

TRAILS AT BANNISTER APARTMENT HOMES UR DEVELOPMENT PLAN AND PRELIMINARY PLAT

LOCATED IN

**SECTION 25, TOWNSHIP 48N, RANGE 33W
KANSAS CITY, JACKSON COUNTY, MISSOURI**

LEGAL DESCRIPTION

TRACT 1: INTENTIONALLY OMITTED

TRACT 2:

THE SOUTH ONE HALF OF A TRACT OF LAND IN THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 25 TOWNSHIP 48 RANGE 33, IN KANSAS CITY, JACKSON COUNTY, MISSOURI AND DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF SAID QUARTER QUARTER SECTION AND RUNNING THENCE EAST 661.41 FEET; THENCE SOUTH 1320.97 FEET; THENCE WEST 661.14 FEET TO THE SOUTHWEST CORNER OF SAID QUARTER QUARTER SECTION; THENCE NORTH 1321.22 FEET TO THE POINT OF BEGINNING, BEING LOT 3 IN SECHREST ESTATE, COMMISSIONER'S PLAT, EXCEPT THAT PART IN ROADS, LESS AND EXCEPT:

PART OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 25, TOWNSHIP 48, RANGE 33, INCLUDING A PART OF LOT 3, SECHREST ESTATE, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI, DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST QUARTER (SHOULD BE CORNER) OF SAID QUARTER QUARTER SECTION; THENCE EAST ALONG THE SOUTH LINE OF SAID QUARTER QUARTER SECTION 330 FEET; THENCE NORTH PARALLEL WITH THE WEST LINE OF SAID QUARTER QUARTER SECTION 335 FEET; THENCE WEST PARALLEL WITH THE SOUTH LINE OF SAID QUARTER QUARTER SECTION 330 FEET TO THE WEST LINE OF SAID QUARTER QUARTER SECTION; THENCE SOUTH ALONG SAID WEST LINE 335 FEET TO THE POINT OF BEGINNING, EXCEPT THAT PART IN BANNISTER ROAD.

TRACT 3:

ALL THAT PART OF LOT 4, LYING WESTERLY OF THE RIGHT OF WAY OF THE KANSAS CITY SOUTHERN RAILROAD, OF THE SUBDIVISION OF SECHREST ESTATE, ACCORDING TO THE RECORDED PLAT THEREOF MADE A PART OF THE COMMISSIONER'S REPORT IN CAUSE NO. 24821, MARY AMANDA TALLEY, ET AL., V. WILLIAM ZIMMERMAN, IN THE CIRCUIT COURT OF JACKSON COUNTY, MISSOURI, AT INDEPENDENCE, OF RECORD IN THE RECORDER'S OFFICE AT KANSAS CITY IN BOOK B-1405 AT PAGE 171 AS DOCUMENT NO. 846683, SITUATE IN KANSAS CITY, JACKSON COUNTY, MISSOURI.

LESS AND EXCEPT:

THE NORTH 70 FEET OF THE FOLLOWING DESCRIBED LAND: BEGINNING 786 FEET NORTH AND 209.09 FEET EAST OF THE SOUTHWEST CORNER OF SAID LOT 4; THENCE EAST 209.09 FEET; THENCE NORTH 534.81 FEET TO THE NORTH LINE OF SAID LOT 4; THENCE WEST 209.09 FEET; THENCE SOUTH 534.89 FEET TO THE POINT OF BEGINNING, BEING THE SAME LAND CONVEYED TO THE CITY OF KANSAS CITY, MISSOURI FOR PARK PURPOSES BY DEED RECORDED AS DOCUMENT NO. K-1060221 IN BOOK K-2338 AT PAGE 1784.

ALSO LESS AND EXCEPT:

THE SOUTH 200 FEET OF THE NORTH 270 FEET OF THE FOLLOWING DESCRIBED BEGINNING 786 FEET NORTH AND 239.09 FEET EAST OF THE SOUTHWEST CORNER OF SAID LOT 4; THENCE EAST 179.09 FEET; THENCE NORTH 534.81 FEET TO THE NORTH LINE OF SAID LOT 4; THENCE WEST 179.09 FEET;

THENCE SOUTH 534.89 FEET TO THE POINT OF BEGINNING, BEING THE SAME LAND CONVEYED TO THE CITY OF KANSAS CITY, MISSOURI FOR PARK PURPOSES BY DEED RECORDED AS DOCUMENT NO. K-1112959 IN BOOK K-2484 AT PAGE 1118.

ALSO LESS AND EXCEPT:

THE NORTH 70 FEET OF THE FOLLOWING DESCRIBED LAND: BEGINNING 786 FEET NORTH OF THE SOUTHWEST CORNER OF SAID LOT 4; THENCE EAST 209.09 FEET; THENCE NORTH 534.81 FEET TO THE NORTH LINE OF SAID LOT 4; THENCE WEST 209.09 FEET; THENCE SOUTH 534.89 FEET TO THE POINT OF BEGINNING, BEING THE SAME LAND CONVEYED TO THE CITY OF KANSAS CITY, MISSOURI FOR PARK PURPOSES BY DEED RECORDED AS DOCUMENT NO. K-1112960 IN BOOK K-2484 AT PAGE 1122.

ALSO LESS AND EXCEPT:

THE NORTH THREE HUNDRED SEVENTY-FIVE (375) FEET OF THAT PART OF LOT FOUR, LYING WESTERLY OF THE RIGHT OF WAY OF THE KANSAS CITY SOUTHERN RAILROAD, OF THE SUBDIVISION OF SECHREST ESTATE, ACCORDING TO THE RECORDED PLAT THEREOF, MADE A PART OF COMMISSIONER'S REPORT IN CAUSE NO. 24821, MARY AMANDA TALLEY, ET AL., V. WILLIAM ZIMMERMAN, IN THE CIRCUIT COURT OF JACKSON COUNTY, MISSOURI, AT INDEPENDENCE, OF RECORD IN THE RECORDER'S OFFICE AT KANSAS CITY IN BOOK B-1405 AT PAGE 171 AS DOCUMENT NO. 846683, SITUATED IN KANSAS CITY, JACKSON COUNTY, MISSOURI, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT SEVEN HUNDRED EIGHTY-SIX (786) FEET NORTH OF THE SOUTHWEST CORNER OF SAID (LOT) FOUR (4); THENCE EAST FOUR HUNDRED EIGHTEEN AND EIGHTEEN HUNDREDTHS (418.18) FEET TO THE TRUE POINT OF BEGINNING; THENCE EAST ONE HUNDRED SIXTY-NINE AND FIFTEEN HUNDREDTHS (169.15) FEET MORE OR LESS TO THE WEST RIGHT OF WAY LINE OF THE KANSAS CITY SOUTHERN RAILROAD; THENCE NORTHEASTERLY ALONG SAID RIGHT OF WAY LINE FIVE HUNDRED THIRTY-SEVEN AND THIRTEEN HUNDREDTHS (537.13) FEET MORE OR LESS TO THE NORTH LINE OF SAID LOT FOUR (4); THENCE WEST ALONG SAID NORTH LINE OF SAID LOT FOUR (4) TWO HUNDRED AND TWENTY (220) FEET MORE OR LESS TO THE NORTHEAST CORNER OF SCHUMACHER PARK; THENCE SOUTHERLY ALONG THE EAST BOUNDARY LINE OF SCHUMACHER PARK AND ITS PROLONGATION FIVE HUNDRED THIRTY-FOUR AND EIGHT-ONE HUNDREDTHS (534.81) FEET MORE OR LESS TO THE POINT OF BEGINNING.

TRACT 4:

A TRACT OF LAND IN THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 25, TOWNSHIP 48, RANGE 33, IN KANSAS CITY, JACKSON COUNTY, MISSOURI, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF SAID QUARTER QUARTER SECTION; THENCE NORTH ALONG THE EAST LINE OF SAID QUARTER QUARTER SECTION 75 FEET; THENCE WEST, PARALLEL TO THE SOUTH LINE OF SAID QUARTER QUARTER SECTION, 165 FEET; THENCE SOUTH PARALLEL WITH THE EAST LINE OF SAID QUARTER QUARTER SECTION 75 FEET TO THE SOUTH LINE THEREOF; THENCE EAST ALONG SAID SOUTH LINE, 165 FEET TO THE POINT OF BEGINNING, EXCEPT THAT PART IN BANNISTER ROAD.

TRACT 5:

PART OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 25, TOWNSHIP 48, RANGE 33, INCLUDING A PART OF LOT 3, SUBDIVISION OF SECHREST ESTATE, A SUBDIVISION, ALL IN KANSAS CITY, JACKSON COUNTY, MISSOURI, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID QUARTER QUARTER SECTION; THENCE EAST ALONG THE SOUTH LINE OF SAID QUARTER QUARTER SECTION, 330 FEET; THENCE NORTH PARALLEL WITH THE WEST LINE OF SAID QUARTER QUARTER SECTION 335 FEET; THENCE WEST PARALLEL WITH THE SOUTH LINE OF SAID QUARTER QUARTER SECTION, 330 FEET TO THE WEST LINE OF SAID QUARTER QUARTER SECTION; THENCE SOUTH ALONG SAID WEST LINE 335 FEET TO THE POINT OF BEGINNING, EXCEPT THAT PART IN BANNISTER ROAD.

TRACT 6:

THE NORTH THREE HUNDRED SEVENTY-FIVE (375) FEET OF THAT PART OF LOT FOUR (4), LYING WESTERLY OF THE RIGHT OF WAY OF THE KANSAS CITY SOUTHERN RAILROAD, OF THE SUBDIVISION OF SECHREST ESTATE, ACCORDING TO THE RECORDED PLAT THEREOF, MADE A PART OF THE COMMISSIONER'S REPORT IN CAUSE NO. 24821, MARY AMANDA TALLEY, ET AL., V. WILLIAM ZIMMERMAN, IN THE CIRCUIT COURT OF JACKSON COUNTY, MISSOURI, AT INDEPENDENCE, OF RECORD IN THE RECORDER'S OFFICE AT KANSAS CITY IN BOOK B-1405 AT PAGE 171 AS DOCUMENT NO. 846683, SITUATED IN KANSAS CITY, JACKSON COUNTY, MISSOURI, DESCRIBED AS FOLLOWS:

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FLOODPLAIN:

THIS SITE DOES NOT LIE WITHIN A FEMA REGULATED FLOODPLAIN

PROJECT BENCHMARK

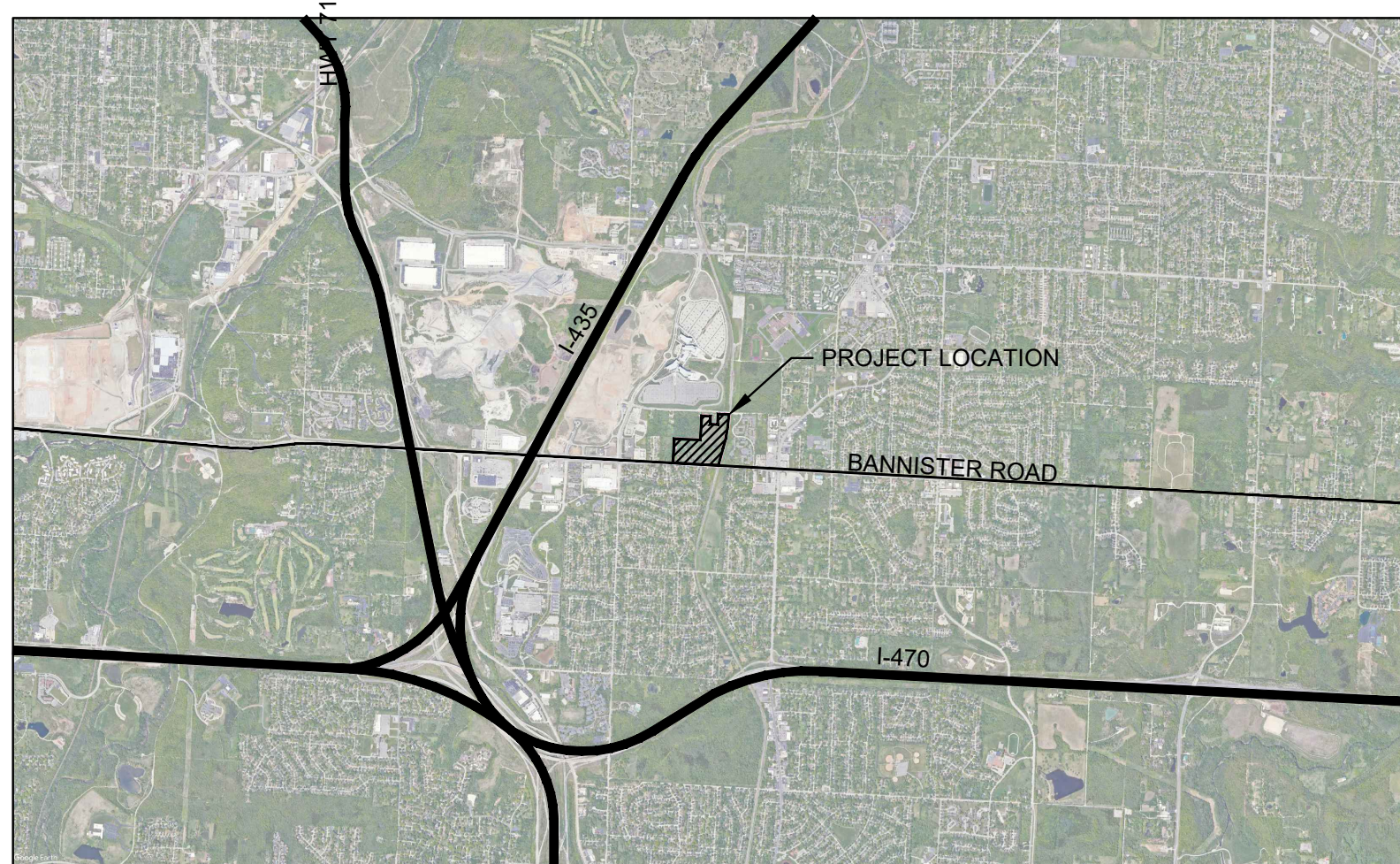
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EL: 959.25

BM2: SOUTHEAST CORNER OF STORM INLET LOCATED NEAR THE NORTHEAST CORNER OF THE PROPERTY.
EL: 1003.89



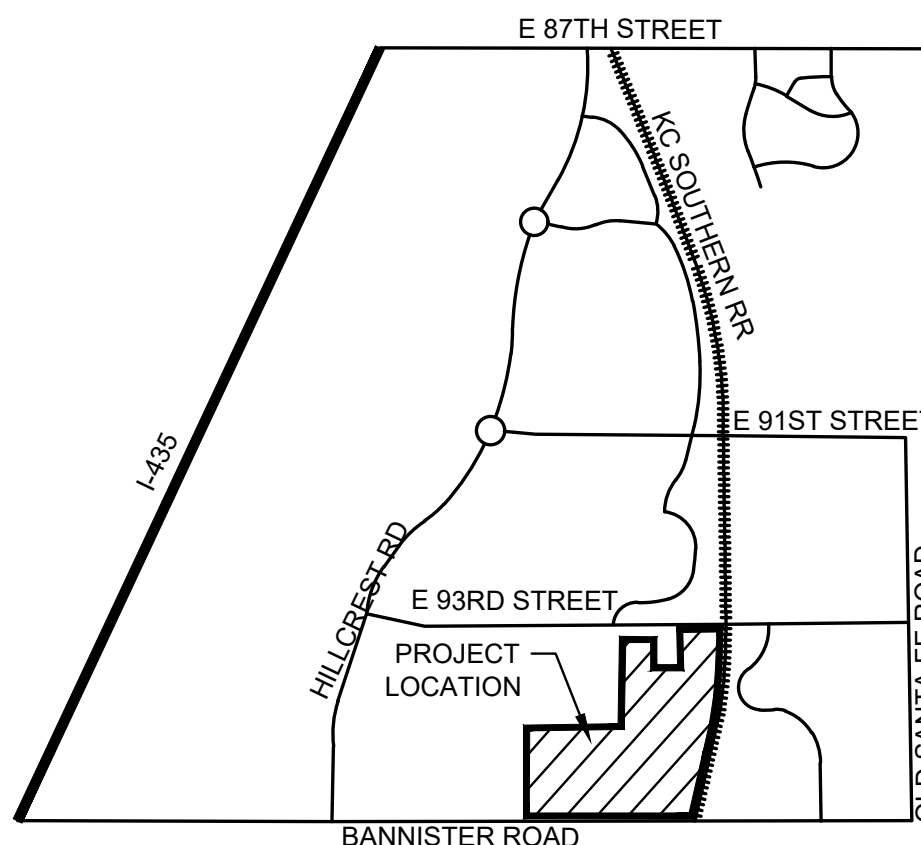
UTILITY NOTE:

"THE UNDERGROUND UTILITIES HAVE BEEN SHOWN PER GIS, SURVEY, AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN EXACT LOCATION INDICATED."



LOCATION MAP
NOT TO SCALE

KANSAS CITY, JACKSON COUNTY, MISSOURI



VICINITY MAP
NOT TO SCALE
KANSAS CITY, JACKSON COUNTY, MISSOURI

UTILITY CONTACTS

Public Works-Streetlight Services
Public Works Department Street and Traffic Division
Attn: Jeffrey Bryan
5310 Municipal Ave
Kansas City, MO 64120
Ph: 816-513-9865
(FAX): 816-513-9876
jeffrey.bryan@kcmo.org

Parks and Recreation Department

Attn: Daniel Weber
4600 E. 63rd Street
Kansas City, MO 64130
Ph: 816-513-7521
(FAX): 816-513-7602
daniel.weber@kcmo.org (For Boulevards and Parkways only)

Water Services Department

Travis W. Kiefer, P.E.
Permitting & Development Division
KC Water, City Hall, 5th Floor (east)
414 E. 12th Street
Kansas City, MO 64106
Ph: 816-513-2139
travis.kiefer@kcmo.org

Spire Energy

Attn: Johnny Strauss
7500 E. 35th Terrace
Kansas City, MO 64129
Ph: 816-360-5037
(FAX): 816-921-9110
Johnny.Strauss@spireenergy.com

Vicinity Energy - North America

Attn: Richard Behrens
115 Grand Boulevard
Kansas City, MO 64106
Ph: 816-889-4909 / 4924
(FAX): 267-515-5900
richard.behrens@vicinityenergy.us

Sheet List Table

Sheet Number	Sheet Title
C001	COVER SHEET
C200	SITE PLAN
C201	PRELIMINARY PLAT
C300	GRADING PLAN
C400	UTILITY PLAN
C500	SITE SECTION
L001	TREE REMOVAL PLAN
L100	LANDSCAPE PLAN
A100	ARCHITECTURAL ELEVATIONS
A101	ARCHITECTURAL ELEVATIONS
A102	ARCHITECTURAL ELEVATIONS
E100	PHOTOMETRIC PLAN
E101	PHOTOMETRIC PLAN



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Cedar Rapids, IA | Fort Dodge, IA
North Liberty, IA | Sioux City, IA

Macon, MO | Columbia, MO
North Kansas City, MO
Lenexa, KS

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MISSOURI CERTIFICATE OF AUTHORITY NO. E-2006023253
EXPIRES: DECEMBER 31, 2022

REVISIONS

PROJECT INFO
210660-000

ENGINEER	DRAWN BY	CHECKED BY
PJO	ELM	PJO

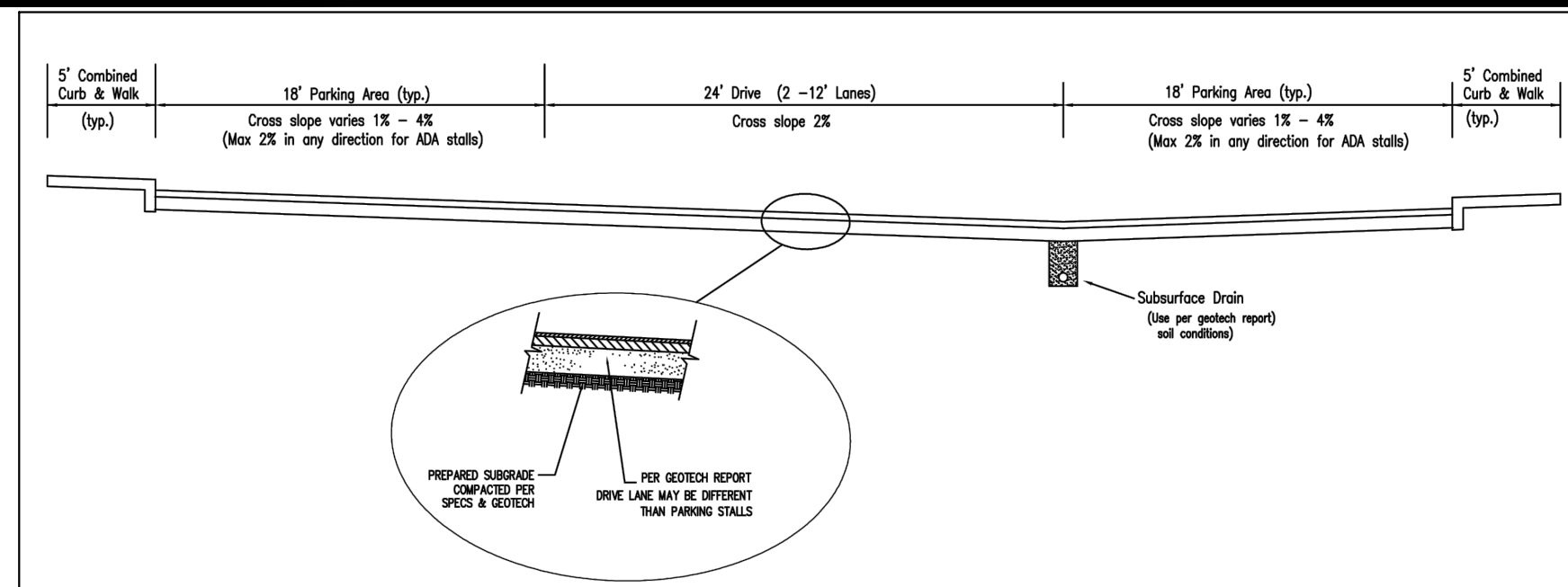
TRAILS AT BANNISTER APARTMENT HOMES
6400 BANNISTER ROAD
KANSAS CITY, MO

UR PRELIMINARY DEVELOPMENT PLAN
COVER SHEET

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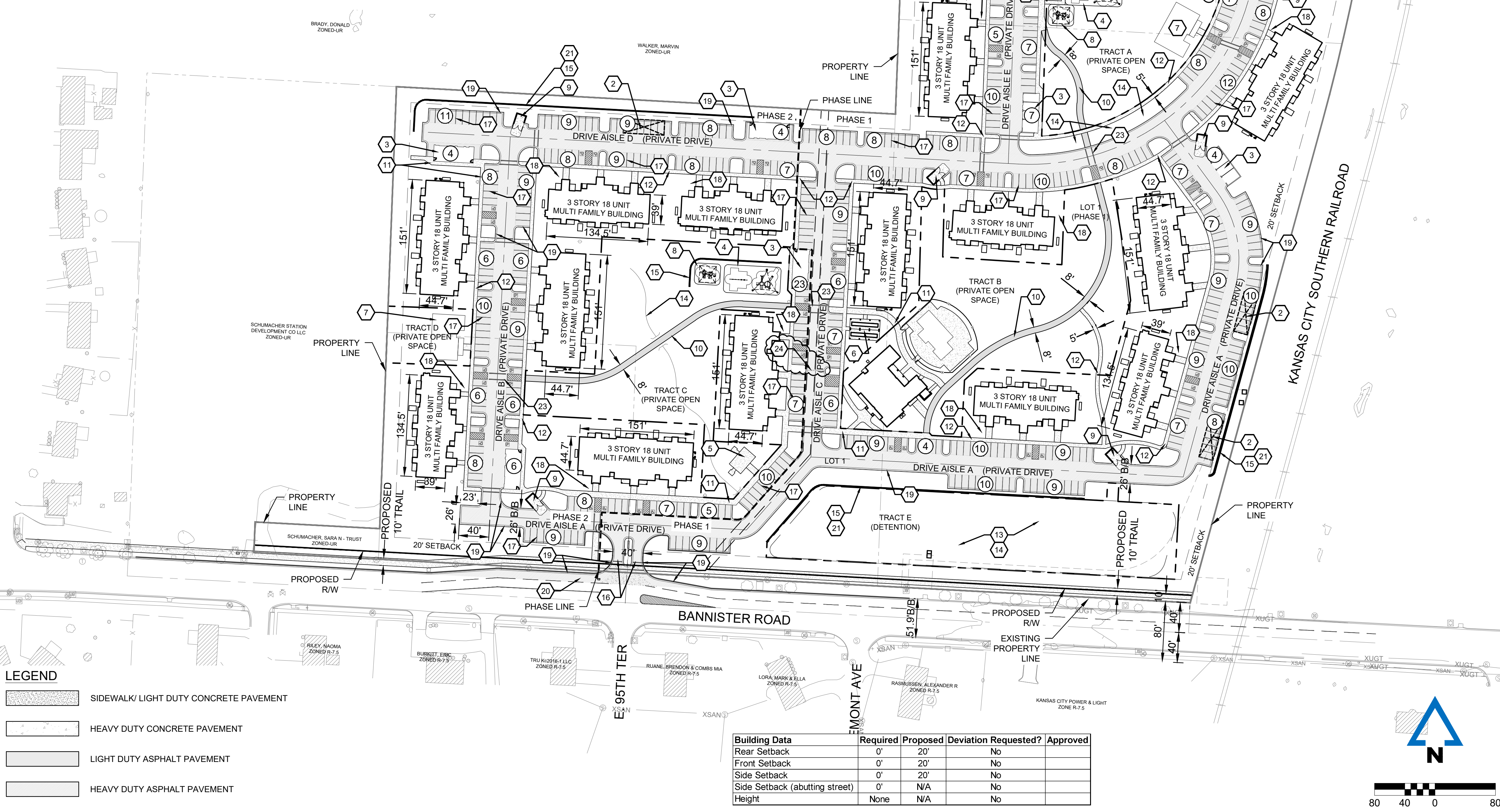
C001



TYPICAL DRIVE/PARKING AREA SECTION
NOT TO SCALE

KEY NOTES

- 1 EXISTING SIDEWALK TO REMAIN
- 2 PROPOSED CAR PORT
- 3 PROPOSED GARAGE, TYP
- 4 PROPOSED PLAYGROUND
- 5 PROPOSED GRILL PAVILION
- 6 PROPOSED MAIL KIOSK
- 7 PROPOSED BARK PARK
- 8 PROPOSED TOT LOT
- 9 PROPOSED TRASH ENCLOSURE, TYP
- 10 PROPOSED 8' WIDTH ASPHALT WALKING TRAIL
- 11 PROPOSED 8' WIDTH CONCRETE WALKING TRAIL
- 12 PROPOSED 5' SIDEWALK, TYP.
- 13 PROPOSED DETENTION BASIN
- 14 PROPOSED STORMWATER BMP LOCATION
- 15 PROPOSED RETAINING WALL W/ FENCE ALONG TOP
- 16 PROPOSED PRIVATE DRIVE ISLE (SEE DETAIL THIS SHEET)
- 17 PROPOSED 9'X18' PARKING STALL (TYP)
- 18 4 SHORT-TERM BICYCLE PARKING (TYP PER BUILDING)
- 19 PROPOSED CURB AND GUTTER
- 20 PROPOSED LEFT-TURN LANE
- 21 PROPOSED DECORATIVE FENCE, 4' MIN. HEIGHT, ALUMINUM, COLOR TO BE BLACK
- 22 EXISTING 5' WIDTH ASPHALT WALKING PATH TO REMAIN
- 23 PAINTED CROSSWALK AT TRAIL CROSSING(S) (TYP)
- 24 PROPOSED SPEED BUMP



LEGEND

- SIDEWALK/ LIGHT DUTY CONCRETE PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT
- LIGHT DUTY ASPHALT PAVEMENT
- HEAVY DUTY ASPHALT PAVEMENT
- PHASE LINE

Building Data	Required	Proposed	Deviation Requested?	Approved
Rear Setback	0'	20'	No	
Front Setback	0'	20'	No	
Side Setback	0'	20'	No	
Side Setback (abutting street)	0'	N/A	No	
Height	None	N/A	No	

LOT/TRACT INFO:

- LOT 1: 16.83 ACRES
- TRACT A: 0.868 ACRES (OPEN SPACE)
- TRACT B: 1.568 ACRES (OPEN SPACE)
- TRACT E: 1.181 ACRES (DETENTION)
- LOT 2: 7.49 ACRES
- TRACT C: 1.328 ACRES (OPEN SPACE)
- TRACT D: 0.193 ACRES (OPEN SPACE)

NOTE(S):

1. LONG-TERM BICYCLE PARKING TO BE PROVIDED WITHIN APARTMENT BUILDINGS

PARKLAND DEDICATION (88-408)			
a	REQUIRED DEDICATION		
	Detached House Dwellings	(0 units)(3.7 People per unit)(0.006) = 0	
	Two-unit House Dwellings	(0 units)(3.0 People per unit)(0.006) = 0	
	Multi-unit Buildings	(342 Units)(2.0 People per unit)(0.006)=4.104 ac	4.104 Acres Required
b	PROVIDED DEDICATION		
	Total proposed 8' width trail	310 lf (310lf)(50ft) = 15,500 sf (0.360 ac)	
	Tract A	37,706 sf (0.866 ac)	
	Tract B	67,412 sf (1.548 ac)	
	Tract C	57,842 sf (1.328 ac)	
	Tract D	8,390sf (0.193 ac)	
	Total Parkland Provided:	186,850 sf (4.295 acres)	

PARKLAND DEDICATION TRACT INFO:

- TRACT A: (OPEN SPACE) - CONTAINS BARK PARK, PLAYGROUND, TOT LOT
- TRACT B: (OPEN SPACE) - CONTAINS CLUBHOUSE, POOL
- TRACT C: (OPEN SPACE) - CONTAINS PLAYGROUND, TOT LOT, GRILL PAVILION
- TRACT D: (OPEN SPACE) - CONTAINS BARK PARK

Development Summary Table			
a	Zoning		
	Existing		UR
	Proposed		UR
b	Total Land Area		
	Existing	24.32	Acres
c	Right-of-Way		
	Existing	0.00	Acres
	Proposed	0.29	Acres
d	Net Land Area		
	Existing	24.32	Acres
	Proposed	24.04	Acres
e	Proposed Uses		
	Trails at Bannister Apartment Homes		Multi-Family
f	Structure Height & Number of Floors		
	Number of floors	3 stories	12A6B
	Height Above Grade	feet	
	Number of floors	3 stories	12B6C
	Height Above Grade	feet	
g	Gross Floor Area & Number of Units		
	Building Footprint	6,264	SF
	Gross Area Per Building	5,035	SF
	Units per Building	18	EA
	Number of Buildings	8	EA
	Total Gross Area	40,280	SF
	Total Number of Units	144	Units
	Building Footprint	8,202	SF
	Gross Area Per Building	6,785	SF
	Units per Building	18	EA
	Number of Buildings	11	EA
	Total Gross Area	74,635	SF
	Total Number of Units	198	Units
	Building Footprint	4,814	SF
Gross Area Per Building	4,333	SF	
Units per Building	-	EA	
Number of Buildings	1	EA	
Total Gross Area	4,333	SF	
Total Number of Units	1	Units	
Project Total	119,248	SF	
	Project Total	342	Units
i	Density		
	Net Density (Units/Proposed Net Land Area)	14.2	Units per Acre
	Floor Area Ratio (Gross Building Area/Proposed Net Land Area)	4961.4	SF per Acre
j	Vehicle Parking		
	Ratio Required	No Off-Street Parking Required	
	Stalls Required	198	Lot/Phase 1
	Stalls Provided	472	
	Stalls Required	144	Lot/Phase 2
	Stalls Provided	212	
Total Required	342	Stalls	
Total Provided	684	Stalls	
Bicycle Parking			
Short-Term Stalls Required	57		
Short-Term Stalls Provided	76		
Long-Term Stalls Required	114		
Long-Term Stalls Provided	146		

BUILDING UNIT LEGEND:

- A = 1-BEDROOM
- B = 2-BEDROOM
- C = 3-BEDROOM
- 12A6B = (12) 1-BED UNITS, (6) 2-BED UNITS; 18 TOTAL UNITS PER BUILDING
- 12B6C = (12) 2-BED UNITS, (6) 3-BED UNITS; 18 TOTAL UNITS PER BUILDING

McCLURETM

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MISSOURI CERTIFICATE OF AUTHORITY NO. E-2006023253
EXPIRES: DECEMBER 31, 2022

REVISIONS

7/15/2022	CPC
7/19/2022	RESUBMITTAL

PROJECT INFO
210680-000

ENGINEER	DRAWN BY	CHECKED BY
PJO	ELM	PJO

TRAILS AT BANNISTER APARTMENT HOMES
6400 BANNISTER ROAD
KANSAS CITY, MO

UR PRELIMINARY DEVELOPMENT PLAN
SITE PLAN

DRAWING NO.
C200

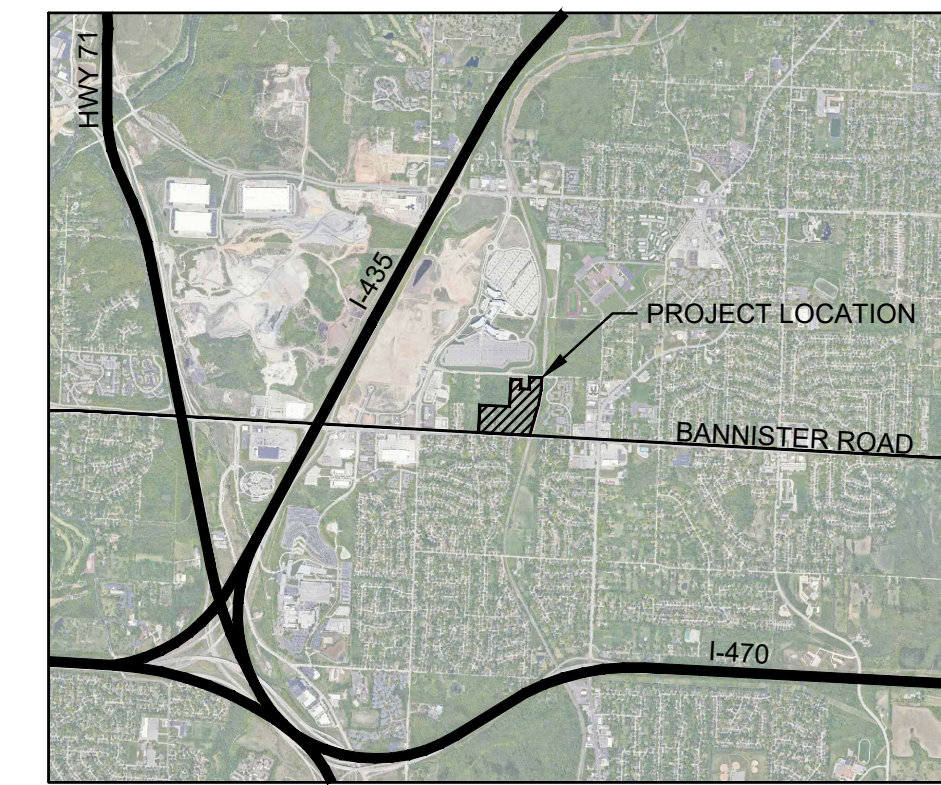
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TRAILS AT BANNISTER APARTMENT HOMES

PRELIMINARY PLAT

LOCATED IN

SECTION 25, TOWNSHIP 48N, RANGE 33W
KANSAS CITY, JACKSON COUNTY, MISSOURI

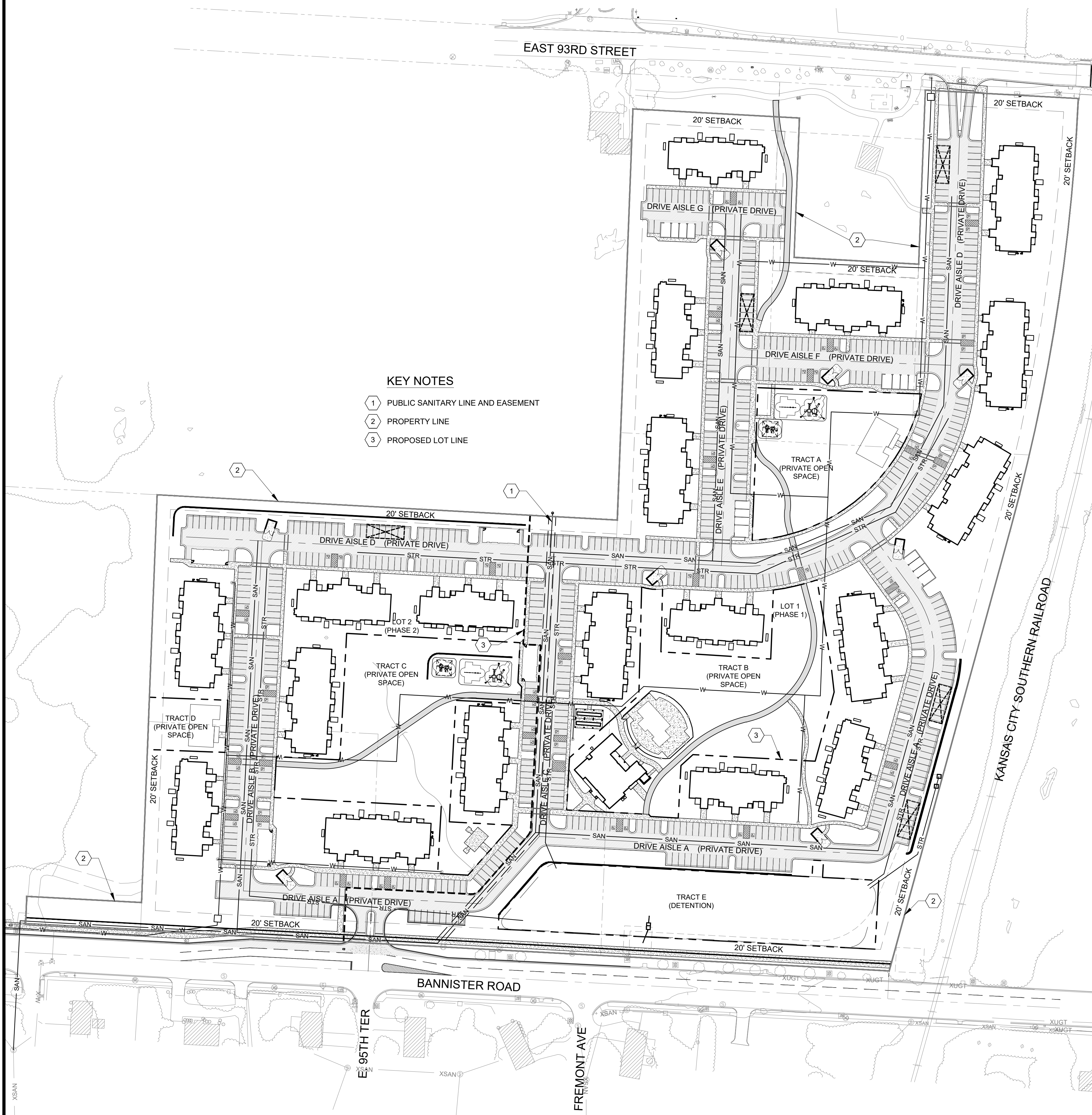


LOCATION MAP
NOT TO SCALE
KANSAS CITY, JACKSON COUNTY, MISSOURI

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EXPIRES: DECEMBER 31, 2022



KEY NOTES

- 1 PUBLIC SANITARY LINE AND EASEMENT
- 2 PROPERTY LINE
- 3 PROPOSED LOT LINE

LEGAL DESCRIPTION

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TRACT 2:
THE SOUTH ONE HALF OF A TRACT OF LAND IN THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 25 TOWNSHIP 48 RANGE 33, IN KANSAS CITY, JACKSON COUNTY, MISSOURI AND DESCRIBED AS FOLLOWS:
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THE NORTH 70 FEET OF THE FOLLOWING DESCRIBED LAND: BEGINNING 786 FEET NORTH AND 209.09 FEET EAST OF THE SOUTHWEST CORNER OF SAID LOT 4; THENCE EAST 209.09 FEET; THENCE NORTH 534.81 FEET TO THE NORTH LINE OF SAID LOT 4; THENCE WEST 209.09 FEET; THENCE SOUTH 534.89 FEET TO THE POINT OF BEGINNING, BEING THE SAME LAND CONVEYED TO THE CITY OF KANSAS CITY, MISSOURI FOR PARK PURPOSES BY DEED RECORDED AS DOCUMENT NO. K-1000221 IN BOOK K-2338 AT PAGE 1784.
ALSO LESS AND EXCEPT:
THE SOUTH 200 FEET OF THE NORTH 270 FEET OF THE FOLLOWING DESCRIBED BEGINNING 786 FEET NORTH AND 239.09 FEET EAST OF THE SOUTHWEST CORNER OF SAID LOT 4; THENCE EAST 179.09 FEET; THENCE NORTH 534.81 FEET TO THE NORTH LINE OF SAID LOT 4; THENCE WEST 179.09 FEET; THENCE SOUTH 534.89 FEET TO THE POINT OF BEGINNING, BEING THE SAME LAND CONVEYED TO THE CITY OF KANSAS CITY, MISSOURI FOR PARK PURPOSES BY DEED RECORDED AS DOCUMENT NO. K-1112959 IN BOOK K-2484 AT PAGE 1118.

ALSO LESS AND EXCEPT:
THE NORTH 70 FEET OF THE FOLLOWING DESCRIBED LAND: BEGINNING 786 FEET NORTH OF THE SOUTHWEST CORNER OF SAID LOT 4; THENCE EAST 209.09 FEET; THENCE NORTH 534.81 FEET TO THE NORTH LINE OF SAID LOT 4; THENCE WEST 209.09 FEET; THENCE SOUTH 534.89 FEET TO THE POINT OF BEGINNING, BEING THE SAME LAND CONVEYED TO THE CITY OF KANSAS CITY, MISSOURI FOR PARK PURPOSES BY DEED RECORDED AS DOCUMENT NO. K-1112960 IN BOOK K-2484 AT PAGE 1122.

ALSO LESS AND EXCEPT:
THE NORTH THREE HUNDRED SEVENTY-FIVE (375) FEET OF THAT PART OF LOT FOUR, LYING WESTERLY OF THE RIGHT OF WAY OF THE KANSAS CITY SOUTHERN RAILROAD, OF THE SUBDIVISION OF SECHREST ESTATE, ACCORDING TO THE RECORDED PLAT THEREOF, MADE A PART OF COMMISSIONER'S REPORT IN CAUSE NO. 24821, MARY AMANDA TALLEY, ET AL., V. WILLIAM ZIMMERMAN, IN THE CIRCUIT COURT OF JACKSON COUNTY, MISSOURI, AT INDEPENDENCE, OF RECORD IN THE RECORDER'S OFFICE AT KANSAS CITY IN BOOK B-1405 AT PAGE 171 AS DOCUMENT NO. 846683, SITUATE IN KANSAS CITY, JACKSON COUNTY, MISSOURI, DESCRIBED AS FOLLOWS:
BEGINNING AT A POINT SEVEN HUNDRED EIGHTY-SIX (786) FEET NORTH OF THE SOUTHWEST CORNER OF SAID (LOT) FOUR (4); THENCE EAST FOUR HUNDRED EIGHTEEN AND EIGHTEEN HUNDREDTHS (418.18) FEET TO THE TRUE POINT OF BEGINNING; THENCE EAST ONE HUNDRED SIXTY-NINE AND FIFTEEN HUNDREDTHS (169.15) FEET MORE OR LESS TO THE WEST RIGHT OF WAY LINE OF THE KANSAS CITY SOUTHERN RAILROAD; THENCE NORTHEASTERLY ALONG SAID RIGHT OF WAY LINE FIVE HUNDRED THIRTY-SEVEN AND THIRTEEN HUNDREDTHS (537.15) FEET MORE OR LESS TO THE NORTH LINE OF SAID LOT FOUR (4); THENCE WEST ALONG SAID NORTH LINE OF SAID LOT FOUR (4) TWO HUNDRED AND TWENTY (220) FEET MORE OR LESS TO THE NORTHEAST CORNER OF SCHUMACHER PARK; THENCE SOUTHERLY ALONG THE EAST BOUNDARY LINE OF SCHUMACHER PARK AND ITS PROLONGATION FIVE HUNDRED THIRTY-FOUR AND EIGHTY-ONE HUNDREDTHS (534.81) FEET MORE OR LESS TO THE POINT OF BEGINNING.

TRACT 4:
A TRACT OF LAND IN THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 25, TOWNSHIP 48, RANGE 33, IN KANSAS CITY, JACKSON COUNTY, MISSOURI, DESCRIBED AS FOLLOWS:
BEGINNING AT THE SOUTHWEST CORNER OF SAID QUARTER QUARTER SECTION, THENCE NORTH ALONG THE EAST LINE OF SAID QUARTER QUARTER SECTION 75 FEET; THENCE WEST, PARALLEL TO THE SOUTH LINE OF SAID QUARTER QUARTER SECTION, 165 FEET; THENCE SOUTH PARALLEL WITH THE EAST LINE OF SAID QUARTER QUARTER SECTION 75 FEET TO THE SOUTH LINE THEREOF; THENCE EAST ALONG SAID SOUTH LINE, 165 FEET TO THE POINT OF BEGINNING, EXCEPT THAT PART IN BANNISTER ROAD.

TRACT 5:
PART OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 25, TOWNSHIP 48, RANGE 33, INCLUDING A PART OF LOT 3, SUBDIVISION OF SECHREST ESTATE, A SUBDIVISION, ALL IN KANSAS CITY, JACKSON COUNTY, MISSOURI, DESCRIBED AS FOLLOWS:
BEGINNING AT THE SOUTHWEST CORNER OF SAID QUARTER QUARTER SECTION; THENCE EAST ALONG THE SOUTH LINE OF SAID QUARTER QUARTER SECTION, 330 FEET; THENCE NORTH PARALLEL WITH THE WEST LINE OF SAID QUARTER QUARTER SECTION 335 FEET; THENCE WEST PARALLEL WITH THE SOUTH LINE OF SAID QUARTER QUARTER SECTION, 330 FEET TO THE WEST LINE OF SAID QUARTER QUARTER SECTION; THENCE SOUTH ALONG SAID WEST LINE 335 FEET TO THE POINT OF BEGINNING, EXCEPT THAT PART IN BANNISTER ROAD.

TRACT 6:
THE NORTH THREE HUNDRED SEVENTY-FIVE (375) FEET OF THAT PART OF LOT FOUR (4), LYING WESTERLY OF THE RIGHT OF WAY OF THE KANSAS CITY SOUTHERN RAILROAD, OF THE SUBDIVISION OF SECHREST ESTATE, ACCORDING TO THE RECORDED PLAT THEREOF, MADE A PART OF THE COMMISSIONER'S REPORT IN CAUSE NO. 24821, MARY AMANDA TALLEY, ET AL., V. WILLIAM ZIMMERMAN, IN THE CIRCUIT COURT OF JACKSON COUNTY, MISSOURI, AT INDEPENDENCE, OF RECORD IN THE RECORDER'S OFFICE AT KANSAS CITY IN BOOK B-1405 AT PAGE 171 AS DOCUMENT NO. 846683, SITUATE IN KANSAS CITY, JACKSON COUNTY, MISSOURI, DESCRIBED AS FOLLOWS:
BEGINNING AT A POINT SEVEN HUNDRED EIGHTY-SIX (786) FEET NORTH OF THE SOUTHWEST CORNER OF SAID LOT FOUR (4); THENCE EAST FOUR HUNDRED EIGHTEEN AND EIGHTEEN HUNDREDTHS (418.18) FEET TO THE TRUE POINT OF BEGINNING; THENCE EAST ONE HUNDRED SIXTY-NINE AND FIFTEEN HUNDREDTHS (169.15) FEET MORE OR LESS TO THE WEST RIGHT OF WAY LINE OF THE KANSAS CITY SOUTHERN RAILROAD; THENCE NORTHEASTERLY ALONG SAID RIGHT OF WAY LINE FIVE HUNDRED THIRTY-SEVEN AND THIRTEEN HUNDREDTHS (537.15) FEET MORE OR LESS TO THE NORTH LINE OF SAID LOT FOUR (4); THENCE WEST ALONG SAID NORTH LINE OF SAID LOT FOUR (4) TWO HUNDRED TWENTY (220) FEET MORE OR LESS TO THE NORTHEAST CORNER OF SCHUMACHER PARK; THENCE SOUTHERLY ALONG THE EAST BOUNDARY LINE OF SCHUMACHER PARK AND ITS PROLONGATION FIVE HUNDRED THIRTY-FOUR AND EIGHTY-ONE HUNDREDTHS (534.81) FEET MORE OR LESS TO THE POINT OF BEGINNING.

LEGEND

- SIDEWALK/ LIGHT DUTY CONCRETE PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT
- LIGHT DUTY ASPHALT PAVEMENT
- HEAVY DUTY ASPHALT PAVEMENT
- PHASE LINE

LOT/TRACT INFO:

LOT 1: 16.83 ACRES
TRACT A: 0.866 ACRES (OPEN SPACE)
TRACT B: 1.548 ACRES (OPEN SPACE)
TRACT E: 1.181 ACRES (DETENTION)

LOT 2: 7.49 ACRES
TRACT C: 1.328 ACRES (OPEN SPACE)
TRACT D: 0.193 ACRES (OPEN SPACE)

NOTES:

ALL PROPOSED UTILITIES ARE PRIVATE UNLESS OTHERWISE NOTED.

DEVELOPER:
PEDCOR INVESTMENTS, LLC
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REVISIONS

PROJECT INFO
210660-000

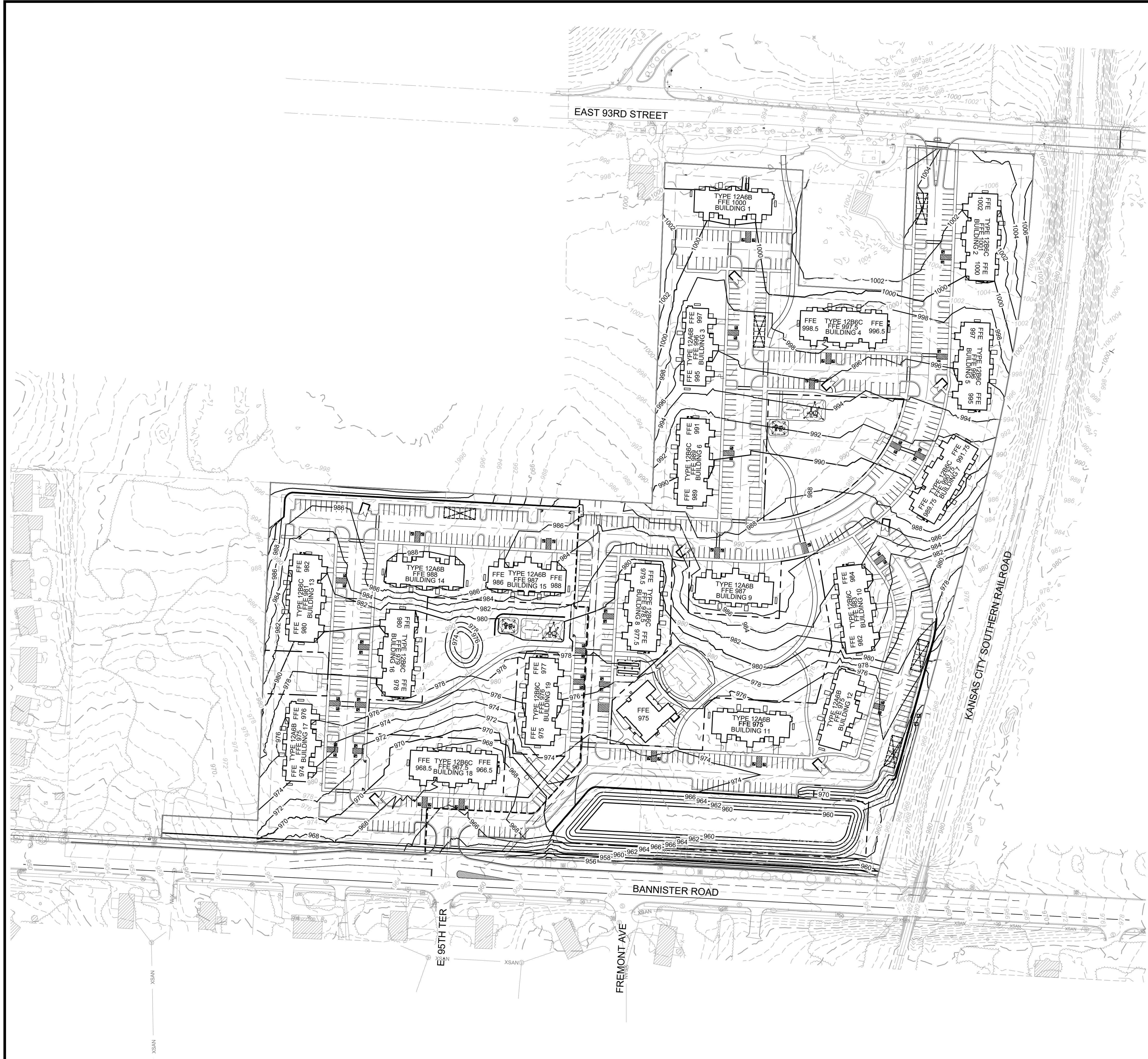
ENGINEER: PJO
DRAWN BY: ELM
CHECKED BY: PJO

TRAILS AT BANNISTER APARTMENT HOMES
6400 BANNISTER ROAD
KANSAS CITY, MO
UR PRELIMINARY DEVELOPMENT PLAN
PRELIMINARY PLAT

DRAWING NO.

C201

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MISSOURI CERTIFICATE OF AUTHORITY NO. E-2006023253
 EXPIRES: DECEMBER 31, 2022

REVISIONS

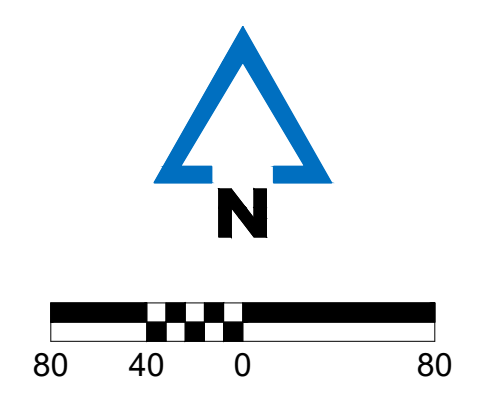
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ENGINEER: PJO DRAWN BY: ELM CHECKED BY: PJO

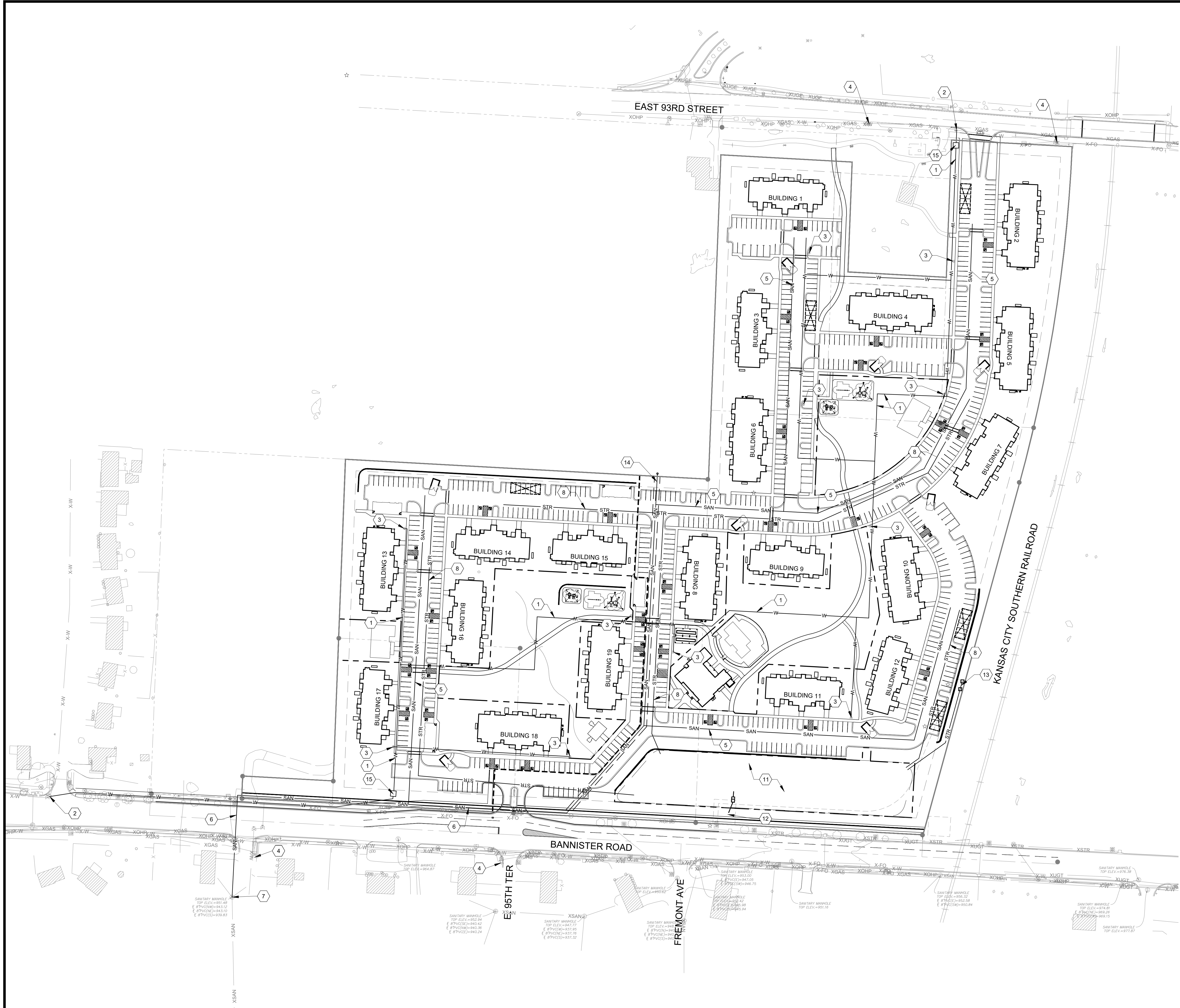
TRAILS AT BANNISTER APARTMENT HOMES
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 KANSAS CITY, MO

UR PRELIMINARY DEVELOPMENT PLAN
 GRADING PLAN

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DRAWING NO.
C300



KEY NOTES

- 1 PROPOSED 8" PRIVATE WATER MAIN (CLASS 52 DIP W/ POLYWRAP & ZINC COATING)
- 2 PROPOSED WATER CONNECTION TO EXISTING NETWORK
- 3 PROPOSED PRIVATE FIRE HYDRANT
- 4 EXISTING PUBLIC FIRE HYDRANT
- 5 PROPOSED 8" PRIVATE SANITARY SEWER (PVC)
- 6 PROPOSED 8" PUBLIC SANITARY SEWER (PVC)
- 7 PROPOSED SANITARY SEWER CONNECTION TO EXISTING NETWORK
- 8 PROPOSED PRIVATE STORM SEWER (HDPE)
- 9 PROPOSED PUBLIC STORM SEWER (HDPE)
- 10 PROPOSED 15' STORM DRAINAGE EASEMENT
- 11 DETENTION BASIN
- 12 PROPOSED STORM CONNECTING TO EXISTING 72"x42" CONCRETE BOX CULVERT
- 13 PROPOSED STORM CONNECTING TO EXISTING 2'-36" CMP
- 14 PUBLIC SANITARY LINE
- 15 PROPOSED WATER METER AND BACKFLOW PREVENTER

UTILITY LEGEND

- XSAN EX SANITARY SEWER LINE
- XUGT EX UNDERGROUND TELEPHONE LINE
- XSTM EX STORM SEWER LINE
- XUGE EX UNDERGROUND ELECTRIC LINE
- XW EX WATER LINE
- XOHE EX OVERHEAD ELECTRIC
- EX SIGN
- EX FIBER OPTIC HAND HOLE
- EX WATER METER
- EX ELECTRIC HAND HOLE
- EX COMMUNICATIONS HAND HOLE
- EX COMMUNICATIONS MANHOLE
- EX TELEPHONE PEDESTAL
- EX WATER VALVE
- EX STORM MANHOLE
- EX LIGHT POLE
- EX SANITARY MANHOLE
- EX FIRE HYDRANT
- NEW WATER VALVE
- NEW STORM SEWER INTAKE
- NEW STORM SEWER LINE
- NEW FIBER OPTIC LINE
- NEW WATER LINE
- NEW FIRE SERVICE LINE
- NEW SANITARY SEWER LINE
- PROPERTY LINE OF SUBJECT PROPERTY
- G NEW GAS LINE
- C NEW CABLE LINE
- E NEW ELECTRIC LINE

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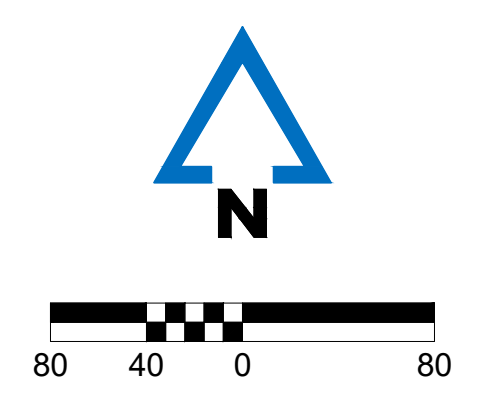
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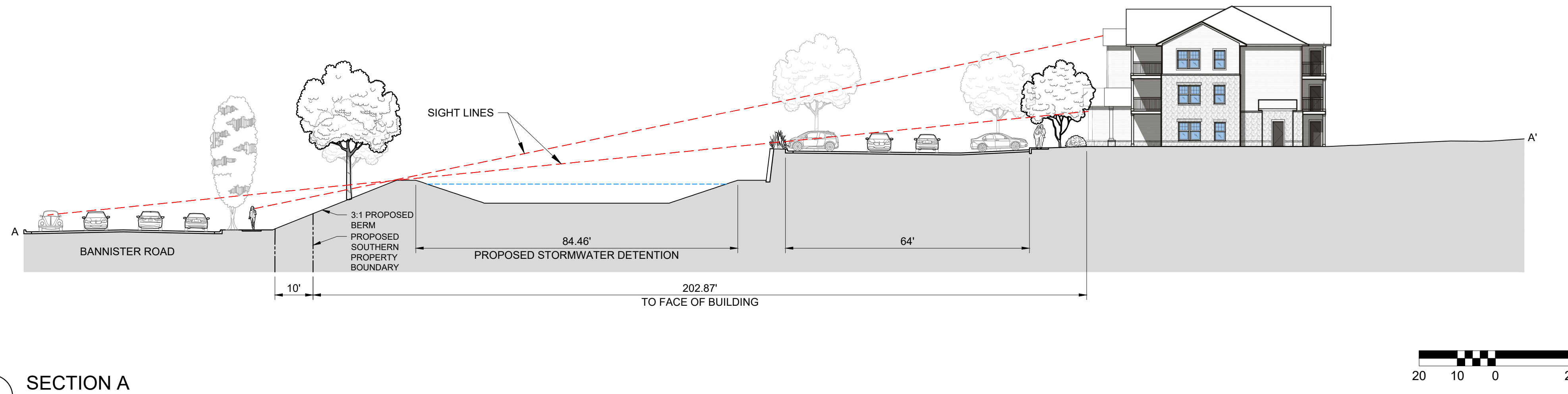
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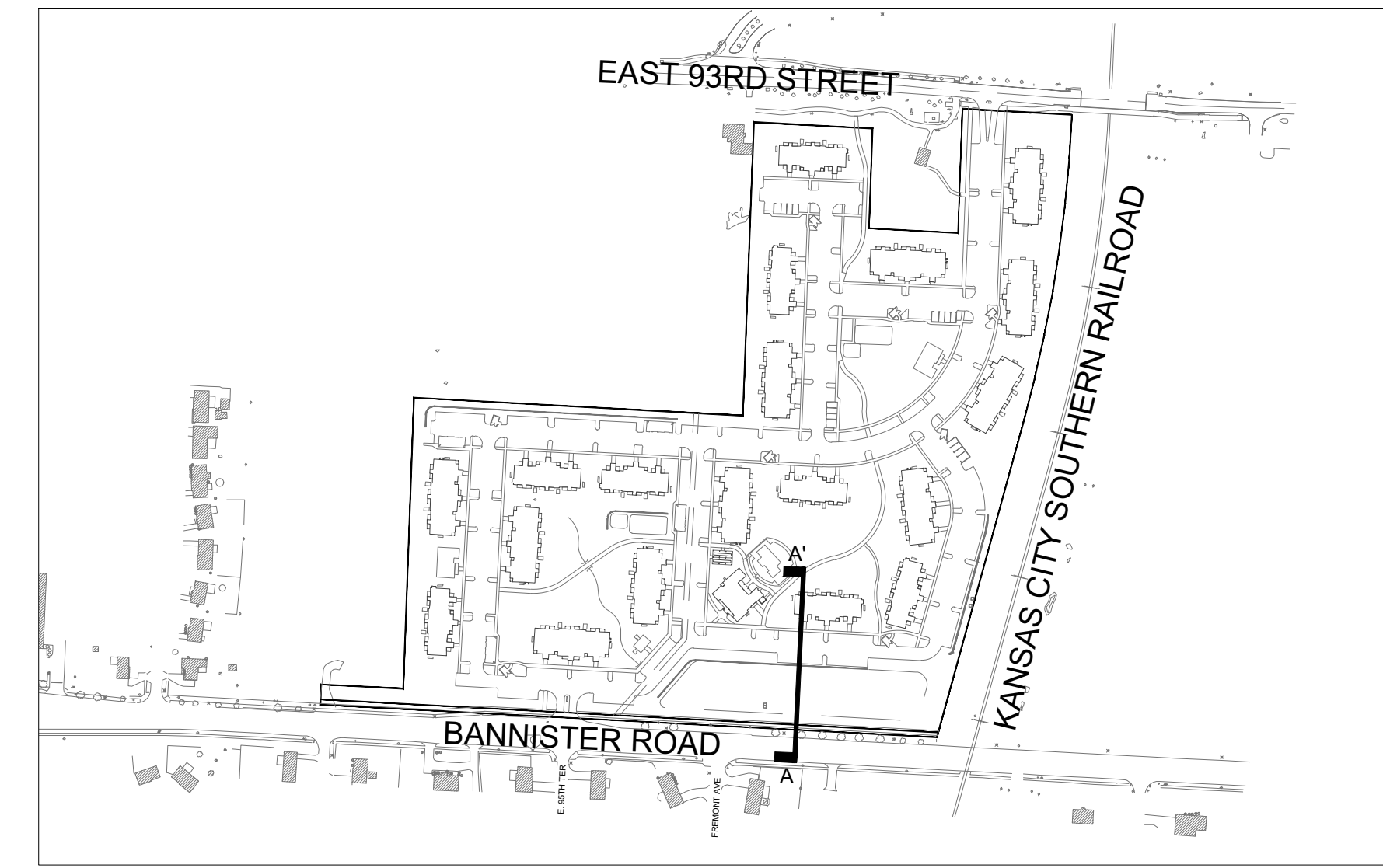
ENGINEER: PJO DRAWN BY: ELM CHECKED BY: PJO

TRAILS AT BANNISTER APARTMENT HOMES
6400 BANNISTER ROAD
KANSAS CITY, MO
UR PRELIMINARY DEVELOPMENT PLAN
UTILITY PLAN





01 SECTION A
HORIZONTAL AND VERTICAL SCALE: 1" = 20'



02 SECTION KEY MAP
1" = 300'

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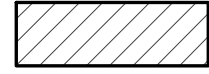
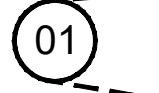
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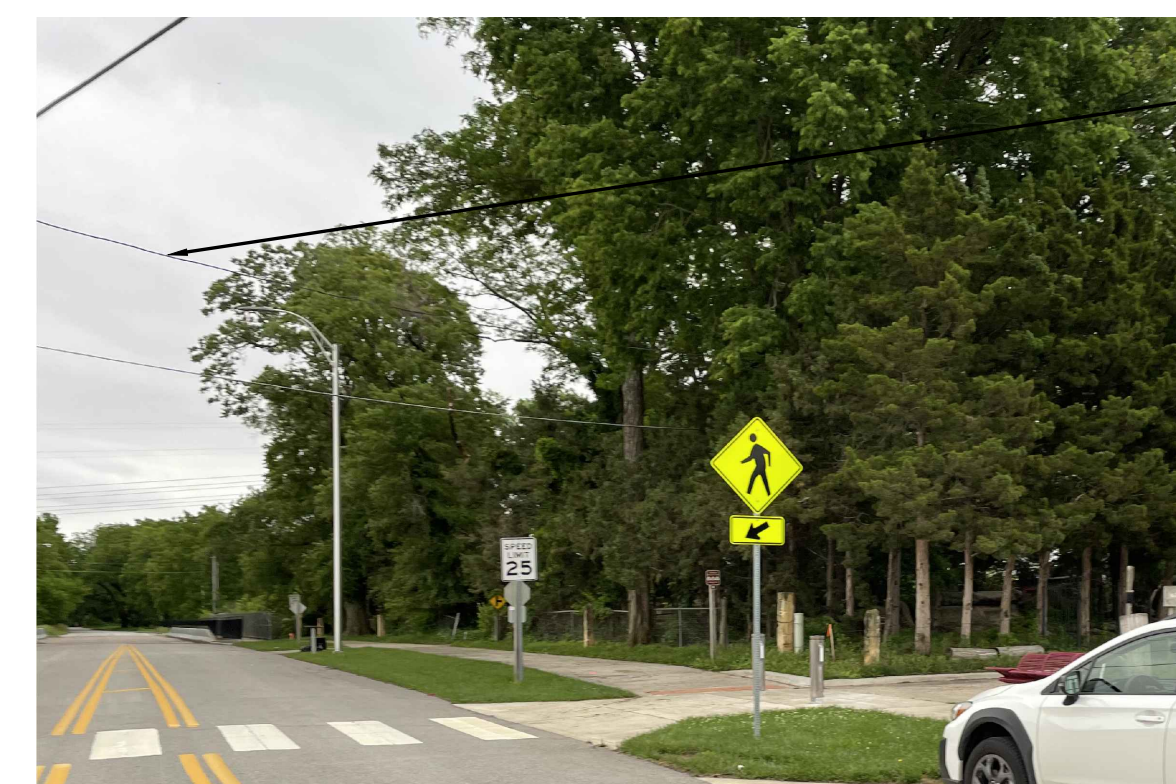
REVISIONS		
PROJECT INFO 210660-000		
ENGINEER PJO	DRAWN BY ELM	CHECKED BY PJO

TRAILS AT BANNISTER APARTMENT HOMES
 6400 BANNISTER ROAD
 KANSAS CITY, MO
 UR PRELIMINARY DEVELOPMENT PLAN
 SITE SECTION
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DRAWING NO.
C500



- LEGEND:**
-  EXISTING TREES TO BE REMOVED (CANOPY COVERAGE SHOWN)
 -  PHOTO LOCATION & VIEW SHED



01 EXISTING TREES - LOOKING SOUTHEAST FROM N. 93RD STREET
NOT TO SCALE



EXISTING TREE TO BE REMOVED

02 EXISTING CYPRESS ALONG BANNISTER ROAD
NOT TO SCALE



03 EXISTING TREES LOOKING NORTH FROM BANNISTER ROAD
NOT TO SCALE



04 EXISTING TREES LOOKING NE FROM BANNISTER ROAD
NOT TO SCALE

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MISSOURI CERTIFICATE OF AUTHORITY NO. E-2006023253
 EXPIRES: DECEMBER 31, 2022

REVISIONS

NO.	DESCRIPTION

PROJECT INFO
 210660-000

ENGINEER	DRAWN BY	CHECKED BY
PJO	ELM	PJO

TRAILS AT BANNISTER APARTMENT HOMES
 6400 BANNISTER ROAD
 KANSAS CITY, MO
 UR PRELIMINARY DEVELOPMENT PLAN
 TREE REMOVAL PLAN

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REVISIONS

NO.	DATE	DESCRIPTION




















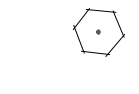


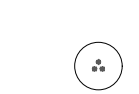
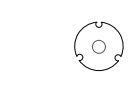


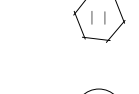

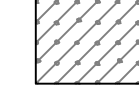

PROJECT INFO
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ENGINEER: PJO DRAWN BY: ELM CHECKED BY: PJO

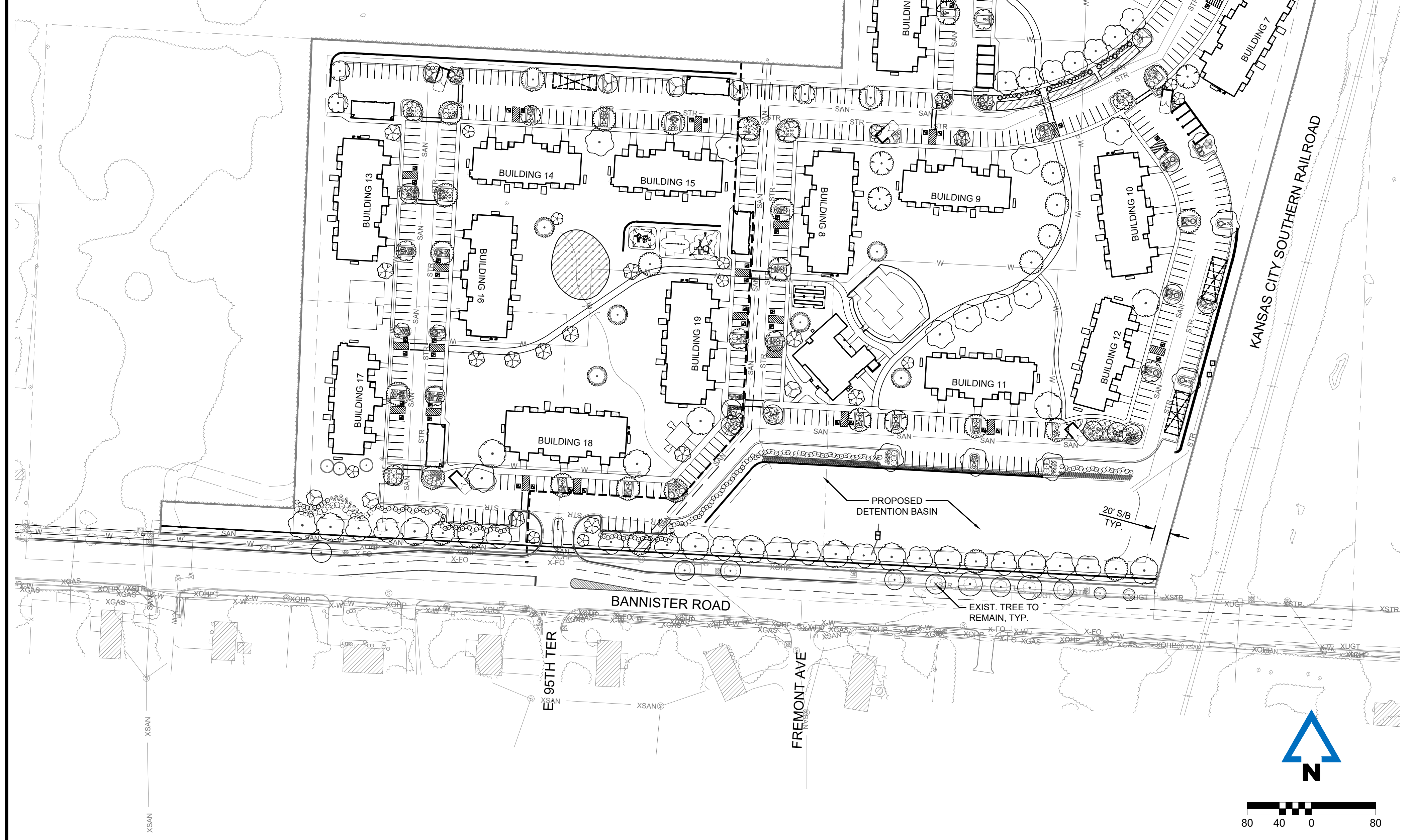
TRAILS AT BANNISTER APARTMENT HOMES
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 KANSAS CITY, MO

UR PRELIMINARY DEVELOPMENT PLAN
 LANDSCAPE PLAN

P:21066006-DRAWINGS\LANDSCAPE\210600_LSCP.DWG

PLANT SCHEDULE				
TREES	QTY	BOTANICAL / COMMON NAME	CONT	
	22	Acer saccharum 'Autumn Splendor' / Autumn Splendor Maple	B&B, 2" Cal.	
	7	Amelanchier x grandiflora 'Autumn Brilliance' / Serviceberry	B&B, 1.5" Cal.	
	20	Cercis canadensis / Eastern Redbud	B&B, 1.5" Cal.	
	17	Cornus florida 'Cherokee Princess' / Princess Dogwood	B&B, 1.5" Cal.	
	17	Gleditsia triacanthos inermis 'Skyline' / Skyline Honey Locust	B&B, 2" Cal.	
	6	Nyssa sylvatica / Black Gum	B&B, 2" Cal.	
	22	Ostrya virginiana / Hophornbeam	B&B, 2" Cal.	
	21	Quercus bicolor / Swamp White Oak	B&B, 2" Cal.	
	23	Quercus rubra / Red Oak	B&B, 2" Cal.	
	9	Taxodium distichum 'Skyward' TM / Skyward Bald Cypress	B&B, 2" Cal.	
	30	Tilia americana 'McSentry' TM / American Linden	B&B, 2" Cal.	
	18	Ulmus x 'Frontier' / Frontier Elm	B&B, 2" Cal.	
EVERGREEN TREES	QTY	BOTANICAL / COMMON NAME	CONT	
	107	Juniperus chinensis 'Perfecta' / Perfecta Juniper	B&B, 6" HT	
	5	Picea pungens 'Fat Albert' / Fat Albert Spruce	B&B, 6" HT	
	6	Pinus strobus / White Pine	B&B, 6" HT	
	112	Thuja occidentalis 'Hetz Wintergreen' / Hetz Wintergreen Arborvitae	B&B, 6" HT	
SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT	
	41	Aronia melanocarpa 'Autumn Magic' / Black Chokeberry	5 gal	
	28	Aronia melanocarpa 'UCONNAM165' TM / Low Black Chokeberry	5 gal	
	52	Buddleja x 'Tutti Fruiti' / Pugster Pink Butterfly Bush	5 gal	
	26	Ceanothus americanus / New Jersey Tea	5 gal	
	125	Rhus aromatica 'Gro-Low' / Gro-Low Sumac	5 gal	
	53	Spiraea betulifolia 'Tor' / Tor Birchleaf Spirea	5 gal	
	6	Viburnum dentatum 'Christom' TM / Blue Muffin Viburnum	5 gal	
	10	Viburnum x burkwoodii 'Mohawk' / Mohawk Viburnum	5 gal	
EVERGREEN SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT	
	59	Buxus microphylla / Littleleaf Boxwood	5 gal	
	104	Juniperus chinensis 'Gold Lace' / Gold Lace Juniper	5 gal	
	64	Juniperus chinensis 'Kallays Compact' / Kallay Compact Pfitzer Juniper	5 gal	
	43	Juniperus sabina 'Broadmoor' / Broadmoor Juniper	5 gal	
	13	Pinus mugo 'Mops' / Mops Mugo Pine	5 gal	
GRASSES	QTY	BOTANICAL / COMMON NAME	CONT	
	375	Andropogon gerardii 'Blackhawks' / Blackhawks Big Bluestem	6" Pot	
	92	Miscanthus x 'Purpurascens' / Flame Grass	1 gal	
	159	Panicum virgatum 'Shenandoah' / Shenandoah Switch Grass	1 gal	
PERENNIALS	QTY	BOTANICAL / COMMON NAME	CONT	
	68	Asclepias tuberosa 'Hello Yellow' / Hello Yellow Butterfly Milkweed	1 gal	
	18	Baptisia x 'Lemon Meringue' TM / Lemon Meringue Baptisia	1 gal	
	25	Coreopsis x 'Jethro Tull' / Jethro Tull Tickseed	1 gal	
	76	Hemerocallis x 'Sammy Russell' / Sammy Russell Daylily	1 gal	
	27	Liriope muscari 'Big Blue' / Big Blue Lilyturf	1 gal	
	69	Nepeta x faassenii 'Walker's Low' / Walker's Low Catmint	1 gal	
GROUND COVERS	QTY	BOTANICAL / COMMON NAME	CONT	SPACING
	6,856 sf	Native BMP Stormwater Basin	SF	

LANDSCAPE REQUIREMENTS				
ITEM	REQUIREMENT	PROPOSED	ALTERNATE REQUESTED	APPROVED
STREET TREES (88-425-03)				
EAST 93RD STREET	1 TREE PER 30 LF OF FRONTAGE 220 LF / 30 = 7 TREES	7 TREES PROPOSED		
BANNISTER ROAD	1,078 LF / 30 = 36 TREES	11 EXISTING TREES; 30 PROPOSED TREES		
GENERAL (88-425-04)				
	1 TREE PER 5,000 SF OF PRINCIPAL BUILDING COVERAGE			
SITE (OPEN SPACE, PARKLANDS)	144,891 TOTAL BUILDING SF/5000 = 29 TREES	35 TREES PROPOSED		
PERIMETER VEHICULAR USE AREA (88-425-05)				
	25' BUFFER; 3' BERM; 3 TREES, 25 SHRUBS PER 100 LF OR NO BERM, 25' BUFFER; 6 TREES, 35 SHRUBS PER 100 LF			
ADJACENT TO STREETS (88-425-05-B)				
EAST 93RD STREET	25' BUFFER; 13 TREES; 77 SHRUBS	25' BUFFER; 13 TREES; 45 SHRUBS; 72 GRASSES		
BANNISTER ROAD	25' BUFFER; 3' HT. BERM; 32 TREES; 270 SHRUBS	20' BUFFER; BERM; 45 TREES; 224 SHRUBS; 375 GRASSES	YES	
INTERIOR VEHICULAR USE AREA (88-425-06)				
	35 SF OF LANDSCAPE PER STALL			
INTERIOR AREA	684 STALLS x 35 = 23,940 SF LANDSCAPE REQUIRED	27,072 SF		
TREES	1 TREE PER 5 STALLS = 137 TREES	138 TREES		
SHRUBS	1 SHRUB PER STALL = 684 SHRUBS	647 SHRUBS; 189 GRASSES		
PARKING GARAGE SCREENING	DESCRIBE: N/A			
MECHANICAL/UTILITY SCREENING	DESCRIBE: PROVIDED PER PLAN			
OUTDOOR USE SCREENING	DESCRIBE: PROVIDED PER PLAN			





SIDE ELEVATION - ALL 12A6B BLDGS. C2
3/32"=1'-0"



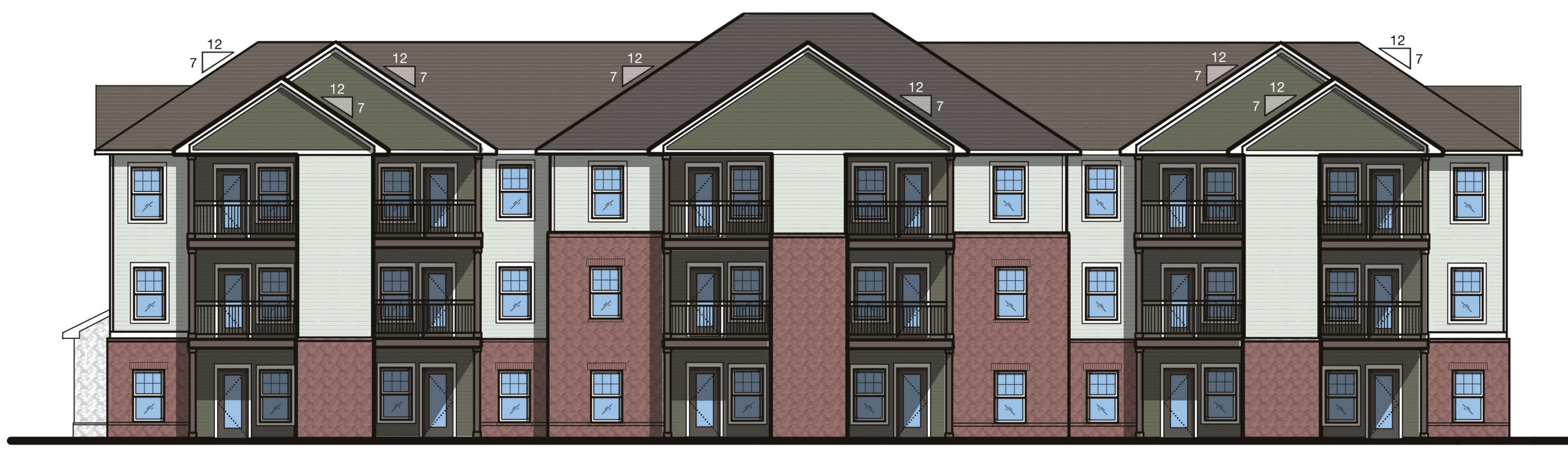
SIDE ELEVATION - ALL 12A6B BLDGS. C1
3/32"=1'-0"



REAR ELEVATION - BLDGS. 3, 15 & 17 B2
3/32"=1'-0"



FRONT ELEVATION - BLDGS. 3, 15 & 17 B1
*SEE SITE PLAN FOR LOCATIONS 3/32"=1'-0"



REAR ELEVATION - BLDGS. 1, 9, 11, 12 & 14 A2
3/32"=1'-0"



FRONT ELEVATION - BLDGS. 1, 9, 11, 12 & 14 A1
*SEE SITE PLAN FOR LOCATIONS 3/32"=1'-0"

McCLURE
1700 Swift Ave., Suite 100
North Kansas City, Missouri 64116
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F 816-756-1763
Ankeny, IA | Carroll, IA | Clive, IA
Cedar Rapids, IA | Fort Dodge, IA
North Liberty, IA | Sioux City, IA
Macon, MO | Columbia, MO
North Kansas City, MO
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MISSOURI CERTIFICATE OF AUTHORITY NO. E-2006023253
EXPIRES: DECEMBER 31, 2022

rosemann & ASSOCIATES P.C.
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ENGINEERING
PLANNING
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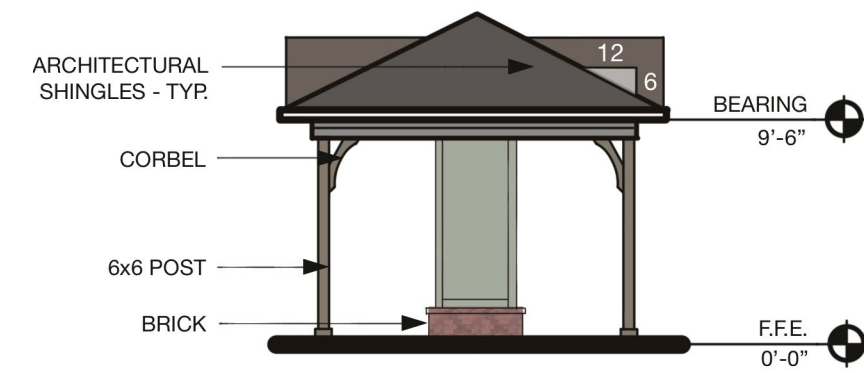
TRAILS AT BANNISTER APARTMENT HOMES
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KANSAS CITY, MO
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ARCHITECTURAL ELEVATIONS
P:21060006-DRAWINGS\CIVIL\UR PRELIMINARY\210600 ARCH.DWG

DRAWING NO.
A100

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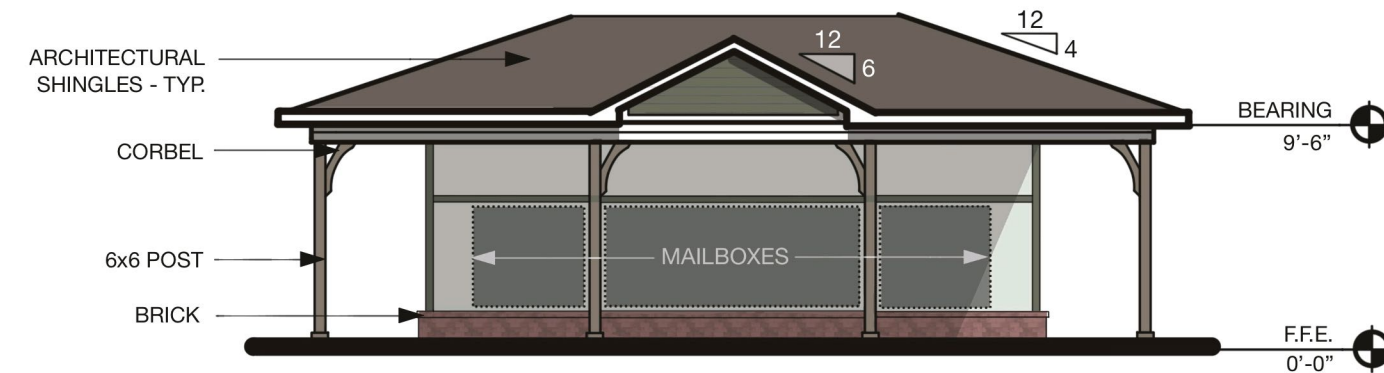
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SIDE ELEVATION - MAIL KIOSK

1/8"=1'-0"

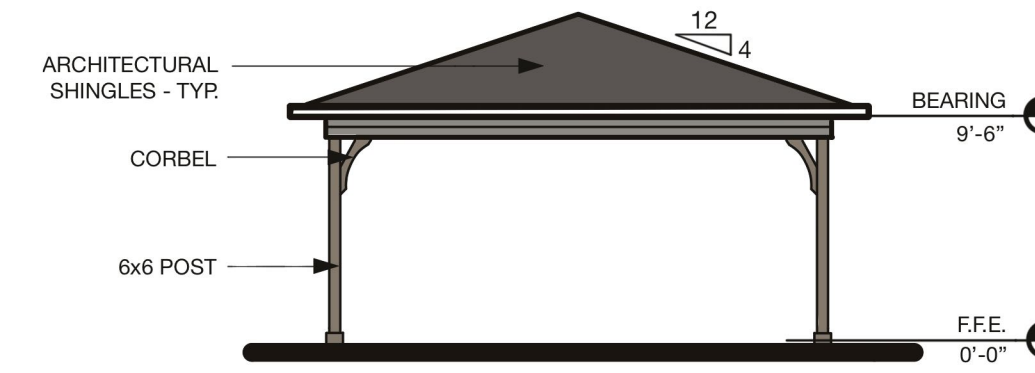
C4



FRONT ELEVATION - MAIL KIOSK

1/8"=1'-0"

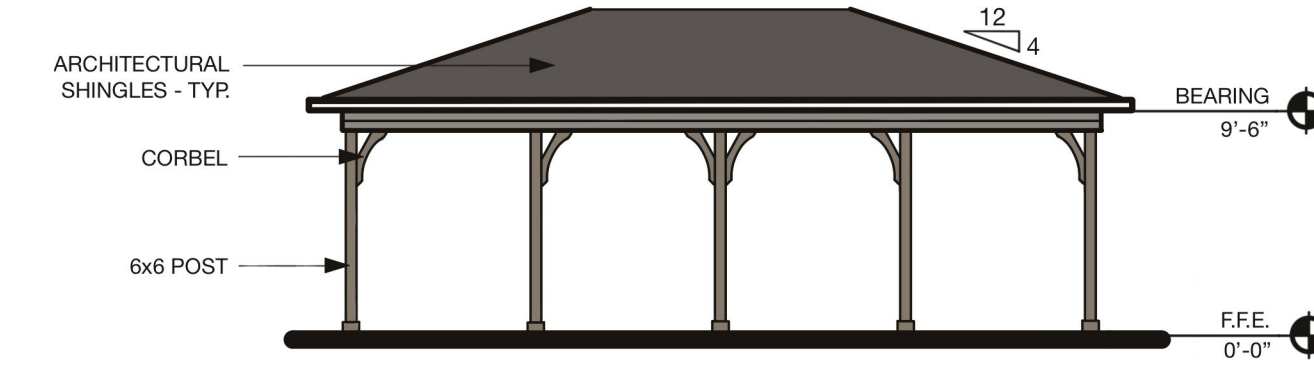
C3



SIDE ELEVATION - PAVILION

1/8"=1'-0"

C2



FRONT/REAR ELEVATION - PAVILION

1/8"=1'-0"

C1



SIDE ELEVATION - ALL 12B6C BLDGS.

3/32"=1'-0"

B2



REAR ELEVATION - BLDGS. 2, 4, 5, 6, 7, 8, 10, 13, 16, 18 & 19

*SEE SITE PLAN FOR LOCATIONS

3/32"=1'-0"

B1



SIDE ELEVATION - ALL 12B6C BLDGS.

3/32"=1'-0"

A2



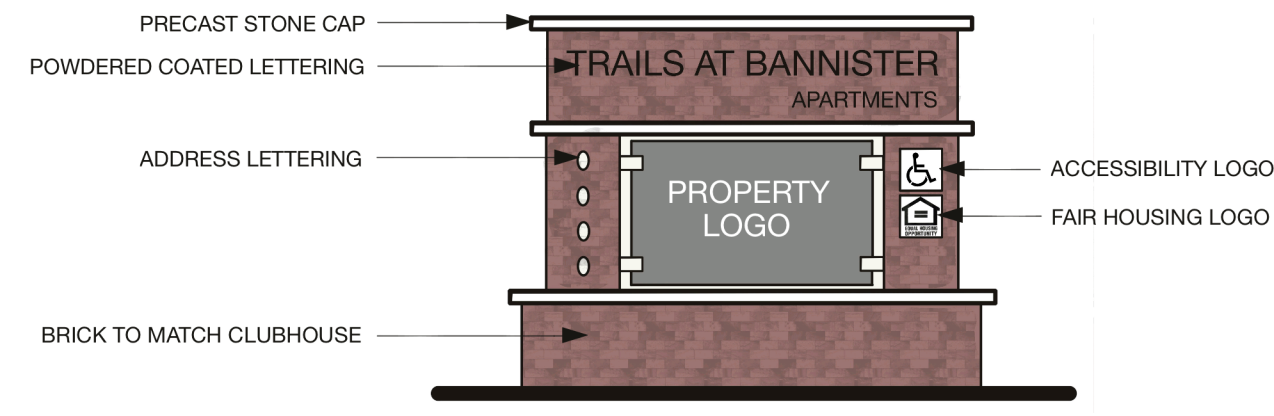
FRONT ELEVATION - BLDGS. 2, 4, 5, 6, 7, 8, 10, 13, 16, 18 & 19

*SEE SITE PLAN FOR LOCATIONS

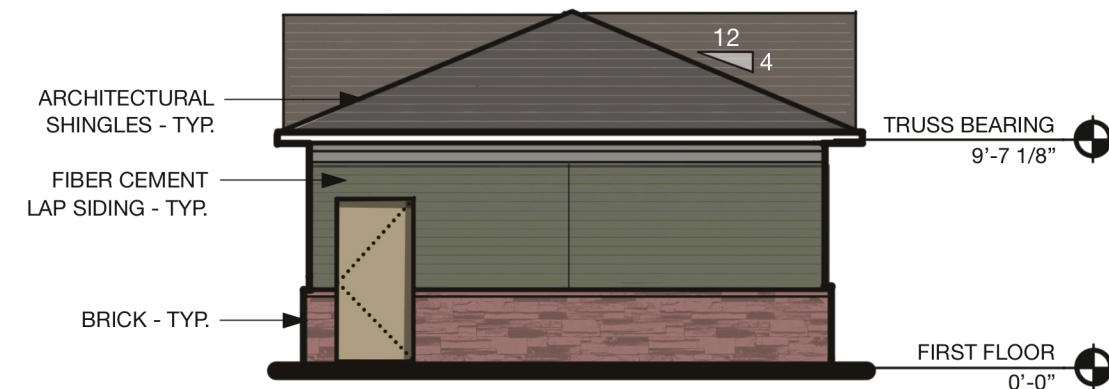
3/32"=1'-0"

A1

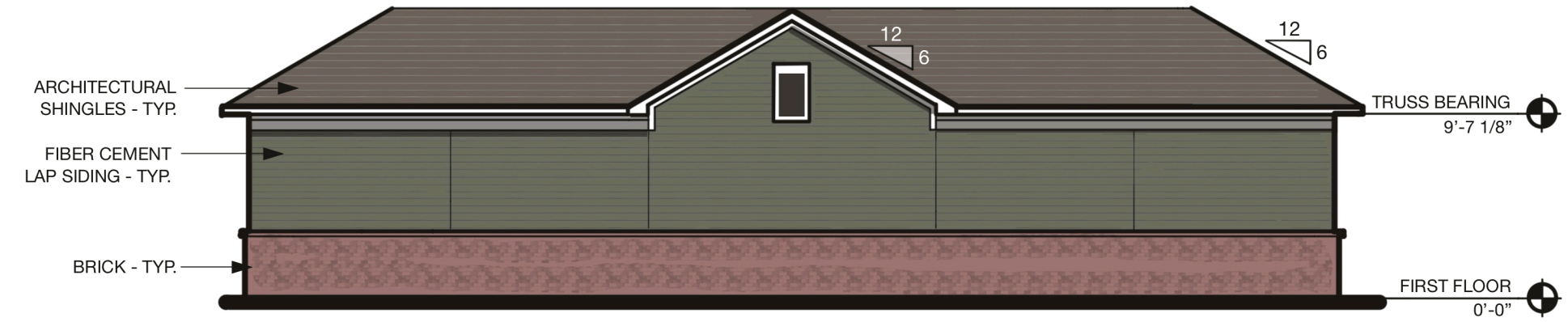
TRAILS AT BANNISTER APARTMENT HOMES
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 UR PRELIMINARY DEVELOPMENT PLAN
 ARCHITECTURAL ELEVATIONS
 P:12 10800006-DRAWING:CVL:UR PRELIMINARY:210600 ARCH:DWG



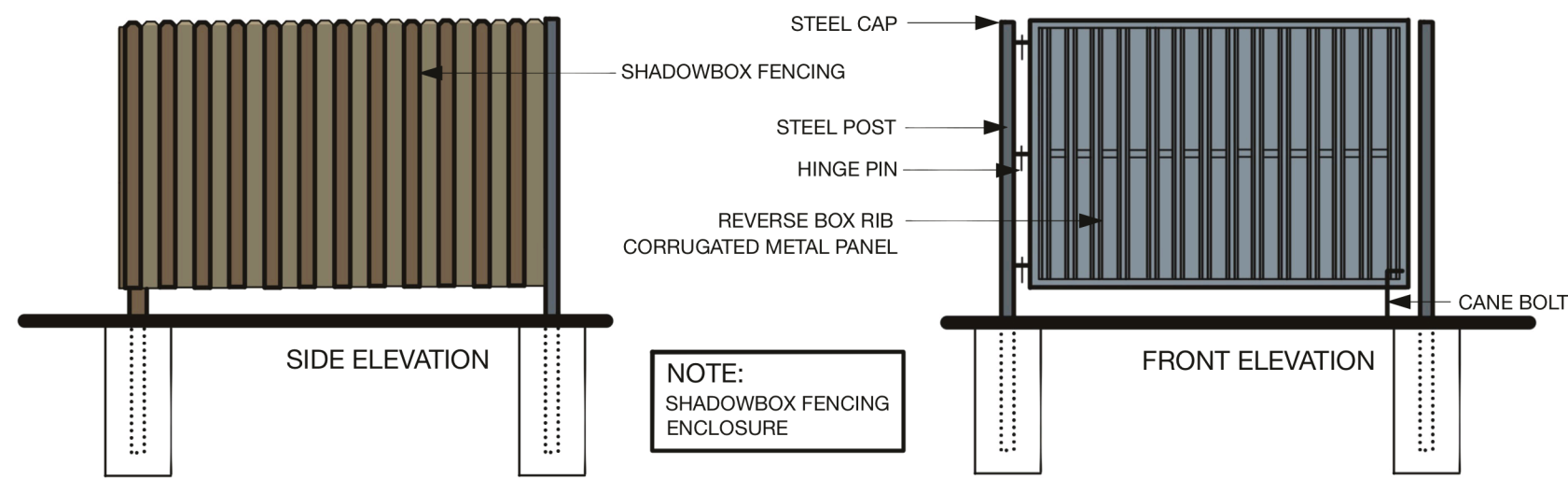
MONUMENT SIGN
1/4"=1'-0" **D3**



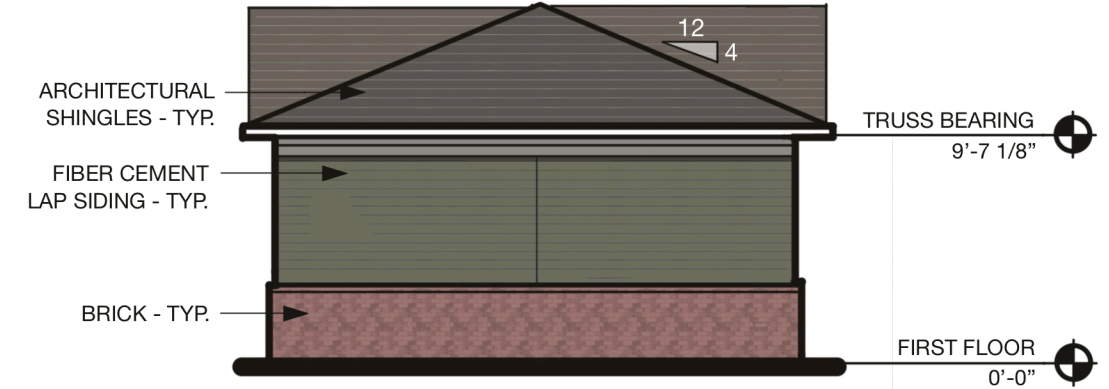
SIDE ELEVATION - GARAGE
1/8"=1'-0" **D2**



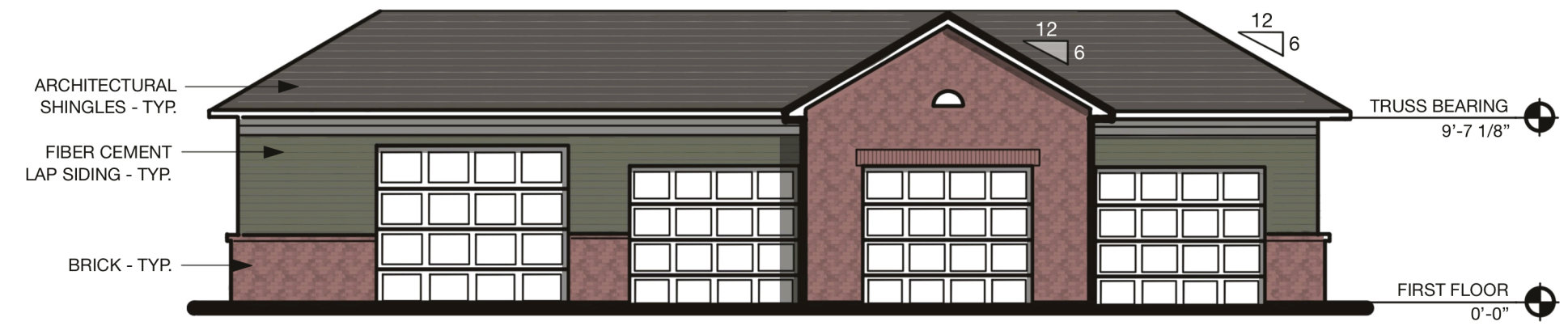
REAR ELEVATION - GARAGE
1/8"=1'-0" **D1**



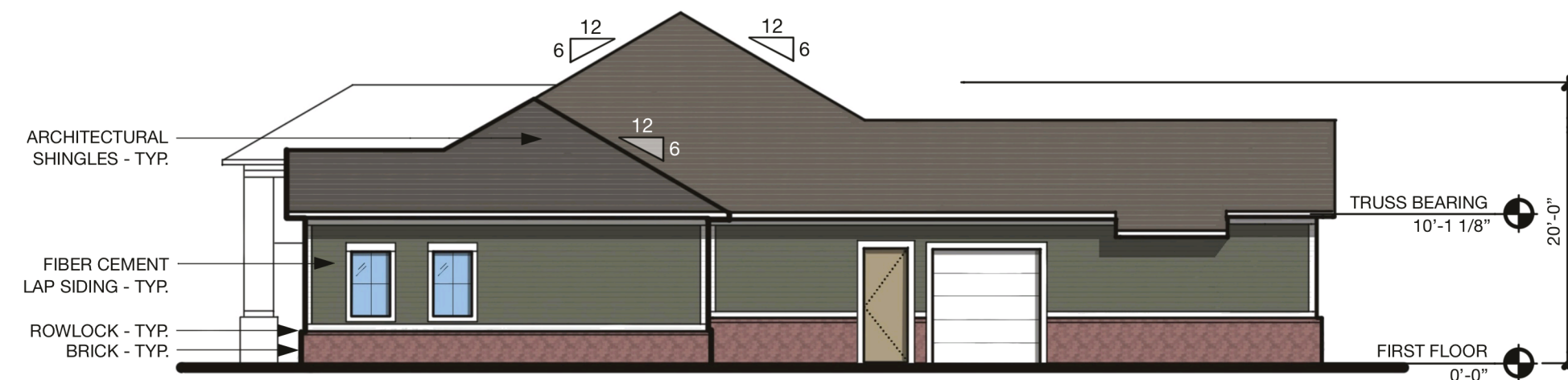
DUMPSTER ENCLOSURE ELEVATION
1/4"=1'-0" **C3**



SIDE ELEVATION - GARAGE
1/8"=1'-0" **C2**



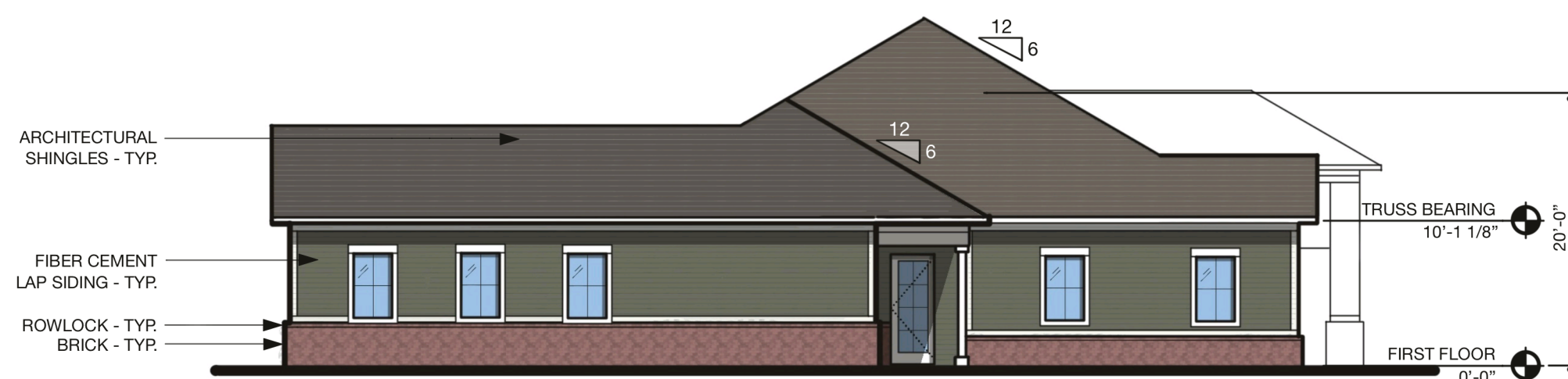
FRONT ELEVATION - GARAGE
1/8"=1'-0" **C1**



SIDE ELEVATION - COMM. BUILDING
3/32"=1'-0" **B2**



REAR ELEVATION - COMM. BUILDING
3/32"=1'-0" **B1**



SIDE ELEVATION - COMM. BUILDING
3/32"=1'-0" **A2**

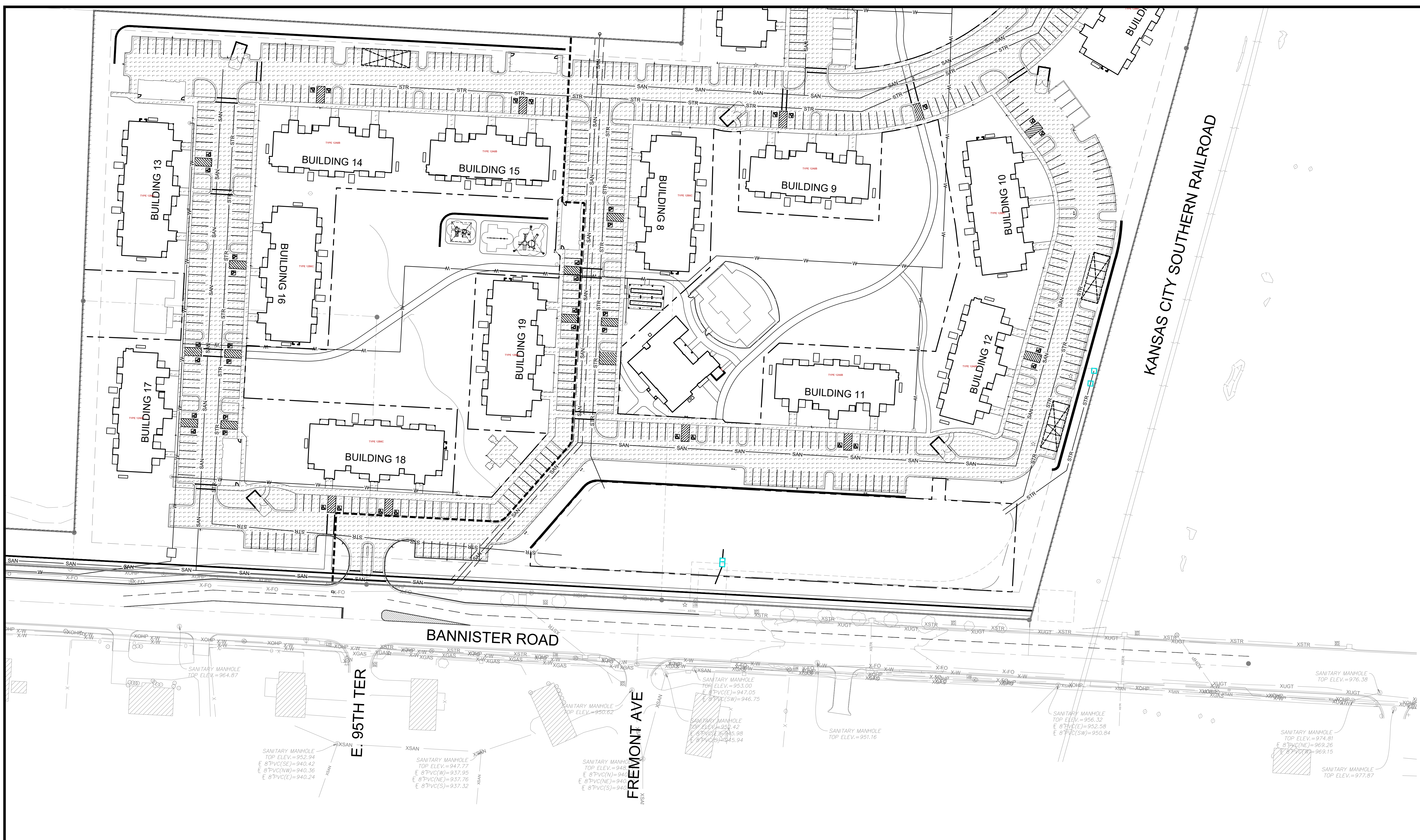


FRONT ELEVATION - COMM. BUILDING
3/32"=1'-0" **A1**

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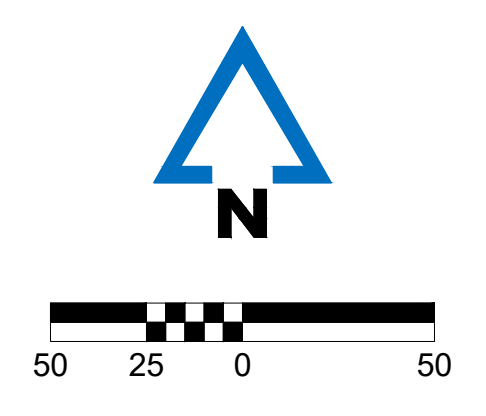
MISSOURI CERTIFICATE OF AUTHORITY NO. E-2006023253
 EXPIRES: DECEMBER 31, 2022

REVISIONS		
PROJECT INFO		
ENGINEER	DRAWN BY	CHECKED BY
PJO	ELM	PJO



Symbol	Qty	Tag	Arrangement	LLF	Mounting Height	Brand	Catalog Number	Arr. Watts
▲	12	A	SINGLE	0.90	28'	GE Lighting Solutions	EACL01-2-E3-AW-7-40-X-A-BKBK	95
▮	18	B	DOUBLE	0.90	28'	GE Lighting Solutions	EACL01-2-E3-AW-7-40-X-A-BKBK	190
↑	63	C	SINGLE	0.90	28'	GE Lighting Solutions	EACL01-2-E3-AW-7-40-X-A-BKBK WITH ELS-EAC-ABL-BLCK	95
✱	63	D	SINGLE	0.90	16'	Lithonia Lighting	WDGE1 LED P1 40K 80CRI VF	10

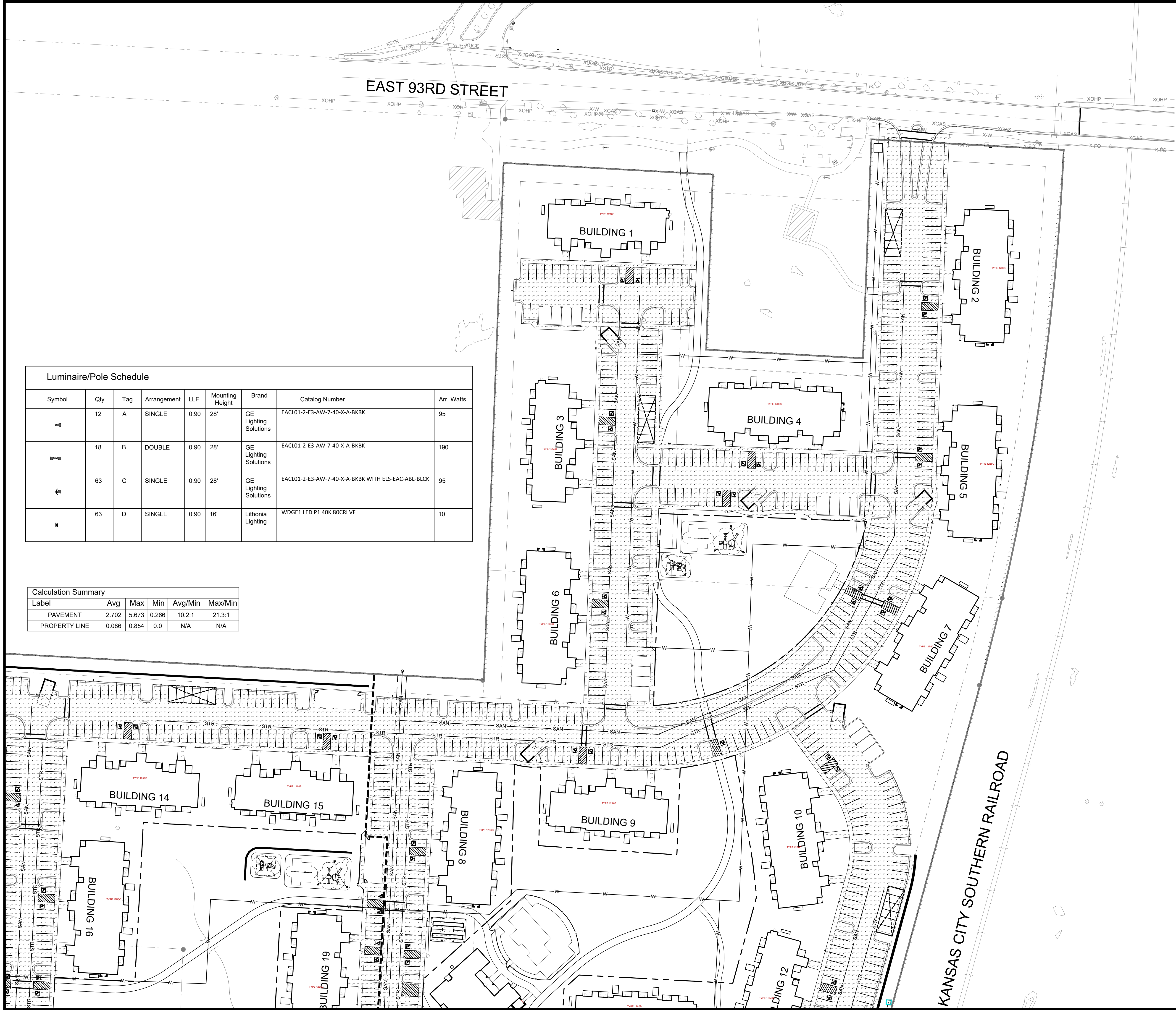
Label	Avg	Max	Min	Avg/Min	Max/Min
PAVEMENT	2.702	5.673	0.266	10.2:1	21.3:1
PROPERTY LINE	0.086	0.854	0.0	N/A	N/A



TRAILS AT BANNISTER APARTMENT HOMES
 6400 BANNISTER ROAD
 KANSAS CITY, MO
 UR PRELIMINARY DEVELOPMENT PLAN
 PHOTOMETRIC PLAN
 P:21060006-DRAWINGS\LIGHTING\210600 LIGHT.DWG

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MISSOURI CERTIFICATE OF AUTHORITY NO. E-2006023253
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Luminaire/Pole Schedule								
Symbol	Qty	Tag	Arrangement	LLF	Mounting Height	Brand	Catalog Number	Arr. Watts
A	12	A	SINGLE	0.90	28'	GE Lighting Solutions	EACL01-2-E3-AW-7-40-X-A-BK BK	95
B	18	B	DOUBLE	0.90	28'	GE Lighting Solutions	EACL01-2-E3-AW-7-40-X-A-BK BK	190
C	63	C	SINGLE	0.90	28'	GE Lighting Solutions	EACL01-2-E3-AW-7-40-X-A-BK BK WITH ELS-EAC-ABL-BLCK	95
D	63	D	SINGLE	0.90	16'	Lithonia Lighting	WDGE1 LED P1 40K 80CRI VF	10

Calculation Summary					
Label	Avg	Max	Min	Avg/Min	Max/Min
PAVEMENT	2.702	5.673	0.266	10.2:1	21.3:1
PROPERTY LINE	0.086	0.854	0.0	N/A	N/A

REVISIONS

PROJECT INFO
 210660-000
 ENGINEER: PJO DRAWN BY: ELM CHECKED BY: PJO

TRAILS AT BANNISTER APARTMENT HOMES
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 UR PRELIMINARY DEVELOPMENT PLAN
 PHOTOMETRIC PLAN
 P:210660006-DRAWINGS\LIGHTING\210660 LIGHT.DWG

