQUIREMENTS.
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- J. REFER TO CIVIL FOR ALL SITE RELATED FILL AND GRADING REQUIREMENTS.
- K. CONTRACTOR TO COORDINATE ALL STRUCTURAL, CIVIL, MEP, IT/AV/SECURITY & HISTORICAL REQUIREMENTS. WITH ELECTRICAL & OWNER'S IT/AV/SECURITY VENDOR.
- L. CONTRACTOR TO PROVIDE LINTEL AT ALL NEW AND MODIFIED MASONRY OPENINGS. SHORE OPENINGS AS REQUIRED AND COORDINATE WITH STRUCTURAL. LINTELS TO BE PRIMED AND PAINTED.
- M. CONTRACTOR TO ENSURE PROJECT SITE IS SECURE AFTER BUSINESS HOURS 6AM - 5PM MONDAY THROUGH FRIDAY.
- N. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL REQUIREMENTS OF THE PART 2 FEDERAL HISTORIC TAX CREDIT APPLICATION AS REQUIRED TO SATISFY ALL HISTORICAL REVIEW APPROVALS, COMMENTS AND CONCERNS. IF DISCREPANCIES OR CONFLICTS EXIST BETWEEN THESE DOCUMENTS AND THE PART 2 APPLICATION, THE PART 2 SUPERCEDES. NOTIFY OWNER AND ARCHITECT IMMEDIATELY.
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- Q. INFILL ALL PENETRATION HOLES IN CONCRETE FLOOR TO MATCH AND ALIGN

FLOOR PLAN KEYNOTES

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- 11 EXISTING SKYLIGHT OVERHEAD.
- 12 RECESSED MAILBOXES.
- 13 WALL MOUNTED BIKE RACK. 4 BIKES PER RACK.



01 SEVENTH FLOOR PLAN
1/8" = 1'-0"

Fashionbilt - UR Development Plan (Existing Building)

423 W. 8TH STREET
KANSAS CITY, MO 64105

RE	ISSU	DAT
V	E	E
	City Submittal	2021-09-03

SEVENTH FLOOR
PLAN

A104

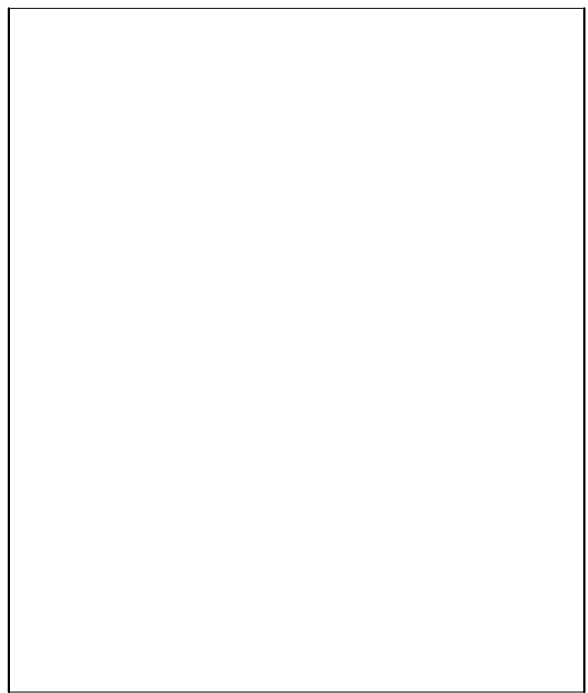
GENERAL NOTES-EXTERIOR ELEVATION

1. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS AND REPORT TO ARCHITECT ANY CONFLICTS THAT MAY AFFECT DESIGN INTENTIONS SHOWN ON PROJECT DOCUMENTS.
2. SEAL AROUND PERIMETER OF ALL EXTERIOR OPENINGS - AS RECOMMENDED BY THE SYSTEM MANUFACTURERS RECOMMENDATIONS. CONFIRM PENETRATION WATER MANAGEMENT SYSTEM AND LOCATION OF WEEPS, IF PRESENT, PRIOR TO APPLYING SEALANT. SEALANT TO MATCH ADJACENT FINISH.
3. PROVIDE FLASHING AT ALL HEADERS (DOOR + WINDOW), RUN BENEATH WALL SYSTEM MINIMUM OF 8" ABOVE OPENING AND ATTACH WITH NON-GALVANIC MECHANICAL FASTENERS.
4. REFER TO CIVIL FOR FILL AND GRADING REQUIREMENTS.
5. MATCH OPENINGS @ BRICK VENEER TO MODULE, ADJUST TRIM ACCORDINGLY.
6. COORDINATE CLADDING DETAILS WITH MANUFACTURERS BEST PRACTICES. COORDINATE WITH ARCHITECT PRIOR TO PROCUREMENT AND INSTALLATION.
7. USE PRESSURE TREATED LUMBER WHERE IN CONTACT WITH CONCRETE OR MASONRY.
8. ROUGH OPENING HEIGHTS ARE FROM TOP OF SUB FLOOR, NOT FINISHED FLOOR.



01 | NORTH ELEVATION
1/8" = 1'-0"

FashionBilt - Existing Building
432 W 8TH ST
Kansas City, MO 64105



REV	ISSUE	DATE
	30% DD	2021 06 24
	40% DD	2021 07 01
	45% DD	2021 07 12
	50% DD	2021 07 23

EXTERIOR
ELEVATION

A200

GENERAL NOTES-EXTERIOR ELEVATION

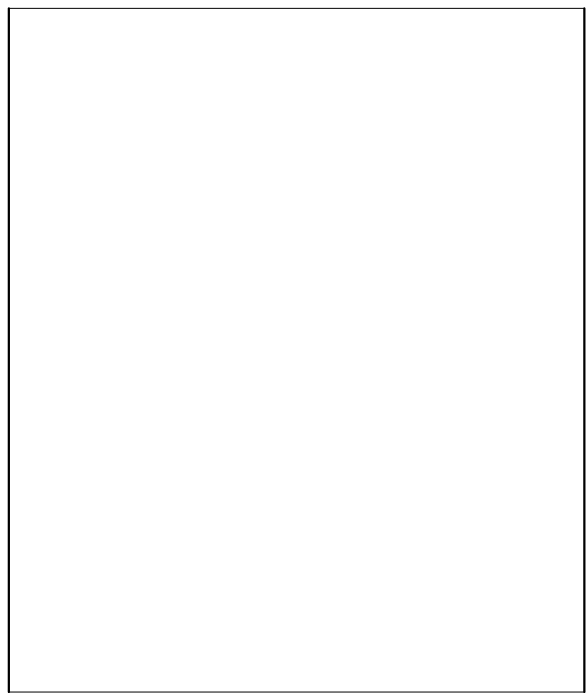
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6. COORDINATE CLADDING DETAILS WITH MANUFACTURER'S BEST PRACTICES.
7. USE PRESSURE TREATED LUMBER WHERE IN CONTACT WITH CONCRETE OR MASONRY.
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01 | EAST ELEVATION
1/8" = 1'-0"

FashionBilt - Existing Building

432 W 8TH ST
Kansas City, MO 64105



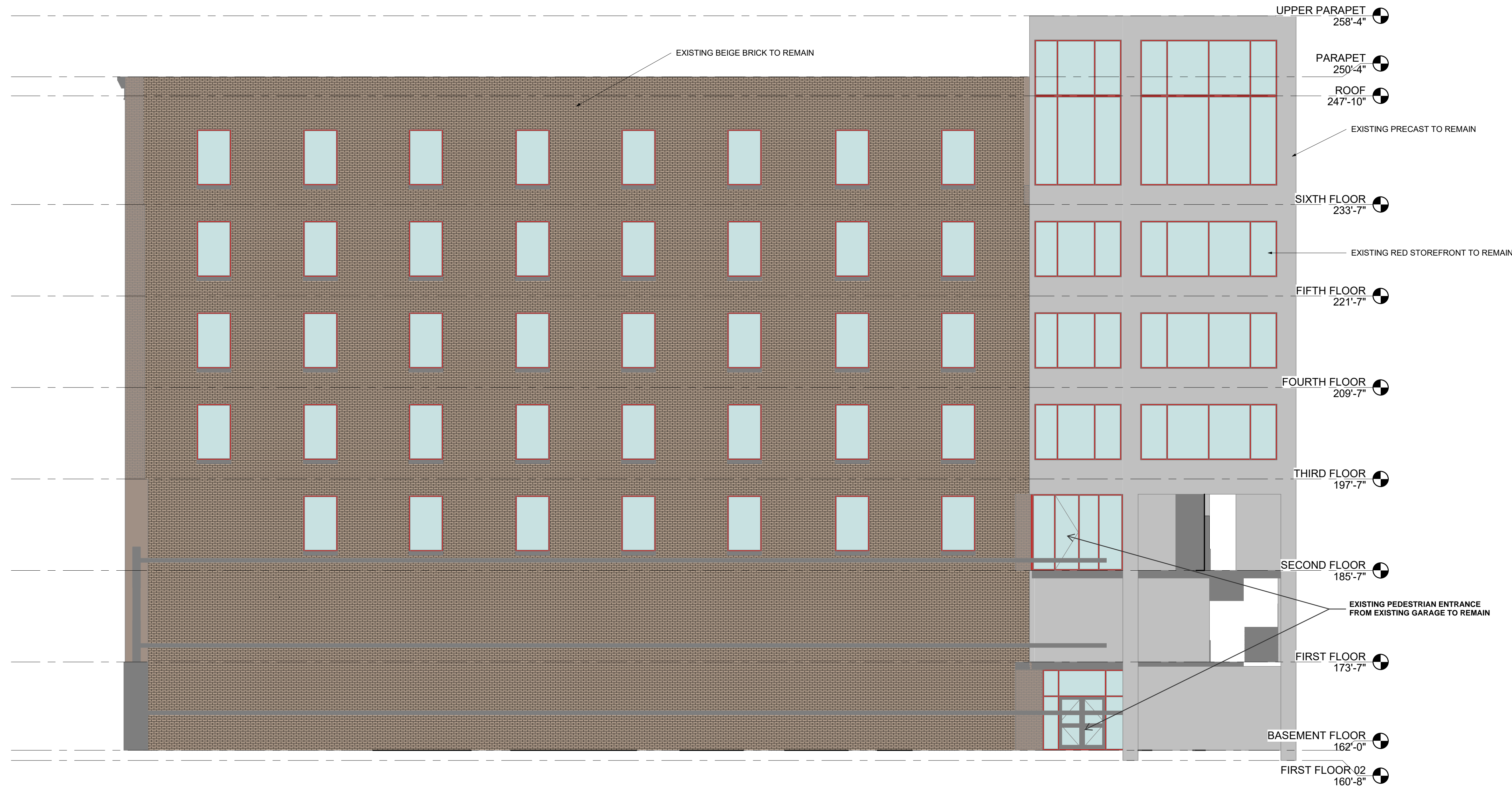
REVISION	ISSUE	DATE
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	40% DD	2021 07 01
	45% DD	2021 07 12
	50% DD	2021 07 23

EXTERIOR
ELEVATION

A201

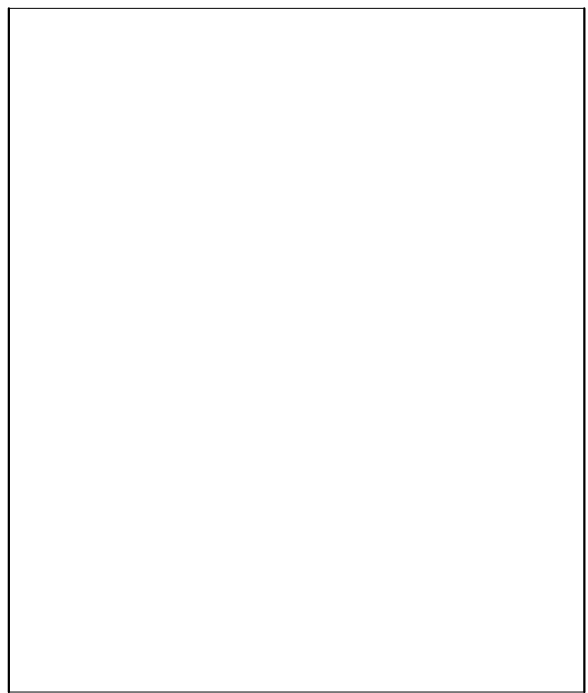
GENERAL NOTES-EXTERIOR ELEVATION

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4. REFER TO CIVIL FOR FILL AND GRADING REQUIREMENTS.
5. MATCH OPENINGS @ BRICK VENEER TO MODULE, ADJUST TRIM ACCORDINGLY.
6. COORDINATE CLADDING DETAILS WITH MANUFACTURER'S BEST PRACTICES. COORDINATE WITH ARCHITECT PRIOR TO PROCUREMENT AND INSTALLATION.
7. USE PRESSURE TREATED LUMBER WHERE IN CONTACT WITH CONCRETE OR MASONRY.
8. ROUGH OPENING HEIGHTS ARE FROM TOP OF SUB FLOOR, NOT FINISHED FLOOR.



01 SOUTH ELEVATION
1/8" = 1'-0"

FashionBilt - Existing Building
432 W 8TH ST
Kansas City, MO 64105



REV	ISSUE	DATE
	30% DD	2021 06 24
	40% DD	2021 07 01
	45% DD	2021 07 12
	50% DD	2021 07 23

EXTERIOR
ELEVATION

A202

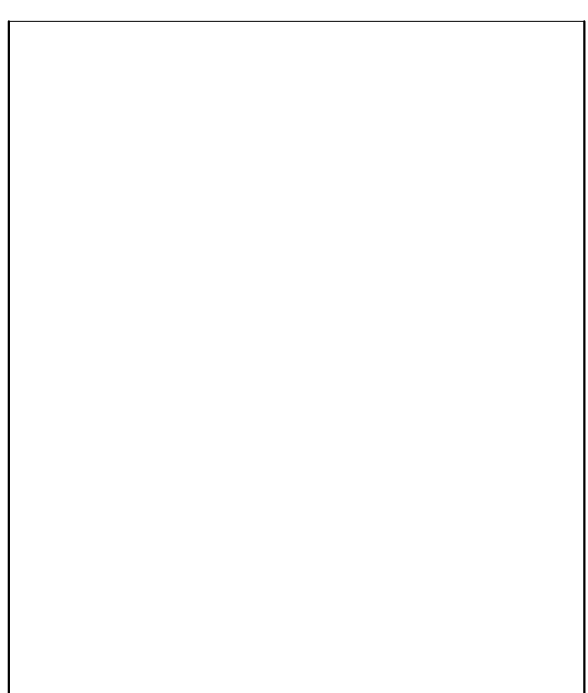
GENERAL NOTES-EXTERIOR ELEVATION

1. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS AND REPORT TO ARCHITECT ANY CONFLICTS THAT MAY AFFECT DESIGN INTENTIONS SHOWN ON PROJECT DOCUMENTS.
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7. USE PRESSURE TREATED LUMBER WHERE IN CONTACT WITH CONCRETE OR MASONRY.
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01 | WEST ELEVATION
1/8" = 1'-0"

FashionBilt - Existing Building
432 W 8TH ST
Kansas City, MO 64105



REV	ISSUE	DATE
	30% DD	2021 06 24
	40% DD	2021 07 01
	45% DD	2021 07 12
	50% DD	2021 07 23

EXTERIOR
ELEVATION

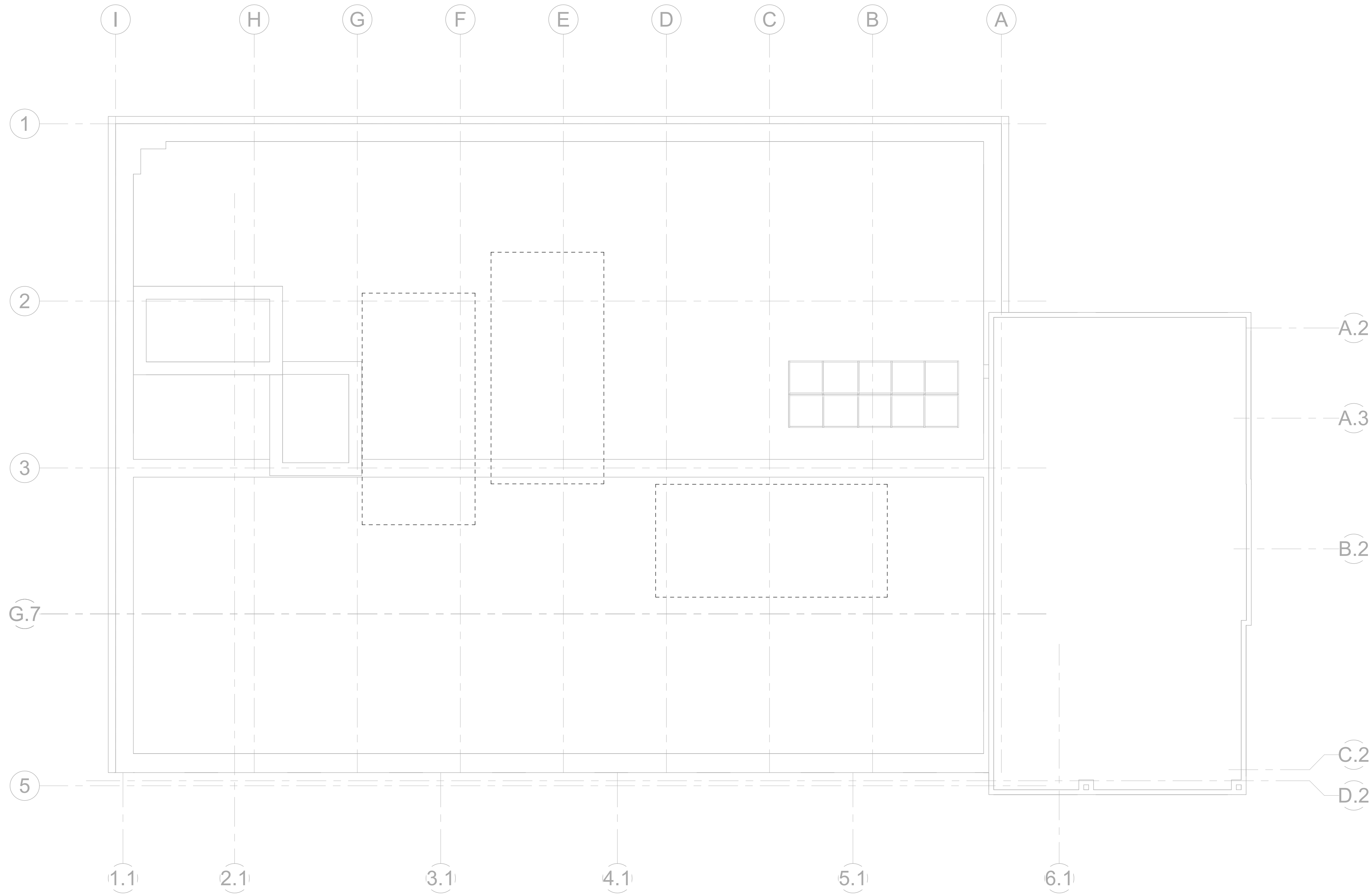
A203

GENERAL NOTES-ROOF PLAN

- A. PROVIDE BOOTS AT ALL RTU'S AND SLEEVES AT ALL ROOF PENETRATIONS. INSTALL PER MANUFACTURERS INSTALLATION INSTRUCTIONS.
- B. COORDINATE RTU CURB AND REINFORCEMENT WITH STRUCTURAL
- C. PROVIDE CRICKET (ISO OR EPS) AT HIGH SIDE OF ALL RTU'S.
- D. PROVIDE MINIMUM INSULATION VALUES FOR CLIMATE ZONE PER GENERAL INFORMATION / CODE REVIEW.
- E. AT PARAPET WALL CAP, PROVIDE BRONZE ANODIZED ALUMINUM BRAKE METAL WALL CAP WITH CONTINUOUS CLEAT ON BOTH SIDES, RE: SMACNA ARCHITECTURAL SHEET METAL MANUAL 2003 FIGURE3-4A. SEALANT BOTH SIDES.
- F. WHERE DISSIMILAR METALS WILL CONTACT EACH OTHER OR CORROSIVE SUBSTRATES, PROTECT AGAINST GALVANIC REACTION BY COATING CONTACT SURFACES WITH BITUMINOUS COATING OR BY OTHER PERMANENT SEPARATION AS RECOMMENDED BY FABRICATOR OR MANUFACTURER OF DISSIMILAR METALS.
- G. WHERE INSTALLING METAL FLASHING DIRECTLY ON CEMENTITIOUS OR WOOD SUBSTRATES, INSTALL A COURSE OF FELT UNDERLAYMENT AND COVER WITH A SLIP SHEET OR INSTALL A POLYETHYLENE UNDERLAYMENT.
- H. INSTALL SHEET METAL TRIM WITHOUT OIL CANNING, BUCKLING AND TOOL MARKS.
- I. INSTALL SHEET METAL FLASHING AND TRIM TRUE TO LINE AND LEVELS INDICATED. PROVIDE UNIFORM, NEAT SEAMS WITH MINIMUM EXPOSURE OF SOLDER, WELDS AND ELASTOMERIC SEALANT.
- J. INSTALL SHEET METAL FLASHING AND TRIM TO FIT SUBSTRATES AND TO RESULT IN WATERTIGHT PERFORMANCE. VERIFY SHAPES AND DIMENSIONS OF SURFACES TO BE COVERED BEFORE FABRICATING SHEET

ROOF PLAN KEYNOTES

- Text
- 1 ROOF PLAN TEXT



01 | ROOF PLAN
1/8" = 1'-0"



REVISION	ISSUE	DATE
1	City Submittal	2021-09-03