

# MASTER PLANNED DEVELOPMENT (MPD) FOR ENVISION

SECTION 30, TOWNSHIP 52, RANGE 33W  
IN KANSAS CITY, PLATTE COUNTY, MISSOURI

## PROJECT TEAM

**DEVELOPER**  
MANN COMPANY  
9601 NW PLATTE PURCHASE DR.  
KANSAS CITY, MO 64155  
TEL: (816) 591-5348  
CONTACT: SARAH CUNNINGHAM  
EMAIL: SCUNNINGHAM@MANNOKC.COM  
CONTACT: BILL MANN  
EMAIL: BILLMANN@MANNOKC.COM

**SURVEYOR**  
AYLETT SURVEY & ENGINEERING CO.  
201 NW 72ND ST  
GLADSTONE, MO 64118  
(816) 436-0767

**SNYDER & ASSOCIATES**  
201 NW 72ND ST  
GLADSTONE, MO 64118  
(816) 436-0767

**CIVIL ENGINEER**  
KIMLEY-HORN & ASSOCIATES, INC.  
805 PENNSYLVANIA AVENUE, SUITE 150  
KANSAS CITY, MO 64105  
TEL: (816) 652-0350  
PRIMARY CONTACT: MATTHEW KIST, P.E.  
EMAIL: MATT.KIST@KIMLEY-HORN.COM  
SECONDARY CONTACT: PERLA DIOSDADO, P.E.  
EMAIL: PERLA.DIOSDADO@KIMLEY-HORN.COM

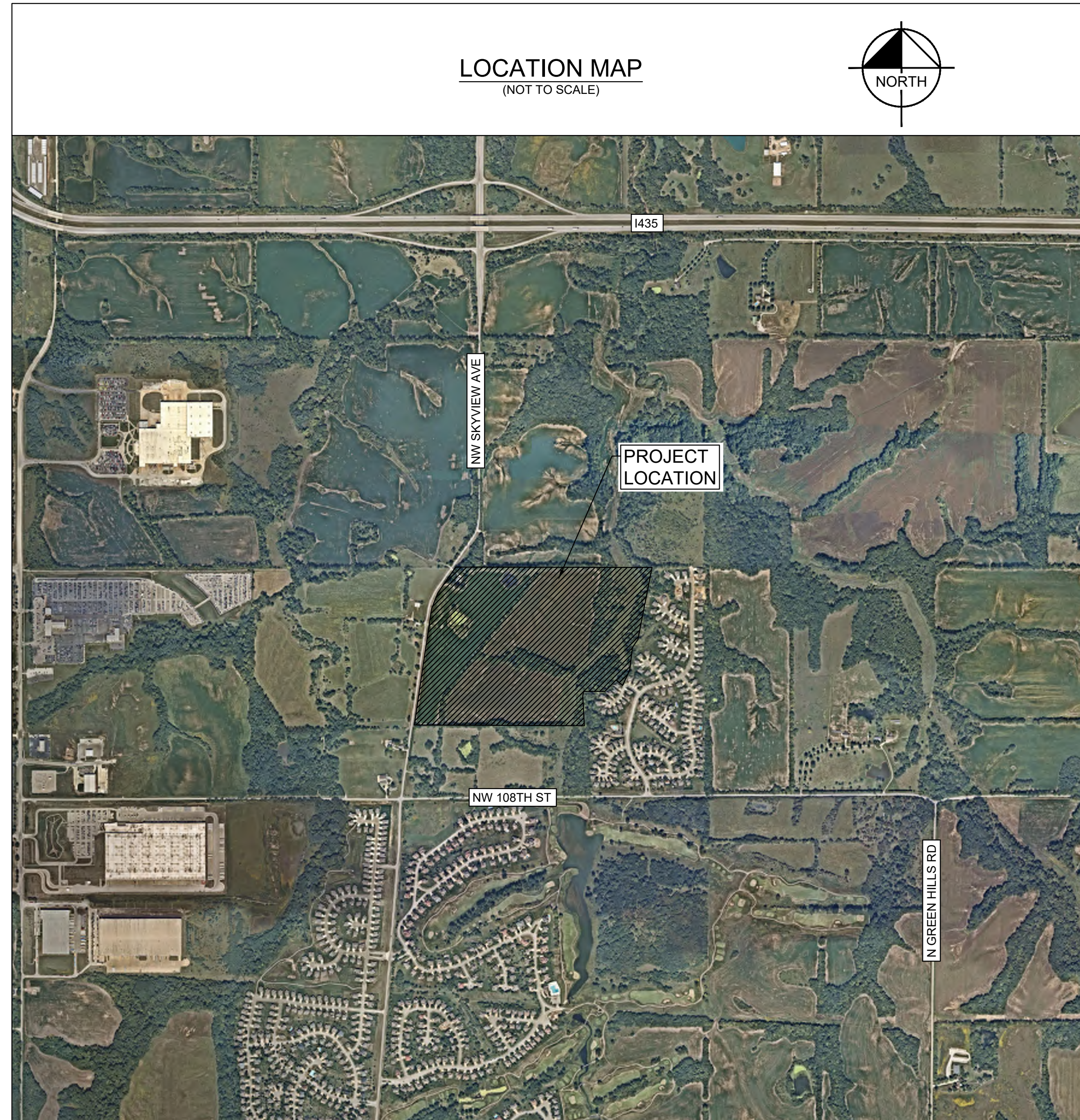
**TRAFFIC ENGINEER**  
KIMLEY-HORN & ASSOCIATES, INC.  
805 PENNSYLVANIA AVENUE, SUITE 150  
KANSAS CITY, MO 64105  
TEL: (816) 683-7064  
PRIMARY CONTACT: JEFF WILKE, P.E.  
EMAIL: JEFF.WILKE@KIMLEY-HORN.COM



### RECOMMENDED LEGAL DESCRIPTION:

PREPARED BY: SNYDER & ASSOCIATES.

ALL THAT PART OF THE NORTH HALF OF SECTION 30, TOWNSHIP 52, RANGE 33, KANSAS CITY, PLATTE COUNTY, MISSOURI, DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF THE NORTHEAST QUARTER OF SAID SECTION 30, ALSO BEING THE NORTHEAST CORNER OF THE NORTHWEST QUARTER OF SAID SECTION 30; THENCE SOUTH 89 DEGREES 52 MINUTES 49 SECONDS EAST, ALONG THE NORTH LINE OF SAID NORTHEAST QUARTER, A DISTANCE OF 1974.49 FEET TO THE WEST LINE OF TIFFANY LAKES 4TH PLAT, A SUBDIVISION IN KANSAS CITY, PLATTE COUNTY, MISSOURI; THENCE SOUTH 11 DEGREES 08 MINUTES 15 WEST, ALONG THE WEST LINE OF SAID TIFFANY LAKES 4TH PLAT, A DISTANCE OF 846.54 FEET TO THE WEST LINE OF TIFFANY LAKES 3RD PLAT, A SUBDIVISION OF LAND IN KANSAS CITY, PLATTE COUNTY, MISSOURI; THENCE SOUTH 34 DEGREES 12 MINUTES 48 WEST, ALONG THE WEST LINE OF SAID TIFFANY LAKES 3RD PLAT, A DISTANCE OF 112.69 FEET; THENCE SOUTH 07 DEGREES 00 MINUTES 50 SECONDS WEST, CONTINUING ALONG SAID WEST LINE, A DISTANCE OF 262.82 FEET TO THE WEST LINE OF TIFFANY LAKES 2ND PLAT, A SUBDIVISION OF LAND IN KANSAS CITY, PLATTE COUNTY, MISSOURI; THENCE SOUTH 24 DEGREES 38 MINUTES 24 SECONDS WEST, ALONG THE WEST LINE OF SAID TIFFANY LAKES 2ND, A DISTANCE OF 193.01 FEET; THENCE NORTHERLY ALONG A CURVE TO THE RIGHT, WITH AN INITIAL TANGENT BEARING OF NORTH 58 DEGREES 10 MINUTES 17 SECONDS WEST, A RADIUS OF 210.00 FEET, AN ARC DISTANCE OF 33.48 FEET; THENCE CONTINUING ALONG SAID WEST LINE NORTH 49 DEGREES 02 MINUTES 10 SECONDS WEST, A DISTANCE OF 64.74 FEET; THENCE SOUTH 44 DEGREES 30 MINUTES 20 SECONDS WEST, A DISTANCE OF 185.67 FEET; THENCE NORTH 90 DEGREES 00 MINUTES 00 SECONDS WEST, A DISTANCE OF 244.68 FEET; THENCE SOUTH 09 DEGREES 54 MINUTES 17 SECONDS WEST, CONTINUING ALONG SAID WEST LINE, A DISTANCE OF 54.35 FEET; THENCE SOUTH 03 DEGREES 08 MINUTES 43 SECONDS EAST, CONTINUING ALONG SAID WEST LINE AND ALSO BEING THE WEST LINE OF TIFFANY LAKES, A SUBDIVISION OF LAND IN KANSAS CITY, PLATTE COUNTY, MISSOURI, A DISTANCE OF 342.42 FEET; THENCE SOUTH 89 DEGREES 50 MINUTES 52 SECONDS WEST, TO THE WEST LINE OF SAID NORTHEAST QUARTER, ALSO BEING THE EAST LINE OF SAID NORTHWEST QUARTER, A DISTANCE OF 1215.21 FEET; THENCE NORTH 89 DEGREES 05 MINUTES 16 SECONDS WEST, A DISTANCE OF 746.45 FEET TO THE EASTERLY RIGHT OF WAY OF NORTHWEST SKYVIEW AVENUE; THENCE NORTH 08 DEGREES 31 MINUTES 25 SECONDS EAST, ALONG SAID RIGHT OF WAY, A DISTANCE OF 422.09 FEET, THENCE CONTINUING ALONG SAID RIGHT-OF-WAY, NORTH 08 DEGREES 24 MINUTES 25 SECONDS EAST, A DISTANCE OF 931.64 FEET; THENCE NORTHERLY ALONG A CURVE TO THE RIGHT, BEING TANGENT TO THE LAST COURSE HAVING A RADIUS OF 442.46 FEET, AN ARC DISTANCE OF 202.85 FEET; THENCE CONTINUING ALONG SAID RIGHT-OF-WAY, NORTH 34 DEGREES 40 MINUTES 25 SECONDS EAST, A DISTANCE OF 359.59 FEET TO THE NORTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 30; THENCE SOUTH 89 DEGREES 51 MINUTES 45 SECONDS EAST, ALONG SAID NORTH LINE, A DISTANCE OF 290.85 FEET TO THE POINT OF BEGINNING. SAID TRACT CONTAINS 95.80 ACRES MORE OR LESS.



LOCATION MAP  
(NOT TO SCALE)

### MPD STATEMENT OF INTENT for ENVISION RESIDENTIAL

THIS MPD PLAN PROVIDES FOR THE PREPARATION AND APPROVAL OF A UNIFIED DEVELOPMENT OF APPROXIMATELY 96 ACRES LOCATED ALONG SKYVIEW AVENUE AND NW 108<sup>TH</sup> STREET. THE PROPOSED MPD PLAN PROVIDES FOR THE DEVELOPMENT OF 15 ACRES FOR MULTIFAMILY AND 81 ACRES OF SINGLE-FAMILY BY USING MPD ZONING. THIS ALLOWS THE DEVELOPMENT OF THE 96 ACRES ONE PLAN AND ONE ZONING DISTRICT RATHER THAN SEVERAL PLANS WITH SEPARATE ZONING DISTRICTS. IT ENHANCES AND PROTECTS NATURAL RESOURCES BY PROTECTING THE STREAM THAT RUNS THROUGH THE MIDDLE OF THE DEVELOPMENT AND ON THE EASTERN SIDE. ADDITIONALLY IT PROVIDES A MIXED HOUSING DEVELOPMENT CONTAINING A MIX OF HOUSING TYPES.

### REQUESTED DEVIATIONS

1. NONE \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

Sheet List Table	
Sheet Number	Sheet Title
C0	COVER SHEET
C1	EXISTING CONDITIONS
C2	GENERAL LAYOUT
C3	PRELIMINARY PLAT
C4	SITE PLAN
C5	ENLARGED SITE PLAN - 1
C6	ENLARGED SITE PLAN - 2
C7	ENLARGED SITE PLAN - 3
C8	ENLARGED SITE PLAN - 4
C9	GRADING PLAN
C10	LANDSCAPE BERM SECTIONS
C11	UTILITY PLAN
C12	STREAM BUFFER PLAN

### DESIGN GUIDELINES

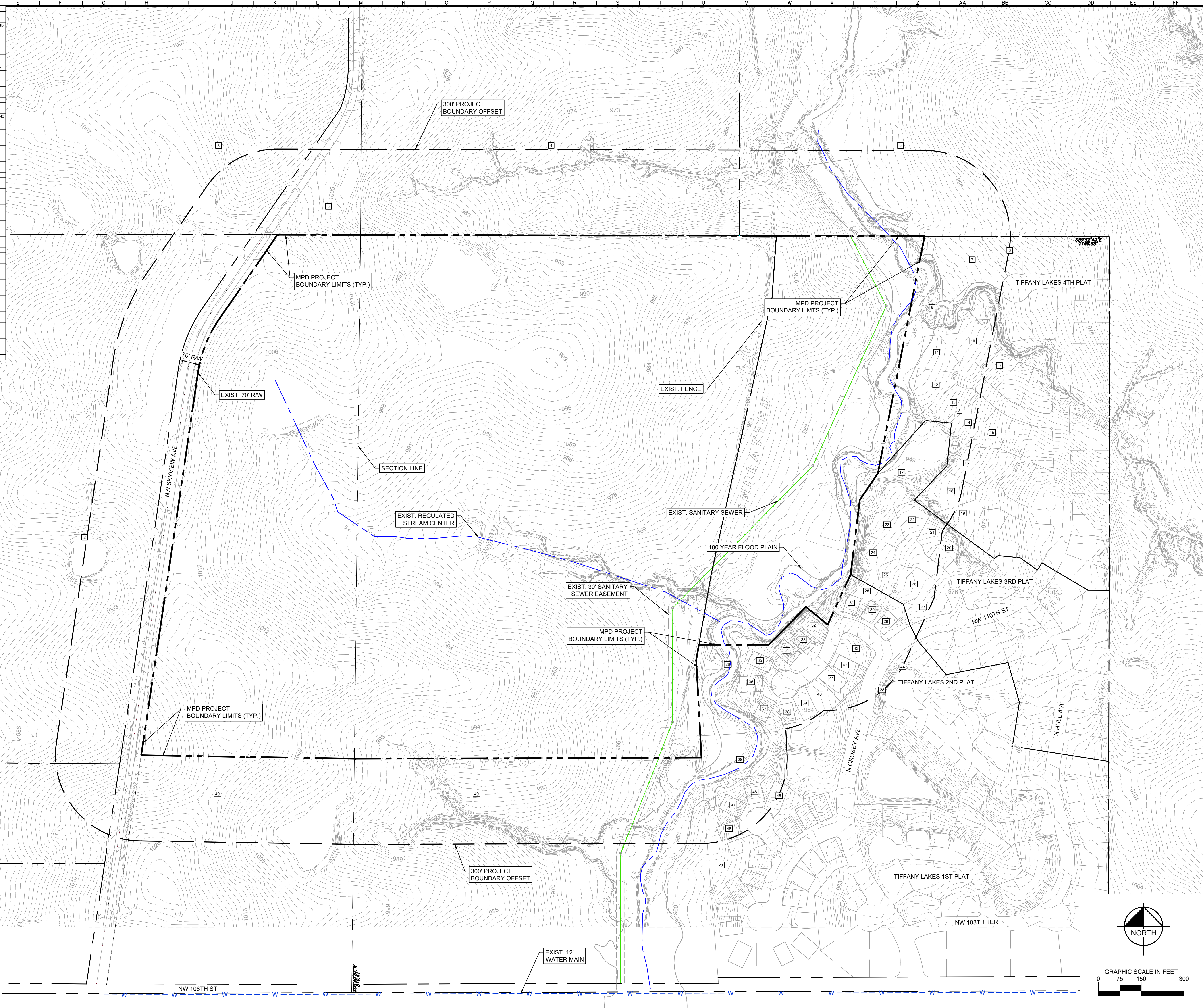
1. SITE DESIGN
  - a. BUILDING ORIENTATION
    - i.a. MULTIFAMILY BUILDINGS SHALL GENERALLY BE ORIENTED AS SHOWN, WITH THE FRONT FAÇADE OF BUILDINGS 2 AND 3 FACING ON PUBLIC STREETS WITH FUNCTIONAL ACCESS ORIENTED INWARDS TO THE PARKING LOT PER 88-110-06-C-7. THE REMAINDER OF THE BUILDINGS SHALL BE ORIENTED TOWARDS THE SHARED PARKING LOT.
  - j. SITE ARRANGEMENT
    - i.a. THE MULTI-FAMILY RESIDENTIAL USE SHALL BE LOCATED AT THE SOUTHWEST CORNER OF THE SITE, CLOSEST TO 108<sup>TH</sup> & SKYVIEW INTERSECTION.
    - ii.b. THE REMAINDER OF THE SITE SHALL HAVE SINGLE-FAMILY LOTS WHICH GENERALLY BACK TO GREEN SPACE, SKYVIEW, OR BACK YARDS.
    - iii.c. THE SINGLE-FAMILY AMENITY LOT SHALL BE LOCATED WITHIN THE FIRST PHASE/PLAT.
    - iv.d. THE EXISTING DRAINAGE CHANNEL ALONG THE EAST PORTION OF THE PROPERTY SHALL BE PROTECTED AND PRESERVED, INCLUDING THE ASSOCIATED STREAM BUFFER.
    - v.e. THE EXISTING DRAINAGE CHANNEL ALONG THE MIDDLE PORTION OF THE PROPERTY SHALL GENERALLY BE PRESERVED. A PORTION OF THE EXISTING STREAM IS INCORRECTLY MAPPED, THEREFORE ONLY THE PORTION WHICH CHARACTERIZES AS A STREAM, SHALL BE PROTECTED AND PRESERVED.
    - vi. THE MULTIFAMILY RESIDENTIAL SHALL PROVIDE A NORTH-SOUTH PEDESTRIAN CONNECTION FROM NW 109<sup>TH</sup> STREET TO THE UN-PLATTED PROPERTY TO THE SOUTH.
  - c. PLATTING
    - i.a. THE PROPERTY SHALL BE PLATTED, AND INDIVIDUAL LOTS SHALL BE ESTABLISHED, AS SHOWN ON THE APPROVED PLAN.
    - ii.b. PUBLIC RIGHT-OF-WAY SHALL BE DEDICATED AS PART OF THE FINAL PLAT PROCESS.
    - iii.c. NW 109<sup>TH</sup> STREET SHALL BE CLASSIFIED AS A "RESIDENTIAL" COLLECTOR" (60' R/W) FROM NW SKYVIEW AVENUE TO NW SALINE AVENUE.
    - iv.d. NW 110<sup>TH</sup> STREET SHALL BE CLASSIFIED AS A "RESIDENTIAL" COLLECTOR" (60' R/W) FROM NW SKYVIEW AVENUE TO NW SALINE AVENUE.
    - v.e. ALL OTHER STREETS SHALL BE CLASSIFIED AS "RESIDENTIAL LOCAL" ROADWAYS(50' R/W).
    - vi.f. PUBLIC UTILITIES (WATER, STORM, SANITARY) WILL BE EXTENDED TO SERVE EACH LOT.
    - vii.g. THE PROPOSED STORMWATER MANAGEMENT PONDS WILL BE A COMMON ELEMENT TO SERVE THE LOTS AND WILL BE LOCATED IN SEPARATE TRACTS.
    - viii.h. THE DRAINAGE CHANNELS TO BE PRESERVED WILL BE A COMMON ELEMENT TO SERVE ALL LOTS AND WILL BE LOCATED IN A SEPARATE TRACT.
2. ARCHITECTURAL DESIGN -
  - a. ARCHITECTURE SHALL BE A DEFERRED SUBMITTAL UNTIL THE FINAL PLAN STAGE (MPD FINAL PLAN)
  - b. BUILDING MATERIALS
    - i.a. MULTIFAMILY RESIDENTIAL BUILDINGS SHALL GENERALLY USE THE FOLLOWING:  
CEMENTITIOUS LAP SIDING  
CEMENTITIOUS BOARD & BATTEN  
MASONRY  
EIFS NOT TO EXCEED 30%
  - c. DESIGN ELEMENTS
    - i.a. A MINIMUM OF FOUR DIFFERENT TYPES OF BUILDING MATERIALS SHALL BE USED ON EACH MULTIFAMILY BUILDING.
    - ii.b. CORNER ELEMENTS SHALL BE INCLUDED IN THE FINAL MULTIFAMILY BUILDING DESIGN.
    - iii.c. PRIMARY ENTRY LOCATIONS FOR EACH MULTIFAMILY BUILDING SHALL BE IDENTIFIED WITH ARCHITECTURAL BUILDING ELEMENTS AND SIGNAGE.
    - iv.d. ALL FINAL MULTIFAMILY BUILDING DESIGNS SHALL IMPLEMENT FOUR-SIDED ARCHITECTURE.
    - v.e. ALL MULTIFAMILY BUILDINGS SHALL HAVE FAÇADE ARTICULATION, WITH BOTH HORIZONTAL AND VERTICAL OFFSETS.
    - vi.f. PARAPETS SHALL BE PROVIDED TO SCREEN ALL ROOFTOP MOUNTED EQUIPMENT.
    - vii.g. GROUND SCREENING SHALL ALSO BE PROVIDED FOR GROUND LEVEL UTILITY EQUIPMENT
  - d. TRANSPARENCY
    - i.a. TRANSPARENCY SHALL BE PROVIDED AS REQUIRED BY THE CITY'S ZONING AND DEVELOPMENT CODE. MULTIFAMILY BUILDINGS, SHALL PROVIDE A MINIMUM OF 30% TRANSPARENCY ON THE GROUND LEVEL FAÇADE FACING SKYVIEW AVE.

KIMLEY-HORN	KIMLEY-HORN	KIMLEY-HORN	KIMLEY-HORN	KIMLEY-HORN	KIMLEY-HORN
3/16/2023	4/3/2023	4/20/2023			
CITY COMMENTS	CITY COMMENTS	CITY COMMENTS			
NO	NO	NO			
© 2023 KIMLEY-HORN AND ASSOCIATES, INC. 805 PENNSYLVANIA AVENUE, SUITE 150 KANSAS CITY, MO 64105 WWW.KIMLEY-HORN.COM					
SCALE:	DESIGNED BY: PMD	DRAWN BY: KMR	CHECKED BY: MK		
PRELIMINARY NOT FOR CONSTRUCTION					
COVER SHEET					
ENVISION					
11145 NW SKYVIEW AVE					
ORIGINAL ISSUE: 01/27/2023					
KHA PROJECT NO. 268258002					
SHEET NUMBER					
C0					

Drawing name: K:\KNC\_LDEV\268258002\_108th & Skyview Residential\2 Design\CAD\NonSheets\MPD\C0 COVER SHEET.dwg  
 CD COVER SHEET  
 Apr 20, 2023, 6:54pm  
 by: Kellin Roynor  
 Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc. This document, together with the concepts and designs presented herein, is an instrument of service, as an instrument of service, and is intended only for the specific purpose and client for which it was prepared.



ID NO.	Name	Address	Mailing Address
1	Goetz, Lynn E	10000 NW Skyview Ave	10000 NW Skyview Ave
2	Klein, Timothy M & Crystal A	10028 NW Skyview Ave	10000 NW Skyview Ave
3	South Interchange Properties LLC	11230 NW Skyview Ave	4629 W 65th St Idaho Falls, ID 83402
4	Peterson Development Company Inc	11501 NW Skyview Ave	10000 W 75th St Shawnee Mission, KS 66204
5	J.A. Patterson Enterprises Inc	N/A	10000 W 75th St Suite 100 Shawnee, MO 64781
6	Sorta, Deborah Nicole	5512 NW 111th Pl	5512 NW 111th Pl
7	Santoro, Kyle Allen & Justin Michael	5516 NW 111th Pl	5516 NW 111th Pl
8	Tiffany Lakes Homes Association Inc	5515 NW 111th Ct	11135 NW Ambassador Dr
9	Tiffany Lakes Homes Association Inc	5509 N Hull Ave	11135 NW Ambassador Dr
10	Tiffany Lakes Homes Association Inc	5511 NW 111th Ct	5511 NW 111th Ct
11	Wells, James J Trust	5520 NW 111th Ct	5520 NW 111th Ct
12	Robertson, Brian	5528 NW 111th Ct	5528 NW 111th Ct
13	Gallina, Edward A & Kerry J	5523 NW 111th Ct	5523 NW 111th Ct
14	Dr. Cur, Alexander & Phillip R	5519 NW 111th Ct	5519 NW 111th Ct
15	Borders, Valerie & Gregory	5513 NW 111th Ct	5513 NW 111th Ct
16	Murley, Richard Blair Jr & Judith A	5509 NW 111th Ct	5509 NW 111th Ct
17	Andrews, James W & Stevenson, Dotti L	5510 NW 110th Ct	5510 NW 110th Ct
18	Tiffany Lakes Development Company LLC	11008 N Mattox Ct	PO Box 901485
19	Cummings, Daniel L & Kathryn A	5519 NW 110th Ct	5519 NW 110th Ct
20	Suhai, Scott A & Diana L	5515 NW 110th Ct	5515 NW 110th Ct
21	Taylor, Robert J & Colleen M	11009 N Mattox Ct	11009 N Mattox Ct
22	Goddard, Larry R & Linda D	11015 N Mattox Ct	11015 N Mattox Ct
23	Conner, James L & Julie L	11019 N Mattox Ct	11019 N Mattox Ct
24	Hodges, Christopher B & Diane E Trust	11021 N Mattox Ct	11021 N Mattox Ct
25	Alberts, Michael M & Julie A Trust	11022 N Mattox Ct	11022 N Mattox Ct
26	Gold, Andrew P & Kathleen	11016 N Mattox Ct	11016 N Mattox Ct
27	Lobenberg, David C & Nancy J	11018 N Mattox Ct	11018 N Mattox Ct
28	Tarpley, Dirk D & Megan D	11000 N Mattox Ct	11000 N Mattox Ct
29	Tiffany Lakes Homes Association Inc	5768 NW 108th Ct CA	PO Box 901485
30	Tiffany Lakes Homes Association Inc	3853 N Crosby Ave	PO Box 901485
31	Tiffany Lakes Homes Association Inc	5721 NW 110th Cir	PO Box 901485
32	Tiffany Lakes Homes Association Inc	5720 NW 110th Cir	PO Box 901485
33	Tiffany Lakes Homes Association Inc	5716 NW 110th Cir	PO Box 901485
34	Tiffany Lakes Homes Association Inc	5629 NW 109th Ct	PO Box 901485
35	Tiffany Lakes Homes Association Inc	10812 N Crosby Ave	PO Box 901485
36	Tiffany Lakes Homes Association Inc	11013 N Crosby Ave	PO Box 901485
37	Tiffany Lakes Homes Association Inc	5721 NW 110th Cir	PO Box 901485
38	Kronk, Kristin	11001 N Crosby Ave	11001 N Crosby Ave
39	Maddox, Karen E	11005 N Crosby Ave	11005 N Crosby Ave
40	Foster, Stephanie M	11009 N Crosby Ave	11009 N Crosby Ave
41	Hoy, Stephen J & Sherry A Trust	5700 NW 110th Ct	5700 NW 110th Ct
42	Salins, Shannon & Angelique	5704 NW 110th Ct	5704 NW 110th Ct
43	Redlin, John Jr & Sue S	5708 NW 110th Ct	5708 NW 110th Ct
44	Medeiros, Christina L & Salvato, Joseph A Jr	5712 NW 110th Ct	5712 NW 110th Ct
45	Cloud, Charles Alan & Sally	5714 NW 110th Ct	5714 NW 110th Ct
46	Stoddard, Michael J Trust	5719 NW 110th Ct	5719 NW 110th Ct
47	Chevalier Living Trust	5717 110th Ct	5717 110th Ct
48	Laun, Elaine A Trust	5715 NW 110th Ct	5715 NW 110th Ct
49	Jones, Gary W & Mary E	5709 NW 110th Ct	5709 NW 110th Ct
50	Gladis L Sternmann Family Trust	5705 NW 110th Ct	5705 NW 110th Ct
51	Baker, James C Trust & Baker, Patricia A Trust	5703 NW 110th Ct	5703 NW 110th Ct
52	Ransdell, Michael L	5701 NW 110th Ct	5701 NW 110th Ct
53	Ayers, Jason & Jennifer R	5624 NW 109th Ct	5624 NW 109th Ct
54	Spicer, James D & Marjette	10805 N St Clair Ct	10805 N St Clair Ct
55	Dohman, Wayne Roger & Rebecca Ann Trust	10811 N St Clair Ct	10811 N St Clair Ct
56	Tate, Charles M	10812 N St Clair Ct	10812 N St Clair Ct
57	Mason, James E	10808 N St Clair Ct	10808 N St Clair Ct
58	Catholic Diocese of Kansas City-St Joseph Trust	10801 NW Skyview Ave	20 W 9th St Kansas City

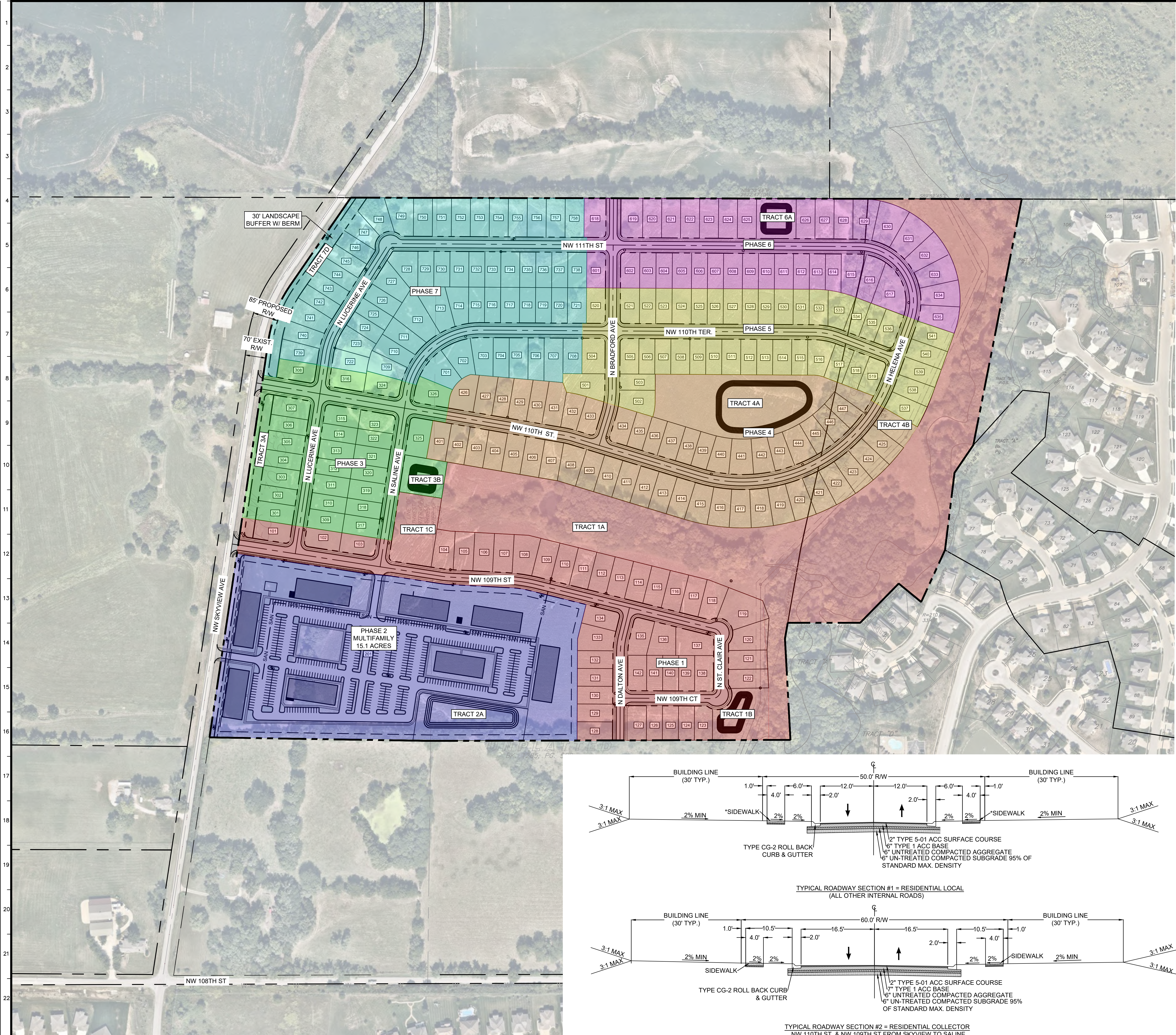


Drawing name: K:\VNC\DEV\268258002\_108th & Skyview Residential\2 Design\CAD\Drawings\MPD\C1 EXISTING CONDITIONS.dwg C1 EXISTING CONDITIONS Apr 20, 2023 6:54pm By: Kaitlin Royner  
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adoption by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

<p><b>Kimley-Horn</b></p> <p>© 2020 KIMLEY-HORN AND ASSOCIATES, INC.        805 PENNSYLVANIA AVENUE, SUITE 150        KANSAS CITY, MO 64105        WWW.KIMLEY-HORN.COM</p>	<p>SCALE: AS NOTED</p> <p>DESIGNED BY: PMD</p> <p>DRAWN BY: KMR</p> <p>CHECKED BY: MK</p>	<p>CITY COMMENTS</p> <p>3/16/2023</p> <p>4/3/2023</p> <p>4/20/2023</p>	<p>NO.</p> <p>DATE</p>
<p><b>EXISTING CONDITIONS</b></p> <p>11145 NW SKYVIEW AVE</p>		<p><b>ENVISION</b></p> <p>C1</p>	
<p>ORIGINAL ISSUE: 01/27/2023</p> <p>KHA PROJECT NO. 268258002</p> <p>SHEET NUMBER</p>		<p>REVISIONS</p>	



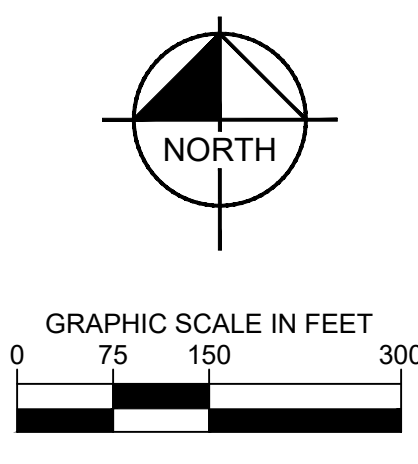
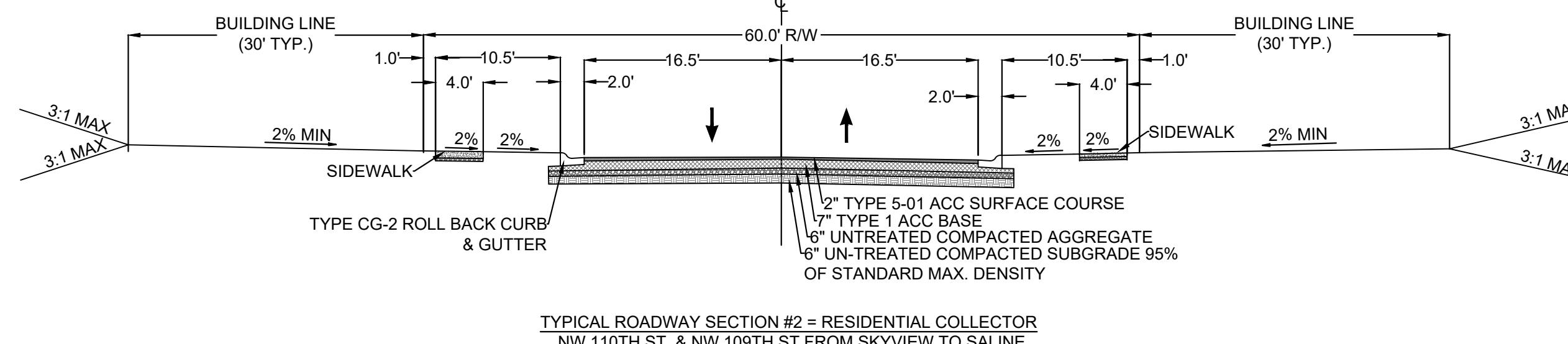
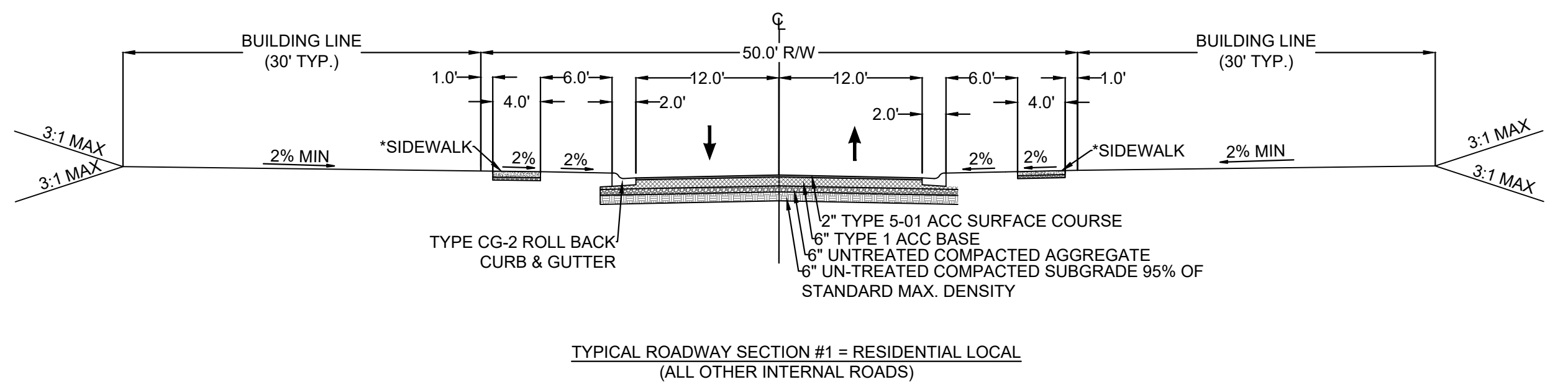
Drawing name: K:\VNC\_DEVA\268258002\_108in. & Skyview Residential\2 Design\CAD\Drawings\MPD\C2 GENERAL LAYOUT.dwg Apr 20, 2023 6:54pm by: Kaitlin Roynor  
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



TRACT DATA TABLE			
TRACT	AREA (SF)	AREA (AC)	USE
TRACT 1A	681,223	15.64	PRIVATE OPEN SPACE
TRACT 1B	41,767	0.96	STORMWATER MANAGEMENT
TRACT 1C	34,051	0.78	PRIVATE OPEN SPACE
TRACT 2A	50,141	1.15	STORMWATER MANAGEMENT
TRACT 3A	14,577	0.33	LANDSCAPE BUFFER
TRACT 3B	18,142	0.42	STORMWATER MANAGEMENT
TRACT 4A	113,722	2.61	STORMWATER MANAGEMENT
TRACT 4B	9,880	0.23	UTILITIES
TRACT 6A	18,138	0.42	STORMWATER MANAGEMENT
TRACT 7A	20,564	0.47	LANDSCAPE BUFFER

PHASE	LOT COUNT	LOT NUMBERS
1	42	101-142
2	1	201
3	26	301-326
4	47	401-447
5	41	501-541
6	35	601-635
7	58	701-758

Development Summary Table	
<b>Zoning</b>	
A Existing	AG-R
B Proposed	MPD
<b>Right-of-Way</b>	
C Existing	0.00 Acres
D Proposed	13.10 Acres
<b>Net Land Area</b>	
E Existing	95.01 Acres
F Proposed	82.81 Acres
<b>Proposed Uses</b>	
G Area A (PH 1, 3, 5, 6, 7)	Single Family Detached
H Area B (PH 2)	Multi-Unit Apartments
<b>Structure Height &amp; # of Floors</b>	
I Number of Floors	2 Area A (Single Family)
J Structure Height (ft)	30 Family
K Number of Floors	3 Area B (Apartments)
L Structure Height (ft)	50 (Apartments)
<b>Gross Floor Area &amp; # of Units</b>	
M Number of Lots	249 Area A (Single Family)
N Number of Units	340 Family
O Number of Buildings	8 Area B (Apartments)
P Total Gross Floor Area (SF)	285900 (Apartments)
<b>Building Coverage &amp; FAR</b>	
Q Coverage	20%
R FAR	48%
<b>Density</b>	
S Gross Density (units or homes/land area)	9.14
T Net Density (units homes/net land area)	7.11
<b>Setbacks</b>	
U Front Setback (ft) (unless noted otherwise)	30 Area A (Single Family)
V Rear Setback (ft)	25 Family
W Side Setback (ft)	5 Family
X Front Setback (ft)	15 Area B (Apartments)
Y Rear Setback (ft)	20 (Apartments)
Z Side Setback (ft)	20 (Apartments)
<b>Parking</b>	
AA Required Vehicle Parking	340
AB Provided Vehicle Parking	528
AC Required Short Term Bicycle Parking	53 Area B (Apartments)
AD Provided Short Term Bicycle Parking	53 (Apartments)
AE Required Long Term Bicycle Parking	114
AF Provided Long Term Bicycle Parking	114
<b>Timeline</b>	
AG Estimated Start Date	1/1/2024
AH Estimated Completion Date	12/31/2034
<b>Parkland Dedication</b>	
AI Calculated base on 2 people per dwelling unit and 3.7 people per house	
AJ # of MF units	340
AK # of SF units	249
AL Total People =	1891
AM Acres per Person =	0.009
AN Acres Required =	9.61
AO Acres Provided (Tract 1A) =	6.24
AP Acres Provided (Tract 1C) =	0.78
AQ Acres Provided (Tract 4A) =	2.61
AR Acres Provided (Total) =	9.63
AS Parkland Shortage	0.00
AT 2023 Parkland Fee Per Acre	\$84,220.18
AU Parkland Fees (In Lieu of Acres Provided) =	\$817,014.65



CITY COMMENTS  
3/16/2023  
KMR

CITY COMMENTS  
4/3/2023  
KMR

CITY COMMENTS  
4/20/2023  
KMR

REVISIONS  
DATE

SCALE: AS NOTED  
 DESIGNED BY: PMD  
 DRAWN BY: KMR  
 CHECKED BY: MK

PRELIMINARY  
NOT FOR CONSTRUCTION

Kimley-Horn

© 2020 KIMLEY-HORN AND ASSOCIATES, INC.  
 805 PENNSYLVANIA AVENUE, SUITE 150  
 KANSAS CITY, MO 64105  
 WWW.KIMLEY-HORN.COM

GENERAL LAYOUT

ENVISION

11145 NW SKYVIEW AVE

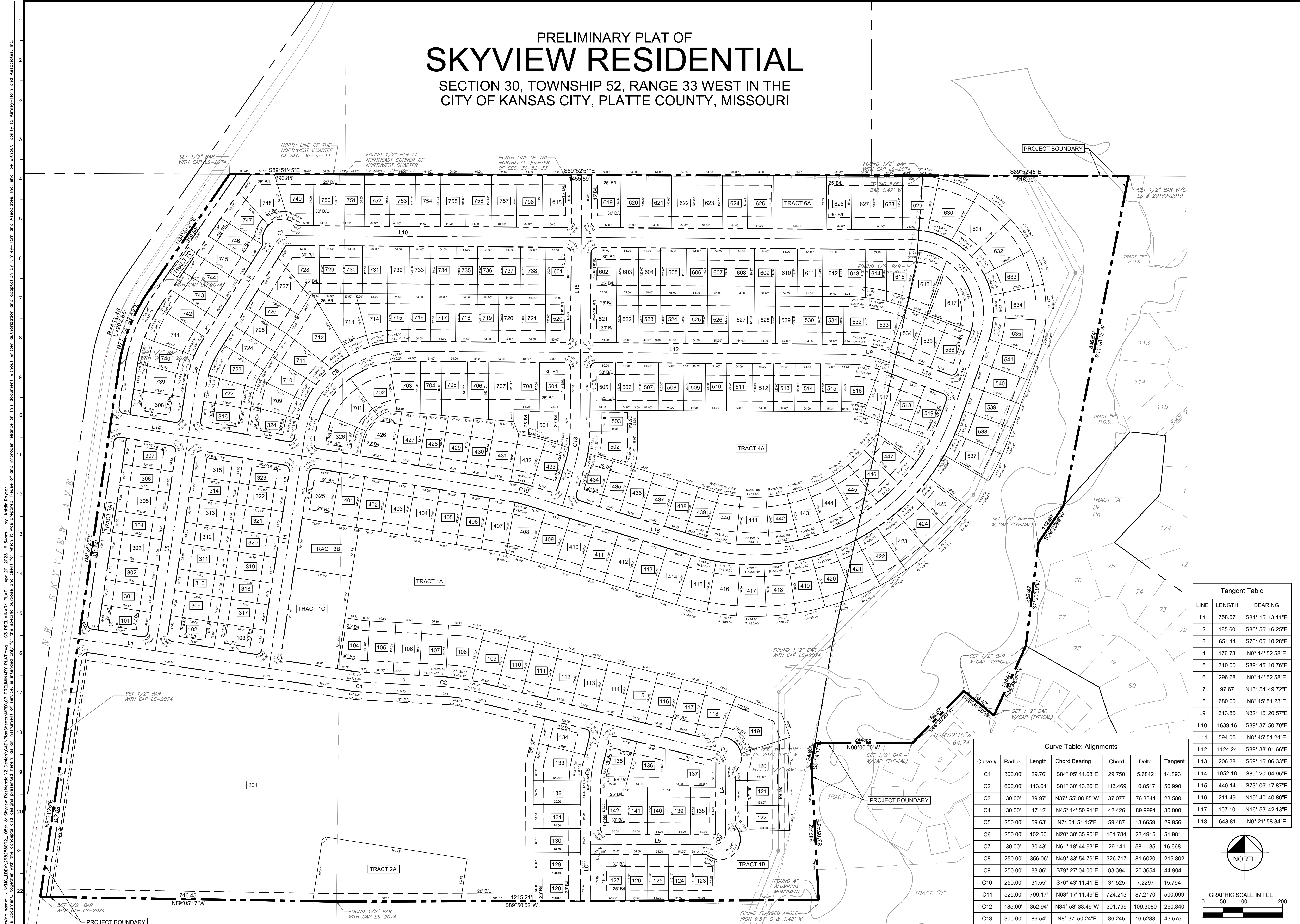
C2

ORIGINAL ISSUE: 01/27/2023  
 KHA PROJECT NO. 268258002  
 SHEET NUMBER



# PRELIMINARY PLAT OF SKYVIEW RESIDENTIAL

SECTION 30, TOWNSHIP 52, RANGE 33 WEST IN THE  
CITY OF KANSAS CITY, PLATTE COUNTY, MISSOURI

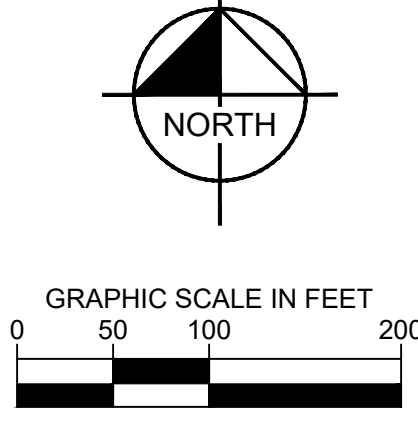


**Tangent Table**

LINE	LENGTH	BEARING
L1	758.57	S81° 15' 13.11"E
L2	185.60	S86° 56' 16.25"E
L3	651.11	S76° 05' 10.28"E
L4	176.73	N0° 14' 52.58"E
L5	310.00	S89° 45' 10.76"E
L6	296.68	N0° 14' 52.58"E
L7	97.67	N13° 54' 49.72"E
L8	680.00	N8° 45' 51.23"E
L9	313.85	N32° 15' 20.57"E
L10	1639.16	S89° 37' 50.70"E
L11	594.05	N8° 45' 51.24"E
L12	1124.24	S89° 38' 01.66"E
L13	206.38	S69° 16' 06.33"E
L14	1052.18	S80° 20' 04.95"E
L15	440.14	S73° 06' 17.87"E
L16	211.49	N19° 40' 40.86"E
L17	107.10	N16° 53' 42.13"E
L18	643.81	N0° 21' 58.34"E

**Curve Table: Alignments**

Curve #	Radius	Length	Chord Bearing	Chord	Delta	Tangent
C1	300.00'	29.76'	S84° 05' 44.68"E	29.750	5.6842	14.893
C2	600.00'	113.64'	S81° 30' 43.26"E	113.469	10.8517	56.990
C3	30.00'	39.97'	N37° 55' 08.85"W	37.077	76.3341	23.580
C4	30.00'	47.12'	N45° 14' 50.91"E	42.426	89.9991	30.000
C5	250.00'	59.63'	N7° 04' 51.15"E	59.487	13.6659	29.956
C6	250.00'	102.50'	N20° 30' 35.90"E	101.784	23.4915	51.981
C7	30.00'	30.43'	N61° 18' 44.93"E	29.141	58.1135	16.668
C8	250.00'	356.06'	N49° 33' 54.79"E	326.717	81.6020	215.802
C9	250.00'	88.86'	S79° 27' 04.00"E	88.394	20.3654	44.904
C10	250.00'	31.55'	S76° 43' 11.41"E	31.525	7.2297	15.794
C11	525.00'	799.17'	N63° 17' 11.49"E	724.213	87.2170	500.099
C12	185.00'	352.94'	N34° 58' 33.49"W	301.799	109.3080	260.840
C13	300.00'	86.54'	N8° 37' 50.24"E	86.245	16.5288	43.575

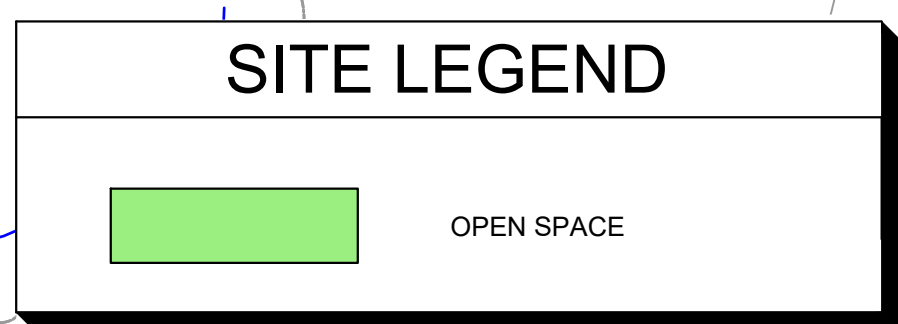
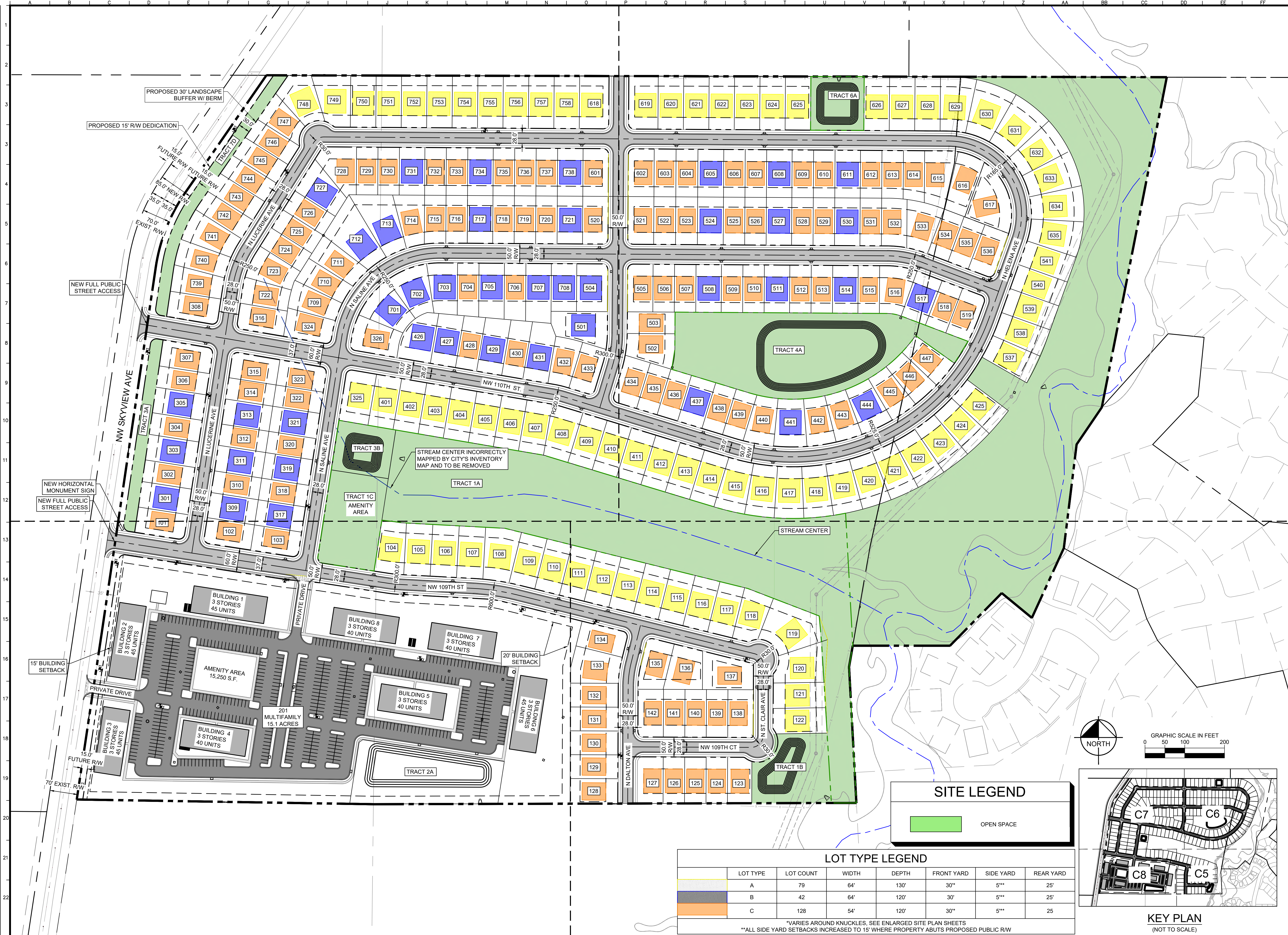


	CITY COMMENTS	3/16/2023	KMR	BY
	CITY COMMENTS	4/3/2023	KMR	
	CITY COMMENTS	4/20/2023	KMR	
<p><b>PRELIMINARY PLAT</b></p> <p>NOT FOR CONSTRUCTION</p>				
<p><b>PRELIMINARY</b></p> <p><b>ENVISION</b></p> <p>11145 NW SKYVIEW AVE</p>				
<p>SCALE: AS NOTED</p> <p>DESIGNED BY: PMD</p> <p>DRAWN BY: KMR</p> <p>CHECKED BY: MK</p>				
<p>ORIGINAL ISSUE: 01/27/2023</p> <p>KHA PROJECT NO. 268258002</p> <p>SHEET NUMBER</p>				
C3				

Drawing name: K:\KNC\_DEVELOPMENT\2023\0816\_Skyview Residential\2 Design\CAD\Drawings\MPD\C3 PRELIMINARY PLAT.dwg  
 Date: Apr 20, 2023 6:54pm  
 by: Kaitlin Royner  
 This document, together with the concepts and designs presented herein, is an instrument of service and shall be without liability to Kimley-Horn and Associates, Inc.

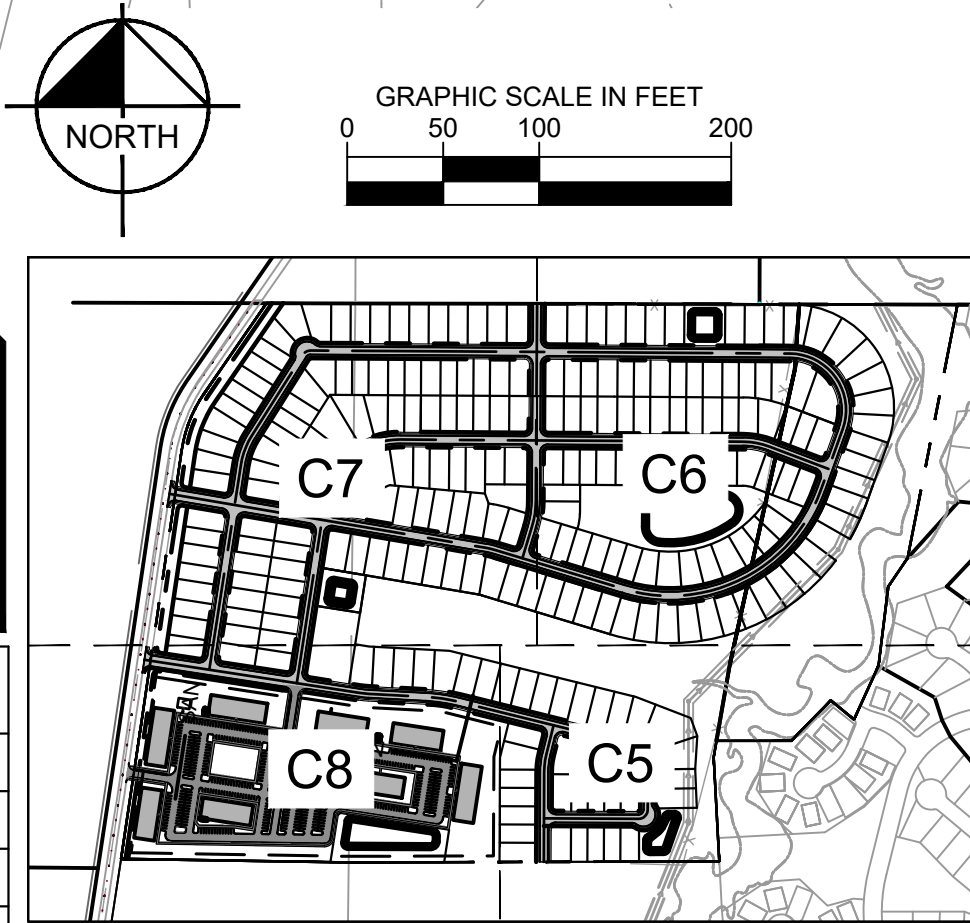


Drawing name: K:\VNC\_DEVELOPMENT\268258002\_108b & Skyview Residential\2 Design\CAD\Drawings\MPD\C8 ELARGED SITE PLAN - 4.dwg C4 SITE PLAN - 4.dwg Apr 20, 2023 6:54pm by Kaitlin Royner  
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



LOT TYPE LEGEND							
LOT TYPE	LOT COUNT	WIDTH	DEPTH	FRONT YARD	SIDE YARD	REAR YARD	
A	79	64'	130'	30"	5"	25'	
B	42	64'	120'	30'	5"	25'	
C	128	54'	120'	30"	5"	25'	

\*VARIES AROUND KNUCKLES, SEE ENLARGED SITE PLAN SHEETS  
 \*\*ALL SIDE YARD SETBACKS INCREASED TO 15' WHERE PROPERTY ABUTS PROPOSED PUBLIC RW

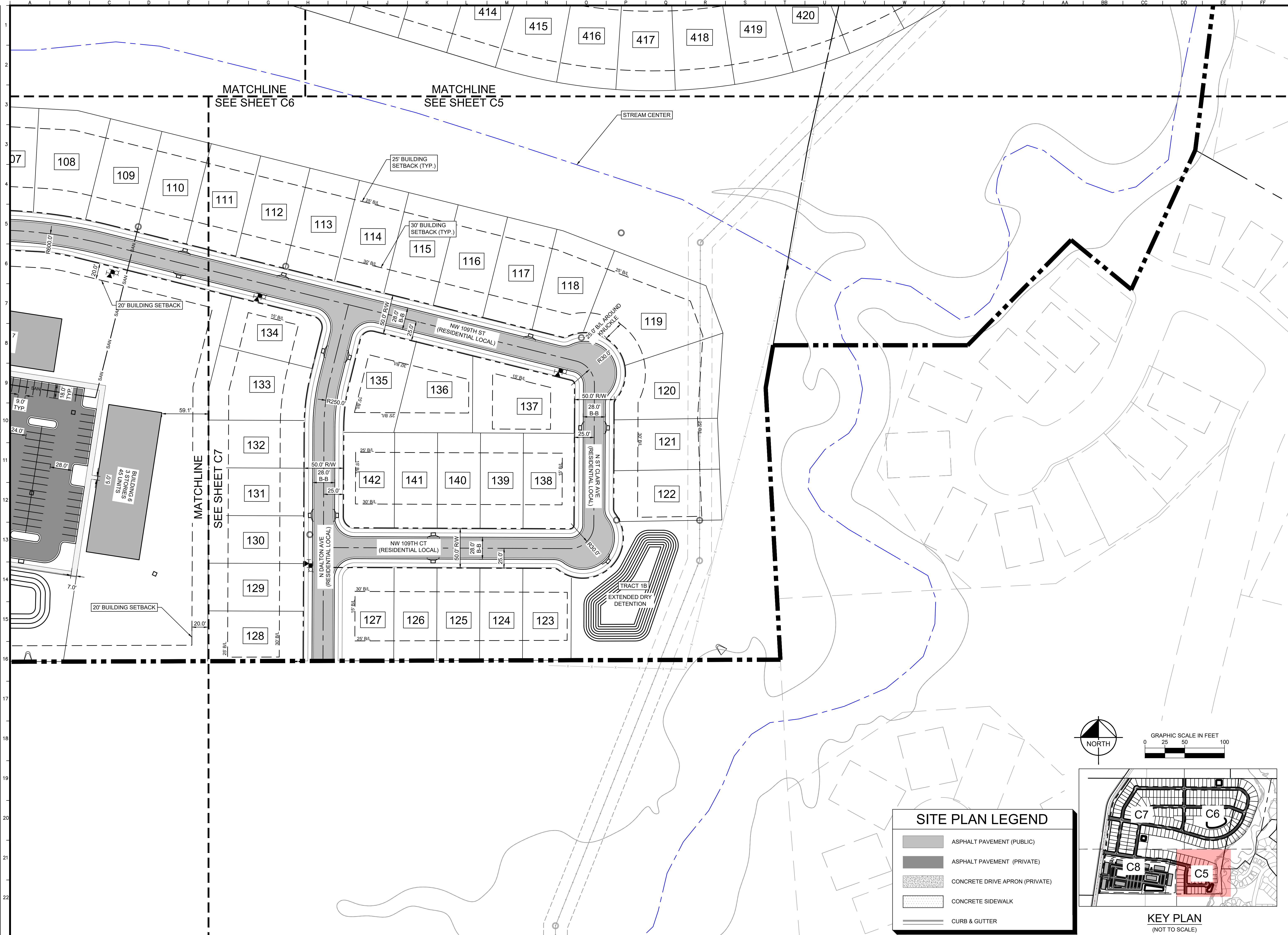


KEY PLAN  
(NOT TO SCALE)

	<b>Kimley-Horn</b> <small>© 2020 KIMLEY-HORN AND ASSOCIATES, INC.        805 PENNSYLVANIA AVENUE, SUITE 150        KANSAS CITY, MO 64105        WWW.KIMLEY-HORN.COM</small>	SCALE: AS NOTED DESIGNED BY: PMD DRAWN BY: KMR CHECKED BY: MK	CITY COMMENTS 3/16/2023 KMR 4/3/2023 KMR 4/20/2023 KMR
PRELIMINARY NOT FOR CONSTRUCTION		REVISIONS NO. DATE BY	
<b>SITE PLAN</b>		<b>ENVISION</b> 11145 NW SKYVIEW AVE	
ORIGINAL ISSUE: 01/27/2023		KHA PROJECT NO. 268258002	
SHEET NUMBER <b>C4</b>			



Drawing name: K:\ENC\_DEV\268258002\_108a & Skyview Residential\2 Design\CAD\Drawings\MPD\08 ENLARGED SITE PLAN - 1.dwg CS ENLARGED SITE PLAN - 1 Apr 20, 2023 6:54pm by: Kaitlin-Royner  
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of any part of this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



**SITE PLAN LEGEND**

- ASPHALT PAVEMENT (PUBLIC)
- ASPHALT PAVEMENT (PRIVATE)
- CONCRETE DRIVE APRON (PRIVATE)
- CONCRETE SIDEWALK
- CURB & GUTTER

NORTH

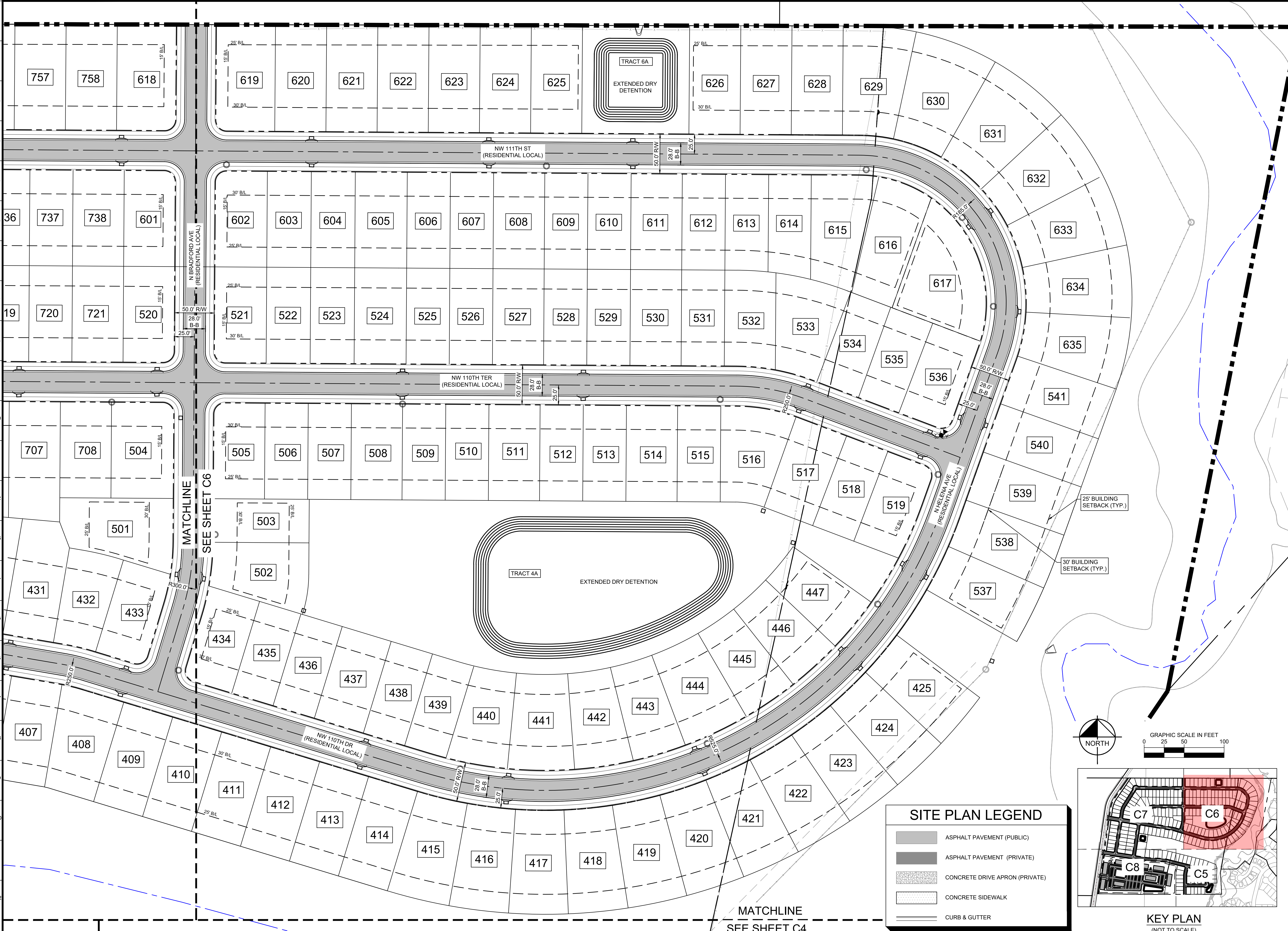
GRAPHIC SCALE IN FEET  
0 25 50 100

**KEY PLAN**  
(NOT TO SCALE)

	KIMLEY-HORN	KMR	KMR	KMR
3/16/2023	4/3/2023	4/20/2023		
CITY COMMENTS	CITY COMMENTS	CITY COMMENTS		
No.	No.	No.	No.	No.
REVISIONS	DATE	BY		
<p style="font-weight: bold; font-size: 1.2em;">Kimley-Horn</p> <p style="font-size: 0.8em;">© 2020 KIMLEY-HORN AND ASSOCIATES, INC. 805 PENNSYLVANIA AVENUE, SUITE 150 KANSAS CITY, MO 64105 WWW.KIMLEY-HORN.COM</p>				
SCALE:	AS NOTED	DESIGNED BY: PMD	DRAWN BY: KMR	CHECKED BY: MK
PRELIMINARY NOT FOR CONSTRUCTION				
ENLARGED SITE PLAN - 1				
ENVISION				
11145 NW SKYVIEW AVE				
ORIGINAL ISSUE: 01/27/2023				
KHA PROJECT NO. 268258002				
SHEET NUMBER				
C5				



Drawing name: K:\VNC\DEV\268258002\_1081n & Skyview Residential\2 Design\CAD\PlanSheets\MPO\C6 ENLARGED SITE PLAN - 2 Apr 20, 2023 6:54pm by: Kaitlin Royner  
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



**SITE PLAN LEGEND**

- ASPHALT PAVEMENT (PUBLIC)
- ASPHALT PAVEMENT (PRIVATE)
- CONCRETE DRIVE APRON (PRIVATE)
- CONCRETE SIDEWALK
- CURB & GUTTER

**KEY PLAN**  
(NOT TO SCALE)

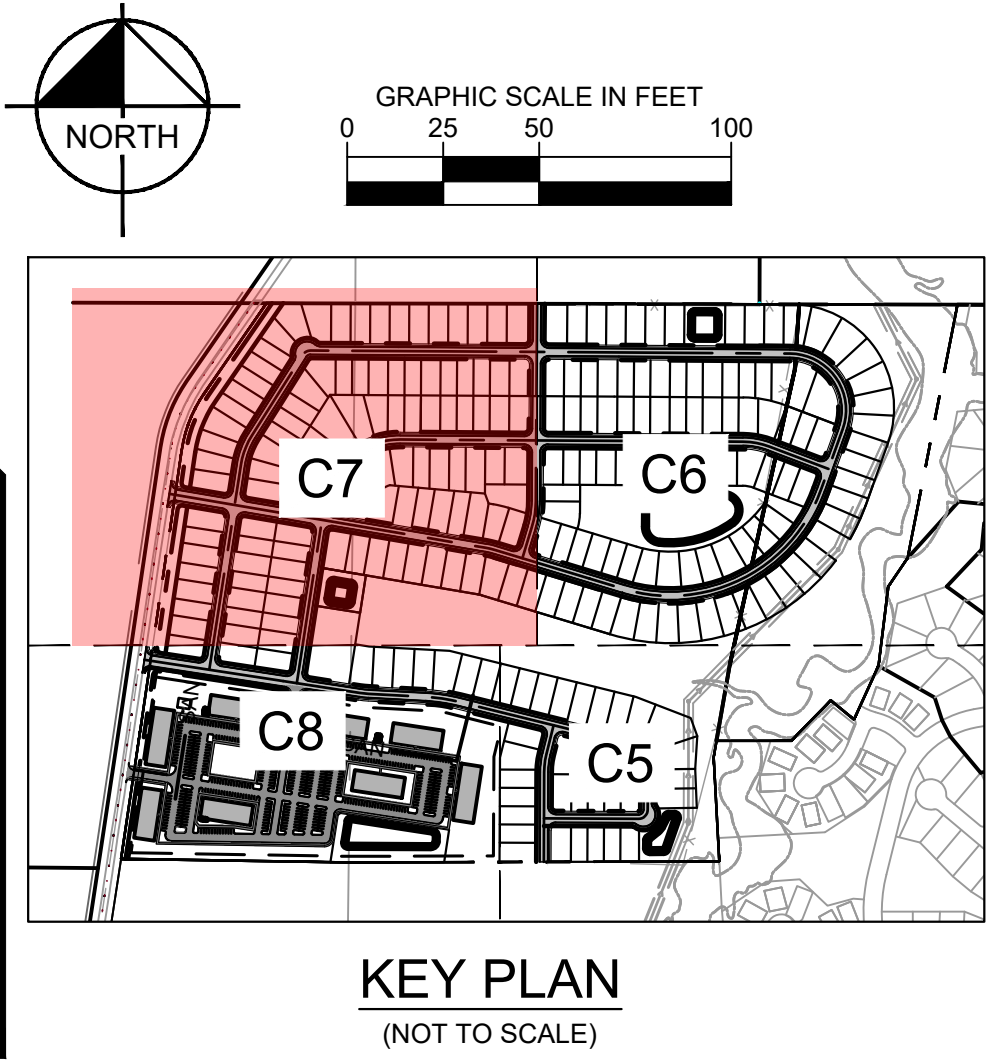
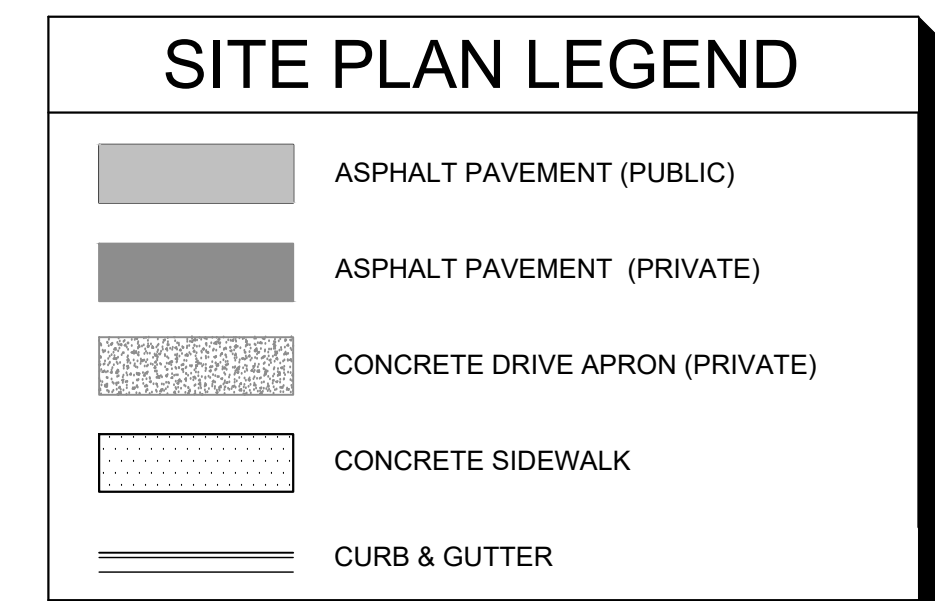
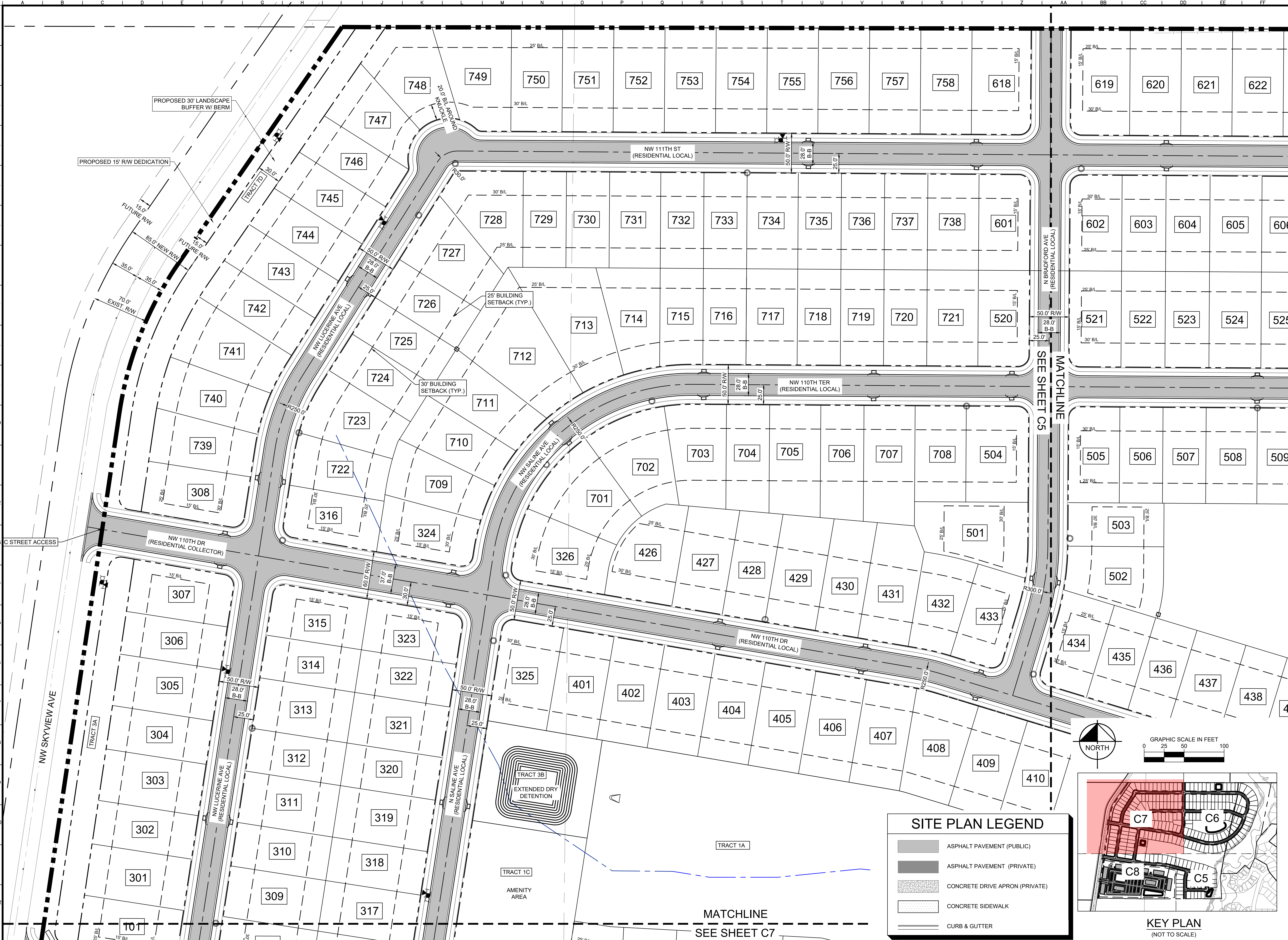
GRAPHIC SCALE IN FEET  
0 25 50 100

NORTH

	KMR	3/16/2023	CITY COMMENTS	KMR	BY
	KMR	4/3/2023	CITY COMMENTS	KMR	DATE
	KMR	4/20/2023	CITY COMMENTS	KMR	
<p><b>Kimley-Horn</b></p> <p>© 2023 KIMLEY-HORN AND ASSOCIATES, INC.        805 PENNSYLVANIA AVENUE, SUITE 150        KANSAS CITY, MO 64105        WWW.KIMLEY-HORN.COM</p>					
<p>SCALE: AS NOTED        DESIGNED BY: PMD        DRAWN BY: KMR        CHECKED BY: MK</p>					
<p>PRELIMINARY        NOT FOR CONSTRUCTION</p>					
<p><b>ENLARGED SITE PLAN - 2</b></p>					
<p><b>ENVISION</b> 11145 NW SKYVIEW AVE</p>					
<p>ORIGINAL ISSUE: 01/27/2023        KHA PROJECT NO. 268258002        SHEET NUMBER</p>					
<p><b>C6</b></p>					



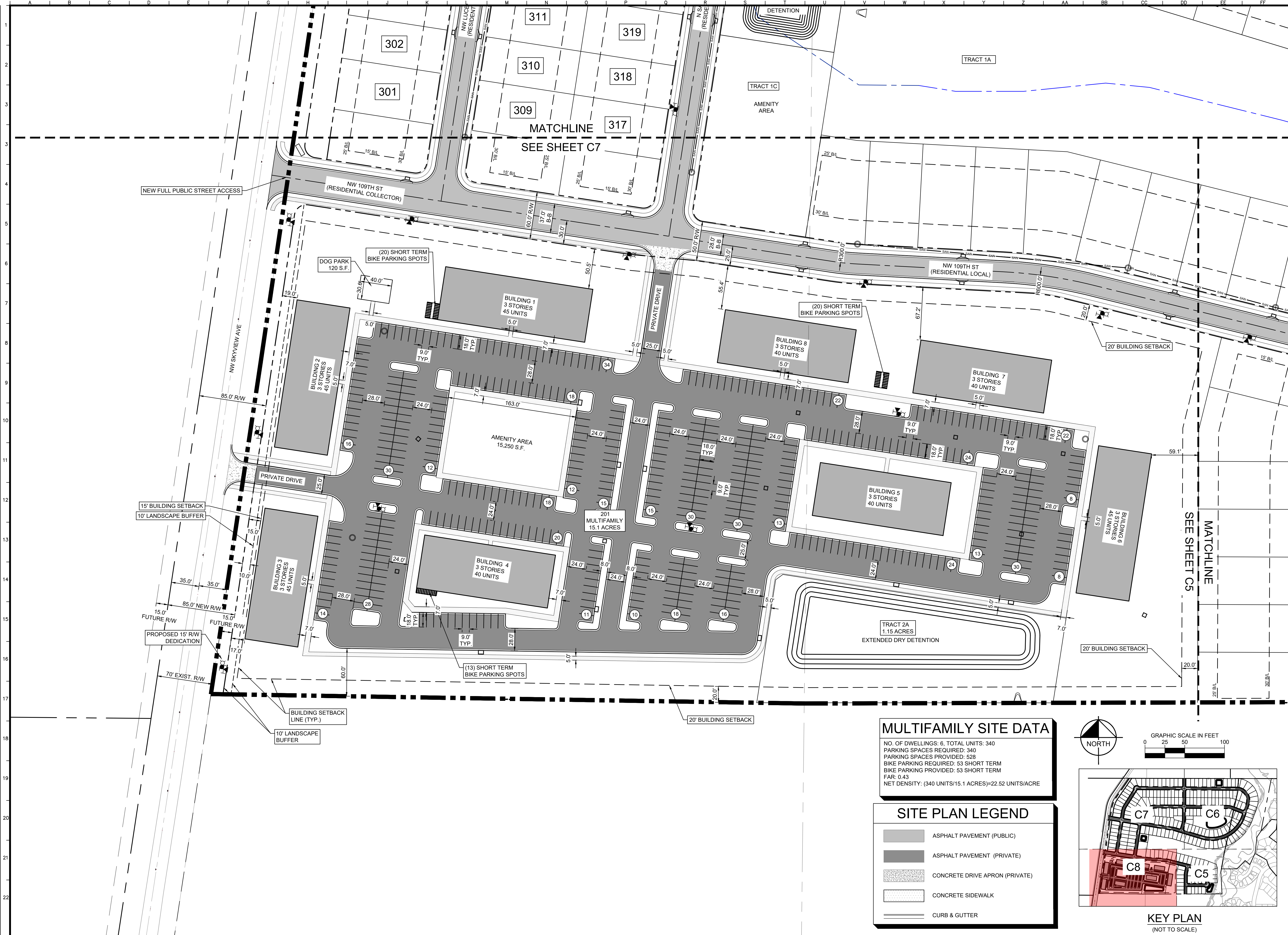
Drawing name: K:\VNC\_DEV\268258002\_108h & Skyview Residential\2 Design\CAD\Drawings\MPD\08 ENLARGED SITE PLAN - 3.dwg C7 ENLARGED SITE PLAN - 3 Apr 20, 2023 6:54pm by: Kathleen Royner  
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



KMR	KMR	KMR	KMR	KMR	KMR	KMR	KMR
3/16/2023	4/3/2023	4/20/2023	4/20/2023	4/20/2023	4/20/2023	4/20/2023	4/20/2023
CITY COMMENTS	CITY COMMENTS	CITY COMMENTS	CITY COMMENTS	CITY COMMENTS	CITY COMMENTS	CITY COMMENTS	CITY COMMENTS
AS NOTED	DESIGNED BY: PMD	DRAWN BY: KMR	CHECKED BY: MK	DATE	BY	REVISIONS	DATE
<b>Kimley»Horn</b> © 2023 KIMLEY-HORN AND ASSOCIATES, INC. 805 PENNSYLVANIA AVENUE, SUITE 150 KANSAS CITY, MO 64105 WWW.KIMLEY-HORN.COM							
PRELIMINARY NOT FOR CONSTRUCTION							
<b>ENLARGED SITE PLAN - 3</b>							
<b>ENVISION</b> 11145 NW SKYVIEW AVE							
ORIGINAL ISSUE: 01/27/2023 KHA PROJECT NO. 268258002 SHEET NUMBER <b>C7</b>							

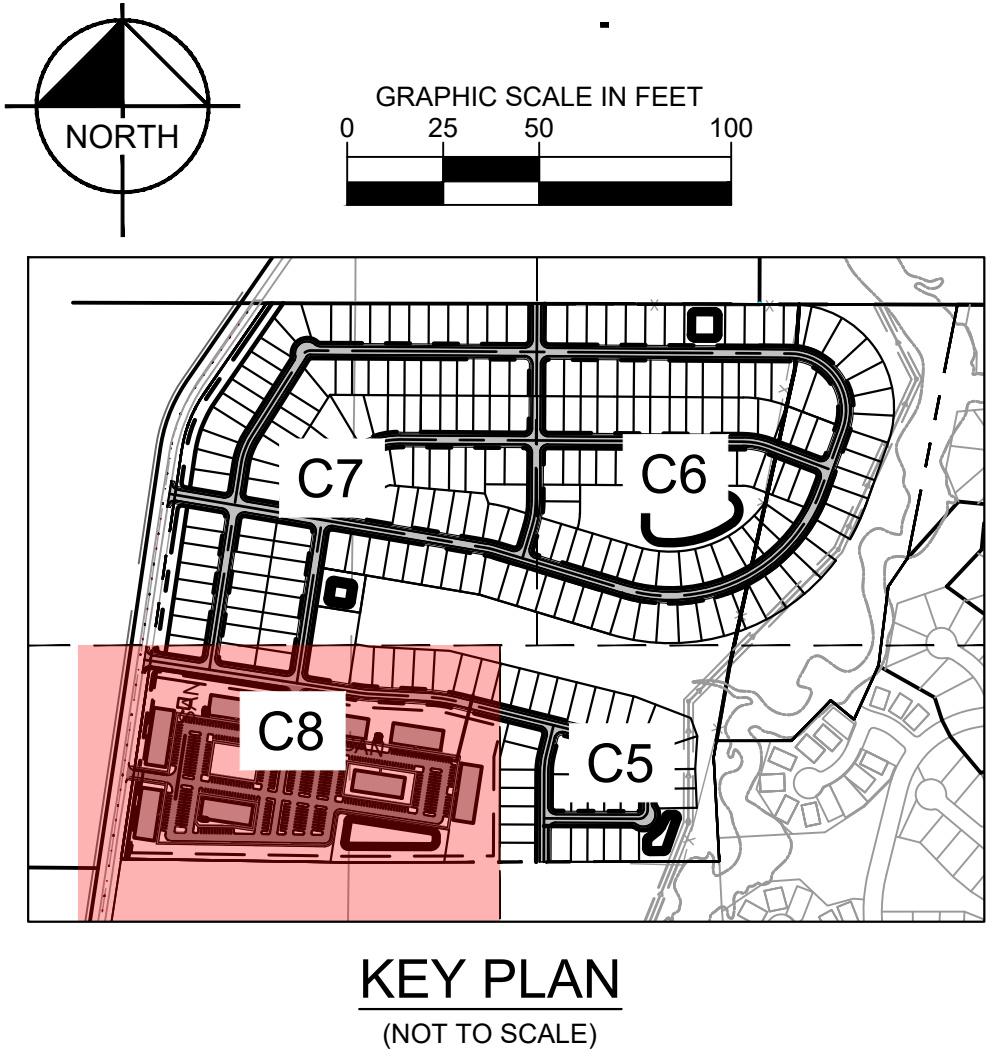


Drawing name: K:\VNC\_DEVA\268258002\_108in. & Skyview Residential\2 Design\CA0\PlanSheets\MPD\C8 ENLARGED SITE PLAN - 4.dwg CR ENLARGED SITE PLAN - 4 Apr 20, 2023 6:54pm by: Kathleen Royner  
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



MULTIFAMILY SITE DATA	
NO. OF DWELLINGS:	6, TOTAL UNITS: 340
PARKING SPACES REQUIRED:	340
PARKING SPACES PROVIDED:	528
BIKE PARKING REQUIRED:	53 SHORT TERM
BIKE PARKING PROVIDED:	53 SHORT TERM
FAR:	0.43
NET DENSITY:	(340 UNITS/15.1 ACRES)=22.52 UNITS/ACRE

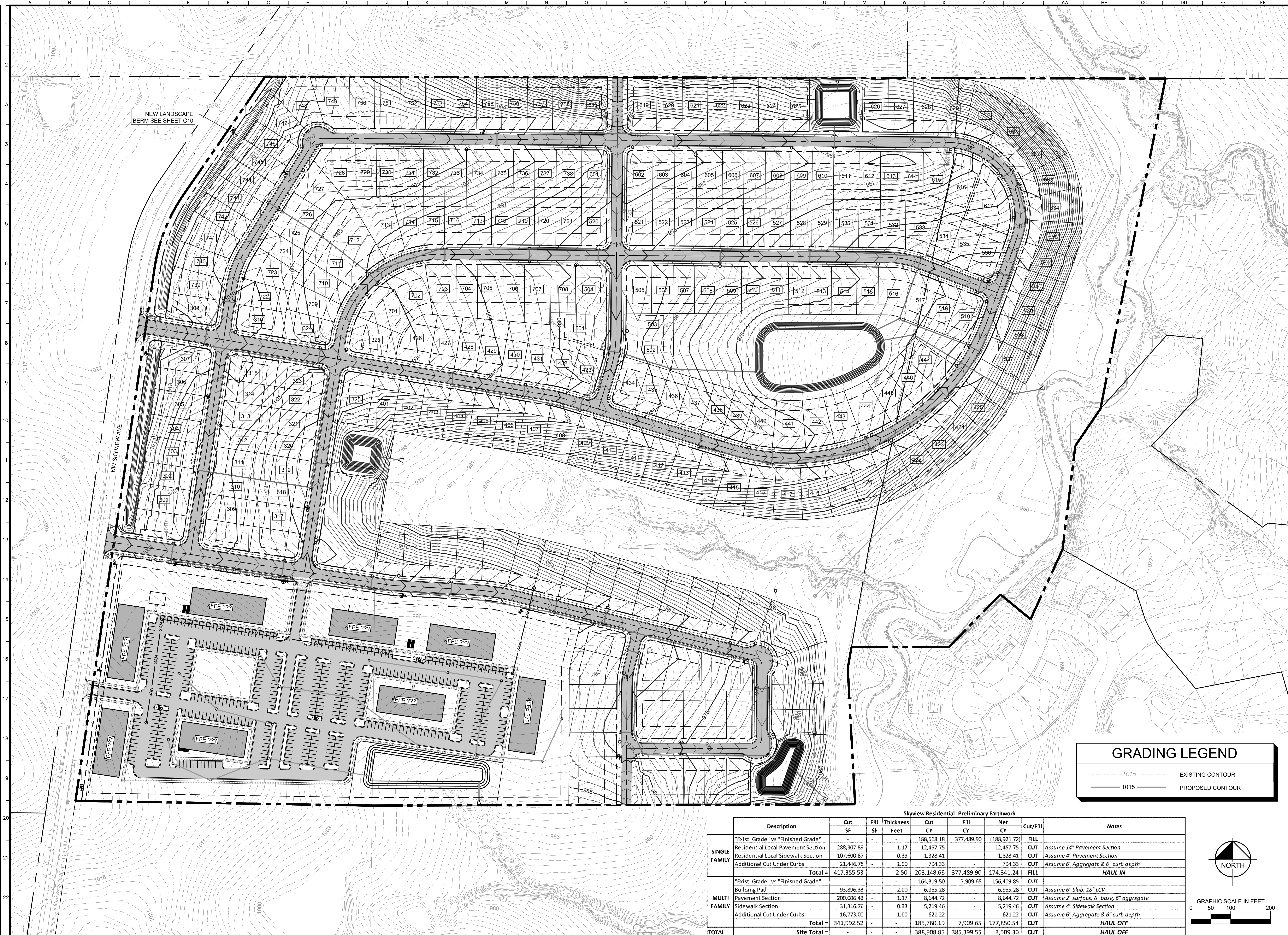
SITE PLAN LEGEND	
	ASPHALT PAVEMENT (PUBLIC)
	ASPHALT PAVEMENT (PRIVATE)
	CONCRETE DRIVE APRON (PRIVATE)
	CONCRETE SIDEWALK
	CURB & GUTTER



<p><b>ENLARGED SITE PLAN - 4</b></p> <p>PRELIMINARY NOT FOR CONSTRUCTION</p>	<p><b>Kimley-Horn</b></p> <p>© 2020 KIMLEY-HORN AND ASSOCIATES, INC. 805 PENNSYLVANIA AVENUE, SUITE 150 KANSAS CITY, MO 64105 WWW.KIMLEY-HORN.COM</p> <p>SCALE: AS NOTED DESIGNED BY: PMD DRAWN BY: KMR CHECKED BY: MK</p>								
<p>ORIGINAL ISSUE: 01/27/2023</p> <p>KHA PROJECT NO. 268258002</p> <p>SHEET NUMBER <b>C8</b></p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>CITY COMMENTS</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>KMR</td> <td>3/16/2023</td> </tr> <tr> <td>KMR</td> <td>4/3/2023</td> </tr> <tr> <td>KMR</td> <td>4/20/2023</td> </tr> </tbody> </table>	CITY COMMENTS	DATE	KMR	3/16/2023	KMR	4/3/2023	KMR	4/20/2023
CITY COMMENTS	DATE								
KMR	3/16/2023								
KMR	4/3/2023								
KMR	4/20/2023								



Drawing name: K:\NC\_DRAWING\268258002\_1081b & Skyview Residential V3 GRADING PLAN.dwg CS MULTIFAMILY GRADING PLAN Apr 20, 2023 6:54pm by KaitlinReynor  
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



NEW LANDSCAPE BERM SEE SHEET C10

NW SKYVIEW AVE

**GRADING LEGEND**

--- 1015 --- EXISTING CONTOUR

— 1015 — PROPOSED CONTOUR

Skyview Residential - Preliminary Earthwork

	Description	Cut		Fill		Net		Cut/Fill	Notes
		SF	CY	SF	CY	CY	CY		
SINGLE FAMILY	"Exist. Grade" vs "Finished Grade"	-	-	-	188,568.18	-	377,489.90	FILL	(188,921.72)
	Residential Local Pavement Section	288,307.89	-	-	12,457.75	-	12,457.75	CUT	Assume 14" Pavement Section
	Residential Local Sidewalk Section	107,600.87	-	0.33	1,328.41	-	1,328.41	CUT	Assume 4" Pavement Section
	Additional Cut Under Curbs	21,446.78	-	1.00	794.33	-	794.33	CUT	Assume 6" Aggregate & 6" curb depth
	<b>Total</b>	<b>417,355.53</b>	<b>-</b>	<b>2.50</b>	<b>203,148.66</b>	<b>377,489.90</b>	<b>174,341.24</b>	<b>FILL</b>	<b>HAUL IN</b>
MULTI FAMILY	"Exist. Grade" vs "Finished Grade"	-	-	-	164,319.50	-	7,909.65	CUT	156,409.85
	Building Pad	93,896.33	-	2.00	6,955.28	-	6,955.28	CUT	Assume 6" Slab, 18" LCV
	Pavement Section	200,006.43	-	1.17	8,644.72	-	8,644.72	CUT	Assume 2" surface, 6" base, 6" aggregate
	Sidewalk Section	31,316.76	-	0.33	5,219.46	-	5,219.46	CUT	Assume 4" Sidewalk Section
	Additional Cut Under Curbs	16,773.00	-	1.00	621.22	-	621.22	CUT	Assume 6" Aggregate & 6" curb depth
	<b>Total</b>	<b>341,992.52</b>	<b>-</b>	<b>-</b>	<b>185,760.19</b>	<b>7,909.65</b>	<b>177,850.54</b>	<b>CUT</b>	<b>HAUL OFF</b>
<b>TOTAL</b>	<b>Site Total</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>388,908.85</b>	<b>385,399.55</b>	<b>3,509.30</b>	<b>CUT</b>	<b>HAUL OFF</b>

NORTH

GRAPHIC SCALE IN FEET

0 50 100 200

CITY COMMENTS	KMR	3/16/2023	BY
CITY COMMENTS	KMR	4/3/2023	DATE
CITY COMMENTS	KMR	4/20/2023	
REVISIONS			
NO.			

**Kimley-Horn**

© 2023 KIMLEY-HORN AND ASSOCIATES, INC.  
 805 PENNSYLVANIA AVENUE, SUITE 150  
 KANSAS CITY, MO 64105  
 WWW.KIMLEY-HORN.COM

SCALE: AS NOTED  
 DESIGNED BY: PMD  
 DRAWN BY: KMR  
 CHECKED BY: MK

PRELIMINARY  
 NOT FOR CONSTRUCTION

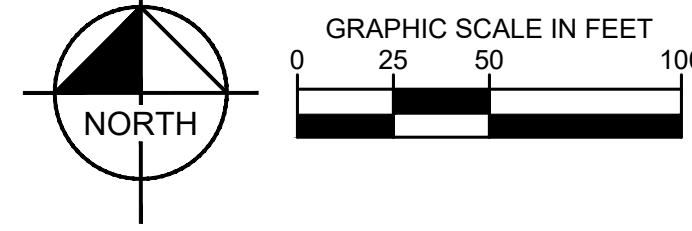
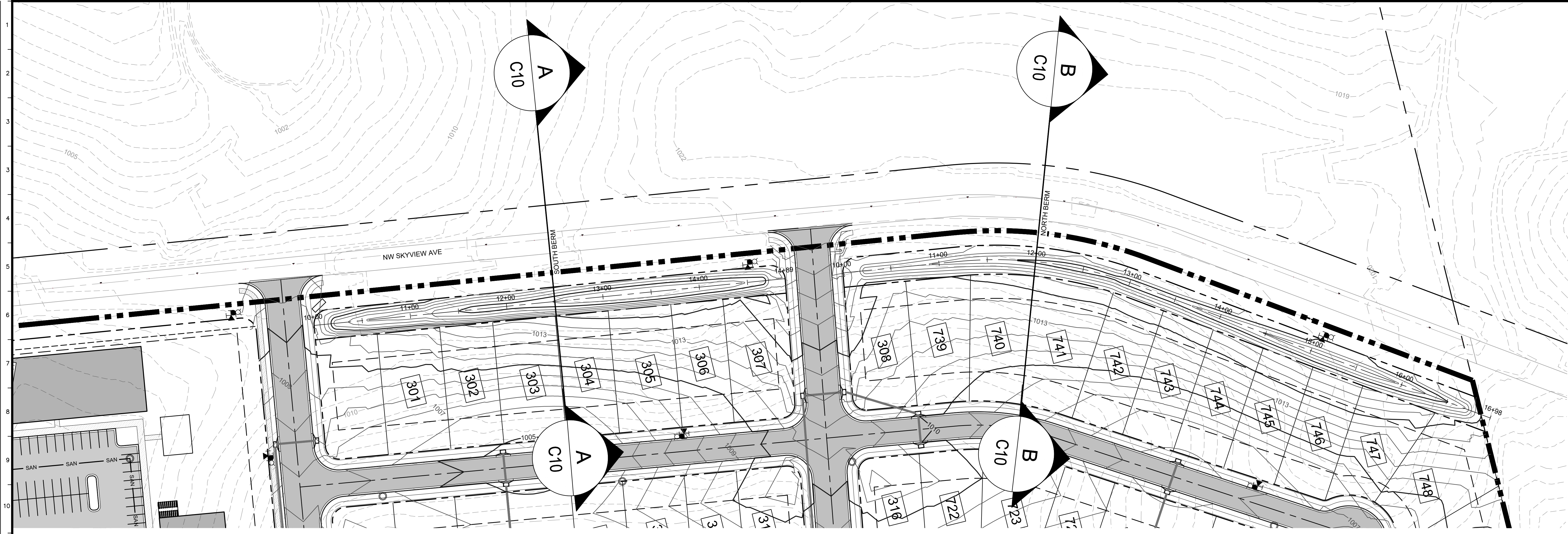
**ENVISION GRADING PLAN**

11145 NW SKYVIEW AVE

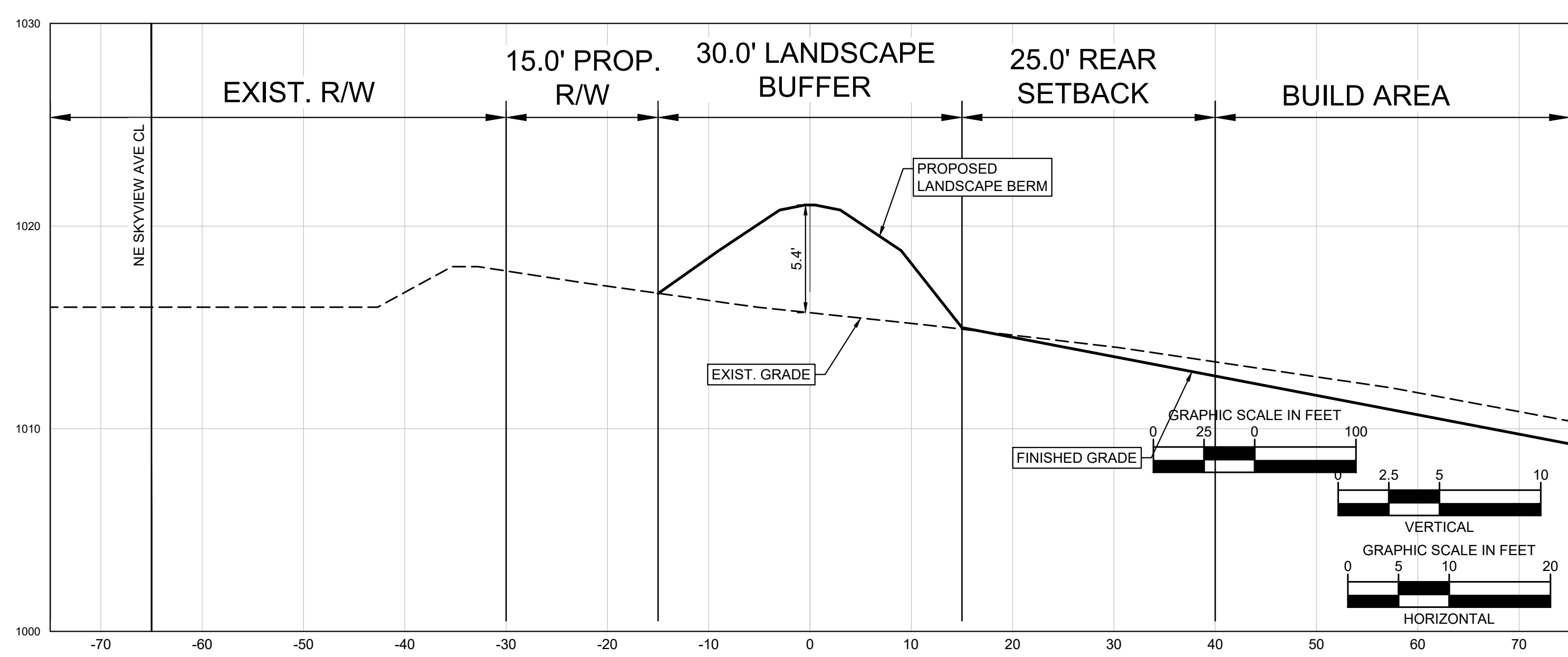
ORIGINAL ISSUE: 01/27/2023  
 KHA PROJECT NO. 268258002  
 SHEET NUMBER **C9**



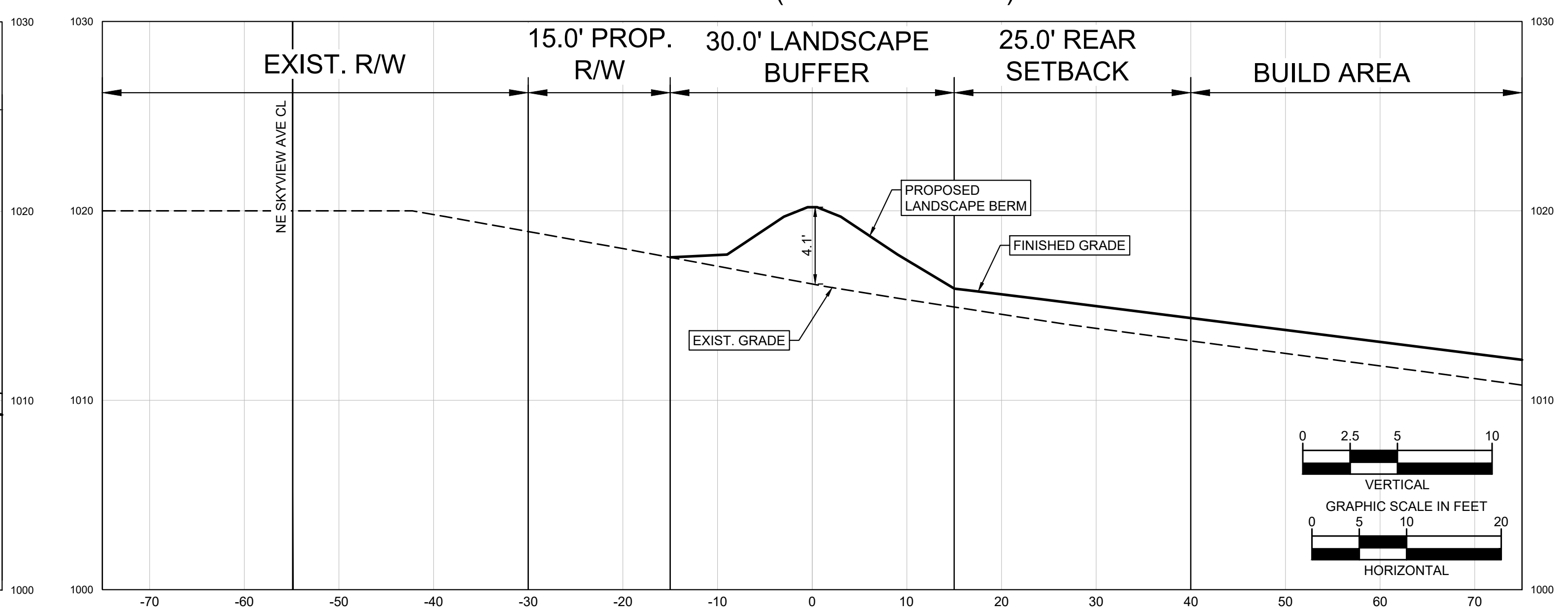
Drawing name: K:\VNC\DEV\268258002\_108h & Skyview Residential\2 Design\CAD\Plan\Sheets\MPO\C10 LANDSCAPE BERM GRADING PLAN.dwg  
 C10 LANDSCAPE BERM GRADING PLAN.dwg  
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



SECTION A-A (LOOKING NORTH)



SECTION B-B (LOOKING NORTH)



CITY COMMENTS	KMR	DATE
	3/16/2023	
	4/3/2023	
	4/20/2023	

**Kimley-Horn**  
 © 2023 KIMLEY-HORN AND ASSOCIATES, INC.  
 805 PENNSYLVANIA AVENUE, SUITE 150  
 KANSAS CITY, MO 64105  
 WWW.KIMLEY-HORN.COM

SCALE: AS NOTED  
 DESIGNED BY: PMD  
 DRAWN BY: KMR  
 CHECKED BY: MK

PRELIMINARY  
 NOT FOR CONSTRUCTION

**LANDSCAPE BERM SECTIONS**

**ENVISION**  
 11145 NW SKYVIEW AVE

ORIGINAL ISSUE:  
 01/27/2023

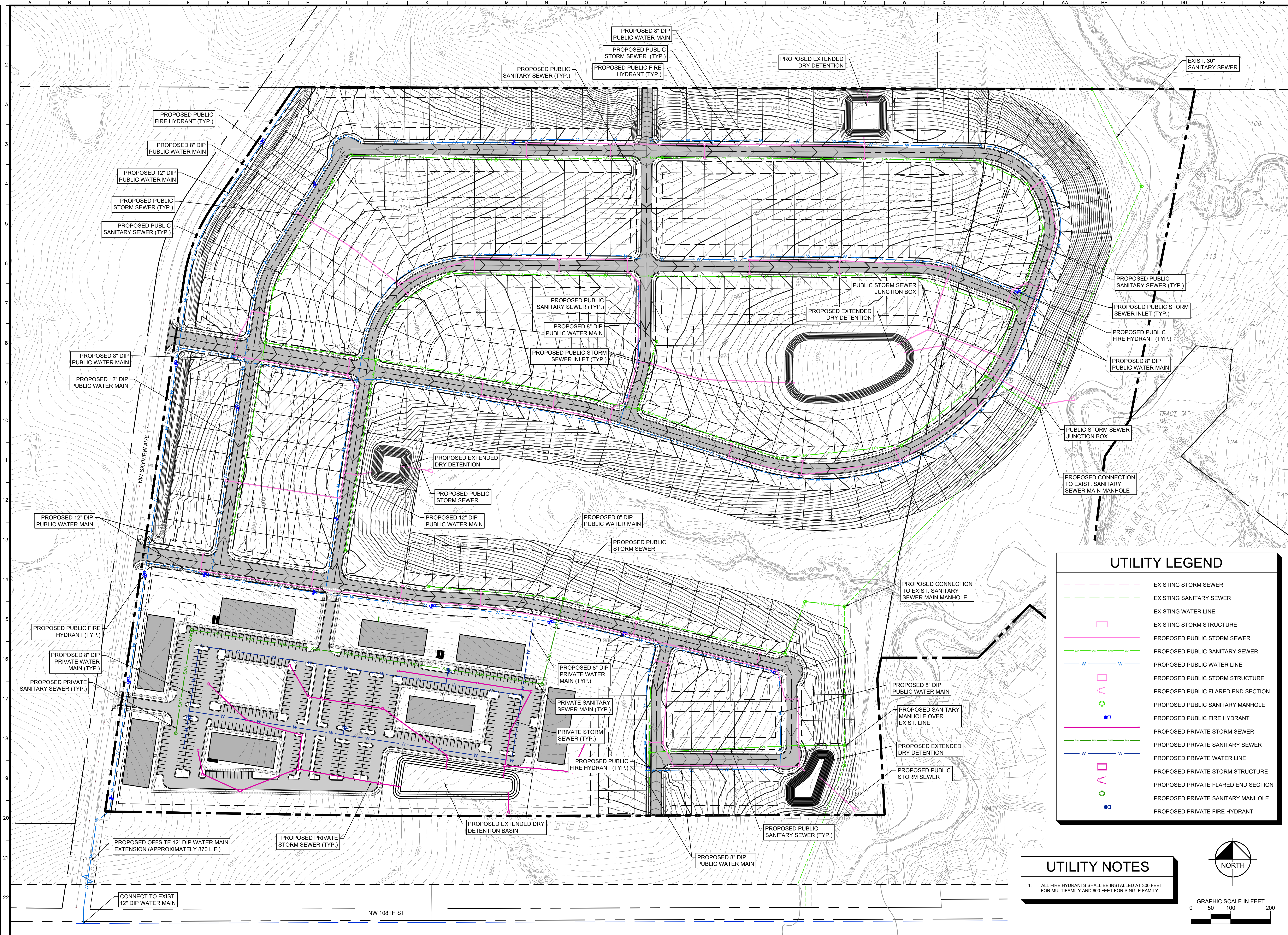
KHA PROJECT NO.  
 268258002

SHEET NUMBER

**C10**



Drawing name: K:\INC\_DEV\268258002\_1081a & Skyview Residential\2 Design\A0\Plan\Utility\Utility Plan.dwg C11 UTILITY PLAN Apr 20, 2023 6:54pm by Kaitlin-Royner  
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

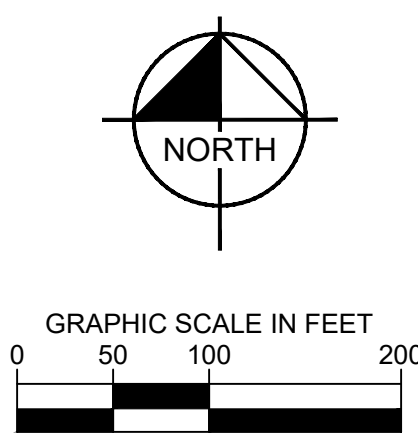


### UTILITY LEGEND

	EXISTING STORM SEWER
	EXISTING SANITARY SEWER
	EXISTING WATER LINE
	EXISTING STORM STRUCTURE
	PROPOSED PUBLIC STORM SEWER
	PROPOSED PUBLIC SANITARY SEWER
	PROPOSED PUBLIC WATER LINE
	PROPOSED PUBLIC STORM STRUCTURE
	PROPOSED PUBLIC FLARED END SECTION
	PROPOSED PUBLIC SANITARY MANHOLE
	PROPOSED PUBLIC FIRE HYDRANT
	PROPOSED PRIVATE STORM SEWER
	PROPOSED PRIVATE SANITARY SEWER
	PROPOSED PRIVATE WATER LINE
	PROPOSED PRIVATE STORM STRUCTURE
	PROPOSED PRIVATE FLARED END SECTION
	PROPOSED PRIVATE SANITARY MANHOLE
	PROPOSED PRIVATE FIRE HYDRANT

### UTILITY NOTES

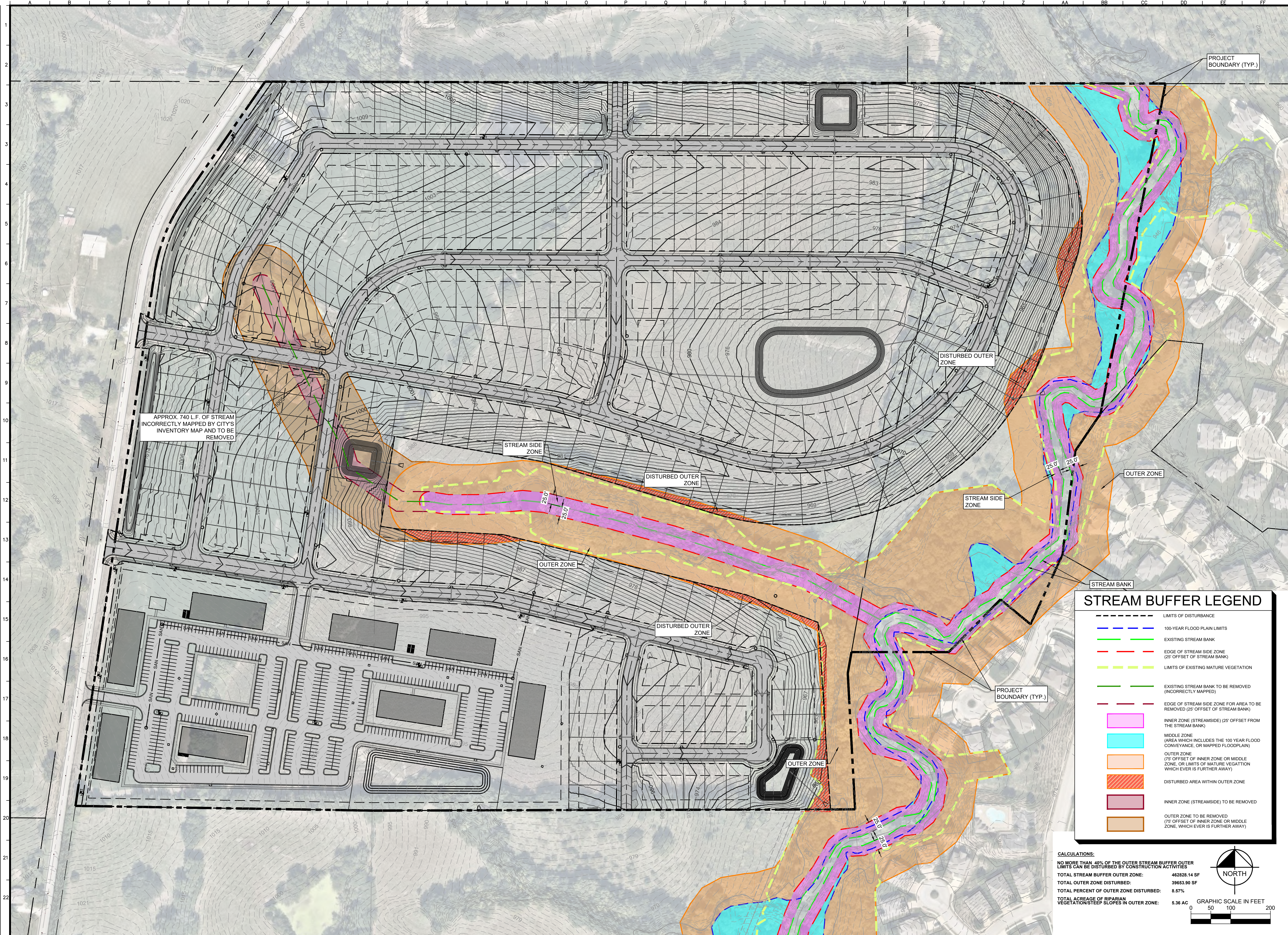
1. ALL FIRE HYDRANTS SHALL BE INSTALLED AT 300 FEET FOR MULTIFAMILY AND 600 FEET FOR SINGLE FAMILY



	<b>Kimley-Horn</b> <small>© 2020 KIMLEY-HORN AND ASSOCIATES, INC.        805 PENNSYLVANIA AVENUE, SUITE 150        KANSAS CITY, MO 64105        WWW.KIMLEY-HORN.COM</small>	<b>UTILITY PLAN</b> 11145 NW SKYVIEW AVE	<b>ENVISION</b> C11
CITY COMMENTS 3/16/2023 4/3/2023 4/20/2023	AS NOTED DESIGNED BY: PMD DRAWN BY: KMR CHECKED BY: MK	PRELIMINARY NOT FOR CONSTRUCTION	ORIGINAL ISSUE: 01/27/2023 KHA PROJECT NO. 268258002 SHEET NUMBER <b>C11</b>



Drawing name: K:\UNC\_DEVELOPMENT\268258002\_1081a & Skyview Residential\2 Design\CAD\Drawings\1011 STREAM BUFFER PLAN.dwg Apr 20, 2023 6:54pm by: Kaitlin Royster  
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



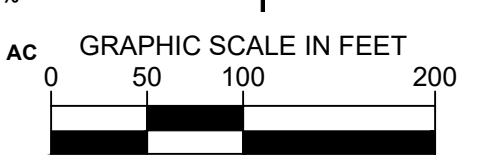
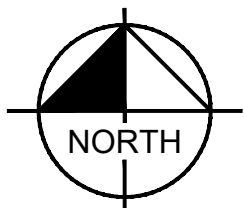
APPROX. 740 L.F. OF STREAM INCORRECTLY MAPPED BY CITY'S INVENTORY MAP AND TO BE REMOVED

### STREAM BUFFER LEGEND

--- (dashed black)	LIMITS OF DISTURBANCE
--- (dashed blue)	100-YEAR FLOOD PLAIN LIMITS
--- (dashed green)	EXISTING STREAM BANK
--- (dashed red)	EDGE OF STREAM SIDE ZONE (25' OFFSET OF STREAM BANK)
--- (dashed yellow)	LIMITS OF EXISTING MATURE VEGETATION
--- (dashed purple)	EXISTING STREAM BANK TO BE REMOVED (INCORRECTLY MAPPED)
--- (dashed orange)	EDGE OF STREAM SIDE ZONE FOR AREA TO BE REMOVED (25' OFFSET OF STREAM BANK)
█ (pink)	INNER ZONE (STREAMSIDE) (25' OFFSET FROM THE STREAM BANK)
█ (cyan)	MIDDLE ZONE (AREA WHICH INCLUDES THE 100 YEAR FLOOD CONVEYANCE, OR MAPPED FLOODPLAIN)
█ (orange)	OUTER ZONE (75' OFFSET OF INNER ZONE OR MIDDLE ZONE, OR LIMITS OF MATURE VEGETATION WHICH EVER IS FURTHER AWAY)
█ (hatched orange)	DISTURBED AREA WITHIN OUTER ZONE
█ (hatched purple)	INNER ZONE (STREAMSIDE) TO BE REMOVED
█ (hatched brown)	OUTER ZONE TO BE REMOVED (75' OFFSET OF INNER ZONE OR MIDDLE ZONE, WHICH EVER IS FURTHER AWAY)

**CALCULATIONS:**

NO MORE THAN 40% OF THE OUTER STREAM BUFFER OUTER LIMITS CAN BE DISTURBED BY CONSTRUCTION ACTIVITIES  
 TOTAL STREAM BUFFER OUTER ZONE: 462828.14 SF  
 TOTAL OUTER ZONE DISTURBED: 39653.90 SF  
 TOTAL PERCENT OF OUTER ZONE DISTURBED: 8.57%  
 TOTAL ACREAGE OF RIPARIAN VEGETATION/STEEP SLOPES IN OUTER ZONE: 5.36 AC



CITY COMMENTS	DATE	BY
KMR	3/16/2023	KMR
KMR	4/3/2023	KMR
KMR	4/20/2023	KMR

**Kimley-Horn**  
 © 2023 KIMLEY-HORN AND ASSOCIATES, INC.  
 805 PENNSYLVANIA AVENUE, SUITE 150  
 KANSAS CITY, MO 64105  
 WWW.KIMLEY-HORN.COM

SCALE: AS NOTED  
 DESIGNED BY: PMD  
 DRAWN BY: KMR  
 CHECKED BY: MK

PRELIMINARY  
 NOT FOR CONSTRUCTION

## STREAM BUFFER PLAN

## ENVISION

11145 NW SKYVIEW AVE

ORIGINAL ISSUE: 01/27/2023

KHA PROJECT NO. 268258002

SHEET NUMBER

**C12**