



CITY PLAN COMMISSION STAFF REPORT

City of Kansas City, Missouri
City Planning & Development Department
www.kcmo.gov/cpc

November 7, 2023

Project Name
Hulsing Hotel Addition at KCI

Docket # 10

Request
CD-CPC-2023-00154
Development Plan – Non-Residential

Applicant
Justin Murray
Bell/Knot & Associates

Owner
Jeff Pflughoff
Hulsing Hotels

Location 11832 NW Plaza Cir.
Area About 5.1 acres
Zoning B3-3
Council District 1st
County Platte
School District Platte County R-III

Surrounding Land Uses
North: NW Cookingham Drive
South: Lodging, zoned B3-3
East: Lodging, zoned B3-3
West: Lodging, zoned B3-3

Major Street Plan
NW Plaza Circle is not identified on the City's Major Street Plan.

Land Use Plan
The KCI Area Plan recommends commercial/industrial for this location.

APPROVAL PROCESS



PROJECT TIMELINE

The application for the subject request was filed on 9/18/2023. No scheduling deviations from 2023 Cycle T have occurred.

REQUIRED PUBLIC ENGAGEMENT

Public engagement as required by 88-505-12 does apply to this request. The applicant hosted a meeting on 10/30/2023. A summary of the meeting is attached to the staff report, see Attachment #3.

EXISTING CONDITIONS

The existing 202 room hotel sits on a 5 acres site located between NW 119th Terrace and NW Plaza Circle. The hotel is adjacent to several other lodging establishments and within close proximity to KCI.

SUMMARY OF REQUEST + KEY POINTS

A request to approve a major amendment to an approved development plan to allow for a hotel in district B3-3 on about 5.1 acres generally located at NW Plaza Circle and N. Ambassador Drive.

CONTROLLING + RELATED CASES

Case No. 6217-GP: Rezoned 225 acres from District GP-7 to Districts GP-1 and GP-2 (**Ord. No. 40301**, passed October 22, 1971).

Case No. 6217-GP-9: On August 5, 1997 the City Plan Commission approved a plan amendment on approximately 225 acres generally located on the S.E. corner of I-29 and MO Highway 291 in Districts GP-2 (General Transient Retail Business) and GP-1 (General Industry) to allow a 73 room expansion to the existing 202 room Holiday Inn hotel (**Ord. No. 971315**, passed October 9, 1997).

Case No. 6217-GP-12: The City Plan Commission approved an amendment for the purpose of deleting roughly 13.5 acres from the development plan (**Ord. No. 010228**, passed March 10, 2001).

PROFESSIONAL STAFF RECOMMENDATION

Docket # Recommendation
10 APPROVAL WITH CONDITIONS

PLAN REVIEW

The applicant is proposing a 100 room, four-story tower addition to an existing hotel immediately east of KCI and Interstate 29. The architecture and design of the new tower will complement the existing five-story, 202 room mid-century style of the south tower. The new tower will be located on the northern perimeter of the site which will provide relief from the northern wind in the winter and early spring. The addition will also create a more defined courtyard and outdoor pool area.

PLAN ANALYSIS

The proposed plan complies with the Zoning and Development Code, the KCI Area Plan and all other applicable City standards and policies. The applicant is proposing pedestrian circulation improvements along the southern perimeter of the site and providing a stronger connection to N. Ambassador Drive.

Standards	Applicability	Meets	More Information
Lot and Building Standards (88-120)	Yes	Yes	
Parking and Loading Standards (88-420)	Yes	Yes	
Landscape and Screening Standards (88-425)	Yes	Yes, subject to conditions	
Outdoor Lighting Standards (88-430)	Yes	Yes, subject to conditions	
Sign Standards (88-445)	Yes	Yes, subject to conditions	
Pedestrian Standards (88-450)	Yes	Yes	

SPECIFIC REVIEW CRITERIA**Development Plans, Project Plan, or Site Plan (88-516-05)**

In order to be approved, a development plan, project plan, or site plan must comply with all of the following criteria:

A. The plan must comply with all standards of the Zoning and Development Code and all other applicable City ordinances and policies;

The proposed plan complies with all standards of the Zoning and Development Code and all other applicable City ordinances and policies.

B. The proposed use must be allowed in the district in which it is located;

The proposed use, lodging is permitted within the B3-3 zoning district.

C. Vehicular ingress and egress to and from the site, and circulation within the site must provide for safe, efficient, and convenient movement of traffic not only within the site but on adjacent roadways;

The applicant is providing a new ingress and egress point on the northwest corner of the site. This will allow for improved and balanced access for guests who will be lodging in the proposed northern tower. The new access point will also provide KCFD with greater access to serve the site.

D. The plan must provide for safe, efficient, and convenient non-motorized travel opportunities, being pedestrian and bicycle movement, on the subject site;

The applicant is proposing pedestrian circulation improvements along the perimeter including a new sidewalk connection. Other improvements are within the interior of the site to promote pedestrian safety within the parking area. All improvements shall comply with the 88-450 (Pedestrian Standards) of the Zoning and Development Code.

E. The plan must provide for adequate utilities based on City standards for the particular development proposed.

The plan will provide for adequate utilities based on City standards for the proposed north tower.

F. The location, orientation, and architectural features, including design and material, of buildings and other structures on the site must be designed to be compatible with adjacent properties.

The applicant will be matching the mid-century style of the existing tower located on site.

G. Landscaping, berms, fences, and/or walls must be provided to buffer the site from undesirable views, noises, lighting, or other off-site negative influences and to buffer adjacent properties from negative influences that may be created by the plan.

The current hotel is adjacent to several other lodging establishments, Interstate 29 and NW Cookingham Drive. The proposed additional tower is not anticipated to create any undesirable views, noises, lighting or other off-site negative influences. The proposed north tower will provide visual relief and establish a more intimate courtyard for guests to enjoy.

H. The design of streets, drives, and parking areas within the project should result in a minimum of area devoted to asphalt or other impervious surfaces consistent with the needs of the project and city code requirements.

The proposed design does include a new parking area on the northern perimeter of the site, adding a total of thirty-five new parking stalls. The new parking area also allows greater access for emergency personnel.

I. The plan must identify trees to be removed and trees to be preserved during the development of the subject property with the goal of saving trees that are not required to be removed for the development of the property.

Four to six trees will be removed for the construction of the proposed addition, but the applicant will be planting thirty new trees on the site.

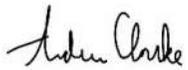
ATTACHMENTS

1. Conditions Report
2. Applicants Submittal
3. Public Engagement Materials

PROFESSIONAL STAFF RECOMMENDATION

City staff recommends **APPROVAL WITH CONDITIONS** as stated in the conditions report.

Respectfully Submitted,



Andrew Clarke, AICP
Planner



Plan Conditions

Report Date: November 02, 2023

Case Number: CD-CPC-2023-00154

Project: Hulsing Hotel Addition at KCI

Condition(s) by City Planning and Development Department. Contact Andrew Clarke at (816) 513-8821 / Andrew.Clarke@kcmo.org with questions.

1. The developer shall screen all roof and/or ground mounted mechanical and utility equipment in compliance with 88-425-08.
2. The developer shall submit an affidavit, completed by a landscape architect licensed in the State of Missouri, verifying that all landscaping required of the approved plan has been installed in accordance with the plan and is healthy prior to Certificate of Occupancy.
3. The developer shall submit an affidavit, prepared by an engineer licensed in the State of Missouri, verifying that all outdoor lighting has been installed in accordance with approved plans and that lighting levels do not exceed that shown on the approved lighting plan at the property lines prior to Certificate of Occupancy.
4. All signage shall conform to 88-445 and shall require a sign permit prior to installation.
5. The developer shall submit an affidavit, completed by a landscape architect licensed in the State of Missouri, verifying that street trees have been installed in accordance with the approved street tree planting plan and are healthy prior to Certificate of Occupancy.

Condition(s) by City Planning and Development Department. Contact Terry Thomas at (816) 513-2510 / Terry.A.Thomas@kcmo.org with questions.

6. The developer shall submit a storm drainage analysis from a Missouri-licensed civil engineer to the Land Development Division, in accordance with adopted standards, including a BMP level of service analysis prior to approval and issuance of any building permits, and that the developer secure permits to construct any improvements as required by the Land Development Division prior to issuance of any certificate of occupancy.
7. The developer shall submit a streetscape plan for approval and permitting by the Land Development Division prior to beginning construction of the streetscape improvements in the public right of way, and construct ADA compliant ramps at all required locations where new private drives are being added, or where existing sidewalks are modified or repaired.
8. The developer shall submit verification of vertical and horizontal sight distance for the drive connection to public right-of-way to the Land Development Division and make improvements to ensure local jurisdiction and/or minimum AASHTO adequate sight distance standards are met, prior to issuance of any certificate of occupancy.
9. The developer shall submit plans for grading, siltation, and erosion control to Land Development Division for review and acceptance, and secure a Site Disturbance permit for any proposed disturbance area equal to one acre or more prior to beginning any construction activities.
10. The developer shall provide acceptable easements for any deep sewers where proposed fill is added or where the sewer will be further obstructed by surface improvements and that a structural analysis be provided to confirm adequate structural integrity for the proposed loading conditions of this plan, and secure permits and provide City approved executed and recorded easement prior to adding fill or constructing surface obstructions as required by Land Development Division.
11. The developer shall grant a BMP and/or Surface Drainage Easement to the City as required by the Land Development Division, prior to recording the plat or issuance of any building permits.

Condition(s) by Fire Department. Contact Michael Schroeder at (816) 513-4604 / michael.schroeder@kcmo.org with questions.

12. • The shall meet the fire flow requirements as set forth in Appendix B of the project International Fire Code 2018. (IFC-2018 § 507.1)
13. • Fire hydrants shall be installed and operable prior to the arrival of any combustible building materials onto the site. (IFC-2018 § 501.4 and 3312.1; NFPA 241-2013 § 8.7.2)
 - Fire hydrant distribution shall follow IFC-2018 Table C102.1

Condition(s) by Fire Department. Contact Michael Schroeder at (816) 513-4604 / michael.schroeder@kcmo.org with questions.

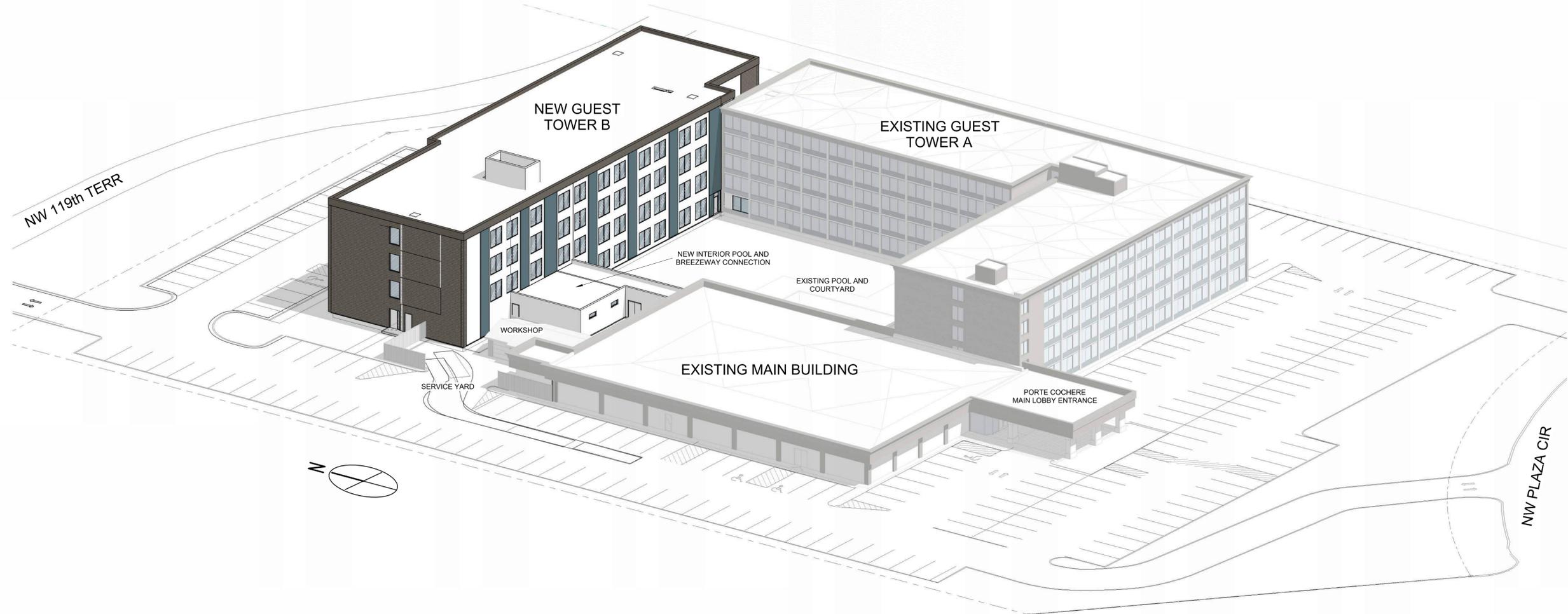
14. • Buildings equipped with a fire standpipe system shall have an operable fire hydrant within 100 feet of the Fire Department Connection (FDC). (IFC2018 § 507.5.1.1)
15. • A required fire department access roads shall be an all weather surface. (IFC-2012: § 503.2.3)
 - Fire Department access roads shall be provided prior to construction/demolition projects begin. (IFC-2018 § 501.4 and 3310.1; NFPA 241-2013 § 7.5.5)
 - Required fire department access roads shall designed to support a fire apparatus with gross axle weight of 85,000 pounds. (IFC-2018: § 503.2.3)
 - Shall provide fire lane signage on fire access drives.
16. • Aerial Fire Apparatus access roads shall be provided for any building that is 30 feet in height or greater. Aerial Fire Apparatus Roads are a minimum 26 feet wide, at least 15 feet away from the building but not more than 30 feet from the structure. (IFC-2018 § D105).

Condition(s) by Water Services Department. Contact Heather Massey at (816) 513-2111 / heather.massey@kcmo.org with questions.

17. Branch service lines one-and-one-half inches and larger in diameter for domestic water services or fire protection lines shall be connected to the main by cutting in a minimum 6" branch service tee, installing three gate valves, and two solid sleeves on the main. Line valves on the main shall be the same nominal size as the main.
18. The developer shall ensure that water and fire service lines should meet current Water Services Department Rules and Regulations. Prior to C of O.
<https://www.kcwater.us/wp-content/uploads/2022/05/2022-Rules-and-Regulations-for-Water-Service-Lines-Final.pdf>
19. The developer shall have a water flow test done to ensure there is adequate water pressure to serve the development.
South of River contact - Bryan Wagner 816-513-0275
North of River contact - Pedro Colato 816-513-4892

Condition(s) by Water Services Department. Contact Kirk Rome at (816) 513-0368 / kirk.rome@kcmo.org with questions.

20. The developer shall upsize/replace approx. 400' of existing 6" public water main in NW 119th Terrace to 12" DIP from the new service connection east to the tee in N Ambassador Drive to provide the required domestic and fire flows to meet projected demands, and add fire hydrants as-needed to meet WSD spacing requirements. The developer must submit water main extension and public fire hydrant drawings prepared by a registered professional Engineer in Missouri to the main extension desk for review, acceptance and contracts per the KC Water Rules and Regulations for Water main extensions and Relocations.
(<https://www.kcwater.us/wp-content/uploads/2022/05/2022-Rules-and-Regulations-for-Water-Main-Extensions-Final2.pdf>).



New Guest Tower for Hulsing Enterprises, LLC

11832 NW Plaza Circle, Kansas City Missouri 64153



Existing Site View



Location Map



Sheet Index (Development Plan Review)

Sheet Number	Sheet Name
DP A000	Cover Sheet
DP A001	Code Analysis
DP A101	Site Plan EXISTING
DP A102	Site Plan PROPOSED
DP A110*	Existing Main Building - Guest Services
DP A111*	Existing Tower A - Level 1 Guest Rooms
DP A121	New Tower B - Level 1 Guest Rooms
DP A122	New Tower B - Levels 2-4 Typical Floor
DP A401	Exterior Elevations (South Facade)
DP A402	Exterior Elevations (East Facade)
DP A403	Exterior Elevations (North Facade)
DP A404	Exterior Elevation (West Facade)
DP A405	Courtyard Elevations Looking North
DP A406	Courtyard Elevations Looking West
DP A407	Courtyard Elevations Looking South
DP A408	Courtyard Elevations Looking East
DP A450*	Exterior Elevations FUTURE (Phase 2)
DP A451*	Exterior Elevations FUTURE (Phase 2)
DP A500	Additional Materials

Sheet Index (Development Plan Review)

Sheet Number	Sheet Name
DP C100	Overall Site Plan
DP C110	Site Plan
DP C300	Grading Plan
DP C500	Utility Plan
DP L100	Landscape Plan
DP L101	Landscape Notes and Details
DP PH100	Site Photometric Plan

* Included for Reference Only. Existing or Future work phases



Client:
KCI New Tower and Hotel Refresh

11832 NW Plaza Cir
 Kansas City MO 64153

Architect:
Bell / Knott & Associates
 CORPORATE ARCHITECTS, P.C.
 12730 State Line Road Voice: 913.378.1600
 Suite 100 Fax: 913.378.1601
 Leawood, KS 66209 www.bellknott.com

Structural Consultant:
BOB D. CAMPBELL & CO.
 Structural Engineers Since 1957
 4338 Belleview Ave. 816.531.4144
 Kansas City, MO 64111 www.bdc-engrs.com

MEP Consultant:
BC ENGINEERS INCORPORATED
 5720 Reeder St. 913-262-1772
 Shawnee, KS 66203 bengineer.com

Civil Consultant:
KV KAW VALLEY ENGINEERING
 14700 WEST 114TH TERRACE
 LENEXA, KANSAS 66215
 PH. (913) 894-5150 | FAX (913) 894-5977
 kv@kveng.com | www.kveng.com

Landscaping Consultant:
landworks STUDIO
 102 South Cherry Street 2nd Floor
 Olathe, KS 66061
 www.landworksstudio.com | 913.780.6707

Seal:



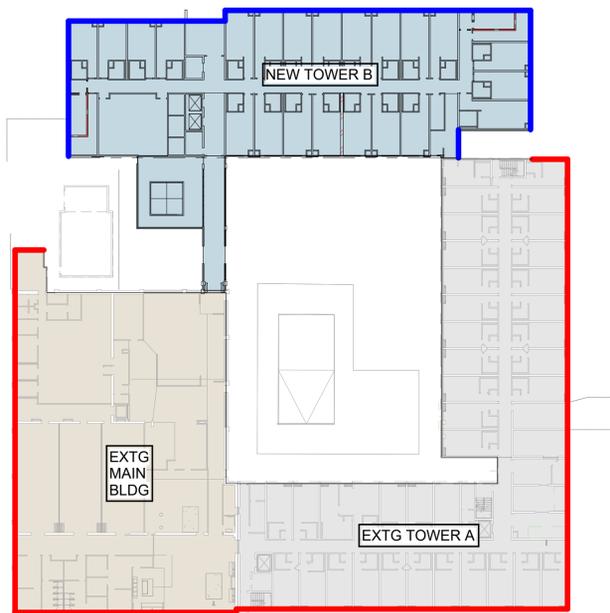
Revisions:
 1 - CITY REVIEW RESPONSE 10/13/2023

Issue Date: **9/13/2023**
 Reason for Issue: **Review**
 Project Number: **22-056**
 Project Phase: **Dev Plan Review**

Sheet Title:
Cover Sheet

Pkg: Sheet Number:
DP A000 22-056

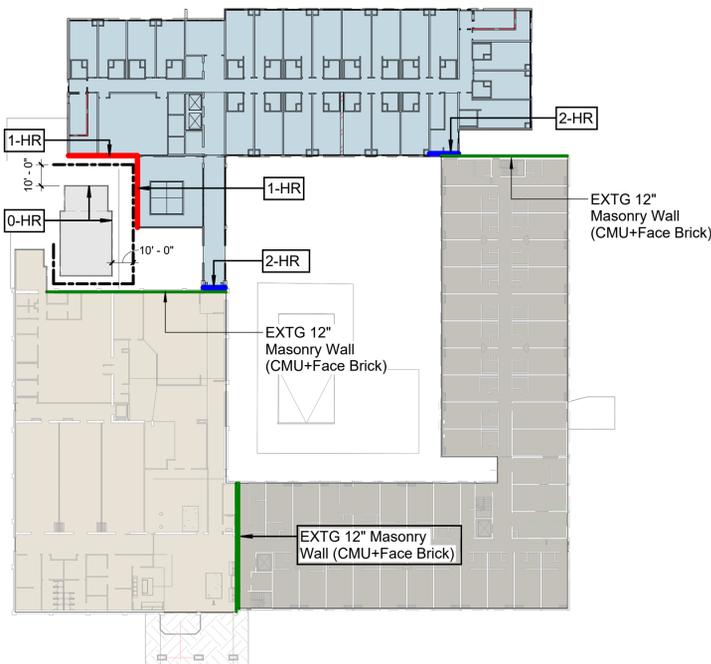
FRONTAGE CALCULATIONS



EXISTING MAIN BLDG + TOWER A
Frontage: 672 LF
Perimeter: 1,217 LF

NEW Tower B
Frontage: 355 LF
Perimeter: 700 LF

BUILDING SEPARATION DIAGRAM



PROJECT BUILDING AREA CALCULATIONS:

Occupancy Groups per Floor

First Floor	R-1/ A-2/ A-4
2nd-5th Floor	R-1

Mixed Occupancy Groups
Use Groups are considered non separated in this II-B Building

Type of Construction: 2018 IBC Table 506.2
Type II-B

Building Area:	Exist	Proposed	Total
First Floor	34,430	15,720	50,150
	18,430	14,010	32,440
	18,430	14,010	32,440
	18,430	14,010	32,440
	18,430	14,010	32,440

506.2.4 Mixed-occupancy, multistory buildings. Each story of a mixed-occupancy building with more than one story above grade plane shall individually comply with the applicable requirements of Section 508.1. For buildings with more than three stories above grade plane, the total building area shall be such that the aggregate sum of the ratios of the actual area of each story divided by the allowable area of such stories, determined in accordance with Equation 5-3 based on the applicable provisions of Section 508.1, shall not exceed three.

$$A_p = [A_s + (NS \times f_p)]$$
 (Equation 5-3)

where:
 A_p = Allowable area (square feet).
 A_s = Tabular allowable area factor (NS, S13R, S13D or SM value, as applicable) in accordance with Table 506.2.
 NS = Tabular allowable area factor in accordance with Table 506.2 for a nonsprinklered building (regardless of whether the building is sprinklered).
 f_p = Area factor increase due to frontage (percent) as calculated in accordance with Section 506.3.

Exception: For buildings designed as separated occupancies under Section 508.4 and equipped throughout with an automatic sprinkler system installed in accordance with Section 903.3.1.2, the total building area shall be such that the aggregate sum of the ratios of the actual area of each story divided by the allowable area of such stories determined in accordance with Equation 5-3 based on the applicable provisions of Section 508.1, shall not exceed four.

Existing Building (Mixed Occupancy Multi-story bldg 506.2.4)

Frontage increase (per 506.3):	>30 clear(F)	Total Perimeter (P)	W	I=(f(p-.25)*w/30)
	672	1217	16,565,32457	0.302177486

Floor	Basic Area	NS Area	Frontage increase	Sprinkler increase	Allowable Area/Floor	Existing Floor Area (unchanged)	Ratio
1st Floor	A-2: 38,000 R-1: 48,000	9,500 16,000	2,871 4,835	na	40,871 52,835	16,130.0 17,710.0	0.39 0.34
Floor Ratio : 0.73							
2nd Floor	R-1: 48,000	16,000	4,835	na	52,835	17,710	0.34
Floor Ratio : 0.34							
3rd Floor	R-1: 48,000	16,000	4,835	na	52,835	17,710	0.34
Floor Ratio : 0.34							
4th Floor	R-1: 48,000	16,000	4,835	na	52,835	17,710	0.34
Floor Ratio : 0.34							
5th Floor	R-1: 48,000	16,000	4,835	na	52,835	17,710	0.34
Floor Ratio : 0.34							
Total Ratio: (= less than 4, Existing DOES Comply)							

506.2.3 Single-occupancy, multistory buildings. The allowable area of a single-occupancy building with more than one story above grade plane shall be determined in accordance with Equation 5-2:

$$A_p = [A_s + (NS \times f_p)] \times S_p$$
 (Equation 5-2)

where:
 A_p = Allowable area (square feet).
 A_s = Tabular allowable area factor (NS, S13R, S13D or SM value, as applicable) in accordance with Table 506.2.
 NS = Tabular allowable area factor in accordance with Table 506.2 for a nonsprinklered building (regardless of whether the building is sprinklered).
 f_p = Area factor increase due to frontage (percent) as calculated in accordance with Section 506.3.
 S_p = Actual number of building stories above grade plane, not to exceed three. For buildings equipped throughout with an automatic sprinkler system installed in accordance with Section 903.3.1.2, use the actual number of building stories above grade plane, not to exceed four.
 No individual story shall exceed the allowable area (A_p) as determined by Equation 5-2 using the value of $S_p = 1$.

Proposed Building (Tower B) (Single Occupancy, Multistory Bldg 506.2.3)

Frontage increase (per 506.3):	>30 clear(F)	Total Perimeter (P)	W	I=(f(p-.25)*w/30)
	355	700	15,214,28571	0.257142857

Floor	Basic Area	NS Area	Frontage increase	Sprinkler increase	Allowable Area/Floor	Proposed Area Floor	Ratio
1st Floor	A-3: 38,000 R-1: 48,000	9,500 16,000	2,443 4,114	na	40,443 52,114	1,050 14,720	0.03 0.28
Total Ratio = less than 1, OK							
2nd Floor	R-1: 48,000	16,000	4,114	na	52,114	14,010	0.27
Total Ratio = less than 1, OK							
3rd Floor	R-1: 48,000	16,000	4,114	na	52,114	14,010	0.27
Total Ratio = less than 1, OK							
4th Floor	R-1: 48,000	16,000	4,114	na	52,114	14,010	0.27
Total Ratio = less than 1, OK							
Per 506.2.3 no individual floor shall exceed $S_p > 1.0$, Proposed DOES Comply							

Section 602: Fire Separation of 1 hour construction less than 5'. Fire separation of 10' or greater is 0-hour

Section 705.3: Buildings on the Same lot shall be assumed to be separated by an imaginary line between them. 705.6

PROJECT DESCRIPTION:

The NEW GUEST TOWER B addition is located at 11832 NW Plaza Circle Kansas City, MO 64130.

The project consists of one building to be constructed of II-B construction with use groups of R-1 (A-3 ACCESSORY).

The first floor will consist of R-1 (A-3 ACCESSORY) occupancies per Section 508.3. Floors 2 through 4 The second floor will be separated from the first floor per Section 508.4 with B occupancy.

The building will be fully sprinklered. (All existing buildings are fully sprinklered)

The new building is within allowable areas and proposed construction types per calculations below.

The facility will be provided with exits as required by the 2018 International Building Code.

LOCAL ADOPTED CODES

The proposed building is located in the city limits of Kansas City, Missouri. Kansas City, Missouri has adopted the 2018 International Building Package with local amendments. The project will be designed to meet the intent of the following adopted codes:

- 2018 International Building Code
- 2018 International Mechanical Code
- 2018 International Fire Code
- 2018 International Fuel Gas Code
- 2018 International Plumbing Code
- 2017 National Electrical Code
- 2021 International Energy Conservation Code
- ANSI A117.1 Accessibility Standard
- NFPA 13 Sprinkler Systems

BUILDING LIFE SAFETY FEATURES

The following is a list of fire and safety features, which are being proposed for the project:

- New Building of Construction Type II-B.
- Building designed as non-separated and separated use groups.
- Walls complying with the 2018 IBC.
- Fully automatic sprinkler system with alarm supervision.
- Portable fire extinguishers to be provided.
- Smoke detection at HVAC units were applicable.
- Automatic shutdowns at HVAC units where applicable.
- Emergency power for exit lighting and exit signage.

BUILDING LIFE SAFETY ANALYSIS AND FIRE RESISTIVE REQUIREMENTS

Exits Required 2018 IBC Section 1015.1 and Chapter 10

Every building or usable portion thereof shall have at least one exit and not less than 2 exits where required by 1015.1. Every story or portion thereof having an occupant load of 500 or less shall be provided with not less than two exits. Every story or portion thereof having an occupant load of 501 to 1,000 shall not have less than three exits. Every story or portion thereof having an occupant load of 1,001 or more shall not have less than four exits.

Exit Width 2018 IBC Section 1005

The total width of exits in inches shall not be less than the total occupant load served by an exit multiplied by 0.2 for stairways and 0.15 for other exits. Such widths shall be divided approximately equally among the separate exits. Per Section 1005.3 Exceptions an emergency voice alarm communication system is provided.

Arrangement of Exits 2018 IBC 1015.2.1 and 1015.2.2

When only two exits are required, within a sprinklered building, they shall be placed a distance apart equal to not less than one third the length of the maximum overall diagonal dimension of the building or area to be served measured in a straight line between exits.

Where access to three or more exits is required, at least two exits shall be arranged in accordance with the provisions of Section 1015.2.

Distance to Exits, 2018 IBC Table 1016.2

The maximum distance of travel from any point to an exterior exit door, horizontal exit, exit passageway or an enclosed stairway in a building equipped with an automatic sprinkler system throughout shall not exceed 200 feet in the I-4 occupancy and 300 feet in the B Occupancy.

Doors, 2018 IBC Section 1008

- Lock or Latch, 2018 IBC 1008.1.9: Exit doors shall be operable from the inside without the use of a key or any special knowledge or effort. Manually operated edge or surface mounted flush bolts are prohibited.
- Floor Level at Doors, 2018 IBC 1008.1.5: Regardless of occupant load, there shall be a floor or landing on each side of door. Thresholds at doorways shall not exceed 0.5 inches. Thresholds greater than 0.25 inches shall be beveled.
- Landings at Doors, 2018 IBC Section 1008.1.6: Landings shall have a width not less than the width of the stairway or the width of the door, whichever is the greater. Doors in the fully open position shall not reduce a required dimension by more than 7 inches. When landings serve an occupant load of 50 or more, doors in any position shall not reduce the dimension to less than one half its required width. Landings shall have a length measured in the direction of travel of not less than 44 inches.

Exit Signs, 2018 IBC 1011.1

- Where Required: When two or more exits from a story or area are required exit signs shall be installed. Exit signs shall be readily visible from any direction of approach. Exit signs shall be located as necessary to clearly indicate the direction of egress travel. No point shall be more than 100 feet from the nearest visible sign.
- Graphics: The color and design of lettering on exit signs shall be in high contrast with their background. Words on the sign shall be in block letters 6 inches in height with a stroke of not less than 3/4 inch.
- Illumination: Signs shall be internally illuminated by two electric lamps or shall be of an approved self-luminous type. Exit signs shall be illuminated at all times.
- Power Source: To ensure continued illumination for a duration of not less than 90 minutes in case of primary power loss, the sign illumination means shall be connected to an emergency power system.

BASIC BUILDING CODE REQUIREMENTS CONSTRUCTION TYPE: II-B

Occupancy Groups:

Floor 1	R-1 (A-3 Accessory)
Floors 2,3,4	R-1

The building will be considered R-1.

Occupancy Groups:
The building will be considered R-1.

Type of Construction: 2018 IBC Table 503
Type II-B

Building Area: 2018 IBC Table 503

Total Gross Building Area is	57,830 SF.
1st Floor is	15,770 SF.
2nd - 4th Floor ea. is	14,010 SF.

Sprinkler Allowable Area	Frontage Increase	Total Allowable Area/Floor	Proposed Area/Floor
R-1 48,000 SF	PER TABLE	PER TABLE	57,830 SF
		PER TABLE	57,830 SF

The building is in compliance with allowable area requirements.

Proposed Height	Allowable Height	Proposed Stories	Allowable Stories
R-1 54'-0"	75'-0"	4	5

Building Height and Stories above grade are in compliance with allowable limits.

FIRE RESISTIVE CONSTRUCTION REQUIREMENTS: 2018 IBC Table 601 and 602

Fire Resistive Requirements 2018 IBC Table 601 for II-B Construction

Exterior Non-Bearing walls	See Table 602 for Distance to property lines
Exterior Bearing walls	0-Hour
Structural Frame	0-Hour
Permanent Partitions	0-Hour
Shaft Enclosures	0-Hour
Floor Ceiling Assemblies	0-Hour (1 Hour Occupancy Separation)
Roof Ceiling Assemblies	0-Hour
Fire Walls	1-Hour (Occupancy Separation)
Corridor Walls	0-Hour with sprinklers

Fire Resistance of Exterior Walls Based on Fire Separation Distance, 2018 IBC Table 602

Fire Separation Distance	Type of Construction	Group (R-1 Worst Case)
<5'	II-B	1-hour
>= 5' to <10'	II-B	1-hour
>= 10' to <30'	II-B	0-Hour
>= 30'	II-B	0-Hour

Maximum Area of Exterior Wall Openings, 2018 IBC Table 705.8

Opening Classification	Fire Separation Distance	10' to <15'	15' to <20'
Unprotected Openings	3' to <5'	15%	25%
	5' to <10'	NL	NL
	10' to <15'	NL	NL
	15' to <20'	NL	NL



Client:
Project Title / Address:
KCI New Tower and Hotel Refresh
11832 NW Plaza Cir
Kansas City MO 64153

Architect:
Bell / Knott & Associates
CORPORATE ARCHITECTS, P.C.
12730 State Line Road Voice: 913.378.1600
Suite 100 Fax: 913.378.1601
Leawood, KS 66209 www.bellknott.com

Structural Consultant:
BOB D. CAMPBELL & CO.
Structural Engineers Since 1957
4338 Belleview Ave. 816.531.4144
Kansas City, MO 64111 www.bdc-engrs.com

MEP Consultant:
BC ENGINEERS INCORPORATED
5720 Reeder St. 913-262-1772
Shawnee, KS 66203 bcengineer.com

Civil Consultant:
KV KAW VALLEY ENGINEERING
14700 WEST 114TH TERRACE
LENEXA, KANSAS 66215
PH. (913) 894-5150 | FAX (913) 894-5977
kv@kvgeng.com | www.kvgeng.com

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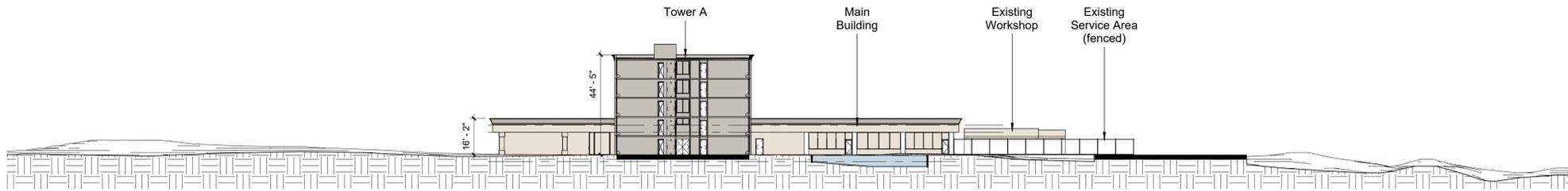
Revisions:

Issue Date:	9/13/2023
Reason for Issue:	Review
Project Number:	22-056
Project Phase:	Dev Plan Review
Sheet Title:	

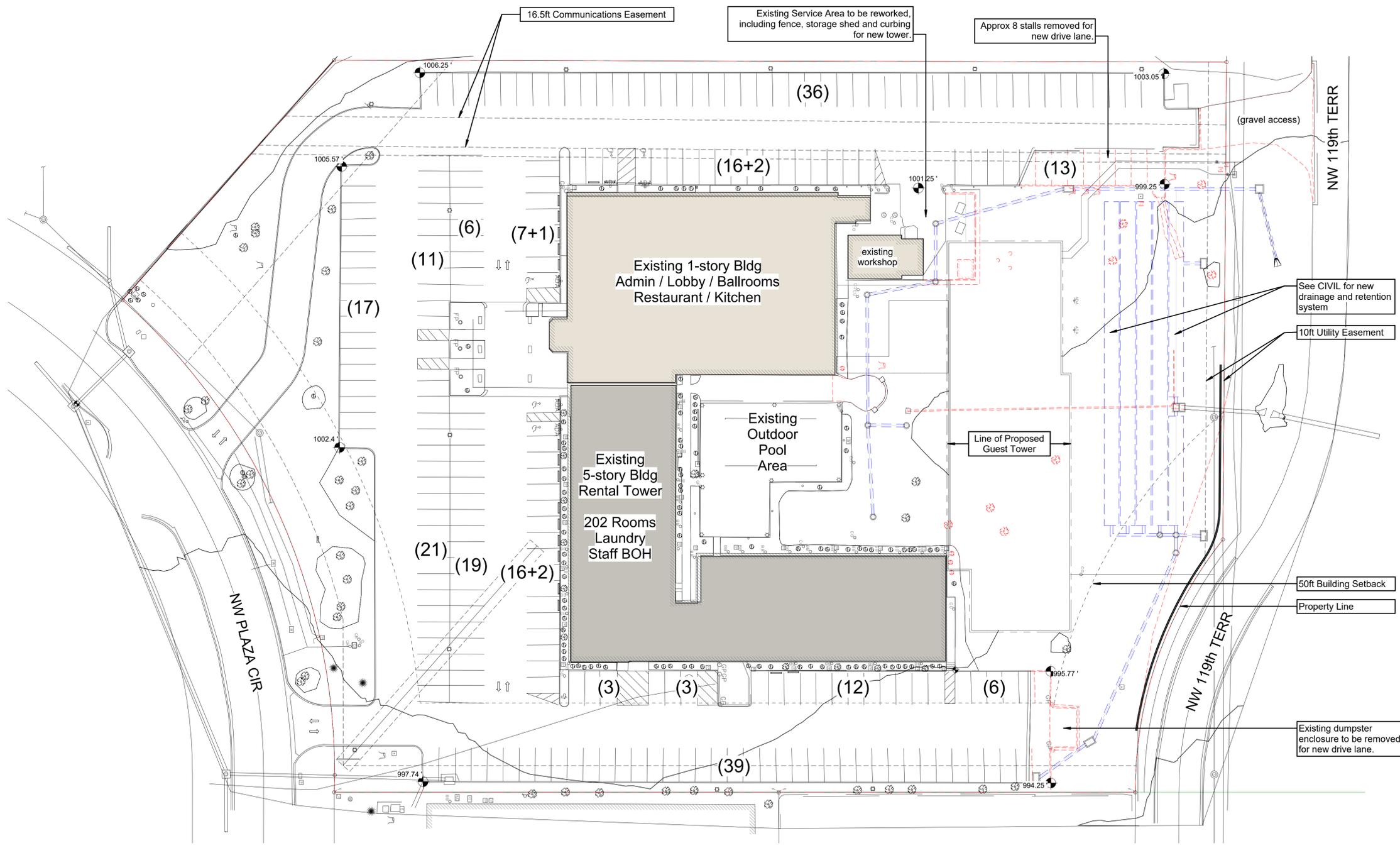
Code Analysis

Pkg: Sheet Number:
DP A001

22-056



2 Long Section Through Site EXTG
1" = 30'-0"



1 Site Overview EXTG
1" = 30'-0"

Legal Description
DESCRIPTION: (PER TITLE COMMITMENT) ALL THAT PART OF LOT 3, GATEWAY PLAZA, FIRST PLAT, A SUBDIVISION IN SECTION 23, TOWNSHIP 52 NORTH, RANGE 34 WEST, KANSAS CITY, PLATTE COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF RECORDED JUNE 21, 1972 AS DOCUMENT NO. 37229 IN PLAT BOOK 11, PAGE 10, DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHEAST CORNER OF SAID LOT 3, THENCE NORTH 89°43'38" WEST, ALONG THE SOUTHERLY LINE OF SAID LOT 3, 9.57 FEET; THENCE SOUTHWESTERLY CONTINUING ALONG SAID LINE, ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 355.00 FEET AND TANGENT TO THE LAST DESCRIBED COURSE, AN ARC DISTANCE OF 300.24 FEET TO THE MOST SOUTHERLY CORNER OF SAID LOT 3, THENCE NORTH 48°11'04" WEST, CONTINUING ALONG THE SOUTHERLY LINE OF SAID LOT 3, 179.37 FEET; THENCE NORTH 00°16'22" EAST 500.86 FEET TO THE SOUTHERLY RIGHT OF WAY LINE OF U.S. HIGHWAY 71 BY-PASS; THENCE SOUTH 89°41'07" EAST ALONG SAID RIGHT OF WAY LINE AND ALONG THE NORTHERLY LINE OF SAID LOT 3, 288.13 FEET; THENCE SOUTHEASTERLY, CONTINUING ALONG SAID NORTHERLY LINE, ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 225.00 FEET AND AN INITIAL TANGENT BEARING SOUTH 50°44'30" EAST, (DEED - 5 50°44'30" E) AN ARC DISTANCE OF 152.93 FEET; THENCE SOUTH 89°41'07" EAST, CONTINUING ALONG SAID NORTHERLY LINE, 0.02 FEET TO THE NORTHEAST CORNER OF SAID LOT 3, THENCE SOUTH 00°16'22" WEST, ALONG THE EAST LINE OF SAID LOT 3, 449.9 FEET (PER DEED) AND 449.94 FEET (AS MEASURED) TO THE POINT OF BEGINNING.

Zoning
B3-3
Gross Land Area
217,795 SF / 5 acres
Right-of-Way Dedication
N/A
Net Land Area
217,795 SF / 5 acres

Rear Setback
20 ft
Front Setback
20 ft
Side Setback
20ft
Side Setback (street)
N/A

Building Heights
Existing Commercial
1-story approx 16'-0"
Existing Guest Tower
5-story approx 44'-6"
Proposed Guest Tower
4-story 48'-4"

Revisions:

Issue Date: **9/13/2023**
Reason for Issue: **Review**
Project Number: **22-056**
Project Phase: **Dev Plan Review**

Site Plan EXISTING
Pkg: Sheet Number:
DP A101



Client:
Project Title / Address:
KCI New Tower and Hotel Refresh
**11832 NW Plaza Cir
Kansas City MO 64153**

Architect:
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Revisions:

Issue Date: **9/13/2023**
Reason for Issue: **Review**
Project Number: **22-056**
Project Phase: **Dev Plan Review**

Site Plan EXISTING
Pkg: Sheet Number:
DP A101

22-056

Room Schedule

Number	Name	Area
000	Vest	181 SF
000	Porte Cochere	1468 SF
Assembly		
000	Plaza 1	1026 SF
000	Plaza 2	1025 SF
000	Plaza 3	1025 SF
000	Pre-Meeting	631 SF
BOH		
000	IT Server	119 SF
000	Table Storage	173 SF
000	Storage	78 SF
000	Kitchen Off	189 SF
000	Shop	938 SF
000	Ballroom Support	348 SF

Number	Name	Area
Core		
000	WC Womens	247 SF
000	WC Mens	247 SF
000	Lobby	1336 SF
000	WC ADA	43 SF
000	Elect.	125 SF
000	Hallway	788 SF
FOH		
000	Office 3	94 SF
000	Office 2	82 SF
000	Janitor	63 SF
000	Office 1	113 SF
000	Front Desk Support	228 SF

Number	Name	Area
Guest Services		
000	Ambassador Room (Fitness)	867 SF
000	Front Desk	295 SF
Restaurant		
000	Private Dining	297 SF
000	Restaurant Seating	1137 SF
000	Bar	293 SF
000	Breakfast Buffet	454 SF
000	POS	116 SF
000	Lounge	753 SF

Number	Name	Area
Restaurant Support		
000	Kitchen	1539 SF
000	Freezer	71 SF
000	Cooler	70 SF
000	Storage	68 SF
000	Pantry	253 SF
000	WC Staff	53 SF
000	WC Staff	53 SF
000	Drinks	172 SF
000	Linens	28 SF
000	Cooler	52 SF

Room Types

- Guest Services
- Assembly
- Restaurant
- Restaurant Support
- FOH
- BOH
- Core



THIS SHEET FOR INFORMATIONAL PURPOSES. NO WORK ANTICIPATED EXPECT FOR WHERE NEW BUILDING CONNECTS

1 Main Building - Guest Services (Existing) ⊕ z
1/8" = 1'-0"



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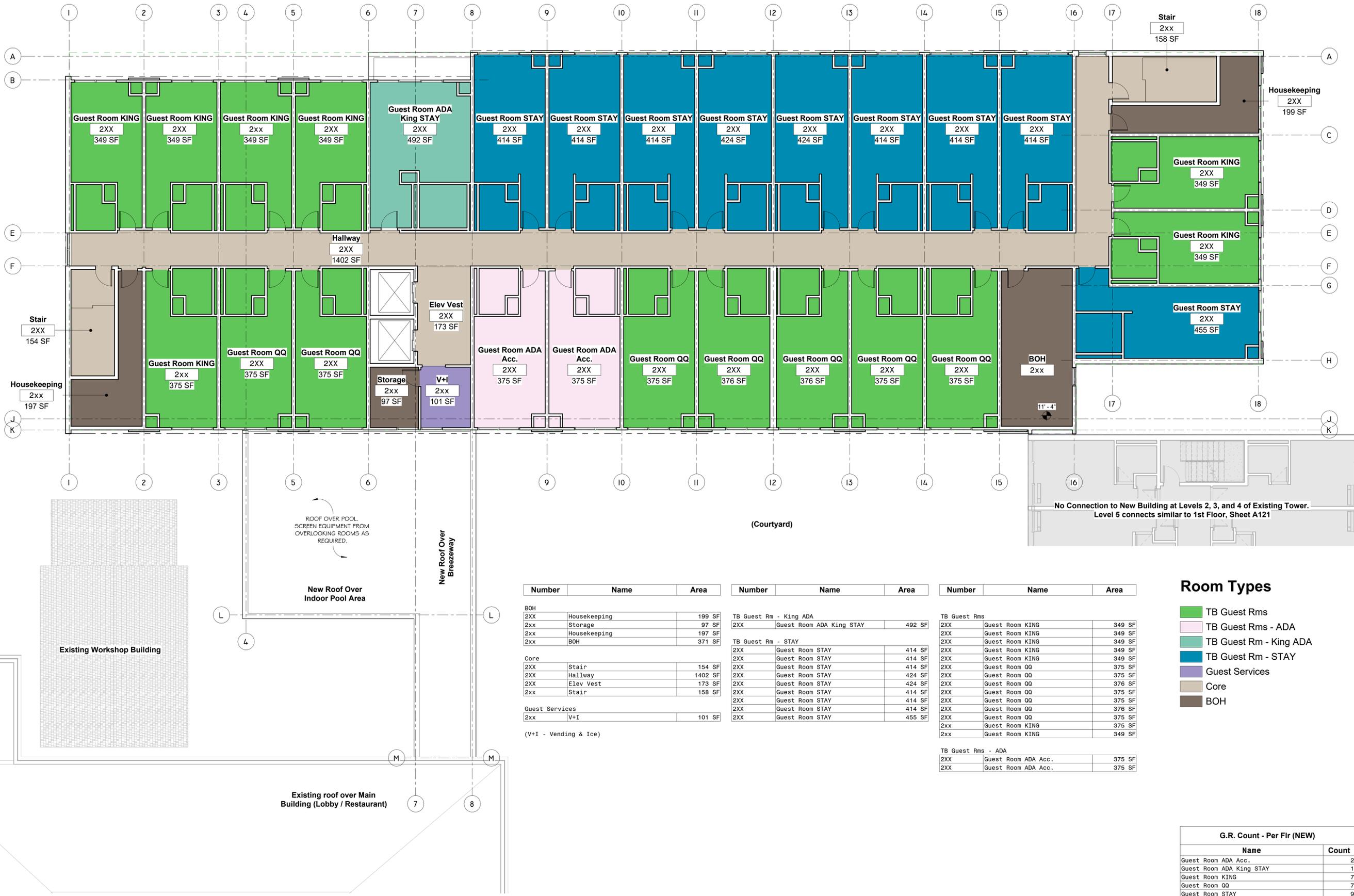
Revisions:

Issue Date:	9/13/2023
Reason for Issue:	Approver
Project Number:	22-056
Project Phase:	Dev Plan Review

Sheet Title:
Existing Main Building - Guest Services

Pkg: Sheet Number:
DP A110*

22-056



Number	Name	Area	Number	Name	Area	Number	Name	Area
BOH	Housekeeping	199 SF	TB Guest Rm - King ADA	2XX Guest Room ADA King STAY	492 SF	TB Guest Rms	2XX Guest Room KING	349 SF
2XX	Storage	97 SF				2XX	Guest Room KING	349 SF
2XX	Housekeeping	197 SF	TB Guest Rm - STAY	2XX Guest Room STAY	414 SF	2XX	Guest Room KING	349 SF
2XX	BOH	371 SF				2XX	Guest Room KING	349 SF
Core	Stair	154 SF	2XX	Guest Room STAY	414 SF	2XX	Guest Room KING	349 SF
2XX	Hallway	1402 SF	2XX	Guest Room STAY	414 SF	2XX	Guest Room KING	349 SF
2XX	Elev Vest	173 SF	2XX	Guest Room STAY	424 SF	2XX	Guest Room QQ	375 SF
2XX	Stair	158 SF	2XX	Guest Room STAY	424 SF	2XX	Guest Room STAY	375 SF
Guest Services	V+I	101 SF	2XX	Guest Room STAY	414 SF	2XX	Guest Room QQ	375 SF
2XX			2XX	Guest Room STAY	414 SF	2XX	Guest Room QQ	375 SF
			2XX	Guest Room STAY	414 SF	2XX	Guest Room QQ	376 SF
			2XX	Guest Room STAY	414 SF	2XX	Guest Room QQ	375 SF
			2XX	Guest Room STAY	414 SF	2XX	Guest Room QQ	375 SF
			2XX	Guest Room STAY	455 SF	2XX	Guest Room KING	375 SF
						2XX	Guest Room KING	349 SF
						2XX	Guest Room ADA Acc.	375 SF
						2XX	Guest Room ADA Acc.	375 SF

Room Types

- TB Guest Rms
- TB Guest Rms - ADA
- TB Guest Rm - King ADA
- TB Guest Rm - STAY
- Guest Services
- Core
- BOH

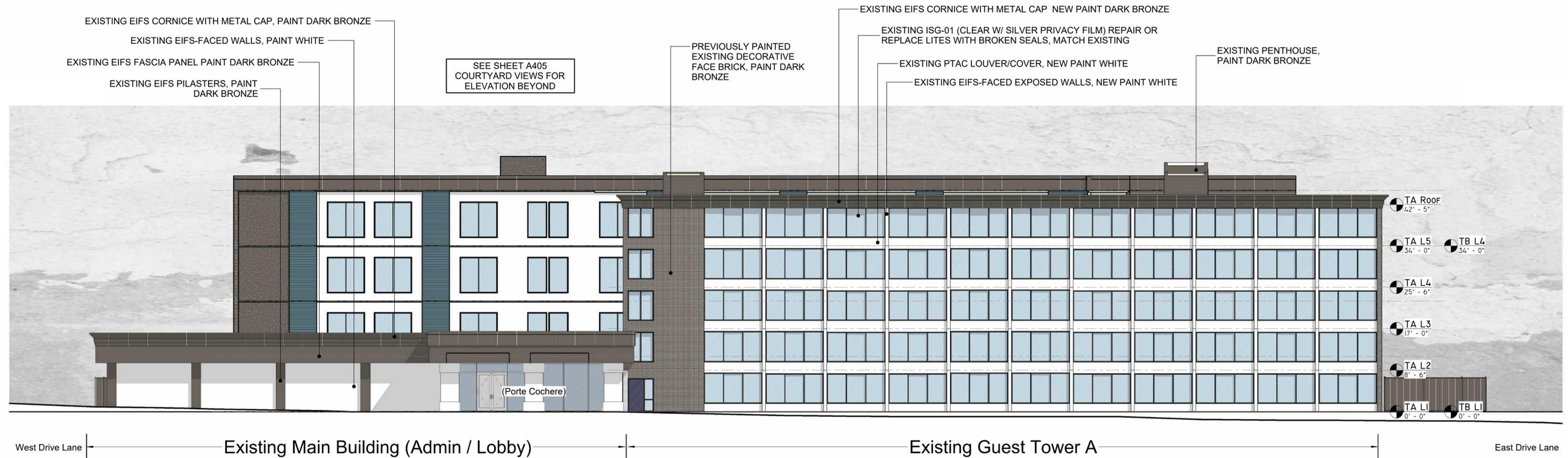
G.R. Count - Per Flr (NEW)	
Name	Count
Guest Room ADA Acc.	2
Guest Room ADA King STAY	1
Guest Room KING	7
Guest Room QQ	7
Guest Room STAY	9
Grand total	26



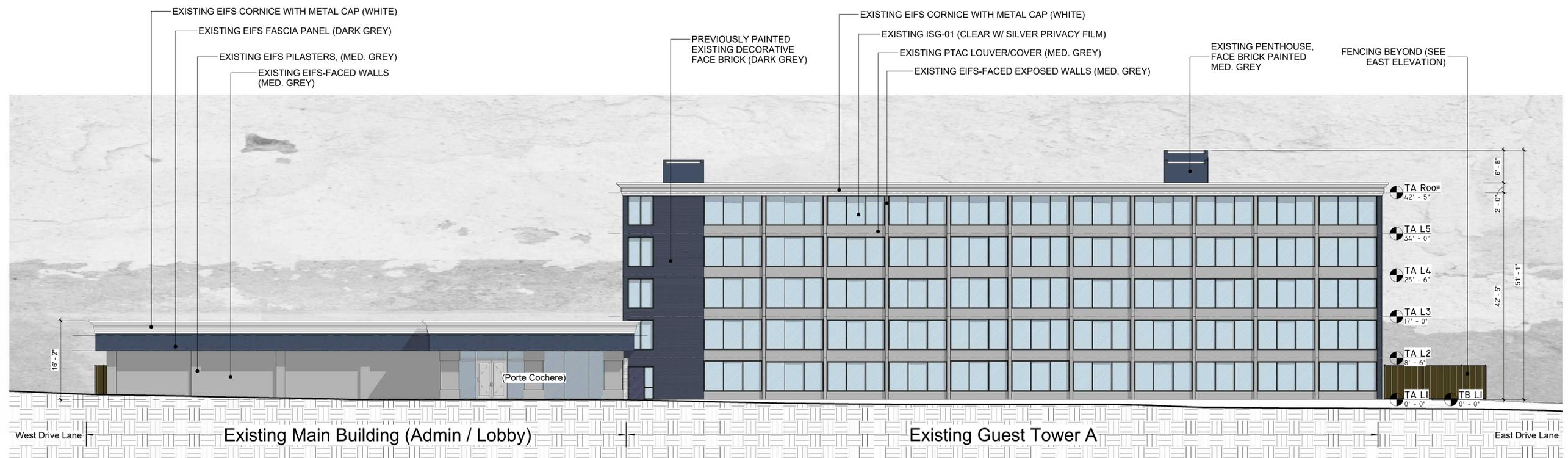
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Issue Date: **9/13/2023**
 Reason for Issue: **Approver**
 Project Number: **22-056**
 Project Phase: **Dev Plan Review**

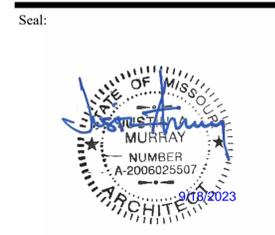
Sheet Title:
New Tower B - Levels 2-4 Typical Floor



2 South Facade - NEW
3/32" = 1'-0"

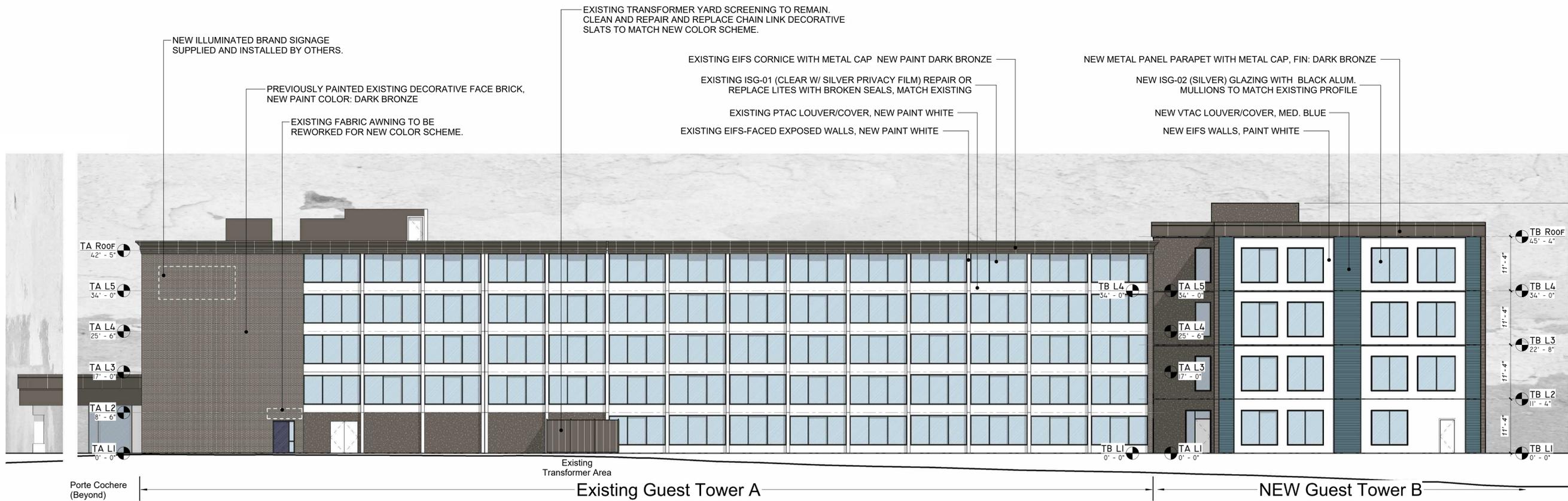


1 South Facade - EXISTING
3/32" = 1'-0"



Revisions:

Issue Date:	9/13/2023
Reason for Issue:	Approver
Project Number:	22-056
Project Phase:	Dev Plan Review
Sheet Title:	



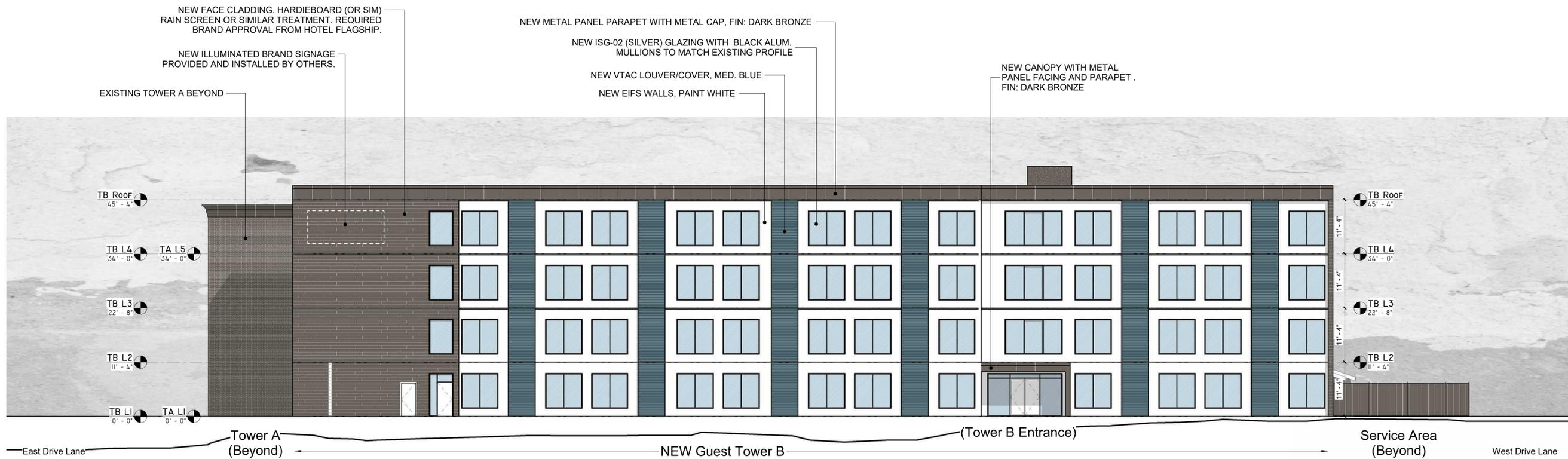
2 East Facade - NEW
3/32" = 1'-0"



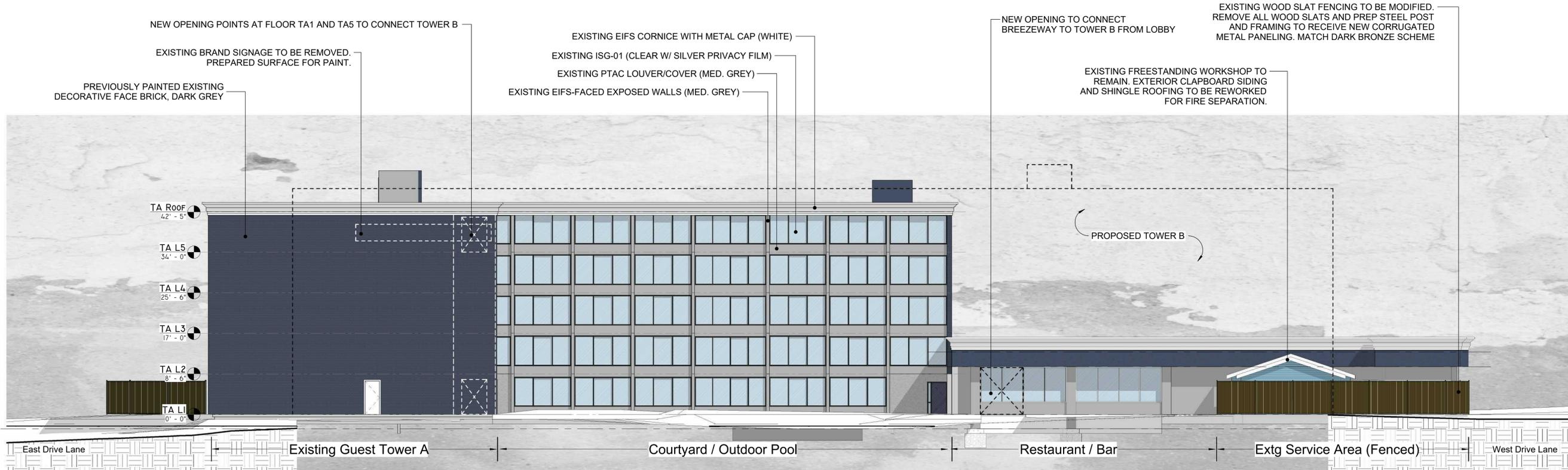
1 East Facade - EXISTING
3/32" = 1'-0"

Revisions:

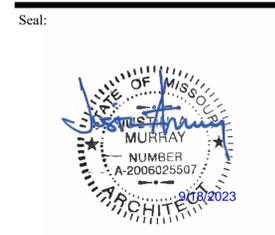
Issue Date:	9/13/2023
Reason for Issue:	Approver
Project Number:	22-056
Project Phase:	Dev Plan Review
Sheet Title:	



2 North Facade - NEW
3/32" = 1'-0"



1 North Facade - EXISTING
3/32" = 1'-0"



Revisions:

Issue Date:	9/13/2023
Reason for Issue:	Approver
Project Number:	22-056
Project Phase:	Dev Plan Review
Sheet Title:	

NEW FACE CLADDING. HARDIEBOARD (OR SIM)
RAIN SCREEN OR SIMILAR TREATMENT. REQUIRED
BRAND APPROVAL FROM HOTEL FLAGSHIP.

NEW ILLUMINATED BRAND
SIGNAGE PROVIDED AND
INSTALLED BY OTHERS.

EXISTING WOOD SLAT FENCING TO BE MODIFIED.
REMOVE ALL WOOD SLATS AND PREP STEEL POST
AND FRAMING TO RECEIVE NEW CORRUGATED
METAL PANELING. MATCH DARK BRONZE SCHEME

EXISTING FREESTANDING WORKSHOP TO
REMAIN. EXTERIOR CLAPBOARD SIDING
AND SHINGLE ROOFING TO BE REWORKED
FOR FIRE SEPARATION.

EXISTING EIFS CORNICE WITH METAL CAP, PAINT DARK BRONZE

EXISTING EIFS-FACED WALLS, PAINT WHITE

EXISTING EIFS FASCIA PANEL PAINT DARK BRONZE

EXISTING EIFS PILASTERS, PAINT
DARK BRONZE

EXISTING EIFS CORNICE WITH METAL CAP NEW PAINT DARK BRONZE

EXISTING ISG-01 (CLEAR W/ SILVER PRIVACY FILM) REPAIR OR
REPLACE LITES WITH BROKEN SEALS, MATCH EXISTING

EXISTING PTAC LOUVER/COVER, NEW PAINT WHITE

EXISTING EIFS-FACED EXPOSED WALLS, NEW PAINT WHITE

PREVIOUSLY PAINTED EXISTING
DECORATIVE FACE BRICK,
DARK BRONZE



NEW Tower B

Extg Service Area (Fenced)

Existing Main Building (Kitchen / Ballroom)

Porte Cochere
(Beyond)

2 West Facade - NEW
3/32" = 1'-0"

EXISTING WOOD SLAT FENCING TO BE MODIFIED.
REMOVE ALL WOOD SLATS AND PREP STEEL POST
AND FRAMING TO RECEIVE NEW CORRUGATED
METAL PANELING. MATCH DARK BRONZE SCHEME

EXISTING FREESTANDING WORKSHOP TO
REMAIN. EXTERIOR CLAPBOARD SIDING
AND SHINGLE ROOFING TO BE REWORKED
FOR FIRE SEPARATION.

EXISTING EIFS CORNICE WITH METAL CAP (WHITE)

EXISTING EIFS FASCIA PANEL (DARK GREY)

EXISTING EIFS PILASTERS, (MED. GREY)
EXISTING EIFS-FACED WALLS
(MED. GREY)

EXISTING EIFS CORNICE WITH METAL CAP (WHITE)

EXISTING ISG-01 (CLEAR W/ SILVER PRIVACY FILM)

EXISTING PTAC LOUVER/COVER (MED. GREY)

EXISTING EIFS-FACED EXPOSED WALLS (MED. GREY)

PREVIOUSLY PAINTED EXISTING
DECORATIVE FACE BRICK, DARK GREY



Existing Greenspace

Extg Service Area (Fenced)

Existing Main Building (Kitchen / Ballroom)

Porte Cochere
(Beyond)

1 West Facade - EXISTING
3/32" = 1'-0"

Client:



Project Title / Address:

**KCI New Tower and
Hotel Refresh**

**11832 NW Plaza Cir
Kansas City MO 64153**

Architect:



Structural Consultant:



MEP Consultant:



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Seal:



Revisions:

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Project Phase: **Dev Plan Review**

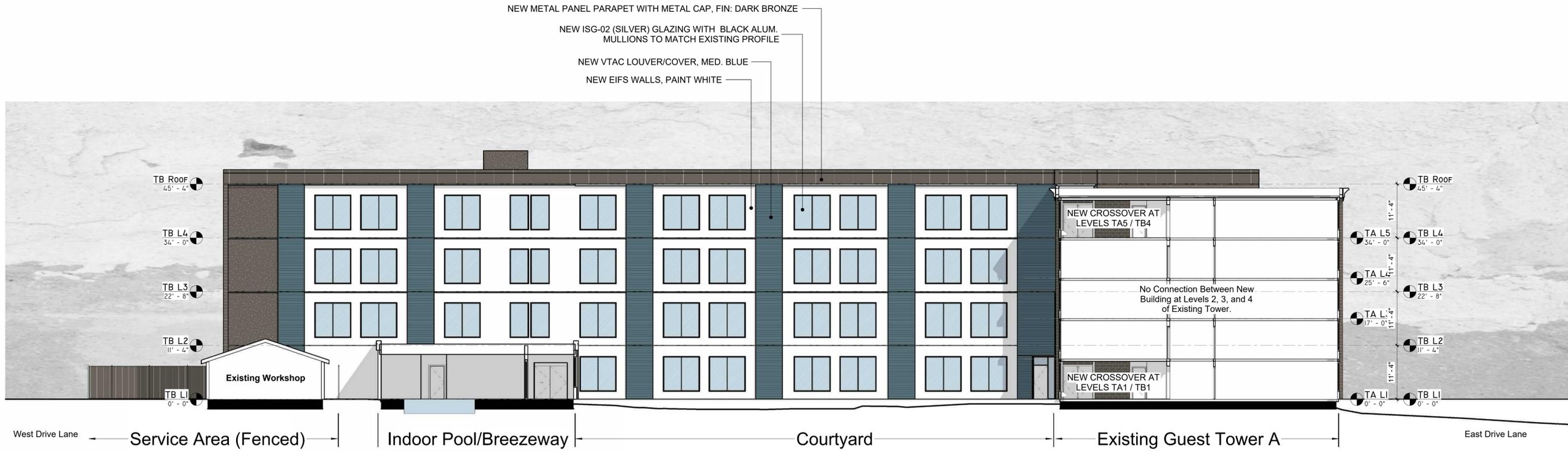
Sheet Title:

**Exterior Elevation
(West Facade)**

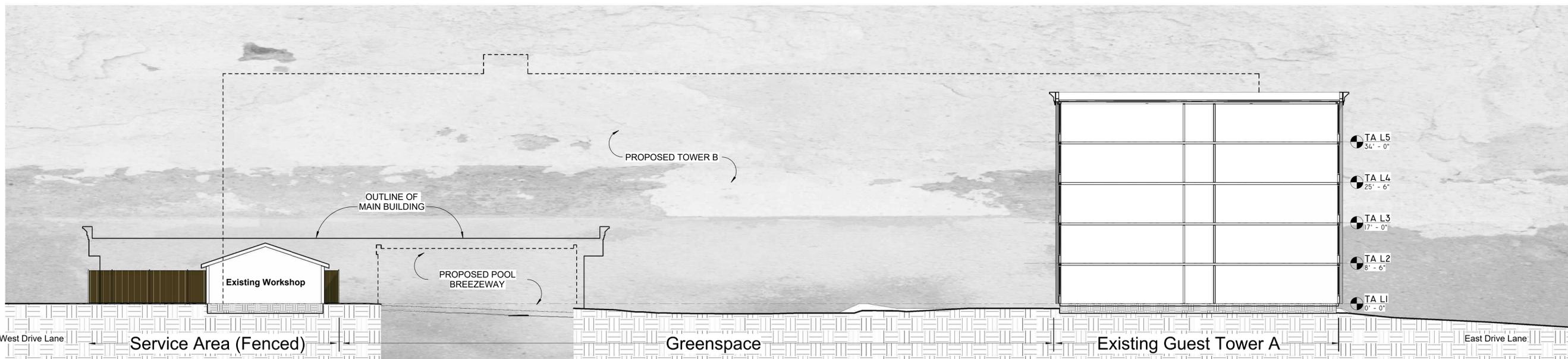
Pkg: Sheet Number:

DP A404

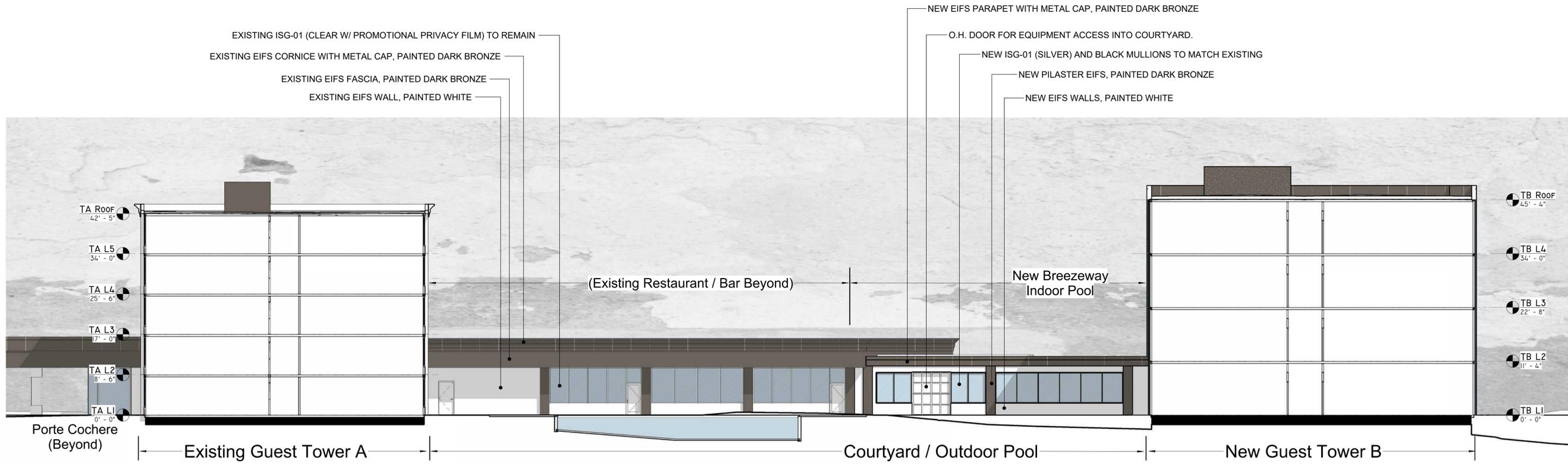
22-056



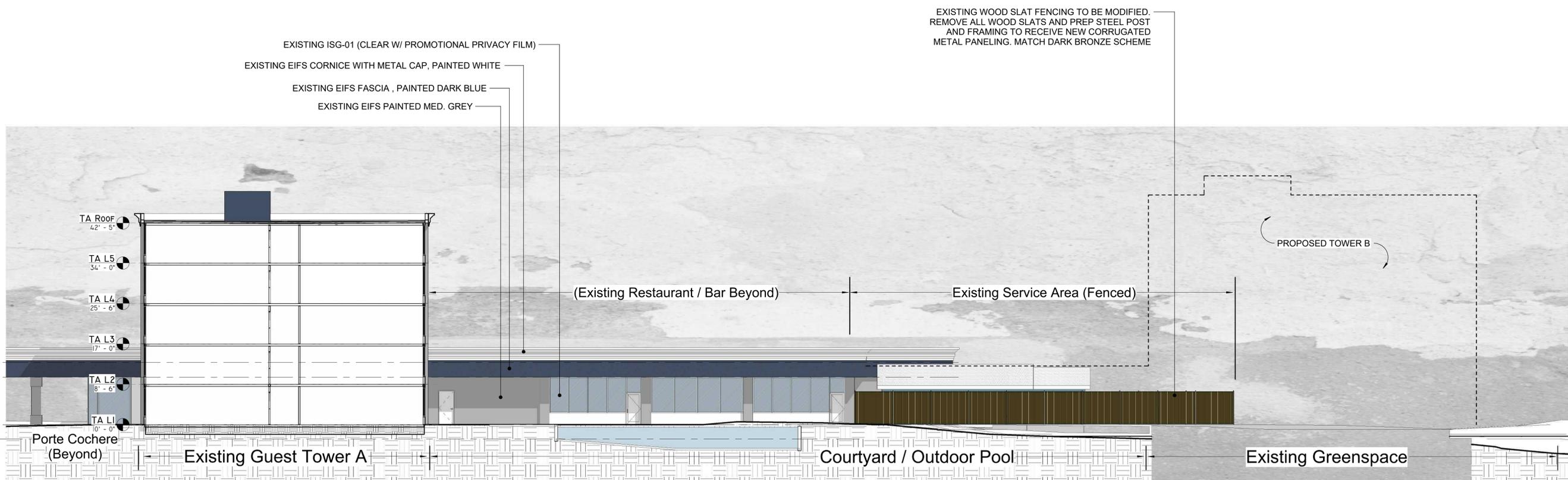
2 Courtyard Looking North - NEW
3/32" = 1'-0"



1 Courtyard Looking North - EXISTING
3/32" = 1'-0"



2 Courtyard Looking West - NEW
3/32" = 1'-0"

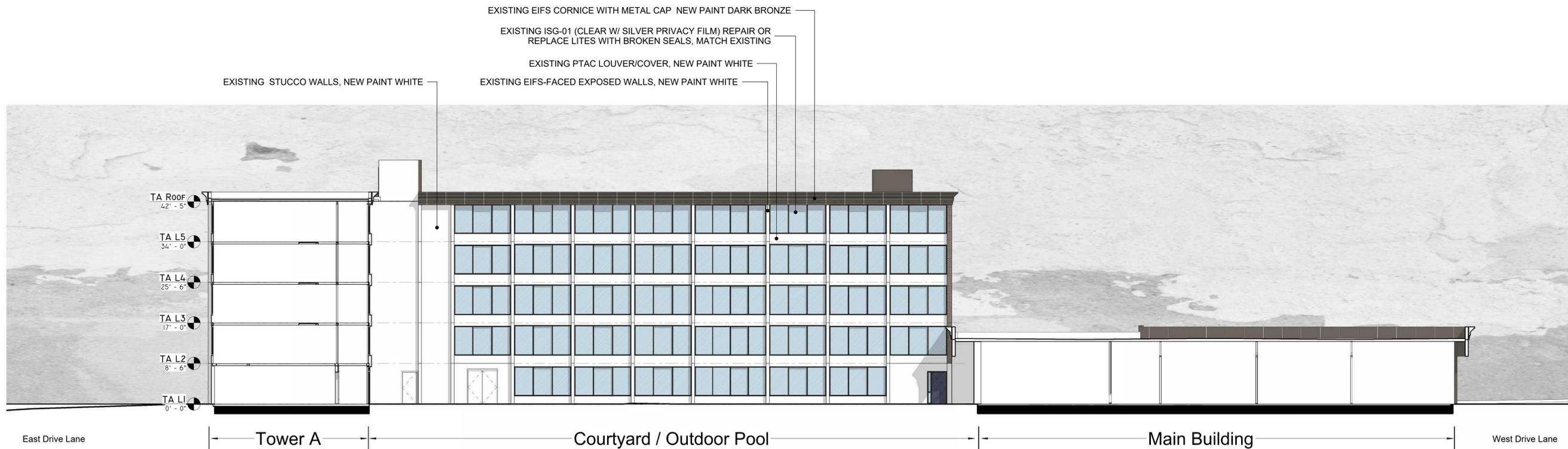


1 Courtyard Looking West - EXISTING
3/32" = 1'-0"

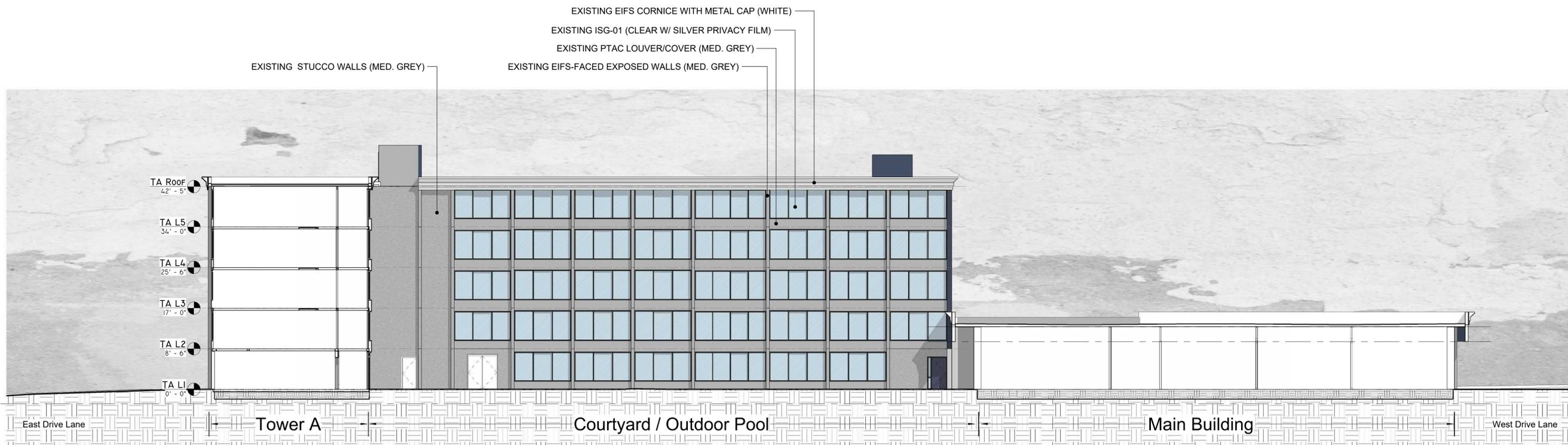
Revisions:

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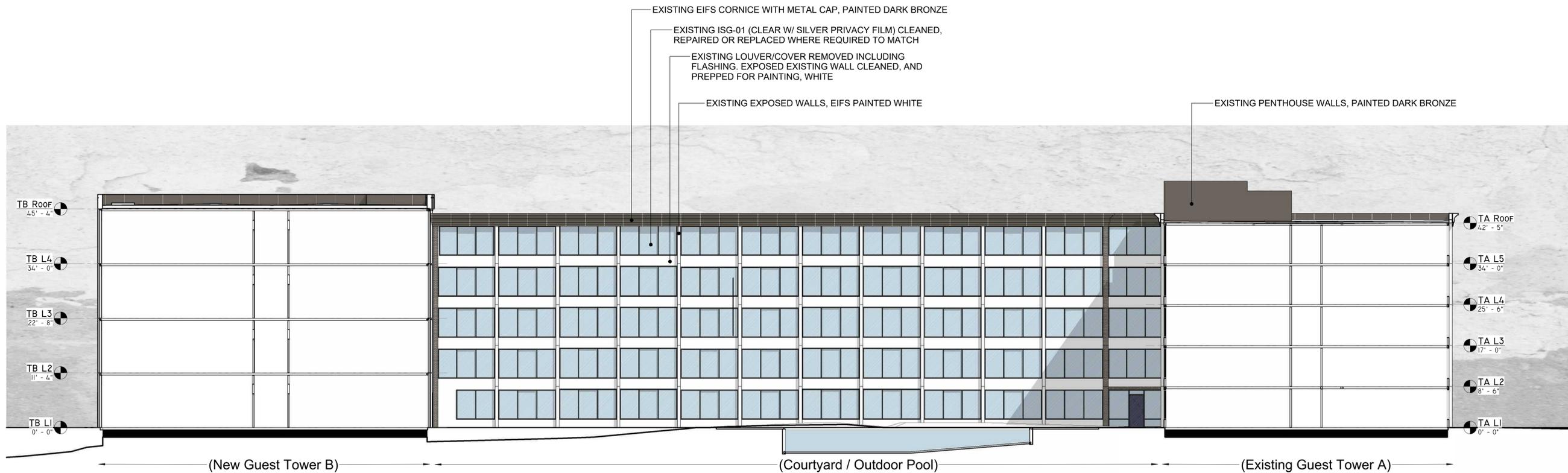
Sheet Title:
Courtyard Elevations Looking West



2 Courtyard Looking South - NEW
3/32" = 1'-0"



1 Courtyard Looking South - EXISTING
3/32" = 1'-0"



2 Courtyard Looking East - NEW
3/32" = 1'-0"



1 Courtyard Looking East - EXISTING
3/32" = 1'-0"

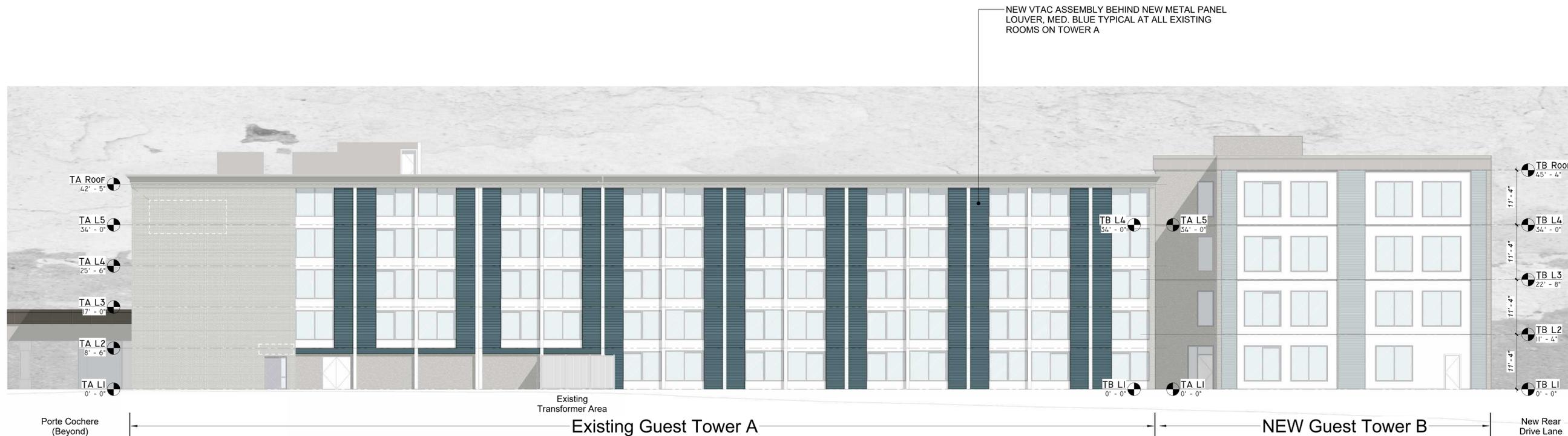
Revisions:

Issue Date:	9/13/2023
Reason for Issue:	Approver
Project Number:	22-056
Project Phase:	Dev Plan Review
Sheet Title:	

**Exterior Elevations
 FUTURE (Phase 2)**

Pkg: Sheet Number:
DP A450*

22-056

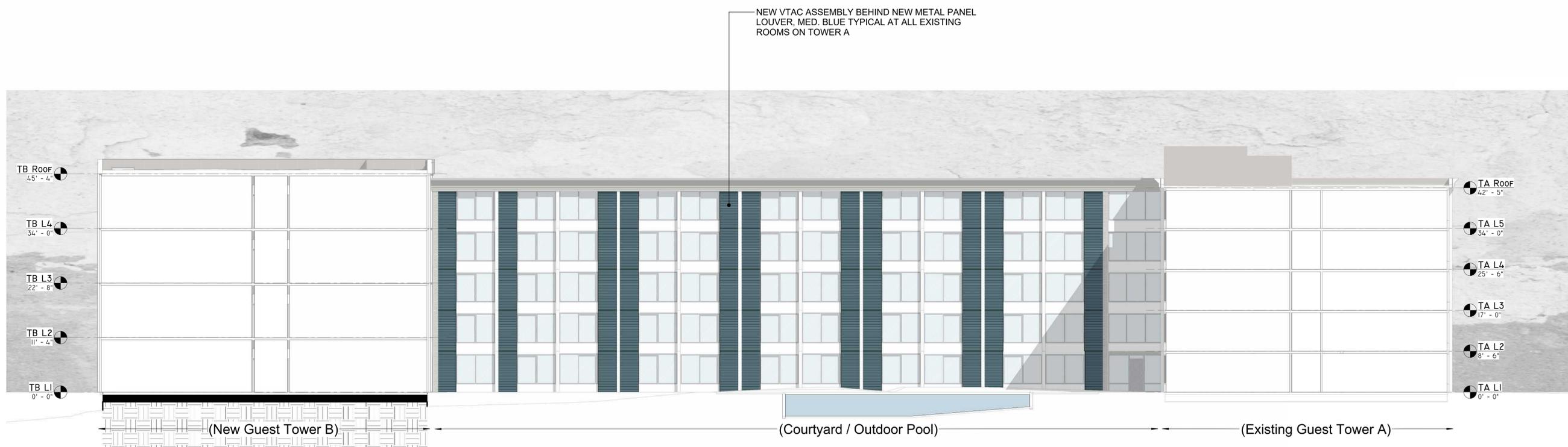


2 Tower A East Facade FUTURE (Phase 2)
 3/32" = 1'-0"

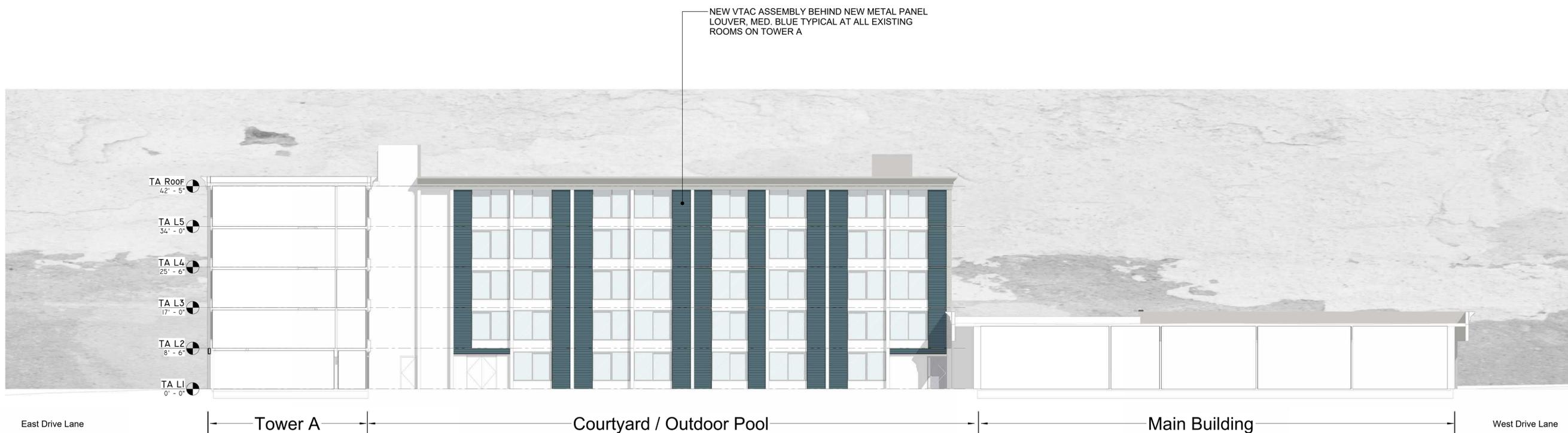


1 Tower A South Facade FUTURE (Phase 2)
 3/32" = 1'-0"

**THIS SHEET FOR
 INFORMATIONAL
 PURPOSES. TOWER A
 UPGRADE WORK IS
 FUTURE PHASE.**



2 Courtyard Looking East (Phase 2)
 3/32" = 1'-0"



1 Courtyard Looking South (Phase 2)
 3/32" = 1'-0"

THIS SHEET FOR INFORMATIONAL PURPOSES. TOWER A UPGRADE WORK IS FUTURE PHASE.

KCI NEW TOWER AND HOTEL REFRESH

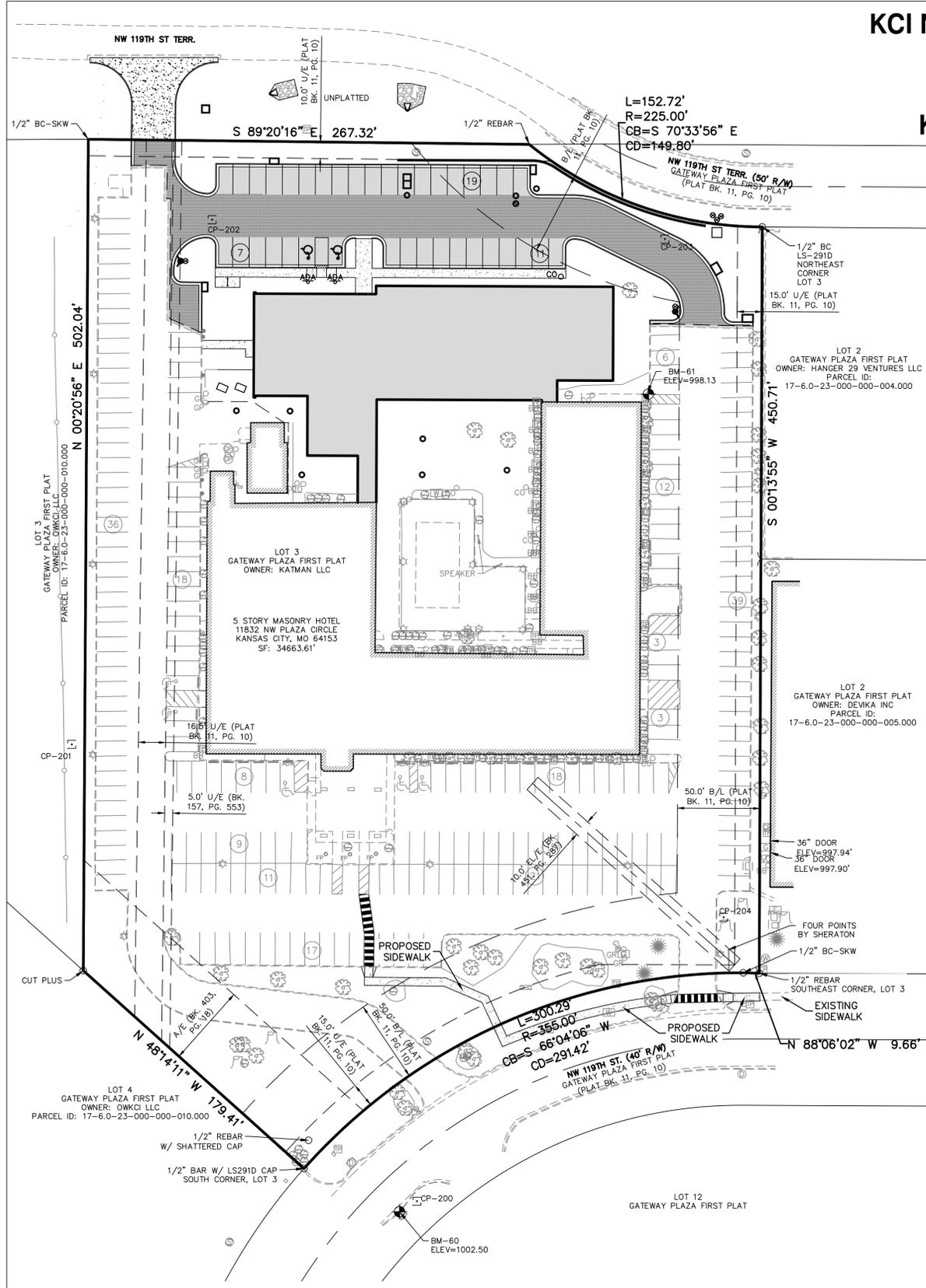
SITE PLAN

11832 NW PLAZA CIR

KANSAS CITY, MISSOURI 64153

PROJECT NUMBER:

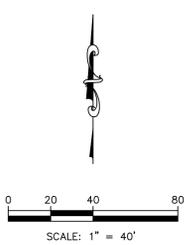
FILE NUMBER:



- LEGEND:**
- MONUMENT FOUND ORIGIN UNKNOWN UNLESS OTHERWISE NOTED
 - CONTROL POINT
 - UNDERGROUND ELECTRIC
 - ☆ LIGHT POLE NO VISIBLE # UNLESS STATED
 - ⊠ ELECTRIC METER
 - ⊠ BREAKER BOX
 - ⊠ UNDERGROUND GAS
 - ⊠ GAS METER
 - ⊠ GAS LINE RISER
 - WATER LINE
 - ⊠ WATER METER
 - ⊠ WATER LINE GATE VALVE
 - ⊠ FIRE HYDRANT
 - ⊠ SPRINKLER CONTROL BOX
 - ⊠ WATER MANHOLE
 - ⊠ WATER SPIGOT
 - UNDERGROUND FIBER OPTIC CABLE
 - TV UNDERGROUND TELEVISION
 - ⊠ CABLE TV PEDESTAL
 - ⊠ TELEPHONE PEDESTAL OWNER UNKNOWN UNLESS STATED
 - ⊠ SANITARY SEWER MANHOLE
 - ⊠ SANITARY SEWER CLEAN OUT
 - SANITARY SEWER LINE
 - VCP VITRIFIED CLAY PIPE
 - PVC POLYVINYL CHLORIDE PIPE
 - HDPE HIGH DENSITY POLYETHYLENE
 - RCP REINFORCED CONCRETE PIPE
 - ⊠ STORM SEWER MANHOLE
 - ⊠ PARKING STALL COUNT
 - ⊠ ADA HANDICAP SIGN
 - ⊠ HANDICAP SYMBOL
 - ⊠ STREET/TRAFFIC SIGN
 - 950 EXISTING GRADE 5' CONTOUR
 - 930 EXISTING GRADE 1' CONTOUR
 - ⊠ DECIDUOUS TREE
 - ⊠ CONIFEROUS TREE
 - ⊠ BUSH
 - ⊠ BOLLARD
 - ⊠ STUMP
 - TREE LINE
 - ⊠ AIR CONDITIONER UNIT
 - ⊠ CHAIN LINK FENCE
 - ⊠ WOOD FENCE
 - ⊠ GATE POST
 - ⊠ WHEEL STOP
 - ⊠ TRASH ENCLOSURE
 - ⊠ A/E ACCESS EASEMENT
 - ⊠ EL/E ELECTRIC EASEMENT
 - ⊠ B/B BACK TO BACK OF CURB MEASUREMENT
 - ⊠ GREASE PIT MANHOLE
 - ⊠ E/E EDGE TO EDGE OF ASPHALT
 - ⊠ ELECTRIC OUTLET
 - (D) DEED VALUE
 - (M) MEASURED VALUE
 - (P) PLAT VALUE



HORIZONTAL AND VERTICAL DATUM:
 THE COORDINATES SHOWN HEREON ARE GROUND COORDINATES BASED ON THE MISSOURI STATE PLANE, WEST ZONE (NAD 1983), (HARN), (NAVD 1988/97)
 CAF: 0.9999009
 1 METER = 3.28083333 U.S. SURVEY FEET
 INLET ON THE SOUTHERLY SIDE OF PLAZA CIRCLE AND SOUTHWEST OF THE WEST ENTRY DRIVE TO THE MICROTEL INN.
 ELEV = 1002.50
 BM-61
 CHISELED SQUARE ON THE NORTHEAST CORNER OF THE FIRST STEP UP FROM THE CURB AT THE BUILDING NORTHEAST CORNER.
 ELEV = 998.13



SITE DATA:

1. SITE DATA:

Site Data	Existing	Proposed	Variance Requested	Approved
Zoning	B3-3	B3-3	No	
Gross Land Area				
in square feet	217,796	No Change	No	
in acres	5.0	No Change	No	
Right-of-Way Dedication				
in square feet	0	No Change	No	
in acres	0	No Change	No	
Net Land Area				
in square feet	217,796	No Change	No	
in acres	5.0	No Change	No	
Building Area (sq. ft.)				
5 Story Hotel	34,664			
Maintenance Building	989			
North Addition		15,872		
Future Additions		No		
Floor Area Ratio (Non-Permanent Structures NTC.)	16.4%	23.7%	No	

- B. MINIMUM LOT AREA: NONE
 C. LAND USE: HOTEL (PERMITTED)

2. BUILDING DATA TABLE

Building Data	Existing	Proposed	Variance Requested	Approved
Front Setback	50' (Platted)	See Plan	No	
Rear Setback, Northeast Line	50' (Platted)	See Plan	No	
Rear Setback, North Line	N/A (Platted)	N/A	No	
East Side Setback	N/A (Platted)	N/A	No	
West Side Setback	N/A (Platted)	N/A	No	
Height	35'	See Plan	No	

3. LAND COVER
 EXISTING/PROPOSED RIGHT-OF-WAY: NA
 EXISTING IMPERVIOUS COVERAGE:
 3.06 AC HARDSCAPE
 PROPOSED IMPERVIOUS COVERAGE:
 3.80 AC HARDSCAPE
 INCREASE: 0.74 AC ±

4. PARKING TABLE
 A. VEHICLE PARKING (88-420.06): SEE ARCHITECTURAL PLAN
 B. BICYCLE PARKING (88-420.09): SEE ARCHITECTURAL PLAN

5. OTHER DEVELOPMENT STANDARDS

88-425 - Other Development Standards	Method of Compliance
88-408 Parkland Dedication	N/A
88-415 Stream Buffers	N/A
88-430 Outdoor Lighting	See Photometric Plan
88-435 Outdoor Display, Storage and Work Areas	N/A
88-445 Signs	Existing Monument Sign to Remain. No Additional Signage Proposed at this time.
88-450 Pedestrian Standards	Existing sidewalk in NW Plaza Circle. No existing sidewalk on NW 119th Terrace. No existing pedestrian access to site.

PROJECT BENCH MARK:

BM-60
 CHISELED SQUARE ON THE CENTER FRONT FACE OF THE CURB INLET ON THE SOUTHERLY SIDE OF PLAZA CIRCLE AND SOUTHWEST OF THE WEST ENTRY DRIVE TO THE MICROTEL INN.
 ELEV = 1002.50
 BM-61
 CHISELED SQUARE ON THE NORTHEAST CORNER OF THE FIRST STEP UP FROM THE CURB AT THE BUILDING NORTHEAST CORNER.
 ELEV = 998.13

PROJECT CONTROL:

- CP-#200
 1/2"x24" REBAR W/ CONTROL POINT CAP BETWEEN WALK AND CURB ON THE SOUTHERLY SIDE OF PLAZA CIRCLE AND SOUTHWEST OF THE MICROTEL INN WEST ENTRY DRIVE.
 NORTHING: 1144271.966 (GROUND)
 EASTING: 2737016.275 (GROUND)
 ELEV = 1002.20
 CP-#201
 1/2"x24" REBAR W/ CONTROL POINT CAP ON THE TOP OF THE SLOPE AT THE SOUTH FACE OF THE BUILDING EXTENDED WEST.
 NORTHING: 1144547.832 (GROUND)
 EASTING: 2736806.996 (GROUND)
 ELEV = 1009.98
 CP-#202
 1/2"x24" REBAR W/ CONTROL POINT CAP IN THE GRASS AT THE NORTHEAST CORNER ON THE WEST PARKING AREA
 NORTHING: 1144864.878 (GROUND)
 EASTING: 2736892.097 (GROUND)
 ELEV = 999.57
 CP-#203
 1/2"x24" REBAR W/ CONTROL POINT CAP ON THE TOP OF THE GRASS DRAINAGE SWALE NORTH OF THE TRASH ENCLOSURE AND THE EAST PARKING AREA.
 NORTHING: 1144852.954 (GROUND)
 EASTING: 2737166.669 (GROUND)
 ELEV = 994.94
 CP-#204
 1/2"x24" REBAR W/ CONTROL POINT CAP EAST OF THE SITE EAST ENTRY DRIVE AND SOUTH OF THE EAST SIDE OF THE EAST PARKING AREA.
 NORTHING: 1144443.432 (GROUND)
 EASTING: 2737202.226 (GROUND)
 ELEV = 998.30

PROPOSED LEGEND

- ▬ CONCRETE CURB AND GUTTER
- ▬ LIGHT DUTY ASPHALT
- ▬ HEAVY DUTY ASPHALT
- L LANDING
- R RAMP
- T TRANSITION
- - - PROJECT AREA (APPROXIMATE LIMITS OF DISTURBANCE)
- ⊠ PROPOSED PARKING COUNT
- ★ PARKING LOT/ SITE LIGHTING
- ▬ SEED/SOD

WARRANTY / DISCLAIMER
 THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER KAW VALLEY ENGINEERING, INC NOR ITS PERSONNEL CAN OR DO WARRANTY THESE DESIGNS OR PLANS AS CONSTRUCTED, EXCEPT IN THE SPECIFIC CASES WHERE KAW VALLEY ENGINEERING PERSONNEL INSPECT AND CONTROL THE PHYSICAL CONSTRUCTION ON A CONTEMPORARY BASIS AT THE SITE.

CAUTION - NOTICE TO CONTRACTOR
 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
THE CONTRACTOR SHALL EXPOSE EXISTING UTILITIES AT LOCATIONS OF POSSIBLE CONFLICTS PRIOR TO ANY CONSTRUCTION.

SAFETY NOTICE TO CONTRACTOR
 IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

UTILITY STATEMENT:
 THE UNDERGROUND UTILITIES SHOWN HEREON ARE FROM FIELD SURVEY INFORMATION OF ONE-CALL LOCATED UTILITIES, FIELD SURVEY INFORMATION OF ABOVE GROUND OBSERVABLE EVIDENCE, AND/OR THE SCALING AND PLOTTING OF EXISTING UTILITY MAPS AND DRAWINGS AVAILABLE TO THE SURVEYOR AT THE TIME OF SURVEY. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. FURTHERMORE, THE SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES BY EXCAVATION UNLESS OTHERWISE NOTED ON THIS SURVEY. MISSOURI ONE CALL TICKET #231732017

PROJ. NO. C23-1760 DSN: KGW CHRISTIAN J. CROWDER
 CFN: 1760SP.DWG DWN: JQN ENGINEER
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KAW VALLEY ENGINEERING
 KAW VALLEY ENGINEERING, INC. IS AUTHORIZED TO OFFER ENGINEERING SERVICES BY MISSOURI STATE CERTIFICATE OF AUTHORITY # 000842. EXPIRES 12/31/23

Client:

 Project Title / Address:
KCI New Tower and Hotel Refresh
 11832 NW Plaza Cir
 Kansas City MO 64153

Architect:

Bell / Knott & Associates
 CORPORATE ARCHITECTS, P.C.
 12730 State Line Road Suite 100
 Leawood, KS 66209
 Voice: 913.378.1600
 Fax: 913.378.1601
 www.bellknott.com

Structural Consultant:
 MEP Consultant:

Seal:

Revisions:

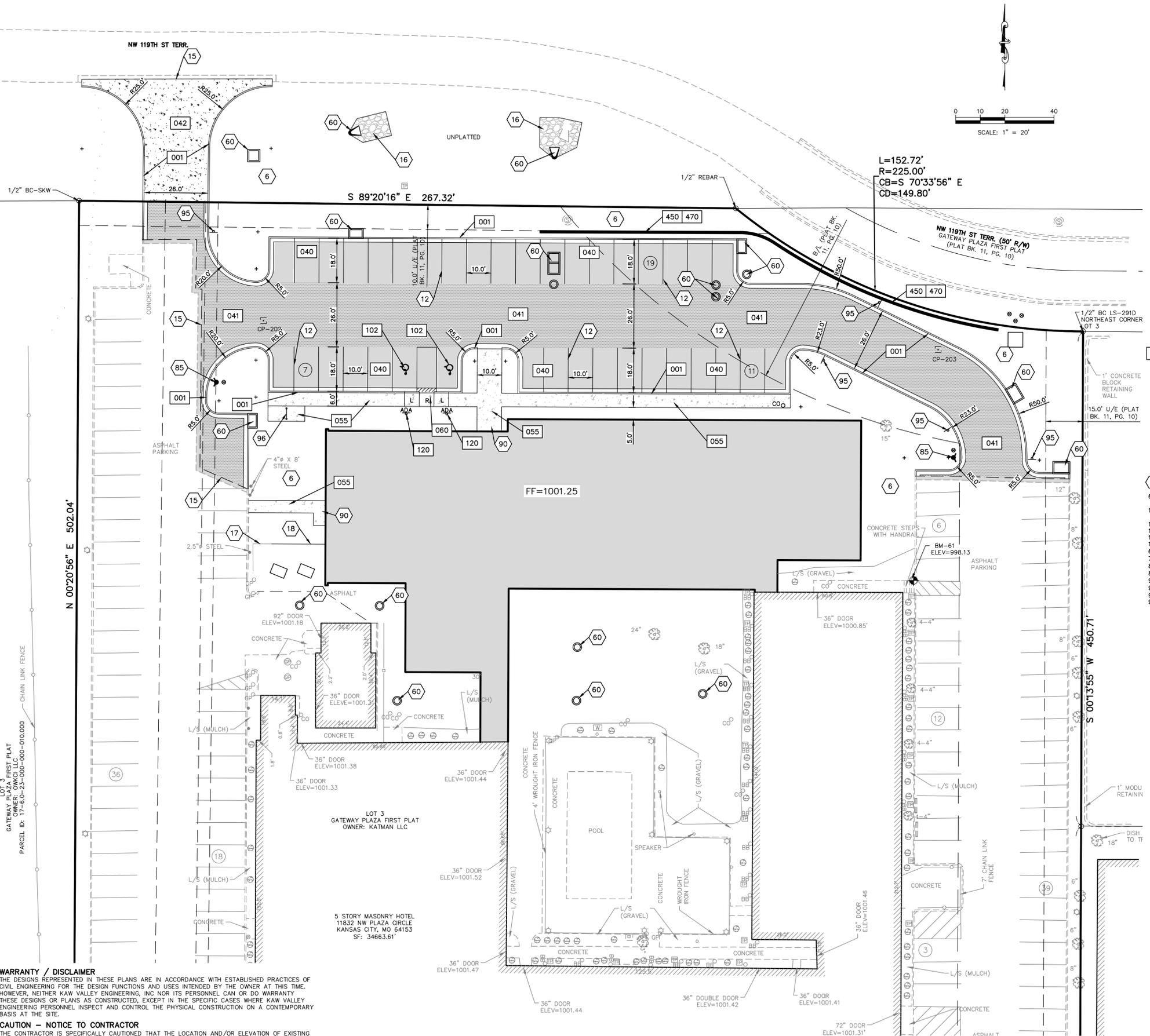
NO.	DESCRIPTION	DATE
1	CITY REVIEW RESPONSE	10/13/23

Issue Date: **09/18/23**
 Reason for Issue: **Initial Submittal**
 Project Number: **22-056**
 Project Phase: **DD**

Sheet Title:
OVERALL SITE PLAN
 Pkg: Sheet Number:
C100

CONSTRUCTION NOTES:

- COORDINATE START-UP AND ALL CONSTRUCTION ACTIVITIES WITH THE OWNER.
- CONSTRUCTION METHODS AND MATERIALS NOT SPECIFIED IN THESE PLANS ARE TO MEET OR EXCEED THE CURRENT EDITION OF THE KANSAS CITY METROPOLITAN CHAPTER OF APWA SPECIFICATIONS AS ADOPTED AND AMENDED BY THE CITY OF KANSAS CITY, MISSOURI AND MODIFIED AS NOTED ON THESE PLANS.
- ALL CONSTRUCTION WORK AND UTILITY WORK OUTSIDE OF PROPERTY BOUNDARIES SHALL BE PERFORMED IN COOPERATION WITH AND IN ACCORDANCE WITH REGULATIONS OF THE AUTHORITIES CONCERNED.
- PUBLIC CONVENIENCE AND SAFETY: THE CONTRACTOR SHALL CONDUCT THE WORK IN A MANNER THAT WILL INSURE, AS FAR AS PRACTICABLE, THE LEAST OBSTRUCTION TO TRAFFIC, AND SHALL PROVIDE FOR THE CONVENIENCE AND SAFETY OF THE GENERAL PUBLIC AND RESIDENTS ALONG AND ADJACENT TO PUBLIC ROADWAYS. CONTRACTOR IS RESPONSIBLE TO OBTAIN RIGHT-OF-WAY PERMIT. CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AS REQUIRED BY THE CITY OF KANSAS CITY PUBLIC WORKS DEPARTMENT. REFERENCE MUTCD STANDARD DRAWINGS.
- ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE SHOWN.
- ALL TRAFFIC CONTROL DEVICES, INSTALLATION AND OPERATIONS SHALL CONFORM WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.



- DETAILS - SEE DETAIL SHEETS C190 FOR THE FOLLOWING DETAILS:**
- 001 FULL HEIGHT CURB
 - 040 LIGHT DUTY ASPHALT PAVEMENT
 - 041 HEAVY DUTY ASPHALT PAVEMENT
 - 042 CONCRETE PAVEMENT
 - 055 CONCRETE SIDEWALK
 - 060 SIDEWALK RAMP
 - 102 ACCESSIBLE STRIPING
 - 120 ACCESSIBLE PARKING SIGNAGE
 - 450 MODULAR BLOCK RETAINING WALL
 - 470 BLACK VINYL COATED CHAIN-LINK FENCE

- NOTES:**
- 6 DISTURBED AREAS TO BE LANDSCAPED OR SODDED AS NOTED ON LANDSCAPE PLAN
 - 12 WHITE PARKING LOT STRIPING (SHERWIN-WILLIAMS TM 2160 LEAD FREE OR APPROVED EQUAL)
 - 15 SAW CUT LINE
 - 16 RIP RAP
 - 17 EXISTING FENCE TO REMAIN
 - 18 PROPOSED FENCE TO MATCH EXISTING
 - 60 STORM STRUCTURES (SEE SHEET C500)
 - 70 SANITARY SEWER APPURTENANCES (SEE SHEET C500)
 - 80 WATER APPURTENANCES (SEE SHEET C500)
 - 85 FIRE HYDRANT (SEE SHEET C500)
 - 90 CONCRETE STOOP (SEE STRUCTURAL PLANS)
 - 94 PARKING LOT LIGHTING (SEE MEP PLANS)
 - 95 "NO PARKING - FIRE LANE" SIGNAGE
 - 96 BIKE RACK - 5 BIKE CAPACITY

- PROPOSED LEGEND**
- CONCRETE CURB AND GUTTER
 - LIGHT DUTY ASPHALT
 - HEAVY DUTY ASPHALT
 - L LANDING
 - R RAMP
 - T TRANSITION
 - PROJECT AREA (APPROXIMATE LIMITS OF DISTURBANCE)
 - PROPOSED PARKING COUNT
 - PARKING LOT / SITE LIGHTING
 - SEED/SOD

- LEGEND:**
- MONUMENT FOUND ORIGIN UNKNOWN UNLESS OTHERWISE NOTED
 - BENCHMARK
 - CONTROL POINT
 - UNDERGROUND ELECTRIC
 - LIGHT POLE NO VISIBLE # UNLESS STATED
 - ELECTRIC METER
 - BREAKER BOX
 - UNDERGROUND GAS
 - GAS METER
 - GAS LINE RISER
 - WATER LINE
 - WATER METER
 - WATER LINE GATE VALVE
 - FIRE HYDRANT
 - SPRINKLER CONTROL BOX
 - WATER MANHOLE
 - WATER SPIGOT
 - UNDERGROUND FIBER OPTIC CABLE
 - UNDERGROUND TELEVISION
 - CABLE TV PEDESTAL
 - TELEPHONE PEDESTAL OWNER UNKNOWN UNLESS STATED
 - SANITARY SEWER MANHOLE
 - SANITARY SEWER CLEAN OUT
 - SANITARY SEWER LINE
 - VCP VITRIFIED CLAY PIPE
 - PVC POLYVINYL CHLORIDE PIPE
 - HDPE HIGH DENSITY POLYETHYLENE
 - RCP REINFORCED CONCRETE PIPE
 - STORM SEWER MANHOLE
 - PARKING STALL COUNT
 - HANDICAP SIGN
 - HANDICAP SYMBOL
 - STREET/TRAFFIC SIGN
 - EXISTING GRADE 5' CONTOUR
 - EXISTING GRADE 1' CONTOUR
 - DECIDUOUS TREE
 - CONIFEROUS TREE
 - BUSH
 - BOLLARD
 - STUMP
 - TREE LINE
 - AIR CONDITIONER UNIT
 - CHAIN LINK FENCE
 - WOOD FENCE
 - GATE POST
 - WHEEL STOP
 - TRASH ENCLOSURE
 - ACCESS EASEMENT
 - ELECTRIC EASEMENT
 - BACK TO BACK OF CURB MEASUREMENT
 - GREASE PIT MANHOLE
 - EDGE TO EDGE OF ASPHALT
 - ELECTRIC OUTLET
 - DEED VALUE
 - MEASURED VALUE
 - PLAT VALUE

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Revisions:

1	CITY REVIEW RESPONSE	10/13/23
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Issue Date: **09/18/23**

Reason for Issue: **Initial Submittal**

Project Number: **22-056**

Project Phase: **DD**

Sheet Title:



PROJ. NO. C23-1760 DSN: KGW ENGINEER
 CFN: 1760SP.DWG DWN: JQN MO # 2015000538

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KAW VALLEY ENGINEERING

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Client:



Project Title / Address:

KCI New Tower and Hotel Refresh

11832 NW Plaza Cir
Kansas City MO 64153

Architect:



Structural Consultant:

MEP Consultant:

Seal:



Revisions:

1 CITY REVIEW RESPONSE 10/13/23

Issue Date: 09/18/23

Reason for Issue: Initial Submittal

Project Number: 22-056

Project Phase: DD

Sheet Title:

GRADING PLAN

Pkg: Sheet Number:

C300

GRADING NOTES:

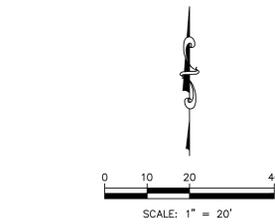
- 1. THE CONSTRUCTION AREA SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL AND ORGANIC MATTER FROM ALL AREAS TO BE OCCUPIED BY BUILDING AND PAVING. TOPSOIL FOR REPLACEMENT ON SLOPES MAY BE STOCKPILED ON SITE. EXCESS TOPSOIL MAY BE WASTED IN FILL SLOPES PROVIDED THAT NO TOPSOIL WILL BE WASTED WITHIN 10 FEET OF THE EDGE OF THE BUILDING OR PARKING AREA. BURNING OF TIMBER WILL NOT BE PERMITTED UNLESS APPROVAL IS OBTAINED FROM GOVERNING OFFICIALS. STRIPPING EXISTING TOPSOIL AND ORGANIC MATTER SHALL BE TO A MINIMUM DEPTH OF 6 INCHES. CONSTRUCTION MANAGER SHALL DESIGNATE LOCATION OF STOCKPILE AREAS DURING CONSTRUCTION. ANY UNAUTHORIZED STOCKPILE SHALL BE REMOVE/RELOCATED AT THE CONTRACTOR'S EXPENSE.
2. AREAS TO RECEIVE FILL SHALL BE SCARIFIED AND THE TOP 12-INCH DEPTH COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D 698 WITH A MOISTURE CONTENT OF +/- 2% OF OPTIMUM FOR SOILS WITH A LIQUID LIMIT OF LESS THAN 40 AND 0 TO +4% FOR SOILS WITH A LIQUID LIMIT GREATER THAN 40. ANY UNSUITABLE AREAS SHALL BE UNDERCUT AND REPLACED WITH SUITABLE MATERIAL BEFORE ANY FILL MATERIAL CAN BE APPLIED.
3. OFF-SITE SOIL MATERIAL FOR USE UNDER BUILDING AND PAVED AREAS SHALL HAVE A PLASTICITY INDEX OF 25 OR LESS, A LIQUID LIMIT OF 45 OR LESS AND CONTAIN NO ROCK LARGER THAN THREE INCHES. OFF-SITE FILL MATERIAL SHALL BE APPROVED BY THE OWNER'S TESTING AGENCY PRIOR TO BRINGING ON SITE.
4. EARTHWORK UNDER AND 10' LATERALLY FROM THE BUILDING AND UNDER PAVING AND LIGHTLY LOADED STRUCTURAL FEATURES SHALL COMPLY WITH THE CONTRACT DOCUMENTS AND PROJECT GEOTECHNICAL REPORT. THE BUILDING PAD SHALL BE EXCAVATED AS REQUIRED TO ALLOW THE PLACEMENT OF LOW VOLUME CHANGE MATERIAL. REFER TO GEOTECHNICAL REPORT FOR PREPARING BUILDING PAD AND LOW VOLUME CHANGE THICKNESS REQUIREMENTS. OTHER FILL MATERIAL SHALL BE MADE IN LIFTS NOT TO EXCEED EIGHT INCHES DEPTH COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D 698. LVC SOILS SHALL BE COMPACTED AT A MOISTURE CONTENT OF 0 TO +4% OF OPTIMUM FOR SOILS WITH A LIQUID LIMIT GREATER THAN 40 AND +/- 2% OF OPTIMUM FOR SOILS WITH A LIQUID LIMIT LESS THAN 40. NO ROCK LARGER THAN THREE INCHES IN ANY DIMENSION NOR ANY SHALE SHALL BE PLACED IN THE TOP 24 INCHES OF EMBANKMENT.
5. ON-SITE HIGH PLASTICITY CLAYS MAY BE USED FOR LOW VOLUME CHANGE STRUCTURAL FILL. REFER TO PROJECT GEOTECHNICAL REPORT FOR REQUIREMENTS.
6. AREAS THAT ARE TO BE CUT TO SUBGRADE LEVELS SHALL BE PROOF ROLLED WITH A LOADED DUMP TRUCK OR SIMILAR APPROVED EQUIPMENT. CONSTRUCTION EQUIPMENT TO DETECT UNSUITABLE SOIL CONDITIONS.
7. IN ALL AREAS OF EXCAVATION, IF UNSUITABLE SOIL CONDITIONS ARE ENCOUNTERED, THE OWNER'S ENGINEER SHALL RECOMMEND TO THE OWNER THE METHODS OF UNDERCUTTING AND REPLACEMENT OF PROPERLY COMPACTED, APPROVED FILL MATERIAL. ALL PROOFROLLING AND UNDERCUTTING SHOULD BE PERFORMED DURING A PERIOD OF DRY WEATHER.
8. ALL EXCAVATIONS SHALL BE CONSIDERED AS UNCLASSIFIED. REFER TO PROJECT GEOTECHNICAL REPORT.
9. ALL DISTURBED SLOPES ARE TO BE 3:1 OR FLATTER.
10. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND A MINIMUM OF FOUR INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON-SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SOODED OR SEEDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER PRIOR TO FINAL ACCEPTANCE OF THE PROJECT.
11. ALL SEEDED SLOPES 4:1 AND STEEPER, AREAS WITHIN 10' OF PAVING OR WALKING SURFACES AND OTHER AREAS NOTED ON PLANS SHALL BE PROTECTED BY EROSION CONTROL BLANKETS THAT WILL PREVENT EROSION AND PLACED SUCH THAT THE SURFACE IS FLUSH WITH SURROUNDING GROUND AND SHAPED TO CHANNEL WATER IN DIRECTIONS INDICATED.
12. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS.
13. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
14. IT IS NOT THE DUTY OF THE ENGINEER OR THE OWNER TO REVIEW THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE AT ANY TIME DURING CONSTRUCTION.
15. IF ANY OF THESE NOTES CONFLICT WITH THE PROJECT GEOTECHNICAL REPORT (C2301760) AND ALL ADDENDUMS PREPARED BY KAW VALLEY ENGINEERING, INC., DATED 8/30/2023 RECOMMENDATIONS IN GEOTECHNICAL REPORT SHALL GOVERN.

PROPOSED LEGEND

- CONCRETE CURB AND GUTTER
LIGHT DUTY ASPHALT
HEAVY DUTY ASPHALT
L LANDING
R RAMP
T TRANSITION
PROJECT AREA (APPROXIMATE LIMITS OF DISTURBANCE)
PROPOSED PARKING COUNT
PARKING LOT/ SITE LIGHTING
SEED/SOD

PROPOSED IMPROVEMENTS LEGEND:

- EXISTING GROUND CONTOUR (1' INTERVALS)
PROPOSED FINISHED GROUND CONTOUR (1' INTERVALS)



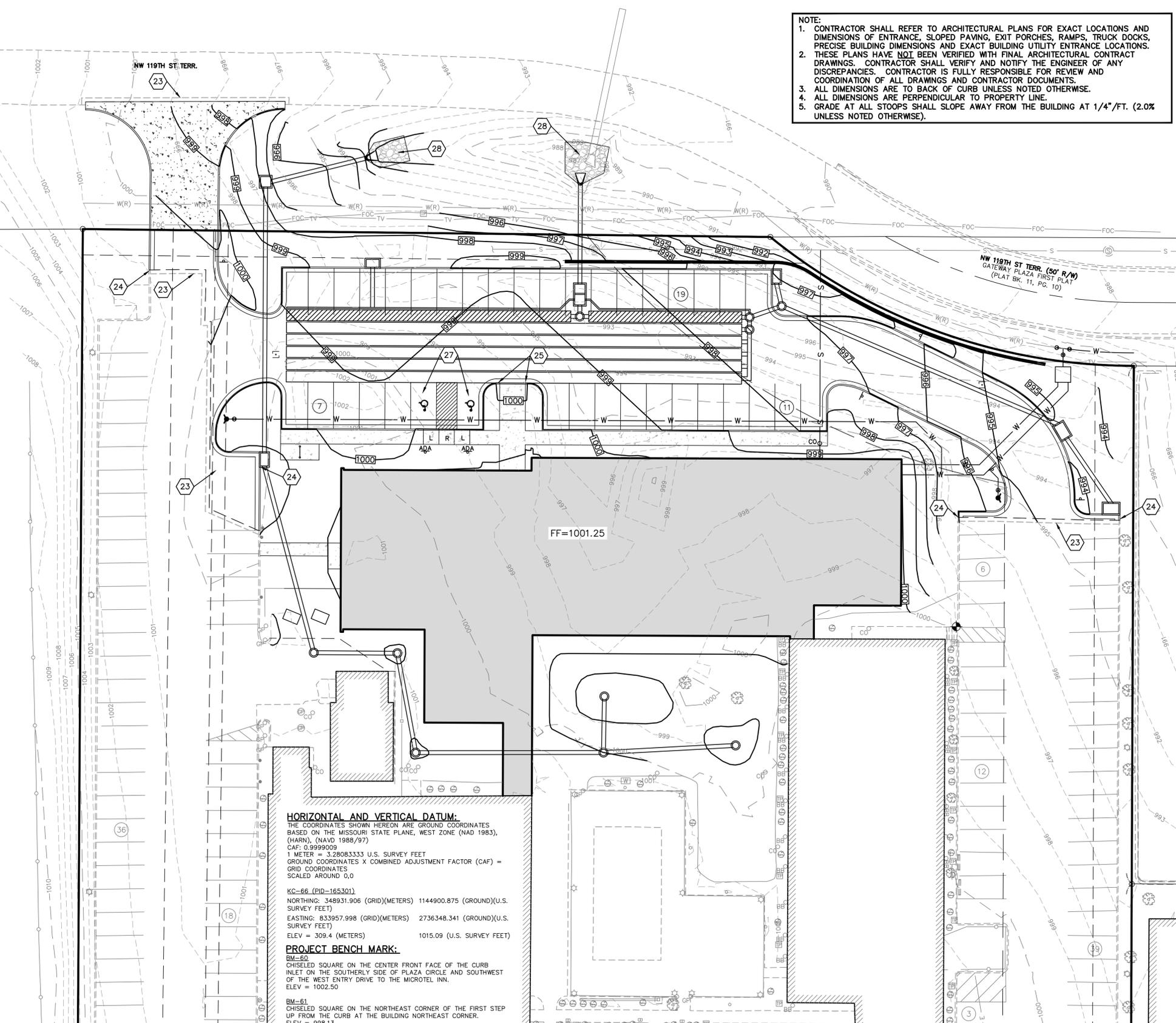
ADA SLOPE REQUIREMENTS FOR AREAS OVERLAID OR REPLACED:

- 1. STALLS SHALL NOT EXCEED 1:50 (2%) IN ALL DIRECTIONS
2. ACCESSIBLE PATH SHALL NOT EXCEED 1:20 (5%) NOR HAVE A CROSS SLOPE IN EXCESS OF 2%
3. CONTRACTOR IS SOLELY RESPONSIBLE TO ADEQUATELY SURVEY THOSE AREAS DURING CONSTRUCTION TO ENSURE COMPLIANCE.

UTILITY STATEMENT:

THE UNDERGROUND UTILITIES SHOWN HEREON ARE FROM FIELD SURVEY INFORMATION OF ONE-CALL LOCATED UTILITIES, FIELD SURVEY INFORMATION OF ABOVE GROUND OBSERVABLE EVIDENCE, AND/OR THE SCALING AND PLOTTING OF EXISTING UTILITY MAPS AND DRAWINGS AVAILABLE TO THE SURVEYOR AT THE TIME OF SURVEY. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. FURTHERMORE, THE SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES BY EXCAVATION UNLESS OTHERWISE NOTED ON THIS SURVEY. MISSOURI ONE CALL TICKET #231732017

NOTE:
1. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRANCE, SLOPED PAVING, EXIT PORCHES, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
2. THESE PLANS HAVE NOT BEEN VERIFIED WITH FINAL ARCHITECTURAL CONTRACT DRAWINGS. CONTRACTOR SHALL VERIFY AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES. CONTRACTOR IS FULLY RESPONSIBLE FOR REVIEW AND COORDINATION OF ALL DRAWINGS AND CONTRACTOR DOCUMENTS.
3. ALL DIMENSIONS ARE TO BACK OF CURB UNLESS NOTED OTHERWISE.
4. ALL DIMENSIONS ARE PERPENDICULAR TO PROPERTY LINE.
5. GRADE AT ALL STOOPS SHALL SLOPE AWAY FROM THE BUILDING AT 1/4"/FT. (2.0% UNLESS NOTED OTHERWISE).



HORIZONTAL AND VERTICAL DATUM:
THE COORDINATES SHOWN HEREON ARE GROUND COORDINATES BASED ON THE MISSOURI STATE PLANE, WEST ZONE (NAD 1983), (HARN), (NAVD 1988/97)
CAF: 0.9999009
1 METER = 3.28083333 U.S. SURVEY FEET
GROUND COORDINATES X COMBINED ADJUSTMENT FACTOR (CAF) = GRID COORDINATES SCALED AROUND 0.0
KC-66 (PID-165301)
NORTHING: 348931.906 (GRID)(METERS) 1144900.875 (GROUND)(U.S. SURVEY FEET)
EASTING: 833957.998 (GRID)(METERS) 2736348.341 (GROUND)(U.S. SURVEY FEET)
ELEV = 309.4 (METERS) 1015.09 (U.S. SURVEY FEET)

PROJECT BENCH MARK:
BM-60
CHISELED SQUARE ON THE CENTER FRONT FACE OF THE CURB INLET ON THE SOUTHERLY SIDE OF PLAZA CIRCLE AND SOUTHWEST OF THE WEST ENTRY DRIVE TO THE MICROTEL INN.
ELEV = 1002.50
BM-61
CHISELED SQUARE ON THE NORTHEAST CORNER OF THE FIRST STEP UP FROM THE CURB AT THE BUILDING NORTHEAST CORNER.
ELEV = 998.13

WARRANTY / DISCLAIMER
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CAUTION - NOTICE TO CONTRACTOR
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. THE CONTRACTOR SHALL EXPOSE EXISTING UTILITIES AT LOCATIONS OF POSSIBLE CONFLICTS PRIOR TO ANY CONSTRUCTION.
SAFETY NOTICE TO CONTRACTOR
IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

PROJECT CONTROL:
CP #200
1/2"x24" REBAR W/ CONTROL POINT CAP BETWEEN WALK AND CURB ON THE SOUTHERLY SIDE OF PLAZA CIRCLE AND SOUTHWEST OF THE MICROTEL INN WEST ENTRY DRIVE.
NORTHING: 1144271.968 (GROUND)
EASTING: 2737016.275 (GROUND)
ELEV = 1002.20
CP #201
1/2"x24" REBAR W/ CONTROL POINT CAP ON THE TOP OF THE SLOPE AT THE SOUTH FACE OF THE BUILDING EXTENDED WEST.
NORTHING: 1144547.832 (GROUND)
EASTING: 2736806.936 (GROUND)
ELEV = 1009.98
CP #202
1/2"x24" REBAR W/ CONTROL POINT CAP IN THE GRASS AT THE NORTHEAST CORNER ON THE WEST PARKING AREA.
NORTHING: 1144864.678 (GROUND)
EASTING: 2736892.097 (GROUND)
ELEV = 999.57

CP #203
1/2"x24" REBAR W/ CONTROL POINT CAP ON THE TOP OF THE GRASS DRAINAGE SWALE NORTH OF THE TRASH ENCLOSURE AND THE EAST PARKING AREA.
NORTHING: 1144443.432 (GROUND)
EASTING: 2737166.669 (GROUND)
ELEV = 994.94
CP #204
1/2"x24" REBAR W/ CONTROL POINT CAP EAST OF THE SITE EAST ENTRY DRIVE AND SOUTH OF THE EAST SIDE OF THE EAST PARKING AREA.
NORTHING: 1144443.432 (GROUND)
EASTING: 2737202.226 (GROUND)
ELEV = 998.30

NW 119TH ST TERR.

END OF PIPE #KVE-2854
30" Ø CONCRETE
E=985.64 (30" RCP)

SANITARY MANHOLE #KVE-2331
4" Ø BRICK
RIM=996.62
E IN(W)=984.92 (8" VCP)
E OUT(E)=984.77 (8" VCP)

SANITARY MANHOLE #KVE-2859
4" Ø BRICK
RIM=987.64
E IN(W)=981.54 (8" VCP)
E OUT(E)=981.39 (8" VCP)
NOTES: NEEDS CASTING RING, REST AND NEW LID. CAN NOT OBTAIN INFLUENT E ELEVATION SHOWN IN APPROXIMATE.

NW 119TH ST TERR. (50' R/W)
GATEWAY PLAZA FIRST PLAT
(PLAT BK. 11, PG. 10)

WATER LINE CONSTRUCTION NOTES: (DOMESTIC AND FIRE)

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE KC WATER STANDARDS AND SPECIFICATIONS FOR WATER MAIN EXTENSIONS AND RELOCATIONS, LATEST EDITION, AND THE KC WATER RULES AND REGULATIONS FOR WATER SERVICE LINES, LATEST EDITION, AND THEIR APPLICABLE SUPPLEMENTS.
2. CONTRACTOR SHALL NOT OPEN, TURN OFF, INTERFERE WITH, OR ATTACH ANY PIPE OR HOSE TO OR TAP ANY WATER MAIN BELONGING TO CITY OF KANSAS CITY WATER SERVICES DEPARTMENT UNLESS DULY AUTHORIZED TO DO SO BY THE CITY. ANY ADVERSE CONSEQUENCE OF ANY SCHEDULED OR UNSCHEDULED DISRUPTIONS OF SERVICE TO THE PUBLIC ARE TO BE THE LIABILITY OF THE CONTRACTOR. KAW VALLEY ENGINEERING AND OWNER ARE TO BE HELD HARMLESS. CONTRACTOR SHALL PROVIDE A MINIMUM OF 72 HOURS NOTICE TO THE CITY OF KANSAS CITY WATER SERVICES DEPARTMENT PRIOR TO STARTING ANY WORK.
3. THE UTILITIES AS SHOWN ON THESE DRAWINGS WERE DEVELOPED FROM THE BEST INFORMATION AVAILABLE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF ALL UTILITIES (WHETHER SHOWN OR NOT) AND PROTECT SAID UTILITIES FROM ANY DAMAGE. CONTRACTOR SHALL POTHOLE AND EXPOSE ALL UTILITIES AT LEAST 500 FEET IN ADVANCE OF WATER MAIN CONSTRUCTION, DETERMINING THE DEPTH, SIZE, AND MATERIAL OF THE UTILITIES IN PROXIMITY TO THE PROPOSED WATER MAIN ALIGNMENT. DEFLECT PIPE TO MAINTAIN MINIMUM 5 FEET HORIZONTAL AND 18 INCH VERTICAL CLEARANCES BETWEEN PROPOSED WATER MAIN AND EXISTING UTILITIES. SEPARATION WITH SANITARY LINES REQUIRES 24 INCH VERTICAL CLEARANCE. SEE CONST. NOTE 8.
4. THE CONTRACTOR SHALL FURNISH AND INSTALL, AT NO EXTRA COST, ALL FITTINGS AND RESTRAINING DEVICES REQUIRED TO PROVIDE PROPER HORIZONTAL AND VERTICAL ALIGNMENT FOR THE NEW WATER SERVICE, CONNECTING TO EXISTING WATER MAIN, AND INSTALLATION OF FIRE HYDRANTS AT THE PROPOSED LOCATION AND ELEVATION, WHETHER OR NOT THE FITTINGS ARE CALLED OUT ON THESE PLANS. REFERENCE KC WATER STANDARDS RULES AND REGULATIONS SECTIONS 3, 4, 5, AND 6, AND KC WATER STANDARDS AND SPECIFICATION FOR WATER MAIN EXTENSIONS AND RELOCATIONS SECTIONS 02168, 02641, 02645, 02669.
5. THE CONTRACTOR SHALL FURNISH AND INSTALL, AT NO EXTRA COST, ALL TEMPORARY BLOW-OFF ASSEMBLIES, FITTINGS, AND RESTRAINING DEVICES NECESSARY FOR PRESSURE TESTING, CHLORINATING, DE-CHLORINATING, AND FLUSHING THE NEW WATER MAINS AND SERVICE LINES. THE CONTRACTOR SHALL REMOVE ANY CORPORATION COCKS USED FOR TESTING OR CHLORINATION AND REPLACE THEM WITH TAPERED BRASS PLUGS PRIOR TO PLACING NEW MAINS IN SERVICE. REFERENCE KC WATER MAIN EXTENSIONS AND RELOCATIONS SECTION 02675.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING REQUIRED PERMITS, PAYING ALL FEES AND FOR OTHERWISE COMPLYING WITH ALL APPLICABLE REGULATIONS GOVERNING THE WORK.
7. ALL DISTURBED AREAS SHALL BE LANDSCAPED, SEEDED OR SOODED PER PLANS.
8. WHEN WATER MAINS AND SANITARY SEWERS CROSS, A MINIMUM OF 24 INCHES OF CLEARANCE SHALL BE MAINTAINED BETWEEN THE BOTTOM OF THE WATER MAIN AND THE TOP OF SANITARY SEWER. WHEN 24 INCHES OF CLEARANCE CANNOT BE MAINTAINED OR WHEN A WATER MAIN MUST CROSS UNDER A SANITARY SEWER, THE SANITARY SEWER SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE, PVC PRESSURE PIPE OR PRE-STRESSED CONCRETE CYLINDER PIPE OR A DISTANCE OF 10.0 FEET ON EACH SIDE OF THE CROSSING. WHEN A WATER MAIN IS CONSTRUCTED PARALLEL TO A SANITARY SEWER, THE HORIZONTAL SEPARATION SHALL BE 10.0 FEET. IF A VERTICAL SEPARATION OF 24 INCHES CANNOT BE MAINTAINED AND IF THE WATER MAIN IS CONSTRUCTED CLOSER THAN 10.0 FEET TO THE SANITARY SEWER, THE SANITARY SEWER SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE OR PRE-STRESSED CONCRETE CYLINDER PIPE, AND SHALL BE PRESSURE TESTED FOR WATER TIGHTNESS. REFERENCE KC WATER STANDARDS AND SPECIFICATIONS FOR WATER MAIN EXTENSIONS AND RELOCATIONS SECTION 01016.
9. CONTRACTOR SHALL FIELD CHECK ALL DIMENSIONS, COORDINATES AND ELEVATIONS BEFORE PROCEEDING WITH NEW WORK AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES IMMEDIATELY. NO NEW CONSTRUCTION SHOULD BE PERFORMED BY "SCALING" FROM THE PLANS. ALL EXCAVATION AND BACKFILL SHALL MEET OR EXCEED THE KC WATER STANDARDS AND SPECIFICATIONS FOR WATER MAIN EXTENSIONS AND RELOCATIONS SECTION 02200. ALL TRENCHES SHALL BE BACKFILLED IN UNIFORM LIFTS NOT TO EXCEED 8 INCHES IN LOOSE MEASUREMENT. EACH LIFT SHALL BE COMPACTED TO DENSITY PRIOR TO THE NEXT LIFT BEING PLACED. THE BACKFILL MATERIAL SHALL BE COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY WITH A MOISTURE CONTENT OF WITHIN A RANGE OF OPTIMUM TO BE 4 PERCENT ABOVE OPTIMUM MOISTURE CONTENT AS DEFINED BY THE STANDARD PROCTOR (ASTM-D698) UNDER AREAS TO BE PAVED. THE BACKFILL MATERIAL SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY AT OPTIMUM MOISTURE, PLUS 4%, IN AREAS NOT TO BE DEVELOPED. COMPACTION TESTS SHALL BE TAKEN AT EACH PAVEMENT CROSSING AND AT LOCATIONS DESIGNATED BY THE ENGINEER. ALL TRENCH BACKFILL WHICH DOES NOT MEET THE REQUIRED DENSITY, SHALL BE RE-EXCAVATED AND RE-COMPACTED UNTIL THE REQUIRED DENSITY IS OBTAINED. COPIES OF ALL COMPACTION TEST REPORTS SHALL BE PROVIDED TO THE ENGINEER.
10. NO ROCK LARGER THAN 3 INCHES MAXIMUM DIMENSION SHALL BE PLACED WITHIN TWO FEET OF THE TOP OF THE PIPE. NO ROCK GREATER THAN ONE FOOT SHALL BE PLACED IN ANY EXCAVATION AT A BACKFILL.
11. LOCATIONS SHOWN FOR PROPOSED WATER LINES ARE APPROXIMATE. VARIATIONS MAY BE MADE, WITH APPROVAL OF THE ENGINEER TO AVOID CONFLICTS.
12. PUBLIC MAIN WILL BE RESPONSIBILITY OF THE CONTRACTOR. WORK WILL BE COORDINATED WITH THE CITY.
13. ALL PIPE 3" AND LARGER SHALL BE POLYETHYLENE ENCASED CLASS 52 DUCTILE IRON PIPE. ALL WATER MAIN MATERIALS ARE TO BE RESTRAINED AT ALL JOINTS, VALVES, HYDRANTS, COUPLINGS AND FITTINGS. REFERENCE KC WATER STANDARDS AND SPECIFICATIONS FOR WATER MAIN EXTENSIONS AND RELOCATIONS SECTION 02618.
14. HYDRANTS SHALL BE CURRENT KANSAS CITY, MO, PATTERNS MANUFACTURED ESPECIALLY FOR KC WATER. ALL HYDRANTS SHALL BE DESIGNED AND MANUFACTURED IN STRICT COMPLIANCE WITH AWWA C-502 ENTITLED "A.W.W.A. STANDARD FOR DRY-BARREL FIRE HYDRANTS" UNLESS OTHERWISE SPECIFIED. ALL HYDRANTS AND RELATED VALVES/ASSEMBLIES AND INSTALLATION SHALL COMPLY WITH KC WATER STANDARDS AND SPECIFICATIONS FOR WATER MAIN EXTENSIONS AND RELOCATIONS SECTION 02641.
15. WATER SERVICE LINES SHALL HAVE A MINIMUM COVER OF 4 FEET AND A MAXIMUM COVER OF 5 FEET. DEEPER EXCAVATIONS FOR CLEARANCE AT EXISTING PROPOSED UTILITIES IS ACCEPTABLE. REFERENCE CONST. NOTES 3 AND 8 AND KC WATER RULES AND REGULATIONS WATER SERVICE LINES SECTION 3.03E. FOR WATER MAINS CONSTRUCTED UNDER DRIVES OR PARKING AREAS THE DRIVES OR PARKING AREAS ARE TO BE SUBGRADE PRIOR TO WATER MAIN CONSTRUCTION. WATER MAINS 16-INCH AND LARGER SHALL BE INSTALLED WITH 60" MINIMUM GROUND COVER BELOW FINISH GRADE.
16. THE CONTRACTOR SHALL DISINFECT, FLUSH AND TEST LINES AS REQUIRED BY APWA AND KC WATER SPECIFICATIONS, LATEST EDITIONS, WHICHEVER IS STRICTER.
17. WHERE FIRE HYDRANTS ARE NOT LOCATED AT THE END OF LINES, THE CONTRACTOR SHALL FURNISH A FLUSHING DEVICE.
18. ALL FIRE HYDRANT BRANCHES SHALL BE RESTRAINED USING APPROVED RESTRAINING DEVICES. HYDRANTS SHALL BE INSTALLED SO THAT THE CENTERLINE OF THE OUTLET NOZZLE IS BETWEEN EIGHTEEN AND TWENTY-ONE INCHES ABOVE FINISHED GRADE, AND SO THAT THERE IS A MINIMUM CLEAR AREA OF 5' IN EACH DIRECTION TO ALLOW OPERATION OF THE HYDRANT. ALL FIRE HYDRANTS ARE TO BE SET WITH THE BASE 1" ABOVE THE TOP OF CURB OR GRADE.
19. ALL TREES SHALL BE SPARED UNLESS MARKED. REFERENCE PROJECT LAND DISTURBANCE PLANS.
20. ALL THRUST BLOCKS SHALL BE PROVIDED AT TEES, BENDS, AND HYDRANT ASSEMBLIES. REFERENCE KC WATER STANDARDS AND SPECIFICATIONS FOR WATER MAINS AND RELOCATIONS SECTION 02669.
21. CONSTRUCTION INSPECTION WILL BE PROVIDED BY OWNER.
22. LINE IS TO BE AS-BUILT. CONTRACTOR IS RESPONSIBLE TO PREPARE AS-BUILTS AND SUBMIT TO OWNER. ALL BENDS, TEES, VALVES AND LINE 25' INTERVALS SHALL BE FLAGGED AND MARKED WITH DEPTH TO TOP OF PIPE BY CONTRACTOR UPON COMPLETION OF BACKFILL AND MAINTAINED UNTIL LINE IS SURVEYED.
23. SERVICE LINES SHALL HAVE A COVER OF NOT LESS THAN FOUR (4) FEET OR MORE THAN FIVE (5) FEET, UNLESS OBSTRUCTIONS REQUIRE DEEPER EXCAVATION FOR CLEARANCE THAT IS APPROVED BY KC WATER.

SANITARY SEWER MATERIALS AND CONSTRUCTION NOTES:

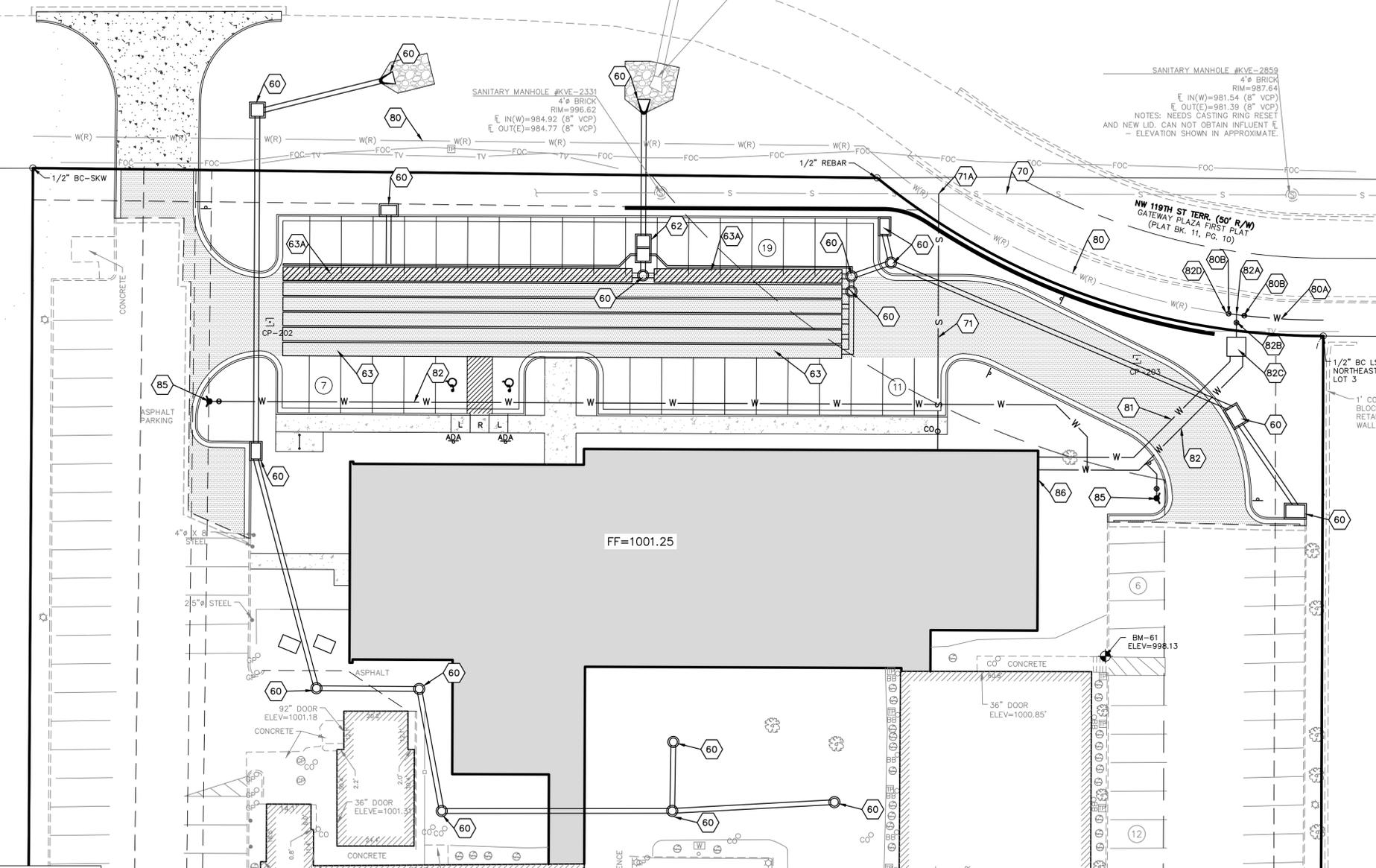
1. ALL WORK RELATED TO SANITARY SEWER SHALL BE COMPLETED IN ACCORDANCE WITH SECTION 2500, SANITARY SEWERS, OF THE KANSAS CITY METROPOLITAN CHAPTER OF APWA SPECIFICATIONS AS ADOPTED AND AMENDED BY THE CITY OF KANSAS CITY.
2. ALL PIPE USED FOR SANITARY SEWER SHALL BE DIP (CL 52) OR PVC (SDR 26) AS NOTED ON PLANS. MATERIAL SHALL CONFORM TO SECTION 2503 D & F RESPECTIVELY. PROVIDE TRACER WIRE ON NON-FERROUS PIPES.
3. ALL EXISTING UTILITIES INDICATED ON THE DRAWINGS ARE ACCORDING TO THE BEST INFORMATION AVAILABLE TO THE ENGINEER. HOWEVER, ALL UTILITIES ACTUALLY EXISTING MAY NOT BE SHOWN. UTILITIES DAMAGED THROUGH THE NEGLIGENCE OF THE CONTRACTOR TO OBTAIN THE LOCATION OF SAME SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT HIS EXPENSE.
4. ALL INSTALLATION SHALL BE COMPLETED IN ACCORDANCE WITH SECTION 2506. REFER TO SECTION 2509 FOR TESTING AND ACCEPTANCE REQUIREMENTS.
5. EXCAVATION, TRENCHING AND BACKFILL SHALL BE COMPLETED IN ACCORDANCE WITH SECTIONS 2505 & 2507. ALL EXCAVATIONS SHALL BE CONSIDERED UNCLASSIFIED. REFER TO PROJECT GEOTECHNICAL REPORT.
6. ALL BACKFILL SHALL BE COMPACTED. BACKFILL WITHIN THE RIGHT-OF-WAY AND UNDER PARKING AREAS AND SLABS SHALL BE 95% COMPACTION OF OPTIMUM MOISTURE. REFERENCE SECTION 2507.3 OF THE KANSAS CITY METROPOLITAN CHAPTER OF APWA SPECIFICATIONS AS ADOPTED AND AMENDED BY THE CITY OF KANSAS CITY.
7. ALL STUB LINES SHALL BE LAID ON 1.00% GRADE FOR 6" PIPE AND 2.00% GRADE FOR 4" PIPE, UNLESS NOTED OTHERWISE. TRACER WIRE SHALL BE INSTALLED ALONG THE TOP OF SERVICE LINES. THE WIRE SHALL HAVE HOPE INSULATION, BE NO SMALLER THAN 12 GAUGE, AND INTENDED FOR UNDERGROUND APPLICATIONS. THE TRACER WIRE SHALL BE GREEN IN COLOR. TRACER WIRES SHALL TERMINATE AT THE GROUND SURFACE INSIDE A TRACER BOX. TRACER BOX LIDS SHALL BE GREEN IN COLOR. TRACER WIRE SHALL BE GROUNDED TO A MINIMUM ONE POUND MAGNESIUM ANODE AT THE SEWER LINE.

UTILITY NOTES:

1. EXCAVATION, TRENCHING AND BACKFILL SHALL BE COMPLETED IN ACCORDANCE WITH SECTION 2100 CLEARING AND SITE PREPARATION OF THE KANSAS CITY METROPOLITAN CHAPTER OF APWA SPECIFICATIONS AS ADOPTED AND AMENDED BY THE CITY OF KANSAS CITY.
2. ALL BACKFILL SHALL BE TAMPED. BACKFILL WITHIN THE RIGHT-OF-WAY AND UNDER PARKING AREAS AND SLABS SHALL BE 95% COMPACTION OF OPTIMUM MOISTURE.
3. CONTRACTOR SHALL NOT OPEN, TURN OFF, INTERFERE WITH, OR ATTACH ANY PIPE OR HOSE TO OR TAP ANY WATER MAIN BELONGING TO THE KCMO WSD UNLESS DULY AUTHORIZED TO DO SO. ANY ADVERSE CONSEQUENCE OF ANY SCHEDULED OR UNSCHEDULED DISRUPTIONS OF SERVICE TO THE PUBLIC ARE TO BE THE LIABILITY OF THE CONTRACTOR. KAW VALLEY ENGINEERING AND OWNER ARE TO BE HELD HARMLESS. CONTRACTOR SHALL NOTIFY THE KCMO WSD 48 HOURS MINIMUM.
4. CONTRACTOR TO INSTALL TRACING WIRE ALONG ALL NON-METALLIC SERVICE LINES PER SPECIFICATIONS.
5. CONTRACTOR SHALL EXPOSE EXISTING UTILITIES AT LOCATIONS OF POSSIBLE CONFLICT AND POINTS OF CONNECTION PRIOR TO ANY CONSTRUCTION OF NEW UTILITIES.
6. A MINIMUM HORIZONTAL DISTANCE SHALL BE MAINTAINED BETWEEN PARALLEL WATER AND SANITARY SEWER LINES. REFERENCE APWA SPECIFICATIONS AND KCMO WSD STANDARDS AND SPECIFICATIONS.
7. CONTRACTOR TO SCHEDULE ALL INSPECTIONS FOR SEWER MAIN CONNECTIONS THROUGH THE PUBLIC WORKS DEPARTMENT.
8. CONTRACTOR TO RELOCATE ELECTRICAL FEED AND CONDUIT SITE LIGHTING PROVIDE HANDHOLES AT SPLICE POINTS IF NEEDED.
9. WHERE SERVICE LINES MUST CROSS OVER SEWERS, STORM DRAINS, WATER, OR GAS LINES, THE SERVICE LINE MUST BE LAID AT SUCH AN ELEVATION THAT THE BOTTOM OF THE SERVICE LINE IS AT LEAST EIGHTEEN (18) INCHES ABOVE THE TOP OF THE SEWER OR OTHER PIPE. THIS VERTICAL SEPARATION MUST BE MAINTAINED FOR THAT PORTION OF THE SERVICE LINE WITHIN TEN FEET HORIZONTALLY OF ANY SEWER LINE THAT IT CROSSES SAID TEN FEET TO BE MEASURED AS THE CLEARANCE FROM THE SERVICE LINE TO THE SEWER.

STORM SEWER NOTES:

1. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH SECTION 2600 STORM SEWER OF THE KANSAS CITY METRO CHAPTER OF APWA SPECIFICATIONS. REFERENCE APWA SPECIFICATION SECTION 2602.3 A & C FOR EXCAVATION, TRENCHING AND BACKFILLING FOR PIPE AND STORM STRUCTURES.
2. PIPE FOR SEWER CONSTRUCTION SHALL CONFORM TO SECTION 2602 UNLESS NOTED OTHERWISE.
3. A MINIMUM OF 18" COVER SHALL BE PROVIDED PRIOR TO AND MAINTAINED AFTER INSTALLATION OF STORM SEWER.
4. ALL COORDINATES FOR CURB INLETS ARE TO THE MIDDLE OF THE INSIDE FRONT FACE. ALL COORDINATES FOR PVC STRUCTURES AND CONCRETE YARD INLETS ARE TO THE CENTER OF THE STRUCTURE.
5. ALL JUNCTION BOXES/AREA INLETS HAVE ONE COORDINATE PROVIDED AT THE CENTER OF STRUCTURE. SEE PLAN FOR CLARIFICATION. ORIENT STRUCTURES PARALLEL TO ADJACENT CURB, BUILDING OR WALL FACE, UNLESS NOTED OTHERWISE.
6. RIM ELEVATION IS PROVIDED AT COORDINATE, UNLESS NOTED OTHERWISE. CONTRACTOR TO ADJUST ELEVATION OF RIM AS REQUIRED TO MATCH SLOPE OF ADJACENT CURB. REFER TO GRADING PLAN SHEET C300.
7. ALL EXISTING UTILITIES INDICATED ON THE DRAWING ARE ACCORDING TO THE BEST INFORMATION AVAILABLE TO THE ENGINEER; HOWEVER, ALL UTILITIES ACTUALLY EXISTING MAY NOT BE SHOWN. UTILITIES DAMAGED THROUGH THE NEGLIGENCE OF THE CONTRACTOR TO OBTAIN THE LOCATION OF SAME SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THEIR EXPENSE.
8. AT BACKFILL SHALL BE COMPACTED TO 95 PERCENT STANDARD DENSITY AT OPTIMUM MOISTURE.
9. ALL EXCAVATION BENEATH THE STREETS AND PARKING LOTS FOR DRAINAGE PIPE LESS THAN 4'-0" IN DIAMETER SHALL BE BACKFILLED WITH AGGREGATE TO FOUR FEET (4') PAST BAG OF CURB IN ACCORDANCE WITH APWA SPECIFICATIONS SECTION 2602.3.C.2.
10. RELOCATION OF ANY WATER LINE, SEWER LINE OR SERVICE LINE THEREOF REQUIRED FOR THE CONSTRUCTION OF THIS PROJECT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE AT THEIR EXPENSE.
11. IF PRECAST STORM STRUCTURES ARE TO BE USED ON THIS PROJECT, THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND HAVE THEM APPROVED BY THE ENGINEER PRIOR TO FABRICATION OF THE STRUCTURES. FAILURE TO DO SO SHALL CAUSE FOR REJECTION.
12. ALL HDPE PIPE JOINTS SHALL BE WATER TIGHT.



- NOTES:**
- 60 PRIVATE STORM SEWER
 - 62 4"x8" CONCRETE OUTLET STRUCTURE WITH WEIR WALL AND 1.5" ORIFICE
 - 63 STORMTECH SC 740 CHAMBERS X 148
 - 63A STORMTECH SC 740 CHAMBERS "ISOLATOR ROW"
 - 70 EXISTING 8" PVC PUBLIC SANITARY SEWER MAIN AND APPURTENANCES.
 - 70A PRIVATE 4" PVC SDR-26 SANITARY SEWER SERVICE. SLOPE @ 2.0% EXCEPT AS NOTED.
 - 71 6" PVC SDR-26 SANITARY SEWER SERVICE
 - 71A CONNECT TO EXISTING SANITARY SEWER MAIN - 8"x6" PVC STRAP ON SADDLE WITH NEOPRENE GASKET.
 - 71B SANITARY SEWER CLEANOUTS
 - 6" SANITARY SEWER SERVICE SAMPLING PORT. INSTALL STRAIGHT TEE.
 - 80 EXISTING 6" DIP WATER MAIN
 - 80A PROPOSED 12" DIP PUBLIC WATER MAIN TO EXTEND TO EXISTING 12" PUBLIC WATER MAIN AT N AMBASSADOR DRIVE.
 - 80B 12" GATE VALVE
 - 81 4" PVC AWWA C900
 - 81A 6"x4" TAPPING SLEEVE
 - 82 6" DIP FIRE DERVICE - AWWA C150/C151
 - 82A 6"x6" TEE
 - 82B 6" GATE VALVE
 - 82C 6" FULL FLOW FIRE METER AND BACKFLOW PREVENTER
 - 82D 12"x6" REDUCER
 - 85 PRIVATE FIRE HYDRANT
 - 86 WALL MOUNTED FDC

UTILITY STATEMENT:
THE UNDERGROUND UTILITIES SHOWN HEREON ARE FROM FIELD SURVEY INFORMATION OF ONE-CALL LOCATED UTILITIES, FIELD SURVEY INFORMATION OF ABOVE GROUND OBSERVABLE EVIDENCE, AND/OR THE SCALING AND PLOTTING OF EXISTING UTILITY MAPS AND DRAWINGS AVAILABLE TO THE SURVEYOR AT THE TIME OF SURVEY. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. FURTHERMORE, THE SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES BY EXCAVATION UNLESS OTHERWISE NOTED ON THIS SURVEY.
MISSOURI ONE CALL TICKET #231732017

WARRANTY / DISCLAIMER
THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER KAW VALLEY ENGINEERING, INC NOR ITS PERSONNEL, CAN OR DO WARRANTY THESE DESIGNS OR PLANS AS CONSTRUCTED, EXCEPT IN THE SPECIFIC CASES WHERE KAW VALLEY ENGINEERING PERSONNEL INSPECT AND CONTROL THE PHYSICAL CONSTRUCTION ON A CONTEMPORARY BASIS AT THE SITE.

CAUTION - NOTICE TO CONTRACTOR
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
THE CONTRACTOR SHALL EXPOSE EXISTING UTILITIES AT LOCATIONS OF POSSIBLE CONFLICTS PRIOR TO ANY CONSTRUCTION.

SAFETY NOTICE TO CONTRACTOR
IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

PROPOSED LEGEND

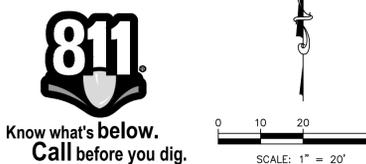
- CONCRETE CURB AND GUTTER
- LIGHT DUTY ASPHALT
- HEAVY DUTY ASPHALT
- L LANDING
- R RAMP
- T TRANSITION
- PROJECT AREA (APPROXIMATE LIMITS OF DISTURBANCE)
- PROPOSED PARKING COUNT
- UNDERGROUND GAS
- GAS METER
- GAS LINE RISER
- WATER LINE
- WATER METER
- WATER LINE GATE VALVE
- FIRE HYDRANT
- SPRINKLER CONTROL BOX
- WATER MANHOLE
- WATER SPIGOT
- UNDERGROUND FIBER OPTIC CABLE
- UNDERGROUND TELEVISION
- CABLE TV PEDESTAL
- TELEPHONE PEDESTAL OWNER UNKNOWN UNLESS STATED
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEAN OUT
- SANITARY SEWER LINE
- VCP VITRIFIED CLAY PIPE
- PVC POLYVINYL CHLORIDE PIPE
- HDPE HIGH DENSITY POLYETHYLENE

LEGEND:

- MONUMENT FOUND ORIGIN UNKNOWN UNLESS OTHERWISE NOTED
- BENCHMARK
- CONTROL POINT
- UNDERGROUND ELECTRIC
- LIGHT POLE NO VISIBLE # UNLESS STATED
- ELECTRIC METER
- BREAKER BOX
- UNDERGROUND GAS
- GAS METER
- GAS LINE RISER
- WATER LINE
- WATER METER
- WATER LINE GATE VALVE
- FIRE HYDRANT
- SPRINKLER CONTROL BOX
- WATER MANHOLE
- WATER SPIGOT
- UNDERGROUND FIBER OPTIC CABLE
- UNDERGROUND TELEVISION
- CABLE TV PEDESTAL
- TELEPHONE PEDESTAL OWNER UNKNOWN UNLESS STATED
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEAN OUT
- SANITARY SEWER LINE
- VCP VITRIFIED CLAY PIPE
- PVC POLYVINYL CHLORIDE PIPE
- HDPE HIGH DENSITY POLYETHYLENE
- RCP REINFORCED CONCRETE PIPE
- STORM SEWER MANHOLE
- PARKING STALL COUNT
- HANDICAP SIGN
- HANDICAP SYMBOL
- STREET/TRAFFIC SIGN
- EXISTING GRADE 5' CONTOUR
- EXISTING GRADE 1' CONTOUR
- DECIDUOUS TREE
- CONIFEROUS TREE
- BUSH
- BOLLARD
- STUMP
- TREE LINE
- AIR CONDITIONER UNIT
- CHAIN LINK FENCE
- WOOD FENCE
- GATE POST
- WHEEL STOP
- T/E TRASH ENCLOSURE
- A/E ACCESS EASEMENT
- EL/E ELECTRIC EASEMENT
- B/B BACK TO BACK OF CURB MEASUREMENT
- G/G GREASE PIT MANHOLE
- E/E EDGE TO EDGE OF ASPHALT
- D/D ELECTRIC OUTLET
- DEED VALVE
- (M) MEASURED VALUE
- (P) PLAT VALVE

NOTE:
1. REFER TO E AND AS SERIES SHEETS FOR ADDITIONAL SITE ELECTRICAL AND TELECOM REQUIREMENTS FOR SITE ELECTRICAL, LIGHTING AND SIGNAGE.
2. REFER TO LANDSCAPE AND MECHANICAL PLAN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS RELATED TO IRRIGATION.
3. ALL WATER SERVICE INSTALLATIONS INCLUDING BACKFLOW DEVICES ARE SUBJECT TO FIELD VERIFICATION AND APPROVAL BY THE WATER DEPARTMENT INSPECTOR.

NOTE:
1. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF THING, SLOPED PARKING, PORCHES, RAMP, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
2. THESE PLANS HAVE NOT BEEN VERIFIED WITH FINAL ARCHITECTURAL CONTRACT DOCUMENTS. CONTRACTOR SHALL VERIFY AND REPORT TO THE ENGINEER OF ANY DISCREPANCIES. CONTRACTOR IS FULLY RESPONSIBLE FOR REVIEW AND COORDINATION OF ALL DRAWINGS AND CONTRACTOR DOCUMENTS.



PROJ. NO. C23.1760 DS: KGW
CFN: 1760UP.DWG DWN: JGN

CHRISTIAN J. CROWDER
ENGINEER
NO # 2015000538

14700 WEST 114TH TERRACE
LENEXA, KANSAS 66215
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KAW VALLEY ENGINEERING

KAW VALLEY ENGINEERING, INC. IS AUTHORIZED TO OFFER ENGINEERING SERVICES BY MISSOURI STATE CERTIFICATE OF AUTHORITY # 000842. EXPIRES 12/31/23

Client:



Project Title / Address:

KCI New Tower and Hotel Refresh

**11832 NW Plaza Cir
Kansas City MO 64153**

Architect:



Bell / Knott & Associates
CORPORATE ARCHITECTS, P.C.
12730 State Line Road Voice: 913.378.1600
Suite 100 Fax: 913.378.1601
Leawood, KS 66209 www.bellknott.com

Structural Consultant:

MEP Consultant:

Seal:



Revisions:

1	CITY REVIEW RESPONSE	10/13/23
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Issue Date: 09/18/23

Reason for Issue: Initial Submittal

Project Number: 22-056

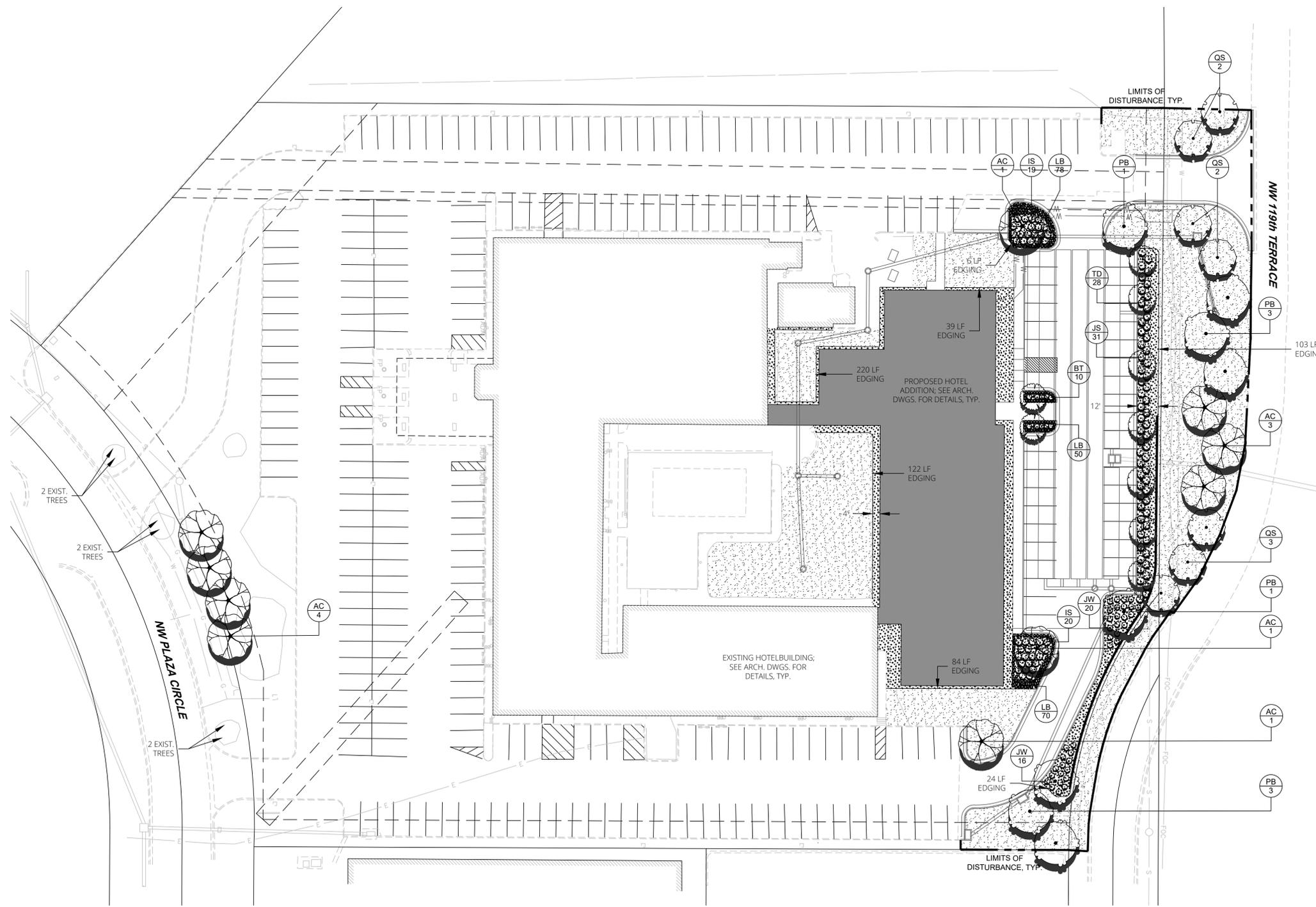
Project Phase: DD

Sheet Title:

UTILITY PLAN

Pkg: Sheet Number:

C500



LANDSCAPE REQUIREMENTS

88-425 - LANDSCAPE REQUIREMENTS	Required	Proposed	Alternative Requested?	Approved
88-425-03 Street Trees	25	25		
88-425-04 General	11	52		
88-425-05 Perimeter Vehicular Use Area Adjacent to Streets				
Buffer Width	10	12		
Trees	7	7		
Shrubs/Wall/Berm	N/A	59		
Adjacent to Residential Zones				
Buffer Width	N/A	N/A		
Shrubs/Berry/Fence/Wall	N/A	N/A		
88-425-06 Interior Vehicular Use Area				
Interior Area	1,295 SF	3,700 SF		
Trees	8	8		
Shrubs	37	69		
88-425-07 Parking Garage Screening	Describe			
88-425-08 Mechanical/Utility Equipment Screening	Describe			
88-425-09 Outdoor Use Screening	Describe			

1 LANDSCAPE PLAN
SCALE = 1" = 30'

LANDSCAPE SCHEDULE

DECIDUOUS TREES	CODE	QTY	COMMON / BOTANICAL NAME	CONT	CAL	SHRUBS	CODE	QTY	COMMON / BOTANICAL NAME	CONT	GROUND COVERS	CODE	QTY	COMMON / BOTANICAL NAME	CONT
	AC	10	CADDO SUGAR MAPLE / ACER SACCHARUM 'CADDO'	B & B	2"CAL		BT	10	SUNJOY TANGELO BARBERRY / BERBERIS THUNBERGII 'SUNJOY TANGELO'	#3		DG	6,721 SF	DECORATIVE GRAVEL / 1" - 3" MISSOURI RAINBOW	ROCK
	PB	8	BLOODGOOD LONDON PLANE TREE / PLATANUS X ACERIFOLIA 'BLOODGOOD'	B & B	2"CAL		IS	39	SHAMROCK INKBERRY HOLLY / ILEX GLABRA 'SHAMROCK'	#3		TS	25,668 SF	TURF SOD / DROUGHT TOLERANT FESCUE BLEND	SOD
	QS	7	SHUMARD OAK / QUERCUS SHUMARDII	B & B	2"CAL		JW	36	BLUE RUG JUNIPER / JUNIPERUS HORIZONTALIS 'WILTONII'	#3					
	JS	31	SEA GREEN PFITZER JUNIPER / JUNIPERUS X PFITZERIANA 'SEA GREEN'				TD	28	DENSIFORMIS YEW / TAXUS X MEDIA 'DENSIFORMIS'	#5					
	CC	7	EASTERN REDBUD / CERCIS CANADENSIS	B & B	2"CAL		LB	198	BIG BLUE LILYTURF / LIRIOPE MUSCARI 'BIG BLUE'	#1					
	MG	2	GALAXY MAGNOLIA / MAGNOLIA X 'GALAXY'	B & B	2"CAL										



Client:
Project Title / Address:
KCI New Tower and Hotel Refresh
11832 NW Plaza Cir
Kansas City MO 64153

Architect:
Bell / Knott & Associates
CORPORATE ARCHITECTS, P. C.
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Structural Consultant:
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Structural Engineers Since 1957
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816.531.4144 www.bdc-engrs.com

MEP Consultant:
BC ENGINEERS INCORPORATED
5720 Reeder St. Shawnee, KS 66203
913-262-1772 bcengineer.com

Civil Consultant:
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www.landworksstudio.com | 913.780.6707

Seal:



Revisions:

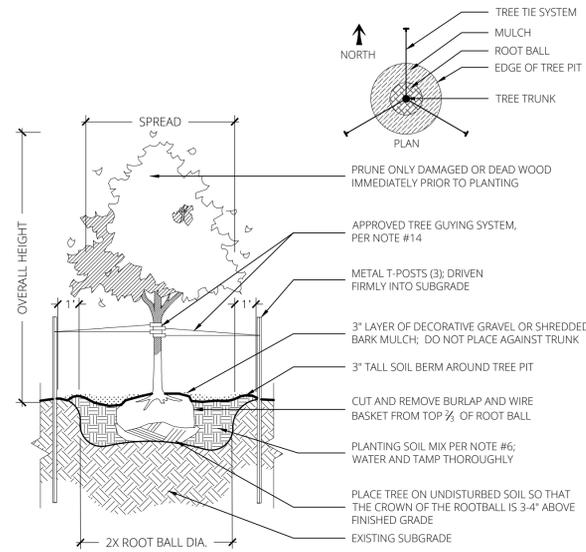
Issue Date:	Reason for Issue:
09/13/23	Review
22-056	Dev Plan Review

Sheet Title:

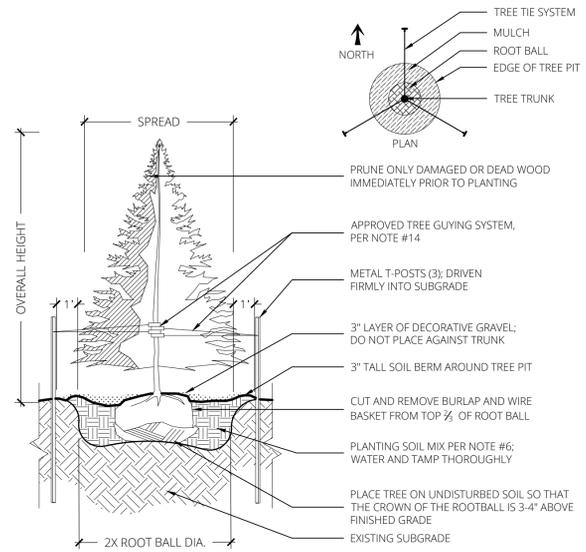
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LANDSCAPE NOTES

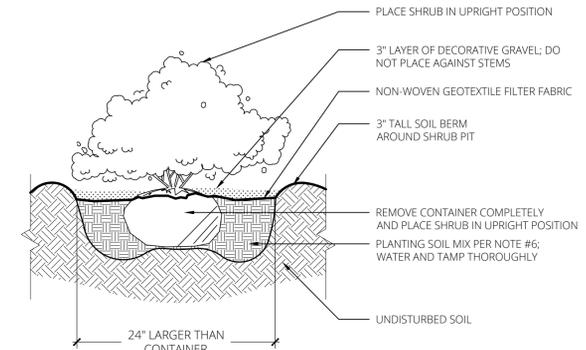
- CONTRACTOR SHALL LOCATE ALL UTILITIES BEFORE COMMENCING WORK. CONTACT THE MISSOURI ONE CALL SYSTEM AT 1-800-DIG-RITE OR 811 TO FILE A LOCATE REQUEST PRIOR TO ANY EXCAVATION. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE TO UTILITIES RESULTING FROM LANDSCAPE OPERATIONS. ANY UTILITIES SHOWN ON THIS PLAN ARE FOR REFERENCE ONLY AND MAY OR MAY NOT DEPICT THE ACTUAL LOCATION OF SERVICES.
- QUANTITIES OF MATERIALS SHOWN ON THE LANDSCAPE PLAN TAKE PRECEDENCE OVER QUANTITIES SHOWN ON THE PLANT SCHEDULE. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES ON THE LANDSCAPE PLAN PRIOR TO BIDDING.
- REPORT ANY DISCREPANCIES IN THE LANDSCAPE PLAN TO THE LANDSCAPE ARCHITECT, PRIOR TO PURCHASING MATERIALS OR STARTING CONSTRUCTION.
- ALL DISTURBED AREAS NOT COVERED BY BUILDING OR PAVEMENT SHALL BE BROUGHT TO FINISH GRADE AND SODDED IN TURF-TYPE TALL FESCUE OR OTHER APPROPRIATE GROUND COVERS, AS DEPICTED ON SHEET L1.01.
- CONTRACTOR SHALL PROVIDE OWNER'S REPRESENTATIVE WITH SOIL TEST ANALYSIS REPORTS FOR EACH SAMPLE OF EXISTING SOIL, TOPSOIL, COMPOST, AND PLANTING SOIL MIX PRIOR TO PLANTING PREPARATION. ANALYSES SHALL BE CONDUCTED BY A QUALIFIED SOIL-TESTING LABORATORY AND INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING PARAMETERS: PARTICLE SIZE ANALYSIS (% DRY WEIGHT), USDA SOIL TEXTURE, pH AND BUFFER pH, ORGANIC CONTENT (% DRY WEIGHT), MOISTURE CONTENT (% WET WEIGHT), PHYSICAL CONTAMINANTS (% DRY WEIGHT), AND NUTRIENT LEVELS (NITROGEN, PHOSPHORUS, POTASSIUM).
- ALL PLANTING BEDS SHALL BE AMENDED WITH A PLANTING SOIL MIX CONSISTING OF EXISTING SOIL, TOPSOIL, AND COMPOST TO MAKE A NEW SOIL WHICH MEETS THE PROJECT GOALS FOR THE INDICATED PLANTING AREAS. THESE COMPONENTS WILL BE MIXED ON-SITE IN THE FOLLOWING RATION (BY MOIST VOLUME): EXISTING SOIL, 65-70%; TOPSOIL (UNSCREENED), 25-30%; AND COMPOST, 5%. MIX THE TOPSOIL AND COMPOST TOGETHER FIRST AND THEN ADD TO THE EXISTING SOIL MIX WITH A LOADER BUCKET TO LOOSELY INCORPORATE THE TOPSOIL/COMPOST MIX INTO THE EXISTING SOIL. DO NOT OVER MIX. DO NOT MIX WITH A SOIL BLENDING MACHINE. DO NOT SCREEN THE SOIL. CLUMPS OF TOPSOIL, COMPOST AND EXISTING SOIL WILL BE PERMITTED IN THE OVERALL MIX. AT THE TIME OF FINAL GRADING, ADD LIME OR OTHER INORGANIC AMENDMENTS, ONLY IF REQUIRED, AT RATES RECOMMENDED BY THE SOIL TESTING ANALYSES FOR THE PLANTS TO BE GROWN. PROVIDE A ONE-GALLON SAMPLE WITH TESTING DATA THAT INCLUDES RECOMMENDATIONS FOR CHEMICAL ADDITIVES FOR THE TYPES OF PLANTS TO BE GROWN. SAMPLES AND TESTING DATA SHALL BE SUBMITTED AT THE SAME TIME.
- PLANT PIT BACKFILL FOR TREES AND SHRUBS SHALL BE PLANTING SOIL MIX, AS DESCRIBED IN ABOVE NOTE.
- ALL PLANT MATERIAL SHALL BE WELL-FORMED AND DEVELOPED IN GOOD CONDITION, HEALTHY AND DISEASE-FREE, AND BE TYPICAL OF THE SPECIES. PLANTS SHALL COMPLY WITH ACCEPTABLE STANDARDS AS SET FORTH IN THE LATEST EDITION OF THE "AMERICAN STANDARD FOR NURSERY STOCK."
- ALL PLANT MATERIALS SHALL BE PROTECTED FROM THE DRYING ACTION OF THE SUN AND WIND AFTER BEING DUG, WHILE BEING TRANSPORTED, AND WHILE AWAITING PLANTING. ROOT BALLS OF PLANTS WHICH CANNOT BE PLANTED IMMEDIATELY SHALL BE PROTECTED FROM DRYING ACTION BY COVERING THEM WITH MOIST MULCH. PERIODICALLY APPLY WATER TO MULCH-COVERED ROOT BALLS TO KEEP THEM MOIST. IF PLANTING SHOULD OCCUR DURING GROWING SEASON, APPLY ANTI-DESSICANT TO LEAVES BEFORE TRANSPORT TO REDUCE LIKELIHOOD OF WINDBURN. REAPPLY ANTI-DESSICANT AFTER PLANTING TO REDUCE TRANSPIRATION.
- PLANTS DESIGNATED AS CONTAINER GROWN SHALL HAVE BEEN GROWN IN POTS, CANS OR BOXES FOR A MINIMUM OF SIX MONTHS AND A MAXIMUM OF TWO YEARS. THESE PLANTS SHALL BE REMOVED FROM CONTAINERS BEFORE PLANTING. PLANTS THAT APPEAR ROOT-BOUND SHALL BE REJECTED.
- APPLY A 3" LAYER OF 1-3" DIAMETER DECORATIVE GRAVEL OVER NONWOVEN GEOTEXTILE FABRIC IN ALL PLANTING BEDS ADJACENT TO THE BUILDING AND A 3" LAYER OF SHREDDED BARK MULCH AROUND ANY TREES OTHERWISE PLACED WITHIN TURF AREAS. IN BOTH CASES, MULCH SHOULD NOT COME IN CONTACT WITH PLANT TRUNKS OR STEMS.
- ALL TURF AREAS SHALL BE SEPARATED FROM THE BUILDING FOUNDATION WALL BY AN AGGREGATE MOW STRIP 18 INCHES IN WIDTH, 6 INCHES IN DEPTH, AND CONSISTING OF 1-3" DIAMETER DECORATIVE GRAVEL. REFER TO SHEET L1.01, DETAIL #6.
- ALL PLANTING BEDS AND AGGREGATE MOW STRIPS MUST BE SEPARATED FROM TURF AREAS WITH STEEL LANDSCAPE EDGING. PROVIDE "BORDER KING STEEL LANDSCAPE EDGING" MANUFACTURED BY BORDER CONCEPTS, INC., OR APPROVED EQUAL. REFER TO SHEET L1.02, DETAIL #5.
- CONTRACTOR SHALL USE AN APPROVED TREE GUYING SYSTEM. TREE GUYING TO BE FLAT WOVEN POLYPROPYLENE MATERIAL, 3/4-INCH-WIDE, WITH A TENSILE STRENGTH OF 900 LBS. HOSE AND WIRE WILL NOT BE ACCEPTED. SUBJECT TO COMPLIANCE WITH THESE REQUIREMENTS, PROVIDE ONE OF THE FOLLOWING PRODUCTS, OR APPROVED EQUAL:
 - "ARBORTIE GREEN" MANUFACTURED BY DEEP ROOT PARTNERS, LP
 - "LEONARD TREE TIE WEBBING GREEN" MANUFACTURED BY A.M. LEONARD, INC.
- TURF SEED SHALL COMPLY WITH U.S. DEPARTMENT OF AGRICULTURE RULES AND REGULATIONS UNDER THE FEDERAL SEED ACT AND BE EQUAL IN QUALITY TO STANDARDS FOR CERTIFIED SEED. SEED SHALL BE A TURF-TYPE FESCUE BLEND CONSISTING OF 85% TURF-TYPE TALL FESCUE, 10% KENTUCKY BLUEGRASS, AND 5% ANNUAL RYEGRASS. ALL SEEDED AREAS SHALL BE MULCHED WITH STRAW OR HYDROMULCH AT TIME OF INSTALLATION UNTIL SEED HAS ESTABLISHED.
- TURF SOD SHALL BE CERTIFIED TURF GRASS SOD COMPLYING WITH TURFGRASS PRODUCERS INTERNATIONAL'S "GUIDELINE SPECIFICATIONS FOR TURFGRASS SODDING." SOD SHALL BE TURF-TYPE TALL FESCUE HARVESTED FROM A SOD FARM LOCATED WITHIN 100 MILES OF THE PROJECT SITE. SOD SHALL BE WELL ROOTED, 2-YEAR OLD STOCK HARVESTED IN ROLLS AND FERTILIZED 2-3 WEEKS PRIOR TO CUTTING. ALL SOD SHALL BE MACHINE CUT AND VIGOROUSLY GROWING (NOT DORMANT). MAXIMUM TIME FROM STRIPPING TO PLANTING SHALL BE 24 HOURS. THE SOD SHALL CONTAIN A GROWTH OF NOT MORE THAN TEN (10%) PERCENT OF OTHER GRASSES AND CLOVERS. SHALL BE FREE FROM ALL PROHIBITED AND NOXIOUS WEEDS AND SHALL BE THREE-FOURTHS (¾) INCH TO ONE AND ON-FOURTH (1-¼) INCH THICK. SOD SHALL BE CUT IN STRIPS NOT LESS THAN 18 INCHES WIDE AND THREE (3) FEET LONG.
- THE CONTRACTOR SHALL PROVIDE ALL WATER, WATERING DEVICES AND LABOR NEEDED TO IRRIGATE PLANT MATERIALS UNTIL PROVISIONAL ACCEPTANCE OF THE PROJECT. THE CONTRACTOR SHALL SUPPLY ENOUGH WATER TO MAINTAIN THE PLANT'S HEALTHY CONDITION.
- REMOVE ALL RUBBISH, EQUIPMENT, AND MATERIAL AND LEAVE THE AREA IN A NEAT, CLEAN CONDITION EACH DAY. MAINTAIN PAVED AREAS UTILIZED FOR HAULING EQUIPMENT AND MATERIALS BY OTHER TRADES IN A CLEAN AND UNOBSTRUCTED CONDITION AT ALL TIMES. REMOVE SOIL OR DIRT THAT ACCUMULATES DUE TO PLANTING OPERATIONS EACH DAY.
- AT THE COMPLETION OF PLANTING OPERATIONS ALL PLANTS SHALL BE INSPECTED BY THE OWNER'S REPRESENTATIVE. CONTRACTOR SHALL REPLACE IMMEDIATELY ANY PLANTS NOT IN HEALTHY AND VIGOROUS CONDITION AT THAT TIME AT NO EXPENSE TO THE OWNER. ANY PLANT NOT IN HEALTHY CONDITION AFTER ONE FULL YEAR FROM THE DATE OF FINAL ACCEPTANCE SHALL BE REPLACED AS PER THE ORIGINAL SPECIFICATIONS, FREE OF CHARGE TO THE OWNER.
- OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT AT ANY TIME OR PLACE PRIOR TO FINAL ACCEPTANCE OF WORK, ANY AND ALL PLANTS WHICH, IN THEIR OPINION, FAIL TO MEET THESE SPECIFICATION REQUIREMENTS.
- CONTRACTOR SHALL GUARANTEE TREES, SHRUBS, PERENNIALS AND TURF FOR ONE CALENDAR YEAR FOLLOWING PROVISIONAL ACCEPTANCE OF THE OVERALL PROJECT. DURING THE GUARANTEE PERIOD, PLANTS THAT DIE DUE TO NATURAL CAUSES OR THAT ARE UNHEALTHY OR UNSIGHTLY IN CONDITION, SHALL BE REPLACED BY THE CONTRACTOR. PLANTS USED FOR THE REPLACEMENT SHALL BE OF THE SAME VARIETY AND SIZE AS ORIGINALLY SPECIFIED IN THE PLANT SCHEDULE. REPLACEMENTS SHALL BE MADE WITHIN ONE WEEK OF REQUEST PENDING FAVORABLE SEASONAL PLANTING CONDITIONS. GUARANTEE WILL NOT BE ENFORCED SHOULD THE PLANT MATERIAL DIE DUE TO VANDALISM, OVER OR UNDER WATERING BY THE OWNER, IMPROPER MAINTENANCE PROCEDURES CARRIED OUT BY THE OWNER INVOLVING LAWN MOWER DAMAGE, OVER FERTILIZATION, ACTS NOT RELATED TO CONTRACTUAL RESPONSIBILITIES OF CONTRACTOR OR SIMILAR CIRCUMSTANCES BEYOND THE CONTROL OF THE CONTRACTOR.
- THE DEVELOPER SHALL SUBMIT AN AFFIDAVIT, COMPLETED BY A LANDSCAPE ARCHITECT LICENSED IN THE STATE OF MISSOURI, VERIFYING THAT ALL LANDSCAPING REQUIRED OF THE APPROVED PLAN HAS BEEN INSTALLED IN ACCORDANCE WITH THE PLAN AND IS HEALTHY PRIOR TO CERTIFICATE OF OCCUPANCY.



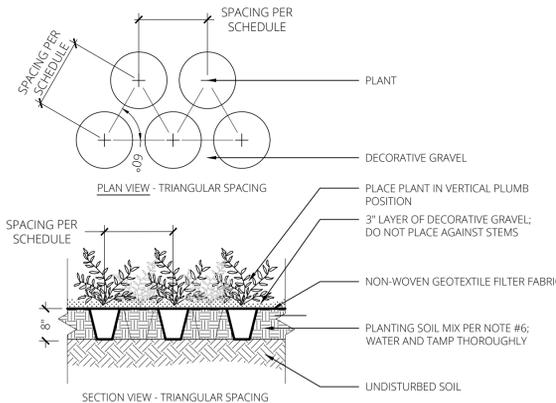
1 | DECIDUOUS TREE PLANTING
SCALE = 1/4" = 1'-0"



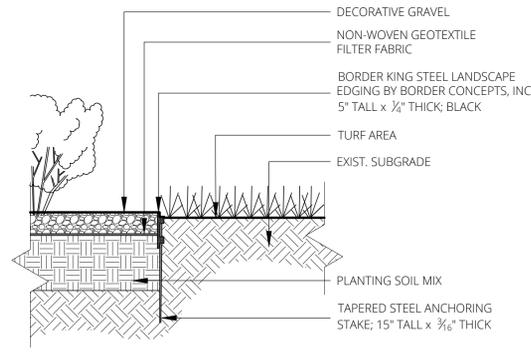
2 | EVERGREEN TREE PLANTING
SCALE = 1/4" = 1'-0"



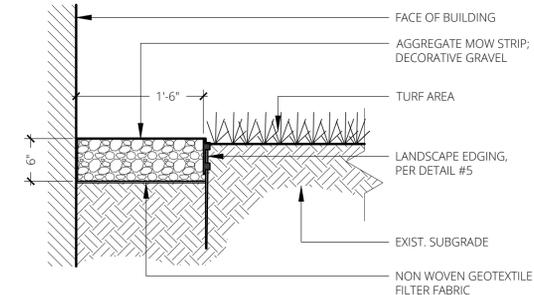
3 | SHRUB PLANTING
SCALE = 1/2" = 1'-0"



4 | PERENNIAL PLANTING
SCALE = 1/2" = 1'-0"



5 | LANDSCAPE EDGING
SCALE = 1" = 1'-0"



6 | MOW STRIP
SCALE = 1" = 1'-0"

Client:



Project Title / Address:

KCI New Tower and Hotel Refresh

11832 NW Plaza Cir
Kansas City MO 64153

Architect:



Structural Consultant:



MEP Consultant:



Civil Consultant:



Landscape Consultant:



Seal:



Revisions:

1	City Review Response	10/13/23
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Issue Date: 09/13/23

Reason for Issue: Review

Project Number: 22-056

Project Phase: Dev Plan Review

Sheet Title:

Landscape Notes & Details

Pkg: Sheet Number:
DP L101

22-056

Meeting Sign-In Sheet

Project Name and Address:

New Guest Tower Development-Four Points by Sheraton KCI
11832 NW Plaza Cir Kansas City, MO 64153

Name	Address	Phone	Email
Kyle Kippes	14700 W 114th Terrace, Lenexa, KS 66215	913.894.5150	kippes@kveng.com
Scott Poindexter	11730 NW. Ambassador Dr. Kansas City, MO 64153	816.841.1931	spoindester@hikciairport.com



Project Case #: CD-CPC-2023-00154

Meeting Date: 10/30/23

Meeting Location: Via Microsoft Teams

Meeting Time (include start and end time): 5:30pm-6:30pm

Additional Comments (optional):

PROJECT NAME: Hulsing -KCI Hotel Expansion.

PROJECT ADDRESS: 11832 NW Plaza Circle

DATE & TIME: 10/30/2023 5:30 -6:30

REVIEWED BY: Justin Murray, Matthew Walter

Meeting Location: Via Teams
(online)

In Attendance:

(Name) _____ (Company)

Justin Muray – BKA

Matthwe Walter – BKA

Kyle Kippes – KVE

Scott Poindexter – Holiday Inn & KC Expo Center

Legend:

(Name) _____ (Company)

These notes are our account of the discussion that took place at this meeting, any errors or omissions should be reported to this office. These notes are intended as documentation of the discussion, which occurred during this meeting and are not intended as an interpretation of the contract documents. These notes are assumed to be correct unless Bell/Knott is notified in writing of any errors or discrepancies within five days of issuance of these notes.

Item	Action	Discussion
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Neighborhood meeting for proposed hotel expansion

Review of the proposed project.

Questions and Responses:

1. What is the proposed schedule of the project?
Response: Project is proposed to begin in 1st quarter of 2024 and is expected to be completed by the end of the year.
2. Is the existing Structure to be renovated during the construction of the additional tower?
Response: the renovation of the existing building has not been determined yet.
3. Will both the outdoor pool remain with the addition of the indoor pool.
Response: Yes, both the existing outdoor pool and the new indoor pool are to be maintained.
4. Will Courtyard be enclosed?
Response: Yes, the yard will be enclosed. The are to be provisional to get morer and other landscape equipment to the center yard areas for maintenance.
5. Will meeting space be added to the new tower?
Response: No additional meeting space is planned.

END OF MEETING NOTES