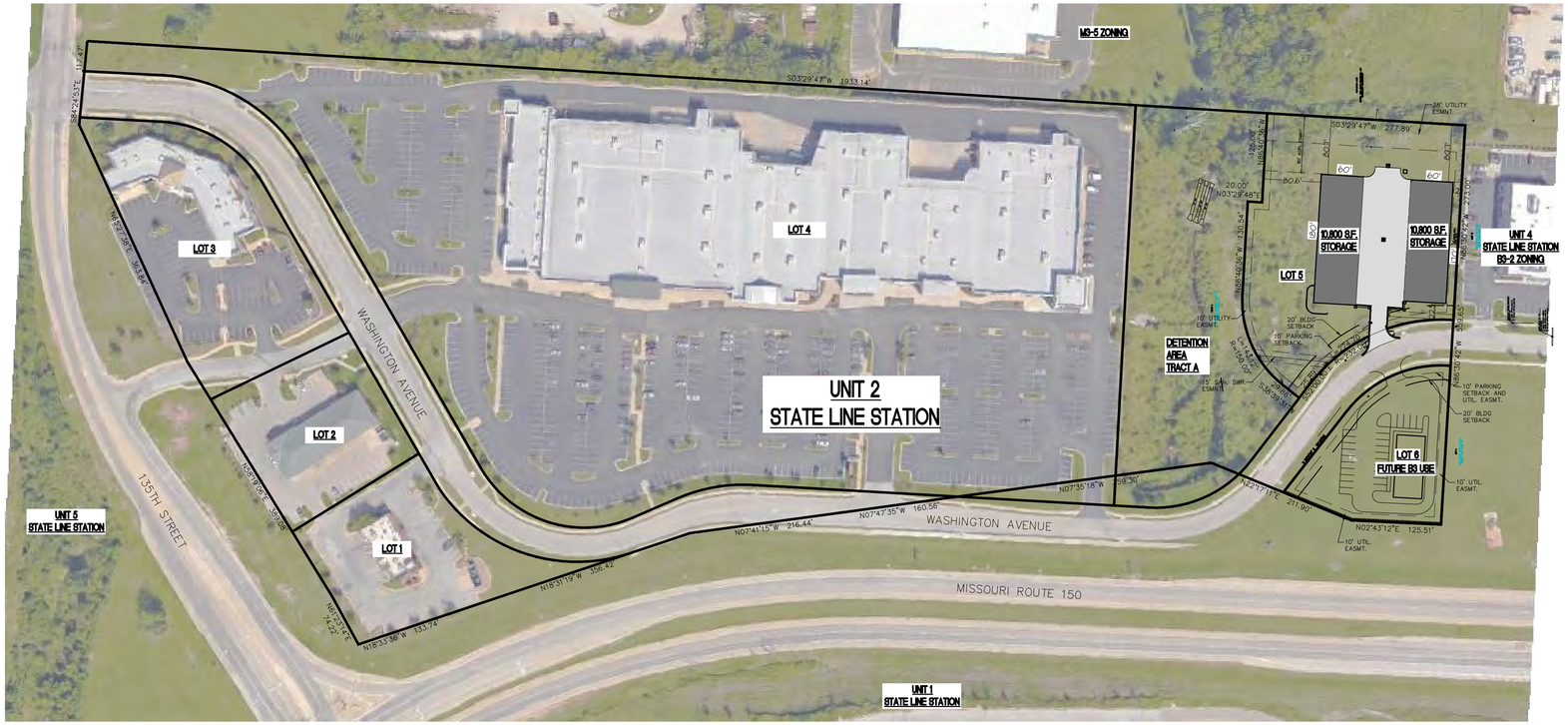
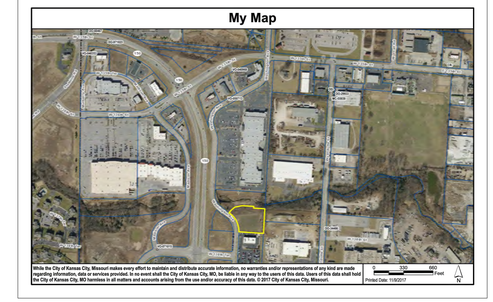
180499



DEVELOPMENT PLAN

SCALE: 1" = 100'-0"

0 50 100 200



VICINITY MAP

SCALE: N.T.S.

STATE LINE STATION UNIT 2 NOTES:

LOT 1
OWNER: HARDEES RESTAURANTS, LLC
1325 N ANEHEIM BLVD.
ANAHEIM, CA 92801
LAND AREA: 49,653 S.F. (1.14 ACRES)

LOT 2
OWNER: ARC BFKSCM00001, LLC
BRIDGESTONE AMERICAS, INC.
535 MARRIOTT DRIVE
NASHVILLE, TN 37214
LAND AREA: 50,144 S.F. (1.151 ACRES)

LOT 3
OWNER: SIENA INVESTMENTS, LLC
13409 DEARBORN
OVERLAND PARK, KS 66223
LAND AREA: 84,284 S.F. (1.935 ACRES)

LOT 4
OWNER: STATE LINE POINT, LLC
2870-A S INGRAM MILL RD
SPRINGFIELD, MO 65804
LAND AREA: 636,131 S.F. (14.604 ACRES)

LOT 5
OWNER: 360 CAR SPECIALISTS, INC.
2920 N 113TH STREET
LEAWOOD, KS 66211
LAND AREA: 92,335 S.F. (2.12 ACRES)

LOT 6
OWNER: 360 CAR SPECIALISTS, INC.
2920 N 113TH STREET
LEAWOOD, KS 66211
LAND AREA: 37,124 S.F. (0.852 ACRES)

TRACT A
OWNER: STATE LINE POINT, LLC
2870-A S INGRAM MILL RD
SPRINGFIELD, MO 65804
LAND AREA: 102,941 S.F. (2.363 ACRES)

LOTS 1-4 ARE CURRENTLY BUILT OUT. EXISTING CONDITIONS ARE SHOWN ON PLAN.
LOTS 5 AND 6 ARE CURRENTLY UNDEVELOPED, VACANT LOTS.

ALL LOTS IN STATE LINE STATION - UNIT 2 ARE CURRENTLY ZONED B3-2. THE PROPOSED DEVELOPMENT ON LOT 5 WHICH IS FOR HIGH END PRIVATE AUTOMOBILE STORAGE IS BEING REZONED TO B4-2 ZONING. 1

STORMWATER DETENTION FOR STATE LINE STATION UNIT 2 IS PROVIDED IN A REGIONAL DETENTION BASIN LOCATED ON TRACT A. THE STORMWATER DRAINAGE STUDY WAS PERFORMED BY COOK, FLATT AND STROBEL ENGINEERS, P.A. DATED DECEMBER 2003.

ALL USES AS ALLOWED IN B3 ZONING DISTRICT. ANY USE IN B3 REQUIRING A SPECIAL USE PERMIT CONSIDERED FOR APPROVAL THROUGH A MAJOR AMENDMENT TO THIS DEVELOPMENT PLAN. 1

NOTES:

1. ALL DISPLAY AND STORAGE, INCLUDING THAT OF SEASONAL GOODS, SHALL BE WITHIN AN APPROVED BUILDING (AS SHOWN ON THE FINAL PLAN) OR WITHIN AN APPROVED AREA ADJACENT TO THE BUILDING (AS SHOWN ON THE FINAL PLAN), SCREENED IN ACCORDANCE WITH THE ARCHITECTURAL PLAN. THERE SHALL BE NO OUTDOOR DISPLAY OR STORAGE UPON ANY PORTION OF THE DEVELOPMENT, UNLESS OTHERWISE APPROVED IN ACCORDANCE WITH THE CP DISTRICT DEVELOPMENT PLAN.

2. NO ADVERTISING OR INFORMATIONAL BANNERS (OTHER THAN TEMPORARY GRAND OPENING BANNERS) OR PENANTS SHALL BE PERMITTED UNLESS OTHERWISE APPROVED IN ACCORDANCE WITH THIS DEVELOPMENT PLAN.

3. ALL ROOFTOP DEVICES OR MECHANICAL EQUIPMENT SHALL BE SCREENED BY USE OF A PARAPET WALL OR OTHER ARCHITECTURAL FEATURE, TO BE DETAILED ON ELEVATION DRAWINGS.

4. NO ANIMATED SIGNAGE OR ELECTRIC DISPLAY SIGNAGE EITHER ON MONUMENTS OR WALLS.

5. THE CONDITIONS WILL SUPERCEDE AND HAVE CONTROL OVER INFORMATION SHOWN ON THE DRAWINGS.

6. A GATEWAY FEATURE WILL BE CONSTRUCTED IN MoDot TOW AT THE INTERSECTION OF M-150 AND 135TH STREET PER MoDot AND CITY APPROVAL. DETAILS TO BE SHOWN ON FINAL PLANS.

ORIGINAL UNIT 2 LEGAL DESCRIPTION:
ALL THAT PART OF THE SOUTH 1/2 OF FRACTIONAL SECTION 19, TOWNSHIP 47 NORTH, RANGE 33 WEST, IN THE CITY OF KANSAS CITY, JACKSON COUNTY, MISSOURI, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF THE SOUTH 1/2 OF SAID FRACTIONAL SECTION 19; THENCE SOUTH 3 DEGREES 29 MINUTES 47 SECONDS WEST, ALONG THE EAST LINE OF THE SOUTH 1/2 OF SAID FRACTIONAL SECTION 19, A DISTANCE OF 44.86 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF 135TH STREET AS NOW ESTABLISHED, SAID POINT BEING THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE CONTINUING SOUTH 3 DEGREES 29 MINUTES 47 SECONDS WEST, ALONG THE EAST LINE OF THE SOUTH 1/2 OF SAID FRACTIONAL SECTION 19, A DISTANCE OF 1933.14 FEET; THENCE NORTH 86 DEGREES 30 MINUTES 42 SECONDS WEST, A DISTANCE OF 554.65 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF MISSOURI HIGHWAY 150 AS NOW ESTABLISHED; THENCE ALONG THE EASTERLY RIGHT-OF-WAY LINE OF SAID MISSOURI HIGHWAY 150, THE FOLLOWING 7 COURSES; THENCE NORTH 2 DEGREES 43 MINUTES 12 SECONDS EAST, A DISTANCE OF 125.51 FEET; THENCE NORTH 22 DEGREES 17 MINUTES 11 SECONDS EAST, A DISTANCE OF 211.30 FEET; THENCE NORTH 7 DEGREES 35 MINUTES 18 SECONDS WEST, A DISTANCE OF 59.30 FEET; THENCE NORTH 7 DEGREES 47 MINUTES 35 SECONDS WEST, A DISTANCE OF 160.56 FEET; THENCE NORTH 7 DEGREES 41 MINUTES 15 SECONDS WEST, A DISTANCE OF 216.44 FEET; THENCE NORTH 18 DEGREES 31 MINUTES 19 SECONDS WEST, A DISTANCE OF 356.42 FEET; THENCE NORTH 18 DEGREES 33 MINUTES 36 SECONDS WEST, A DISTANCE OF 133.74 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF RELOCATED 135TH STREET AS NOW ESTABLISHED; THENCE ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF SAID RELOCATED 135TH STREET, THE FOLLOWING 3 COURSES; THENCE NORTH 61 DEGREES 23 MINUTES 14 SECONDS EAST, A DISTANCE OF 74.22 FEET; THENCE NORTH 58 DEGREES 19 MINUTES 06 SECONDS EAST, A DISTANCE OF 384.08 FEET; THENCE NORTH 65 DEGREES 27 MINUTES 38 SECONDS EAST, A DISTANCE OF 363.84 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF SAID 135TH STREET; THENCE SOUTH 84 DEGREES 24 MINUTES 53 SECONDS EAST ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF SAID 135TH STREET, A DISTANCE OF 117.47 FEET TO THE POINT OF BEGINNING.

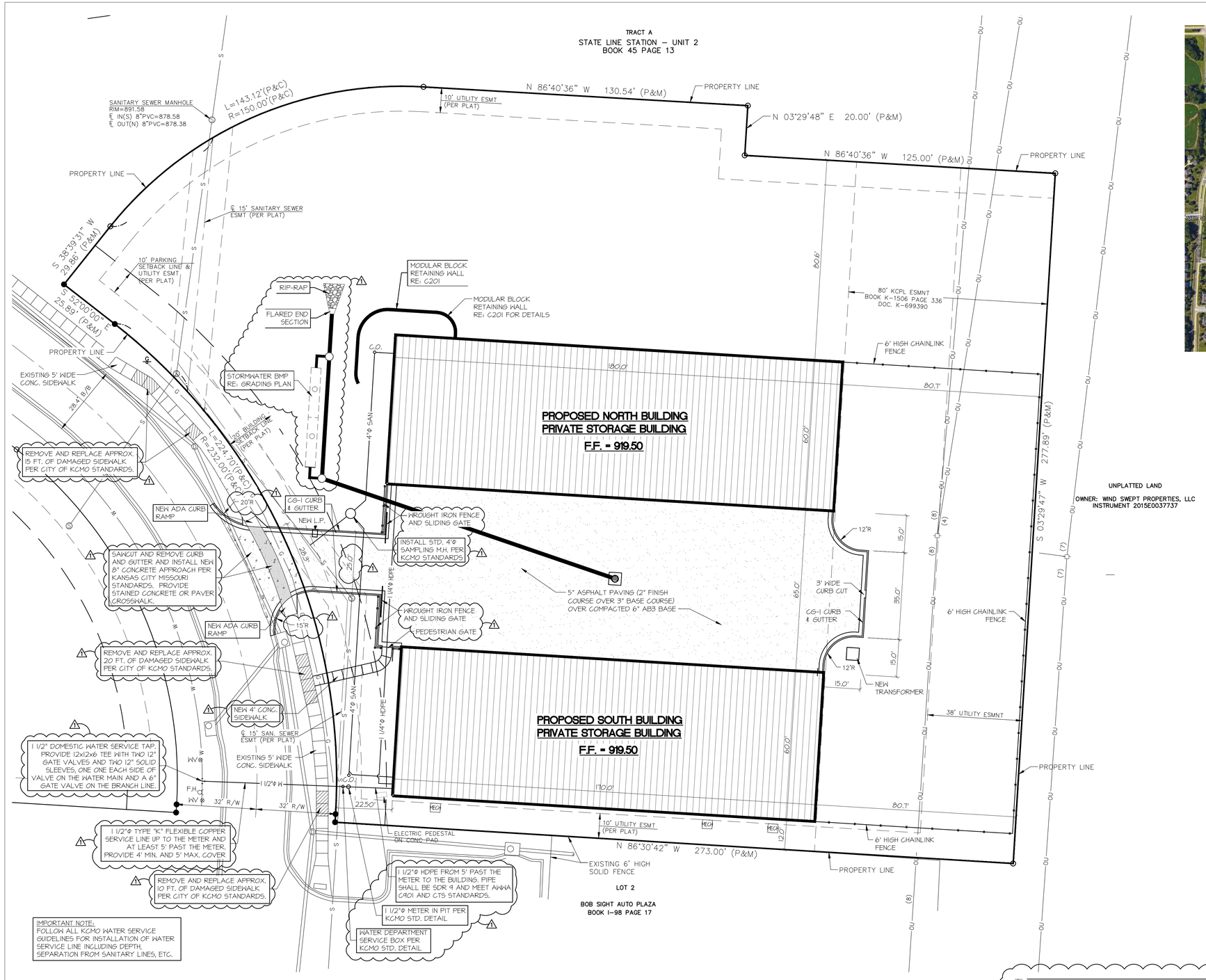
6-7-18	REVISED PER CITY COMMENTS
11-14-17	ISSUED TO CITY

REZONE LOT 5 FROM B3-2 TO B4-2 1

STATE LINE STATION - UNIT 2

STATE OF MISSOURI
JOSEPH G. LAMPEN
NUMBER E-24760
REGISTERED PROFESSIONAL ENGINEER
Joseph G. Lampen
6-7-18

LAMPEN ENGINEERING, INC.
1118 WEST MAIN STREET
BLUE SPRINGS, MISSOURI 64015
(816) 220-0246
Joseph G. Lampen, P.E. MO Cert. of Authority No. 00431664



SITE PLAN

SCALE: 1" = 20'-0"

0 10 20 40

NOTES:

1. SIGHT DISTANCES AT THE DRIVE CONNECTION TO THE PUBLIC RIGHT-OF-WAY ARE ADEQUATE FOR THE TYPE OF STREET BEING CONNECTED TO. SEE INFORMATION AT RIGHT ON THIS SHEET.
2. THE DEVELOPER SHALL PAY THE IMPACT FEES ASSOCIATED WITH THIS PROJECT AS REQUIRED BY CHAPTER 39 OF THE CITY CODE OF ORDINANCES.
3. THE SECURITY GATE ACROSS THE DRIVE ENTRANCE SHALL BE EQUIPPED WITH A SIREN SENSOR DEVICE (YELP GATE) PER IFC-2012.

LEGAL DESCRIPTION:
LOT 5, STATE LINE STATION - UNIT 2, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI.

VICINITY MAP

SCALE: N.T.S.

REZONING AND DEVELOPMENT PLAN AMENDMENT INFORMATION:

A *EXISTING PROPERTY ZONING IS B3-2. PROPOSED PROPERTY ZONING IS B4-2.*

B *TOTAL LAND AREA IS 93,172.75 S.F. OR 2.14 ACRES*

C *NO NEW STREET RIGHT-OF-WAYS ARE PROPOSED WITHIN PROJECT PROPERTY*

D *NET LAND AREA IS THEREFORE 2.14 ACRES.*

E *BOTH PROPOSED BUILDINGS WILL BE USED FOR PRIVATE AUTOMOBILE STORAGE. THE UNITS WILL BE SOLD OFF TO INDIVIDUALS AS SINGLE 20' OR 30' WIDE UNITS, OR ANY COMBINATION OF 20' AND 30' UNIT WIDTHS.*

F *EACH BUILDING IS ONE STORY. EACH BUILDING HAS A SINGLE SLOPE ROOF WITH A LOW EAVE HEIGHT OF 18 FT. AND A HIGH EAVE HEIGHT OF APPROXIMATELY 23 FT.*

G *THE GROSS FLOOR AREA OF THE NORTH BUILDING – 10,800 S.F.*
THE GROSS FLOOR AREA OF THE SOUTH BUILDING – 10,200 S.F.

H *THE FLOOR AREA RATIO IS 21,000 S.F. / 93,173 S.F. = 22.54%*

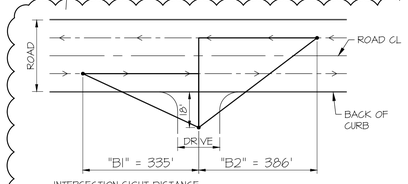
I *THE PROJECT IS A COMMERCIAL DEVELOPMENT FOR PERSONAL STORAGE ITEMS*

J *AUTOMOBILE PARKING: THERE ARE NO EMPLOYEES AT THIS SITE AND THE UNITS ARE FOR STORAGE ONLY. PARKING IS NOT REQUIRED AT THIS SITE.*

K *BICYCLE PARKING: THERE ARE NO EMPLOYEES AT THIS SITE AND THE UNITS ARE FOR STORAGE ONLY. BICYCLE PARKING IS NOT REQUIRED AT THIS SITE.*

L *THE PROPOSED ADDITION WILL BE STARTED AS SOON AS A BUILDING PERMIT CAN BE OBTAINED (JUNE 2018) AND WILL BE COMPLETED AROUND OCTOBER 2018.*

M *THE "REZONING AND DEVELOPMENT PLAN AMENDMENT" FOR THIS PROJECT IS TO ALLOW FOR THE CONSTRUCTION OF TWO NEW STORAGE UNITS. THE REZONING IS BEING REVISED FROM B3-2 TO B4-2 TO ALLOW THIS USE. THE CURRENT DEVELOPMENT PLAN SHOWS A SINGLE 13,900 SQUARE FOOT RETAIL BUILDING WITH A LARGE AMOUNT OF PARKING. WHILE THE OVERALL BUILDING SQUARE FOOTAGE INCREASES FROM WHAT WAS PREVIOUSLY SHOWN, THE AMOUNT OF PAVEMENT IS GREATLY REDUCED. THE TOTAL IMPERVIOUS AREA ON THE SITE IS BEING REDUCED WITH THE PROPOSED PLAN.*



INTERSECTION SIGHT DISTANCE:
ISD = 1.47 x V x Tg (time gap), Tg = 6.5 FOR B1, 7.5 FOR B2
B1: 35 MPH = 335' B2: 35 MPH = 386'
AREA IS RELATIVELY FLAT - VERTICAL SITE OKAY

SITE DISTANCE

SCALE: N.T.S.

LAMPEN ENGINEERING, INC.
1115 W. Main Street
Blue Springs, MO 64015
(816) 220-0246
JOSEPH G. LAMPEN, P.E.
MO. CERT. OF AUTHORITY NO 00431664

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STATE OF MISSOURI
JOSEPH G. LAMPEN
NUMBER E-24760
REGISTERED PROFESSIONAL ENGINEER

Joseph G. Lampen
6-7-18

PROPOSED STORAGE BUILDINGS
AUTOTOYBARN
13701 WASHINGTON STREET
KANSAS CITY, MISSOURI

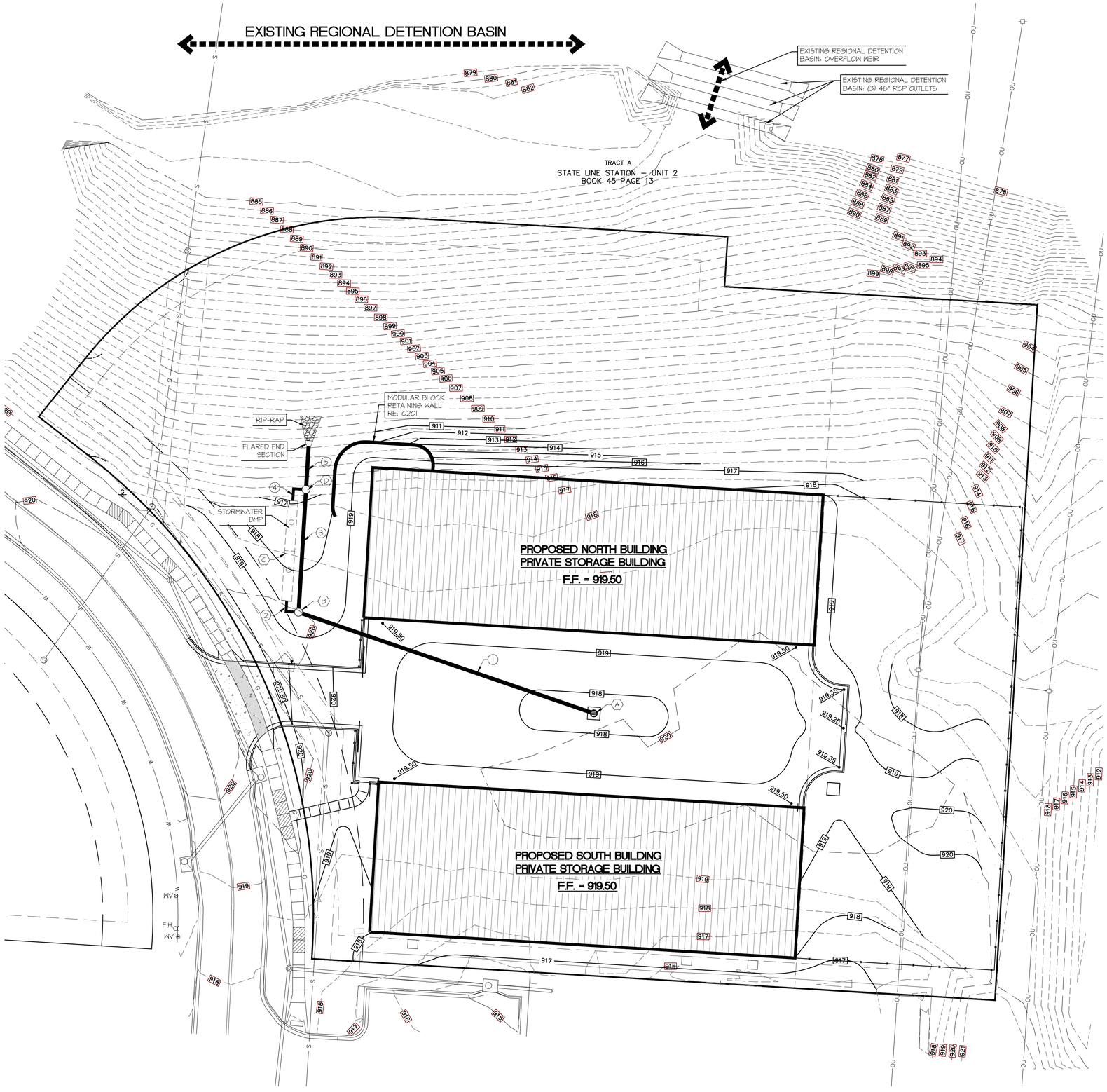
REVISIONS

No.	Description	Date
1	REVISED PER CITY COMMENTS	6-7-18

DATE: 9-27-17

PROJECT # 17-02-011

C100



GRADING PLAN

SCALE: 1" = 20'-0"

STORM PIPE KEYED NOTES:

1. NEW 15"ø HDPE PIPE (122.5' @ 1.00%)
   F.L. EAST = 914.60, F.L. WEST = 913.37
2. NEW 12"ø HDPE PIPE
   F.L. = 912.37
3. NEW 15ø HDPE BYPASS PIPE (47.0' @ 2.49%)
   F.L. SOUTH = 913.37 F.L. NORTH = 912.20
4. NEW 12"ø HDPE PIPE
   F.L. = 912.20
5. NEW 15"ø HDPE PIPE (15.5' @ 1.00%).
   F.L. SOUTH = 912.20, F.L. NORTH = 912.04
   PROVIDE FLARED END SECTION AT OUTLET AND RIP-RAP

STORM STRUCTURE KEYED NOTES:

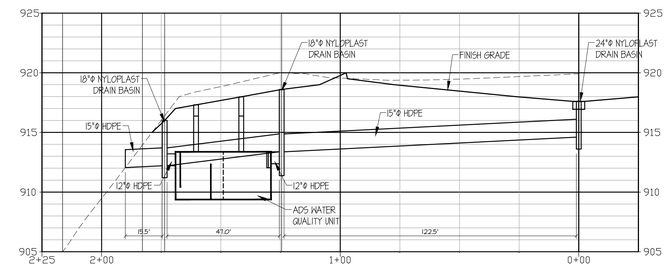
(A) 24"ø NYLOPLAST DRAIN BASIN WITH STANDARD H-25 RATED GRATE
TOP ELEV. = 917.60
F.L. OUT EAST (15"ø HDPE) ELEV. = 914.60
BOTTOM OF SUMP ELEV. = 913.60

(B) 18"ø NYLOPLAST DRAIN BASIN WITH SOLID LID
TOP ELEV. = 918.60
F.L. IN EAST (15"ø HDPE) ELEV. = 913.37
F.L. OUT NORTH (15"ø HDPE) ELEV. = 913.37
F.L. OUT WEST (12ø HDPE) ELEV. = 912.37
BOTTOM OF SUMP ELEV. = 911.37

(C) ADS WATER QUALITY UNIT (4840WQA15), 48"ø HDPE, 40' LONG
INLET SIZE 12", OUTLET SIZE 12"
BOTTOM OF 48"ø HDPE ELEV. = 909.37

(D) 18ø NYLOPLAST DRAIN BASIN WITH SOLID LID
TOP ELEV. = 916.00
F.L. IN SOUTH (15ø HDPE) ELEV. = 912.20
F.L. IN WEST (12ø HDPE) ELEV. = 912.20
F.L. OUT NORTH (15ø HDPE) ELEV. = 912.20
BOTTOM OF SUMP ELEV. = 911.20

NOTE: THE WATER QUALITY UNIT AND ASSOCIATED DRAIN BASINS AND PIPING SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS AND DETAILS. SUBMIT THE MANUFACTURER DETAILS AND INSTALLATION INSTRUCTIONS TO THE ENGINEER FOR REVIEW AND APPROVAL BEFORE INSTALLATION BEGINS.



STORM LINE SECTION

SCALE: AS SHOWN

LAMPEN ENGINEERING, INC.
1115 W. Main Street
Blue Springs, MO 64015
(816) 220-0246

JOSEPH G. LAMPEN, P.E.
MO. CERT. OF AUTHORITY NO 00431664

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STATE OF MISSOURI
JOSEPH G. LAMPEN
NUMBER E-24760
REGISTERED PROFESSIONAL ENGINEER

Joseph G. Lampen
6-7-18

PROPOSED STORAGE BUILDINGS
AUTOTOYBARN
13701 WASHINGTON STREET
KANSAS CITY, MISSOURI

DATE: 11-2-17

REVISIONS

No.	Description	Date
1	REVISED PER CITY COMMENTS	6-7-18

PROJECT # 17-02-011

C200

LANDSCAPE PLAN

SCALE: 1" = 20'-0"

GENERAL NOTES:

I. SITE CONDITIONS:

1. PRIOR TO ALL CONSTRUCTION THE LANDCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TOUTILITIES, STRUCTURES, SITE APPURTENANCES, ETC., WHICH OCCUR AS A RESULT OF THE LANDSCAPE CONSTRUCTION. MAINTAIN STAKES SET BY OTHERS UNTIL ALL PARTIES CONCERNED MUTUALLY AGREE UPON REMOVAL.
2. WHEN CONDITIONS DETRIMENTAL TO PLANT GROWTH ARE ENCOUNTERED, SUCH AS RUBBLE FILL, ROCK, ADVERSE DRAINAGE CONDITIONS OR OBSTRUCTIONS, LANDSCAPE CONTRACTOR SHALL NOTIFY GENERAL CONTRACTOR BEFORE PLANTING.
3. AT ALL TIMES, THE CONTRACTOR SHALL KEEP THE PREMISES CLEAN.

II. MATERIALS

1. LANDSCAPE CONTRACTOR SHALL PROVIDE TREES, SHRUBS, AND PLANTS OF QUANTITY, SIZE, GENUS, SPECIES AND VARIETY SHOWN AND SCHEDULED FOR LANDSCAPE WORK. ALL PLANTS SHALL COMPLY WITH RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK". PROVIDE HEALTHY, VIGOROUS STOCK, GROWN IN A RECOGNIZED NURSERY IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES, FREE OF DISEASE, INSECTS, EGGS, LARVAE AND DEFECTS SUCH AS KNOTS, SUN-SCALD, INJURIES, ABRASIONS OR DISFIGUREMENT. PLACE ALL PLANTS IN SHADED AREA, PROTECTED FROM WEATHER, MECHANICAL DAMAGE AND DEHYDRATION PRIOR TO PLANTING. PLANT MATERIALS DELIVERED TO SITE AND NOT PLANTED WITHIN 24 HOURS OF DELIVERY SHALL BE "HEELED" OR WATERED.
2. QUANTITIES LISTED IN THE PLANT LIST SCHEDULE ARE FOR CONVENIENCE ONLY. TREES, SHRUBS AND GROUND COVER OF CONTRACT QUANTITIES SHALL BE THE NUMBER OF ITEMS SHOWN ON THE DRAWINGS. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK. ANY DIFFERENCE IN QUANTITIES SHOULD BE BROUGHT TO THE ATTENTION OF THE GENERAL CONTRACTOR FOR CLARIFICATION.
3. NO SUBSTITUTION OF PLANT MATERIALS SHALL BE MADE WITHOUT PRIOR WRITTEN PERMISSION OF THE GENERAL CONTRACTOR.
4. THE PLANTING SOIL MIXTURE SPECIFIED FOR THE PLANTERS SHALL BE FREE OF CLAY AND COMPOSED OF TOPSOIL AND ADDITIONAL AMENDMENTS APPROPRIATE FOR THE LOCATION AND PLANTINGS AND BE BACKFILLED TO A DEPTH OF 12". TOPSOIL SHALL BE FERTILE, NATURAL TOPSOIL, TYPICAL OF LOCALITY, OBTAINED FROM WELL-DRAINED AREAS. IT SHALL BE WITHOUT ADMIXTURE OF SUBSOIL, AND SHALL BE FREE OF STONES, LUMPS, STICKS, TOXIC SUBSTANCES OR OTHER EXTRANEOUS MATTER THAT MAY BE HARMFUL TO PLANT GROWTH OR THAT WOULD INTERFERE WITH FUTURE MAINTENANCE.
5. ALL PLANT MATERIAL SHALL BE TAGGED AND APPROVED BY THE GENERAL CONTRACTOR.
6. EACH TREE AND SHRUB SHALL BE SECURELY LABELED WITH A WATERPROOF TAG INDICATING BOTANICAL NAME AND COMMON NAME FOR DELIVERY TO SITE.
7. LANDSCAPE ISLANDS AND PLANTING BEDS SHALL HAVE WEED BARRIER FABRIC AND 3" OF MULCH. LANDSCAPE CONTRACTOR SHALL SUBMIT SAMPLE OF MULCH FOR APPROVAL BY GENERAL CONTRACTOR. MULCH SHALL CONSIST OF WOOD FIBERS FROM CLEAN, WHOLE UNCOOKED WOOD AND FREE OF SEEDS. MULCH SHALL BE SPREAD TO AN EVEN FINISH RESULTING IN A SMOOTH FINISH FREE OF PILES AND DEPRESSIONS.

III. INSTALLATION

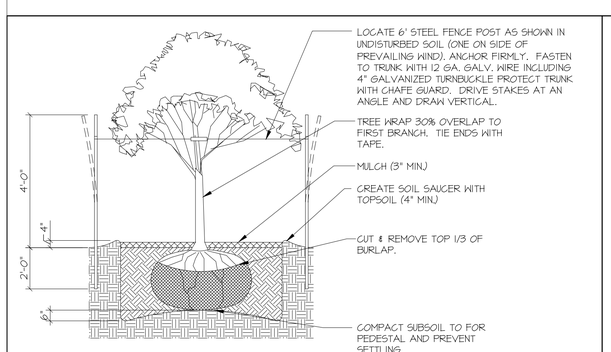
1. LANDSCAPE WORK SHALL BE CONTRACTED TO A SINGLE FIRM SPECIALIZING IN LANDSCAPE CONSTRUCTION.
2. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER CONTRACTORS ON SITE THROUGHOUT THE CONSTRUCTION PROCESS.
3. ALL DISCREPANCIES AND/OR FIELD CHANGES SHALL BE REPORTED TO THE GENERAL CONTRACTOR FOR APPROVAL PRIOR TO IMPLEMENTATION.
4. ALL SITE WORK, INCLUDING PLANT LOCATIONS, SHALL BE STAKED BY THE LANDSCAPE CONTRACTOR AND SHALL BE APPROVED BY THE GENERAL CONTRACTOR PRIOR TO INSTALLATION. ANY WALKS, WALLS OR EDGING SHALL BE INSTALLED IN A MANNER CONSISTENT WITH THE PLANS AS SHOWN, AND SHALL BE INSTALLED FREE OF KINKS, BENDS OR ABRUPT CURVES.
5. ALL PLANTS AND INSTALLATION ARE SUBJECT TO THE APPROVAL OF THE GENERAL CONTRACTOR. PLANT MATERIAL LOCATIONS MAY BE ADJUSTED DUE TO UTILITY LOCATIONS.
6. ALL PLANTS SHALL BE BALLED AND BURLAPPED AS INDICATED ON THE PLANT LIST. ALL TREES SHALL HAVE STRAIGHT TRUNKS, FULL HEADED AND MEET ALL REQUIREMENTS SPECIFIED. ALL TREES MUST BE GUYED OR STAKED.
7. PLANT MIX SHALL CONSIST OF TOPSOIL COMPLETELY FREE OF DEBRIS, ROCKS IN EXCESS OF 1" IN DIAMETER, STICKS AND CLAY. MIX ONE PART COMPOSTED STABLE MANURE AND THREE PARTS TOPSOIL WITH FERTILIZER. PLANT MIX SHALL CONTAIN FERTILIZER WITH NOT LESS THAN 5% TOTAL NITROGEN, 10% AVAILABLE PHOSPHORIC ACID, AND 5% SOLUBLE POTASH. DISCARD SUBSOIL REMOVED FROM PLANTING AREA EXCAVATION; DO NOT COMBINE WITH PLANT MIX FOR USE IN BACK-FILL. SEE DETAILS FOR COMPLETE PLANTING PREPARATION. LANDSCAPE CONTRACTOR SHALL SUBMIT PLANTING MIXTURE FOR APPROVAL BY GENERAL CONTRACTOR.
8. ALL PLANTING BEDS SHALL BE EXCAVATED TO A MINIMUM DEPTH OF 12" UNLESS OTHERWISE NOTED AND BACK FILLED WITH PLANT MIX. ALL PLANTING BEDS MUST HAVE WEED BARRIER AND BE COMPLETELY MULCHED WITH 3" HARDWOOD SHREDDED MULCH, FREE OF MOLD AND DEBRIS. SOME LOCATIONS MAY CALL FOR STONE MULCH (SEE PLAN).
9. ALL BARK MULCH SHALL MATCH GRADE OF ADJACENT CURB, WALK OR EDGE OF PAVEMENT, WITH EXCEPTION TO THE RAISED PLANTER IN WHICH THE TOP OF MULCH SHALL MEET THE BOTTOM OF THE CAP OF THE PLANTER.
10. ALL ISLANDS, EXCEPT THOSE WITH STORM SEWER STRUCTURES, SHALL BE MOUNDED WITH A MAXIMUM 3:1 SLOPE.

IV. MAINTENANCE / WARRANTY

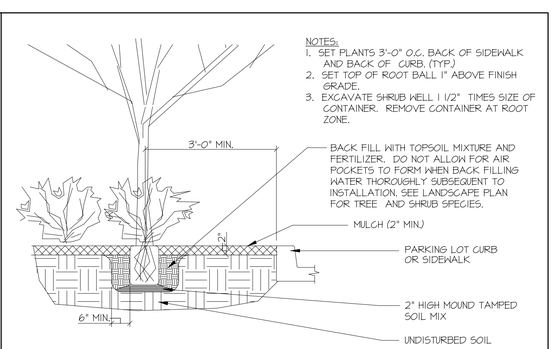
1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR THE PERIOD OF ONE (1) YEAR BEGINNING AT THE DATE OF TOTAL ACCEPTANCE BY THE GENERAL CONTRACOR. THE LANDSCAPE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE OR AT THE END OF THE GUARANTEE PERIOD AS THE GROWING SEASON PERMITS.
2. GENERAL CONTRACTOR WILL INSPECT THE PLANTS AT THE END OF THE WARRANTY PERIOD. (ALL PLANTS ARE TO BE WARRANTIED FOR A PERIOD OF ONE YEAR). PLANTS THAT ARE DEAD OR NOT IN SATISFACTORY GROWTH SHALL BE REMOVED AND REPLACED DURING THE NEXT NORMAL PLANTING SEASON AT NO ADDITIONAL COST TO THE OWNER/TENANT.

V. GENERAL

1. ALL LANDSCAPE AREAS AROUND PLANTINGS SHALL RECEIVE A WEED BARRIER WITH 3" MULCH AS GROUND COVER. SUBMIT SAMPLE FOR OWNER'S APPROVAL PRIOR TO IT'S INSTALLATION.
2. SEED ALL DISTURBED AREAS WITH RYE/FESCUE BLEND EXCEPT WHERE NOTED AS SOD ON PLANS.



1 SCALE: N.T.S. **DECIDUOUS TREE PLANTING DETAIL**



2 SCALE: N.T.S. **SHRUB AND TREE PLANTING DETAIL**

LANDSCAPING CHART

PLAN SYMBOL	LANDSCAPE AREA	PLANT UNITS REQUIRED	PLANT UNITS PROPOSED	COMMON NAME/ BOTANICAL NAME	SIZE
	STREET TREE	1 TREE / 30' STREET FRONTAGE 254' / 30' = 8 TREES	8 TREES PROPOSED	PATMORE ASH Fraxinus pennsylvanica	2" CALIPER
	GENERAL LANDSCAPE	1 TREE / 5,000 S.F. BUILDING AREA 21,000 S.F. / 5,000 S.F. = 4 TREES	24 TREES PROPOSED	KETELEERI JUNIPER Juniperus "Keteleeri"	5' TALL MIN.
	SCREENING LANDSCAPE	N/A	9 TREES PROPOSED	BERKMAN'S GOLDEN ARBORVITAE Thuja orientalis "Aurea Nana"	5' TALL MIN.
	FOUNDATION PLANTINGS	N/A	20 SHRUBS PROPOSED	WINTERGREEN BOXWOOD Buxus microphylla koreana	2 GAL. MIN.
	EXISTING SHRUBS				

LAMPEN ENGINEERING, INC.
1115 W. Main Street
Blue Springs, MO 64015
(816) 220-0246
JOSEPH G. LAMPEN, P.E.
MO. CERT. OF AUTHORITY NO 00431664

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STATE OF MISSOURI
JOSEPH G. LAMPEN
NUMBER E-24760
REGISTERED PROFESSIONAL ENGINEER

Joseph G. Lampen

6-7-18

PROPOSED STORAGE BUILDINGS
AUTOTOYBARN
13701 WASHINGTON STREET
KANSAS CITY, MISSOURI

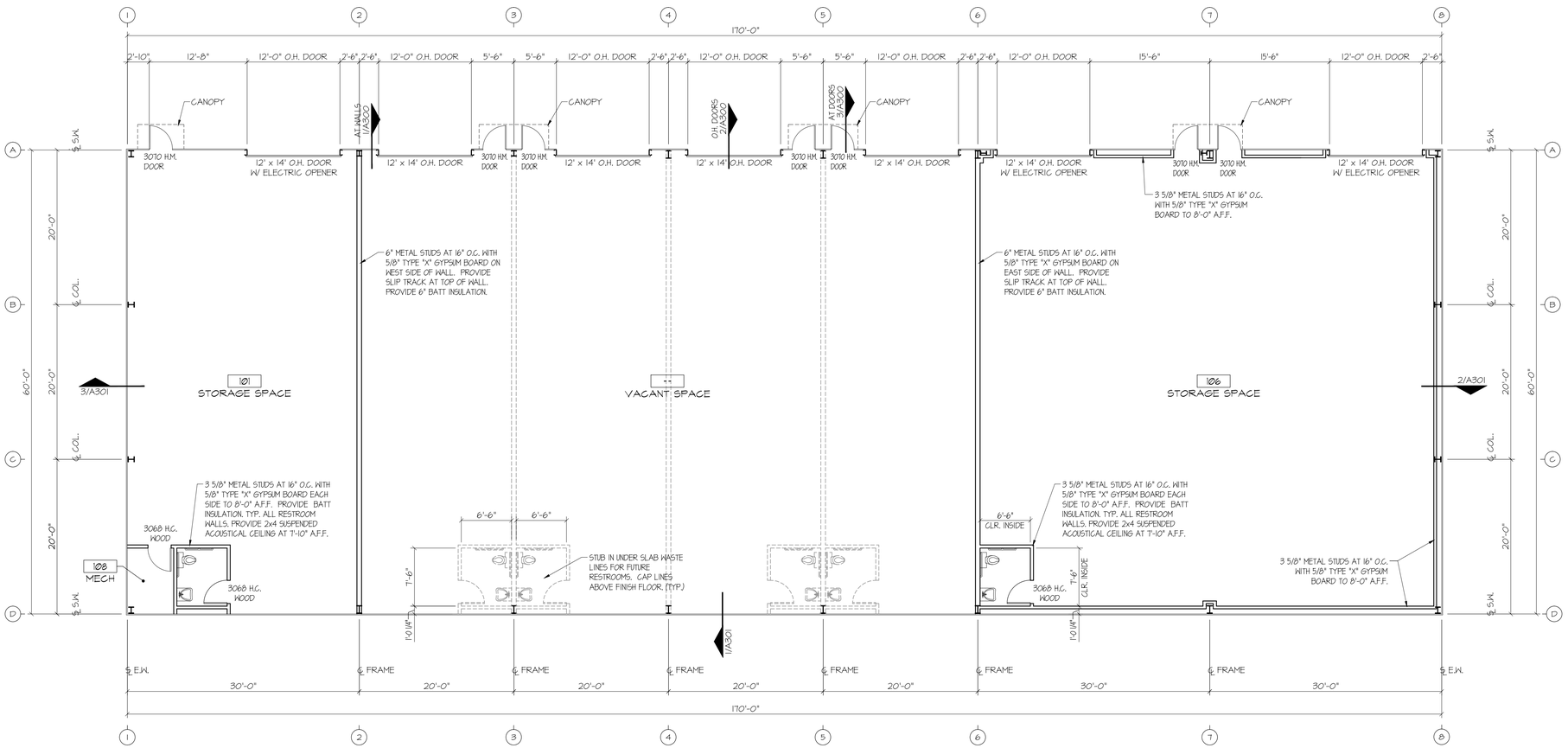
DATE: 9-27-17

REVISIONS

No.	Description	Date
1	REVISED PER CITY COMMENTS	6-7-18

PROJECT # 17-02-011

L100



FLOOR PLAN - SOUTH BUILDING

SCALE: 1/8" = 1'-0"

GENERAL NOTES:

1. ALL INTERIOR DIMENSIONS ARE FROM FINISH WALL TO FINISH WALL.

2. FUTURE INTERIOR DEMISING WALLS ARE 6" METAL STUDS AT 16" O.C., FULL HEIGHT. FUTURE RESTROOM WALLS ARE 3 5/8" METAL STUDS AT 16" O.C. TO 8'-0" A.F.F.

3. ALL GYPSUM BOARD FOR FUTURE WALLS SHALL BE 5/8" TYPE "X" GYPSUM BOARD.

4. PROVIDE WOOD BLOCKING FOR ALL WALL MOUNTED FIXTURES AND GRAB BARS.

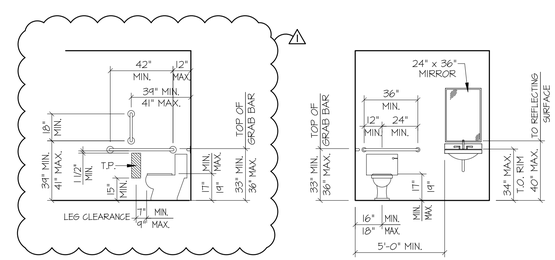
5. THE THRESHOLD ON ALL ENTRY DOORWAYS SHALL BE 1/2" MAXIMUM IN HEIGHT. A 1/4" CHANGE IN FLOOR LEVEL AT THE DOORWAY MAY BE VERTICAL. A CHANGE IN LEVEL GREATER THAN 1/4" IN HEIGHT AND NOT MORE THAN 1/2" MAXIMUM IN HEIGHT SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2. THESE REQUIREMENTS ARE AS SPECIFIED IN SEC. 404.2.4 OF ICC A117.1-2009.

6. ALL EXTERIOR SWINGING DOORS SHALL HAVE A MINIMUM U-FACTOR OF 0.61. ALL OVERHEAD DOORS SHALL HAVE A MINIMUM R-FACTOR OF 4.75. THESE VALUES ARE AS SPECIFIED IN TABLE C402.2 OF THE IECC.

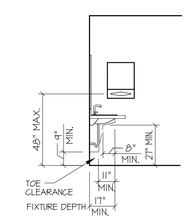
7. ALL DOOR HARDWARE SHALL BE ADA COMPLIANT. DOOR HARDWARE SHALL BE LEVER ACTION TYPE TO MEET IBC SECTION 1008.1.9 / 1008.1.9.1 REQUIREMENTS AS WELL AS ANSI A117.1 SECTION 404.2.6 REQUIREMENTS.

8. THE OVERHEAD DOORS SHALL COMPLY WITH DASMA REQUIREMENTS FOR WIND LOADS LISTED IN CHAPTER 16 OF THE 2012 IBC. THE DOORS SHALL BE RATED FOR A MINIMUM ULTIMATE WIND SPEED OF 115 MPH, EXPOSURE C. THE DOOR MANUFACTURER SHALL SUPPLY ONE OF THE FOLLOWING FORMS OF EVIDENCE THAT THE DOOR MEETS THESE REQUIREMENTS:
   * A DASMA EVALUATION LABEL ATTACHED TO THE DOOR
   * A COPY OF AN ICC EVALUATION SERVICE REPORT
   * A COPY OF A WIND TEST EVALUATION PER ASTM E330 OR ANSI/DASMA 108, SEALED BY AN INDEPENDENT PROFESSIONAL ENGINEER OR A RECOGNIZED TESTING AGENCY
   * A COPY OF A "RATIONAL ANALYSIS" SEALED BY A PROFESSIONAL ENGINEER

9. PRE-ENGINEERED METAL BUILDING SUPPLIER SHALL PROVIDE GUTTER AND DOWNSPOUT SIZES TO CARRY THE 100 YEAR, 60 MINUTE RAINFALL FOR KANSAS CITY (3.6 INCHES PER HOUR). SEE ELEVATIONS ON SHEETS A200 AND A201 FOR DOWNSPOUT LOCATIONS. DOWNSPOUTS SHALL DISCHARGE ONTO THE PAVEMENT TO SURFACE DRAIN ACROSS THE PARKING LOT TO AN AREA INLET AND INTO THE BMP WATER QUALITY UNIT.



ADA RESTROOM INFORMATION



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STATE OF MISSOURI
JOSEPH G. LAMPEN
NUMBER E-24760
REGISTERED PROFESSIONAL ENGINEER

6-7-18

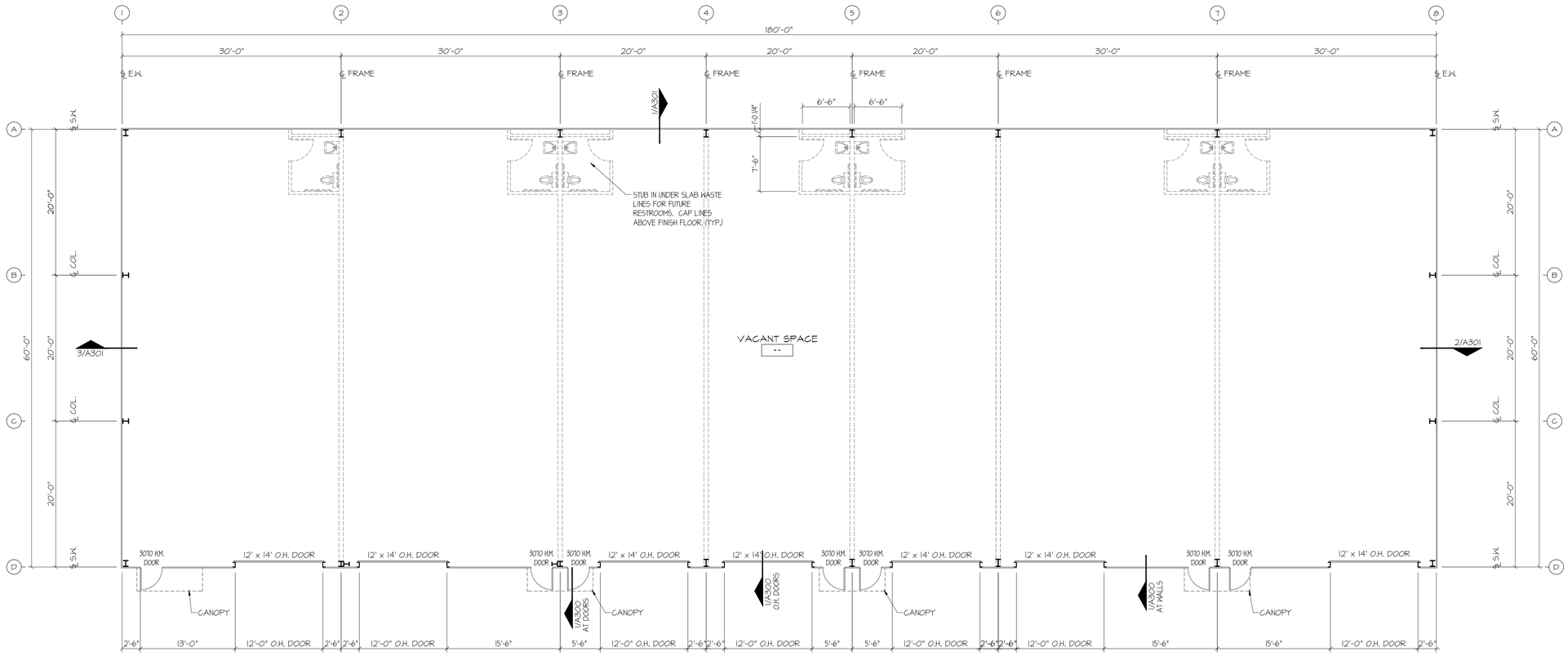
PROPOSED STORAGE BUILDINGS
AUTOTOYBARN
13701 WASHINGTON STREET
KANSAS CITY, MISSOURI

No.	Description	Date
1	REVISIONS PER CITY COMMENTS	6-7-18

DATE: 9-27-17

PROJECT # 17-02-011

A100



FLOOR PLAN - NORTH BUILDING

SCALE: 1/8" = 1'-0"

GENERAL NOTES:

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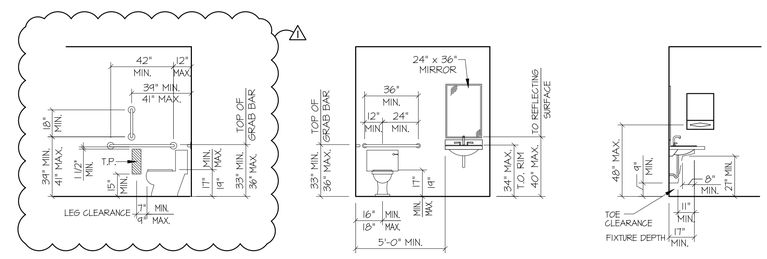

ADA RESTROOM INFORMATION

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STATE OF MISSOURI
JOSEPH G. LAMPEN
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REGISTERED PROFESSIONAL ENGINEER

6-7-18

PROPOSED STORAGE BUILDINGS
AUTOTOYBARN
13701 WASHINGTON STREET
KANSAS CITY, MISSOURI

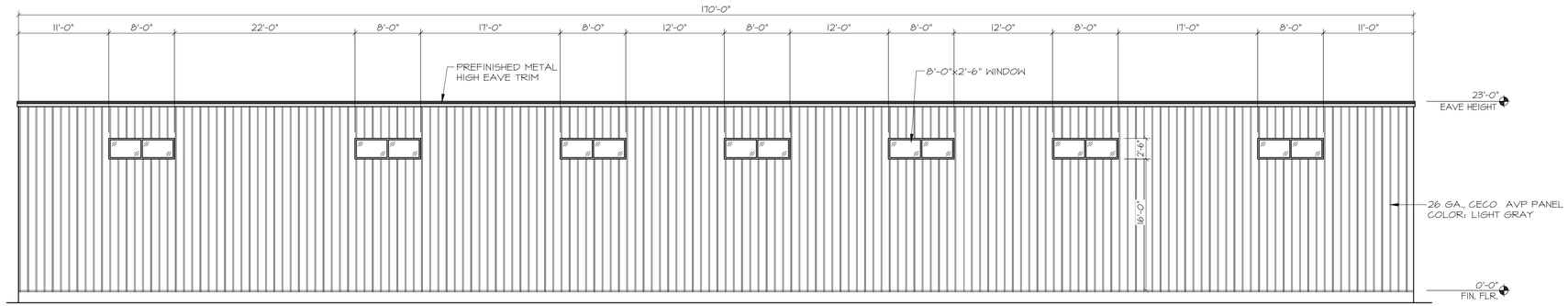
DATE: 9-27-17

REVISIONS

No.	Description	Date
1	REVISIONS PER CITY COMMENTS	6-7-18

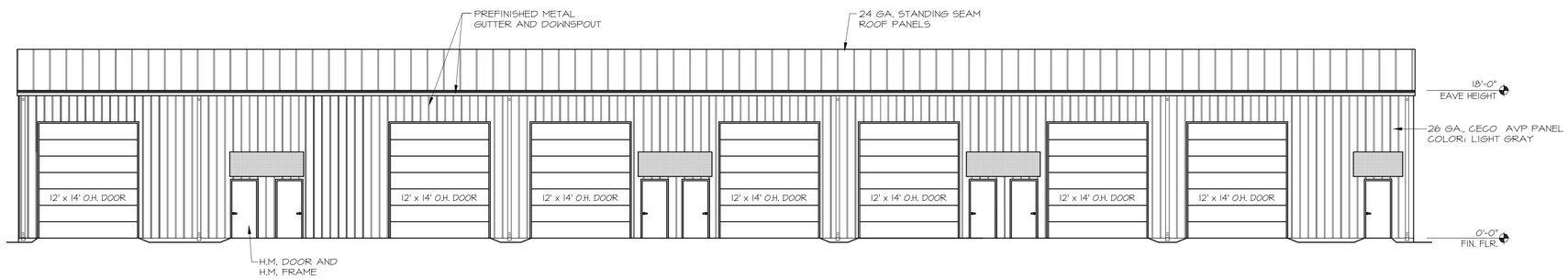
PROJECT # 17-02-011

A101



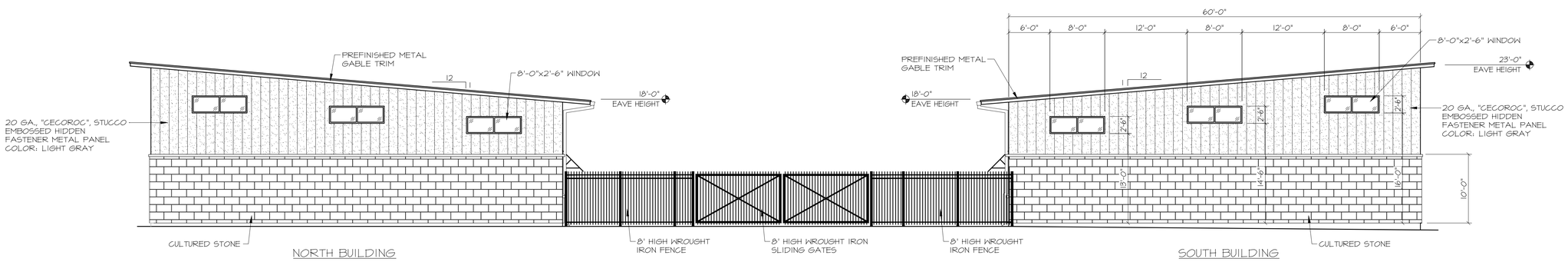
1/A200 SCALE: 1/8" = 1'-0"

SOUTH ELEVATION - SOUTH BUILDING



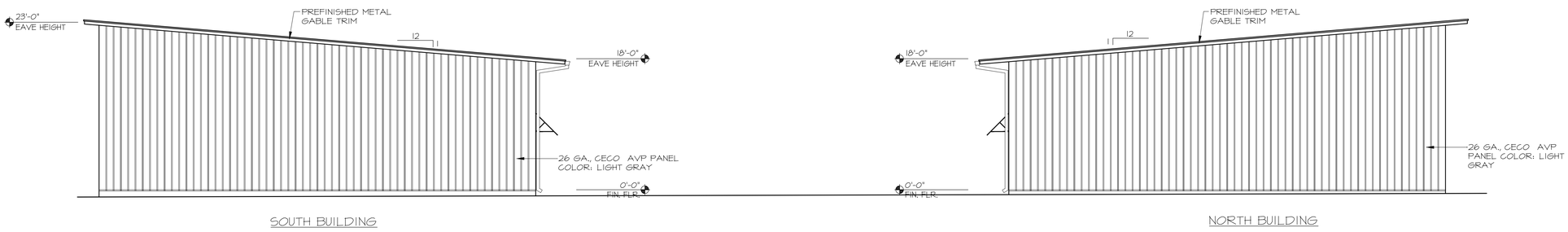
2/A200 SCALE: 1/8" = 1'-0"

NORTH ELEVATION - SOUTH BUILDING



3/A200 SCALE: 1/8" = 1'-0"

WEST ELEVATION - NORTH AND SOUTH BUILDINGS



4/A200 SCALE: 1/8" = 1'-0"

EAST ELEVATION - NORTH AND SOUTH BUILDINGS

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6-7-18

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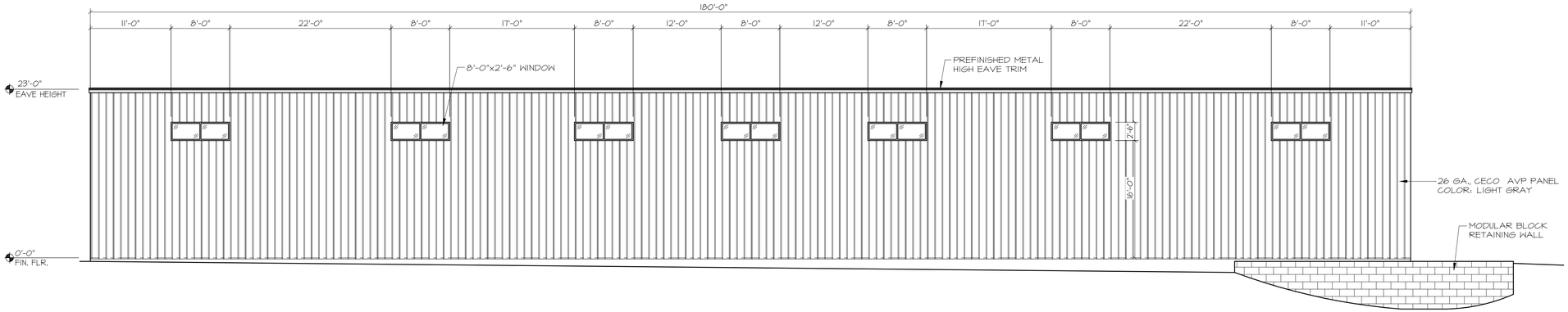
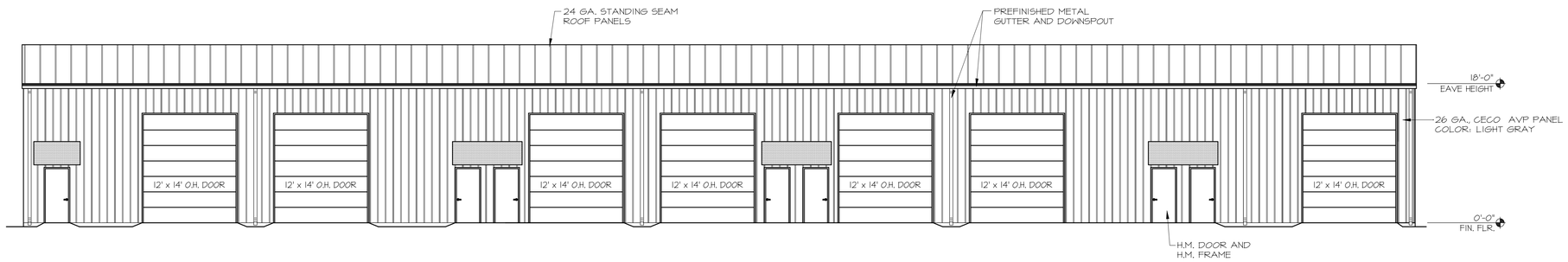
PROJECT # 17-02-011

A200



1/A201 | SCALE: 1/8" = 1'-0"

NORTH ELEVATION - NORTH BUILDING



2/A201 | SCALE: 1/8" = 1'-0"

SOUTH ELEVATION - NORTH BUILDING

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PROJECT # 17-02-011

A201

NRG®4000 SERIES LUMASQUARE® II

LED NEW

Cat.#

Job

Type

HUBBELL Outdoor Lighting

Approvals

SPECIFICATIONS

Intended Use:
Commercial indoor and outdoor surface-mount lowbay applications such as mechanical rooms, utility areas, outdoor retail, covered loading docks, or any medium to low mounting height application where an energy saving, high performance fixture is required. Saves 60-80% compared to traditional metal halide sources.

Construction:
One-piece, injection-molded, clear prismatic acrylic refractor. High temperature acrylic for reduced yellowing, uniform light distribution and low glare. Fully gasketed for weatherproof/bugproof integrity. High transmittance acrylic featuring 82-84% efficiencies plus three times impact strength of standard acrylic. Stainless steel vandal-resistant screws standard.

Rugged, die-cast housing has a durable Lektrocoat® finish available in bronze, white, black and gray. Mounts over recessed J-box and features two convenient 1/2" side hubs for surface conduit mounting and an internal channel for thru wiring.

Optics/Electrical:
Fixtures are designed for operating ambient temperature of -40°C to 40°C. Two 0-10V dimming drivers, 120-277V, 50/60 Hz. Fixture available in 350 mA or 700 mA for increased lumen output. 10KA surge suppressor is included.

LED(s) CCT:
3000K CCT (80 CRI) nominal, 4000K CCT (70 CRI) nominal and 5000K CCT (70 CRI) nominal

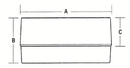
Installation:
Standard mounting for ceiling/conduit; two 1/2" conduit hubs for surface wiring

Listings:
- Listed to UL 1598 for use in wet locations.
- DesignLights Consortium® (DLC) qualified. Please refer to the DLC website for specific product qualifications at www.designlights.org

Warranty:
Five year limited warranty (for more information visit: http://www.hubbelloutdoor.com/resources/warranty/

PRODUCT IMAGE(S)

DIMENSIONS



A	B	C	Weight
14"	8.125"	4.75"	13.9 lbs.
356 mm	206 mm	121 mm	6.3 kg

CERTIFICATIONS/LISTINGS

ORDERING INFORMATION - 5-DAY QUICK-SHIP

Catalog Number	System Watts	Delivered Lumens	Voltage	CCT	# Drivers/ Current	Mounting Height	Weight lbs. (kg)	PKG. CODE
NRG-4-30LU-4K-035-BZ	35	4234	120-277V	4000K	1@350mA	up to 16 ft.	13.9 (6.3)	BC
NRG-4-30LU-4K-BZ	70	7504	121-277V	4000K	1@700mA	up to 16 ft.	13.9 (6.3)	BC
NRG-4-30LU-5K-035-BZ	35	4471	122-277V	5000K	1@350mA	up to 16 ft.	13.9 (6.3)	BC
NRG-4-30LU-5K-BZ	70	7727	123-277V	5000K	1@700mA	up to 16 ft.	13.9 (6.3)	BC

ORDERING INFORMATION - MADE TO ORDER

NRG-4 - 30L - U - [ ] - [ ] - [ ]

FAMILY	LED COUNT	VOLTAGE	CCT	DRIVE CURRENT	FINISH
NRG-4 Lumasquare II	30L 30 LEDs	U 120V-277V	3K 3000K 4K 4000K 5K 5000K	BLANK 700mA 035 350mA	BZ Bronze WH White BL Black GR Gray

REPLACEMENT PART

Catalog Number	Description
800-3289-0100	Replacement refractor kit

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NRG4LED-SPEC JUNE 8, 2017 10:53 AM

AIRO LED SERIES

AREA/SITE/ROAD LIGHTER

Cat.#

Job

Type

HUBBELL Outdoor Lighting

Approvals

SPECIFICATIONS

Construction:
- Stylish vertically finned die-cast and extruded aluminum for maximum heat dissipation
- Separate optical and electrical compartment for improved thermal management and optimum component operation
- EPA: 8L – .50ft^2 16L – .62 ft^2 24L – .74 ft^2

Optics:
- Premium engineered individual acrylic lenses deliver IES Type II, III, IV and V distributions
- Lens distributions are field rotatable (in 90° increments) or exchangeable for job site fine-tuning
- 3000K, 4000K, or 5000K (70 CRI) CCT
- Zero uplight

Electrical:
- Configured with 8, 16, or 24 high current and high output LEDs to replace 150, 250 and 400wHID respectively
- Universal 120-277 VAC or 347-480 VAC input voltage, 50/60 Hz
- Ambient operating temperature -40° C to 40° C
- Drivers have greater than 90% power factor and less than 20% THD
- LED drivers have output power over-voltage, over-current protection and short circuit protection with auto recovery
- Field replaceable surge protection device provides 10KA and 10KV protection meeting ANSI/IEEE C62.41.2 Category C High and Surge Location Category C3; Automatically takes fixture off-line for protection when device is consumed

Controls:
- Photo control, occupancy sensor and wireless available for complete on/off and dimming control
- 7-pin ANSI C136.41-2013 photocontrol receptacle option available for twist lock photocontrols or wireless control modules (control accessories sold separately)
- 0-10V dimming leads available for use with control devices (provided by others)
- In addition, AIRO can be specified with SiteSync™ wireless control system for reduction in energy and maintenance cost while optimizing light quality 24/7. See ordering information or visit www.hubbelllighting.com/sitesync for more details.

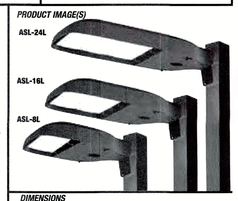
Installation:
- Tool-less entry to wiring/driver compartment
- Universal mounting block works with #2 drill pattern (See page 4 illustration)
- Fixture ships with slotted mounting block to accomodates wide range of drill patterns for easy retrofit opportunities (See page 4 illustration for dimensions)
- Mast arm fitter accessory or option available for 2-3/8" OD brackets

Finish:
- TGIC thermoset polyester powder paint finish applied at nominal 2.5 mil thickness

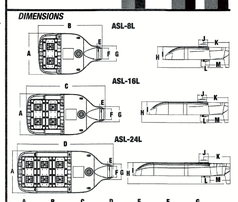
Warranty:
Five year limited warranty (for more information visit: http://www.hubbelloutdoor.com/resources/warranty/

Listings:
- DesignLights Consortium (DLC) qualified, consult DLC website for more details: http://www.designlights.org/QPL
- Listed to UL1598 and CSA C22.2#250.0-24 for wet locations and 40°C ambient temperatures
- 3G rated for ANSI C136.31 high vibration applications
- IP65 optical assembly
- IDA approved

PRODUCT IMAGE(S)



DIMENSIONS



A	B	C	D	E	F	G
11.7"	17.25"	22.4"	26.6"	1.5"	3.1"	4.3"
297 mm	438 mm	569 mm	675 mm	38 mm	78 mm	109 mm

H	I	J	K	L	M
5.9"	3.6"	2.5"	7.4"	2.3"	6.7"
150 mm	91 mm	63 mm	188 mm	58 mm	170 mm

SHIPPING INFORMATION

Catalog Number	G.W.lbs/ CTN	Carton Dimensions		
		Length Inch (cm)	Width Inch (cm)	Height Inch (cm)
ASL-8L	15 (6.8)	20.75 (52.7)	15.125 (38.4)	6.9375 (17.6)
ASL-16L	19 (8.6)	25 (63.5)	15.125 (38.4)	6.9375 (17.6)
ASL-24L	24 (10.8)	25 (63.5)	15.125 (38.4)	6.9375 (17.6)

CERTIFICATIONS/LISTINGS

CONFIGURABLE ORDERING INFORMATION NEXT PAGE

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July 27, 2017 1:34 PM ASLLED-SPEC

LNC2 SERIES

Cat.#

Job

Type

HUBBELL Outdoor Lighting

Approvals

SPECIFICATIONS

Intended Use:
The compact LED LNC2 is designed for perimeter illumination for safety, security and identity. This compact fixture has no uplight and is neighbor friendly with typical mounting heights up to 15ft. Units are supplied with an acrylic diffuser accessory that can be used for lower LED brightness near building entrances or other pedestrian areas. Units have protective polyester finish for long lasting appearance.

Construction:
Decorative die-cast aluminum housing protects components and provides an architectural appearance. Casting thermally conducts LED heat to optimize performance and long life. Powder paint finish provides durability in outdoor environments.

Electrical:
- 120V-277V universal voltage 50/60Hz 0-10V dimming drivers
- 347V and 480V dimmable driver option in 12L configuration
- Electronic drivers: One in 5L, 7L, 9L and 12L units Two drivers in 18L units
- Minimum operating temperature is -40°C/-40°F
- Driver RoHS and IP66
- Drivers have greater than .90 power factor and less than 20% Total Harmonic Distortion

LED(s) CCT:
- 3000K CCT nominal – 80 CRI, 4000K CCT nominal – 70 CRI, 5000K CCT nominal – 70 CRI
- 5, 7, 9, 12 and 18 LED configurations available see page 2 for electrical and photometric details

Optical:
Type II, III and IV distributions with zero uplight; Individual PMMA acrylic lenses for wide lateral throw, maximum control and efficiency; Acrylic diffuser included where reduced LED brightness is desired

Lumen Maintenance:
L36 at 60,000hrs (Projected per IESNA TM-21-11), see table on page 2 for all values

Installation:
Quick-mount adapter provides easy installation to wall or to recessed junction boxes (4" square junction box). Gasket seal and secured by two Allen-head hidden fasteners for tamper resistance. Designed for direct j-box mount or conduit feed in single 5KU. Conduit feed not available with BBU.

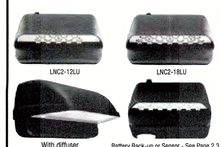
Options:
Controls:
- Button photocontrol for dusk to dawn energy savings
- Occupancy sensor options available for complete on/off and dimming control (includes factory installed back box)

Egress (includes factory installed back box):
- Battery back-up option - 12L configuration only
- Provides 1 fc minimum over 10' x 10' at 11' mounting height (exceeds NEC requirement)
- 1,546 initial lumens in battery mode
- Meets UL924 90 minute discharge schedule
- -20°C to 30°C operating temperature

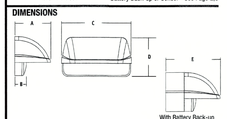
Listings:
- DLC Qualified (Types III and IV) Consult DLC website for details: http://www.designlights.org/QPL
- Listed to UL 1598 for use in wet locations, 40° C ambient environments

Warranty:
Five year limited warranty (for more information visit: http://www.hubbelloutdoor.com/resources/warranty/
- IES Progress Award Winner - 2013
- Building Operating Management 2014 Top Products Award - LNC2-18LU

PRODUCT IMAGE(S)



DIMENSIONS



A	B	C	D	E	Weight / BBU
6.25"	1.6"	10.25"	5.6"	10.25"	7.0 / 15.0 lbs.
158.7 mm	40.2 mm	260.4 mm	142.2 mm	260.4 mm	3.2 / 6.8 kg

SHIPPING INFORMATION

Catalog Number	G.W.lbs/ CTN	Carton Dimensions		
		Length Inch (cm)	Width Inch (cm)	Height Inch (cm)
LNC2-12LU	14.3 (6.5)	14.5 (37)	11.4 (29)	8.4 (21.5)
LNC2-18LU	14.8 (6.7)	14.9 (38)	11.4 (29)	8.4 (21.5)

CERTIFICATIONS/LISTINGS

*3000K and warmer CCTs only

ORDERING INFORMATION – ORDERING EXAMPLE: LNC2-12LU-5K-3-1

LNC2 - [ ] - [ ] - [ ] - [ ] - [ ] - [ ]

SERIES	NUMBER OF LEDS	VOLTAGE [1]	CCT	IES DISTRIBUTION	FINISH	OPTIONS
LNC2 LNC2	5L 5 LEDs 7L 7 LEDs 9L 9 LEDs 12L[2] 12 LEDs 18L 18 LEDs 12L5 12 LEDs, 480V 12LF 12 LEDs, 347V	U 120V-277V 1 120V 2 208V 3 240V 4 277V 5 480V (12L only) F 347V (12L only)	3K[3] 3000K nominal 80 CRI 4K 4000K nominal 70 CRI 5K 5000K nominal 67 CRI AM Amber (590 µm available for "Turtle Friendly" /observatory applications, 350 mA (18L only versions)	2[5] Type II 3 Type III 4 Type IV	1 Bronze 2 Black 3 Gray 4 White 5 Platinum	PC Photocontrol BBU[1,6] Integral battery for 12L only (must specify 120V or 277V voltage in voltage category) rated for -20°C to 30°C SCP[3,4,6] Programmable motion sensor, factory default dimming is 10% light output

SPECIFY SCP HEIGHT
8F Up to 8ft mount height
20F Up to 20ft mount height

[1] Battery backup only available on 12L models, not available for Canada
[2] Does not qualify for DLC
[3] Replace U with 1 for 120V or 4 for 277V for 12L with BBU
[4] Must order minimum of one remote control to program dimming settings, 0-10V fully adjustable dimming with automatic daylight calibration and different time delay settings, 120V-277V only
[5] PC option not applicable, included in sensor
[6] BBU and motion sensor options cannot be combined

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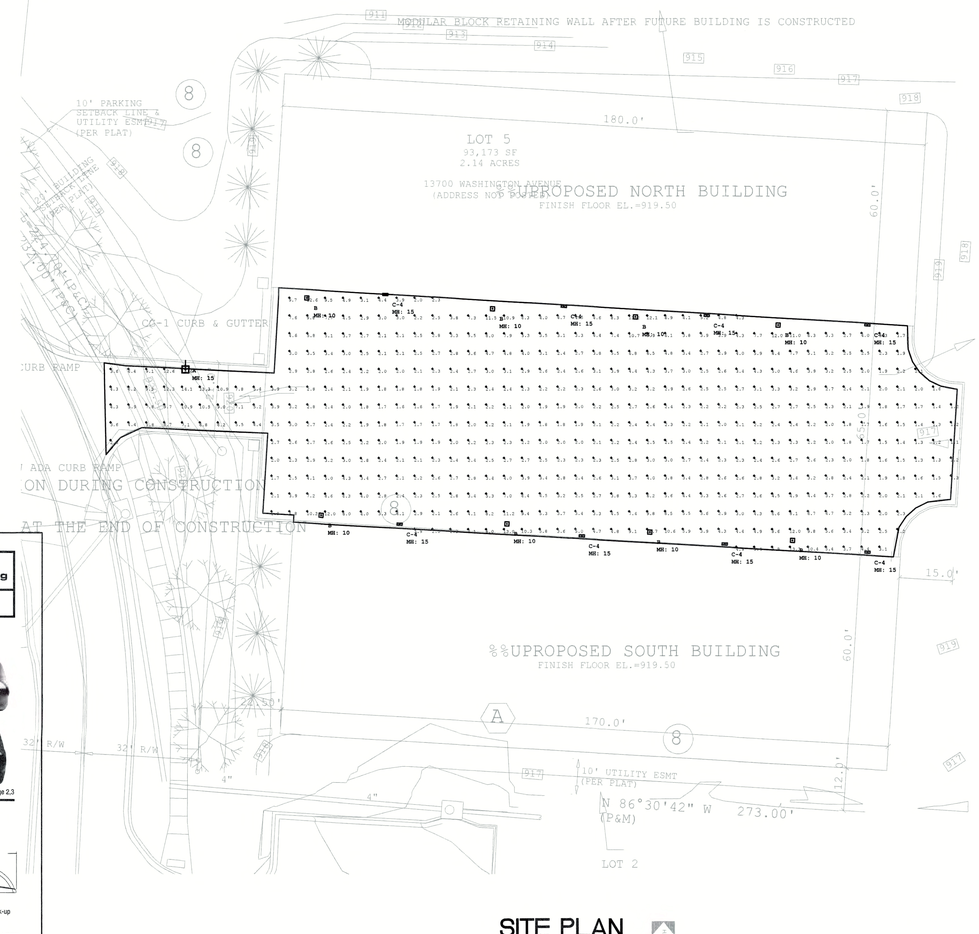
July 13, 2017 4:43 PM LNC2-SPEC

Luminaire Schedule								
Symbol	Qty	Label	Arrangement	Lum. Lumens	Lum. Watts	LLF	Description
	1	A	SINGLE	12801	115	0.950	ASL-16L-SK-210-3 @ 15' MTG HT
	8	C-4	SINGLE	3995	43.3	0.950	LNC2-18LU-5K-4 @ 15' MTG HT
	8	B	SINGLE	4471	35	0.950	NRG-30LU-5K-035-BZ @ 10' MTG HT

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Site Lighting Planar	Illuminance	Fc	3.85	14.6	1.1	3.50	13.27



SITE PLAN

SCALE: 1" = 20'-0"

REVISION

6/1/18 - REVISED DRAWINGS

PROPOSED STORAGE BUILDING
AUTOTOYBARN

13701 WASHINGTON STREET
KANSAS CITY, MISSOURI

PROJECT NUMBER:

DATE:

SHEET NUMBER
E4

ELECTRICAL ASSOCIATES
308 WEST ELM
OLATHE, KS 66061

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