



CITY PLAN COMMISSION STAFF REPORT

City of Kansas City, Missouri
City Planning & Development Department
www.kcmo.gov/cpc

October 19, 2021

Project Name

Bodhi Residential Development

Docket #9 Request

CD-CPC-2021-00100 -Rezoning with a plan

Applicant

Trevor Fox
Anderson Engineering

Owner

Vecino Group, LLC
3800 Norton Avenue
Kansas City, MO 64128

Location	3840 Jackson Ave
Area	About 3.8 acres
Zoning	B1-1/ R-2.5
Council District	3 rd
County	Jackson
School District	KCMO

Surrounding Land Uses

North: zoned R-2.5, SF residences.

South: zoned B1-1, residences.

East: zoned B1-1/ R-2.5, Seven Oaks park.

West: zoned R-2.5, SF residences.

Major Street Plan

East 39th Street is classified as a two lane through streets with a local link typology by the City's Major Street Plan at this location. Jackson Avenue is not classified by the Major Street Plan.

Land Use Plan

The Heart of the City Area Plan recommends Residential Urban Low Density land use at this location. This proposal is consistent with the future land use plan.

APPROVAL PROCESS



NEIGHBORHOOD AND CIVIC ORGANIZATIONS NOTIFIED

Notice of the public hearing was sent to the Oak Park Neighborhood Association, the Palestine Neighborhood Development Corporation, the Seven Oaks Estates, LP and surrounding properties within 300 feet.

REQUIRED PUBLIC ENGAGEMENT

Public engagement as required by 88-505-12 applies to this request. The applicant held a virtual public engagement meeting on October 12, 2021, of which a summary is attached.

EXISTING CONDITIONS

The project site is about 4 acre is generally located at northwest corner of E. 39th Street and Jackson Avenue. The overall site is a combination of 4 parcels. Although the project site is bounded on all sides by public streets, only E. 39th Street and Jackson Avenue are improved at this location. East 38th Street along the north and Norton Avenue along the west are paper streets that have not been constructed. The norther part of the site is zoned R-2.5 while the southern portion along E. 39th Street is zoned B1-1. There is a regulated stream that terminates at the northerly property line.

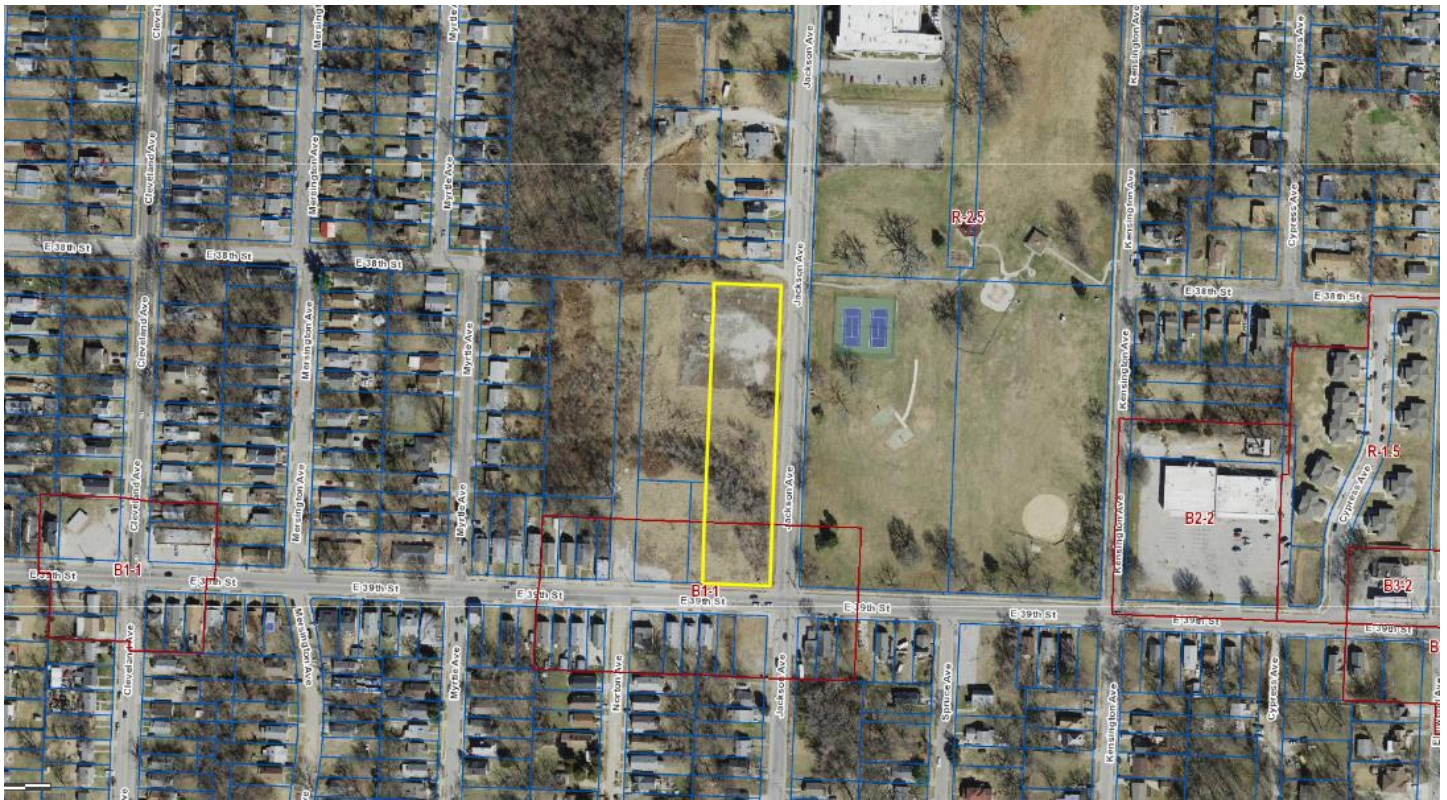
Surrounding land uses includes existing single family residences to the north and south. There are single family residences on east side of Myrtle Avenue. Seven Oaks park is located on the east side of Jackson Avenue.

SUMMARY OF REQUEST

The applicant is seeking approval of a development plan which also serves as a preliminary plat, and in lieu of a Special Use Permit pursuant to Section 88-517-09-D, in Districts R-2.5 and B1-1 to allow for a 53-unit residential development within seven (7) "Multi-Unit House" building.

PROFESSIONAL STAFF RECOMMENDATION

Docket #9 Recommendation: Approval with conditions.

CONTROLLING CASES – There is no prior CPC case on this site.**PLAN REVIEW**

The request is to consider approval of a development plan which also serves as a preliminary plat, and in lieu of a Special Use Permit pursuant to Section 88-517-09-D, in Districts R-2.5 and B1-1 on about 3.8 acres generally located at northwest corner of E. 39th Street and Jackson Avenue to allow for a 53-unit residential development within seven (7) "Multi-Unit House" building. The plan proposes to develop the northern portion of the site with 4 buildings along Jackson Avenue and 3 buildings within the site. The surface parking is located between the buildings. The plan also proposes to construct E. 38th Street from Jackson Avenue to Norton Avenue to allow access from both streets through the parking lot.

Due to the extensive change in grade through the site, the plans show a retaining wall from Jackson on the east to the west side of the site. The wall states that it could be as tall as 12 feet in certain areas. The plan also proposes the vacation of Norton Avenue. At the time of writing this staff report the application for the vacation has not been submitted. This is critical as staff has a condition requesting the improvement of Norton Avenue as part of this development. This improvement is not shown on the plan a waiver has not been requested. Because there is a regulated stream, the plan set included a preliminary stream buffer plan.

The submitted plans shows seven 3-story buildings constructed of two-tone horizontal and vertical fiber cement lapsiding accented with fieldstone veneer. The plan shows gables with metal panel and asphalt shingles roof.

Requested Deviations

The plan does not stipulate or request any deviation.

Use-Specific (88-300) and Development Standards (88-400)

Standards	Applicability	Meets	More Information
<i>Boulevard and Parkway Standards (88-323)</i>	NO	N/A	
<i>Parkland Dedication (88-408)</i>	YES		SEE PLAN ANALYSIS
<i>Parking and Loading Standards (88-420)</i>	YES	YES	
<i>Landscape and Screening Standards (88-425)</i>	YES		SEE PLAN ANALYSIS
<i>Outdoor Lighting Standards (88-430)</i>	YES		SEE PLAN ANALYSIS
<i>Sign Standards (88-445)</i>	YES		SEE PLAN ANALYSIS
<i>Pedestrian Standards (88-450)</i>	YES	YES	

PLAN ANALYSIS

The project parcel is a combination of 4 underlying parcels which will have to be consolidated into one lot to allow for this development to occur. This can be accomplished via a preliminary and final plat. Staff recommends that the plan be revised to include a preliminary plat sheet that shows all building setbacks along the public right of way. The plan does not show any tract to count towards parkland dedication. For any proposed amenity to count towards parkland dedication it must be contained in a tract. The revised plan shall show all the necessary amenities that qualify for parkland credit. The development plan shall also serve as a preliminary plat that proposes one lot and tracts for private open space.

The plan proposes to vacate Norton Avenue from E. 38th Street to E. 39th Street. Staff recommends that the developer file for the vacation prior to ordinance request and that this development plan not proceed to the City Council without the accompanying request for street vacation.

Parkland Dedication (88-408)

Residential uses are proposed therefore parkland dedication or payment in-lieu of dedication is required. A total of 53 residential dwelling units are proposed. Pursuant to this section a total of 0.64 acres must be dedicated for parkland purposes per calculation below.

The development is providing a need for the following:

$$53 \text{ multi-family lots} \times 2 \times 0.006 = 0.64 \text{ acres}$$

$$0.64 \text{ acres} \times \$48,801.37 = \$31,037.67$$

That the developer can either dedicate 0.28 acres of parkland or contribute \$31,037.67 in lieu of parkland dedication for the 53 multifamily units in satisfaction of Chapter 88-408 of the Zoning and Development Code.

Parking and Loading Standards (88-420)

The plan shows 54 parking spaces which is one space greater than the number of spaces required by the Zoning and Development Code. This includes 3 ADA van accessible stalls.

Plan Review Criteria

In order to be approved, the plan must comply with all of the following criteria:

88-516-05-A. The plan must comply with all standards of this zoning and development code and all other applicable city ordinances and policies.

The plan complies with the zoning and development code and the Heart of the City Area Plan recommendations.

88-516-05-B. The proposed use must be allowed in the district in which it is located.

The proposed use is a permitted use in the existing zoning district R-2.5 subject to a Special Use Permit. Pursuant to Section 88-517-09-D, "If a use that would have required special use approval is approved on a development plan, no separate special use review will be required." This will allow for a 53-unit residential development within seven (7) "Multi-Unit House" building.

88-516-05-C. Vehicular ingress and egress to and from the site, and circulation within the site, must provide for safe, efficient and convenient movement of traffic not only within the site but on adjacent roadways.

The plan provides for adequate vehicular connection.

88-516-05-D. The plan must provide for safe, efficient, and convenient non-motorized travel opportunities, being pedestrian and bicycle movement, on the subject site.

The plan provided for private and public sidewalks.

88-516-05-E. The plan must provide for adequate utilities based on City standards for the particular development proposed.

There are adequate utilities subject to Water Services Department approval.

88-516-05-F. The location, orientation, and architectural features, including design and material, of buildings and other structures on the site must be designed to be compatible with adjacent properties.

The 3-story apartment buildings are proposed to be primarily fieldstone veneer, horizontal and vertical lapping with asphalt shingles. Staff recommends additional information prior to ordinance request.

88-516-05-G. Landscaping, berms, fences and/or walls must be provided to buffer the site from undesirable views, noises, lighting or other off-site negative influences and to buffer adjacent properties from negative influences that may be created by the plan.

The plan is compliant.

88-516-05-H. The design of streets, drives, and parking areas within the project should result in a minimum of area devoted to asphalt or other impervious surfaces consistent with the needs of the project and city code requirements.

The plan is compliant.

88-516-05-I. The plan must identify trees to be removed and trees to be preserved during the development of the subject property with the goal of saving trees that are not required to be removed for the development of the property.

There are no trees on the site.

PROFESSIONAL STAFF RECOMMENDATION

Staff recommends Approval Subject to the Corrections and Conditions as reflected in the attached Plan Correction Report and Plan Conditions Report.

Respectfully Submitted,



Olofu Agbaji
Planner



Plan Conditions, Corrections, & Recommendations Report

Recommended to City Plan Commission
Recommended by Development Review Committee

Report Date: October 15, 2021
Case Number: CD-CPC-2021-00100
Project: Bodhi Residential Development

Plan Corrections

Correction(s) by Development Management of the City Planning and Development Department. Contact Olofu Agbaji at 816-513-8815 / Olofu.Agbaji@kcmo.org with questions.

1. Call out any request for waiver, deviation and modification to the subdivision regulations. Revise Plans and Resubmit (10/15/2021)
2. Call out any request for deferment or desire to post bonds in lieu of constructions of public improvements. Revise Plans and Resubmit (10/15/2021)
3. Remove all signature blocks on the cover sheet. Revise Plans and Resubmit (10/15/2021)
4. Update revised plan set to include all the plan sheets called out on the cover sheet. Revise Plans and Resubmit (10/15/2021)
5. Show all revision dates on the cover sheet. Revise Plans and Resubmit (10/15/2021)
6. All pertinent information on the building elevation sheet including architect and developer information. Revise Plans and Resubmit (10/15/2021)
7. Provide a preliminary plat sheet, showing all the information required on the checklist. Revise Plans and Resubmit (10/15/2021)
8. Clearly depict all POS tracts and amenities to be dedicated in lieu of parkland. This shall be shown on the preliminary plat sheet. Revise Plans and Resubmit (10/15/2021)
9. A signage plan for this development as required by Chapter 88-445-10. Revise Plans and Resubmit (10/15/2021)
10. Provide phasing information on the face of the plan. Revise Plans and Resubmit (10/15/2021)

Correction(s) by Land Development Division of the City Planning and Development Department. Contact Stacey Lowe at 816-513-2552 / stacey.lowe@kcmo.org with questions.

11. Submit a preliminary plat as part of the revised submittal package since platting will be required as part of this project. If no preliminary plat is included, apply for a separate development plan case using the Compass KC website to satisfy the platting requirements prior to the City Plan Commission hearing. UPDATED 10/7/21 - no preliminary plat included in the resubmittal and no additional cases have been applied for using the system. (7/07/2021)
12. Update the site plan to show the location of all of the proposed infrastructure improvements, including the improvements to 38th Street and Norton Avenue along the property's frontage. UPDATED 10/7/21 - no improvements shown along Norton Avenue and no vacation application has been filed. (7/09/2021)

Correction(s) by Parks Department of the Parks & Recreation. Contact Justin Peterson at 816-513-7599 / Justin.Peterson@kcmo.org with questions.

13. Provide street tree plan for all street frontages the development is adjacent to. (7/12/2021)
14. Provide details on how parkland dedication standards of 88-408 are to be satisfied. Please note, if private open space is to be dedicated, said space much be platted into private open space tracts.

Update 10.08.21: Do not see any reference to how parkland dedication is to be satisfied on plans. Please note if private open space is to be platted, said areas shall provide amenities and recreational benefit to residents. Details will need to be provided identifying these amenities proposed. (7/12/2021)

Correction(s) by Public Works - Transportation of the Public Works Department. Contact Jeffrey Bryan at 816-513-9865 / Jeffrey.Bryan@kcmo.org with questions.

Correction(s) by Public Works - Transportation of the Public Works Department. Contact Jeffrey Bryan at 816-513-9865 / Jeffrey.Bryan@kcmo.org with questions.

15. The proposed radius at 38th Street will need to be revised (increased). It looks like some utility work will be needed to make this happen. (10/08/2021)

Plan Conditions

Condition(s) by City Planning and Development Department. Contact Olofu Agbaji at 816-513-8815 / Olofu.Agbaji@kcmo.org with questions.

16. That this development plan not proceed to the City Council without the accompanying request for street vacation. (10/15/2021)
17. That the developer file for the vacation of Norton Avenue from E. 38th Street to E. 39th Street prior to ordinance request. (10/15/2021)
18. That the developer provide detailed architectural information on the proposed building for review and approval by staff prior to ordinance request or submit a design guideline for the proposed development. The design guidelines shall call out how this plan incorporates the Heart of the City Area Plan design guidelines wherever the opportunity presents itself. The guidelines shall call out all preferred and prohibited building materials. (10/15/2021)
19. The developer shall submit an affidavit, completed by a landscape architect licensed in the State of Missouri, verifying that all landscaping required of the approved plan has been installed in accordance with the plan and is healthy prior to Certificate of Occupancy. (10/15/2021)
20. The developer shall submit an affidavit, completed by a landscape architect licensed in the State of Missouri, verifying that street trees have been installed in accordance with the approved street tree planting plan and are healthy prior to Certificate of Occupancy. (10/15/2021)

Condition(s) by City Planning and Development Department. Contact Stacey Lowe at 816-513-2552 / stacey.lowe@kcmo.org with questions.

21. That the west half of Jackson Avenue shall be improved to City standards as required by Chapter 88, to current standards, including curbs and gutters, sidewalks, street lights, relocating any utilities as may be necessary and adjusting vertical grades for the road, etc., and obtaining required permit from Land Development Division for said improvement prior to recording the plat or prior to issuance of a Building Permit, whichever occurs first. (6/30/2021)
22. The developer shall submit an analysis to verify adequate capacity of the existing sewer system as required by the Land Development Division prior to issuance of a building permit to connect private system to the public sewer main and depending on adequacy of the receiving system, make other improvements may be required. (6/30/2021)
23. The developer must secure permits to extend public sanitary and storm water conveyance systems to serve all proposed lots within the development and determine adequacy of receiving systems as required by the Land Development Division, prior to recording the plat or issuance of a building permit whichever occurs first. (6/30/2021)
24. That Norton Avenue between 38th Street and 39th Street shall be constructed to City standards as required by Chapter 88, to current standards, including curbs and gutters, sidewalks, street lights, relocating any utilities as may be necessary and adjusting vertical grades for the road, etc., and obtaining required permit from Land Development Division for said improvement prior to recording the plat or prior to issuance of a Building Permit, whichever occurs first. (6/30/2021)
25. The developer must design and construct all interior public streets to City Standards, as required by Chapter 88 and the Land Development Division, including curb and gutter, storm sewers, street lights, and sidewalks. (6/30/2021)
26. That 38th Street between Jackson Avenue and Norton Avenue shall be constructed to City standards as required by Chapter 88, to current standards, including curbs and gutters, sidewalks, street lights, relocating any utilities as may be necessary and adjusting vertical grades for the road, etc., and obtaining required permit from Land Development Division for said improvement prior to recording the plat or prior to issuance of a Building Permit, whichever occurs first. (6/30/2021)
27. The developer must submit covenants, conditions and restrictions to the Land Development Division for review by the Law Department for approval for the maintenance of private open space and enter into a covenant agreement for the maintenance of any stormwater detention area tracts, prior to recording the plat. (7/07/2021)
28. The developer must submit covenants, conditions and restrictions to the Land Development Division for review by the Law Department for approval and enter into covenant agreements for the maintenance of any private open space tracts with stream buffer zones or stormwater detention area tracts, prior to recording the plat. (7/07/2021)
29. The developer shall cause the area to be platted and processed in accordance with Chapter 88, Code of Ordinances of the City of Kansas City, Missouri, as amended, commonly known as the Development Regulations. (7/07/2021)
30. The developer must grant a BMP and/or Surface Drainage Easement to the City as required by the Land Development Division, prior to recording the plat or issuance of any building permits. (7/07/2021)

Condition(s) by City Planning and Development Department. Contact Stacey Lowe at 816-513-2552 / stacey.lowe@kcmo.org with questions.

31. The developer shall submit a Preliminary Stream Buffer plan prior to approval of the [Special Use /Development/Rezoning] plan in accordance with the Section 88-415 requirements. (7/07/2021)
32. The developer shall submit a Storm Drainage analysis from a Missouri-licensed civil engineer to the Land Development Division evaluating proposed improvements and impact to drainage conditions. Since this project is within a "Combined Sewer Overflow" (CSO) district, the project shall be designed to retain rainfall of 1.5 inch depth over the entire site to simulate natural runoff conditions and reduce small storm discharge to the combined sewer system. Manage the 10-year storm and 100-year storm per currently adopted APWA standards. The analysis shall be submitted, and the developer shall secure permits to construct any improvements required by the Land Development Division prior to recording the plat. (7/07/2021)
33. The developer shall submit a final stream buffer plan to the Land Development Division for approval prior to issuance of any building permits and obtain permits for the Stream Buffer prior to removal of any mature riparian species within the buffer zones due to construction activities on the site, in accordance with the Section 88-415 requirements. (7/07/2021)

Condition(s) by Fire Department. Contact Michael Schroeder at 816-513-4611 / michael.schroeder@kcmo.org with questions.

34. • Aerial Fire Apparatus access roads shall be provided for any building that is 30 feet in height or greater. Aerial Fire Apparatus Roads are a minimum 26 feet wide, at least 15 feet away from the building but not more than 30 feet from the structure. (IFC-2018 § D105). (6/28/2021)
35. • The expectation is the project will meet the fire flow requirements as set forth in Appendix B of the International Fire Code 2018. (IFC-2018 § 507.1) (6/28/2021)
36. • Fire hydrants shall be installed and operable prior to the arrival of any combustible building materials onto the site. (IFC-2018 § 501.4 and 3312.1; NFPA 241-2013 § 8.7.2) (6/28/2021)
37. • Fire hydrant distribution shall follow IFC-2018 Table C102.1 (6/28/2021)
38. • Buildings equipped with a fire standpipe system shall have an operable fire hydrant within 100 feet of the Fire Department Connection (FDC). (IFC2018 § 507.5.1.1) (6/28/2021)

Condition(s) by Parks & Recreation. Contact Justin Peterson at 816-513-7599 / Justin.Peterson@kcmo.org with questions.

39. The developer shall submit a streetscape plan with street tree planting plan per 88-425-03 for approval and permitting by the Parks & Recreation Department's Forestry Division prior to beginning work in the public right-of-way (7/12/2021)
40. The developer is responsible for dedication of parkland, private open space in lieu of parkland, or payment of cash-in-lieu of either form of dedication, or any combination thereof in accordance with 88-408. Should the developer choose to pay cash-in-lieu of dedicating all or a portion of the required area, the amount due shall be based upon the (2021) acquisition rate of (\$48,801.37) per acre. This requirement shall be satisfied prior to recording the final plat (if platting open space tracts) or certificate of occupancy (if paying money-in-lieu). (7/12/2021)

Condition(s) by Water Services Department. Contact Heather Massey at / heather.massey@kcmo.org with questions.

41. The developer shall have a water flow test done to ensure there is adequate water pressure to serve the development.
South of River contact –Sean Allen -816-513-0318
North of River contact Dan Richardson – 816-513-4883 (7/09/2021)
42. The developer shall ensure that water and fire service lines should meet current Water Services Department Rules and Regulations.
<https://www.kcwater.us/wp-content/uploads/2019/04/2018-Rules-and-Regulations-for-Water-Service-Lines.pdf>
(7/09/2021)

Condition(s) by Water Services Department. Contact Jerald Windsor at 816-513-2904 / Jerald.Windsor@kcmo.org with questions.

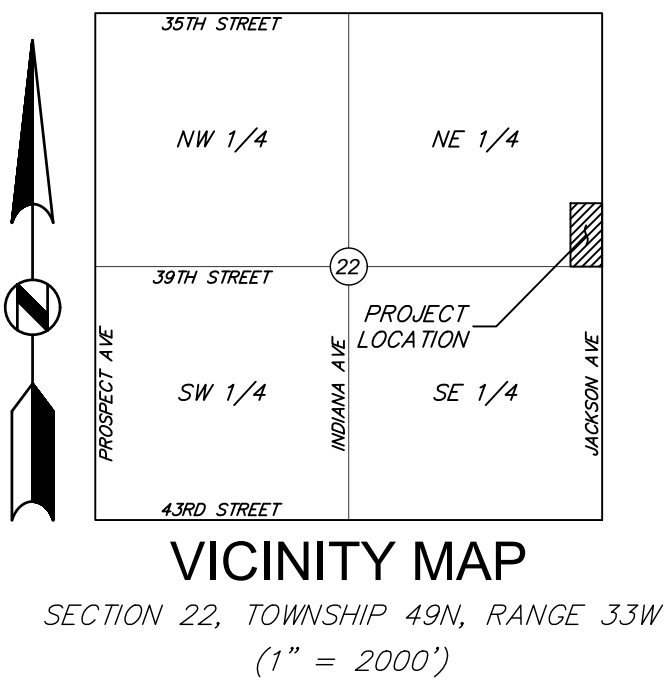
43. The developer must submit water main extension drawings for new Fire Hydrants prepared by a registered professional Engineer in Missouri to the water main extension desk for review, acceptance and contracts per the KC Water Rules and Regulations for Water main extensions and Relocations.
(<https://www.kcwater.us/wp-content/uploads/2019/04/2018-Rules-and-Regulations-for-Water-Main-Extensions.pdf>)

The public fire hydrants shall have a maximum spacing of 300' along Jackson Ave. (7/12/2021)

BODHI

SITE DEVELOPMENT PLAN

3840 JACKSON AVENUE, KANSAS CITY, JACKSON COUNTY, MISSOURI 64117
 NE 1/4, SECTION 22, TOWNSHIP 49N, RANGE 33W



GENERAL NOTES

1. ALL WORK IN PUBLIC EASEMENT AND RIGHT-OF-WAY SHALL BE INSTALLED PER THE REQUIREMENTS AND SPECIFICATIONS OF THE CITY OF KANSAS CITY, MISSOURI AND ADOPTED APWA SPECIFICATIONS.
2. THE CONTRACTOR SHALL BE REQUIRED TO OBTAIN ALL FEDERAL, STATE, AND LOCAL PERMITS REQUIRED FOR THIS PROJECT PRIOR TO COMMENCING CONSTRUCTION.
3. ANY WORK ADJACENT TO OR CROSSING EXISTING STREETS REQUIRES PROPER TRAFFIC CONTROL DEVICES. TRAFFIC CONTROL DEVICES SHALL BE PLACED IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
4. THE CONTRACTOR SHALL BE REQUIRED TO DEMOLISH, REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, PAVEMENTS, AND FEATURES NECESSARY TO CONSTRUCT THE IMPROVEMENTS SHOWN HEREON. ANY WASTE MATERIALS GENERATED DURING CONSTRUCTION SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR AND DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS GOVERNING SUCH DISPOSAL.
5. THE CONTRACTOR SHALL PREVENT ANY TRASH, DEBRIS, OR LIQUID WASTES FROM BEING DISPOSED OF IN SANITARY SEWERS, STORM SEWERS, OR OPEN DRAINAGE SYSTEMS.
6. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE TO PROTECT ADJACENT PROPERTY, STRUCTURES, AND OTHER IMPROVEMENTS FROM DAMAGE DURING CONSTRUCTION. IN THE EVENT OF DAMAGE TO ADJACENT PROPERTY, STRUCTURES, OR IMPROVEMENTS, THE CONTRACTOR SHALL REPAIR OR REPLACE SUCH DAMAGE TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
7. CONTRACTORS AT THE SITE SHALL BE SOLELY RESPONSIBLE FOR JOBSITE SAFETY FOR ALL ASPECTS OF WORK SHOWN HEREON.
8. ALL WORK AND MATERIALS USED IN THE CONSTRUCTION OF THE IMPROVEMENTS SHOWN HEREON SHALL COMPLY WITH ALL REFERENCED STANDARDS, SPECIFICATIONS, AND PLAN NOTES.
9. ALL BUILDINGS ARE SHOWN AS A REFERENCE ONLY. ALL BUILDINGS SHALL BE LOCATED AND CONSTRUCTED PER THE ARCHITECTURAL DRAWINGS PREPARED BY OTHERS.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES FOR FIELD LOCATIONS OF UNDERGROUND UTILITIES AFFECTED BY THE CONTRACT. ALL EXISTING UTILITIES INDICATED ON THESE PLANS ARE ACCORDING TO THE BEST INFORMATION AVAILABLE TO THE ENGINEER; HOWEVER, ALL UTILITIES ACTUALLY EXISTING MAY NOT BE SHOWN. UTILITIES DAMAGED THROUGH THE NEGLIGENCE OF THE CONTRACTOR TO OBTAIN THE LOCATION OF SAME SHALL BE REPAIRED OR REPLACED AT THE EXPENSE OF THE CONTRACTOR.
11. COORDINATE WITH FACILITY REPRESENTATIVE AS TO WHEN CONSTRUCTION ACTIVITIES MAY BE PERFORMED TO WORK WITH THE OPERATIONS OF THE FACILITY.
12. ANY AND ALL HAZARDS SHALL BE PROPERLY IDENTIFIED AND BARRICADED FROM ACCESS DURING ALL NON-CONSTRUCTION PERIODS.
13. UNLESS SPECIFIED OTHERWISE, ALL CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE MISSOURI DEPARTMENT OF TRANSPORTATION (MOTD) STANDARD SPECIFICATIONS, EXCEPT AS MODIFIED BY THESE PLANS.



SHEET LIST TABLE	
SHEET NUMBER	SHEET TITLE
CVR	COVER SHEET
S1	ALTA SURVEY
C1.0	EXISTING SITE CONDITIONS
C2.0	SITE PLAN
C3.0	GRADING PLAN
C4.0	UTILITY PLAN
L1.0	LANDSCAPE PLAN
A101	OVERALL FLOOR PLANS
A201	BUILDING ELEVATIONS
A202	BUILDING ELEVATIONS

OWNER & DEVELOPER

THE VECINO GROUP LLC
 3800 NORTON AVE
 KANSAS CITY, MO 64128

THE VECINO GROUP
 305 W. COMMERCIAL ST.
 SPRINGFIELD MO, 65803

CONTACT: SCOTT STANLEY
 PHONE: (417) 720-1577
 EMAIL: SCOTT@VECINOGROUP.COM

PREPARED & SUBMITTED BY:

ANDERSON ENGINEERING, INC.
 941 W 141ST TERRACE
 KANSAS CITY, MISSOURI 64145
 PJOYCE@AEC-ING.COM
 (816) 777-0400

 PATRICK J. JOYCE, P.E. DATE

APPROVED BY:

GOVERNING BODY

 AUTHORIZING POSITION DATE

AS-BUILT STATEMENT

THE POLICY OF THE PLAN PREPARATION CRITERIA AND PROCEDURE (PLANS CRITERIA) AND POLICY DOCUMENT NO. 880544 AS BUILT DRAWINGS FOR SEWER BUILT BY PERMIT STIPULATE THE FOLLOWING REGARDING AS BUILT DRAWINGS:

1. DRAWINGS ARE TO BE PROVIDED WITHIN THIRTY (30) CALENDAR DAYS AFTER THE DATE THE REQUEST FOR AS BUILTS LETTER IS ISSUED BY THE CITY TO THE PERMITEE/CONTRACTOR.
2. DRAWINGS MUST BE ACCEPTED BY THE CITY BEFORE ANY SERVICE CONNECTIONS WILL BE ALLOWED.
3. DRAWINGS ARE PART OF THE PERMIT OBLIGATIONS MAKING THEM THE RESPONSIBILITY OF THE PERMITEE.
4. THE COST OF PREPARING AS BUILT DRAWINGS SHALL BE INCLUDED IN THE PERFORMANCE BOND.

SHOP DRAWING NOTE

PRIOR TO ORDERING PRE-CAST STRUCTURES, SHOP DRAWINGS ARE TO BE SUBMITTED TO THE DESIGN ENGINEER FOR APPROVAL. THE DESIGN ENGINEER SHALL INDICATE APPROVAL OF THE SHOP DRAWINGS AND ADD THE PERMIT TYPE AND NUMBER ON THEM AND THEN SUBMIT THEM TO THE CITY PLANNING & DEVELOPMENT DEPT., LAND DEVELOPMENT DIVISION, DEVELOPMENT SERVICES ON THE 5TH FLOOR OF CITY HALL, 414 E. 12TH ST. KCMO 64106.



811
 Know what's below.
 Call before you dig.

UTILITY CONTACTS

- WATER**
 KCMO WATER SERVICES
 MELANIE JOLLETT
 PHONE (816) 513-0154
 MELANIE.JOLLETT@KCMO.ORG
- SANITARY SEWER**
 KCMO WATER SERVICES
 KARINE PAPIKIAN
 PHONE (816) 513-0154
 KARINE.PAPIKIAN@KCMO.ORG
- ELECTRIC**
 EVERGY
 ANDY ALEXANDER
 PHONE (816) 245-3775
 ANDREW.ALEXANDER@EVERGY.COM
- GAS**
 SPIRE
 JOSE ARELLANO
 PHONE (314) 399-2981
 JOSE.ARELLANO@SPIREENERGY.COM
- STORM SEWER**
 KCMO WATER SERVICES
 ROBERT DAVIS
 PHONE (816) 513-0573
 ROBERT.DAVIS@KCMO.ORG
- STREETS & TRAFFIC**
 KCMO PUBLIC WORKS
 WEI SUN
 PHONE (816) 513-9869
- TELEPHONE**
 AT&T
 RON GIPFERT
 PHONE (816) 772-0318
 RG7910@ATT.COM

WATERSHED

THIS PROJECT SITE LIES WITHIN THE BLUE RIVER WATERSHED.

FEMA INFORMATION

THIS SITE IS LOCATED WITHIN ZONE X PER FEMA FIRM MAP 29095C0266C; EFFECTIVE DATE OF JANUARY 20, 2017. NO LETTERS OF MAP AMENDMENT OR REVISIONS ARE BEING PROPOSED.

ANDERSON ENGINEERING
 EMPLOYEE OWNED

AE

ENGINEERS • SURVEYORS • LABORATORIES • DRILLING
 941 W 141ST TERR. STE. A • KANSAS CITY, MO 64145 • PHONE (816) 777-0400
 A LICENSED MISSOURI ENGINEERING & SURVEYING CORPORATION - LC 62

DRAWING INFO.	JOB		TAF	
	NO.	DESCRIPTION	DATE	JOB NUMBER
DRAWN BY:	DATE:	CHECK BY:	LICENSE NO.:	ISSUED FOR:
DATE:	JOB NUMBER:	DATE:	JOB NUMBER:	JOB NUMBER:
DATE:	JOB NUMBER:	DATE:	JOB NUMBER:	JOB NUMBER:
DATE:	JOB NUMBER:	DATE:	JOB NUMBER:	JOB NUMBER:
DATE:	JOB NUMBER:	DATE:	JOB NUMBER:	JOB NUMBER:

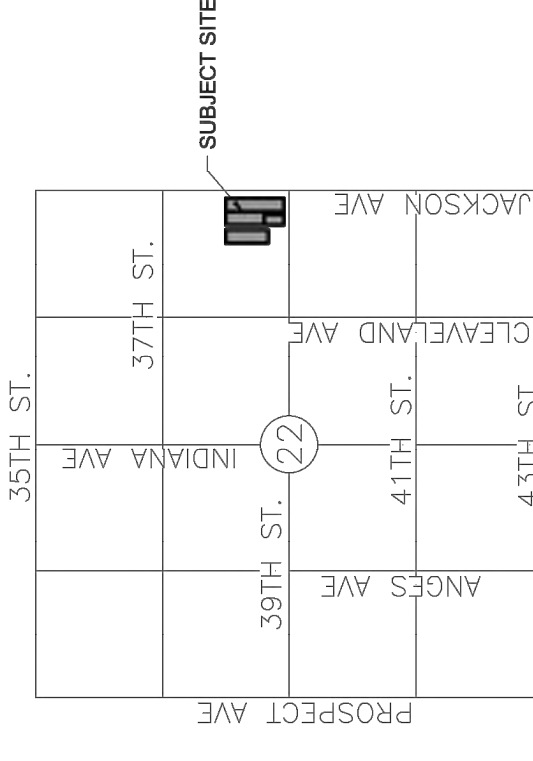
BODHI - KCMO

COVER SHEET

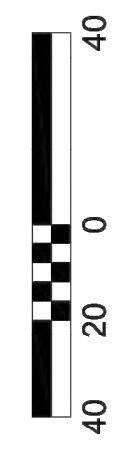
3840 JACKSON AVE. KANSAS CITY, MO 64117

SHEET NUMBER
CVR
 1 OF 7

ALTA/NSPS LAND TITLE SURVEY PART OF LAURELHURST SUBDIVISION, PART OF JAMES DAVENPORT'S ESTATE, & PART OF NE 1/4 SEC. 22, TWN 49, RNG 33 KANSAS CITY, JACKSON COUNTY, MISSOURI



SECTION 22, TOWNSHIP 49, RANGE 33
JACKSON COUNTY, MISSOURI
SCALE: 1" = 2000'



- LEGEND**
- BILE
 - BIALC,E
 - ⊗ FH
 - ⊗ G
 - GA
 - ▼ MS
 - PFL
 - SSMH
 - STMH
 - ⊗ WM
 - AERIAL TARGET
 - EXIST. IRON BAR
 - EXIST. IRON BAR WITH ALUM. CAP
 - FIRE HYDRANT
 - GAS MARKER
 - GUY ANCHOR
 - METAL SIGN
 - POWER POLE WITH LIGHT
 - POWER POLE
 - SANITARY SEWER MANHOLE
 - STORM MANHOLE
 - WATER VALVE
 - OVERHEAD POWER LINE
 - UNDERGROUND NATURAL GAS LINE

SURVEYOR'S GENERAL NOTES & TABLE A. NOTES

THIS SURVEY MEETS OR EXCEEDS THE ACCURACY STANDARDS OF A (URBAN) PROPERTY BOUNDARY SURVEY AS DEFINED BY THE MISSOURI STANDARDS FOR PROPERTY BOUNDARY SURVEYS.

THE TITLE REPORT WAS FURNISHED BY COMMONWEALTH LAND TITLE (INSURANCE COMPANY) COMMITMENT NO. 20SP29001, DATED: JANUARY 12, 2021 @ 12:00 A.M. TITLE IS CURRENTLY INVESTED IN: LEGACY BANK AND TRUST, AND COMMONWEALTH LAND TITLE INSURANCE COMPANY.

THIS COMPANY ASSUMES NO RESPONSIBILITY IN THE LOCATION OF EXISTING UTILITIES WITHIN THE SUBJECT PREMISES. THIS IS AN ABOVE-GROUND SURVEY. THE UNDERGROUND UTILITIES, IF SHOWN, ARE BASED ON INFORMATION PROVIDED BY THE VARIOUS UTILITY COMPANIES AND THESE LOCATIONS SHOULD BE CONSIDERED APPROXIMATE. THERE MAY BE ADDITIONAL UNDERGROUND UTILITIES NOT SHOWN ON THIS DRAWING.

SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT SURVEYED OR EXAMINED OR CONSIDERED AS A PART OF THIS SURVEY. NO EVIDENCE OR STATEMENT IS MADE CONCERNING THE EXISTENCE OR UNDERGROUND OR OVERHEAD CONDITIONS, CONTAINERS OR FACILITIES THAT MAY AFFECT THE USE OR DEVELOPMENT OF THIS PROPERTY. NO ATTEMPT HAS BEEN MADE TO OBTAIN OR SHOW DATA CONCERNING EXISTENCE, SIZE, DEPTH, CONDITIONS, CAPACITY OR LOCATION OF ANY UTILITY EXISTING ON THE SITE, WHETHER PRIVATE, MUNICIPAL OR PUBLIC OWNED.

BEARINGS AND DISTANCE SHOWN HEREON ARE BASED UPON THE MISSOURI STATE PLANE COORDINATE SYSTEM, 1983, MISSOURI WEST ZONE (NSRS 2011)

WITH THIS SURVEY, ANDERSON ENGINEERING, INC. AND THIS LAND SURVEYOR DOES NOT GUARANTEE THAT OWNERSHIP IS TO THE SURVEY LINES DEPICTED HEREON. THIS SURVEY IS A GRAPHIC REPRESENTATION OF THE OPINION OF SAID SURVEYOR AND THE OPINION OF SAID ANDERSON ENGINEERING, INC., AS TO THE LOCATION OF THE RECORD DESCRIPTION(S), NO OPINION AS TO THE VALIDITY OF THE TITLE IS GIVEN OR IMPLIED.

EXTERIOR CORNERS ARE TO BE MONUMENTED WITH 1/2" REBAR AND CAP (LC-62) UNLESS NOTES OTHERWISE.

PROPERTY ADDRESS IS 3800-3801 NORTON; 2840 JACKSON; 4100 & 4112 39TH KANSAS CITY, MO 64128.

GROSS LAND AREAS IS 224540.59 SQ. FT., 5.155 ACRES ± (ALL TRACTS COMBINED).

FLOOD ZONE IS CLASSIFIED AS X, AREA OF MINIMAL FLOOD HAZARD, FEMA NATIONAL FLOOD INSURANCE PROGRAM MAP NUMBER 29085C02686G, EFFECTIVE DATE JANUARY 20, 2017

VERTICAL DATUM: NAVD88 W/ GEOID 18.

SUBJECT PROPERTY IS ZONED "R-2.5" RESIDENTIAL 2.5 AND "B1-1" NEIGHBORHOOD BUSINESS 1

NO BUILDINGS EXISTING ON THE SURVEYED PARCEL AS OF THE DATE OF THIS SURVEY.

NO PARKING STRIPES WERE VISIBLE ON THE SURVEYED PARCEL AS OF THE DATE OF THIS SURVEY.

NOTE TO THE CLIENT, INSURER, AND LENDER - WITH REGARD TO TABLE A, ITEM 11, SOURCE INFORMATION FROM PLANS AND MARKINGS WILL BE COMBINED WITH OBSERVED EVIDENCE OF UTILITIES PURSUANT TO SECTION 5.E.I.V. TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE LOCATED. RECORDS FROM SURVEYORS MAY BE CONSULTED OR RESULTS FROM INCOMPLETE RESPONSES. IN EITHER CASE, THE SURVEYOR SHALL NOTE ON THE PLAN OR MAP HOW THIS AFFECTED THE SURVEYOR'S ASSESSMENT OF THE LOCATION OF THE UTILITIES, WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION AND/OR A PRIVATE UTILITY LOCATE REQUEST MAY BE NECESSARY.

LEGAL DESCRIPTION (PROVIDED BY COMMONWEALTH LAND TITLE INSURANCE COMPANY)

TRACT I
LOTS 28 THROUGH 36, INCLUSIVE, LAURELHURST, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF.

TRACT II
LOTS 1 THROUGH 10, INCLUSIVE, LAURELHURST, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF.

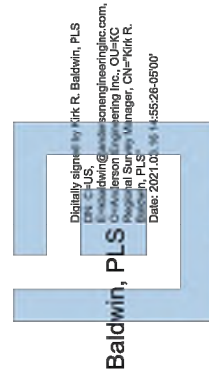
TRACT III
THE EAST ONE HUNDRED THIRTY FIVE (135) FEET OF LOT SEVEN (7), DAVENPORT (JAMES) ESTATE SUBDIVISION, AN ADDITION IN AND TO KANSAS CITY, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF, AND THAT PART OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 22, TOWNSHIP 49, RANGE 33, OF JACKSON COUNTY, MISSOURI, DESCRIBED AS FOLLOWS: BEGINNING ON THE SOUTHEAST CORNER OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER, THENCE WEST 165 FEET; THENCE NORTH TO THE SOUTH LINE OF SAID LOT 7; THENCE NORTHEASTERLY ALONG SAID SOUTH LINE TO THE POINT OF BEGINNING; THENCE SOUTH 280.5 FEET TO THE POINT OF BEGINNING, EXCEPT THOSE PARTS IN STRIPS

TRACT IV
ALL OF LOTS 11 AND 12, EXCEPT THE EAST 30 FEET AND THE WEST 5 FEET OF LOT 13, ALL OF LOT 14 AND THE EAST 5 FEET OF LOT 15 AND THE WEST 30 FEET OF LOT 16 AND ALL OF LOT 16, LAURELHURST, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF.

TRACT V
THE EAST 30 FEET OF LOTS 11, 12, AND 13, INCLUSIVE, LAURELHURST, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF.

NOTES CORRESPONDING TO SCHEDULE B, PART II (EXCEPTIONS)

- EASEMENTS, SETBACK REQUIREMENTS, AND RESTRICTIONS WHICH ARE SHOWN ON THE PLAT OF SAID PROPERTY FILED IN BOOK 20 AT PAGE 89, RECORDERS OFFICE, JACKSON COUNTY, MISSOURI, (AFFECTS SUBJECT TRACT, SHOWN HEREON)
- BUILDING SETBACK LINES AND EASEMENTS WHICH ARE DEPICTED ON THE PLAT OF SAID PROPERTY FILED IN BOOK 20 AT PAGE 89, RECORDERS OFFICE, JACKSON COUNTY, MISSOURI, (AFFECTS SUBJECT TRACT, SHOWN HEREON)



Kirk R. Baldwin, PLS 2001015227
ANDERSON ENGINEERING, INC. LC-62

TO: LEGACY BANK AND TRUST, HOUSTON ENTERPRISES OF KC, A LIMITED LIABILITY CORPORATION (TRACT I), HOUSTON ENTERPRISES OF KC, LLC (TRACT II AND IV), HOUSTON ENTERPRISES OF KC, LLC (TRACT III AND V), LAND TRUST OF JACKSON COUNTY, MISSOURI (OWNING PART OF TRACT IV), AND COMMONWEALTH LAND TITLE INSURANCE COMPANY, LLC - THE VECINO GROUP

THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE "2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS" JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6, 7, 8, 9, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100. THE SURVEYOR'S PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE STATE OF MISSOURI, THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN, AND THAT SAID SURVEY MEETS OR EXCEEDS THE REQUIREMENTS FOR AN ALTA/NSPS LAND TITLE SURVEY AS SET FORTH IN SAID STANDARD DETAIL REQUIREMENTS. THE SURVEYOR HAS CONDUCTED A VISUAL INSPECTION OF THE SUBJECT PROPERTY AND HAS OBSERVED THE UTILITY MARKINGS AND THE FIELD WORK WAS COMPLETED ON: MARCH 11, 2021.

THE VECINO GROUP
305 W. COMMERCIAL ST.
SPRINGFIELD, MO 65803

ALTA/NSPS LAND TITLE SURVEY

PART OF LAURELHURST SUBDIVISION, JAMES DAVENPORT'S ESTATE
& PART OF NE 1/4 SEC. 22, TWN 49, RNG 33
KANSAS CITY, JACKSON COUNTY, MISSOURI

SHEET NUMBER
1
OF 1

NO.	REVISIONS DESCRIPTION	BY	DATE
1			
2			
3			
4			
5			

DRAWING INFO.

DRAWN BY:	MJE
CHECK BY:	###
LICENSE NO.	
DATE:	2021-03-11
FIELD BOOK:	
JOB NUMBER:	

© COPYRIGHT ANDERSON ENGINEERING, INC. 2021

ANDERSON ENGINEERING

EMPLOYEE OWNED

ENGINEERS • SURVEYORS • LABORATORIES • DRILLING
941 W 141ST TERRACE, STE A • KANSAS CITY, MO 64145 • PHONE (816) 772-0400
A LICENSED MISSOURI ENGINEERING & SURVEYING CORPORATION - 02



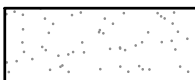
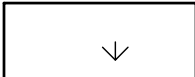


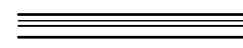
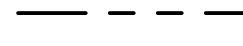



AE ANDERSON ENGINEERING
 EMPLOYEE OWNED
 ENGINEERS • SURVEYORS • LABORATORIES • DRILLING
 941 W 141ST TERR. STE A • KANSAS CITY, MO 64145 • PHONE (816) 777-0400
 A LICENSED MISSOURI ENGINEERING & SURVEYING CORPORATION • LC 62

REVISIONS		DRAWING INFO.			
NO.	DESCRIPTION	BY	DATE	DRAWN BY:	JOB
				CHECK BY:	TAF
				LICENSE NO.:	
				DATE:	9/30/2021
				ISSUED FOR:	
				JOB NUMBER:	21KC10015

BODHI - KCMO
EXISTING SITE CONDITIONS
 3840 JACKSON AVE. KANSAS CITY, MO 64117

SHEET NUMBER
C1.0
 3 OF 7

LEGEND

-  ASPHALT PAVEMENT
-  AREA TO RECEIVE SEED OR SOD
-  CONCRETE SIDEWALK
-  PROPOSED UNDERGROUND DETENTION
-  2' CURB AND GUTTER
-  100 YR FLOODPLAIN
-  75' STREAM BUFFER OUTER ZONE
-  25' STREAM SIDE ZONE
-  REGULATED STREAM

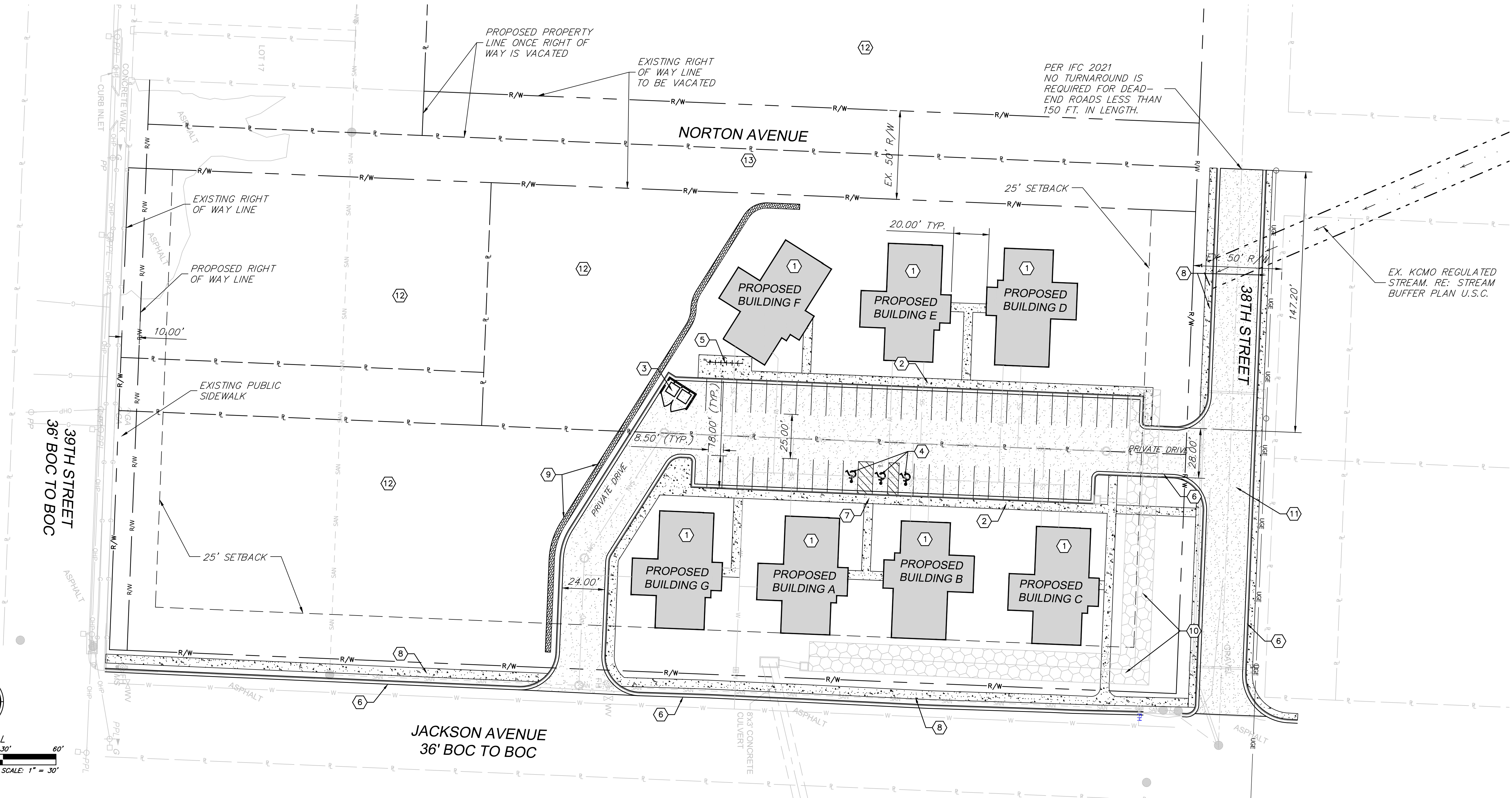
CONSTRUCTION NOTES

1. PROPOSED BUILDING. RE: ARCHITECTURAL PLANS.
2. PROPOSED SIDEWALK.
3. DUMPSTER ENCLOSURE.
4. ADA PARKING.
5. BICYCLE PARKING AREA. RE: ARCHITECTURAL PLANS
6. 2' CURB AND GUTTER (TYPE CG-1).
7. ADA RAMP.
8. 6' PUBLIC SIDEWALK. RE: KCMO PUBLIC WORKS DETAIL SW-1
9. PROPOSED RETAINING WALL. MAX ELEVATION 12'
10. PROPOSED UNDERGROUND DETENTION
11. PROPOSED PUBLIC IMPROVEMENTS TO 38TH STREET.
12. AREA TO BE LEFT UNDEVELOPED.
13. PROPOSED RIGHT OF WAY TO BE VACATED (NORTON AVE.)

GENERAL NOTES

1. REFER TO ANDERSON ENGINEERING, INC. GEOTECHNICAL REPORT WO #21JO30009, DATED MARCH 1ST, 2021 FOR SUBGRADE PREPARATION.
2. ALL BUILDINGS ARE SHOWN AS A REFERENCE ONLY. ALL BUILDINGS SHALL BE LOCATED AND CONSTRUCTED PER THE ARCHITECTURAL DRAWINGS PREPARED BY OTHERS.
3. ALL SIGNAGE SHALL COMPLY WITH SECTION 88-445 OF THE KANSAS CITY, MISSOURI ZONING AND DEVELOPMENT CODE. THE OWNER SHALL RECEIVE APPROVAL OF A SIGN PERMIT PRIOR TO INSTALLATION.
4. ALL STRIPING SHALL BE PAINTED LINES OR SYMBOLS.

SITE DATA TABLE	
ITEM	QUANTITY
EXISTING ZONING	R 2-5 & B 1-1
TOTAL SITE AREA	164075 SF (3.77 AC.)
LAND FOR ROW DEDICATION	2721 SF (0.06 AC.)
LAND FOR ROW VACATION	29655 SF (0.68 AC.)
NET LAND AREA	161354 SF (3.71 AC.)
PROPOSED USE	MULTI-UNIT HOUSING
HEIGHT ABOVE GRADE	35 FT (3 STORIES)
TOTAL DWELLING UNITS	53
GROSS FLOOR AREA	44261 SF
BUILDING FOOTPRINT AREA	2272 SF
LOT AREA PER DWELLING UNIT	3044 SF
REQUIRED PARKING RATIO (1 PER UNIT)	53 STALLS
PROPOSED PARKING	54 STALLS
REQUIRED ADA PARKING	3 STALLS (1 VAN)
PROPOSED ADA PARKING	3 STALLS (1 VAN)
REQUIRED SHORT-TERM BICYCLE PARKING	5
REQUIRED LONG-TERM BICYCLE PARKING	18



ANDERSON ENGINEERING
EMPLOYEE OWNED

ENGINEERS • SURVEYORS • LABORATORIES • DRILLING
941 W 141ST TERR, STE A • KANSAS CITY, MO 64145 • PHONE (816) 777-0400
A LICENSED MISSOURI ENGINEERING & SURVEYING CORPORATION • LC 62

REVISIONS	
NO.	DESCRIPTION

DRAWING INFO.	
BY	DATE
DRAWN BY: JDB	TAF
CHECK BY:	
LICENSE NO.:	9/30/2021
DATE:	
ISSUED FOR:	21HC10015
JOB NUMBER:	

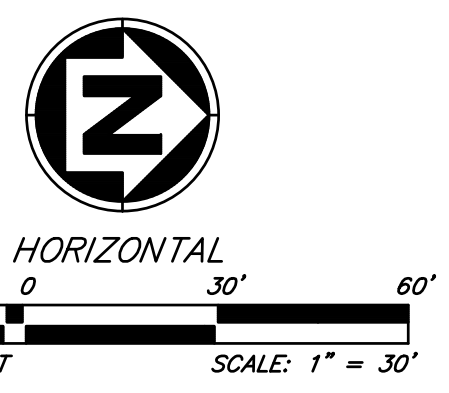
BODHI - KCMO

SITE PLAN

3840 JACKSON AVE. KANSAS CITY, MO 64117

SHEET NUMBER
C2.0
4 OF 7

Sep 30, 2021 11:53pm Plotted By: jbuch G:\Shared drives\VC10 - Land Development\Projects\2021\21HC10015-Bodhi KCMO\01 CIVIL\03-DWG\Sheet\DEVELOPMENT PLAN\21HC10015-SITE-SITE.dwg Layout: SITE PLAN



Sep 30, 2021 1:53pm Plotted By: jbuch G:\Shared drives\VC10 - Land Development\Projects\2021\21KC10015-Bodhi KCMO\01 CIVIL\03-DWG\Sheet\DEVELOPMENT PLAN\21KC10015-SPTS-GRAD.dwg Layout: GRADING PLAN

LEGEND

- 850 — FINISH GRADE 10' CONTOUR
- 848 — FINISH GRADE 2' CONTOUR
- - - 850 - - - EXISTING GRADE 10' CONTOUR
- - - 848 - - - EXISTING GRADE 2' CONTOUR
- - - 100 YR FLOODPLAIN
- - - 75' STREAM BUFFER OUTER ZONE
- - - 50' STREAM SIDE ZONE
- ← ← ← REGULATED STREAM

GENERAL NOTES

REFERENCED STANDARDS:

THE FOLLOWING STANDARDS ARE REFERENCED DIRECTLY IN THIS SECTION. THE LATEST VERSION OF THESE STANDARDS SHALL BE USED.

ASTM D698 - TEST METHOD FOR LABORATORY COMPACTION CHARACTERISTICS OF SOIL USING STANDARD EFFORT (12,400 FT-LBF/FT³)

2201.1 SUMMARY:

THIS SECTION INCLUDES SUBGRADE PREPARATION AT LOCATIONS WHICH HAVE BEEN PREVIOUSLY GRADED IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 2100 "GRADING AND SITE PREPARATION"

2201.2 DEFINITIONS:

- A. **SUBGRADE:** SUBGRADE IS DEFINED AS A WELL GRADED AND COMPACTED LAYER ON WHICH BASE AND SUBSEQUENT COURSES ARE PLACED.
- B. **SUBGRADE PREPARATION:** SUBGRADE PREPARATION IS THE REPEATED OPERATION OF FINE-GRADEING AND COMPACTING THE SUBGRADE UNTIL THE SPECIFIED LINES, GRADES, AND CROSS-SECTION, AS INDICATED ON THE PLANS ARE OBTAINED AND THE MATERIALS ARE COMPACTED TO THE SPECIFIED DEPTH AND DENSITY.

CONSTRUCTION:

- A. **GENERAL:** THE SUBGRADE SURFACE SHALL BE BROUGHT TO THE SPECIFIED LINES, GRADES AND CROSS-SECTION BY ADDING OR REMOVING MATERIAL AND COMPACTING TO THE SPECIFIED DENSITY. TOLERANCE ALLOWED ON ALL LINES, GRADES AND CROSS-SECTIONS SHALL BE NO MORE THAN 1/4 INCH.
- B. **COMPACTING THE SUBGRADE:** UNLESS OTHERWISE SPECIFIED, THE TOP 6 INCHES OF SUBGRADE FOR PAVEMENTS SHALL BE COMPACTED TO 95% OF THE STANDARD PROCTOR

MAXIMUM DENSITY FOR THE MATERIAL USED AS DETERMINED BY ASTM D 698 AND WITHIN A TOLERANCE OF PLUS 3% AND MINUS 3% OF THE OPTIMUM MOISTURE CONTENT. THE TOLERANCE APPLIES ONLY TO THE TOP 6 INCHES.

C. **PROTECTION AND MAINTENANCE OF SUBGRADE:** THE SUBGRADE SHALL BE PROTECTED FROM ACTION OF THE ELEMENTS OR OTHERS. ANY ACTION (E.G. SETTLEMENT OR EROSION) THAT DAMAGES THE SUBGRADE OR ANY SUBGRADE THAT HAS BECOME UNACCEPTABLE PRIOR TO PLACING THE PAVEMENT THEREON, SHALL BE REPAIRED AND THE SPECIFIC LINES, GRADES, CROSSSECTION, TOLERANCE, DENSITY, AND MOISTURE CONTENT RANGE REESTABLISHED.

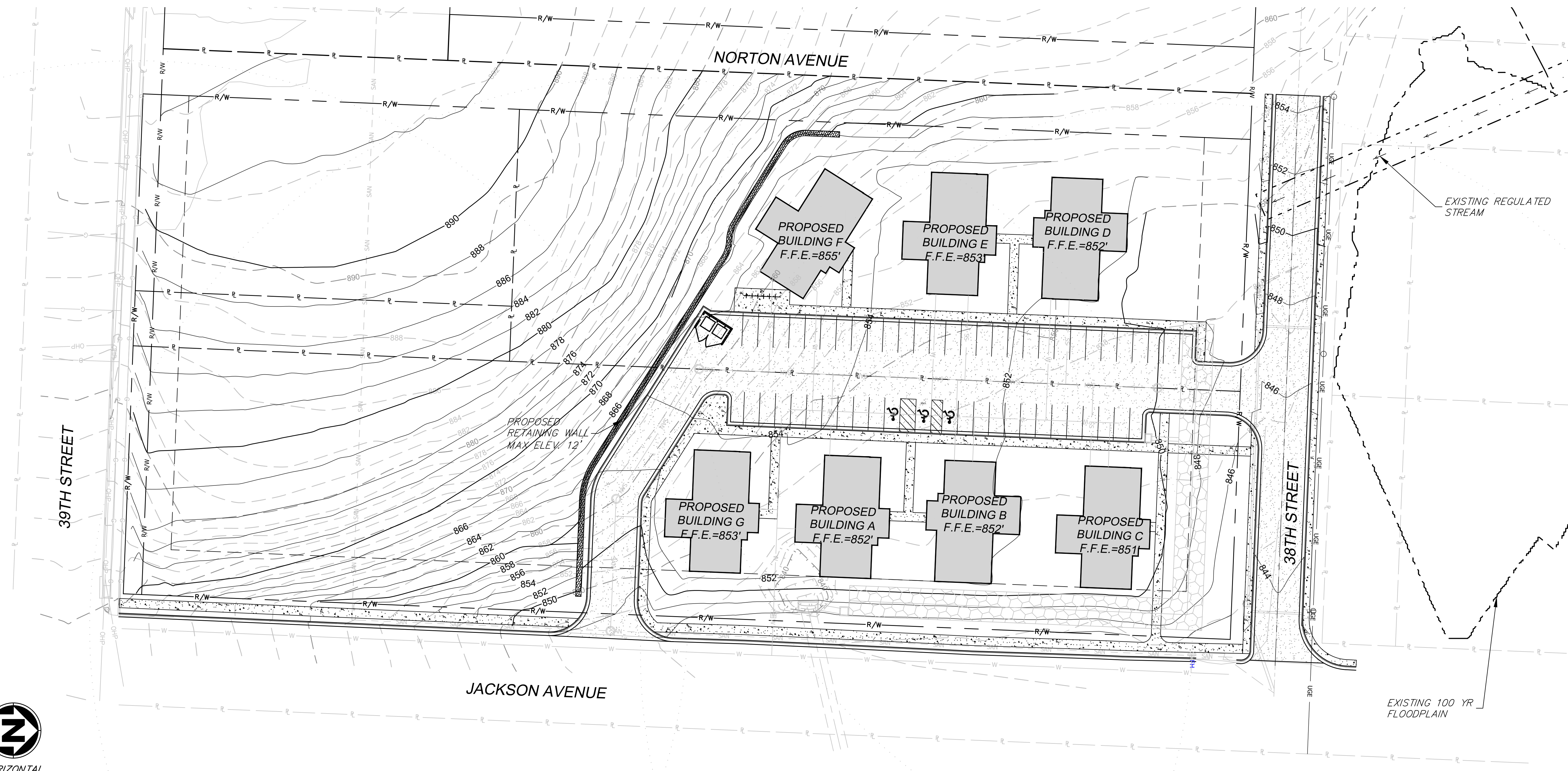
THE CONTRACTOR SHALL PROTECT ALL EXISTING IMPROVEMENTS FROM DAMAGE RESULTING FROM HIS SUBGRADE OPERATION. ANY IMPROVEMENT DAMAGED SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT HIS OWN EXPENSE.

D. **CLEANUP:** SUBGRADE CLEANUP SHALL FOLLOW THE WORK PROGRESSIVELY. THE CONTRACTOR SHALL REMOVE FROM THE PROJECT SITE ALL RUBBISH, SURPLUS OR DISCARDED MATERIAL, UNSUITABLE MATERIAL, AND ANY EQUIPMENT, TOOLS AND TEMPORARY CONSTRUCTION ITEMS USED FOR THE PREPARATION OF THE SUBGRADE.

E. **ROLL TESTING:** ONCE THE SUBGRADE HAS BEEN BROUGHT TO THE FINAL PLAN ELEVATION, BUT PRIOR TO APPROVAL OF THE SUBGRADE FOR PAVING, ALL LANES SHALL BE ROLL TESTED IN THEIR ENTIRE LENGTH. THE SUBGRADE WILL NOT BE ACCEPTABLE IF RUTTING, PUMPING, OR DEFORMATION OF THE SUBGRADE RESULTS FROM THE ROLL TEST. THIS TESTING WILL BE DONE BY THE CONTRACTOR, AND WILL BE IN ADDITION TO THE APPLICABLE MOISTURE AND DENSITY TESTING.

EQUIPMENT FOR ROLL TESTING SHALL BE A TANDEM DUMP TRUCK (ONE FRONT AND TWO REAR AXLES) CARRYING A MINIMUM LOAD OF TWENTY (20) TONS.

THE TRUCK SHALL PROCEED SLOWLY ALONG EACH TRAFFIC LANE, ALLOWING THE ENGINEER TO WALK ALONGSIDE AND OBSERVE THE RESULTS. AREAS FAILING THE ROLL TEST WILL BE REWORKED AND RETESTED PRIOR TO APPROVAL OF THE SUBGRADE FOR PAVING.



ANDERSON
ENGINEERING
EMPLOYEE OWNED

ENGINEERS • SURVEYORS • LABORATORIES • DRILLING
941 W 141ST TERR. STE. A • KANSAS CITY, MO 64145 • PHONE (816) 777-0400
A LICENSED MISSOURI ENGINEERING & SURVEYING CORPORATION - LC 62

REVISIONS		DRAWING INFO.			
NO.	DESCRIPTION	BY	DATE	DRAWN BY:	JOB
				TAF	
				CHECK BY:	TAF
				LICENSE NO.	
				DATE:	9/30/2021
				ISSUED FOR:	
				JOB NUMBER:	21KC10015

BODHI - KCMO

GRADING PLAN

3840 JACKSON AVE. KANSAS CITY, MO 64117

SHEET NUMBER

C3.0

5 OF 7

DRAWING INFO.	
NO.	DESCRIPTION
BY	DATE
DRAWN BY	JDB
CHECKED BY	TAF
LICENSE NO.	9/30/2021
DATE	ISSUED FOR:
JOB NUMBER	21HC10015

BODHI - KCMO
 UTILITY PLAN
 3840 JACKSON AVE. KANSAS CITY, MO 64117

SHEET NUMBER
C4.0
 6 OF 7

LEGEND

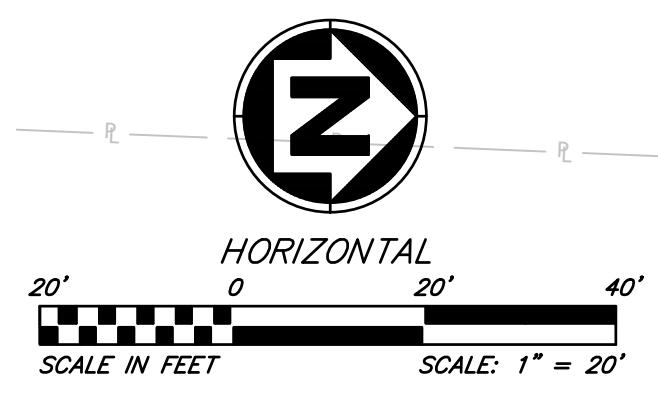
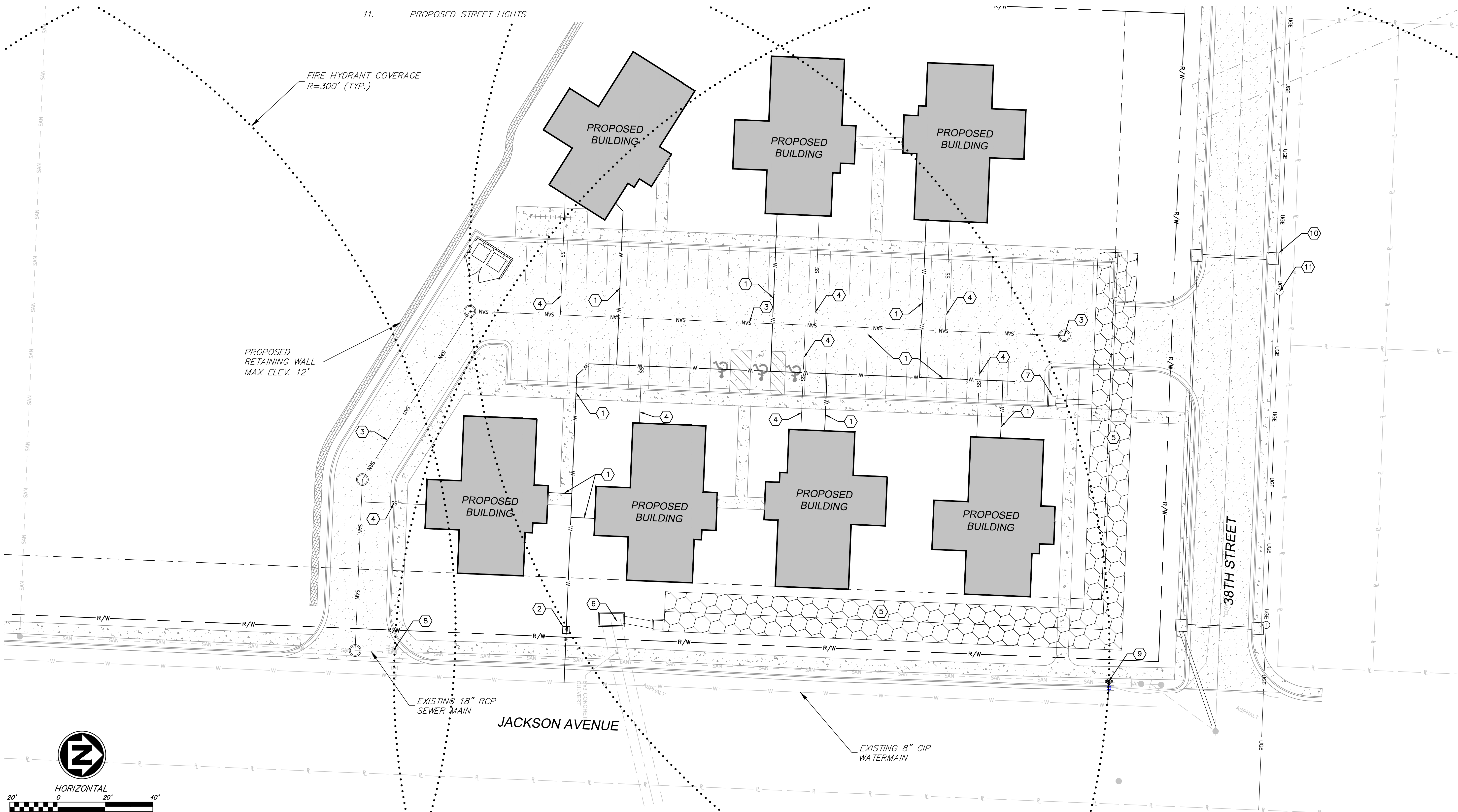
- PROPERTY LINE
- RIGHT OF WAY LINE
- SETBACK LINE
- SANITARY SEWER MAIN
- SANITARY SERVICE LINE
- DOMESTIC WATER SERVICE LINE

UTILITY PLAN KEY NOTES

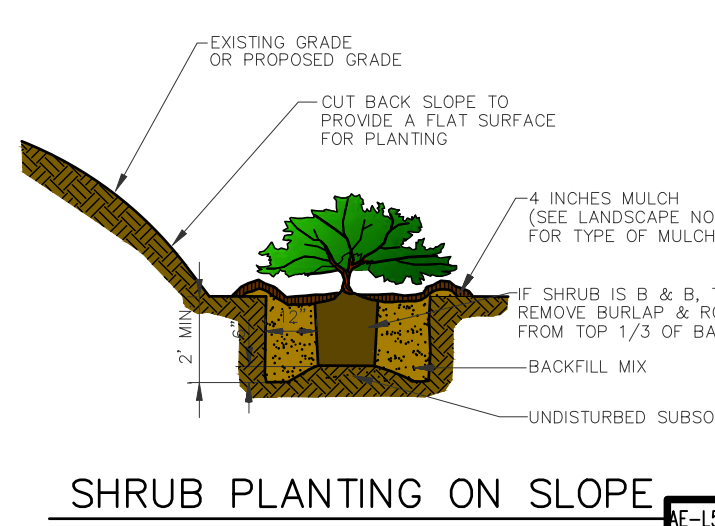
1. DOMESTIC WATER SERVICE LINE
2. MASTER WATER METER PIT
3. PRIVATE SANITARY SEWER MAIN EXTENSION
4. SANITARY SEWER SERVICE LINE
5. UNDERGROUND DETENTION
6. PROPOSED STORMWATER OUTLET CONTROL STRUCTURE
7. PROPOSED STORM INLET
8. EXISTING FIRE HYDRANT TO BE RELOCATED.
9. PROPOSED FIRE HYDRANT.
10. PROPOSED PUBLIC STORM SEWER
11. PROPOSED STREET LIGHTS

GENERAL NOTES

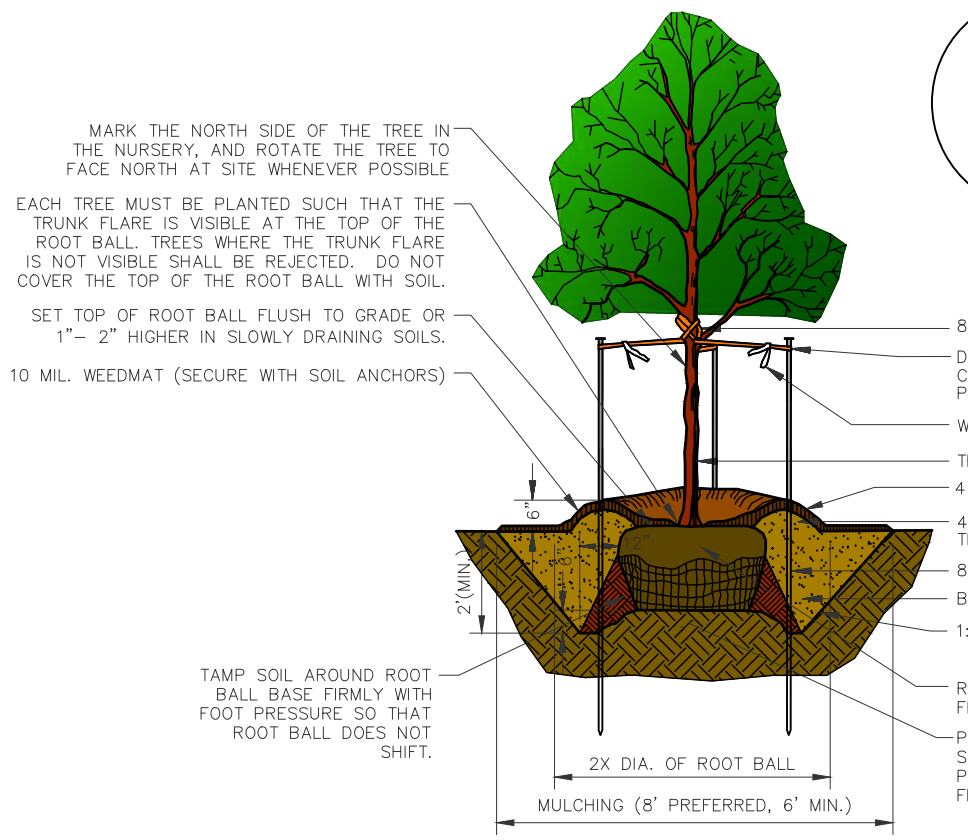
1. ALL FILL MATERIAL IS TO BE IN PLACE, COMPACTED, AND CONSOLIDATED BEFORE INSTALLATION OF PROPOSED UTILITIES. ALL UTILITIES ARE TO BE PLACED IN TRENCH CONDITIONS.
2. CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
3. ALL UNDERGROUND STORM AND OTHER UTILITY LINES SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING. FAILURE TO HAVE INSPECTION APPROVAL PRIOR TO BACKFILL WILL CONSTITUTE REJECTION OF WORK.
4. TOPS OF EXISTING MANHOLES SHALL BE RAISED AS NECESSARY TO BE FLUSH WITH PROPOSED PAVEMENT ELEVATIONS OR FINISH GRADE ELEVATIONS IN NON-PAVED AREAS.
5. DRAWINGS DO NOT PURPORT TO SHOW ALL EXISTING UTILITIES. EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
6. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH AND RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
7. CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES.
8. CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE RELOCATION OR REMOVAL OF EXISTING POWER POLES, TELEPHONE POLES, AND CUES WITH RESPECTIVE UTILITY COMPANIES. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS REGARDING UTILITY SERVICES.
9. THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITION OF ALL STORM SEWERS ADJACENT TO THE PROJECT LIMITS TO DETERMINE IF ANY EXISTING STORM SEWERS ARE PLUGGED. NOTIFY THE ENGINEER OF ANY PRE-EXISTING CONDITIONS WHICH NEED ATTENTION. ONCE CONSTRUCTION BEGINS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL EXISTING AND ADJACENT STORM SEWERS IN GOOD WORKING ORDER UNTIL SUBSTANTIAL COMPLETION.



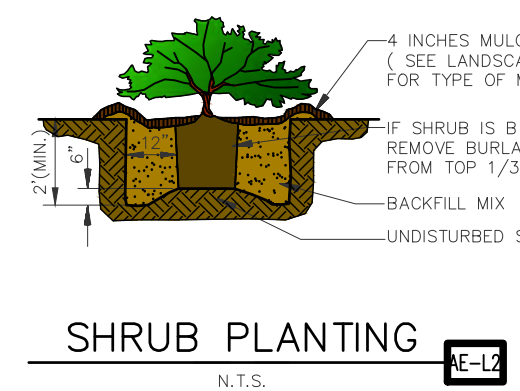
Sep 30, 2021 1:53pm Plotted By: jbuch G:\Shared drives\VC10 - Land Development\Projects\2021\21HC10015-Bodhi KCMO\01_Civil\03-DWG\Sheet\Development_Plan\21HC10015-SRFS-UTIL.dwg Layout: UTILITY PLAN



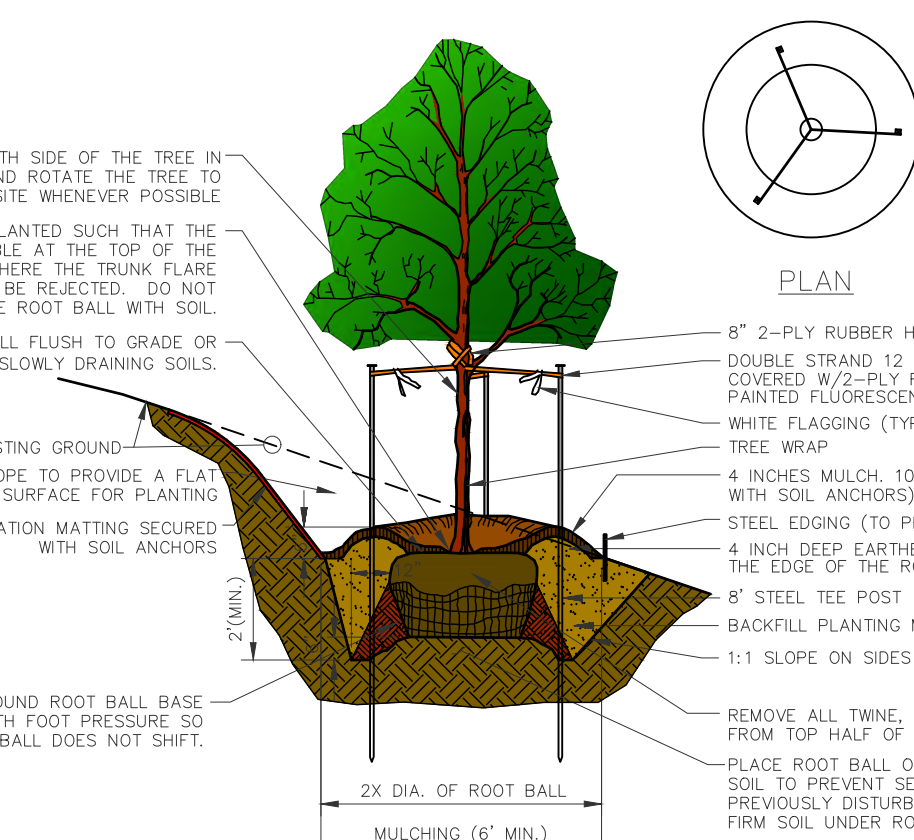
SHRUB PLANTING ON SLOPE



TREE PLANTING DETAIL



SHRUB PLANTING



TREE PLANTING ON SLOPE

CITY OF KANSAS CITY LANDSCAPE REQUIREMENTS

LANDSCAPE AREA	REQUIREMENT	REQUIRED	PROVIDED
STREET TREE PLANTING REQUIREMENTS	1 TREE FOR EVERY 30 L.F. OF STREET FRONTAGE, WITHIN STREET ROW OR WITHIN 10' OF ROW, IRREGULARLY SPACED AND MUST BE EITHER BROADLEAF WITH MIN. 2" CAL. OR EVERGREEN WITH MIN. 5' PLANTED HEIGHT	20 TREES FOR 602 L.F. OF STREET FRONTAGE ON JACKSON AVE	20 TREES FOR 602 L.F. OF STREET FRONTAGE ON JACKSON AVE
GENERAL LANDSCAPE REQUIREMENTS	AT LEAST ONE TREE MUST BE PROVIDED PER 5,000 SQUARE FEET OF PRINCIPAL BUILDING COVERAGE	3 TREES FOR 16,534 S.F. OF PROPOSED BUILDING	3 TREES FOR 16,534 S.F. OF PROPOSED BUILDING
PERIMETER LANDSCAPING OF VEHICULAR USE AREAS	BETWEEN PARKING LOT & STREET, A LANDSCAPE BUFFER STRIP MUST BE AT LEAST 10' IN WIDTH & BE PLANTED WITH AT LEAST ONE TREE PER 30 L.F. OF LANDSCAPE STRIP & ENOUGH EVERGREEN SHRUBS TO FORM A CONTINUOUS VISUAL SCREEN AT LEAST 3 FEET IN HEIGHT AFTER THE FIRST GROWING SEASON	9 TREES AND A 150' L.F. 3' TALL SHRUB SCREEN	9 TREES AND A 150' L.F. 3' TALL SHRUB SCREEN
INTERIOR LANDSCAPING OF PARKING LOTS	AT LEAST 35 S.F. OF INTERIOR LANDSCAPE AREA AND 1 SHRUB MUST BE PROVIDED FOR EACH PARKING SPACE. 1 TREE REQUIRED FOR EVERY 5 PARKING SPACES.	1,890 S.F. OF INTERIOR LANDSCAPED AREA, 5 TREES AND 54 SHRUBS FOR 54 PARKING SPACES	1,890 S.F. OF INTERIOR LANDSCAPED AREA, 5 TREES AND 54 SHRUBS FOR 54 PARKING SPACES

LEGEND

- ASPHALT PAVEMENT
- PLANTING AREA, RE: LANDSCAPE PLAN SHEET
- CONCRETE SIDEWALK
- PROPOSED UNDERGROUND DETENTION
- 2' CURB AND GUTTER

- NOTES:
- DO NOT HEAVILY PRUNE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED; HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
 - STAKE AND/OR WRAP TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.
 - BACKFILL WITH EXISTING SOIL IN SANDY LOAM SOILS. ADD 20% MAX. BY VOLUME COMPOSTED ORGANIC MATERIAL TO THE EXISTING SOIL.
 - SEE LANDSCAPE PLAN NOTES FOR TYPE OF MULCH TO BE USED.
 - REMOVE TIE POSTS, WIRE WRAPPED IN RUBBER HOSE AND FLAGGING AFTER ONE COMPLETE GROWING SEASON (MARCH-OCTOBER).

- NOTES:
- DO NOT HEAVILY PRUNE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED; HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
 - STAKE TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT. REFER TO [DPP] FOR STAKING DETAIL.
 - WRAP TREE TRUNKS ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT. SEE WRAPPING DETAIL.
 - BACKFILL WITH EXISTING SOIL IN SANDY LOAM SOILS. ADD 20% MAX. BY VOLUME COMPOSTED ORGANIC MATERIAL TO THE EXISTING SOIL.
 - SEE LANDSCAPE PLAN NOTES FOR TYPE OF MULCH TO BE USED.

PLANT SCHEDULE

SYM.	KEY	QTY	COMMON NAME	BOTANICAL NAME	SIZE SPACING COMMENTS
JL	15		JAPANESE LILAC TREE	Syringa reticulata	B&B, 2" CAL, SPACED AS SHOWN ON PLAN
ST	5		SMOKETREE	Cotinus coccinea	B&B, 2" CAL, SPACED AS SHOWN ON PLAN
RM	14		RED MAPLE	Acer rubrum	B&B, 2" CAL, SPACED AS SHOWN ON PLAN
GA	9		GLOSSY ABELIA	Abelia x grandiflora	2 GAL., MIN. 2" TALL AT PLANTING, SPACED 5' O.C.
WB	8		WARTY BARBERRY	Berberis verruculosa	2 GAL., MIN. 2" TALL AT PLANTING, SPACED AS SHOWN ON PLAN
BW	0		DWARF BOXWOOD	Buxus sempervirens 'suffruticosa'	2 GAL., MIN. 2" TALL AT PLANTING, SPACED AS SHOWN ON PLAN
DY	54		DENSIFORMIS YEW	Taxus x. media 'densiformis'	5 GAL., MIN. 2" TALL AT PLANTING, SPACED 3.5' O.C.

1. H: HEIGHT, CP: CALIPER, C: CONTAINER, MT: MULTI-TRUNK, B&B: BALLED & BURLAPPED ROOT BALL
2. O.C.: INDICATES APPROXIMATE SPACING. SHALL BE CONSIDERED GENERAL GUIDELINE ONLY AND MAY BE MODIFIED TO SUIT ON-SITE CONDITIONS.

GENERAL NOTES

- THE CONTRACTOR SHALL FOLLOW ALL LOCAL CODES THAT PERTAIN TO LANDSCAPE INSTALLATION AND SHALL NOTIFY THE LANDSCAPE ARCHITECT (LA) OR DESIGNATED REPRESENTATIVE (DR) REGARDING ANY DISCREPANCIES BETWEEN LOCAL CODES, PLANS, AND SPECIFICATIONS.
- THE CONTRACTOR SHALL NOTIFY (LA) OR (DR) OF ANY LAYOUT DISCREPANCIES PRIOR TO ANY PLANTING.
- THE CONTRACTOR SHALL VERIFY DEPTHS AND LOCATIONS OF ALL EXISTING UTILITIES, STRUCTURES, UNDERGROUND UTILITIES AND SITE LIGHTING CONDUITS WITHIN THE PROJECT SITE BEFORE LANDSCAPE CONSTRUCTION BEGINS.
- THE CONTRACTOR SHALL KEEP THE PREMISES FREE FROM RUBBISH AND ALL DEBRIS ASSOCIATED WITH THE WORK AT ALL TIMES. ALL UNUSED MATERIALS AND DEBRIS SHALL BE REMOVED FROM THE SITE.
- THE CONTRACTOR SHALL BE REQUIRED TO PERFORM A WATER PERMEABILITY TEST TO DETERMINE SOIL QUALITY. TEST IS PERFORMED BY DIGGING A SHARP SHOOTER SPADE 18" (INCHES) INTO THE GROUND. FILL THE HOLE WITH WATER. RETURN TO THE TEST SITE AFTER 16 HOURS TO VISUALLY INSPECT IF THE HOLE STILL RETAINS WATER. IF THE HOLE RETAINS WATER, THE SOIL IS DETERMINED TO BE TOO POOR FOR PLANTING CONDITIONS. TO REMEDY POOR SOIL CONDITIONS, THE CONTRACTOR SHALL BE REQUIRED TO OVER EXCAVATE THE SOIL TO THE DEPTH OF THE ROOT BALL AND REPLACE THE SOIL WITH QUALITY PLANTING SOIL AS SPECIFIED ON THE PLANS PRIOR TO PLANTING TREES OR SHRUBS.
- ALL LANDSCAPE MATERIALS TO BE WATERED BY CONTRACTOR UNTIL ESTABLISHED.
- PLANT MATERIAL

 - SHALL BE INSTALLED BY THE CONTRACTOR PER DETAILS (REFER TO DETAIL SHEETS) AND CLIENT'S SPECIFICATION OR REQUIREMENTS OF THE REGULATORY AUTHORITY HAVING JURISDICTION WHOEVER IS MORE STRINGENT.
 - THE CONTRACTOR ACCEPTS ALL LIABILITY FOR THE INSTALLATION LANDSCAPING DEPICTED ON THESE PLANS AND SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR AFTER SUBSTANTIAL COMPLETION LETTER IS ISSUED AND/OR ACCEPTANCE OF FINISHED JOB. ALL DEAD OR DAMAGED PLANT MATERIAL SHALL BE REPLACED ONE TIME WHEN DISCOVERED AT THE CONTRACTOR'S EXPENSE.
 - QUALITY SHALL COMPLY TO THE HIGHEST STANDARDS IN THE NURSERY INDUSTRY. GRASS SOO AND PLANTS SHALL BE REASONABLY CLEAN AND FREE OF WEEDS, PESTS, DISEASES.
 - SHALL NOT BE PLANTED IN FROZEN GROUND.
 - ANY EXISTING TREES DESIGNATED TO BE SAVED MUST BE PRESERVED DURING CONSTRUCTION.
 - ALL PLANTING BEDS AND TREE PLANTING PITS TO BE FILLED WITH A MIXTURE OF JOB COMPOST (COW, MUSHROOM OR COTTON BURL), ZONE PLANT MOSS AND SOIL PLANT BY VOLUME. ALSO, MIX IN 1LB 10-20-20 SLOW RELEASE PLANT FERTILIZER PER 10 SQ FT, OR AS RECOMMENDED BY THE SOIL ANALYSIS.
 - STAKES FOR TREE SUPPORT SHALL BE STEEL "T" BAR FENCE POST, 6" LONG, PAINTED DARK GREEN WITH TOP 4" PAINTED WHITE. TREE SYSTEMS SHALL BE EASILY REMOVABLE STRONG IN ALL WEATHER, AND EASILY ATTACHED AND REMOVED. HOSE AND WIRE ARE NOT ACCEPTABLE FOR STAKED TREES. TREE SYSTEMS SHALL BE 20" DENSITY (BLACK) TREE STRAP/SLING TSL-BX (60 PER CASE) OR APPROVED EQUAL-NO PLASTIC TIES ALLOWED. WIRE: 14 GAUGE ELECT. FENCE WIRE.
 - ALL PLANTING BEDS AS DESIGNATED ON THESE PLANS SHALL BE BORDERED BY 4" x 4" PAINTED BROWN STEEL EDGING AND RIVETON OR APPROVED EQUAL WITH INTEGRATED STAKES THROUGH SLOTS IN THE EDGING. (REFER TO DETAIL SHEETS FOR ACCEPTED EDGING MATERIAL)
 - MULCH ALL TREE PLANTINGS AND PLANTING BEDS WITH 4" OF EITHER SHREDDED HARDWOOD BARK MULCH OR CYPRESS MULCH. IN THE SEASONAL FLOWER BEDS USE EITHER CYPRESS OR PINE BARK MULCH; DO NOT USE HARDWOOD MULCH IN SEASONAL FLOWER BEDS.
 - ALL PLANTING AREAS SHALL RECEIVE A THREE INCH (3") TOP DRESSING OF MULCH OVER A 10 MIL WEED MAT EQUAL TO "WEEDBLOCK" FABRIC BY T&E GARDENERS' OR SEWIT WEED BARRIER. SINGLE TREES OR SHRUBS SHALL BE MULCHED TO THE OUTSIDE EDGE OF THE SAUCER OR LANDSCAPE ISLAND (REFER TO PLANTING DETAILS).
 - ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION, EXCEPT THOSE OCCUPIED BY BUILDINGS, STRUCTURES OR PAVING SHALL BE GRADED SMOOTH AND 4" (INCHES) OF TOPSOIL APPLIED. (REFER TO THE EROSION CONTROL DETAIL SHEETS(S) FOR TOPSOIL AND SEEDING SPECIFICATIONS).
 - CONTRACTOR SHALL FERTILIZE ALL PLANTS AT THE TIME OF PLANTING WITH 10-10-10 TIME RELEASE FERTILIZER.
 - IF REQUIRED BY THE CLIENT'S SPECIFICATIONS OR REQUIREMENTS OF THE REGULATORY AUTHORITY HAVING JURISDICTION WHOEVER IS MORE STRINGENT THE CONTRACTOR SHALL REPAIR, REPLACE AND/OR ADJUST EXISTING IRRIGATION SYSTEM AS NECESSARY THAT PROVIDES SEPARATE ZONES AND HEAD PLACEMENT FOR EACH PLANTING AND TURF AREA. 100% HEAD TO HEAD COVERAGE WILL BE REQUIRED. THE CONTRACTOR WILL SUBMIT AS-BUILT DRAWINGS FOR THE LANDSCAPE IRRIGATION SYSTEM AND WILL ACCEPT RESPONSIBILITY FOR THE IRRIGATION SYSTEM. PROVIDE SUBMITTALS AS REQUIRED.
 - PLANTING THIS SHEET SHALL COMPLY WITH LOCAL GOVERNING CODES AND REGULATIONS. CONFORM TO REQUIREMENTS OF PLANT LIST AND TO THE AMERICAN ASSOCIATION OF NURSERMEN 'AMERICAN STANDARD OF NURSERY STOCK' AND 'HORTICULTURAL STANDARDS' AS TO SPECIES, AGE, SIZE, AND PLANTING RECOMMENDATION.
 - LANDSCAPE CONTRACTOR SHALL OBTAIN AN ORIGINAL PRINT OF THIS PLAN TO INSURE THAT ALL LINE WEIGHTS, LINE TYPES AND SHADED COLORS ARE COMPLETELY LEGIBLE AS ORIGINALLY PRINTED.
 - NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT THE ARCHITECT'S PRIOR WRITTEN APPROVAL. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CANNOT BE OBTAINED.
 - PLANT LOCATIONS ARE APPROXIMATE. ADJUST AS NECESSARY TO AVOID CONFLICTS.
 - QUANTITIES OF MATERIALS SHOWN ON LANDSCAPING PLAN TAKE PRECEDENCE OVER QUANTITIES SHOWN ON PLANTING SCHEDULE. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES ON LANDSCAPING PLAN.

NOTE TO CONTRACTOR

CONTRACTOR SHALL INSTALL AN AUTOMATIC POP-UP AND/OR DRIP IRRIGATION SYSTEM THAT PROVIDES SUFFICIENT WATERING FOR ALL PLANTS AND TURF TO SUSTAIN HEALTHY GROWTH. THE IRRIGATION SYSTEM SHALL BE IN COMPLIANCE WITH ALL CITY, COUNTY AND/OR STATE REQUIREMENTS. CONTRACTOR SHALL ENSURE ALL PLANTS AND TURF ARE MAINTAINED IN HEALTHY GROWING CONDITION FOR ONE FULL GROWING SEASON.

NOTE TO CONTRACTOR

INFORMATION ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.

ANDERSON ENGINEERING
EMPLOYEE OWNED

ENGINEERS • SURVEYORS • LABORATORIES • DRILLING
941 W 141ST TERR. STE. A • KANSAS CITY, MO 64145 • PHONE (816) 777-0400
A LICENSED MISSOURI ENGINEERING & SURVEYING CORPORATION - LC 62

DRAWING INFO.

NO.	DESCRIPTION	BY	DATE	DRAWN BY:	CHECK BY:	LICENSE NO.	DATE:	ISSUED FOR:	JOB NUMBER:
							30/09/2021		21KC10015

REVISONS

BODHI - KCMO

LANDSCAPE PLAN

3840 JACKSON AVE. KANSAS CITY, MO 64117

SHEET NUMBER
L1.0
7 OF 7

Sep. 30, 2021 11:54am Plotted By: jbuch G:\Shared drives\VC10 - Land Development\Projects\2021\21KC10015-Bodhi_KCMO\01_Civil\03-DWG\Sheet\DEVELOPMENT PLAN\21KC10015-BPIS-LNSG.dwg Layout: LANDSCAPE PLAN

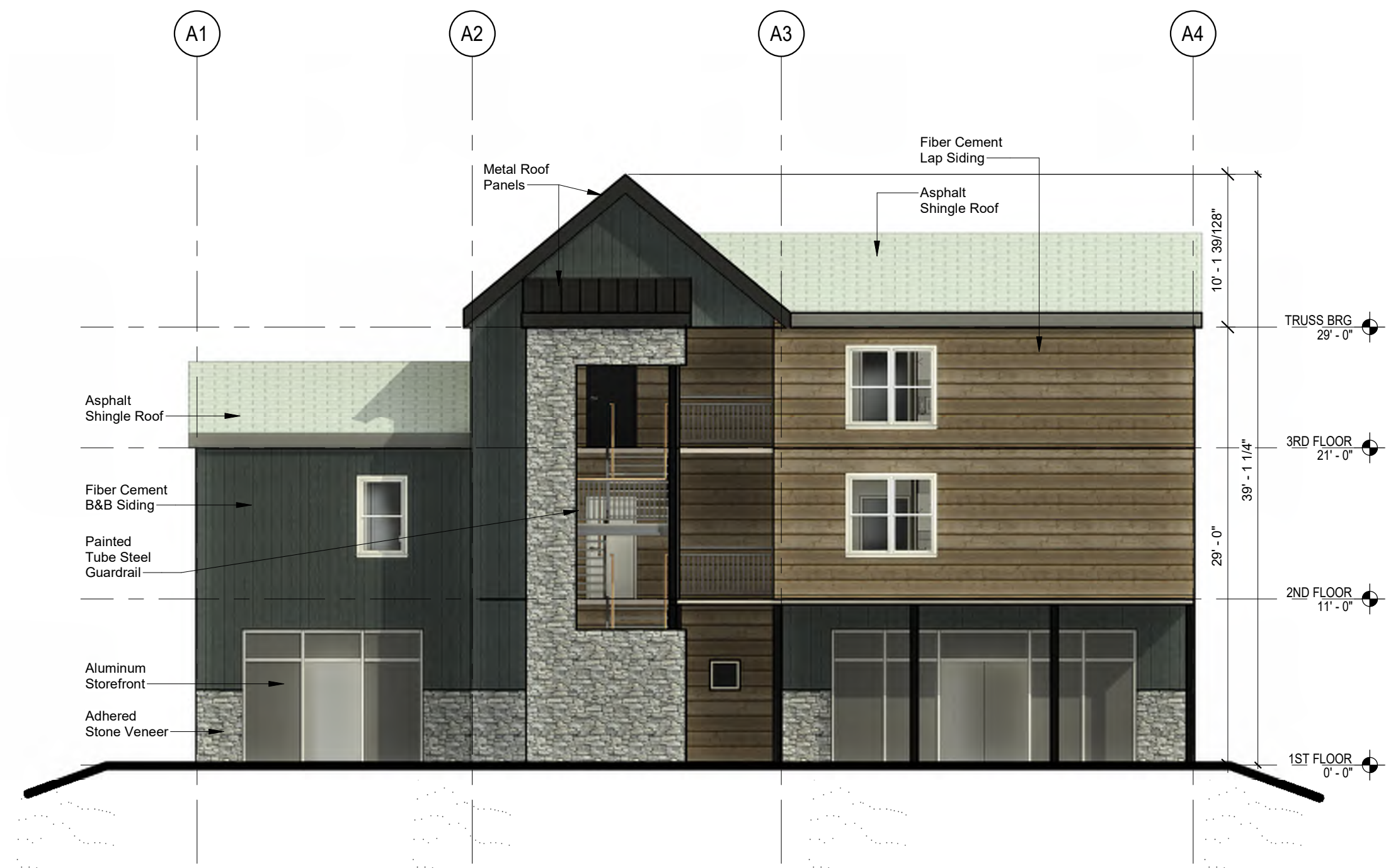
CONSULTANTS

CONSULTANT NAME
ADDRESS
LOCATION
CONTACT

CONSULTANT NAME
ADDRESS
LOCATION
CONTACT

CONSULTANT NAME
ADDRESS
LOCATION
CONTACT

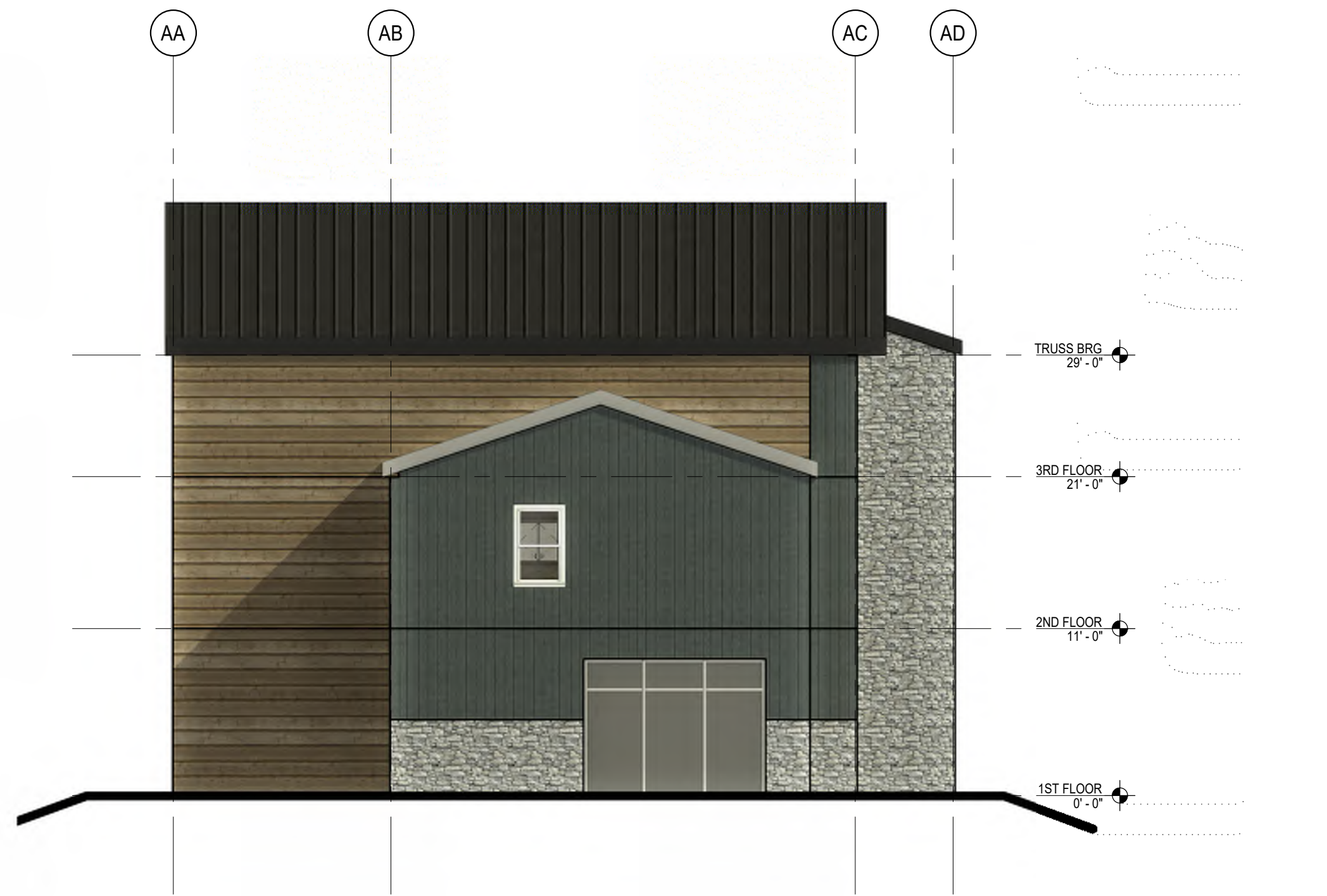
CONSULTANT NAME
ADDRESS
LOCATION
CONTACT



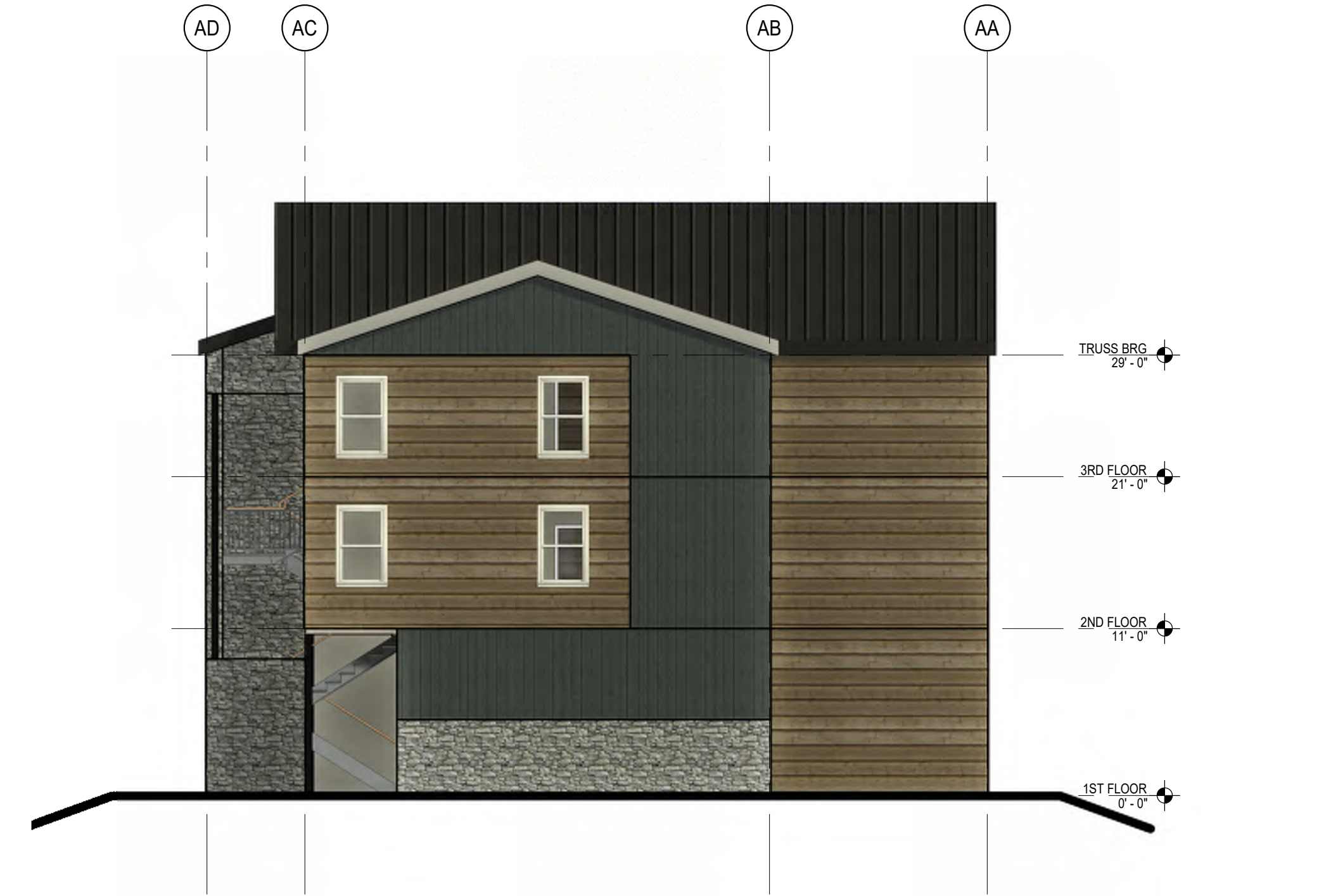
1 SOUTH ELEVATION - COMMUNITY BUILDING
1/8" = 1'-0"



2 NORTH ELEVATION - COMMUNITY BUILDING
1/8" = 1'-0"



4 WEST ELEVATION - COMMUNITY BUILDING
1/8" = 1'-0"



3 EAST ELEVATION - COMMUNITY BUILDING
1/8" = 1'-0"

BODHI - KC

REV	DESCRIPTION	DATE

This drawing and the details on it are the sole property of the Design Professional of Record and may be used for this specific project only. It shall not be loaned, copied, or reproduced in whole or in part, or for any other purpose or project without the written consent of the Architect.

The Professional's seal affixed to this sheet applies only to the material and items shown on this sheet. All drawings, instruments, or other documents not exhibiting this seal shall not be considered prepared by this Professional, and any and all responsibility for such plans, drawings, or documents not exhibiting this seal is disclaimed.

DATE: Project Issue Date
PROJECT NUMBER: Project Number
DRAWN BY: Author
COPYRIGHT: © 2020 VECNO DESIGN

BUILDING ELEVATIONS

A201

CONSULTANTS

CONSULTANT NAME
ADDRESS
LOCATION
CONTACT

CONSULTANT NAME
ADDRESS
LOCATION
CONTACT

CONSULTANT NAME
ADDRESS
LOCATION
CONTACT

CONSULTANT NAME
ADDRESS
LOCATION
CONTACT

BODHI - KC

REV	DESCRIPTION	DATE

This drawing and the details on it are the sole property of the Design Professional of Record and may be used for this specific project only. It shall not be loaned, copied, or reproduced in whole or in part, or for any other purpose or project without the written consent of the Architect.

The Professional's seal affixed to this sheet applies only to the material and items shown on this sheet. All drawings, instruments, or other documents not exhibiting this seal shall not be considered prepared by this Professional, and any and all responsibility for such plans, drawings, or documents not exhibiting this seal is disclaimed.

DATE: Project Issue Date
PROJECT NUMBER: Project Number
DRAWN BY: Author
COPYRIGHT: © 2020 VECINO DESIGN

BUILDING ELEVATIONS

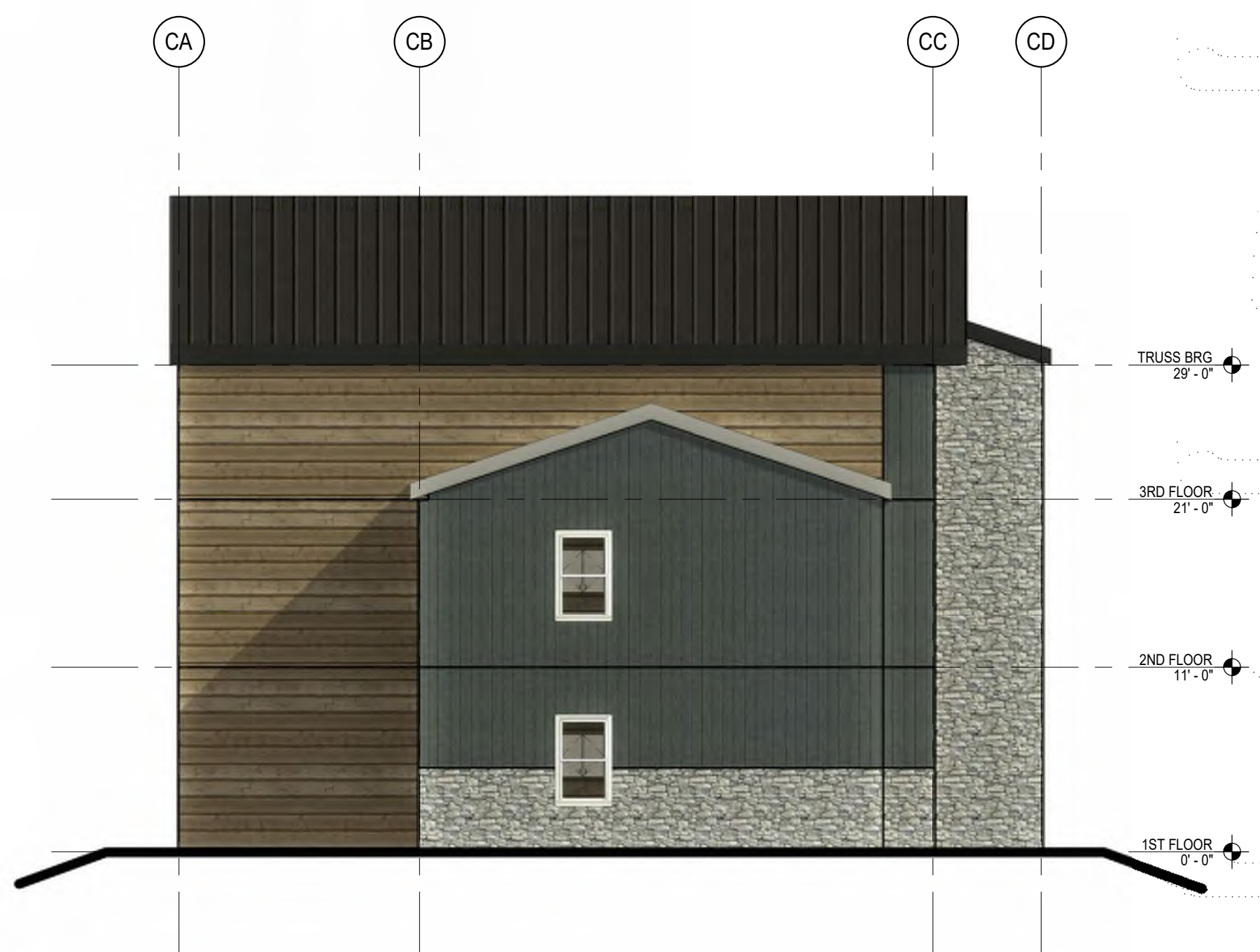
A202



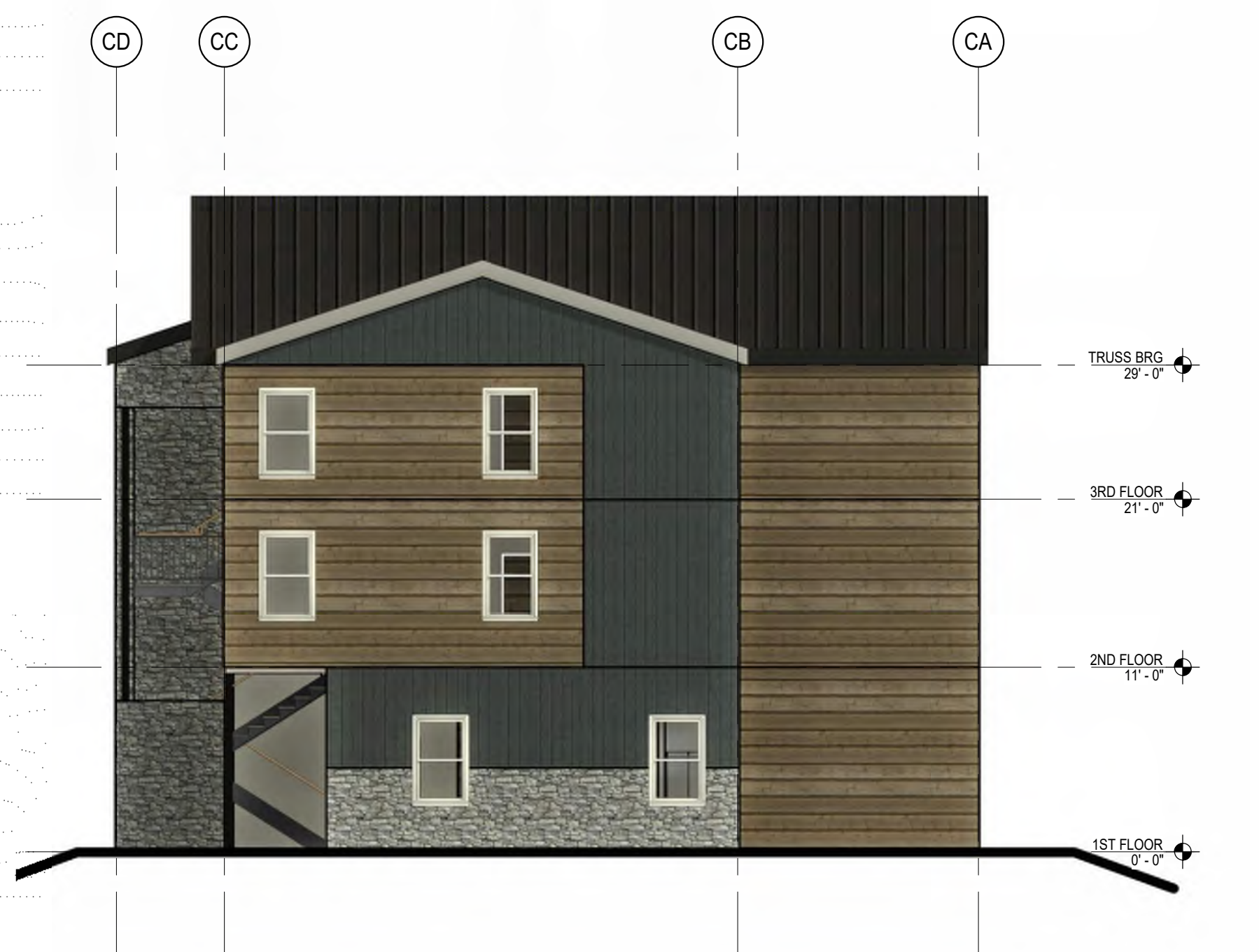
1 SOUTH ELEVATION - BLDG C
1/8" = 1'-0"



2 NORTH ELEVATION - BLDG C
1/8" = 1'-0"



3 WEST ELEVATION - BLDG C
1/8" = 1'-0"



4 EAST ELEVATION - BLDG C
1/8" = 1'-0"



CITY PLANNING & DEVELOPMENT

Public Meeting Summary Form

Project Case #

Meeting Date:

Meeting Location:

Meeting Time (include start and end time):

Additional Comments (optional):