



CITY PLAN COMMISSION STAFF REPORT

City of Kansas City, Missouri
City Planning & Development Department
www.kcmo.gov/cpc

June 18, 2024

Project Name

LivSmart Studios KCI

Docket #1**Request**

CD-CPC-2024-00019

Non-Residential Development Plan

Applicant

Kaitlin Raynor

Kimley Horn

Owner

Paroya Petroleum Inc

Location 10000 North Polo Drive
Area About 2.4 Acres
Zoning B3-3
Council District 1st
County Platte
School District Park Hill

Surrounding Land Uses

North: NW Tiffany Springs Parkway, zoned B3-3

South: Commercial, zoned B3-3

East: Commercial, zoned B3-3

West: Interstate 29, zoned B3-3

KC Spirit Playbook Alignment

CD-CPC-2024-00019

LRP determination: NA

Land Use Plan

The KCIA Area Plan recommends Commercial for this location.

Major Street Plan

NW Tiffany Springs Parkway identified as an Established Parkway on the City's Major Street Plan.

APPROVAL PROCESS**PROJECT TIMELINE**

The application for the subject request was filed on 02/23/2024. Scheduling deviations from 2024 Cycle 4.2 have occurred to provide the applicant with additional time to submit updated plans.

NEIGHBORHOOD AND CIVIC ORGANIZATIONS NOTIFIED

The subject site is not located within a registered neighborhood or homes association.

REQUIRED PUBLIC ENGAGEMENT

Public engagement as required by 88-505-12 does apply to this request. Applicant hosted a meeting on March 12, 2024. A summary of the meeting is attached to the staff report, see Attachment #3.

EXISTING CONDITIONS

The subject property has an existing surface parking lot.

SUMMARY OF REQUEST + KEY POINTS

The applicant is seeking approval of a development plan to allow for the construction of a hotel (lodging) in district B3-3.

CONTROLLING + RELATED CASES

Ordinance No. 951109 – City Council moved to hold the application on docket for an amendment to the ShoLodge GP-3 plan on October 19, 1995.

PROFESSIONAL STAFF RECOMMENDATION

Docket #1 Approval with Conditions

PLAN REVIEW

The applicant is requesting approval of a four-story hotel with 109 guest rooms and associated amenities. The hotel amenities include an outdoor patio, eating area, indoor pool, gym, and surface parking. The site has an future trail easement along the western property line.

NW Tiffany Springs is identified as an established parkway in the City's Major Street Plan. The applicant has worked with staff to revise the site layout and building materials. The applicant is proposing parking on the eastern side of the building, there are approximately 10 parking spaces in front of the building approximately 11 feet from the parkway. The Zoning and Development Code does not allow for parking to be in front of the building when adjacent to and within 150 feet of a parkway. The applicant has stated they would like to proceed with a variance request to allow for the parking to remain, staff is including a condition requiring approval of a variance to the parkway standard. Staff has also added a condition requiring the applicant to work with the Police Department regarding outstanding corrections regarding addressing and standard operating procedures prior to ordinance request.

There are two existing accesses off North Polo Drive. There is an existing sidewalk on North Polo Drive and NW Tiffany Springs Parkway, the applicant is proposing to connect to the sidewalk on North Polo and is providing a connection to the future trail to the west. The applicant is providing bicycle parking in compliance with the Zoning and Development Code.

The proposed hotel has four-sided architecture, the applicant has revised their elevations to minimize the amount of blank walls on the building. The proposed building materials include dark brick, different colors of EIFS, Nichiha wood cedar, and louver finish.

PLAN ANALYSIS

**indicates adjustment/deviation*

| Standards | Applicability | Meets | More Information |
|---|---------------|----------------------------|------------------|
| Lot and Building Standards (88-120)* | Yes | Yes | See Below |
| Accessory or Use- Specific Standards (88-305 – 385) | No | NA | NA |
| Boulevard and Parkway Standards (88-323) | Yes | No | See below |
| Parkland Dedication (88-408) | No | NA | |
| Tree Preservation and Protection (88-424) | No | NA | NA |
| Parking and Loading Standards (88-420) | Yes | Yes | |
| Landscape and Screening Standards (88-425) | Yes | Yes, subject to conditions | |
| Outdoor Lighting Standards (88-430) | Yes | Yes, subject to conditions | |

| | | | |
|-------------------------------|-----|----------------------------|--|
| Sign Standards (88-445) | Yes | Yes, subject to conditions | |
| Pedestrian Standards (88-450) | Yes | Yes, subject to conditions | |

Lot and Building Standards (88-120-04): Per Table 120-2 the maximum allowed building height for all buildings that are not mixed use is 55' (feet). The applicant is requesting approval of a deviation to allow for a 60' (foot) tall building.

Surface Parking – Boulevard and Parkway Standards (88-323-02-B): If adjacent to and within 150 feet of a parkway, parking located on the side of the building shall be set back a minimum of 10 feet behind the front building line or 30 feet from the right-of-way, whichever is greater. The site plan shows parking on the east side of the building that is not compliant with this section of code. The applicant will be required to apply for and receive approval of a variance to the parkway standards.

SPECIFIC REVIEW CRITERIA

Development Plans, Project Plan, or Site Plan (88-516-05)

In order to be approved, a development plan, project plan, or site plan must comply with all of the following criteria:

- A. The plan must comply with all standards of the Zoning and Development Code and all other applicable city ordinances and policies;**
The plan does not comply with the parkway standards as previously discussed in this staff report. Staff has included a condition requiring the applicant to apply for and receive approval of a variance to the parkway standards. The applicant worked with staff to improve not only the site layout but also the elevations facing Interstate 29 and NW Tiffany Springs Parkway, approval of the variance will make the plan compliant with the standards in the Zoning and Development Code.
- B. The proposed use must be allowed in the district in which it is located;**
The proposed use is allowed in a B3-3 district, a development plan is required due to the size of the proposed structure.
- C. Vehicular ingress and egress to and from the site, and circulation within the site must provide for safe, efficient, and convenient movement of traffic not only within the site but on adjacent roadways;**
There are two vehicular accesses off North Polo Drive, both provide efficient, convenient, and safe movement of vehicles on and off the site.
- D. The plan must provide for safe, efficient, and convenient non-motorized travel opportunities, being pedestrian and bicycle movement, on the subject site;**
The plan is providing safe, efficient, and convenient non-motorized travel opportunities. There is a future trail easement on the site, the applicant is proposing a connection from the future trail to the back of

the proposed building. The site also provides connectivity around the entirety of the building and to the existing sidewalk on North Polo Drive.

E. The plan must provide for adequate utilities based on City standards for the particular development proposed.

Adequate utilities based on City Standards will be provided for the proposed development.

F. The location, orientation, and architectural features, including design and material, of buildings and other structures on the site must be designed to be compatible with adjacent properties.

The location and orientation of the proposed structure is compatible with the adjacent properties. The proposed structure backs onto Interstate 29 and faces a parkway. The applicant worked with staff to provide four-sided architecture to avoid blank walls along the back (Interstate 29). Additionally, the applicant revised the side of the building facing NW Tiffany Spring Parkway to include more transparency along the ground floor to comply with the parkway standards.

G. Landscaping, berms, fences, and/or walls must be provided to buffer the site from undesirable views, noises, lighting, or other off-site negative influences and to buffer adjacent properties from negative influences that may be created by the plan.

The applicant is proposing landscaping in compliance with the Zoning and Development Code, the proposed landscaping provides a sufficient buffer from the parking areas to adjacent properties.

H. The design of streets, drives, and parking areas within the project should result in a minimum of area devoted to asphalt or other impervious surfaces consistent with the needs of the project and city code requirements.

There is an existing surface parking lot on the site that the applicant is using as a part of their development. The proposed use is increasing the impervious surfaces on the site, the applicant is providing excessive parking spaces for the proposed use. The applicant has stated that the amount of parking provided is less than what the operating requirements are for the hotel brand.

I. The plan must identify trees to be removed and trees to be preserved during the development of the subject property with the goal of saving trees that are not required to be removed for the development of the property.

The landscape plan submitted shows the trees to be preserved and removed.

ATTACHMENTS

1. Conditions Report
2. Applicants Submittal
3. Public Engagement Materials

PROFESSIONAL STAFF RECOMMENDATION

City staff recommends **Approval with Conditions** as stated in the conditions report.

Respectfully Submitted,

A handwritten signature in black ink that reads "Larisa Chambi". The signature is written in a cursive, flowing style.

Larisa Chambi, AICP
Lead Planner



Plan Conditions

Report Date: May 30, 2024

Case Number: CD-CPC-2024-00019

Project: LivSmart Studios KCI

Condition(s) by City Planning and Development Department. Contact Larisa Chambi at (816) 513-8822 / Larisa.Chambi@kcmo.org with questions.

1. Signage has not been reviewed with this application, all signage shall conform to 88-445 and shall require a sign permit prior to installation.
2. The developer shall screen all roof and/or ground mounted mechanical and utility equipment in compliance with 88-425-08.
3. The developer shall submit an affidavit, completed by a landscape architect licensed in the State of Missouri, verifying that street trees have been installed in accordance with the approved street tree planting plan and are healthy prior to Certificate of Occupancy.
4. The developer shall submit an affidavit, completed by a landscape architect licensed in the State of Missouri, verifying that all landscaping required of the approved plan has been installed in accordance with the plan and is healthy prior to Certificate of Occupancy.
5. The developer shall submit an affidavit, prepared by an engineer licensed in the State of Missouri, verifying that all outdoor lighting has been installed in accordance with approved plans and that lighting levels do not exceed that shown on the approved lighting plan at the property lines prior to Certificate of Occupancy.
6. The developer shall work with the Police Department to resolve the following remain conditions prior to ordinance request:
 - a. Provide standard operating characteristics including but not limited to: security measure, lighting, hours of operation, noise, access requirements (keycard access/code access).
 - b. Confirm addressing location on proposed structures.
 - c. Dumpster screening needs to be raised 6 inches to 1 foot from the ground on at least one side if solid screening materials are proposed.
7. The developer shall apply for and receive approval of a variance to 88-323-02-B-2, prior to certificate of occupancy. Should a variance be denied by the Board of Zoning Adjustment the developer shall revise the plans to be compliant with the Zoning and Development Code.
8. Approving a deviation to Table 120-2 (Lot and Building Standards for O and B Districts) to allow a 60' (foot) tall building.

Condition(s) by City Planning and Development Department. Contact Terry Thomas at (816) 513-2510 / Terry.A.Thomas@kcmo.org with questions.

9. The developer shall submit plans for grading, siltation, and erosion control to Land Development Division for review and acceptance, provide a copy of the Storm Water Pollution Prevention (SWPP) plan submitted to the Missouri Dept. of Natural Resources (MDNR) and secure a Site Disturbance permit for any proposed disturbance area equal to one acre or more prior to beginning any construction activities.
10. The developer shall submit verification of vertical and horizontal sight distance for the drive connection to public right-of-way to the Land Development Division and make improvements to ensure local jurisdiction and/or minimum AASHTO adequate sight distance standards are met, prior to issuance of any certificate of occupancy.
11. The developer shall submit a letter to the Land Development Division from a Licensed Civil Engineer, Licensed Architect, or Licensed Landscape Architect, who is registered in the State of Missouri, that identifies sidewalks, curbs, and gutters in disrepair as defined by Public Works Department's "OUT OF REPAIR CRITERIA FOR SIDEWALK, DRIVEWAY AND CURB revised 11/5/2013" and based on compliance with Chapters 56 and 64 of the Code of Ordinances for the sidewalks, curbs, and gutters where said letter shall identify the quantity and location of sidewalks, curbs, gutters that need to be constructed, repaired, or reconstructed to remedy deficiencies and/or to remove existing approaches no longer needed by this project. The developer shall secure permits to repair or reconstruct the identified sidewalks, curbs, and gutters as necessary along all development street frontages as required by the Land Development Division and prior to issuance of any certificate of occupancy permits including temporary certificate occupancy permits.

Condition(s) by City Planning and Development Department. Contact Terry Thomas at (816) 513-2510 / Terry.A.Thomas@kcmo.org with questions.

12. The developer shall submit a storm drainage analysis from a Missouri-licensed civil engineer to the Land Development Division, in accordance with adopted standards, including a BMP level of service analysis prior to approval and issuance of any building permits, and that the developer secure permits to construct any improvements as required by the Land Development Division prior to issuance of any certificate of occupancy.
13. The developer shall obtain the executed and recorded City approved grading, temporary construction, drainage/sewer, or any other necessary easements from the abutting property owner(s) that may be required prior to submitting any public improvements crossing properties not controlled by the developer and include said document(s) within the public improvement applications submitted for permitting
14. The developer shall submit a streetscape plan for approval and permitting by the Land Development Division prior to beginning construction of the streetscape improvements in the public right of way, and construct ADA compliant ramps at all required locations where new private drives are being added, or where existing sidewalks are modified or repaired.
15. The developer shall grant a BMP and/or Surface Drainage Easement to the City as required by the Land Development Division, prior to recording the plat or issuance of any building permits.
16. The developer shall submit an analysis to verify adequate capacity of the existing sewer system as required by the Land Development Division prior to issuance of a building permit to connect private system to the public sewer main and depending on adequacy of the receiving system, make other improvements as may be required.
17. The developer shall pay impact fees as required by Chapter 39 of the City's Code of ordinances as required by the Land Development Division.

Condition(s) by Fire Department. Contact Michael Schroeder at (816) 513-4604 / michael.schroeder@kcmo.org with questions.

18. The developer shall meet the fire flow requirements as set forth in Appendix B of the project International Fire Code 2018. (IFC-2018 § 507.1)
19. Buildings equipped with a fire standpipe system shall have an operable fire hydrant within 100 feet of the Fire Department Connection (FDC). (IFC2018 § 507.5.1.1) All Fire Department Connections (FDC) shall be threaded connections, Storz connections are not allowed in the City of Kansas City, Missouri (IFC-2018 § 903.3.6; NFPA 13-2010 § 6.8.1).
20. A required fire department access roads shall be an all weather surface. (IFC-2012: § 503.2.3) Fire Department access roads shall be provided prior to construction/demolition projects begin. (IFC-2018 § 501.4 and 3310.1; NFPA 241-2013 § 7.5.5) Required fire department access roads shall designed to support a fire apparatus with gross axle weight of 85,000 pounds. (IFC-2018: § 503.2.3) The turning radius for fire department access roads shall be 30 feet inside and 50 feet outside radius. (IFC-2018: § 503.2.4) Shall provide fire lane signage on fire access drives.
21. Aerial Fire Apparatus access roads shall be provided for any building that is 30 feet in height or greater. Aerial Fire Apparatus Roads are a minimum 26 feet wide, at least 15 feet away from the building but not more than 30 feet from the structure. (IFC-2018 § D105).

Condition(s) by Water Services Department. Contact Heather Massey at (816) 513-2111 / heather.massey@kcmo.org with questions.

22. The developer shall have a water flow test done to ensure there is adequate water pressure to serve the development.
South of River contact - Patrick Lewis 816-513-0423
North of River contact - Pedro Colato 816-513-4892
23. The developer shall ensure that water and fire service lines should meet current Water Services Department Rules and Regulations. Prior to C of O.
<https://www.kcwater.us/wp-content/uploads/2022/05/2022-Rules-and-Regulations-for-Water-Service-Lines-Final.pdf>

Condition(s) by Water Services Department. Contact Kirk Rome at (816) 513-0368 / kirk.rome@kcmo.org with questions.

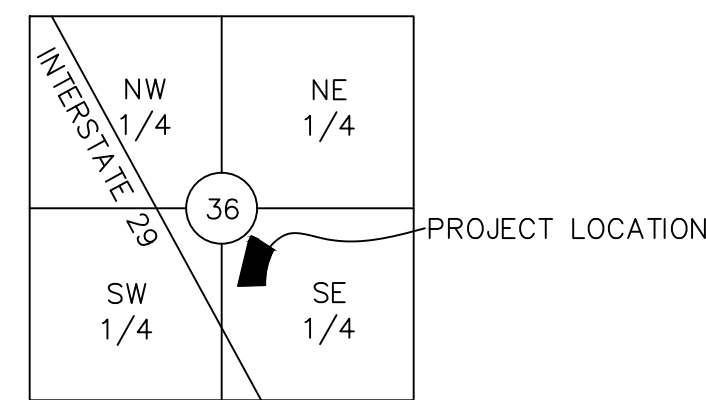
24. Obtain KC Water approval of the final grading plan within the existing 24" transmission main easement along the west side of the property. The grading plan shall retain 5' min. cover and no more than 15' of cover. Follow the requirements of the existing water easement such as no structures within the easement. Storm drain pipes parallel to the water main shall be located a minimum of 10' away.

Condition(s) by Water Services Department. Contact Lucas Kaspar at (816) 513-2131 / Lucas.Kaspar@kcmo.org with questions.

25. The developer must grant a BMP Easement to the City prior to issuance of any building permits.

DEVELOPMENT PLANS FOR LIVSMART STUDIOS KANSAS CITY

SECTION 36, TOWNSHIP 52, RANGE 34 CITY OF KANSAS CITY, PLATTE COUNTY, MISSOURI



VICINITY MAP

PROJECT TEAM

DEVELOPER

ALTIRA HOTELS KCI, LLC
2323 GRAND BOULEVARD, SUITE 1100
KANSAS CITY, MO 64108
CONTACT: MIKE PATEL
EMAIL: MIKEPATEL@MARQUEEHOSPITALITY.COM

CIVIL ENGINEER, LANDSCAPE ARCHITECT

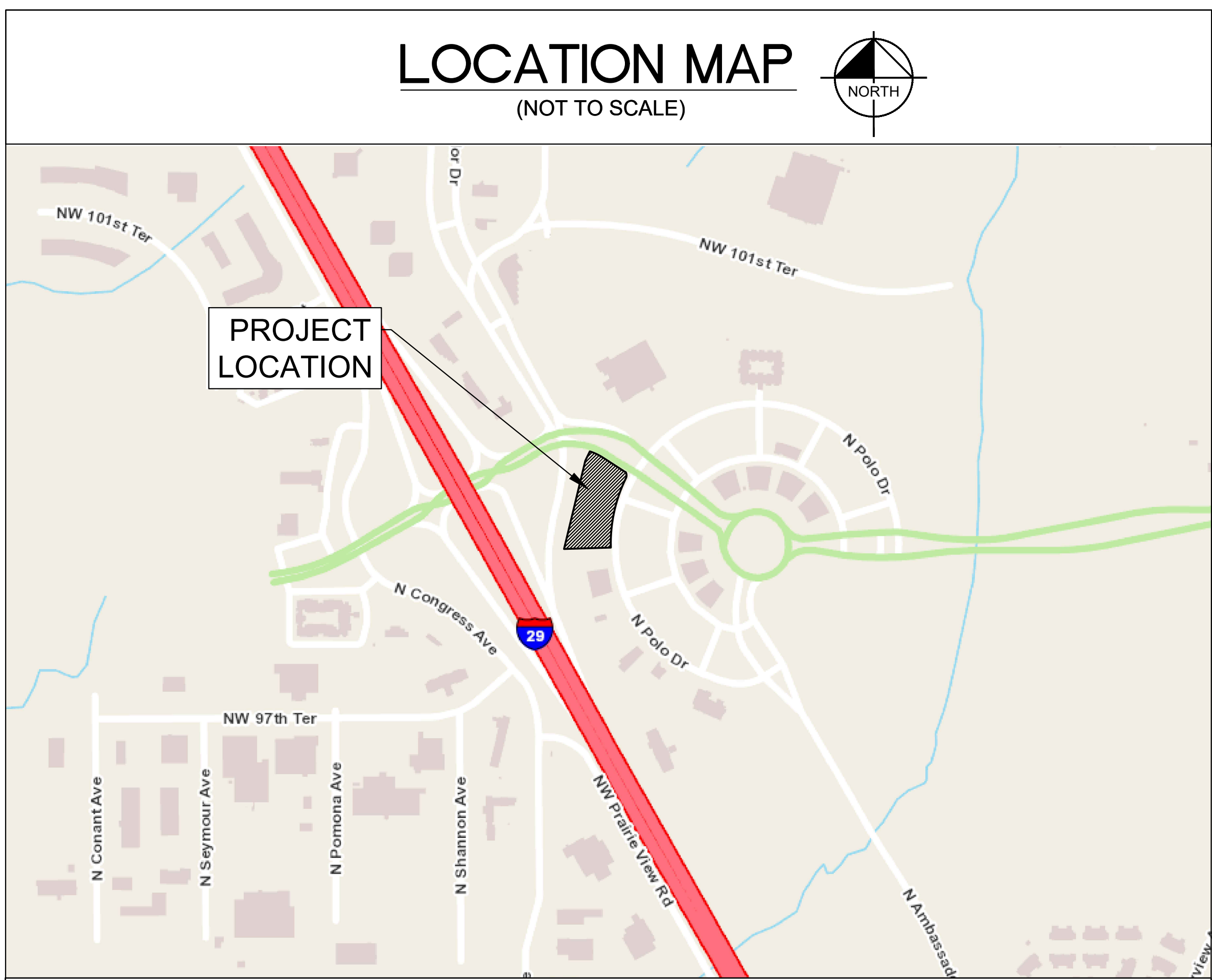
KIMLEY-HORN & ASSOCIATES, INC.
805 PENNSYLVANIA AVENUE, SUITE 150
KANSAS CITY, MO 64105
TEL: (816) 652-0350
PRIMARY CONTACT: MATTHEW KIST, P.E.
EMAIL: MATT.KIST@KIMLEY-HORN.COM
SECONDARY CONTACT: KAITLIN RAYNOR
EMAIL: KAITLIN.RAYNOR@KIMLEY-HORN.COM

ARCHITECT, LIGHTING

TYPE SIX
920 S MAIN ST, SUITE 150
GRAPEVINE TX, 76051
TEL: (852) 365-3381
PRIMARY CONTACT: JAMES LUSTY
EMAIL: JAMES.LUSTY@TYPE-SIX.COM
SECONDARY CONTACT: DYLAN SCOTT
EMAIL: DYLAN.SCOTT@TYPE-SIX.COM

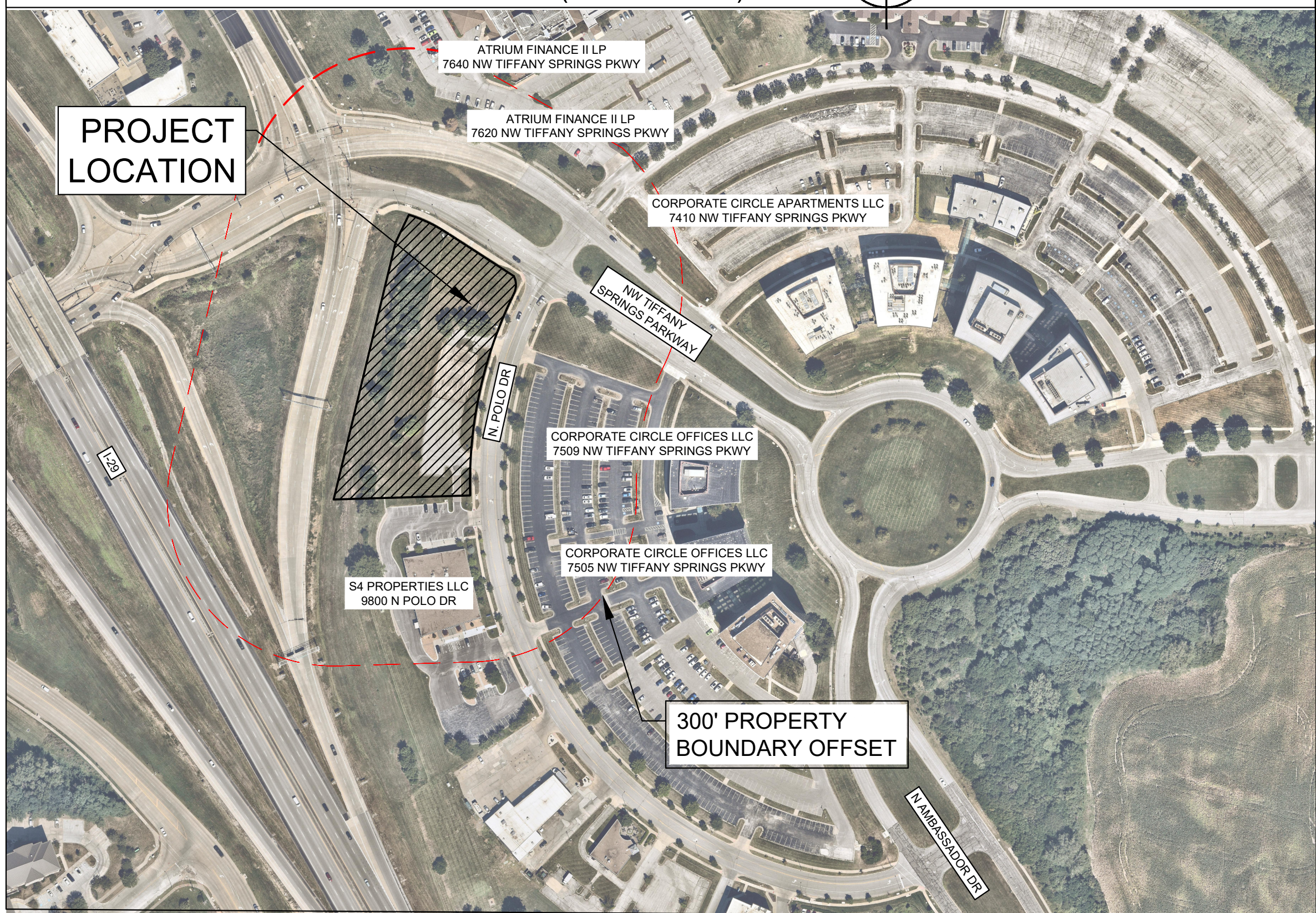
LEGAL DESCRIPTION

TRACT A OF THE CERTAIN LOT SPLIT SURVEY OF LOTS 12D, 12E AND 12F, EXECUTIVE HILLS NORTH, BLOCKS 12 AND 26, KANSAS CITY, PLATTE COUNTY, MISSOURI MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT SPLIT, THENCE NORTH 13 DEGREES 32 MINUTES 44 SECONDS EAST, A DISTANCE OF 512.96 FEET; THENCE NORTH 25 DEGREES 46 MINUTES 55 SECONDS EAST, A DISTANCE OF 54.91 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF TIFFANY SPRINGS PARKWAY SAID POINT ALSO BEING A POINT OF CURVATURE; THENCE CONTINUING WITH SAID SOUTHERLY RIGHT-OF-WAY LINE OF TIFFANY SPRINGS PARKWAY, ON A CURVE TO THE RIGHT, HAVING A RADIUS OF 272.00 FEET, A CENTRAL ANGLE OF 15 DEGREES 26 MINUTES 25 SECONDS, AN INITIAL TANGENT BEARING SOUTH 72 DEGREES 36 MINUTES 33 SECONDS EAST, AN ARC DISTANCE OF 73.38 FEET; THENCE CONTINUING WITH SAID SOUTHERLY RIGHT-OF-WAY LINE OF TIFFANY SPRINGS PARKWAY, SOUTH 57 DEGREES 00 MINUTES 00 SECONDS EAST, A DISTANCE OF 146.18 FEET TO A POINT OF CURVATURE SAID POINT ALSO BEING ON THE WESTERLY RIGHT-OF-WAY LINE OF NORTH POLO DRIVE; THENCE CONTINUING WITH SAID WESTERLY RIGHT-OF-WAY LINE OF NORTH POLO DRIVE, ON A CURVE TO THE RIGHT, HAVING A RADIUS OF 35.00 FEET, A CENTRAL ANGLE OF 53 DEGREES 28 MINUTES 54 SECONDS, AN INITIAL TANGENT BEARING OF SOUTH 27 DEGREES 18 MINUTES 29 SECONDS EAST, AN ARC DISTANCE OF 32.67 FEET; THENCE ON A CURVE TO LEFT, HAVING A RADIUS OF 734.67 FEET, A CENTRAL ANGLE OF 29 DEGREES 56 MINUTES 16 SECONDS, AN ARC DISTANCE OF 375.91 FEET; THENCE SOUTH 88 DEGREES 18 MINUTES 00 SECONDS WEST, A DISTANCE OF 246.12 FEET TO THE POINT OF BEGINNING. THE ABOVE DESCRIBED TRACT CONTAINS 103.622 SQUARE FEET OR 2.38 ACRES.



LOCATION MAP

(NOT TO SCALE)



AERIAL MAP

(NOT TO SCALE)

| Sheet Number | Sheet Title |
|--------------|------------------------------|
| C0 | COVERSHEET |
| C1 | EXISTING CONDITIONS |
| C2 | SITE PLAN |
| C3 | GRADING PLAN |
| C4 | UTILITY PLAN |
| C5 | FIRE TRUCK TURNING |
| L1 | LANDSCAPE ARCHITECTURAL PLAN |
| A20.00 | 3D BUILDING VIEWS |
| A1.01 | 01 DIMENSION PLAN |
| A1.02 | 02 DIMENSION PLAN |
| A5.01 | BUILDING ELEVATIONS |
| A5.02 | BUILDING ELEVATIONS |
| A0.03 | SITE ELEMENTS |
| PH1.01 | PHOTOMETRICS |
| PH1.02 | LIGHT FIXTURE DETAILS |

| Property Owner | Property Address | Mailing Address |
|---------------------------------|--|--|
| S4 Properties LLC | 9800 N Polo Dr | 118 N Conistor Ln Ste B #504 Liberty, MO 64068 |
| Corporate Circle Offices LLC | 7505 NW Tiffany Springs Pkwy, 7509 NW Tiffany Springs Pkwy | 7505 NW Tiffany Springs Pkwy Ste 100 Kansas City, MO 64153 |
| Corporate Circle Apartments LLC | 7410 NW Tiffany Springs Pkwy | 7505 NW Tiffany Springs Pkwy Ste 100 Kansas City, MO 64153 |
| Atrium Finance II LP | 7620 NW Tiffany Springs Pkwy, 7640 NW Tiffany Springs Pkwy | 12735 Morris Rd, Ext, Ste 400 Alpharetta, GA 30004 |

DEVELOPMENT PLAN DEVIATIONS

- BUILDING HEIGHT EXCEEDS MAXIMUM HEIGHT OF 55' ALLOWED FOR ZONING B3-3. REQUESTING DEVIATION TO ALLOW FOR INCREASE OF MAXIMUM BUILDING HEIGHT BY 5' TO ALLOW FOR 60' MAX.
-
-

DEVELOPMENT PLAN VARIANCES

- PER SECTION 88-323-02-B, IF ADJACENT TO AND WITHIN 150 FEET OF A PARKWAY, PARKING LOCATED ON THE SIDE OF A BUILDING SHALL BE SET BACK A MINIMUM OF 10 FEET BEHIND THE FRONT BUILDING LINE OR 30 FEET FROM THE RIGHT-OF-WAY, WHICHEVER IS GREATER. WITH THE PLATTED 50' BUILDING SETBACK FROM NW TIFFANY SPRING PARKWAY, THIS REQUIREMENT CREATES A 60' PARKING SETBACK (10' FURTHER THAN THE PLATTED SETBACK). DUE TO SITE CONSTRAINTS, THE PLAN IS SEEKING A VARIANCE FROM THE ABOVE SECTION, TO ALLOW PARKING WITHIN 10' OF THE EXISTING R/W LINE. IF THE VARIANCE IS NOT GRANTED BY THE BZA, THE PLAN WILL BE REVISED TO RECONFIGURE THE 10 PARKING SPACES IDENTIFIED IN THIS PLAN, LOCATED OFF THE NORTH-EAST CORNER OF THE BUILDING.

| No. | DATE | REVISIONS |
|-----|----------|-----------|
| 1 | 05/17/24 | KMR |
| 2 | 05/29/24 | KMR |

Kimley»Horn
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KANSAS CITY, MO 64105
PHONE: 816.652.0350
WWW.KIMLEY-HORN.COM

SCALE:
DESIGNED BY: KMR
DRAWN BY: KMR
CHECKED BY: MDK

PRELIMINARY
NOT FOR
CONSTRUCTION

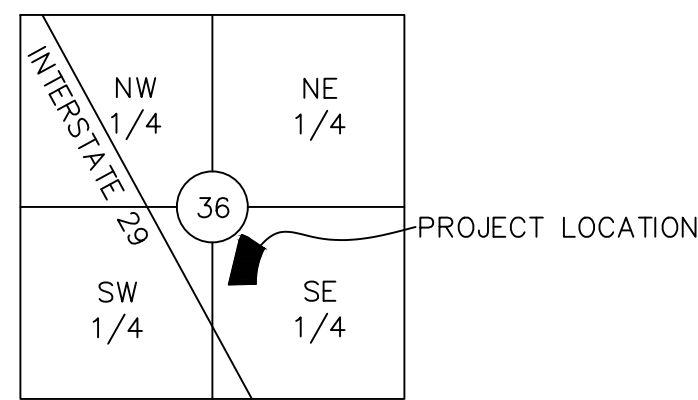
COVERSHEET

**LIVSMART STUDIOS
KANSAS CITY
DEVELOPMENT PLAN**
10000 N POLO DR.
KANSAS CITY, MO 64153

ORIGINAL ISSUE:
02/23/2024
KHA PROJECT NO.
268432000
SHEET NUMBER

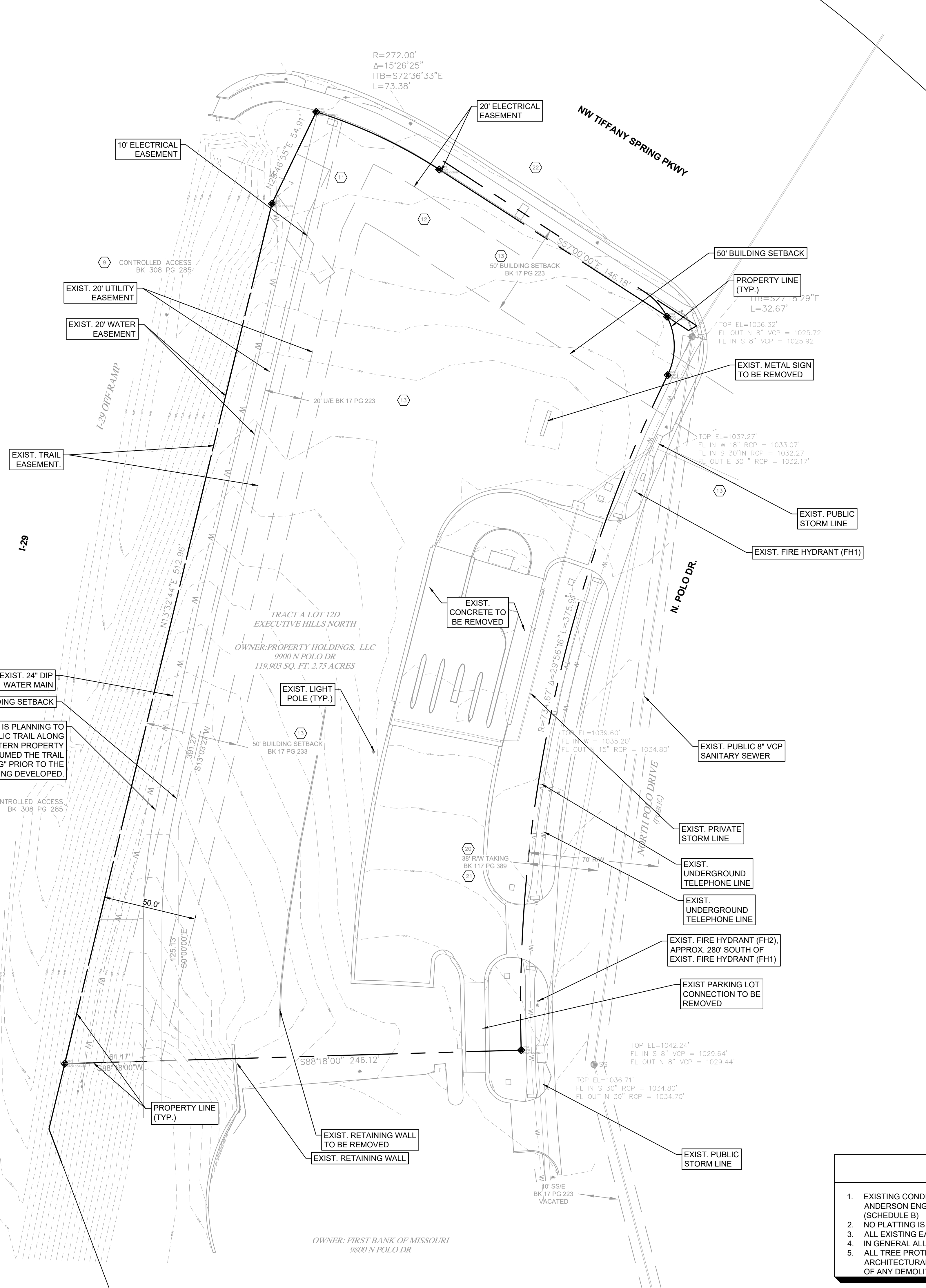
C0

Drawing name: K:\KAC_LIVE\268432000_Marquee Hotel KCMO2 Design\CAD\ParSheets\00 COVERSHEET.dwg 00 COVERSHEET May 29, 2024 3:48pm by: Kaitlin Raynor
This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of any part of this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



VICINITY MAP

| LEGEND | |
|--------|------------------------------|
| ● BM | BENCHMARK |
| ○ CFB | COMMUNICATION PULL BOX |
| △ C/P | CONTROL POINT |
| ● FHD | FIRE HYDRANT |
| ○ FND | FOUND AS NOTED |
| ● L/P | LIGHT POLE |
| ○ M/B | MAILBOX |
| ● M/S | METAL SIGN |
| ○ P/B | PULL BOX |
| ● S/S | SANITARY SEWER MANHOLE |
| ● S/H | STORM MANHOLE |
| ○ T | TREE (SIZE/TYPE) |
| ○ V/P | VERTICAL PIPE |
| ● W/M | WATER METER |
| ● W/V | WATER VALVE |
| ● Y/L | YARD LIGHT |
| ○ C | COLUMN |
| --- | BURIED WATER LINE |
| --- | BURIED FIBER OPTIC LINE |
| --- | BURIED TELEPHONE LINE |
| --- | BURIED GAS LINE |
| --- | BURIED CABLE TELEVISION LINE |
| --- | BURIED POWER LINE |

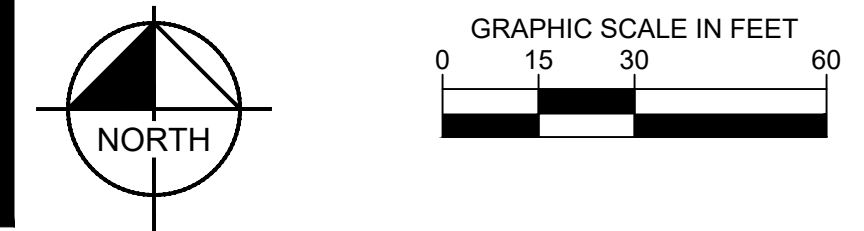


- KEY NOTE:**
- Any defect, lien, encumbrance, adverse claim, or other matter that appears for the first time in the Public Records or is created, attaches, or is disclosed between the Commitment Date and the date on which all of the Schedule B, Part I-Requirements are met. This exception is not a survey matter.
 - Rights or claims of parties in possession not shown by the Public Records. This exception is not a survey matter.
 - Easements, or claims of easements, not shown by the Public Records. This exception is not a survey matter.
 - Any encroachment, encumbrance, violation, variation or adverse circumstances affecting Title that would be disclosed by an accurate and complete survey of the Land or that could be ascertained by an inspection of the Land. This exception is not a survey matter.
 - Any lien or right to a lien for services, labor, material or equipment, unless such lien is shown by the Public Records at Date of Policy and not otherwise excepted from coverage herein. This exception is not a survey matter.
 - Taxes, or special assessments, if any, not shown as existing liens by the Public Records. This exception is not a survey matter.
 - The lien of the general taxes for the year 2022, and thereafter. General, state, county and city taxes and assessments for the year 2021 in the amount of \$14,793.82 are PAID. Parcel No. 17-7.0-36-000-015-004.000. This exception is not a survey matter.
 - Lack of direct access to Highway No. I-29 from the land, such right of access having been taken by the State of Missouri by condemnation Suit No. C-11015 filed in the Circuit Court of Platte County, Missouri at Platte City and recorded in the Recorder of Deeds Office of Platte County as Document No. 39002 in Book 225, Page 441. This exception does not affect the subject property.
 - Lack of direct access to Highway No. I-29 from the land, such right of access having been granted to the State of Missouri, acting by and through the State Highway Commission of Missouri by the deed recorded November 29, 1967 as Document No. 18138 in Book 307, Page 501 and by the deed recorded January 15, 1968 as Document No. 18552 in Book 308, Page 285. This exception affects the subject property and is plotted heron.
 - Limitation on direct access to Tiffany Springs Parkway and lack of direct access to Highway I-29 from the premises in question as set forth in the Report of Commissioners as Document No. 19214 in Book 309, Page 225. This exception does not affect the subject property.
 - Electric line easement granted to Missouri Public Service Company, a Missouri corporation recorded September 10, 1968 as Document No. 21217 in Book 313, Page 333. This exception affects the subject property and is plotted heron.
 - Electric line easement granted to Missouri Public Service Company recorded September 10, 1968 as document No. 21218 in Book 313, Page 335. This exception affects the subject property and is plotted heron.
 - Easements, restrictions and setback lines as per plat, recorded August 20, 1987 as Document No. 045729 in Plat Book 17, Page 223. Ordinance No. 100230, recorded May 3, 2010 as Document No. 2010005039 in Book 1156, Page 486, releasing easements. This exception affects the subject property and is plotted heron.
 - Aviation and Noise Easement granted to Kansas City, Missouri a municipal corporation recorded August 20, 1987 as Document No. 045733 in Book 307, Page 381. This easement encompassed the entire property.
 - Terms and Provisions as set forth in Agreement for Deferral of Construction for N. Executive Hills Boulevard, recorded August 20, 1987 as Document No. 045734 in Book 707, Page 382. This easement encompassed the entire property. Not a survey matter.
 - Terms and Provisions as set forth in Cross Easement Agreement, by and between Livestock Executive Partners, a Missouri general partnership and Executive Hills North, Inc., a Kansas corporation, recorded March 23, 1988 as Document No. 002511 in Book 715, Page 739. Does not affect the subject property.
 - Boundaries, descriptions and matters depicted on Certificate of Survey recorded January 25, 2000, as Document No. 0001067, in Survey Book 3, Page 14. This exception affects the subject property and is plotted heron.
 - Terms and Provisions as set forth in Road Agreement, by and between North Properties, Inc., a Missouri corporation and First Bank of Missouri, a Missouri banking corporation, recorded March 13, 2000 as Document No. 0003141 in Book 922, Page 867. This exception does not affect the subject property.
 - Restrictive Covenant Agreement, recorded March 13, 2000, as Document No. 0003142 in Book 922, Page 868 but deleting any covenant, condition or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status, or national origin to the extent such covenants, conditions or restrictions violate 42USC 3604(c) or any similar state statute or local ordinance. This exception affects the subject property, but is not a survey matter. Refer to document.
 - Ordinance No. 110011 for condemnation and taking private property interests for public use, recorded March 8, 2011 as Document No. 2011002933 in Book 117, Page 389, which provides for the levy of assessments. This exception affects the subject property and is plotted heron.
 - Terms and Provisions as set forth in Temporary Construction Easement as contained in the Warranty Deed, recorded January 30, 2013 as Document No. 2013001555 in Book 1205, Page 289.
 - Tenancy rights, either as month to month, or by virtue of written leases of persons in possession of any part of the subject property. This exception is not a survey matter.

- SURVEYOR'S REPORT**
- The basis of bearing for this survey is Missouri State Plane, West Zone, NAD 83.
 - A 1/2" x 24" rebar with a plastic cap stamped LS-62 has been set at every property corner unless noted otherwise.
 - The address of the subject property is 10000 North Polo Drive as shown on the Kansas City, Missouri Parcel Viewer and 9900 North Polo Drive on the Jackson County Missouri Parcel Viewer.
 - The subject property lies in Zone X, Other Areas, Areas determined to be outside the 0.2% annual chance floodplain, as shown on Flood Insurance Rate Map 29095C0043G effective January 20th 2017.
 - The subject property contains 119,903 square feet, or 2.75 acres.
 - The contour information shown here was taken from traditional survey methods. The vertical datum is NAVD 1988.
 - The subject property is zoned B3-3, Community Business, as shown on the Kansas City, Missouri GIS Website.
 - There 0 buildings on the subject property.
 - All substantial visible improvements have been shown on this survey.
 - There are zero visible parking spaces on the subject property.
 - The utility information shown on this survey has S.U.E. (Subsurface Utility Engineering) Level of C. Utility information shown on this survey was taken from utility maps provided to this surveyor by various utility companies and utility line locate markings provided by various utility locating companies per Missouri One Call or Kansas 811 utility Locate Ticket Number 221021059. This surveyor does not warrant or guarantee the location or size of any underground utility shown hereon. This surveyor does not warrant or guarantee that all utility lines, cables, pipes or wires (active or inactive) are shown on this survey.
 - The names of the adjoining owners have been taken from the Kansas City, Missouri GIS.
 - The Northeast corner of the subject property is located at the intersection of North Polo Drive and Northwest Tiffany Springs Parkway.
 - There no evidence of earth moving work on the subject property.
 - The surveyor is not aware of any proposed changes in street right of way lines.
 - Professional liability insurance policy obtained by the surveyor in the minimum amount of \$1,000,000 to be in effect throughout the contract term.
 - The easements, covenants, restrictions and entitlements shown on this survey were taken from the title commitment prepared by First American Title Insurance Company in File No. NCS-1121669-KCTY, dated 03/23/2022 at 8:00 a.m., and we have relied solely on said information.
 - No wetlands have been delineated on the subject property. The National Wetlands Inventory map does/does not show any wetlands on the subject property.
 - The subject property shown on this survey is the same as described in title commitment no. NCS-1121669-KCTY, prepared by First American Title Insurance Company. The subject tracts shown hereon are contiguous, with no gaps, gores or overlaps.
 - The subject property has direct access to N. Polo Dr., a publicly dedicated and constructed street. There is no direct access to Highway I-29.
 - The wall that encroaches on the subject property from the South is approximately encroaches 8 feet onto the subject property.
 - No easement was provided for the brick drive between the subject property, and the property to the south.

NOTES

- EXISTING CONDITIONS IN THESE PLANS ARE BASED UPON AN ALTA SURVEY PREPARED BY ANDERSON ENGINEERING DATED 7/27/2023. SEE ALTA SURVEY FOR ADDITIONAL TITLE INFORMATION (SCHEDULE B)
- NO PLATTING IS ANTICIPATED FOR THIS PROJECT.
- ALL EXISTING EASEMENTS ARE INTENDED TO REMAIN, UNLESS SPECIFICALLY NOTED OTHERWISE
- IN GENERAL ALL EXISTING FEATURES ARE TO BE REMOVED
- ALL TREE PROTECTION MEASURES ARE TO BE INSTALLED AND APPROVED PER THE LANDSCAPE ARCHITECTURAL PLANS AND TREE PRESERVATION DETAILS/SPECIFICATIONS PRIOR TO THE START OF ANY DEMOLITION OR CONSTRUCTION ACTIVITY.



Drawing name: K:\KAC_LIB\2024\3000_Marquee Hotel KCM2024 Design\CAD\ParSheet\01_EXISTING CONDITIONS.dwg C1_EXISTING CONDITIONS May 29, 2024 3:48pm by: Kaitlin Raynor
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| | | | | | | |
|-----|----------|---------------|---------------|-----------|------|----|
| KMR | 05/17/24 | CITY COMMENTS | CITY COMMENTS | REVISIONS | DATE | BY |
| KMR | 05/29/24 | | | | | |
| 1 | | | | | | |
| 2 | | | | | | |

Kimley-Horn

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800 PENNSYLVANIA AVE. SUITE 150
KANSAS CITY, MO 64105
PHONE: 816.462.0300
WWW.KIMLEY-HORN.COM

| | | | | |
|--------|----------|------------------|---------------|-----------------|
| SCALE: | AS NOTED | DESIGNED BY: KMR | DRAWN BY: KMR | CHECKED BY: MDK |
|--------|----------|------------------|---------------|-----------------|

PRELIMINARY

NOT FOR CONSTRUCTION

EXISTING CONDITIONS

LIVSMART STUDIOS

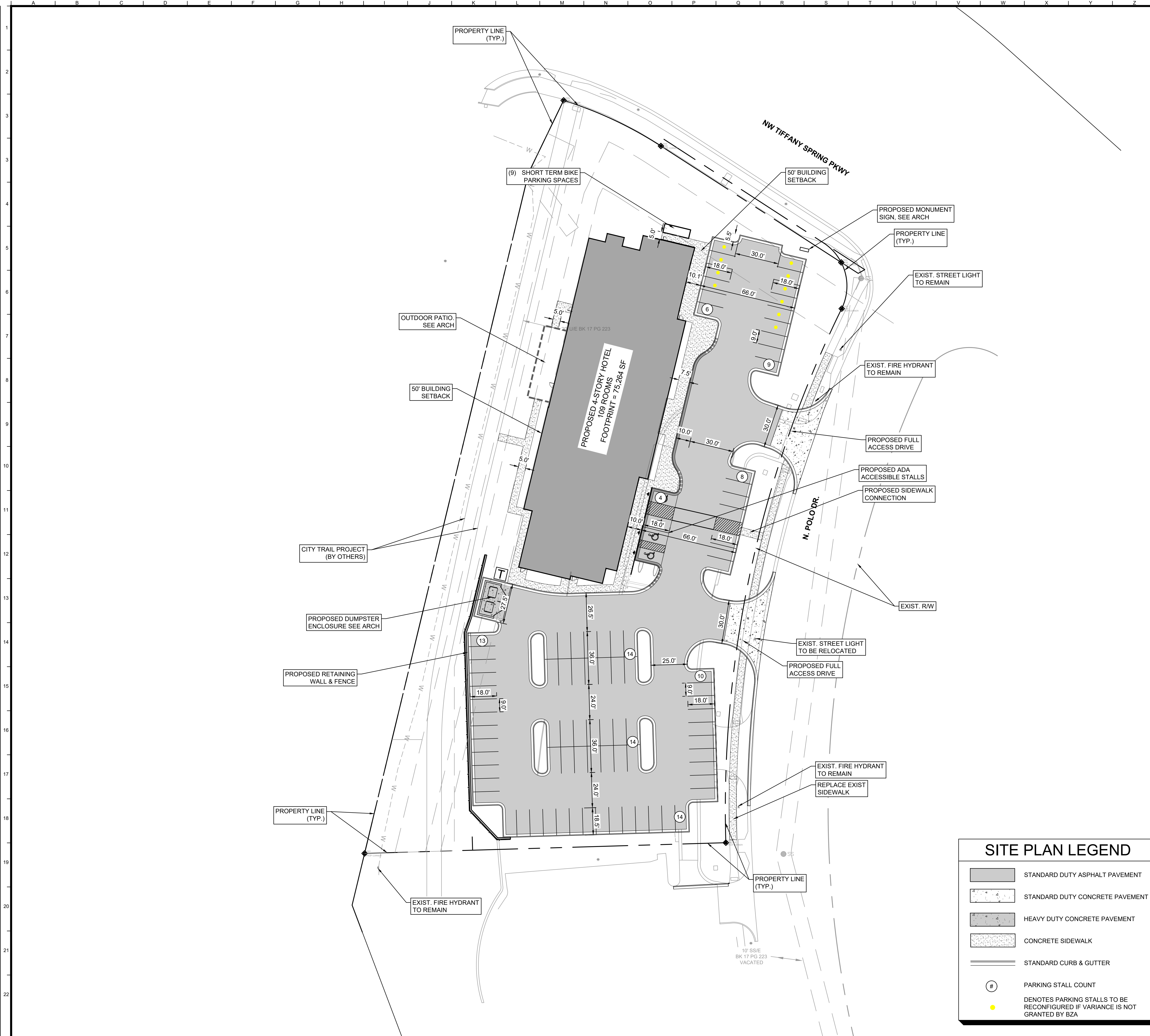
KANSAS CITY

DEVELOPMENT PLAN

10000 N POLO DR.
KANSAS CITY, MO 64153

| | |
|-------------------------------|-----------|
| ORIGINAL ISSUE: 02/23/2024 | |
| KHA PROJECT NO. 268432000 | |
| SHEET NUMBER | C1 |

Drawing name: K:\KHA_LIB\268432000_Marquee Hotel KCM2022 Design\CD\SitePlan\Site Plan May 2024.rvt
 Date: 05/29/24 3:48pm
 Designer: KHA
 Checker: KHA
 Title: CIVIL ENGINEER
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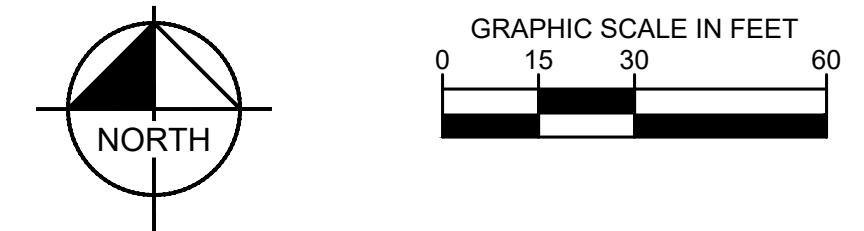
| Development Summary Table | | |
|---------------------------|---|------------|
| A | Existing Zoning | B3-3 |
| | Proposed Zoning | B3-3 |
| B | Existing Total Land Area | 2.37 Acres |
| | Proposed Total Land Area | 2.37 Acres |
| C | Existing Right-of-way | 0.00 Acres |
| | Proposed Right-of-way | 0.00 Acres |
| D | Existing Net Land Area | 2.37 Acres |
| | Proposed Net Land Area | 2.37 Acres |
| E | Proposed Uses | |
| | Hotel | |
| F | Structure Height & # of floors | |
| | Number of Floors | 4 |
| | Structure Height | 60'-0" |
| G | Gross Floor Area & # of Rooms | |
| | Gross Floor Area (SF) | 75,264 |
| H | Building Coverage & FAR | |
| | Coverage | 18% |
| I | Vehicle Parking | |
| | Stalls Required (1 per 6 rooms) | 19 |
| J | Bike Parking | |
| | Short Term Stalls Required (10% of Veh. Stalls) | 9 |
| K | Parkway Development Standards | |
| | Total Frontage Adjacent to Parkway (LF) | 235 |
| L | Timeline | |
| | Estimated Start Date | 9/1/2024 |
| M | Requested Deviations & Variances | |
| | SEE COVER SHEET | |

- ### GENERAL NOTES
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIAL AND LABOR TO CONSTRUCT THE IMPROVEMENTS AS SHOWN AND AS DESCRIBED IN THE FINAL CONSTRUCTION DOCUMENTS.
 - THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE, AT ALL TIMES, A COPY OF THE CONSTRUCTION DOCUMENTS, INCLUDING PLANS, SPECIFICATIONS, AND ASSOCIATED PERMITS.
 - ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER, BEFORE PROCEEDING WITH THE WORK. NO FIELD CHANGES OR DEVIATIONS FROM THE DESIGN ARE TO BE MADE WITHOUT APPROVAL FROM THE OWNER.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE, AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS.
 - THE CONTRACTOR SHALL PROVIDE FOR A SECURED PROJECT SITE, THROUGH TEMPORARY CONSTRUCTION FENCING, GATES, AND TRAFFIC CONTROL MEASURES.
 - ALL WORK WITHIN PUBLIC RIGHT-OF-WAY, SHALL CONFORM TO THE AHJ (AUTHORITY HAVING JURISDICTION) REQUIREMENTS.
 - THE CONTRACTOR SHALL COORDINATE ALL PHASING AND SEQUENCING LOGISTICS. IF ADJUSTMENTS TO THE DESIGN ARE REQUIRED, TO ALLOW FOR THE CONTRACTOR'S DESIRED PHASING OR SEQUENCING, THESE DESIGN ADJUSTMENTS SHALL BE COORDINATED WITH THE ENGINEER AND OWNER.

- ### SITE PLAN NOTES
- ALL DIMENSIONS AND COORDINATES ARE TO BACK OF CURB, UNLESS NOTED OTHERWISE.
 - BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF CIVIL ENGINEER'S INTERPRETATION OF THE BUILDING UNLESS OTHERWISE NOTED.
 - REFER TO ARCHITECTURAL AND STRUCTURAL PLANS TO VERIFY ALL BUILDING DIMENSIONS.
 - RADII ADJACENT TO PARKING STALL AND NOT DIMENSIONED ON THIS PLAN SHALL BE 3-FEET, TYPICAL.
 - REFER TO ARCHITECTURAL PLANS FOR MONUMENT SIGN DETAILS.
 - SEE ELECTRICAL PLANS FOR SITE LIGHTING AND SITE ELECTRICAL.
 - ALL PARKING STALL PAVEMENT MARKINGS SHALL BE PAINTED WITH 4" SOLID WHITE STRIPING.
 - ALL ADA PARKING STALL PAVEMENT MARKINGS SHALL BE PAINTED WITH 4" SOLID BLUE STRIPES, AND ADA COMPLIANT ACCESSIBLE PARKING SYMBOLS.
 - ALL DIRECTIONAL PAVEMENT MARKINGS (STOP BARS, TURN ARROWS, ETC.) SHALL BE PAINTED WITH SOLID WHITE PAVEMENT MARKINGS.
 - ALL PROPOSED SIGNAGE (STOP SIGNS, YIELD SIGNS, ETC.) SHALL CONFORM TO MUTCD STANDARDS.
 - CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS, BONDS AND INSURANCE AS REQUIRED BY THE CITY AND OWNER.

SITE PLAN LEGEND

| | |
|--|---|
| | STANDARD DUTY ASPHALT PAVEMENT |
| | STANDARD DUTY CONCRETE PAVEMENT |
| | HEAVY DUTY CONCRETE PAVEMENT |
| | CONCRETE SIDEWALK |
| | STANDARD CURB & GUTTER |
| | PARKING STALL COUNT |
| | DENOTES PARKING STALLS TO BE RECONFIGURED IF VARIANCE IS NOT GRANTED BY BZA |



| CITY COMMENTS | | DATE |
|---------------|--|----------|
| 1 | | 05/17/24 |
| 2 | | 05/29/24 |

DESIGNED BY: KMR
 DRAWN BY: KMR
 CHECKED BY: MDK

PRELIMINARY NOT FOR CONSTRUCTION

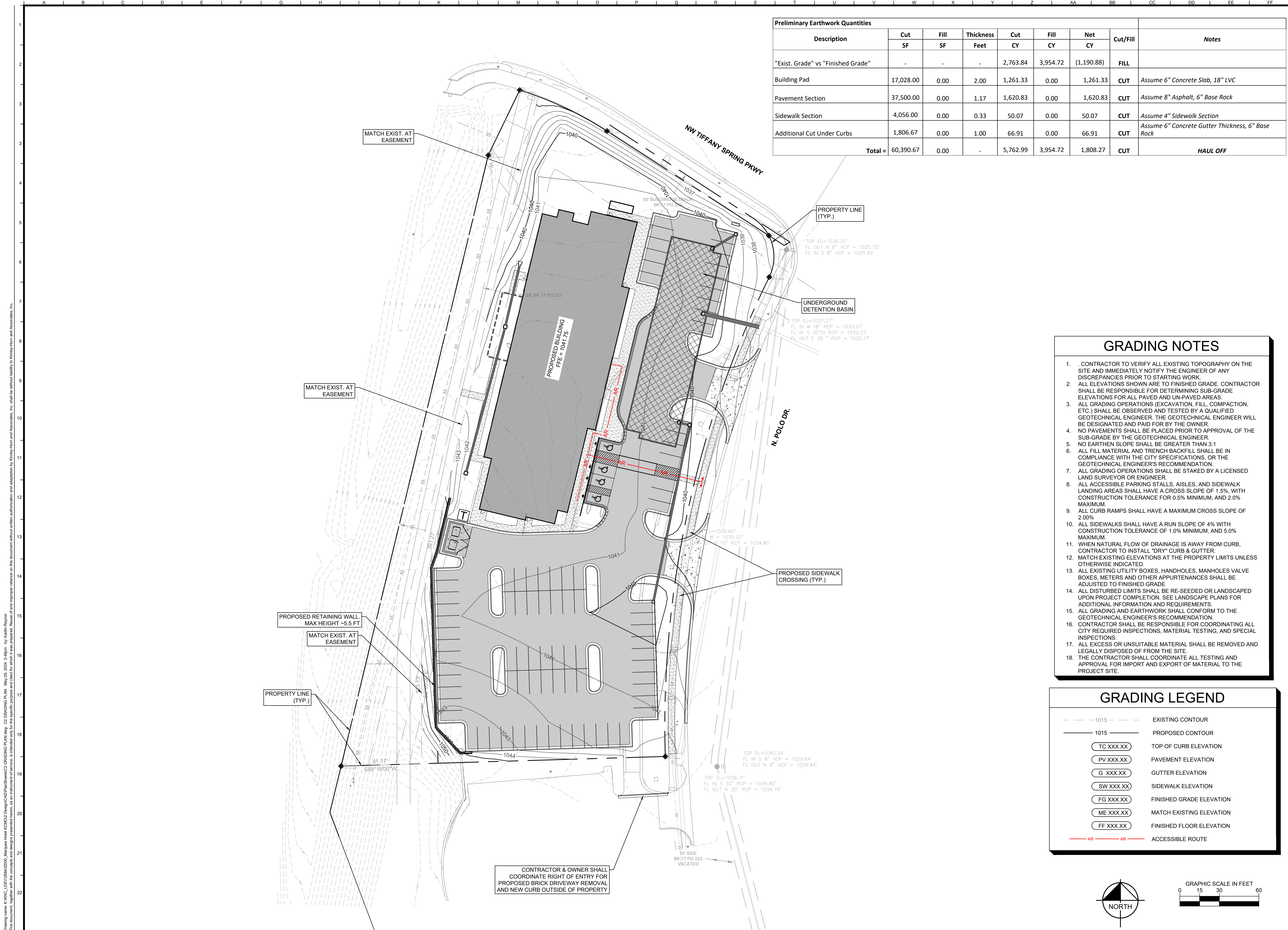
SITE PLAN

LIVSMART STUDIOS
 KANSAS CITY
 DEVELOPMENT PLAN
 10000 N POLO DR.
 KANSAS CITY, MO 64153

ORIGINAL ISSUE:
 02/23/2024

KHA PROJECT NO.
 268432000

SHEET NUMBER
C2

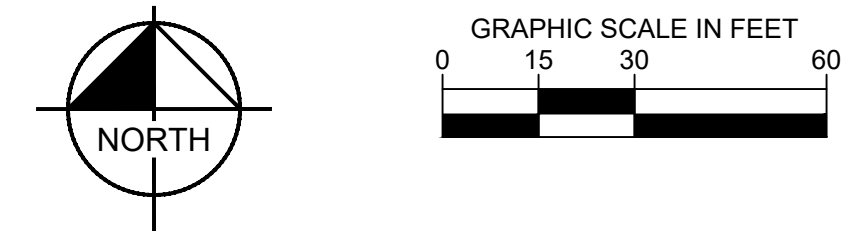


| Preliminary Earthwork Quantities | | | | | | | |
|------------------------------------|------------------|-------------|-----------|-----------------|-----------------|-----------------|---|
| Description | Cut | Fill | Thickness | Cut | Fill | Net | Notes |
| | SF | SF | Feet | CY | CY | CY | |
| "Exist. Grade" vs "Finished Grade" | - | - | - | 2,763.84 | 3,954.72 | (1,190.88) | FILL |
| Building Pad | 17,028.00 | 0.00 | 2.00 | 1,261.33 | 0.00 | 1,261.33 | CUT Assume 6" Concrete Slab, 18" LVC |
| Pavement Section | 37,500.00 | 0.00 | 1.17 | 1,620.83 | 0.00 | 1,620.83 | CUT Assume 8" Asphalt, 6" Base Rock |
| Sidewalk Section | 4,056.00 | 0.00 | 0.33 | 50.07 | 0.00 | 50.07 | CUT Assume 4" Sidewalk Section |
| Additional Cut Under Curbs | 1,806.67 | 0.00 | 1.00 | 66.91 | 0.00 | 66.91 | CUT Assume 6" Concrete Gutter Thickness, 6" Base Rock |
| Total = | 60,390.67 | 0.00 | - | 5,762.99 | 3,954.72 | 1,808.27 | CUT HAUL OFF |

- ### GRADING NOTES
- CONTRACTOR TO VERIFY ALL EXISTING TOPOGRAPHY ON THE SITE AND IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING WORK.
 - ALL ELEVATIONS SHOWN ARE TO FINISHED GRADE. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING SUB-GRADE ELEVATIONS FOR ALL PAVED AND UN-PAVED AREAS.
 - ALL GRADING OPERATIONS (EXCAVATION, FILL, COMPACTION, ETC.) SHALL BE OBSERVED AND TESTED BY A QUALIFIED GEOTECHNICAL ENGINEER. THE GEOTECHNICAL ENGINEER WILL BE DESIGNATED AND PAID FOR BY THE OWNER.
 - NO PAVEMENTS SHALL BE PLACED PRIOR TO APPROVAL OF THE SUB-GRADE BY THE GEOTECHNICAL ENGINEER.
 - NO EARTHEN SLOPE SHALL BE GREATER THAN 3:1.
 - ALL FILL MATERIAL AND TRENCH BACKFILL SHALL BE IN COMPLIANCE WITH THE CITY SPECIFICATIONS, OR THE GEOTECHNICAL ENGINEER'S RECOMMENDATION.
 - ALL GRADING OPERATIONS SHALL BE STAKED BY A LICENSED LAND SURVEYOR OR ENGINEER.
 - ALL ACCESSIBLE PARKING STALLS, AISLES, AND SIDEWALK LANDING AREAS SHALL HAVE A CROSS SLOPE OF 1.5%, WITH CONSTRUCTION TOLERANCE FOR 0.5% MINIMUM, AND 2.0% MAXIMUM.
 - ALL CURB RAMPS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2.00%.
 - ALL SIDEWALKS SHALL HAVE A RUN SLOPE OF 4% WITH CONSTRUCTION TOLERANCE OF 1.0% MINIMUM, AND 5.0% MAXIMUM.
 - WHEN NATURAL FLOW OF DRAINAGE IS AWAY FROM CURB, CONTRACTOR TO INSTALL "DRY" CURB & GUTTER.
 - MATCH EXISTING ELEVATIONS AT THE PROPERTY LIMITS UNLESS OTHERWISE INDICATED.
 - ALL EXISTING UTILITY BOXES, HANDHOLES, MANHOLES VALVE BOXES, METERS AND OTHER APPURTENANCES SHALL BE ADJUSTED TO FINISHED GRADE.
 - ALL DISTURBED LIMITS SHALL BE RE-SEEDING OR LANDSCAPED UPON PROJECT COMPLETION. SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
 - ALL GRADING AND EARTHWORK SHALL CONFORM TO THE GEOTECHNICAL ENGINEER'S RECOMMENDATION.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL CITY REQUIRED INSPECTIONS, MATERIAL TESTING, AND SPECIAL INSPECTIONS.
 - ALL EXCESS OR UNSUITABLE MATERIAL SHALL BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE.
 - THE CONTRACTOR SHALL COORDINATE ALL TESTING AND APPROVAL FOR IMPORT AND EXPORT OF MATERIAL TO THE PROJECT SITE.

GRADING LEGEND

| | |
|-----------|--------------------------|
| --- | EXISTING CONTOUR |
| --- | PROPOSED CONTOUR |
| TC XXX.XX | TOP OF CURB ELEVATION |
| PV XXX.XX | PAVEMENT ELEVATION |
| G XXX.XX | GUTTER ELEVATION |
| SW XXX.XX | SIDEWALK ELEVATION |
| FG XXX.XX | FINISHED GRADE ELEVATION |
| ME XXX.XX | MATCH EXISTING ELEVATION |
| FF XXX.XX | FINISHED FLOOR ELEVATION |
| AR | ACCESSIBLE ROUTE |



| | | | | |
|---|------------------|------------------|---------------|-----------------|
| SCALE: | AS NOTED | DESIGNED BY: KMR | DRAWN BY: KMR | CHECKED BY: MDK |
| | DESIGNED BY: KMR | | | |
| CITY COMMENTS: | 1 | | | |
| | 2 | | | |
| REVISIONS: | No. | DATE | | |
| | | | | |
| Kimley»Horn | | | | |
| <small>© 2024 KIMLEY-HORN AND ASSOCIATES, INC. 800 PENNSYLVANIA AVE, SUITE 150 PHOENIX, AZ 85006 WWW.KIMLEY-HORN.COM</small> | | | | |
| GRADING PLAN | | | | |
| LIVSMART STUDIOS KANSAS CITY DEVELOPMENT PLAN <small>10000 N POLO DR. KANSAS CITY, MO 64153</small> | | | | |
| ORIGINAL ISSUE: 02/23/2024 | | | | |
| KHA PROJECT NO. 268432000 | | | | |
| SHEET NUMBER | | | | |
| C3 | | | | |

Drawing name: K:\KHC_LBET\268432000_Marquee Hotel KCM2024\Grading\Grading Plan.dwg C2 GRADING PLAN May 29, 2024 3:48pm by: William Raynor
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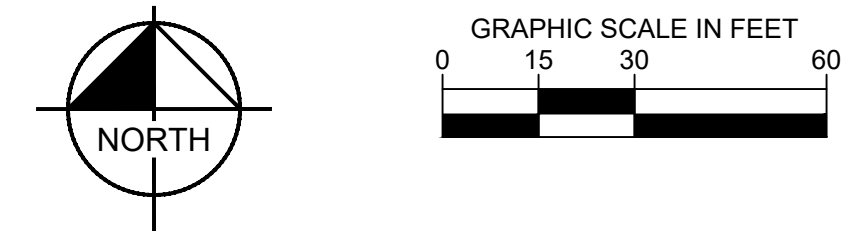


Drawing name: K:\KHC_LB\268432000_Marquee Hotel KCMO\2 Design\CAD\Plan\Sheet\C4 UTILITY PLAN.dwg C:\UTILITY PLAN May 29, 2024 3:48pm by: Mallin Raynor
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- ### UTILITY NOTES
- STORMWATER BMP'S AND STORMWATER DETENTION ARE BEING PROVIDED THROUGH AN ON-SITE UNDERGROUND DETENTION CHAMBER SYSTEM. THE PEAK FLOW WILL BE REDUCED AND LEVEL OF SERVICE WILL BE MET FOR A REDEVELOPED SITE.
 - ALL PROPOSED UTILITIES (WATER, SEWER, STORM, ETC.) ARE CONSIDERED PRIVATE, UNLESS NOTED OTHERWISE.
 - THE EXISTING FIRE HYDRANTS ALONG POLO DRIVE PROVIDE A MINIMUM 350' OF HOSE LENGTH COVERAGE AROUND THE BUILDING.
 - SEE ELECTRICAL FOR SITE LIGHTING & PHOTOMETRICS.

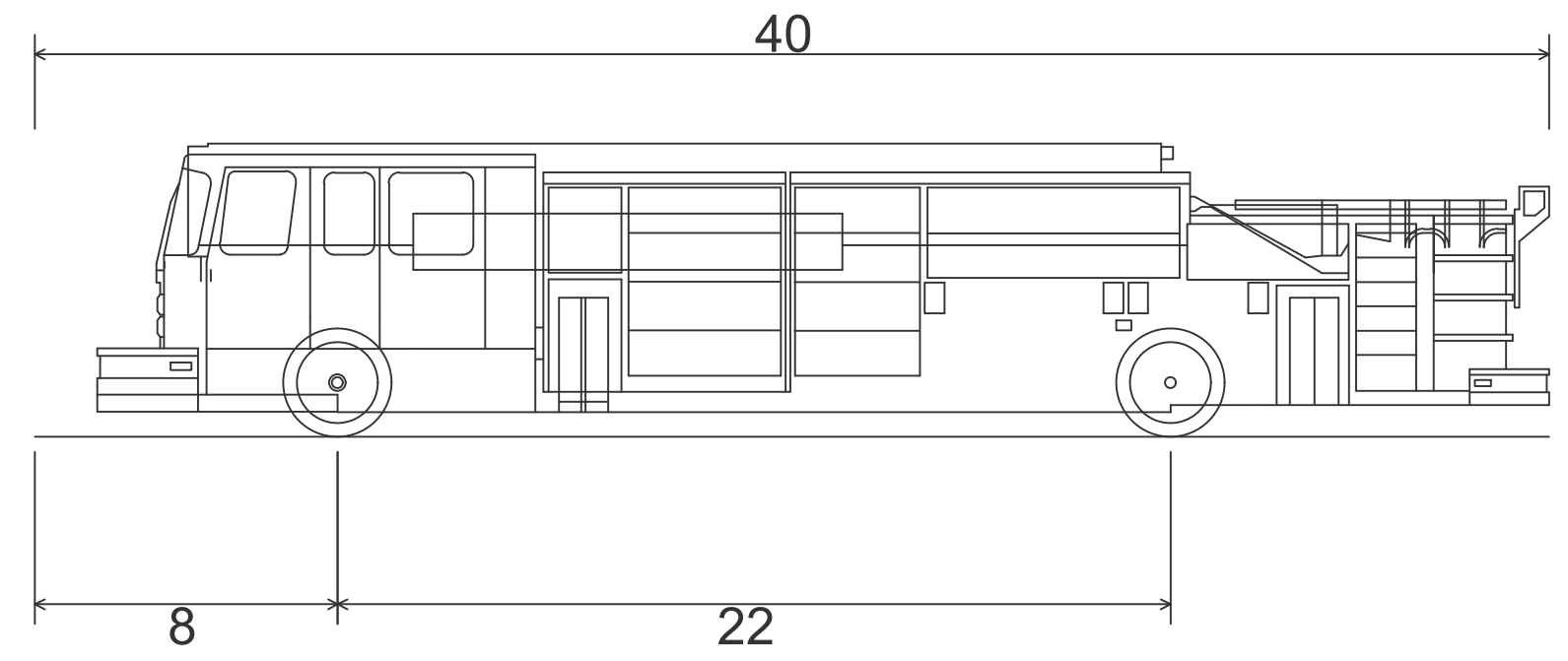
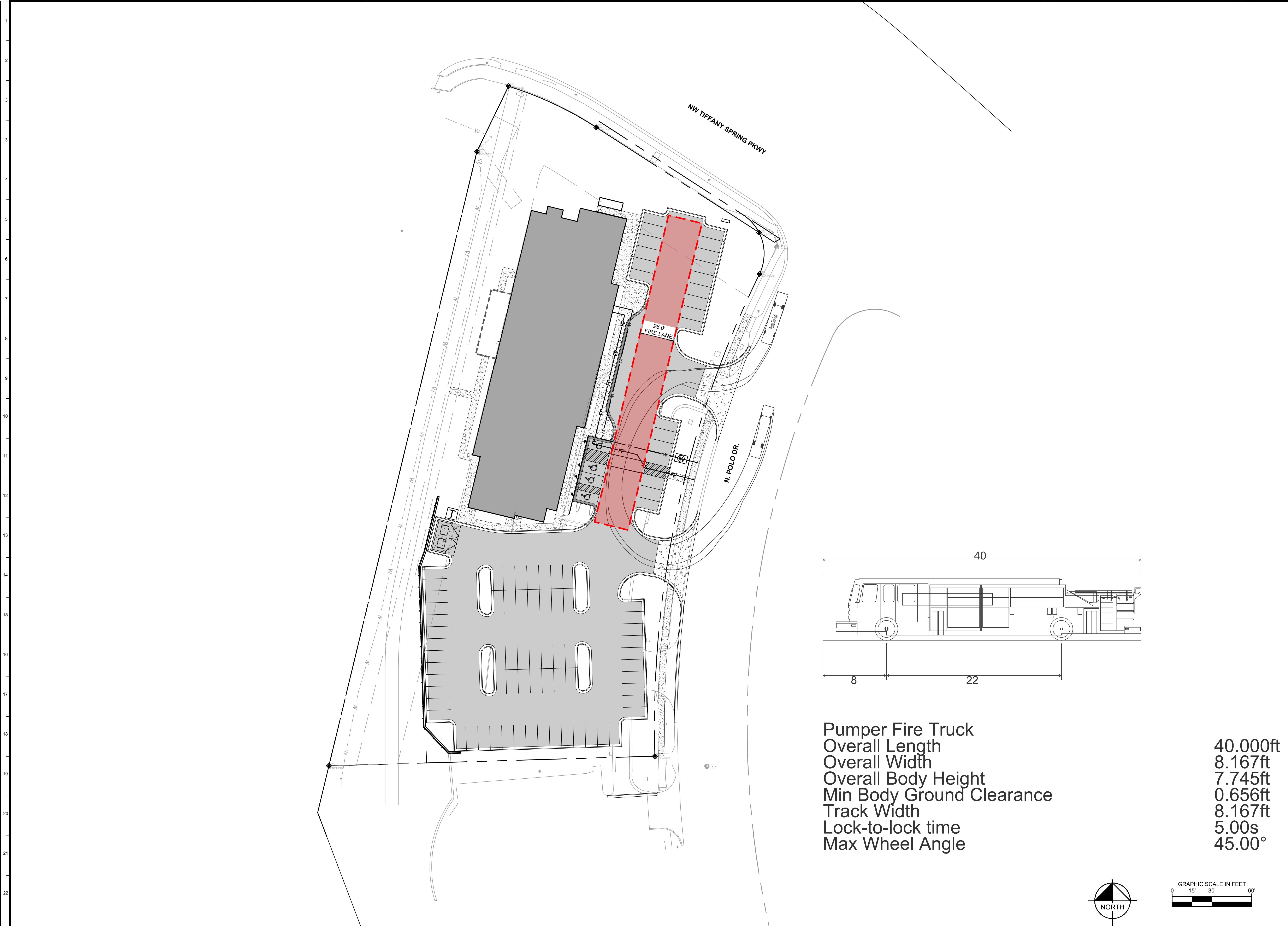
UTILITY LEGEND

| | |
|--|---|
| | PROPOSED STORM SEWER |
| | PROPOSED NYLOPLAST CURB INLET |
| | PROPOSED NYLOPLAST AREA INLET |
| | PROPOSED SANITARY SEWER |
| | PROPOSED SANITARY MANHOLE |
| | PROPOSED DOMESTIC WATER SERVICE LINE |
| | PROPOSED FIRE PROTECTION SERVICE LINE |
| | PROPOSED ROOF DRAIN |
| | PROPOSED WATER METER & VAULT PER KCMO STDS. |
| | PROPOSED LIGHT POLE (SEE MEP) |
| | PROPOSED TRANSFORMER PAD (FOR REFERENCE ONLY) |
| | EXISTING PUBLIC SANITARY SEWER MAIN |
| | EXISTING PUBLIC WATER MAIN |
| | EXISTING PUBLIC STORM SEWER |
| | EXISTING UNDERGROUND CATV |



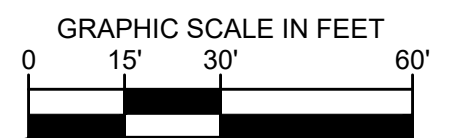
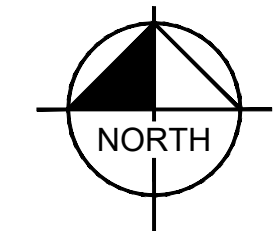
| | | | | | | |
|--|------------------|---------------|-----------------|---|---------------|------|
| KIMLEY-HORN | DESIGNED BY: KMR | DRAWN BY: KMR | CHECKED BY: MDK | SCALE: AS NOTED | CITY COMMENTS | DATE |
| © 2024 KIMLEY-HORN AND ASSOCIATES, INC. 800 PENNSYLVANIA AVE, SUITE 150 PHOENIX, AZ 85006 WWW.KIMLEY-HORN.COM | | | | | | |
| PRELIMINARY NOT FOR CONSTRUCTION | | | | UTILITY PLAN | | |
| LIVSMART STUDIOS KANSAS CITY DEVELOPMENT PLAN 10000 N. POLO DR. KANSAS CITY, MO 64153 | | | | ORIGINAL ISSUE: 02/23/2024 KHA PROJECT NO. 268432000 SHEET NUMBER C4 | | |

Drawing name: K:\KAC_LIB\268432000_Marquee Hotel KCMQZ Design\CAD\Plan\Sheet\CI SITE PLAN.dwg CI SITE PLAN (2) May 20, 2024 3:48pm by Kaitlin Raynor
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Pumper Fire Truck
 Overall Length
 Overall Width
 Overall Body Height
 Min Body Ground Clearance
 Track Width
 Lock-to-lock time
 Max Wheel Angle

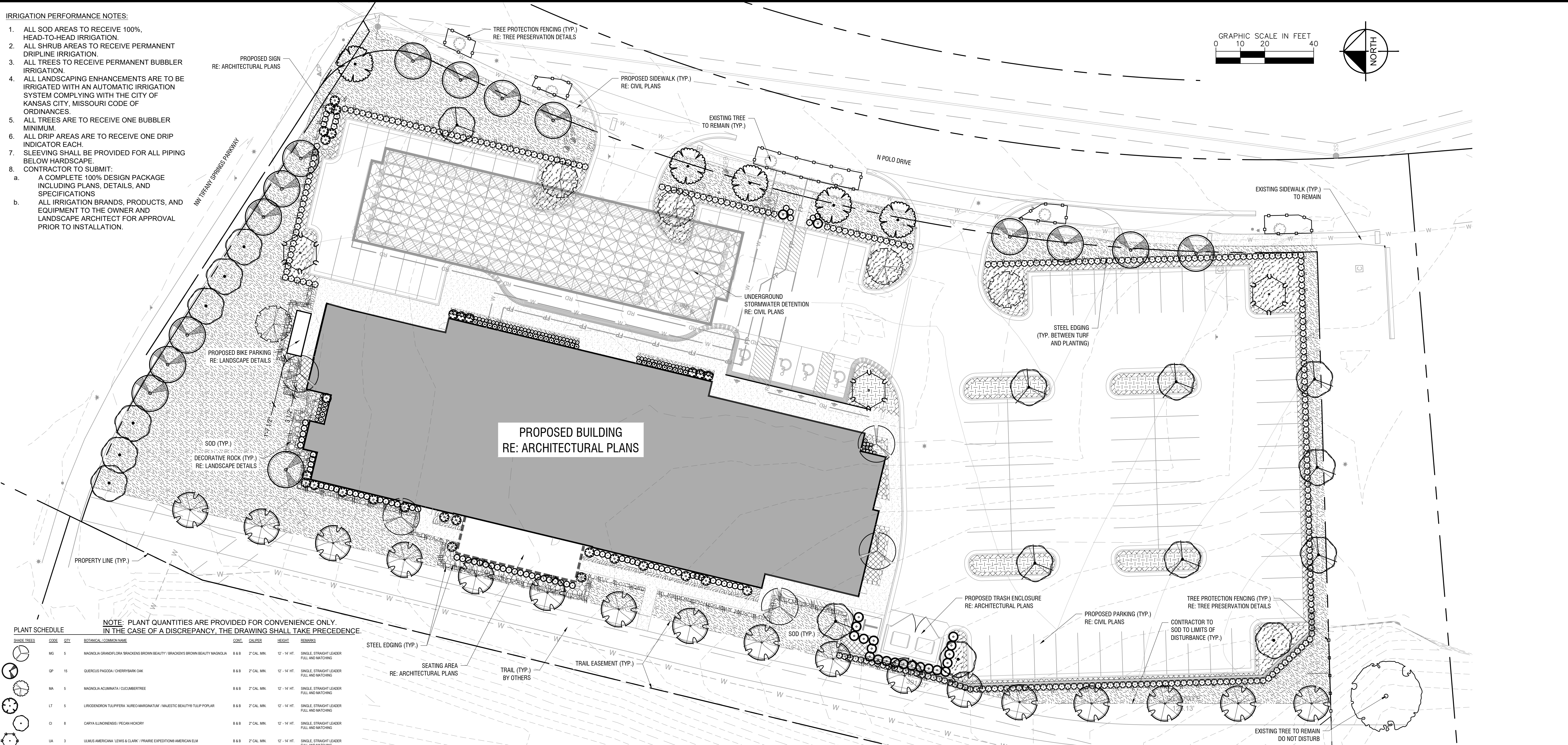
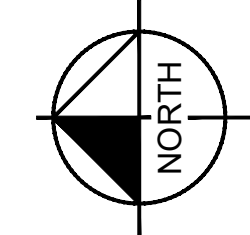
40.000ft
 8.167ft
 7.745ft
 0.656ft
 8.167ft
 5.00s
 45.00°



| | | | | | | | | | | |
|--|--|------------------------------|--|---------------------------|--|---|--|---------------------------------------|------------|-----------------|
| LIVSMART STUDIOS KANSAS CITY DEVELOPMENT PLAN 10000 N POLO DR. KANSAS CITY, MO 64153 | | FIRE TRUCK TURNING | | | | SCALE: AS NOTED DESIGNED BY: KMR DRAWN BY: KMR CHECKED BY: MDK | Kimley»Horn © 2023 KIMLEY-HORN AND ASSOCIATES, INC. 800 PENNSYLVANIA AVE, SUITE 100 PHOENIX, AZ 85006 WWW.KIMLEY-HORN.COM | CITY COMMENTS 05/17/24 05/29/24 | KMR KMR | BY: DATE: |
| ORIGINAL ISSUE: 02/23/2024 | | KHA PROJECT NO. 268432000 | | SHEET NUMBER C5 | | No. 1 REVISIONS | | 1 CITY COMMENTS | | 05/17/24 KMR |

IRRIGATION PERFORMANCE NOTES:

- 1. ALL SOD AREAS TO RECEIVE 100% HEAD-TO-HEAD IRRIGATION.
2. ALL SHRUB AREAS TO RECEIVE PERMANENT DRIPLINE IRRIGATION.
3. ALL TREES TO RECEIVE PERMANENT BUBBLER IRRIGATION.
4. ALL LANDSCAPING ENHANCEMENTS ARE TO BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM COMPLYING WITH THE CITY OF KANSAS CITY, MISSOURI CODE OF ORDINANCES.
5. ALL TREES ARE TO RECEIVE ONE BUBBLER MINIMUM.
6. ALL DRIP AREAS ARE TO RECEIVE ONE DRIP INDICATOR EACH.
7. SLEEVING SHALL BE PROVIDED FOR ALL PIPING BELOW HARDSCAPE.
8. CONTRACTOR TO SUBMIT:
a. A COMPLETE 100% DESIGN PACKAGE INCLUDING PLANS, DETAILS, AND SPECIFICATIONS.
b. ALL IRRIGATION BRANDS, PRODUCTS, AND EQUIPMENT TO THE OWNER AND LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.



NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE CASE OF A DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.

PLANT SCHEDULE table with columns: CODE, QTY, BOTANICAL COMMON NAME, CONT, SIZE, SPACING, REMARKS. Includes sections for SHADE TREES, SHRUBS, ROCKS, PERENNIALS, and SOD.

Kansas City, Missouri - Landscape Data Table. Site Area: 2.37 acres (103,238 sqft) - Community Business (B3-3). Includes sections for Tree Planting Requirements, General Landscaping Requirements, and Screening.

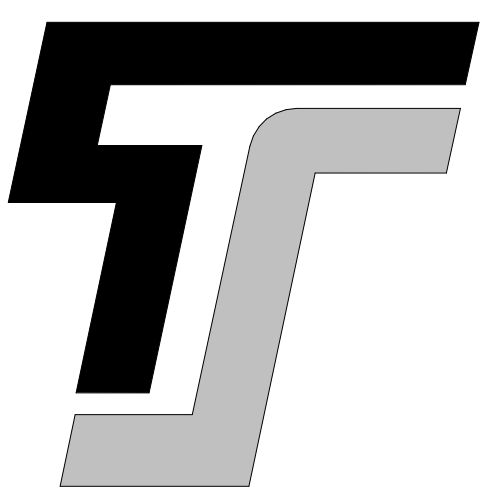
PLANTING NOTES:

- 1. CONTRACTOR TO SOD TO LIMITS OF DISTURBANCE.
2. ALL PLANT MATERIAL SHALL BE INSTALLED ACCORDING TO SOUND NURSERY PRACTICES AND SHALL MEET ALL STANDARDS AS STATED IN THE LATEST EDITION OF 'AMERICAN STANDARD FOR NURSERY STOCK' BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
3. NO SUBSTITUTIONS IN PLANT MATERIALS SHALL BE MADE WITHOUT WRITTEN AUTHORIZATION FROM OWNER OR LANDSCAPE ARCHITECT.
4. LOCATE ALL UTILITIES PRIOR TO ANY AND ALL PLANTING OR DIGGING OPERATIONS.
5. TREE STAKING: REFER TO TYPICAL TREE PLANTING DETAIL FOR TREE STAKING.
6. PLANTS MASSES IN BEDS SHALL BE ARRANGED USING TRIANGULAR SPACING.
7. PROVIDE A LANDSCAPE EDGE BETWEEN ALL PLANTING BEDS AND LAWN AREAS.
8. CONTRACTOR SHALL WARRANTY PLANT MATERIAL TO REMAIN ALIVE AND HEALTHY FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE.
9. LAY TALL FESCUE SOD FOR PROPOSED LAWN AREAS TO ALL EDGES OF PAVEMENT AND/OR LIMITS SPECIFIED IN LANDSCAPE PLAN.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPING UNTIL FINAL ACCEPTANCE.
11. CONTRACTOR SHALL WARRANTY PLANT MATERIAL TO REMAIN ALIVE AND HEALTHY FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE.
12. ALL LANDSCAPE BED AREAS TO BE PREPARED USING 'ORGANICALLY ENRICHED TOP SOIL' BY MISSOURI ORGANIC.
13. ALL SOD AREAS TO RECEIVE 4" DEPTH (MIN.) TOPSOIL PRIOR TO INSTALLATION.
14. FERTILIZER: FERTILIZE SEEDBED AREAS WITH AN APPROVED COMMERCIAL TYPE, SLOW RELEASE, AT A RATE OF 400 LBS/ACRE.
15. REFER TO THE LANDSCAPE SPECIFICATIONS FOR REQUIRED SUBMITTALS.

TREE PROTECTION NOTES:

- 1. CONTRACTOR SHALL ADHERE TO ALL TREE PRESERVATION REQUIREMENTS LISTED IN THE TREE PRESERVATION SPECIFICATIONS AND/OR THE CITY OR COUNTY ZONING CODE (LATEST EDITION).
2. CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION PROCEDURES WITH THE PROJECT ARBORIST PRIOR TO BEGINNING WORK.
3. ANY DEMOLITION OR EXCAVATION WITHIN THE DRIP LINE OF AN EXISTING TREE SHALL PROCEED WITH EXTREME CARE EITHER BY THE USE OF HAND TOOLS, DIRECTIONAL BORING, AIR KNIFE EXCAVATION, AND/OR WITH OTHER LOW IMPACT EQUIPMENT THAT WILL NOT CAUSE DAMAGE TO THE TREE, ROOTS, OR SOIL.
4. EXISTING TREE LOCATIONS AND SIZES ARE ESTIMATES BASED ON A SURVEY PROVIDED BY THE OWNER.
5. NO SIGNS, BUILDING PERMITS, WIRES, OR OTHER ATTACHMENTS OF ANY KIND SHALL BE ATTACHED TO ANY TREE.
6. CONTRACTOR SHALL COORDINATE TREE REMOVAL WITH PERMITTING AGENCY AND PROJECT ARBORIST PRIOR TO CONSTRUCTION.
7. DO NOT INSTALL CONDUIT, DRAIN OR IRRIGATION LINE, OR ANY UTILITY LINE WITHIN THE TREE PROTECTION ZONE WITHOUT THE APPROVAL OF THE PROJECT ARBORIST.
8. CONSTRUCTION ACTIVITY SHALL NOT DESTROY OR IRREVERSIBLY HARM THE ROOT SYSTEM OF PROTECTED TREES.
9. IF TREE ROOT ZONE IS TO BE DISTURBED, AFFECTED ROOTS MUST BE SEVERED BY CLEAN PRUNING CUTS AT THE POINT WHERE CONSTRUCTION IMPACTS THE ROOTS.
10. ROOT PRUNING/TRENCHING LOCATIONS SHALL BE APPROVED IN THE FIELD BY THE PROJECT ARBORIST.
11. CONTRACTOR TO COORDINATE ALL EARTHWORK OPERATIONS WITH THE PROJECT ARBORIST PRIOR TO BEGINNING WORK.
12. IF ANY DAMAGE TO TREE PROTECTION FENCING SHOULD OCCUR BY ACCIDENT OR NEGLIGENCE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMMEDIATE REPAIRS.
13. CONTRACTOR'S ACCESS TO FENCED TREE PROTECTION AREAS SHALL BE PERMITTED ONLY WITH APPROVAL OF THE PROJECT ARBORIST.
14. NO MATERIALS, EQUIPMENT, SPOIL, WASTE, OR WASHOUT WATER MAY BE DISPOSED, STORED, OR PARKED WITHIN 20 FEET OF ANY TREE PROTECTION ZONE.
15. CONTRACTOR SHALL COORDINATE WITH THE PROJECT ARBORIST PRIOR TO REMOVAL OF TREE PROTECTION FENCING.

Project information block including: Kimley-Horn logo, scale (AS NOTED), design and drawing by (CNS), checked by (SAR), date, and project title: LANDSCAPE ARCHITECTURAL DEVELOPMENT PLAN.



TYPE-SIX

**TYPE-SIX
DEVELOPMENT SERVICES, LLC**
910 SOUTH MAIN STREET #150
GRAPEVINE, TEXAS 76054
972.677.9075



**LIVSMART STUDIOS
MARQUEE HOSPITALITY**

10000 N POLO DR
KANSAS CITY, MO 64153

PROJECT # 00000

ARCHITECT
D. HAYES HINKLE

ISSUE DATE
17 MAY 2024

ISSUED FOR
REVIEW

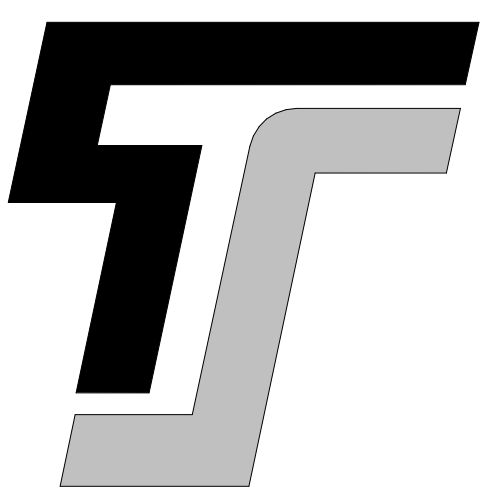
Revision Date

| # | Revision | Date |
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SHEET NAME
RENDER CONCEPT

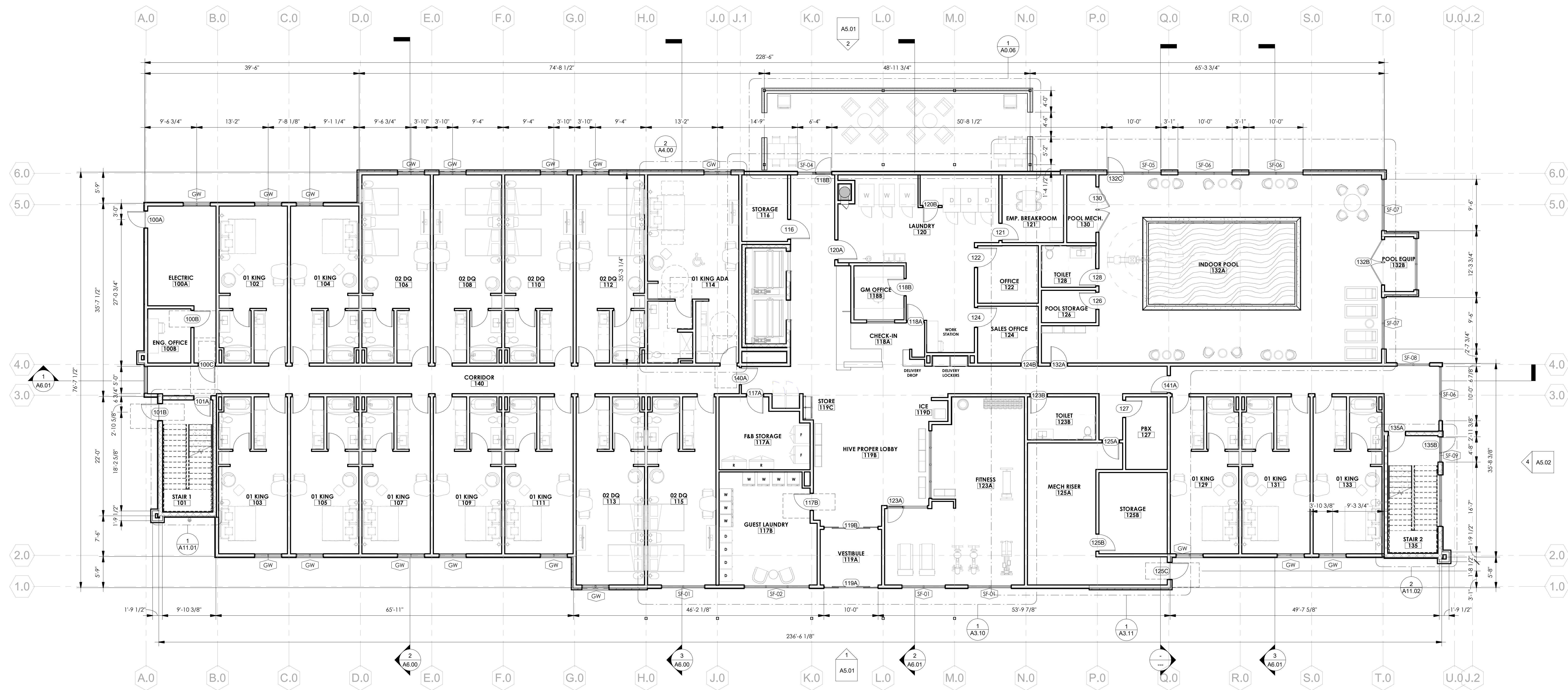
SHEET NUMBER
A20.00





TYPE-SIX

TYPE-SIX DEVELOPMENT SERVICES, LLC
910 SOUTH MAIN STREET #150
GRAPEVINE, TEXAS 76054
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1 01 KING - DIMENSION PLAN
1/8" = 1'-0"

GENERAL FLOOR PLAN NOTES

- THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DRAWINGS, THESE NOTES AND FIELD CONDITIONS BEFORE COMMENCING ANY WORK AND REQUEST CLARIFICATION.
- REFER TO A8.00 FOR PARTITION TYPES
- REFER TO SHEET A15.00 FOR DOOR SCHEDULES, DOOR FRAMES AND DOOR TYPES
- REFER TO G SERIES SHEETS FOR CODE REFERENCES, CODE COMPLIANCE PLANS, PENETRATION DETAILS AND ACCESSIBILITY INFORMATION.
- PROVIDE ACCESSIBLE GUEST ROOMS PER THE TEXAS ACCESSIBILITY STANDARDS. REFER TO G SERIES SHEETS FOR ADDITIONAL INFORMATION.
- ALL DIMENSIONS ARE TO FACE OF STUD, CONCRETE, MASONRY OR TO THE GRID LINE, UNLESS NOTED OTHERWISE. REFER TO STRUCTURAL FOR SLAB DIMENSIONS.
- ALL GRID LOCATIONS AND GRID DIMENSIONS ARE TO BE VERIFIED BY CONTRACTOR PRIOR TO COMMENCEMENT OF WORK.
- ALL MISCELLANEOUS SUPPORT STEEL EXPOSED TO THE EXTERIOR SHALL BE GALVANIZED AND COATED WITH A HIGH-PERFORMANCE COATING, UNLESS NOTED OTHERWISE.
- PROVIDE AUTOMATIC FIRE SUPPRESSION SYSTEM FOR ENTIRE BUILDING PER NFPA 13. SYSTEM SHALL BE UNDER SEPARATE PERMIT. COORDINATE WITH CERTIFIED FIRE SPRINKLER CONTRACTOR.
- ALL STRUCTURAL STEEL COLUMNS AND BEAMS REQUIRED TO BE PROTECTED TO MEET A FIRE RATING SHALL BE INDIVIDUALLY PROTECTED PRIOR TO INSTALLATION OF ADJACENT PARTITIONS, WALLS, CEILINGS OR ROOF FRAMING.
- FURNITURE, FIXTURES AND EQUIPMENT (FFE) ARE TO BE COORDINATED WITH OWNER. CONTRACTOR TO PROVIDE RESPONSIBILITY MATRIX TO ENSURE ALL ELEMENTS ARE ACCOUNTED FOR.
- PROVIDE NECESSARY BLOCKING FOR SURFACE MOUNTED FIXTURES, ACCESSORIES, AND EQUIPMENT.
- FINISHES SHALL MEET PROPER FLAME SPREAD AND SMOKE SPREAD, 2015 IFC, SECTION 803.
- CAULK CONTINUOUSLY AT PERIMETER OF DOOR AND WINDOW FRAMES. CAULK AFTER WALL COVERING IS INSTALLED.
- REFER TO MOUNTING HEIGHT SCHEDULE FOR TOILET AND BATH ACCESSORIES IN ALL BATHROOMS.
- SIGNAGE IS OWNER PROVIDED. SIGNAGE SHALL MEET BUILDING CODE REQUIREMENTS AND ANSI A117.1 REQUIREMENTS FOR ACCESSIBILITY.
- PROVIDE TACTILE EXIT SIGNS AT EXIT DOOR LOCATIONS. SIGNAGE SHALL COMPLY WITH ICC/ANSI A117.1 AT STOREFRONT LOCATION. PROVIDE TACTILE SIGN THAT FITS WITHIN THE STOREFRONT MULLION FRAME WIDTH. MOUNT BOTTOM OF CHARACTERS AT 48" MIN. AND 60" MAX. ABOVE FINISH FLOOR.
- PROVIDE TACTILE SIGNAGE OUTSIDE THE TOILET ROOM PER 1110.1 AND ICC/ANSI A117.1. MOUNT BOTTOM OF CHARACTERS AT 48" MIN. AND 60" MAX ABOVE FLOOR.
- PROVIDE STAINLESS STEEL CORNER GUARDS AT ALL OUTSIDE CORNERS IN KITCHEN, LAUNDRY ROOMS, STORAGE, MAINTENANCE AND BACK-OF-HOUSE CORRIDORS. PROVIDE PLASTIC CORNER GUARDS AT ALL OUTSIDE CORNERS IN BACK-OF-HOUSE WORK ROOMS AND OFFICES. REFERENCE SPECIFICATION SECTION 102600 FOR TYPES AND HEIGHTS OF CORNER GUARD. ALL OUTSIDE CORNERS AT BACK-OF-HOUSE AREAS ARE TO HAVE CORNER GUARDS. REFER TO INTERIOR DESIGN DRAWING FOR CORNER GUARDS AT PUBLIC AREAS TO BE PROVIDED BY GC.
- ALL WALL OUTLETS ON ELEVATIONS ARE DIMENSIONED TO CENTER LINE, UNLESS NOTED OTHERWISE.
- ALL DEVICES ADJACENT TO WET AREAS SHALL BE GFCI PER NEC REQUIREMENTS.
- ALL WOOD BLOCKING AND PLYWOOD IN EXTERIOR WALLS, PARAPETS, AND ROOF CONSTRUCTION SHALL BE EXTERIOR (PRESSURE) AND FIRE RETARDANT-TREATED (FRTW). ALL INTERIOR PLYWOOD SHALL BE FIRE RETARDANT-TREATED (FRTW). ONLY INTERIOR MISCELLANEOUS WOOD BLOCKING SHALL BE ALLOWED TO BE NON-FIRE-RETARDANT TREATED AND INTERIOR WOOD BLOCKING ADJACENT TO CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
- WHERE MECHANICAL AND ELECTRICAL DEVICES AND PARTS ARE CONCEALED AND REQUIRE ACCESS, PROVIDE ACCESS DOORS AND FRAMES PER SPECIFICATIONS. FIRE RATED ASSEMBLIES SHALL BE MAINTAINED.
- TYPICAL AT EXPOSED SIDES OF CONCRETE COLUMNS UNLESS OTHERWISE NOTED. PROVIDE 5/8" GYPSUM BOARD OVER 1 1/2" METAL STUDS AT 16" O.C. AND EXTEND ABOVE CEILING.
- ALL GYPSUM BD. FINISH FACES OF DIFFERING SUBSTRATES (i.e. 1 1/2" MTL. FURRING ADJACENT TO 3 5/8" METAL STUDS) SHALL ALIGN.
- REFER TO A9 SHEETS FOR ENLARGED GUESTROOM INFORMATION.
- FINAL ROOM NAMES AND SIGNAGE SHALL BE CONFIRMED BY OWNER PRIOR TO PURCHASE AND INSTALLATION.

| HOTEL INFORMATION | | | | |
|----------------------|--|-----------|-----------------|-----------|
| BUILDING SF | FIRST FLOOR SF: | 18,816 SF | UPPER FLOOR SF: | 18,816 SF |
| | TOTAL SF: | 75,264 SF | | |
| BUILDING INFORMATION | NUMBER OF FLOORS: | 4 FLOORS | | |
| | NUMBER OF GUESTROOMS: | 109 | | |
| AMENITIES | INDOOR POOL OUTDOOR LOUNGE FITNESS CORPORATE OFFICE | | | |
| GUESTROOM MIX | | | | |
| FLOOR | 1 | 2 | 3 | 4 |
| Q0 | 6 | 20 | 19 | 20 |
| K | 11 | 11 | 11 | 11 |
| | TOTAL GUESTROOMS 109 | | | |

| GENERAL FLOOR PLAN SYMBOLS | |
|----------------------------|--|
| (B) | KEYNOTE TAG - REFERENCE KEYNOTE SCHEDULE |
| (101) | DOOR TAG - REFERENCE DOOR SCHEDULE A15.00 |
| SF-00 | STOREFRONT TAG - REFERENCE WINDOW SCHEDULE A16.00 |
| (A) | WINDOW TAG - REFERENCE WINDOW SCHEDULE A16.00 |
| (P) | PARTITION TAG - REFERENCE PARTITION SCHEDULE A8.00 |
| (R) | ROOM ADA SYMBOL |
| (H) | ROOM HEARING-IMPAIRED SYMBOL |
| CR | CARD READER |
| FE | FIRE EXTINGUISHER |

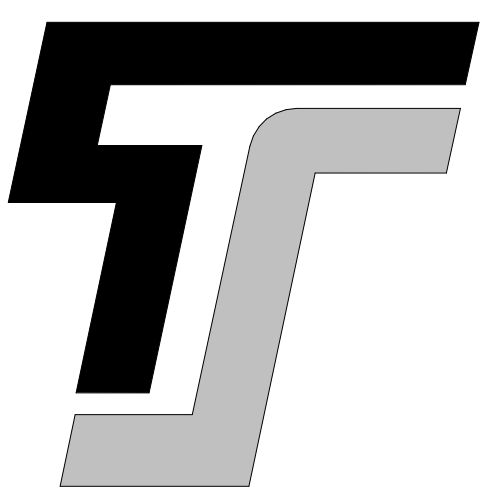
LIVSMART STUDIOS
MARQUEE HOSPITALITY
10000 N POLO DR
KANSAS CITY, MO 64153
PROJECT # 00000

ARCHITECT
D. HAYES HINKLE
ISSUE DATE
29 MAY 2024
ISSUED FOR
REVIEW

| # | Revision | Date |
|---|----------|------|
| 1 | | |

SHEET NAME
01 DIMENSION PLAN
SHEET NUMBER
A1.01





TYPE-SIX

TYPE-SIX DEVELOPMENT SERVICES, LLC
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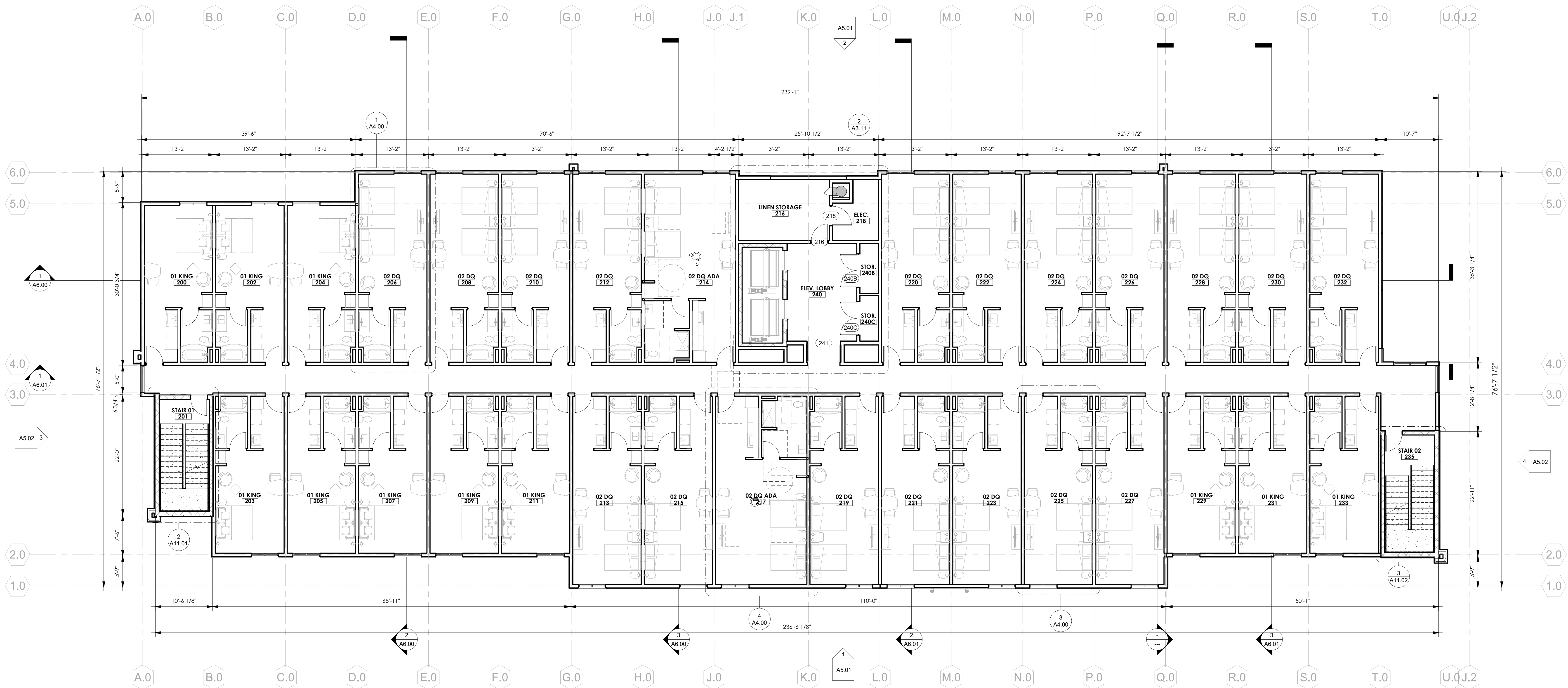
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SHEET NAME

02 DIMENSION PLAN

SHEET NUMBER

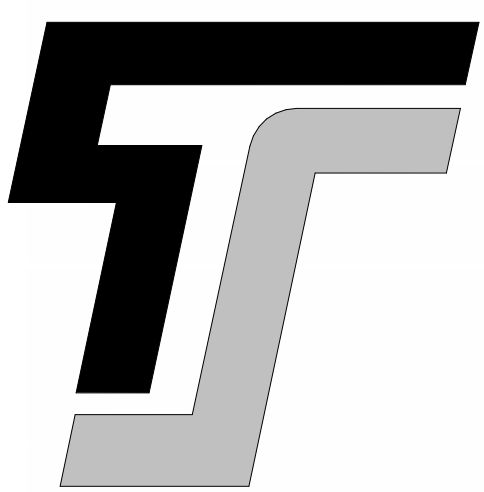
A1.02



1 TYPICAL UPPER FLOOR - DIMENSION PLAN
1/8" = 1'-0"

| HOTEL INFORMATION | | GENERAL FLOOR PLAN SYMBOLS | |
|----------------------|---|----------------------------|--|
| BUILDING SF | FIRST FLOOR SF: 18,816 SF UPPER FLOOR SF: 18,816 SF TOTAL SF: 75,264 SF | (6) | KEYNOTE TAG - REFERENCE KEYNOTE SCHEDULE |
| BUILDING INFORMATION | NUMBER OF FLOORS: 4 FLOORS NUMBER OF GUESTROOMS: 109 | (101) | DOOR TAG - REFERENCE DOOR SCHEDULE A15.00 |
| AMENITIES | INDOOR POOL OUTDOOR LOUNGE FITNESS CORPORATE OFFICE | (SF-00) | STOREFRONT TAG - REFERENCE WINDOW SCHEDULE A16.00 |
| GUESTROOM MIX | | (A) | WINDOW TAG - REFERENCE WINDOW SCHEDULE A16.00 |
| FLOOR | 1 2 3 4 TOTAL | (A-1) | PARTITION TAG - REFERENCE PARTITION SCHEDULE A8.00 |
| QQ | 6 20 19 20 65 | (A-2) | ROOM ADA SYMBOL |
| K | 11 11 11 11 44 | (A-3) | ROOM HEARING IMPAIRED SYMBOL |
| | TOTAL GUESTROOMS 109 | (CR) | CARD READER |
| | | (FE) | FIRE EXTINGUISHER |

- GENERAL FLOOR PLAN NOTES**
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TYPE-SIX

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GRAPEVINE, TEXAS 76054
972.677.9075



- TOP PARAPET 60' - 0"
- HIGH PARAPET 56' - 0"
- LOW PARAPET 52' - 0"
- ROOF LEVEL 47' - 6"
- 04 LEVEL 36' - 3 3/4"
- 03 LEVEL 25' - 1 7/8"
- 02 LEVEL 14' - 0"
- 01 LEVEL 0' - 0"

1 EAST ELEVATION
1/8" = 1'-0"



- TOP PARAPET 60' - 0"
- HIGH PARAPET 56' - 0"
- LOW PARAPET 52' - 0"
- ROOF LEVEL 47' - 6"
- 04 LEVEL 36' - 3 3/4"
- 03 LEVEL 25' - 1 7/8"
- 02 LEVEL 14' - 0"
- 01 LEVEL 0' - 0"

2 WEST ELEVATION
1/8" = 1'-0"

| MATERIAL CALLOUTS | ADDITIONAL NOTES: | ELEVATION KEYNOTES |
|--|--|--------------------|
| B-1 DARK BRICK - KING SIZE ACME MANGANESE IRONSPOT OR SIMILAR | <ul style="list-style-type: none"> • ALL SIGNAGE SUBJECT TO BUILDING INSPECTION DEPARTMENT APPROVAL. • MECHANICAL UNITS SHALL BE SCREENED IN ACCORDANCE WITH LOCAL CITY AND ZONING ORDINANCES. • UTILITY BOXES AND CONDUIT SHALL BE PAINTED TO MATCH BUILDING COLOR. • KING SIZE, FACE BRICK, WITH 3/8" CONCAVE GROUT JOINT-MORTAR TO BE MATCHED TO GROUT. • CONTRACTOR TO ENSURE METAL PANELS ARE INSTALLED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATION. • SIGN DESIGNED AND FABRICATED BY APPROVED VENDOR TO MEET BRAND STANDARDS. FOR LOCATION ONLY. • ALL UTILITY BOXES AND METERS SHALL BE PAINTED TO MATCH SURROUNDING BUILDING FACADE. • FINAL SIGN DESIGN TO BE DRAFTER BY THIRD PARTY CONTRACTOR TO ENSURE FINAL SIGN PACKAGE IS SUBMITTED APPROVED BY THE BRAND. | |
| EF-1 DARK COLOR EIFS | | |
| EF-2 GREY COLOR EIFS | | |
| EF-3 WHITE EIFS | | |
| EF-4 TAUPE COLOR EIFS | | |
| NH-1 NICHHA VINTAGE WOOD CEDAR OR SIMILAR | | |
| LF-1 LOUVER FINISH - DARK BRONZE TO MATCH STOREFRONT | | |
| AF-1 ALUMINUM PARAPET FLASHING TO MATCH STOREFRONT | | |
| GL EXTERIOR WINDOWS: STOREFRONT WINDOW SYSTEM | | |
| SF STOREFRONT - KAWNEER - "DARK BRONZE # 40" | | |
| SP SPANDREL | 38% TRANSPARENCY ON 1ST FLOOR > 33% PARKWAY REQUIREMENTS | |

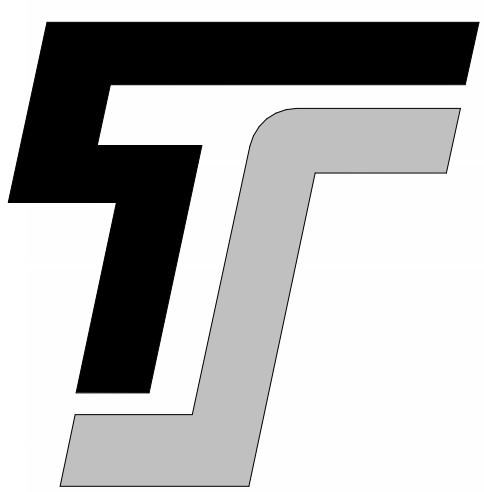
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PROJECT # 00000

ARCHITECT
D. HAYES HINKLE
ISSUE DATE
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ISSUED FOR
REVIEW

| # | Revision | Date |
|---|----------|------|
| | | |
| | | |

SHEET NAME
BUILDING ELEVATIONS
SHEET NUMBER
A5.01





TYPE-SIX

TYPE-SIX DEVELOPMENT SERVICES, LLC
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 GRAPEVINE, TEXAS 76054
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SHEET NAME

BUILDING ELEVATIONS

SHEET NUMBER

A5.02

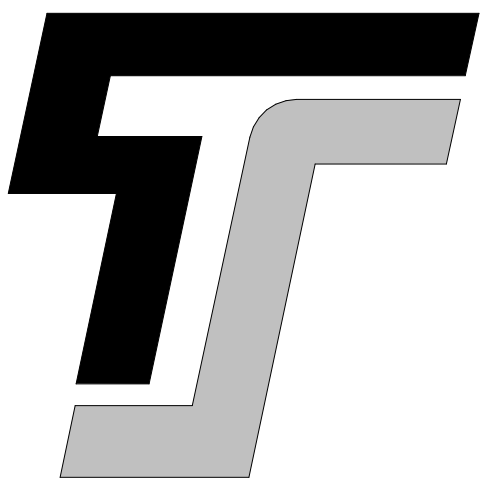


3 SOUTH ELEVATION
 1/8" = 1'-0"



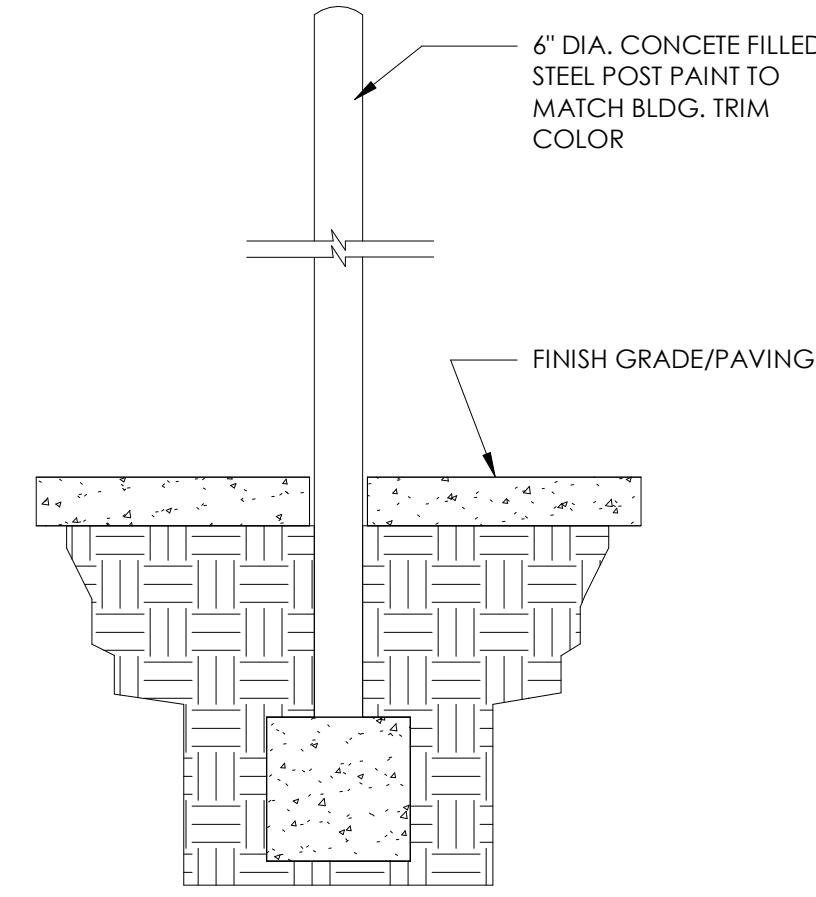
4 NORTH ELEVATION
 1/8" = 1'-0"

| MATERIAL CALLOUTS | ADDITIONAL NOTES: | ELEVATION KEYNOTES |
|--|--|--------------------|
| B-1 DARK BRICK - KING SIZE ACME MANGANESE IRONSPOT OR SIMILAR | <ul style="list-style-type: none"> ALL SIGNAGE SUBJECT TO BUILDING INSPECTION DEPARTMENT APPROVAL. MECHANICAL UNITS SHALL BE SCREENED IN ACCORDANCE WITH LOCAL CITY AND ZONING ORDINANCES. UTILITY BOXES AND CONDUIT SHALL BE PAINTED TO MATCH BUILDING COLOR. KING SIZE FACE BRICK, WITH 3/8" CONCAVE GROUT JOINT-MORTAR TO BE MATCHED TO GROUT. CONTRACTOR TO ENSURE METAL PANELS ARE INSTALLED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATION. SIGN DESIGNED AND FABRICATED BY APPROVED VENDOR TO MEET BRAND STANDARDS. FOR LOCATION ONLY. ALL UTILITY BOXES AND METERS SHALL BE PAINTED TO MATCH SURROUNDING BUILDING FACADE. FINAL SIGN DESIGN TO BE DRAFTER BY THIRD PARTY CONTRACTOR TO ENSURE FINAL SIGN PACKAGE IS SUBMITTED APPROVED BY THE BRAND. 38% TRANSPARENCY ON 1ST FLOOR > 33% PARKWAY REQUIREMENTS | |
| EF-1 DARK COLOR EIFS | | |
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| EF-4 TAUPE COLOR EIFS | | |
| NH-1 NICHIIHA VINTAGE WOOD CEDAR OR SIMILAR | | |
| LF-1 LOUVER FINISH - DARK BRONZE TO MATCH STOREFRONT | | |
| AF-1 ALUMINUM PARAPET FLASHING TO MATCH STOREFRONT | | |
| GL EXTERIOR WINDOWS: STOREFRONT WINDOW SYSTEM | | |
| SP STOREFRONT - KAWNEER - "DARK BRONZE #40" | | |
| B-1 SPANDREL | | |

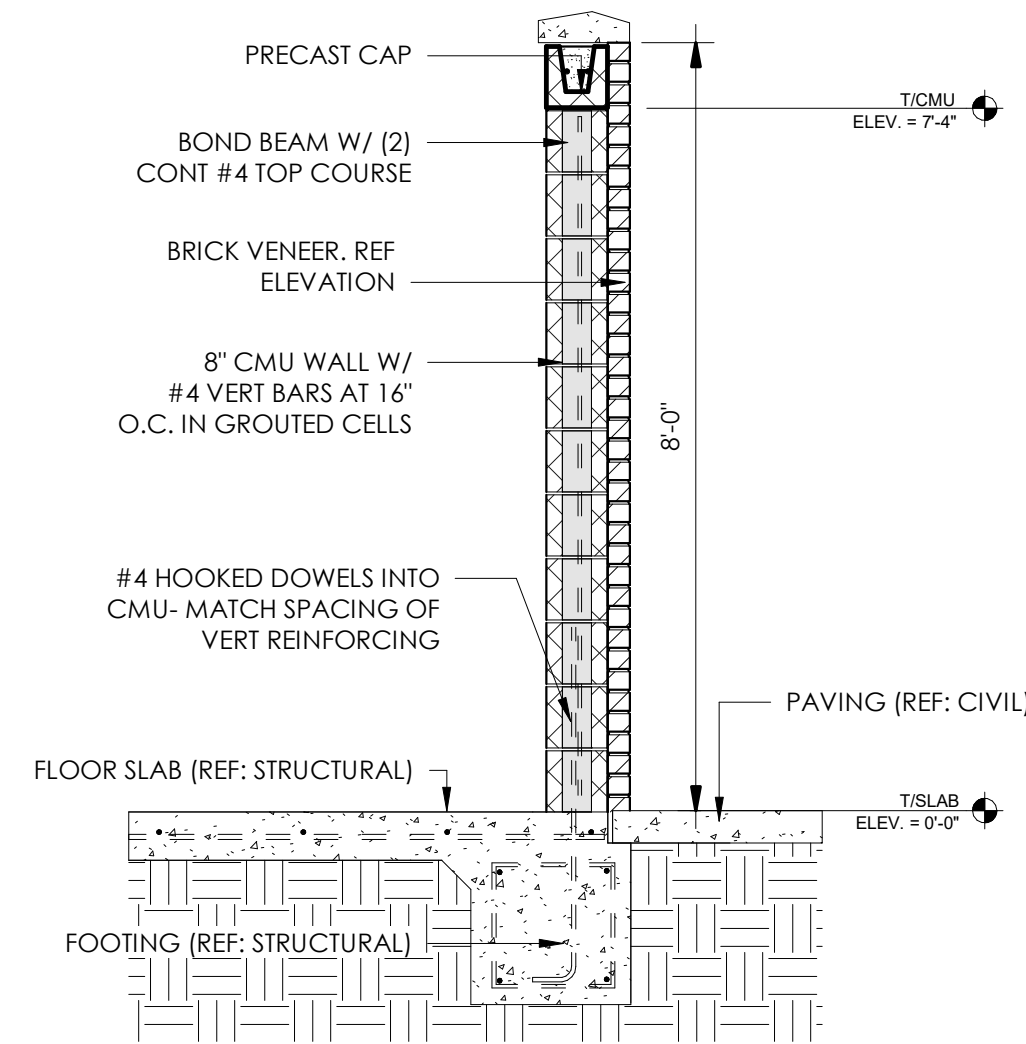


TYPE-SIX

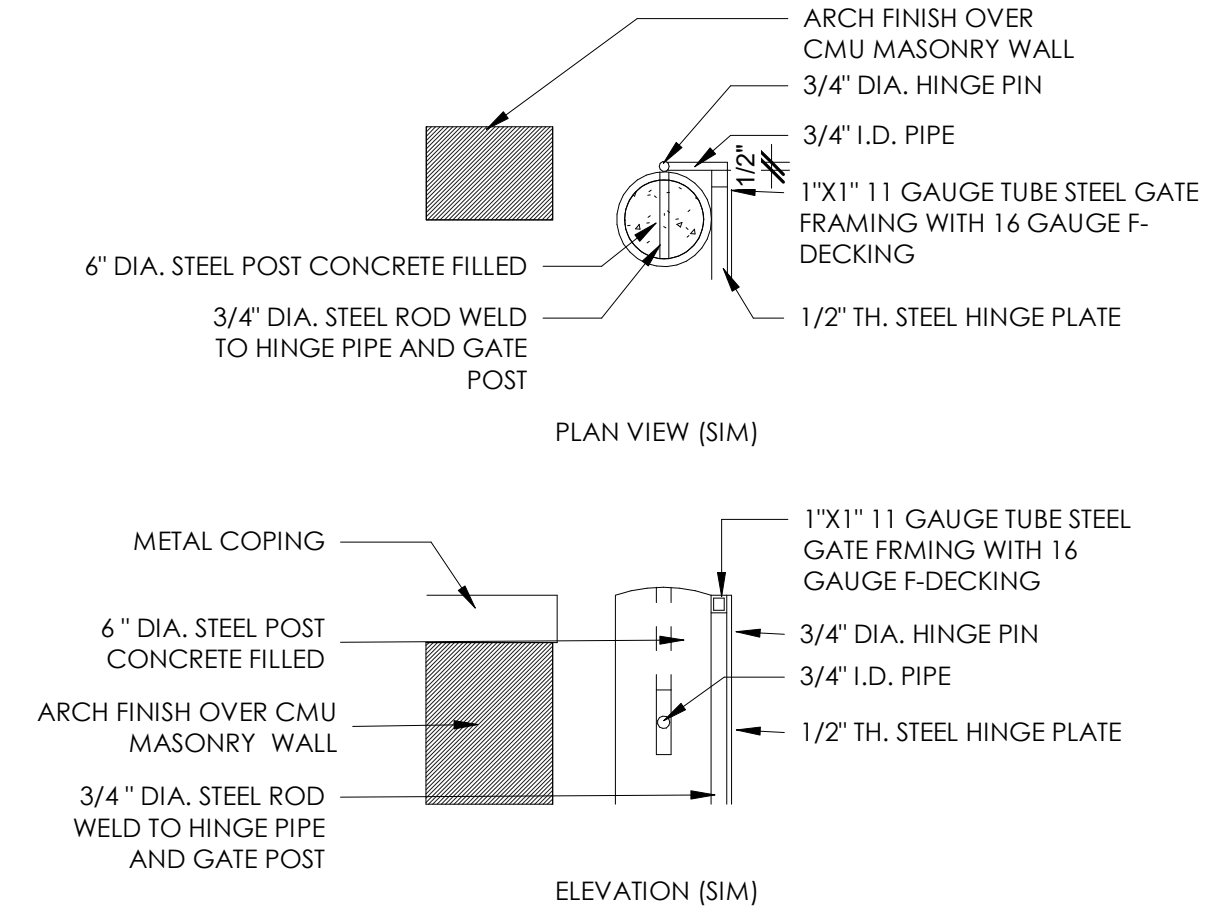
**TYPE-SIX
DEVELOPMENT SERVICES, LLC**
910 SOUTH MAIN STREET #150
GRAPEVINE, TEXAS 76054
972.677.9075



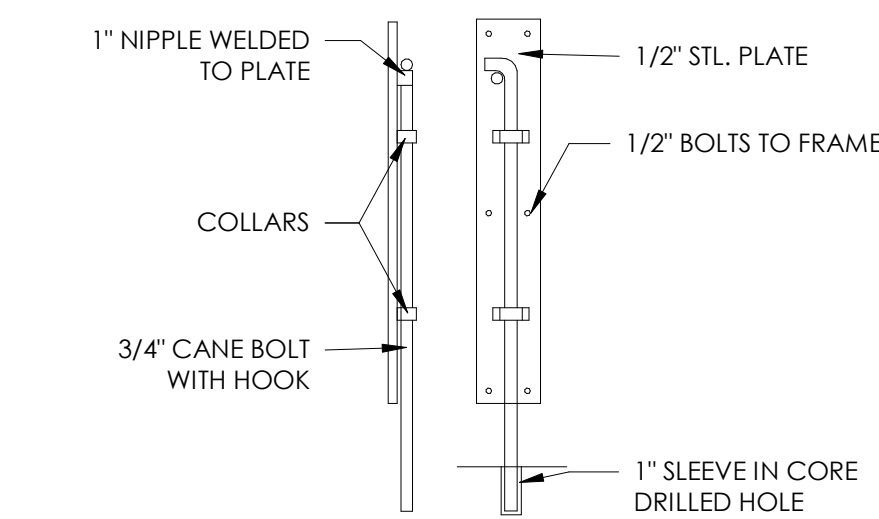
1 BOLLARD DETAIL
1/2" = 1'-0"



9 DUMPSTER ENCLOSURE SECTION
1/2" = 1'-0"

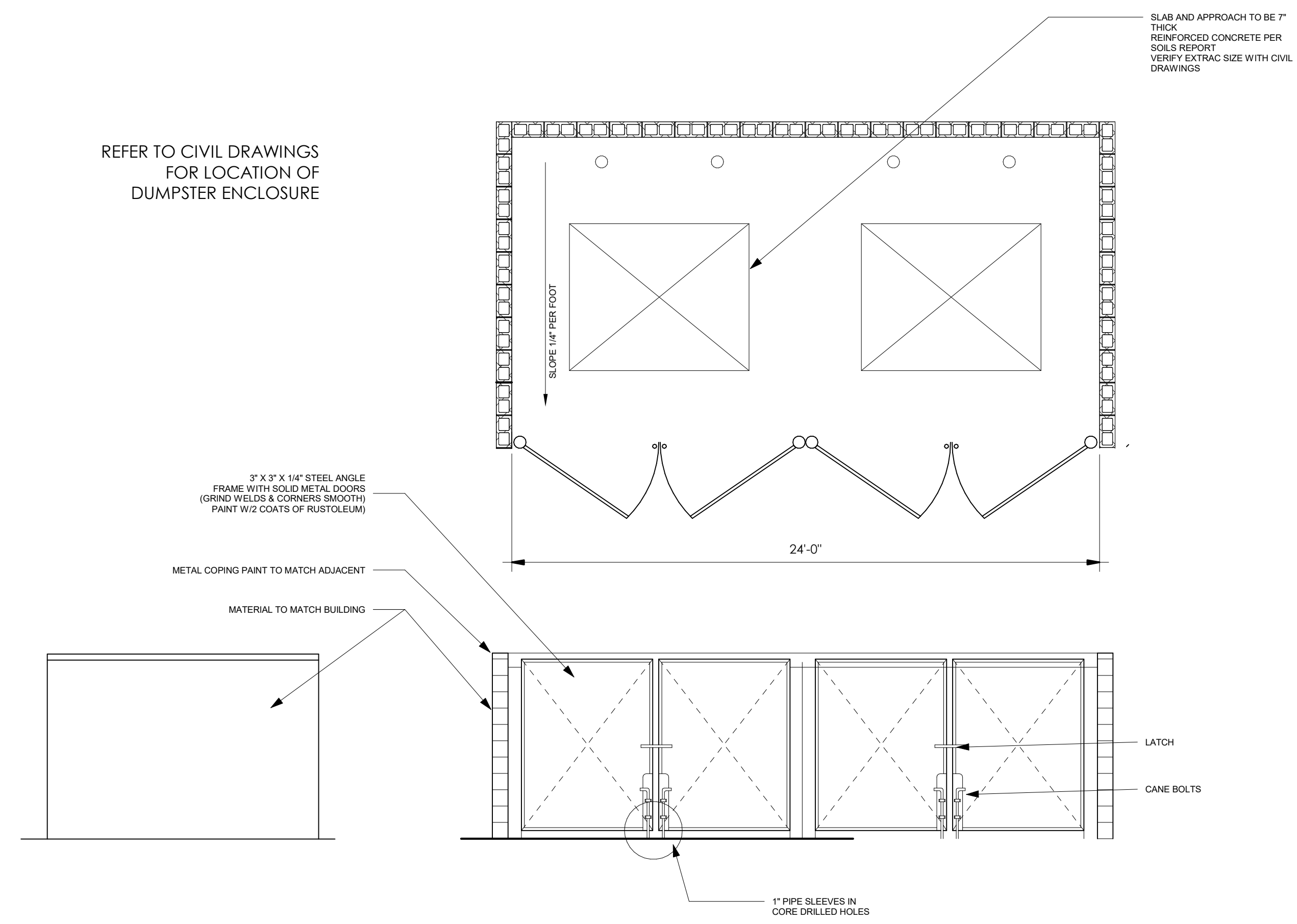


4 DUMPSTER GATE HINGE
1" = 1'-0"



2 CANE BOLT
1" = 1'-0"

REFER TO CIVIL DRAWINGS
FOR LOCATION OF
DUMPSTER ENCLOSURE



3 DUMPSTER ENCLOSURE
1/4" = 1'-0"

LIVSMART STUDIOS
MARQUEE HOSPITALITY
10000 N POLO DR
KANSAS CITY, MO 64153

PROJECT # 00000

ARCHITECT
D. HAYES HINKLE

ISSUE DATE
29 MAY 2024

ISSUED FOR
REVIEW

| # | Revision | Date |
|---|----------|------|
| 1 | | |
| | | |
| | | |
| | | |

SHEET NAME
SITE ELEMENTS

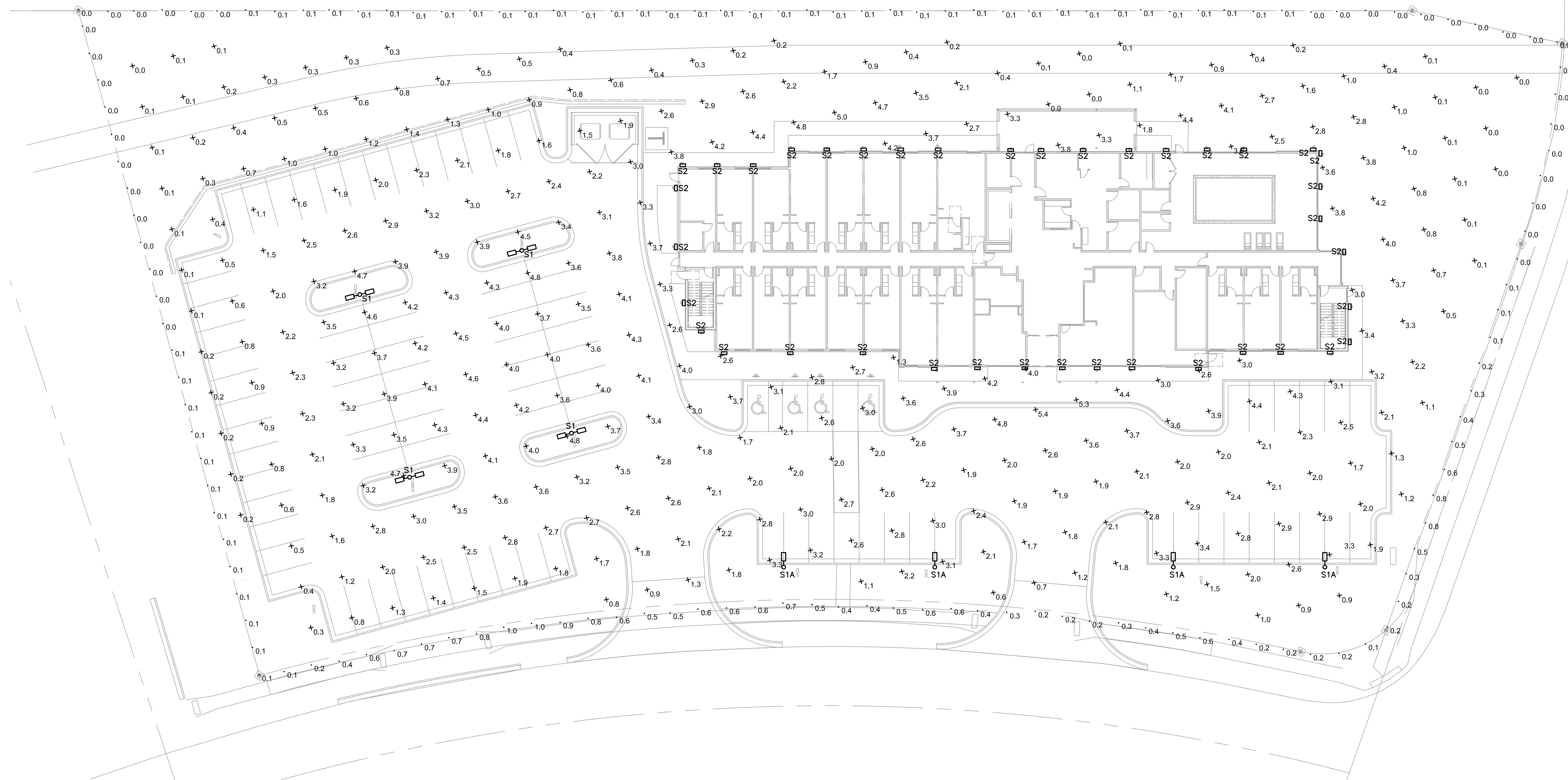
SHEET NUMBER
A0.03





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GRAPEVINE, TEXAS 76054
972.677.9075



1 SITE PLAN - PHOTOMETRICS
SCALE: 1"=20'-0"

| LIGHTING SCHEDULE | | | | | | |
|---|---------------------------------|---------|------|-------------|----------------|--|
| TYPE | DESCRIPTION | VOLTAGE | LAMP | | FIXTURE | |
| | | | NO. | TYPE | MOUNTING | MANUFACTURER/ CAT. # |
| S1 | LED POLE MOUNTED SITE LIGHT | 120 | 1 | 104W LED | POLE 20' | LITHONIA DSX1-LED-P3-40K-80CRI-T2M-XXX-XXS-XX |
| S1A | LED POLE MOUNTED SITE LIGHT | 120 | 1 | 104W LED | POLE 20' | LITHONIA DSX1-LED-P3-40K-80CRI-T4M-MVOLT-XX-XXHS-XX |
| S2 | LED BUILDING MOUNTED SITE LIGHT | 120 | 1 | LED | SURFACE 13' | LITHONIA DSXW1-LED-10C-700-40K-TFTM-MVOLT-XX-XXS-XX |
| GENERAL NOTES 1.) ALL REQUESTS FOR SUBSTITUTIONS/ALTERNATES MUST BE SUBMITTED TO ENGINEER 7 DAYS PRIOR TO BID FOR APPROVAL. ALL SUBMISSION SHALL INCLUDE DETAILED CUT SHEETS AND PERFORMANCE DATA FOR CONSIDERATION. 2.) CONTRACTOR MUST SUBMIT LAMPS AND BALLAST WITH FIXTURE SUBMITTALS. 3.) LIGHTING PACKAGE MUST BE ENERGY STAR LISTED FIXTURES AND/OR LAMPS | | | | | | |

LIVSMART STUDIOS
MARQUEE HOSPITALITY
10000 N POLO DR
KANSAS CITY, MO 64153

PROJECT # 23028

ARCHITECT

D. HAYES HINKLE

ISSUE DATE

17 MAY 2024

ISSUED FOR

REVIEW

Revision Date

| # | Revision | Date |
|---|----------|------|
| | | |
| | | |

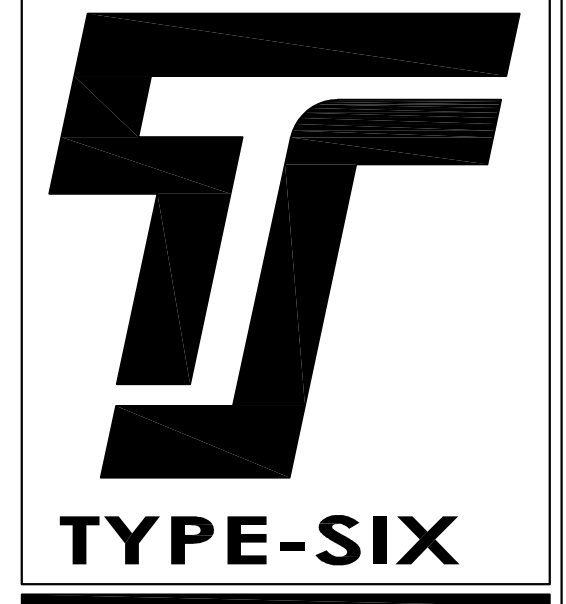
SHEET NAME

SITE PLAN
PHOTOMETRICS

SHEET NUMBER

PH1.01





S1&S1A

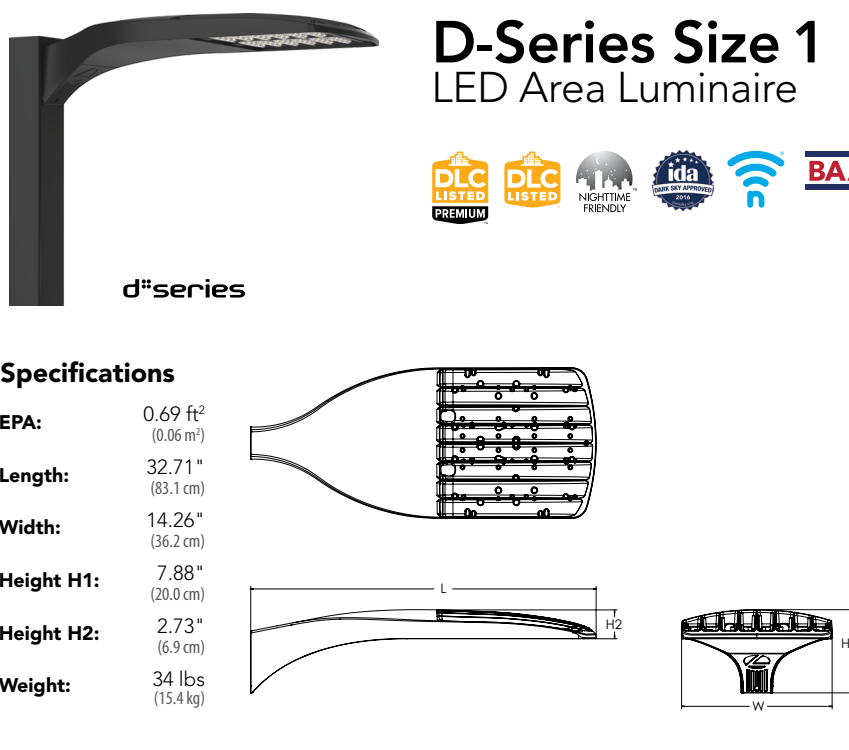
TYPE-SIX

TYPE-SIX DEVELOPMENT SERVICES, LLC 910 SOUTH MAIN STREET #150 GRAPEVINE, TEXAS 76054 972.677.9075

Introduction

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with your environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficiency, long-life luminaire.

The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in an area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.



Specifications table with columns for EPA, Length, Height H1, Height H2, and Weight, with values for different luminaire models.

Ordering Information

Ordering Information table with columns for Series, LEDs, Color Temperature, Color Rendering Index, Distribution, Voltage, and Mounting. Includes an example: DSX1 LED P7 40K 70CM T3M MVOLT SPA NLTAR2 PIRHN DDBXC.

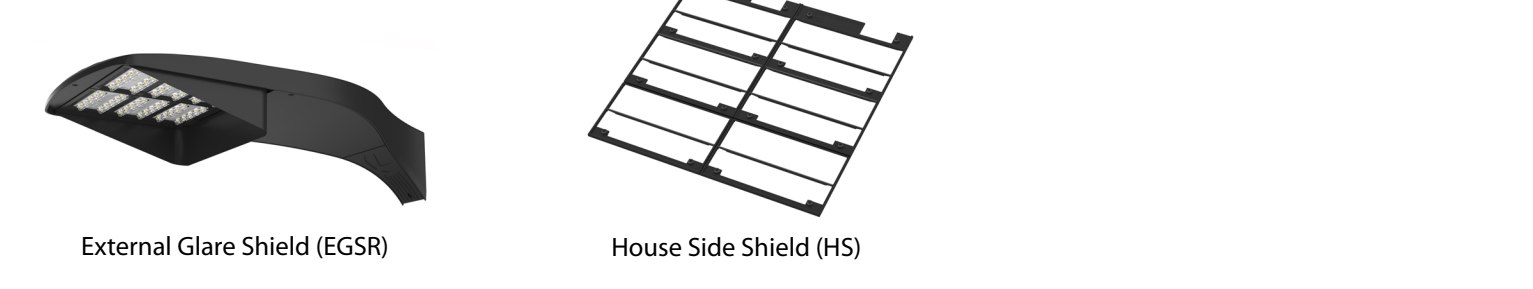
Control options table with columns for Control options, Other options, and Finish options, detailing various luminaire features and customization options.

Ordering Information

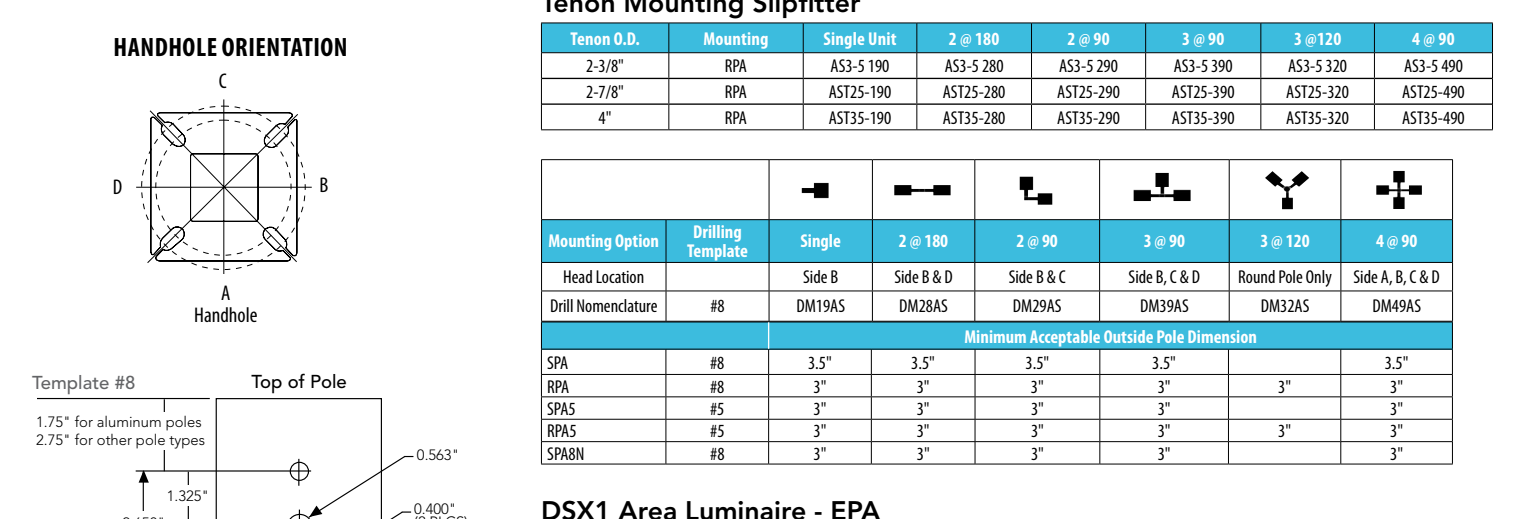
Accessories

- List of accessories including different lens options, mounting brackets, and sensor options for the luminaire.

Shield Accessories



Drilling



DSX1 Area Luminaire - Area

DSX1 Area Luminaire table with columns for Fixture Configuration, Mounting Type, Spacing, and various luminaire models.

Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Lumen Ambient Temperature (LAT) Multipliers table showing ambient temperature ranges and corresponding lumen output factors.

Projected LED Lumen Maintenance

Projected LED Lumen Maintenance table showing lumen output over time for different ambient temperatures.

FAO Dimming Settings

FAO Dimming Settings table with columns for LED Voltage, % Voltage, % Lumen Output, and % Power.

Motion Sensor Default Settings

Motion Sensor Default Settings table with columns for Option, Detection Radius, Sensitivity, and Response Time.

Controls Options

Controls Options table with columns for Option, Description, Functionality, and Notes, detailing various control features.

Electrical Load

Electrical Load table showing power consumption and wattage for different luminaire configurations.

LED Color Temperature / Color Rendering Multipliers

LED Color Temperature / Color Rendering Multipliers table showing multipliers for different CCT and CRI values.

Performance Data

Lumen Output

Lumen values from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of configurations shown within the brackets located within LM-79.

Performance Data table showing lumen output for various luminaire models and configurations.

Performance Data

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Performance Data

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LIVSMART STUDIOS MARQUEE HOSPITALITY 10000 N POLO DR KANSAS CITY, MO 64153 PROJECT # 23028

ARCHITECT D. HAYES HINKLE ISSUE DATE 17 MAY 2024 ISSUED FOR REVIEW

Revision table with columns for #, Revision, and Date.

SHEET NAME LIGHT FIXTURE DETAILS SHEET NUMBER PH1.02



Introduction

The D-Series Wall luminaire is a stylish, fully integrated LED solution for building-mount applications. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance.

With an expected service life of over 20 years of nighttime use and up to 74% in energy savings over comparable 250W metal halide luminaires, the D-Series Wall is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.



Specifications table with columns for Depth, Width, Height, and Weight, with values for different luminaire models.

Ordering Information

Ordering Information table with columns for Series, LEDs, Color Temperature, Color Rendering Index, Distribution, Voltage, and Mounting. Includes an example: DSXW1 LED 20C 1000 40K T3M MVOLT DDBTDC.

Other Options table with columns for Option, Description, and Notes, detailing various customization options.

Accessories

- List of accessories including different lens options, mounting brackets, and sensor options for the luminaire.

DSXW1 LED

DSXW1 LED table with columns for Series, LEDs, Color Current, Color Temperature, Distribution, Voltage, and Mounting.

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CITY PLANNING & DEVELOPMENT

Public Meeting Summary Form

Project Case #

Meeting Date:

Meeting Location:

Meeting Time (include start and end time):

Additional Comments (optional):

