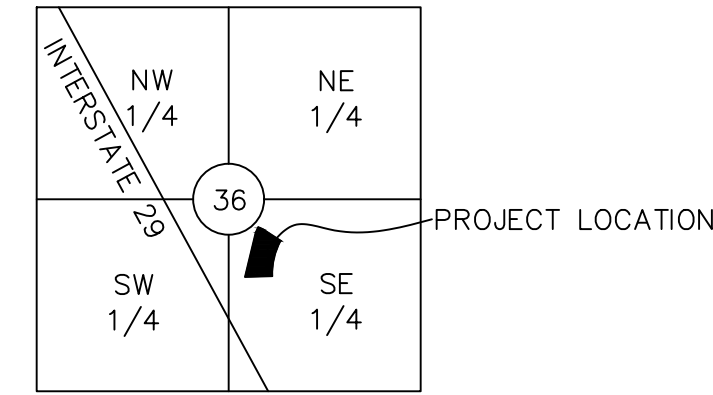


# DEVELOPMENT PLANS FOR LIVSMART STUDIOS KANSAS CITY SECTION 36, TOWNSHIP 52, RANGE 34 CITY OF KANSAS CITY, PLATTE COUNTY, MISSOURI



**VICINITY MAP**

## PROJECT TEAM

### DEVELOPER

ALTIRA HOTELS KCI, LLC  
2323 GRAND BOULEVARD, SUITE 1100  
KANSAS CITY, MO 64108  
CONTACT: MIKE PATEL  
EMAIL: MIKEPATEL@MARQUEEHOSPITALITY.COM

### CIVIL ENGINEER, LANDSCAPE ARCHITECT

KIMLEY-HORN & ASSOCIATES, INC.  
805 PENNSYLVANIA AVENUE, SUITE 150  
KANSAS CITY, MO 64105  
TEL: (816) 652-0350  
PRIMARY CONTACT: MATTHEW KIST, P.E.  
EMAIL: MATT.KIST@KIMLEY-HORN.COM  
SECONDARY CONTACT: KAITLIN RAYNOR  
EMAIL: KAITLIN.RAYNOR@KIMLEY-HORN.COM

### ARCHITECT, LIGHTING

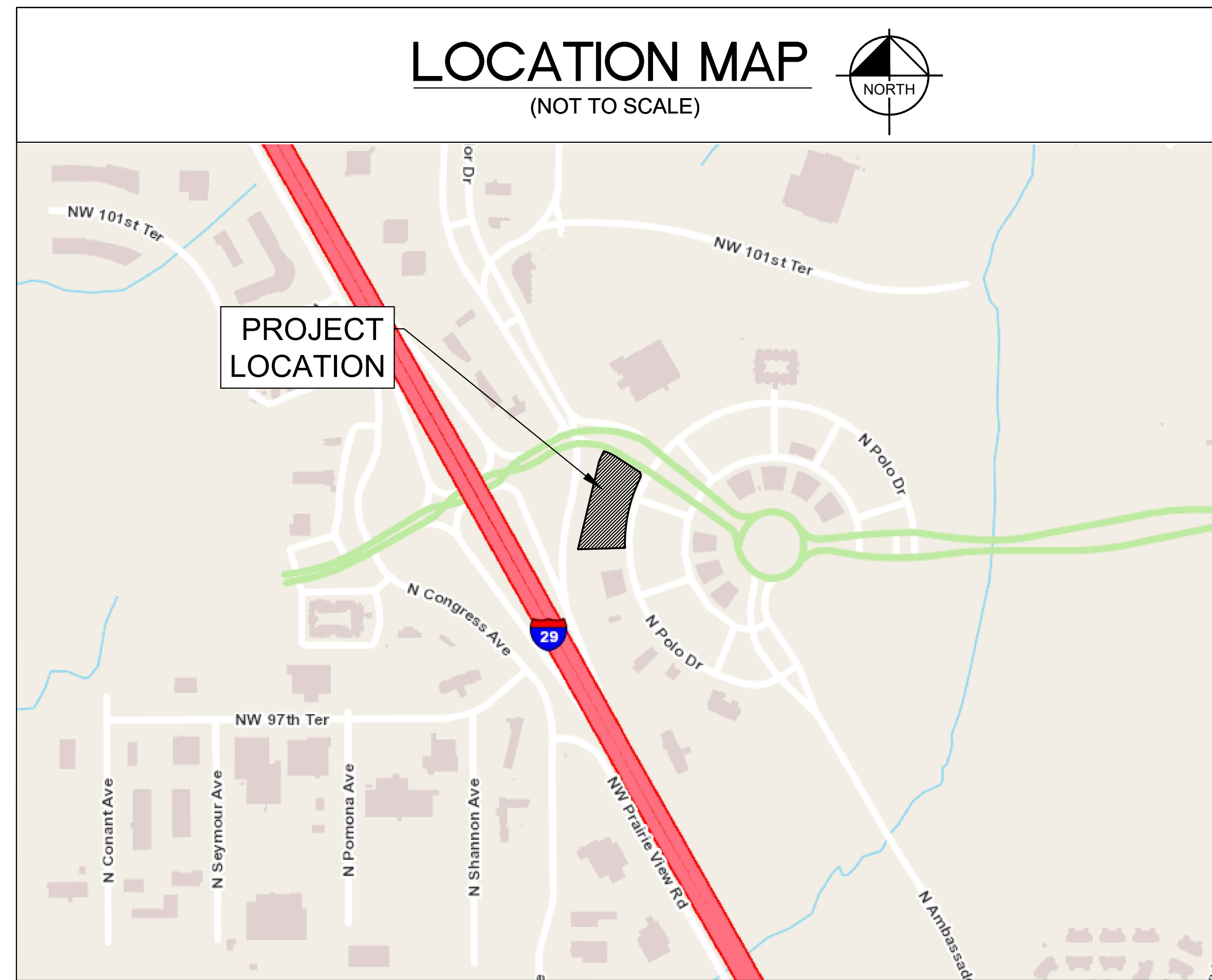
TYPE SIX  
920 S MAIN ST, SUITE 150  
GRAPEVINE TX, 76051  
TEL: (852) 365-3381  
PRIMARY CONTACT: JAMES LUSTY  
EMAIL: JAMES.LUSTY@TYPE-SIX.COM  
SECONDARY CONTACT: DYLAN SCOTT  
EMAIL: DYLAN.SCOTT@TYPE-SIX.COM

## LEGAL DESCRIPTION

TRACT A OF THE CERTAIN LOT SPLIT SURVEY OF LOTS 12D, 12E AND 12F, EXECUTIVE HILLS NORTH, BLOCKS 12 AND 26, KANSAS CITY, PLATTE COUNTY, MISSOURI MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT SPLIT, THENCE NORTH 13 DEGREES 32 MINUTES 44 SECONDS EAST, A DISTANCE OF 512.96 FEET; THENCE NORTH 25 DEGREES 46 MINUTES 55 SECONDS EAST, A DISTANCE OF 54.91 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF TIFFANY SPRINGS PARKWAY SAID POINT ALSO BEING A POINT OF CURVATURE; THENCE CONTINUING WITH SAID SOUTHERLY RIGHT-OF-WAY LINE OF TIFFANY SPRINGS PARKWAY, ON A CURVE TO THE RIGHT, HAVING A RADIUS OF 272.00 FEET, A CENTRAL ANGLE OF 15 DEGREES 26 MINUTES 25 SECONDS, AN INITIAL TANGENT BEARING SOUTH 72 DEGREES 36 MINUTES 33 SECONDS EAST, AN ARC DISTANCE OF 73.38 FEET; THENCE CONTINUING WITH SAID SOUTHERLY RIGHT-OF-WAY LINE OF TIFFANY SPRINGS PARKWAY, SOUTH 57 DEGREES 00 MINUTES 00 SECONDS EAST, A DISTANCE OF 146.18 FEET TO A POINT OF CURVATURE SAID POINT ALSO BEING ON THE WESTERLY RIGHT-OF-WAY LINE OF NORTH POLO DRIVE; THENCE CONTINUING WITH SAID WESTERLY RIGHT-OF-WAY LINE OF NORTH POLO DRIVE, ON A CURVE TO THE RIGHT, HAVING A RADIUS OF 35.00 FEET, A CENTRAL ANGLE OF 53 DEGREES 28 MINUTES 54 SECONDS, AN INITIAL TANGENT BEARING OF SOUTH 27 DEGREES 18 MINUTES 29 SECONDS EAST, AN ARC DISTANCE OF 32.67 FEET; THENCE ON A CURVE TO LEFT, HAVING A RADIUS OF 734.67 FEET, A CENTRAL ANGLE OF 29 DEGREES 56 MINUTES 16 SECONDS, AN ARC DISTANCE OF 375.91 FEET; THENCE SOUTH 88 DEGREES 18 MINUTES 00 SECONDS WEST, A DISTANCE OF 246.12 FEET TO THE POINT OF BEGINNING. THE ABOVE DESCRIBED TRACT CONTAINS 103.622 SQUARE FEET OR 2.38 ACRES.

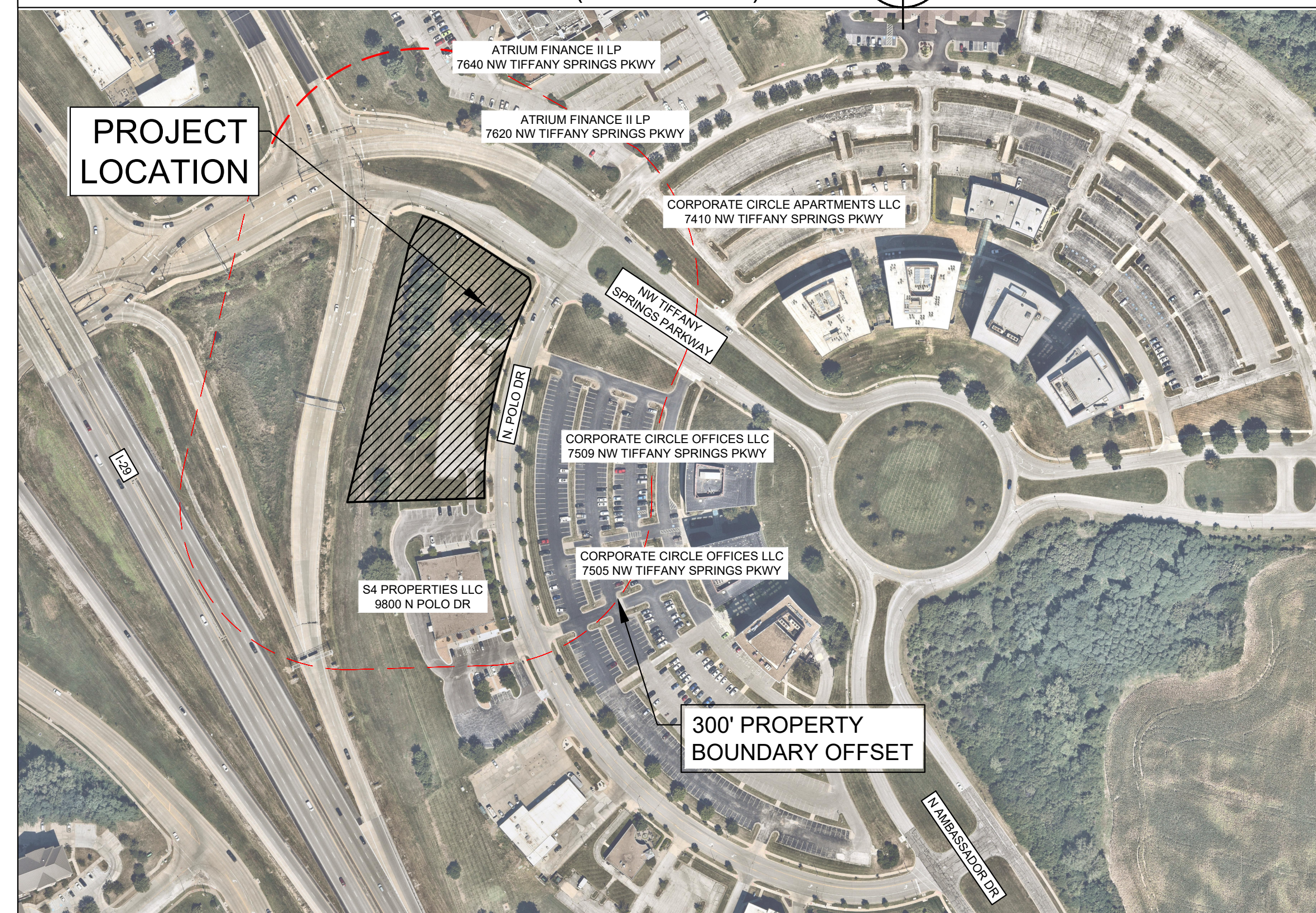
## LOCATION MAP

(NOT TO SCALE)



## AERIAL MAP

(NOT TO SCALE)



Sheet List Table	
Sheet Number	Sheet Title
C0	COVERSHEET
C1	EXISTING CONDITIONS
C2	SITE PLAN
C3	GRADING PLAN
C4	UTILITY PLAN
C5	FIRE TRUCK TURNING
L1	LANDSCAPE ARCHITECTURAL PLAN
A20.00	3D BUILDING VIEWS
A1.01	01 DIMENSION PLAN
A1.02	02 DIMENSION PLAN
A5.01	BUILDING ELEVATIONS
A5.02	BUILDING ELEVATIONS
A0.03	SITE ELEMENTS
PH1.01	PHOTOMETRICS
PH1.02	LIGHT FIXTURE DETAILS

Property Owner	Property Address	Mailing Address
S4 Properties LLC	9800 N Polo Dr	118 N Conistor Ln Ste B #504 Liberty, MO 64068
Corporate Circle Offices LLC	7505 NW Tiffany Springs Pkwy, 7509 NW Tiffany Springs Pkwy	7505 NW Tiffany Springs Pkwy Ste 100 Kansas City, MO 64153
Corporate Circle Apartments LLC	7410 NW Tiffany Springs Pkwy	7505 NW Tiffany Springs Pkwy Ste 100 Kansas City, MO 64153
Atrium Finance II LP	7620 NW Tiffany Springs Pkwy, 7640 NW Tiffany Springs Pkwy	12735 Morris Rd, Ext, Ste 400 Alpharetta, GA 30004

## DEVELOPMENT PLAN DEVIATIONS

- BUILDING HEIGHT EXCEEDS MAXIMUM HEIGHT OF 55' ALLOWED FOR ZONING B3-3. REQUESTING DEVIATION TO ALLOW FOR INCREASE OF MAXIMUM BUILDING HEIGHT BY 5' TO ALLOW FOR 60' MAX.
- 
- 

## DEVELOPMENT PLAN VARIANCES

- PER SECTION 88-323-02-B, IF ADJACENT TO AND WITHIN 150 FEET OF A PARKWAY, PARKING LOCATED ON THE SIDE OF A BUILDING SHALL BE SET BACK A MINIMUM OF 10 FEET BEHIND THE FRONT BUILDING LINE OR 30 FEET FROM THE RIGHT-OF-WAY, WHICHEVER IS GREATER. WITH THE PLATTED 50' BUILDING SETBACK FROM NW TIFFANY SPRING PARKWAY, THIS REQUIREMENT CREATES A 60' PARKING SETBACK (10' FURTHER THAN THE PLATTED SETBACK). DUE TO SITE CONSTRAINTS, THE PLAN IS SEEKING A VARIANCE FROM THE ABOVE SECTION, TO ALLOW PARKING WITHIN 10' OF THE EXISTING R/W LINE. IF THE VARIANCE IS NOT GRANTED BY THE BZA, THE PLAN WILL BE REVISED TO RECONFIGURE THE 10 PARKING SPACES IDENTIFIED IN THIS PLAN, LOCATED OFF THE NORTH-EAST CORNER OF THE BUILDING.

CITY COMMENTS	DATE
	05/17/24
	05/29/24



SCALE:	DESIGNED BY:	DRAWN BY:	CHECKED BY:
AS NOTED	KMR	KMR	MDK

PRELIMINARY  
NOT FOR  
CONSTRUCTION

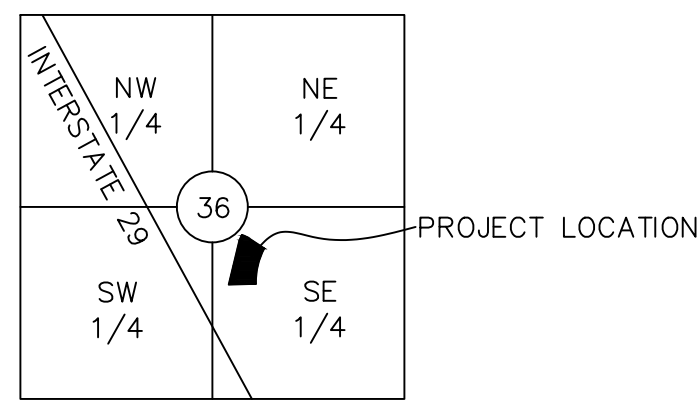
COVERSHEET

LIVSMART STUDIOS  
KANSAS CITY  
DEVELOPMENT PLAN  
10000 N POLO DR.  
KANSAS CITY, MO 64153

ORIGINAL ISSUE:  
02/23/2024  
KHA PROJECT NO.  
268432000  
SHEET NUMBER

C0

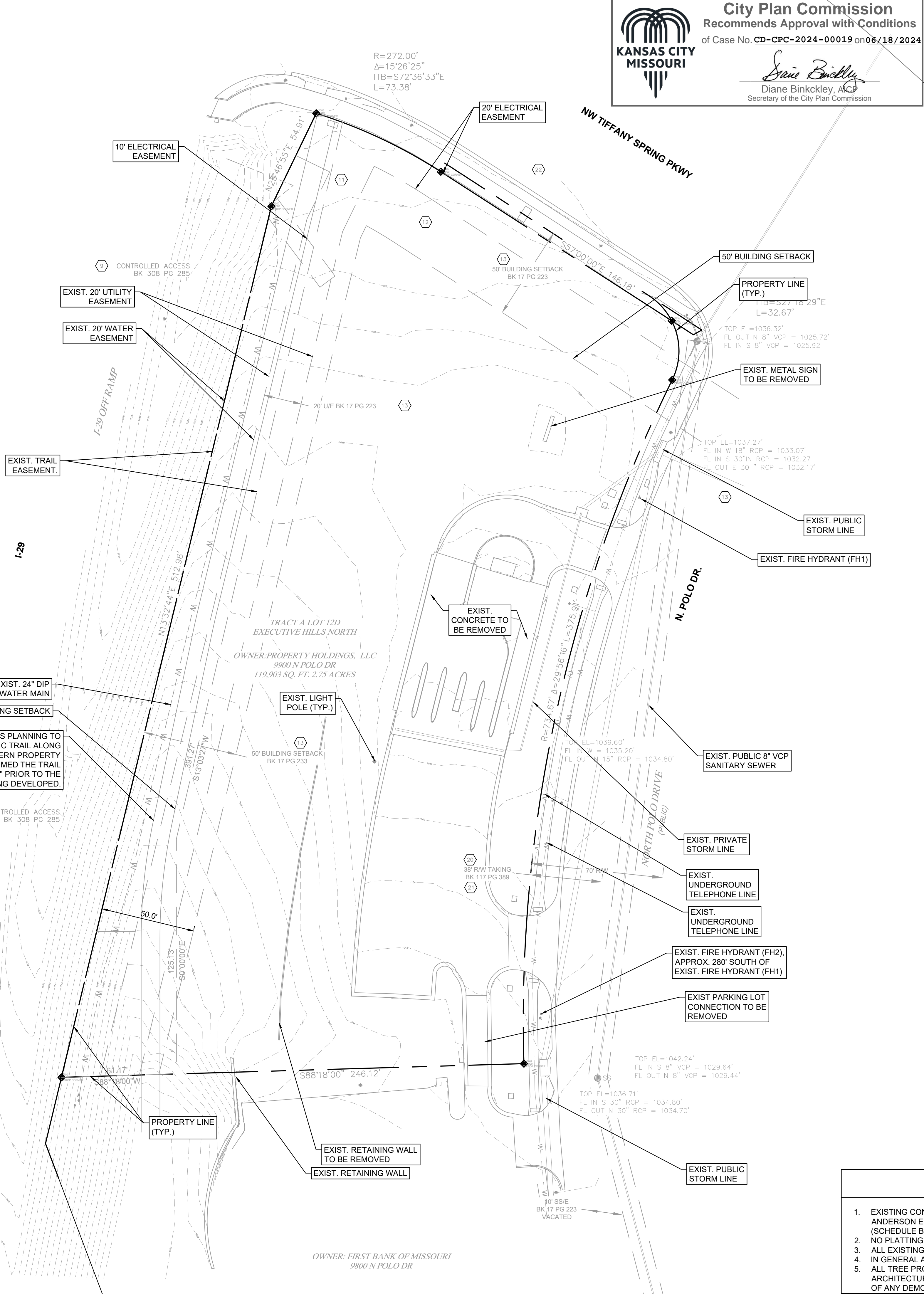
Drawing name: K:\KAC\_LIVE\268432000\_Marquee Hotel KCM202 Design\CAD\ParSheet\00 COVERSHEET.dwg 00 COVERSHEET May 29, 2024 3:48pm by: Kaitlin Raynor  
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**VICINITY MAP**

**LEGEND**

BM	BENCHMARK
CPB	COMMUNICATION PULL BOX
△CP	CONTROL POINT
●	FIRE HYDRANT
○FND	FOUND AS NOTED
☀	LIGHT POLE
Ⓜ	MAILBOX
Ⓜ	METAL SIGN
Ⓜ	PULL BOX
●SS	SANITARY SEWER MANHOLE
●ST	STORM MANHOLE
○T	TREE (SIZE/TYPE)
—	VERTICAL PIPE
●	WATER METER
●	WATER VALVE
●	YARD LIGHT
□	COLUMN
---	BURIED WATER LINE
---	BURIED FIBER OPTIC LINE
---	BURIED TELEPHONE LINE
---	BURIED GAS LINE
---	BURIED CABLE TELEVISION LINE
---	BURIED POWER LINE



**City Plan Commission**  
**Recommends Approval with Conditions**  
 of Case No. CD-CPC-2024-00019 on 06/18/2024

*Janie Brindley*  
 Diane Binkkley, AICP  
 Secretary of the City Plan Commission

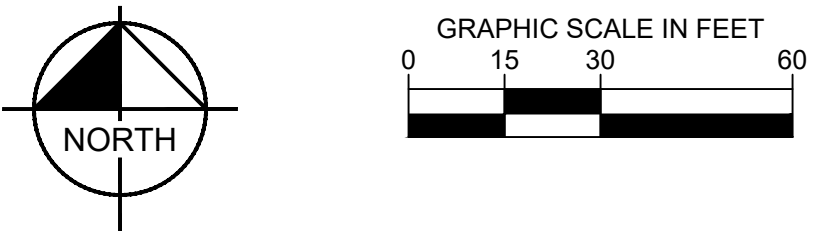
- KEY NOTE:** SCH. B NUMBER:
- Any defect, lien, encumbrance, adverse claim, or other matter that appears for the first time in the Public Records or is created, attaches, or is disclosed between the Commitment Date and the date on which all of the Schedule B, Part I-Requirements are met. This exception is not a survey matter.
  - Rights or claims of parties in possession not shown by the Public Records. This exception is not a survey matter.
  - Easements, or claims of easements, not shown by the Public Records. This exception is not a survey matter.
  - Any encroachment, encumbrance, violation, variation or adverse circumstances affecting Title that would be disclosed by an accurate and complete survey of the Land or that could be ascertained by an inspection of the Land. This exception is not a survey matter.
  - Any lien or right to a lien for services, labor, material or equipment, unless such lien is shown by the Public Records at Date of Policy and not otherwise excepted from coverage herein. This exception is not a survey matter.
  - Taxes, or special assessments, if any, not shown as existing liens by the Public Records. This exception is not a survey matter.
  - The lien of the general taxes for the year 2022, and thereafter. General, state, county and city taxes and assessments for the year 2021 in the amount of \$14,793.82 are PAID. Parcel No. 17-7.0-36-000-015-004.000. This exception is not a survey matter.
  - Lack of direct access to Highway No. I-29 from the land, such right of access having been taken by the State of Missouri by condemnation Suit No. C-11015 filed in the Circuit Court of Platte County, Missouri at Platte City and recorded in the Recorder of Deeds Office of Platte County as Document No. 39002 in Book 225, Page 441. This exception does not affect the subject property.
  - Lack of direct access to Highway No. I-29 from the land, such right of access having been granted to the State of Missouri, acting by and through the State Highway Commission of Missouri by the deed recorded November 29, 1967 as Document No. 18138 in Book 307, Page 501 and by the deed recorded January 15, 1968 as Document No. 18552 in Book 308, Page 285. This exception affects the subject property and is plotted heron.
  - Limitation on direct access to Tiffany Springs Parkway and lack of direct access to Highway I-29 from the premises in question as set forth in the Report of Commissioners as Document No. 19214 in Book 309, Page 225. This exception does not affect the subject property.
  - Electric line easement granted to Missouri Public Service Company, a Missouri corporation recorded September 10, 1968 as Document No. 21217 in Book 313, Page 333. This exception affects the subject property and is plotted heron.
  - Electric line easement granted to Missouri Public Service Company recorded September 10, 1968 as document No. 21218 in Book 313, Page 335. This exception affects the subject property and is plotted heron.
  - Easements, restrictions and setback lines as per plat, recorded August 20, 1987 as Document No. 045729 in Plat Book 17, Page 223. Ordinance No. 100230, recorded May 3, 2010 as Document No. 2010005039 in Book 1156, Page 486, releasing easements. This exception affects the subject property and is plotted heron.
  - Aviation and Noise Easement granted to Kansas City, Missouri a municipal corporation recorded August 20, 1987 as Document No. 045733 in Book 707, Page 381. This easement encompassed the entire property.
  - Terms and Provisions as set forth in Agreement for Deferral of Construction for N. Executive Hills Boulevard, recorded August 20, 1987 as Document No. 045734 in Book 707, Page 382. This easement encompassed the entire property. Not a survey matter.
  - Terms and Provisions as set forth in Cross Easement Agreement, by and between Livestock Executive Partners, a Missouri general partnership and Executive Hills North, Inc., a Kansas corporation, recorded March 23, 1988 as Document No. 002511 in Book 715, Page 739. Does not affect the subject property.
  - Boundaries, descriptions and matters depicted on Certificate of Survey recorded January 25, 2000, as Document No. 0001067, in Survey Book 3, Page 14. This exception affects the subject property and is plotted heron.
  - Terms and Provisions as set forth in Road Agreement, by and between North Properties, Inc., a Missouri corporation and First Bank of Missouri, a Missouri banking corporation, recorded March 13, 2000 as Document No. 0003141 in Book 922, Page 867. This exception does not affect the subject property.
  - Restrictive Covenant Agreement, recorded March 13, 2000, as Document No. 0003142 in Book 922, Page 868 but deleting any covenant, condition or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status, or national origin to the extent such covenants, conditions or restrictions violate 42USC 3604(c) or any similar state statute or local ordinance. This exception affects the subject property, but is not a survey matter. Refer to document.
  - Ordinance No. 110011 for condemnation and taking private property interests for public use, recorded March 8, 2011 as Document No. 2011002933 in Book 117, Page 389, which provides for the levy of assessments. This exception affects the subject property and is plotted heron.
  - Terms and Provisions as set forth in Temporary Construction Easement as contained in the Warranty Deed, recorded January 30, 2013 as Document No. 2013001555 in Book 1205, Page 289.
  - Tenancy rights, either as month to month, or by virtue of written leases of persons in possession of any part of the subject property. This exception is not a survey matter.

**SURVEYOR'S REPORT**

- The basis of bearing for this survey is Missouri State Plane, West Zone, NAD 83.
- A 1/2" x 24" rebar with a plastic cap stamped LS-62 has been set at every property corner unless noted otherwise.
- The address of the subject property is 10000 North Polo Drive as shown on the Kansas City, Missouri Parcel Viewer and 9900 North Polo Drive on the Jackson County Missouri Parcel Viewer.
- The subject property lies in Zone X, Other Areas, Areas determined to be outside the 0.2% annual chance floodplain, as shown on Flood Insurance Rate Map 29095C0043G effective January 20th 2017.
- The subject property contains 119,903 square feet, or 2.75 acres.
- The contour information shown here was taken from traditional survey methods. The vertical datum is NAVD 1988.
- The subject property is zoned B3-3, Community Business, as shown on the Kansas City, Missouri GIS Website.
- There 0 buildings on the subject property.
- All substantial visible improvements have been shown on this survey.
- There are zero visible parking spaces on the subject property.
- The utility information shown on this survey has S.U.E. (Subsurface Utility Engineering) Level of C. Utility information shown on this survey was taken from utility maps provided to this surveyor by various utility companies and utility line locate markings provided by various utility locating companies per Missouri One Call or Kansas 811 utility Locate Ticket Number 221021059. This surveyor does not warrant or guarantee the location or size of any underground utility shown hereon. This surveyor does not warrant or guarantee that all utility lines, cables, pipes or wires (active or inactive) are shown on this survey.
- The names of the adjoining owners have been taken from the Kansas City, Missouri GIS.
- The Northeast corner of the subject property is located at the intersection of North Polo Drive and Northwest Tiffany Springs Parkway.
- There no evidence of earth moving work on the subject property.
- The surveyor is not aware of any proposed changes in street right of way lines.
- Professional liability insurance policy obtained by the surveyor in the minimum amount of \$1,000,000 to be in effect throughout the contract term.
- The easements, covenants, restrictions and entitlements shown on this survey were taken from the title commitment prepared by First American Title Insurance Company in File No. NCS-1121669-KCTY, dated 03/23/2022 at 8:00 a.m., and we have relied solely on said information.
- No wetlands have been delineated on the subject property. The National Wetlands Inventory map does/does not show any wetlands on the subject property.
- The subject property shown on this survey is the same as described in title commitment no. NCS-1121669-KCTY, prepared by First American Title Insurance Company. The subject tracts shown hereon are contiguous, with no gaps, gores or overlaps.
- The subject property has direct access to N. Polo Dr., a publicly dedicated and constructed street. There is no direct access to Highway I-29.
- The wall that encroaches on the subject property from the South is approximately encroaches 8 feet onto the subject property.
- No easement was provided for the brick drive between the subject property, and the property to the south.

**NOTES**

- EXISTING CONDITIONS IN THESE PLANS ARE BASED UPON AN ALTA SURVEY PREPARED BY ANDERSON ENGINEERING DATED 7/27/2023. SEE ALTA SURVEY FOR ADDITIONAL TITLE INFORMATION (SCHEDULE B)
- NO PLATTING IS ANTICIPATED FOR THIS PROJECT.
- ALL EXISTING EASEMENTS ARE INTENDED TO REMAIN, UNLESS SPECIFICALLY NOTED OTHERWISE
- IN GENERAL ALL EXISTING FEATURES ARE TO BE REMOVED
- ALL TREE PROTECTION MEASURES ARE TO BE INSTALLED AND APPROVED PER THE LANDSCAPE ARCHITECTURAL PLANS AND TREE PRESERVATION DETAILS/SPECIFICATIONS PRIOR TO THE START OF ANY DEMOLITION OR CONSTRUCTION ACTIVITY.



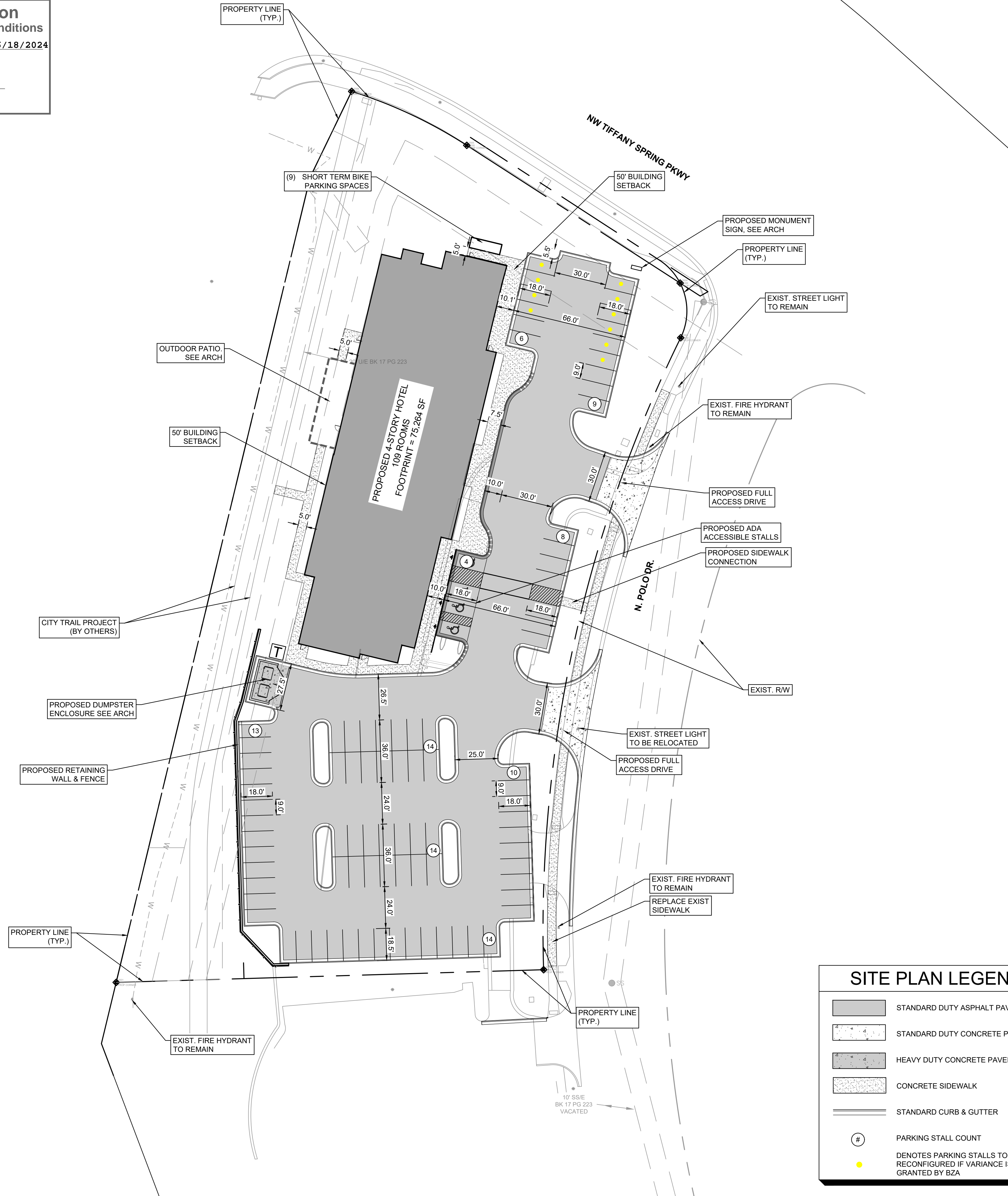
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KIMLEY-HORN	DESIGNED BY: KMR	KIMLEY-HORN ASSOCIATES, INC. 800 PENNSYLVANIA AVE SUITE 150 PLATTSBURGH, MO 64601 PHONE: 816-625-0300 WWW.KIMLEY-HORN.COM
	DRAWN BY: KMR	
SCALE: AS NOTED	CHECKED BY: MDK	
<b>PRELIMINARY NOT FOR CONSTRUCTION</b>		
<b>EXISTING CONDITIONS</b>		
<b>LIVSMART STUDIOS KANSAS CITY DEVELOPMENT PLAN</b>		
10000 N POLO DR. KANSAS CITY, MO 64153		
ORIGINAL ISSUE: 02/23/2024		
KHA PROJECT NO. 268432000		
SHEET NUMBER	<b>C1</b>	



**City Plan Commission**  
 Recommends Approval with Conditions  
 of Case No. CD-CPC-2024-00019 on 06/18/2024

*Diane Binkckley*  
 Diane Binkckley, AICP  
 Secretary of the City Plan Commission



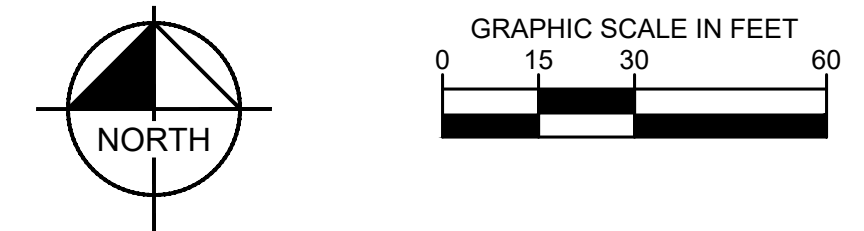
Development Summary Table			
A	Existing	Zoning	B3-3
	Proposed	Zoning	B3-3
B	Existing	Total Land Area	2.37 Acres
	Proposed	Total Land Area	2.37 Acres
C	Existing	Right-of-way	0.00 Acres
	Proposed	Right-of-way	0.00 Acres
D	Existing	Net Land Area	2.37 Acres
	Proposed	Net Land Area	2.37 Acres
E	Proposed Uses		
	Hotel		
F	Structure Height & # of floors		
	Number of Floors	4	
	Structure Height	60'-0"	
G	Gross Floor Area & # of Rooms		
	Gross Floor Area (SF)	75,264	
	Ground Level Building Footprint (SF)	18,816	
H	Building Coverage & FAR		
	Coverage	18%	
I	Vehicle Parking		
	Stalls Required (1 per 6 rooms)	19	
J	Bike Parking		
	Short Term Stalls Required (10% of Veh. Stalls)	9	
	Short Term Stalls Provided	9	
K	Parkway Development Standards		
	Total Frontage Adjacent to Parkway (LF)	235	
	Vehicle Use Area Adjacent to Parkway (LF)	66	
L	Timeline		
	Estimated Start Date	9/1/2024	
	Estimated Completion Date	12/31/2025	
M	Requested Deviations & Variances		
	SEE COVER SHEET		

- ### GENERAL NOTES
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIAL AND LABOR TO CONSTRUCT THE IMPROVEMENTS AS SHOWN AND AS DESCRIBED IN THE FINAL CONSTRUCTION DOCUMENTS.
  - THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE, AT ALL TIMES, A COPY OF THE CONSTRUCTION DOCUMENTS, INCLUDING PLANS, SPECIFICATIONS, AND ASSOCIATED PERMITS.
  - ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER, BEFORE PROCEEDING WITH THE WORK. NO FIELD CHANGES OR DEVIATIONS FROM THE DESIGN ARE TO BE MADE WITHOUT APPROVAL FROM THE OWNER.
  - IT IS THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE, AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS.
  - THE CONTRACTOR SHALL PROVIDE FOR A SECURED PROJECT SITE, THROUGH TEMPORARY CONSTRUCTION FENCING, GATES, AND TRAFFIC CONTROL MEASURES.
  - ALL WORK WITHIN PUBLIC RIGHT-OF-WAY, SHALL CONFORM TO THE AHJ (AUTHORITY HAVING JURISDICTION) REQUIREMENTS.
  - THE CONTRACTOR SHALL COORDINATE ALL PHASING AND SEQUENCING LOGISTICS. IF ADJUSTMENTS TO THE DESIGN ARE REQUIRED, TO ALLOW FOR THE CONTRACTOR'S DESIRED PHASING OR SEQUENCING, THESE DESIGN ADJUSTMENTS SHALL BE COORDINATED WITH THE ENGINEER AND OWNER.

- ### SITE PLAN NOTES
- ALL DIMENSIONS AND COORDINATES ARE TO BACK OF CURB, UNLESS NOTED OTHERWISE.
  - BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF CIVIL ENGINEER'S INTERPRETATION OF THE BUILDING UNLESS OTHERWISE NOTED.
  - REFER TO ARCHITECTURAL AND STRUCTURAL PLANS TO VERIFY ALL BUILDING DIMENSIONS.
  - RADII ADJACENT TO PARKING STALL AND NOT DIMENSIONED ON THIS PLAN SHALL BE 3-FEET, TYPICAL.
  - REFER TO ARCHITECTURAL PLANS FOR MONUMENT SIGN DETAILS.
  - SEE ELECTRICAL PLANS FOR SITE LIGHTING AND SITE ELECTRICAL.
  - ALL PARKING STALL PAVEMENT MARKINGS SHALL BE PAINTED WITH 4" SOLID WHITE STRIPING.
  - ALL ADA PARKING STALL PAVEMENT MARKINGS SHALL BE PAINTED WITH 4" SOLID BLUE STRIPES, AND ADA COMPLIANT ACCESSIBLE PARKING SYMBOLS.
  - ALL DIRECTIONAL PAVEMENT MARKINGS (STOP BARS, TURN ARROWS, ETC.) SHALL BE PAINTED WITH SOLID WHITE PAVEMENT MARKINGS.
  - ALL PROPOSED SIGNAGE (STOP SIGNS, YIELD SIGNS, ETC.) SHALL CONFORM TO MUTCD STANDARDS.
  - CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS, BONDS AND INSURANCE AS REQUIRED BY THE CITY AND OWNER.

### SITE PLAN LEGEND

	STANDARD DUTY ASPHALT PAVEMENT
	STANDARD DUTY CONCRETE PAVEMENT
	HEAVY DUTY CONCRETE PAVEMENT
	CONCRETE SIDEWALK
	STANDARD CURB & GUTTER
	PARKING STALL COUNT
	DENOTES PARKING STALLS TO BE RECONFIGURED IF VARIANCE IS NOT GRANTED BY BZA



CITY COMMENTS	05/17/24	KMR	DATE
	05/29/24	KMR	
SCALE:	AS NOTED	DESIGNED BY: KMR	
		DRAWN BY: KMR	
		CHECKED BY: MDK	
		10000 N POLO DR. KANSAS CITY, MO 64153	
ORIGINAL ISSUE: 02/23/2024		SHEET NUMBER <b>C2</b>	

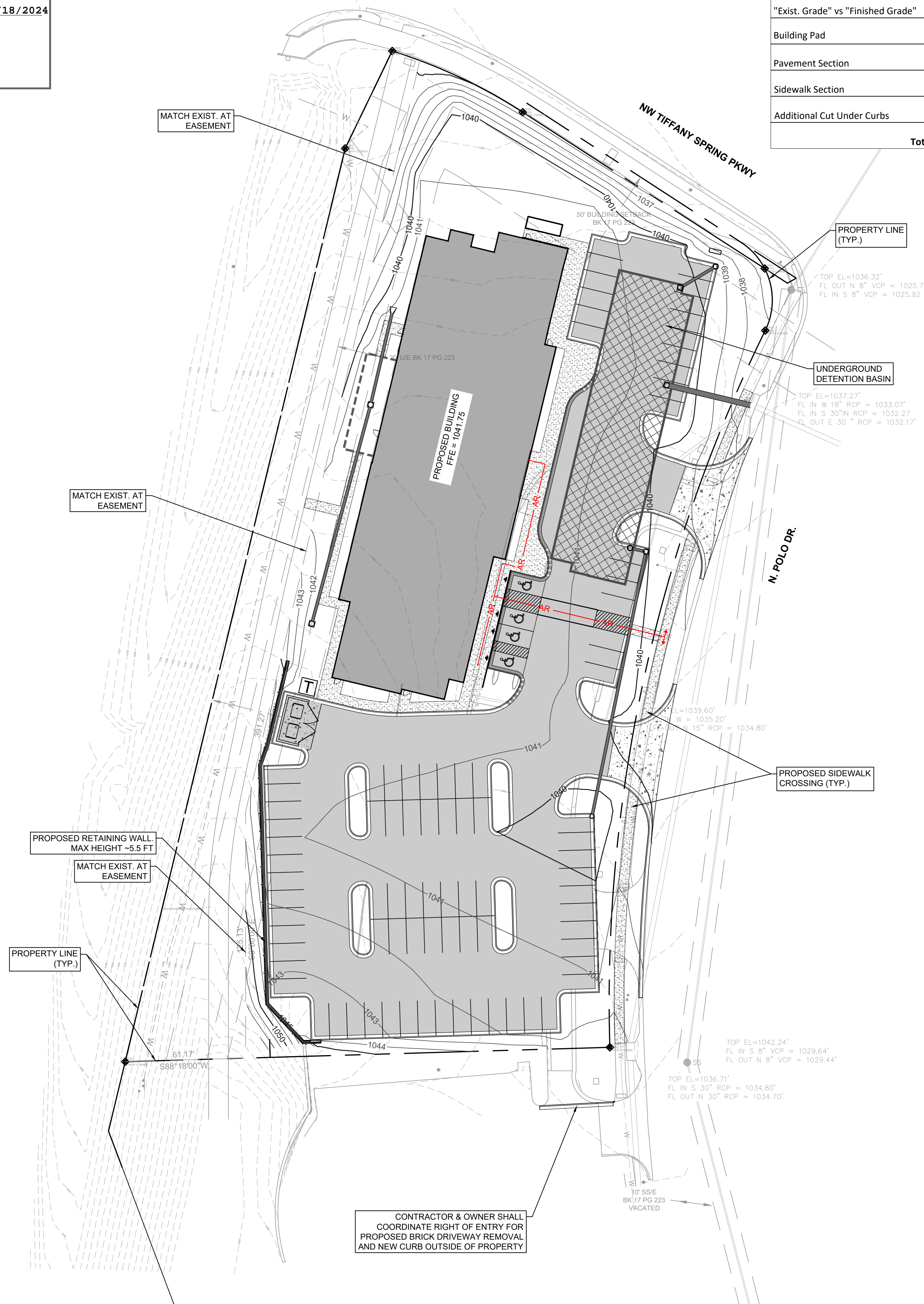
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**City Plan Commission**  
 Recommends Approval with Conditions  
 of Case No. CD-CPC-2024-00019 on 06/18/2024

*Diane Binkkley*  
 Diane Binkkley, AICP  
 Secretary of the City Plan Commission

Description	Preliminary Earthwork Quantities		Thickness Feet	Cut/Fill		Net CY	Cut/Fill	Notes
	Cut SF	Fill SF		Cut CY	Fill CY			
"Exist. Grade" vs "Finished Grade"	-	-	-	2,763.84	3,954.72	(1,190.88)	FILL	
Building Pad	17,028.00	0.00	2.00	1,261.33	0.00	1,261.33	CUT	Assume 6" Concrete Slab, 18" LVC
Pavement Section	37,500.00	0.00	1.17	1,620.83	0.00	1,620.83	CUT	Assume 8" Asphalt, 6" Base Rock
Sidewalk Section	4,056.00	0.00	0.33	50.07	0.00	50.07	CUT	Assume 4" Sidewalk Section
Additional Cut Under Curbs	1,806.67	0.00	1.00	66.91	0.00	66.91	CUT	Assume 6" Concrete Gutter Thickness, 6" Base Rock
<b>Total =</b>	<b>60,390.67</b>	<b>0.00</b>	<b>-</b>	<b>5,762.99</b>	<b>3,954.72</b>	<b>1,808.27</b>	<b>CUT</b>	<b>HAUL OFF</b>

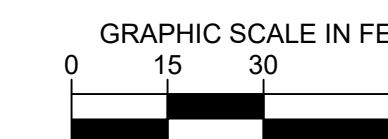
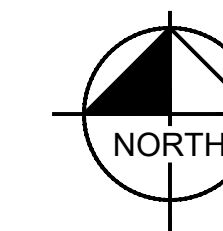


**GRADING NOTES**

- CONTRACTOR TO VERIFY ALL EXISTING TOPOGRAPHY ON THE SITE AND IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING WORK.
- ALL ELEVATIONS SHOWN ARE TO FINISHED GRADE. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING SUB-GRADE ELEVATIONS FOR ALL PAVED AND UN-PAVED AREAS.
- ALL GRADING OPERATIONS (EXCAVATION, FILL, COMPACTION, ETC.) SHALL BE OBSERVED AND TESTED BY A QUALIFIED GEOTECHNICAL ENGINEER. THE GEOTECHNICAL ENGINEER WILL BE DESIGNATED AND PAID FOR BY THE OWNER.
- NO PAVEMENTS SHALL BE PLACED PRIOR TO APPROVAL OF THE SUB-GRADE BY THE GEOTECHNICAL ENGINEER.
- NO EARTHEN SLOPE SHALL BE GREATER THAN 3:1.
- ALL FILL MATERIAL AND TRENCH BACKFILL SHALL BE IN COMPLIANCE WITH THE CITY SPECIFICATIONS, OR THE GEOTECHNICAL ENGINEER'S RECOMMENDATION.
- ALL GRADING OPERATIONS SHALL BE STAKED BY A LICENSED LAND SURVEYOR OR ENGINEER.
- ALL ACCESSIBLE PARKING STALLS, AISLES, AND SIDEWALK LANDING AREAS SHALL HAVE A CROSS SLOPE OF 1.5%, WITH CONSTRUCTION TOLERANCE FOR 0.5% MINIMUM, AND 2.0% MAXIMUM.
- ALL CURB RAMPS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2.00%.
- ALL SIDEWALKS SHALL HAVE A RUN SLOPE OF 4% WITH CONSTRUCTION TOLERANCE OF 1.0% MINIMUM, AND 5.0% MAXIMUM.
- WHEN NATURAL FLOW OF DRAINAGE IS AWAY FROM CURB, CONTRACTOR TO INSTALL "DRY" CURB & GUTTER.
- MATCH EXISTING ELEVATIONS AT THE PROPERTY LIMITS UNLESS OTHERWISE INDICATED.
- ALL EXISTING UTILITY BOXES, HANDHOLES, MANHOLES VALVE BOXES, METERS AND OTHER APPURTENANCES SHALL BE ADJUSTED TO FINISHED GRADE.
- ALL DISTURBED LIMITS SHALL BE RE-SEEDING OR LANDSCAPED UPON PROJECT COMPLETION. SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
- ALL GRADING AND EARTHWORK SHALL CONFORM TO THE GEOTECHNICAL ENGINEER'S RECOMMENDATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL CITY REQUIRED INSPECTIONS, MATERIAL TESTING, AND SPECIAL INSPECTIONS.
- ALL EXCESS OR UNSUITABLE MATERIAL SHALL BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE.
- THE CONTRACTOR SHALL COORDINATE ALL TESTING AND APPROVAL FOR IMPORT AND EXPORT OF MATERIAL TO THE PROJECT SITE.

**GRADING LEGEND**

- - - 1015 - - - EXISTING CONTOUR
- 1015 — PROPOSED CONTOUR
- ( TC XXX.XX ) TOP OF CURB ELEVATION
- ( PV XXX.XX ) PAVEMENT ELEVATION
- ( G XXX.XX ) GUTTER ELEVATION
- ( SW XXX.XX ) SIDEWALK ELEVATION
- ( FG XXX.XX ) FINISHED GRADE ELEVATION
- ( ME XXX.XX ) MATCH EXISTING ELEVATION
- ( FF XXX.XX ) FINISHED FLOOR ELEVATION
- AR — ACCESSIBLE ROUTE



NO.	DATE	REVISIONS
1	05/17/24	KMR
2	05/29/24	KMR

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 PHOENIX, AZ 85006  
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SCALE: AS NOTED  
 DESIGNED BY: KMR  
 DRAWN BY: KMR  
 CHECKED BY: MDK

**PRELIMINARY  
 NOT FOR  
 CONSTRUCTION**

**GRADING PLAN**

**LIVSMART STUDIOS  
 KANSAS CITY  
 DEVELOPMENT PLAN**  
 10000 N POLO DR.  
 KANSAS CITY, MO 64153

ORIGINAL ISSUE:  
 02/23/2024  
 KHA PROJECT NO.  
 268432000  
 SHEET NUMBER

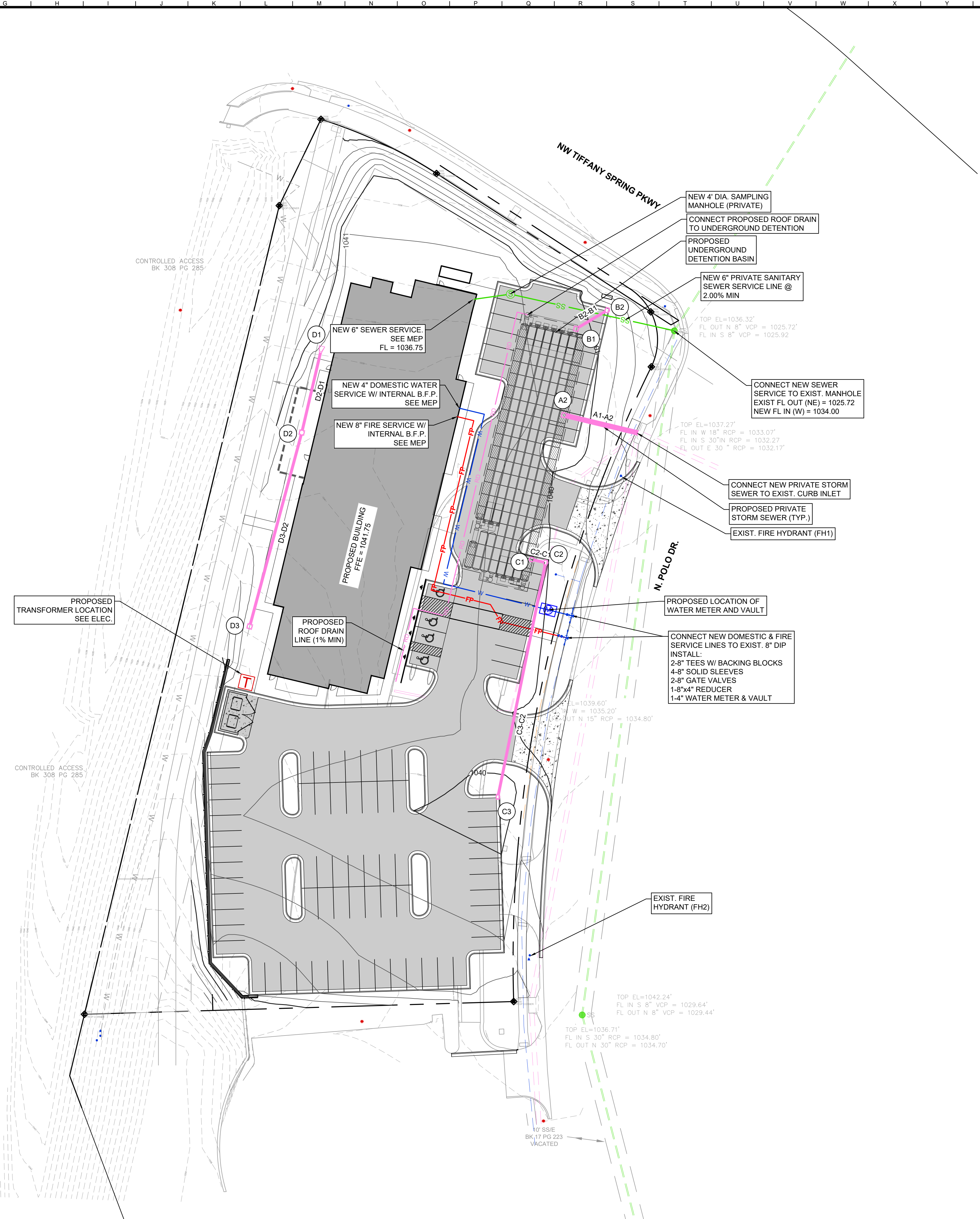
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Drawing name: K:\KHC\_LIEV\268432000\_Marquee Hotel KCMO\2 Design\CAD\Plan\Sheet\02 UTILITY PLAN.dwg CH UTILITY PLAN May 29, 2024 3:48pm by: Mallin Raynor  
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**City Plan Commission**  
 Recommends Approval with Conditions  
 of Case No. **CD-CPC-2024-00019** on **06/18/2024**

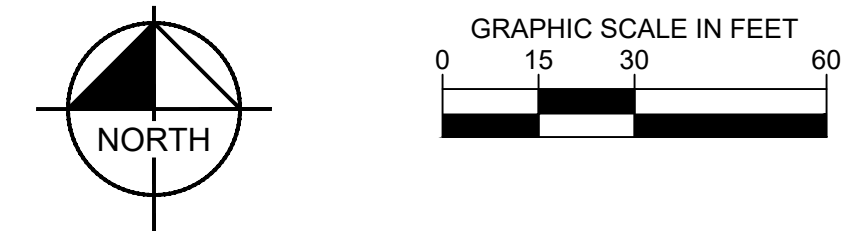
*Diane Binkckley*  
**Diane Binkckley, AICP**  
 Secretary of the City Plan Commission



- ### UTILITY NOTES
- STORMWATER BMP'S AND STORMWATER DETENTION ARE BEING PROVIDED THROUGH AN ON-SITE UNDERGROUND DETENTION CHAMBER SYSTEM. THE PEAK FLOW WILL BE REDUCED AND LEVEL OF SERVICE WILL BE MET FOR A REDEVELOPED SITE.
  - ALL PROPOSED UTILITIES (WATER, SEWER, STORM, ETC.) ARE CONSIDERED PRIVATE, UNLESS NOTED OTHERWISE.
  - THE EXISTING FIRE HYDRANTS ALONG POLO DRIVE PROVIDE A MINIMUM 350' OF HOSE LENGTH COVERAGE AROUND THE BUILDING.
  - SEE ELECTRICAL FOR SITE LIGHTING & PHOTOMETRICS.

### UTILITY LEGEND

	PROPOSED STORM SEWER
	PROPOSED NYLOPLAST CURB INLET
	PROPOSED NYLOPLAST AREA INLET
	PROPOSED SANITARY SEWER
	PROPOSED SANITARY MANHOLE
	PROPOSED DOMESTIC WATER SERVICE LINE
	PROPOSED FIRE PROTECTION SERVICE LINE
	PROPOSED ROOF DRAIN
	PROPOSED WATER METER & VAULT PER KCMO STDS.
	PROPOSED LIGHT POLE (SEE MEP)
	PROPOSED TRANSFORMER PAD (FOR REFERENCE ONLY)
	EXISTING PUBLIC SANITARY SEWER MAIN
	EXISTING PUBLIC WATER MAIN
	EXISTING PUBLIC STORM SEWER
	EXISTING UNDERGROUND CATV

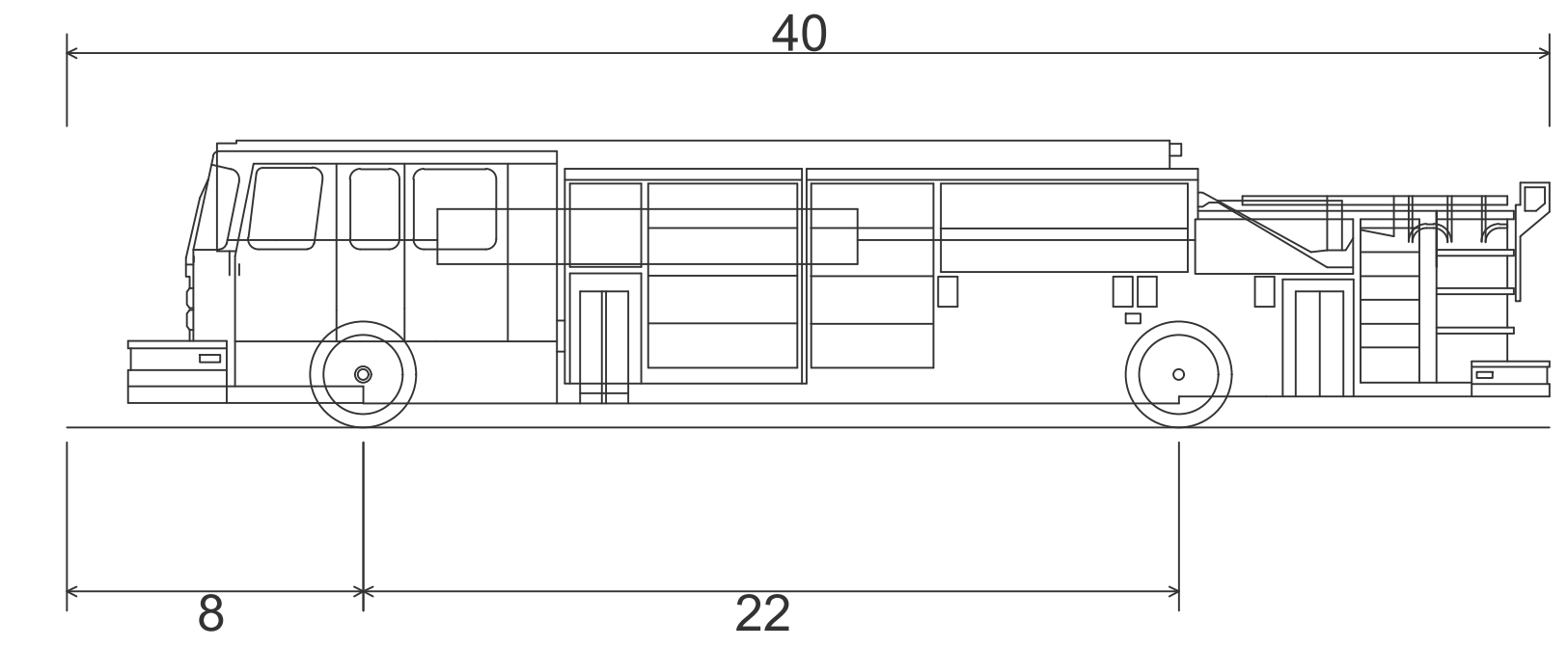
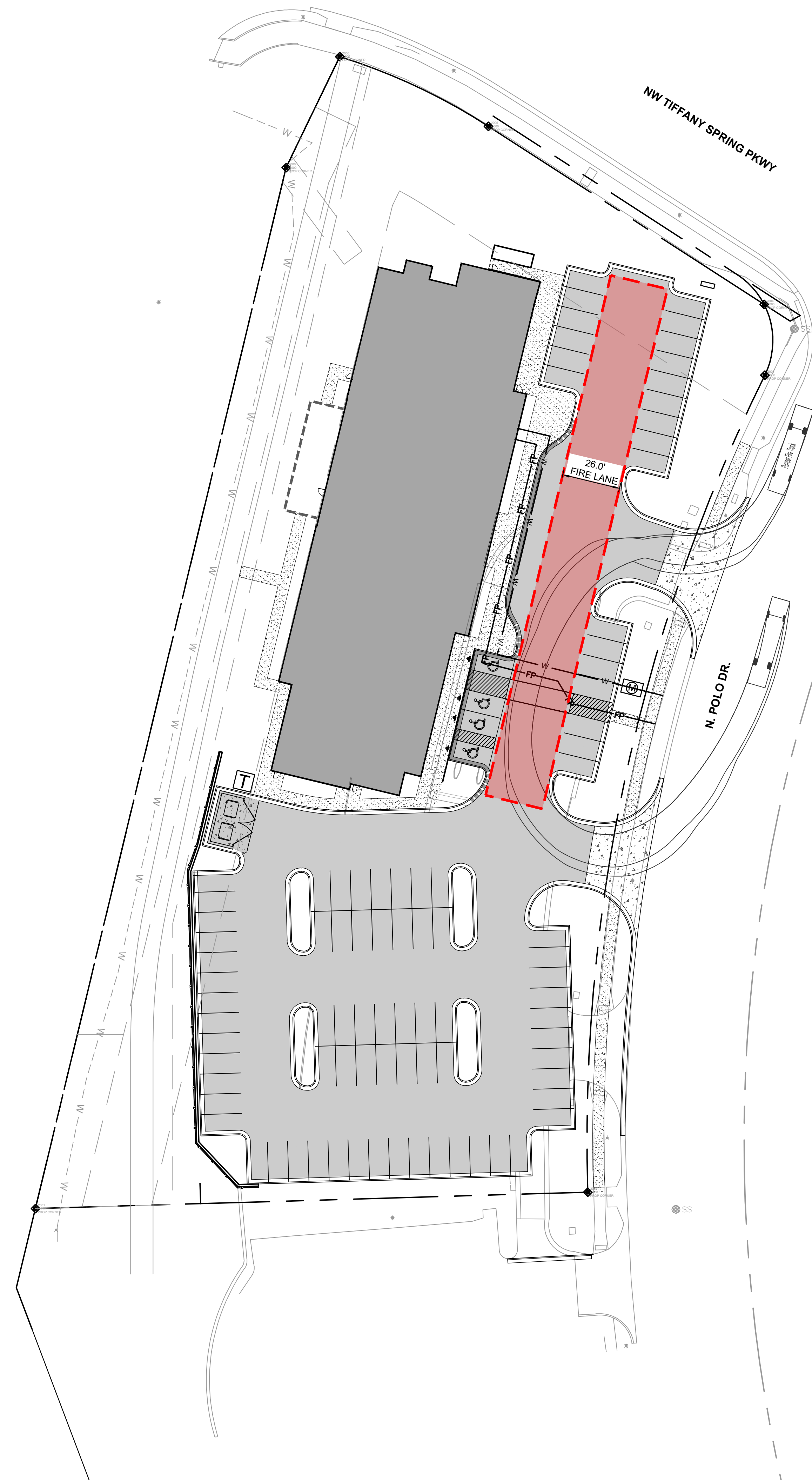


	CITY COMMENTS	KMR	05/17/24	KMR	05/29/24	KMR	05/17/24	KMR	05/29/24
1									
2									
No.									
		REVISIONS	DATE						
<b>Kimley»Horn</b>									
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<b>PRELIMINARY NOT FOR CONSTRUCTION</b>									
UTILITY PLAN									
<b>LIVSMART STUDIOS</b> <b>KANSAS CITY DEVELOPMENT PLAN</b> 10000 N POLO DR. KANSAS CITY, MO 64153									
ORIGINAL ISSUE: 02/23/2024 KHA PROJECT NO. 268432000 SHEET NUMBER <b>C4</b>									

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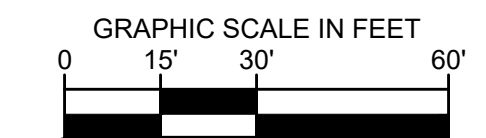
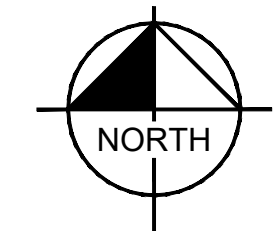
**City Plan Commission**  
 Recommends Approval with Conditions  
 of Case No. **CD-CPC-2024-00019** on **06/18/2024**

*Diane Binkckley*  
 Diane Binkckley, AICP  
 Secretary of the City Plan Commission



Pumper Fire Truck  
 Overall Length  
 Overall Width  
 Overall Body Height  
 Min Body Ground Clearance  
 Track Width  
 Lock-to-lock time  
 Max Wheel Angle

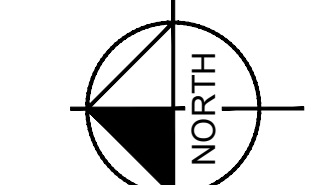
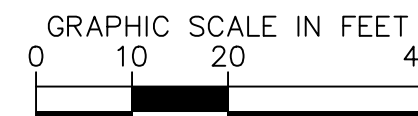
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 7.745ft  
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 8.167ft  
 5.00s  
 45.00°



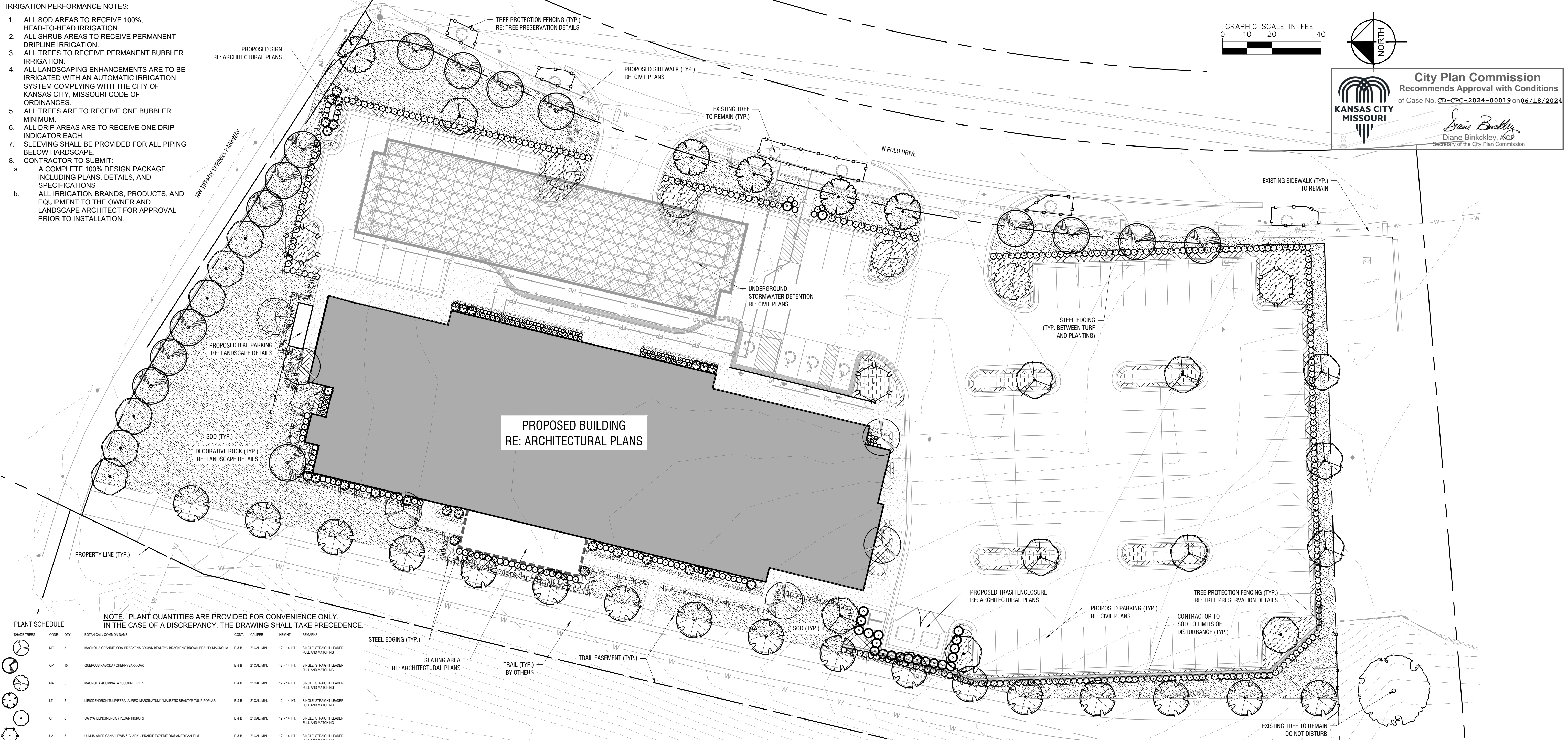
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2	CITY COMMENTS	KMR	05/29/24	KMR	DATE
<p style="text-align: center; font-size: small;">             © 2023 KIMLEY-HORN AND ASSOCIATES, INC.              800 PENNSYLVANIA AVE, SUITE 100              PHOENIX, AZ 85006              WWW.KIMLEY-HORN.COM           </p>					
SCALE:	AS NOTED	DESIGNED BY: KMR	DRAWN BY: KMR	CHECKED BY: MDK	
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ORIGINAL ISSUE: 02/23/2024					
KHA PROJECT NO. 268432000					
SHEET NUMBER <span style="font-size: 1.5em; font-weight: bold;">C5</span>					

IRRIGATION PERFORMANCE NOTES:

- 1. ALL SOD AREAS TO RECEIVE 100% HEAD-TO-HEAD IRRIGATION.
2. ALL SHRUB AREAS TO RECEIVE PERMANENT DRIPLINE IRRIGATION.
3. ALL TREES TO RECEIVE PERMANENT BUBBLER IRRIGATION.
4. ALL LANDSCAPING ENHANCEMENTS ARE TO BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM COMPLYING WITH THE CITY OF KANSAS CITY, MISSOURI CODE OF ORDINANCES.
5. ALL TREES ARE TO RECEIVE ONE BUBBLER MINIMUM.
6. ALL DRIP AREAS ARE TO RECEIVE ONE DRIP INDICATOR EACH.
7. SLEEVING SHALL BE PROVIDED FOR ALL PIPING BELOW HARDSCAPE.
8. CONTRACTOR TO SUBMIT:
a. A COMPLETE 100% DESIGN PACKAGE INCLUDING PLANS, DETAILS, AND SPECIFICATIONS.
b. ALL IRRIGATION BRANDS, PRODUCTS, AND EQUIPMENT TO THE OWNER AND LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.



City Plan Commission
Recommendations Approval with Conditions
of Case No. CD-CPC-2024-00019 on 06/18/2024
Diane Binkley, Secretary of the City Plan Commission



NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE CASE OF A DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.

PLANT SCHEDULE table with columns for CODE, QTY, BOTANICAL COMMON NAME, CONT, SIZE, SPACING, REMARKS. Includes sections for SHADE TREES, SHRUBS, PERENNIALS, and SOD.

Kansas City, Missouri - Landscape Data Table. Site Area: 2.37 acres (103,238 sqft) - Community Business (B3-3). Includes sections for Section 88-425 Landscape and Screening, Section 88-425-03-C Tree Planting Requirements, Section 88-425-04 General Landscaping Requirements, Section 88-425-05-B Minimum Interior Landscaping Area, Section 88-425-05-D Adjacent to Parkways, Section 88-425-06-E Minimum Interior Landscaping Area, Section 88-425-08-A Screening, and Section 88-425-08-B Screening of Mechanical Equipment and Utility Cabinets.

PLANTING NOTES:

- 1. CONTRACTOR TO SOD TO LIMITS OF DISTURBANCE.
2. ALL PLANT MATERIAL SHALL BE INSTALLED ACCORDING TO SOUND NURSERY PRACTICES AND SHALL MEET ALL STANDARDS AS STATED IN THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
3. NO SUBSTITUTIONS IN PLANT MATERIALS SHALL BE MADE WITHOUT WRITTEN AUTHORIZATION FROM OWNER OR LANDSCAPE ARCHITECT.
4. LOCATE ALL UTILITIES PRIOR TO ANY AND ALL PLANTING OR DIGGING OPERATIONS.
5. TREE STAKING: REFER TO TYPICAL TREE PLANTING DETAIL FOR TREE STAKING.
6. PLANTS MASSED IN BEDS SHALL BE ARRANGED USING TRIANGULAR SPACING.
7. PROVIDE A LANDSCAPE EDGE BETWEEN ALL PLANTING BEDS AND LAWN AREAS.
8. ALL PLANTING BEDS TO BE TOP DRESSED WITH A MINIMUM OF 3" SHREDDED HARDWOOD MULCH.
9. LAY TALL FESCUE SOD FOR PROPOSED LAWN AREAS TO ALL EDGES OF PAVEMENT AND/OR LIMITS SPECIFIED IN LANDSCAPE PLAN.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPING UNTIL FINAL ACCEPTANCE.
11. CONTRACTOR SHALL WARRANTY PLANT MATERIAL TO REMAIN ALIVE AND HEALTHY FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE.
12. ALL LANDSCAPE BED AREAS TO BE PREPARED USING "ORGANICALLY ENRICHED TOP SOIL" BY MISSOURI ORGANIC.
13. ALL SOD AREAS TO RECEIVE 4" DEPTH (MIN.) TOPSOIL PRIOR TO INSTALLATION.
14. FERTILIZER: FERTILIZE SEEDBED AREAS WITH AN APPROVED COMMERCIAL TYPE, SLOW RELEASE, AT A RATE OF 400 LBS/ACRE.
15. REFER TO THE LANDSCAPE SPECIFICATIONS FOR REQUIRED SUBMITTALS.

TREE PROTECTION NOTES:

- 1. CONTRACTOR SHALL ADHERE TO ALL TREE PRESERVATION REQUIREMENTS LISTED IN THE TREE PRESERVATION SPECIFICATIONS AND/OR THE CITY OR COUNTY ZONING CODE (LATEST EDITION)-WHICHEVER IS MORE STRINGENT SHALL APPLY.
2. CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION PROCEDURES WITH THE PROJECT ARBORIST PRIOR TO BEGINNING WORK.
3. ANY DEMOLITION OR EXCAVATION WITHIN THE DRIP LINE OF AN EXISTING TREE SHALL PROCEED WITH EXTREME CARE EITHER BY THE USE OF HAND TOOLS, DIRECTIONAL BORING, AIR KNIFE EXCAVATION, AND/OR WITH OTHER LOW IMPACT EQUIPMENT THAT WILL NOT CAUSE DAMAGE TO THE TREE, ROOTS, OR SOIL.
4. EXISTING TREE LOCATIONS AND SIZES ARE ESTIMATES BASED ON A SURVEY PROVIDED BY THE OWNER SELECTED SURVEYOR.
5. NO SIGNS, BUILDING PERMITS, WIRES, OR OTHER ATTACHMENTS OF ANY KIND SHALL BE ATTACHED TO ANY TREE.
6. CONTRACTOR SHALL COORDINATE TREE REMOVAL WITH PERMITTING AGENCY AND PROJECT ARBORIST PRIOR TO CONSTRUCTION.
7. DO NOT INSTALL CONDUIT, DRAIN OR IRRIGATION LINE, OR ANY UTILITY LINE WITHIN THE TREE PROTECTION ZONE WITHOUT THE APPROVAL OF THE PROJECT ARBORIST.
8. CONSTRUCTION ACTIVITY SHALL NOT DESTROY OR IRREVERSIBLY HARM THE ROOT SYSTEM OF PROTECTED TREES.
9. IF TREE ROOT ZONE IS TO BE DISTURBED, AFFECTED ROOTS MUST BE SEVERED BY CLEAN PRUNING CUTS AT THE POINT WHERE CONSTRUCTION IMPACTS THE ROOTS.
10. ROOT PRUNING/TRENCHING LOCATIONS SHALL BE APPROVED IN THE FIELD BY THE PROJECT ARBORIST.
11. CONTRACTOR TO COORDINATE ALL EARTHWORK OPERATIONS WITH THE PROJECT ARBORIST PRIOR TO BEGINNING WORK.
12. IF ANY DAMAGE TO TREE PROTECTION FENCING SHOULD OCCUR BY ACCIDENT OR NEGLIGENCE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMMEDIATE REPAIRS.
13. CONTRACTOR'S ACCESS TO FENCED TREE PROTECTION AREAS SHALL BE PERMITTED ONLY WITH APPROVAL OF THE PROJECT ARBORIST.
14. NO MATERIALS, EQUIPMENT, SPILL, WASTE, OR WASHOUT WATER MAY BE DISPOSED, STORED, OR PARKED WITHIN 20 FEET OF ANY TREE PROTECTION ZONE.
15. CONTRACTOR SHALL COORDINATE WITH THE PROJECT ARBORIST PRIOR TO REMOVAL OF TREE PROTECTION FENCING.

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LANDSCAPE ARCHITECTURAL PLAN

LIVSMART STUDIOS KANSAS CITY DEVELOPMENT PLAN 10000 N POLO DR. KANSAS CITY, MO 64153

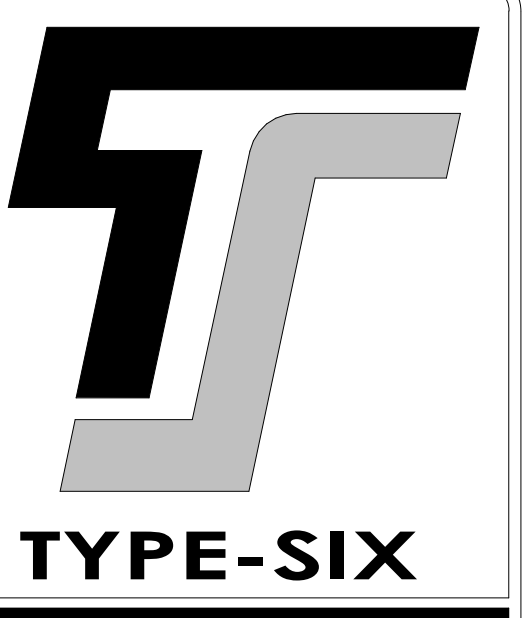
ORIGINAL ISSUE: 05/16/2024
KHA PROJECT NO: 26843200

SHEET NUMBER L1



**City Plan Commission**  
 Recommends Approval with Conditions  
 of Case No. **CD-CPC-2024-00019** on 06/18/2024

*Diane Binkkley*  
 Diane Binkkley, ACP  
 Secretary of the City Plan Commission



**TYPE-SIX**  
**DEVELOPMENT SERVICES, LLC**  
 910 SOUTH MAIN STREET #150  
 GRAPEVINE, TEXAS 76054  
 972.677.9075



**LIVSMART STUDIOS**  
**MARQUEE HOSPITALITY**  
 10000 N POLO DR  
 KANSAS CITY, MO 64153

PROJECT # 00000

ARCHITECT  
 D. HAYES HINKLE

ISSUE DATE  
 17 MAY 2024

ISSUED FOR  
 REVIEW

#	Revision	Date

SHEET NAME  
 RENDER CONCEPT

SHEET NUMBER  
**A20.00**

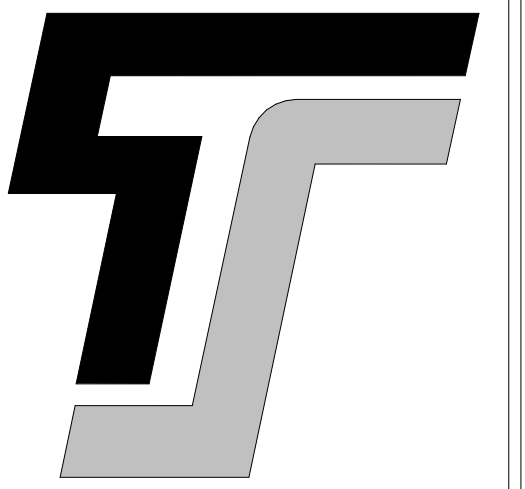






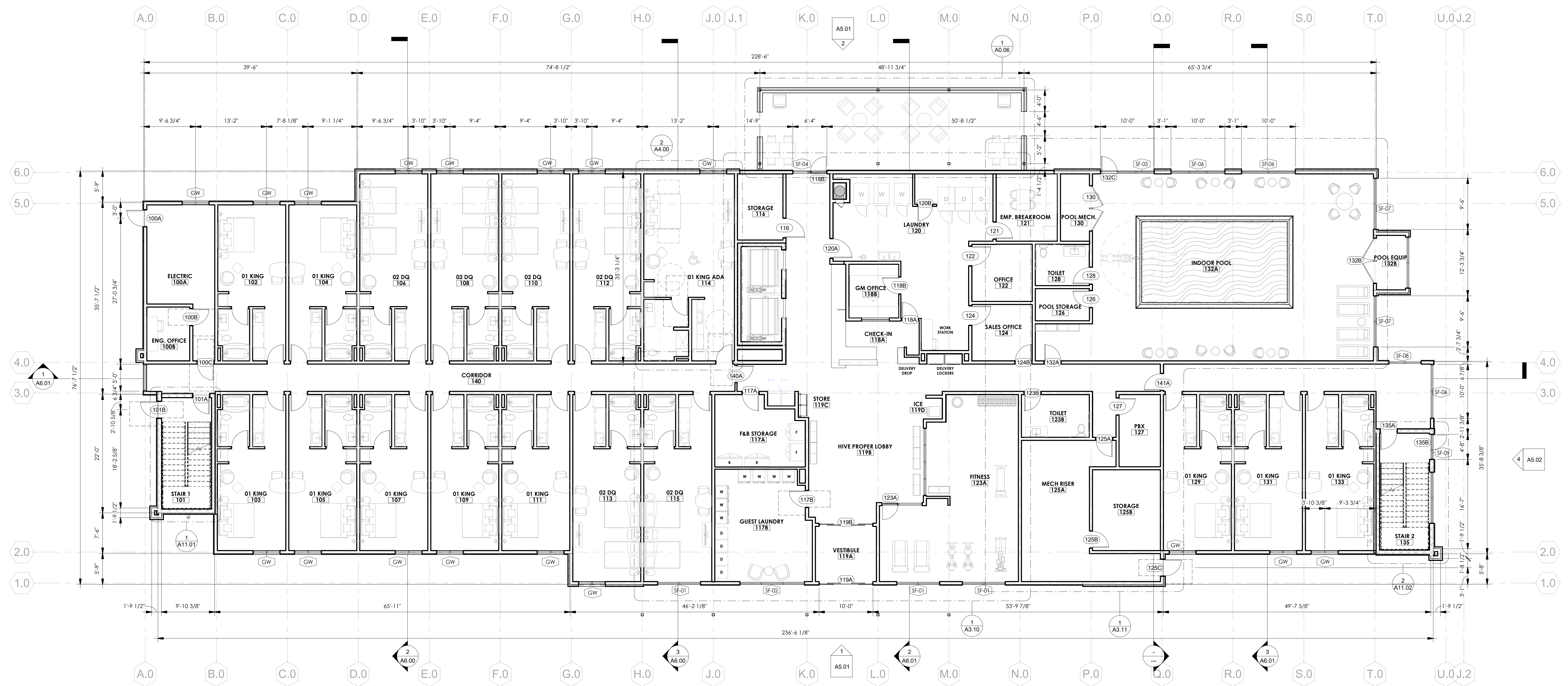
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*Diane Binkckley*  
 Diane Binkckley, AIC  
 Secretary of the City Plan Commission



**TYPE-SIX**

**TYPE-SIX DEVELOPMENT SERVICES, LLC**  
 910 SOUTH MAIN STREET #150  
 GRAPEVINE, TEXAS 76054  
 972.677.9075



**1 01 KING - DIMENSION PLAN**  
 1/8" = 1'-0"

**GENERAL FLOOR PLAN NOTES**

- THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DRAWINGS, THESE NOTES AND FIELD CONDITIONS BEFORE COMMENCING ANY WORK AND REQUEST CLARIFICATION.
- REFER TO A8.00 FOR PARTITION TYPES
- REFER TO SHEET A15.00 FOR DOOR SCHEDULES, DOOR FRAMES AND DOOR TYPES
- REFER TO G SERIES SHEETS FOR CODE REFERENCES, CODE COMPLIANCE PLANS, PENETRATION DETAILS AND ACCESSIBILITY INFORMATION.
- PROVIDE ACCESSIBLE GUEST ROOMS PER THE TEXAS ACCESSIBILITY STANDARDS. REFER TO G SERIES SHEETS FOR ADDITIONAL INFORMATION.
- ALL DIMENSIONS ARE TO FACE OF STUD, CONCRETE, MASONRY OR TO THE GRID LINE, UNLESS NOTED OTHERWISE. REFER TO STRUCTURAL FOR SLAB DIMENSIONS.
- ALL GRID LOCATIONS AND GRID DIMENSIONS ARE TO BE VERIFIED BY CONTRACTOR PRIOR TO COMMENCEMENT OF WORK.
- ALL MISCELLANEOUS SUPPORT STEEL EXPOSED TO THE EXTERIOR SHALL BE GALVANIZED AND COATED WITH A HIGH-PERFORMANCE COATING, UNLESS NOTED OTHERWISE.
- PROVIDE AUTOMATIC FIRE SUPPRESSION SYSTEM FOR ENTIRE BUILDING PER NFPA 13. SYSTEM SHALL BE UNDER SEPARATE PERMIT. COORDINATE WITH CERTIFIED FIRE SPRINKLER CONTRACTOR.
- ALL STRUCTURAL STEEL COLUMNS AND BEAMS REQUIRED TO BE PROTECTED TO MEET A FIRE RATING SHALL BE INDIVIDUALLY PROTECTED PRIOR TO INSTALLATION OF ADJACENT PARTITIONS, WALLS, CEILINGS OR ROOF FRAMING.
- FURNITURE, FIXTURES AND EQUIPMENT (FFE) ARE TO BE COORDINATED WITH OWNER. CONTRACTOR TO PROVIDE RESPONSIBILITY MATRIX TO ENSURE ALL ELEMENTS ARE ACCOUNTED FOR.
- PROVIDE NECESSARY BLOCKING FOR SURFACE MOUNTED FIXTURES, ACCESSORIES, AND EQUIPMENT.
- FINISHES SHALL MEET PROPER FLAME SPREAD AND SMOKE SPREAD, 2015 IFC, SECTION 803.
- CAULK CONTINUOUSLY AT PERIMETER OF DOOR AND WINDOW FRAMES. CAULK AFTER WALL COVERING IS INSTALLED.
- REFER TO MOUNTING HEIGHT SCHEDULE FOR TOILET AND BATH ACCESSORIES IN ALL BATHROOMS.
- SIGNAGE IS OWNER PROVIDED. SIGNAGE SHALL MEET BUILDING CODE REQUIREMENTS AND ANSI A117.1 REQUIREMENTS FOR ACCESSIBILITY.
- PROVIDE TACTILE EXIT SIGNS AT EXIT DOOR LOCATIONS. SIGNAGE SHALL COMPLY WITH ICC/ANSI A117.1 AT STOREFRONT LOCATION. PROVIDE TACTILE SIGN THAT FITS WITHIN THE STOREFRONT MULLION FRAME WIDTH. MOUNT BOTTOM OF CHARACTERS AT 48" MIN. AND 60" MAX. ABOVE FINISH FLOOR.
- PROVIDE TACTILE SIGNAGE OUTSIDE THE TOILET ROOM PER 1110.1 AND ICC/ANSI A117.1. MOUNT BOTTOM OF CHARACTERS AT 48" MIN. AND 60" MAX ABOVE FLOOR.
- PROVIDE STAINLESS STEEL CORNER GUARDS AT ALL OUTSIDE CORNERS IN KITCHEN, LAUNDRY ROOMS, STORAGE, MAINTENANCE AND BACK-OF-HOUSE CORRIDORS. PROVIDE PLASTIC CORNER GUARDS AT ALL OUTSIDE CORNERS IN BACK-OF-HOUSE WORK ROOMS AND OFFICES. REFERENCE SPECIFICATION SECTION 102600 FOR TYPES AND HEIGHTS OF CORNER GUARD. ALL OUTSIDE CORNERS AT BACK-OF-HOUSE AREAS ARE TO HAVE CORNER GUARDS. REFER TO INTERIOR DESIGN DRAWING FOR CORNER GUARDS AT PUBLIC AREAS TO BE PROVIDED BY GC.
- ALL WALL OUTLETS ON ELEVATIONS ARE DIMENSIONED TO CENTER LINE, UNLESS NOTED OTHERWISE.
- ALL DEVICES ADJACENT TO WET AREAS SHALL BE GFCI PER NEC REQUIREMENTS.
- ALL WOOD BLOCKING AND PLYWOOD IN EXTERIOR WALLS, PARAPETS, AND ROOF CONSTRUCTION SHALL BE EXTERIOR (PRESSURE) AND FIRE RETARDANT-TREATED (FRTW). ALL INTERIOR PLYWOOD SHALL BE FIRE RETARDANT-TREATED (FRTW). ONLY INTERIOR MISCELLANEOUS WOOD BLOCKING SHALL BE ALLOWED TO BE NON-FIRE-RETARDANT-TREATED AND INTERIOR WOOD BLOCKING ADJACENT TO CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
- WHERE MECHANICAL AND ELECTRICAL DEVICES AND PARTS ARE CONCEALED AND REQUIRE ACCESS, PROVIDE ACCESS DOORS AND FRAMES PER SPECIFICATIONS. FIRE RATED ASSEMBLIES SHALL BE MAINTAINED.
- TYPICAL AT EXPOSED SIDES OF CONCRETE COLUMNS UNLESS OTHERWISE NOTED: PROVIDE 5/8" GYPSUM BOARD OVER 1 1/2" METAL STUDS AT 16" O.C. AND EXTEND ABOVE CEILING.
- ALL GYPSUM BD. FINISH FACES OF DIFFERING SUBSTRATES (i.e. 1 1/2" MTL. FURRING ADJACENT TO 3 5/8" METAL STUDS) SHALL ALIGN.
- REFER TO A9 SHEETS FOR ENLARGED GUESTROOM INFORMATION.
- FINAL ROOM NAMES AND SIGNAGE SHALL BE CONFIRMED BY OWNER PRIOR TO PURCHASE AND INSTALLATION.

HOTEL INFORMATION	
BUILDING SF	FIRST FLOOR SF: 18,816 SF UPPER FLOOR SF: 18,816 SF TOTAL SF: 37,632 SF
BUILDING INFORMATION	NUMBER OF FLOORS: 4 FLOORS NUMBER OF GUESTROOMS: 109
AMENITIES	INDOOR POOL OUTDOOR LOUNGE FITNESS CORPORATE OFFICE
GUESTROOM MIX	
FLOOR	1 2 3 4 TOTAL
QQ	6 20 19 20 65
K	11 11 11 11 44
TOTAL GUESTROOMS 109	

GENERAL FLOOR PLAN SYMBOLS	
(B)	KEYNOTE TAG - REFERENCE KEYNOTE SCHEDULE
(101)	DOOR TAG - REFERENCE DOOR SCHEDULE A15.00
SF-00	STOREFRONT TAG - REFERENCE WINDOW SCHEDULE A16.00
(A)	WINDOW TAG - REFERENCE WINDOW SCHEDULE A16.00
(P)	PARTITION TAG - REFERENCE PARTITION SCHEDULE A8.00
(R)	ROOM ADA SYMBOL
(H)	ROOM HEARING-IMPAIRED SYMBOL
CR	CARD READER
FE	FIRE EXTINGUISHER

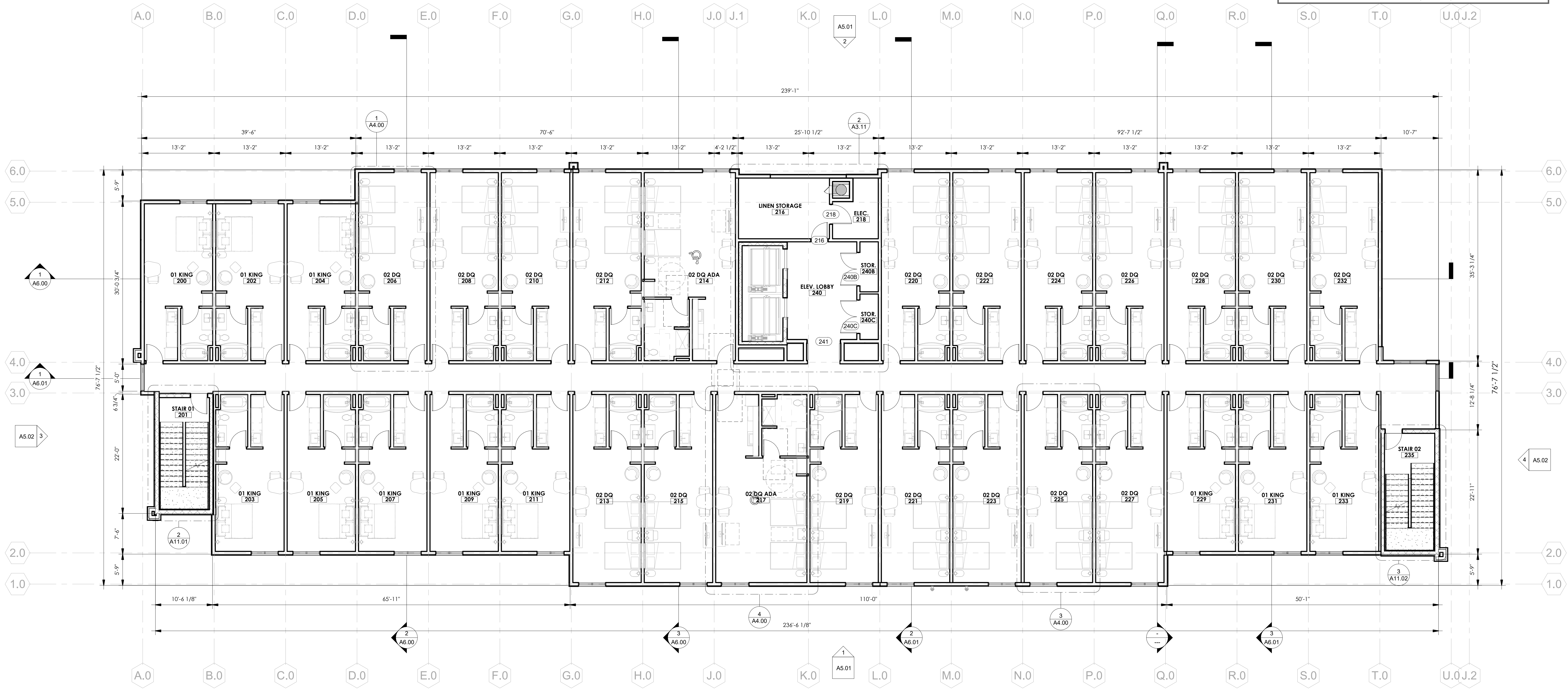
**LIVSMART STUDIOS**  
**MARQUEE HOSPITALITY**  
 10000 N POLO DR  
 KANSAS CITY, MO 64153  
 PROJECT # 00000

ARCHITECT  
 D. HAYES HINKLE  
 ISSUE DATE  
 29 MAY 2024  
 ISSUED FOR  
 REVIEW

#	Revision	Date
1		

SHEET NAME  
 01 DIMENSION PLAN  
 SHEET NUMBER  
**A1.01**





**1 TYPICAL UPPER FLOOR - DIMENSION PLAN**  
 1/8" = 1'-0"

**GENERAL FLOOR PLAN NOTES**

- THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DRAWINGS, THESE NOTES AND FIELD CONDITIONS BEFORE COMMENCING ANY WORK AND REQUEST CLARIFICATION.
- REFER TO A8.00 FOR PARTITION TYPES
- REFER TO SHEET A15.00 FOR DOOR SCHEDULES, DOOR FRAMES AND DOOR TYPES
- REFER TO G SERIES SHEETS FOR CODE REFERENCES, CODE COMPLIANCE PLANS, PENETRATION DETAILS AND ACCESSIBILITY INFORMATION.
- PROVIDE ACCESSIBLE GUEST ROOMS PER THE TEXAS ACCESSIBILITY STANDARDS. REFER TO G SERIES SHEETS FOR ADDITIONAL INFORMATION.
- ALL DIMENSIONS ARE TO FACE OF STUD, CONCRETE, MASONRY OR TO THE GRID LINE, UNLESS NOTED OTHERWISE. REFER TO STRUCTURAL FOR SLAB DIMENSIONS.
- ALL GRID LOCATIONS AND GRID DIMENSIONS ARE TO BE VERIFIED BY CONTRACTOR PRIOR TO COMMENCEMENT OF WORK.
- ALL MISCELLANEOUS SUPPORT STEEL EXPOSED TO THE EXTERIOR SHALL BE GALVANIZED AND COATED WITH A HIGH-PERFORMANCE COATING, UNLESS NOTED OTHERWISE.
- PROVIDE AUTOMATIC FIRE SUPPRESSION SYSTEM FOR ENTIRE BUILDING PER NFPA 13. SYSTEM SHALL BE UNDER SEPARATE PERMIT. COORDINATE WITH CERTIFIED FIRE SPRINKLER CONTRACTOR.
- ALL STRUCTURAL STEEL COLUMNS AND BEAMS REQUIRED TO BE PROTECTED TO MEET A FIRE RATING SHALL BE INDIVIDUALLY PROTECTED PRIOR TO INSTALLATION OF ADJACENT PARTITIONS, WALLS, CEILINGS OR ROOF FRAMING.
- FURNITURE, FIXTURES AND EQUIPMENT (FFE) ARE TO BE COORDINATED WITH OWNER. CONTRACTOR TO PROVIDE RESPONSIBILITY MATRIX TO ENSURE ALL ELEMENTS ARE ACCOUNTED FOR.
- PROVIDE NECESSARY BLOCKING FOR SURFACE MOUNTED FIXTURES, ACCESSORIES, AND EQUIPMENT.
- FINISHES SHALL MEET PROPER FLAME SPREAD AND SMOKE SPREAD, 2015 IFC, SECTION 803.
- CAULK CONTINUOUSLY AT PERIMETER OF DOOR AND WINDOW FRAMES. CAULK AFTER WALL COVERING IS INSTALLED.
- REFER TO MOUNTING HEIGHT SCHEDULE FOR TOILET AND BATH ACCESSORIES IN ALL BATHROOMS.
- SIGNAGE IS OWNER PROVIDED. SIGNAGE SHALL MEET BUILDING CODE REQUIREMENTS AND ANSI A117.1 REQUIREMENTS FOR ACCESSIBILITY.
- PROVIDE TACTILE EXIT SIGNS AT EXIT DOOR LOCATIONS. SIGNAGE SHALL COMPLY WITH ICC/ANSI A117.1. AT STOREFRONT LOCATION, PROVIDE TACTILE SIGN THAT FITS WITHIN THE STOREFRONT MULLION FRAME WIDTH. MOUNT BOTTOM OF CHARACTERS AT 48" MIN. AND 60" MAX. ABOVE FINISH FLOOR.
- PROVIDE TACTILE SIGNAGE OUTSIDE THE TOILET ROOM PER 110.1 AND ICC/ANSI A117.1. MOUNT BOTTOM OF CHARACTERS AT 48" MIN. AND 60" MAX ABOVE FLOOR.
- PROVIDE STAINLESS STEEL CORNER GUARDS AT ALL OUTSIDE CORNERS IN KITCHEN, LAUNDRY ROOMS, STORAGE, MAINTENANCE AND BACK-OF-HOUSE CORRIDORS. PROVIDE PLASTIC CORNER GUARDS AT ALL OUTSIDE CORNERS IN BACK-OF-HOUSE WORK ROOMS AND OFFICES. REFERENCE SPECIFICATION SECTION 120000 FOR TYPES AND HEIGHTS OF CORNER GUARD. ALL OUTSIDE CORNERS AT BACK-OF-HOUSE AREAS ARE TO HAVE CORNER GUARDS. REFER TO INTERIOR DESIGN DRAWING FOR CORNER GUARDS AT PUBLIC AREAS TO BE PROVIDED BY GC.
- ALL WALL OUTLETS ON ELEVATIONS ARE DIMENSIONED TO CENTER LINE, UNLESS NOTED OTHERWISE.
- ALL DEVICES ADJACENT TO WET AREAS SHALL BE GFCI PER NEC REQUIREMENTS.
- ALL WOOD BLOCKING AND PLYWOOD IN EXTERIOR WALLS, PARAPETS, AND ROOF CONSTRUCTION SHALL BE EXTERIOR (PRESSURE) AND FIRE RETARDANT-TREATED (FRTW). ALL INTERIOR PLYWOOD SHALL BE FIRE RETARDANT-TREATED (FRTW). ONLY INTERIOR MISCELLANEOUS WOOD BLOCKING SHALL BE ALLOWED TO BE NON FIRE RETARDANT TREATED AND INTERIOR WOOD BLOCKING ADJACENT TO CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
- WHERE MECHANICAL AND ELECTRICAL DEVICES AND PARTS ARE CONCEALED AND REQUIRE ACCESS, PROVIDE ACCESS DOORS AND FRAMES PER SPECIFICATIONS. FIRE RATED ASSEMBLIES SHALL BE MAINTAINED.
- TYPICAL AT EXPOSED SIDES OF CONCRETE COLUMNS UNLESS OTHERWISE NOTED - PROVIDE 5/8" GYPSUM BOARD COVER 1 1/2" METAL STUDS AT 16" O.C. AND EXTEND ABOVE CEILING.
- ALL GYPSUM BD. FINISH FACES OF DIFFERING SUBSTRATES (i.e. 1 1/2" MTL. FURRING ADJACENT TO 3 5/8" METAL STUDS) SHALL ALIGN.
- REFER TO A9 SHEETS FOR ENLARGED GUESTROOM INFORMATION.
- FINAL ROOM NAMES AND SIGNAGE SHALL BE CONFIRMED BY OWNER PRIOR TO PURCHASE AND INSTALLATION.

HOTEL INFORMATION					
BUILDING SF:	FIRST FLOOR SF:	18,816 SF	UPPER FLOOR SF:	18,816 SF	
	TOTAL SF:	75,264 SF			
BUILDING INFORMATION					
NUMBER OF FLOORS:	4 FLOORS				
NUMBER OF GUESTROOMS:	109				
AMENITIES					
INDOOR POOL					
OUTDOOR LOUNGE					
FITNESS					
CORPORATE OFFICE					
GUESTROOM MIX					
FLOOR	1	2	3	4	TOTAL
QQ	6	20	19	20	65
K	11	11	11	11	44
TOTAL GUESTROOMS					109

GENERAL FLOOR PLAN SYMBOLS	
(6)	KEYNOTE TAG - REFERENCE KEYNOTE SCHEDULE
(101)	DOOR TAG - REFERENCE DOOR SCHEDULE A15.00
(SF-00)	STOREFRONT TAG - REFERENCE WINDOW SCHEDULE A16.00
(A)	WINDOW TAG - REFERENCE WINDOW SCHEDULE A16.00
(A)	PARTITION TAG - REFERENCE PARTITION SCHEDULE A8.00
(A)	ROOM ADA SYMBOL
(A)	ROOM HEARING IMPAIRED SYMBOL
(CR)	CARD READER
(FE)	FIRE EXTINGUISHER

**LIVSMART STUDIOS**  
**MARQUEE HOSPITALITY**  
 10000 N POLO DR  
 KANSAS CITY, MO 64153  
 PROJECT # 00000

ARCHITECT  
 D. HAYES HINKLE  
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SHEET NAME  
 02 DIMENSION PLAN  
 SHEET NUMBER  
**A1.02**





**1 EAST ELEVATION**  
 1/8" = 1'-0"



**2 WEST ELEVATION**  
 1/8" = 1'-0"

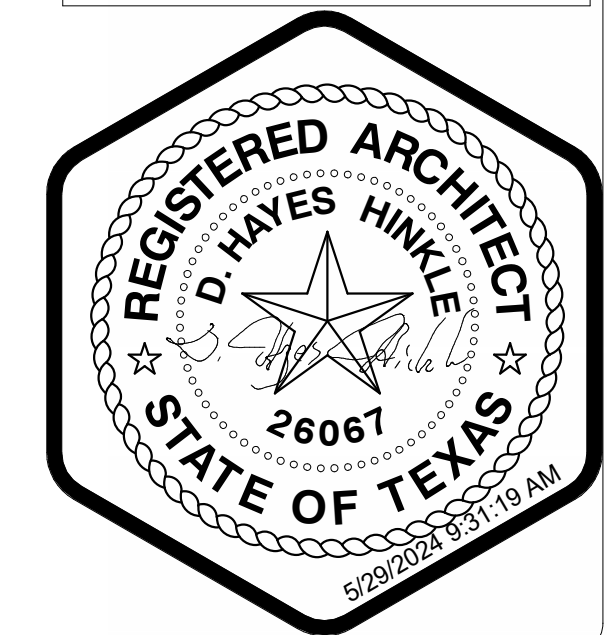
MATERIAL CALLOUTS	ADDITIONAL NOTES:	ELEVATION KEYNOTES
<b>B-1</b> DARK BRICK - KING SIZE ACME MANGANESE IRONSPOT OR SIMILAR	<ul style="list-style-type: none"> <li>ALL SIGNAGE SUBJECT TO BUILDING INSPECTION DEPARTMENT APPROVAL.</li> <li>MECHANICAL UNITS SHALL BE SCREENED IN ACCORDANCE WITH LOCAL CITY AND ZONING ORDINANCES.</li> <li>UTILITY BOXES AND CONDUIT SHALL BE PAINTED TO MATCH BUILDING COLOR.</li> <li>KING SIZE, FACE BRICK, WITH 3/8" CONCAVE GROUT JOINT-MORTAR TO BE MATCHED TO GROUT.</li> <li>CONTRACTOR TO ENSURE METAL PANELS ARE INSTALLED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATION.</li> <li>SIGN DESIGNED AND FABRICATED BY APPROVED VENDOR TO MEET BRAND STANDARDS. FOR LOCATION ONLY.</li> <li>ALL UTILITY BOXES AND METERS SHALL BE PAINTED TO MATCH SURROUNDING BUILDING FACADE.</li> <li>FINAL SIGN DESIGN TO BE DRAFTER BY THIRD PARTY CONTRACTOR TO ENSURE FINAL SIGN PACKAGE IS SUBMITTED APPROVED BY THE BRAND.</li> </ul> 38% TRANSPARENCY ON 1ST FLOOR > 33% PARKWAY REQUIREMENTS	
<b>EF-1</b> DARK COLOR EIFS		
<b>EF-2</b> GREY COLOR EIFS		
<b>EF-3</b> WHITE EIFS		
<b>EF-4</b> TAUPE COLOR EIFS		
<b>NH-1</b> NICHHA VINTAGE WOOD CEDAR OR SIMILAR		
<b>LF-1</b> LOUVER FINISH - DARK BRONZE TO MATCH STOREFRONT		
<b>AF-1</b> ALUMINUM PARAPET FLASHING TO MATCH STOREFRONT		
<b>GL</b> EXTERIOR WINDOWS: STOREFRONT WINDOW SYSTEM		
<b>SF</b> STOREFRONT - KAWNEER - "DARK BRONZE # 40"		
<b>SP</b> SPANDREL		

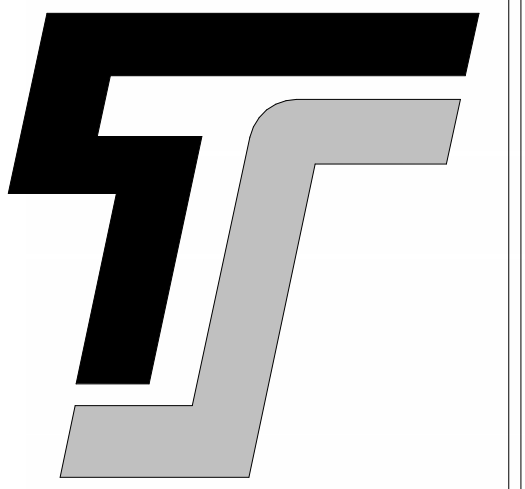
**LIVSMART STUDIOS**  
**MARQUEE HOSPITALITY**  
 10000 N POLO DR  
 KANSAS CITY, MO 64153  
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ARCHITECT  
 D. HAYES HINKLE  
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 REVIEW

#	Revision	Date

SHEET NAME  
 BUILDING ELEVATIONS  
 SHEET NUMBER  
**A5.01**





**TYPE-SIX**

**TYPE-SIX DEVELOPMENT SERVICES, LLC**  
 910 SOUTH MAIN STREET #150  
 GRAPEVINE, TEXAS 76054  
 972.677.9075

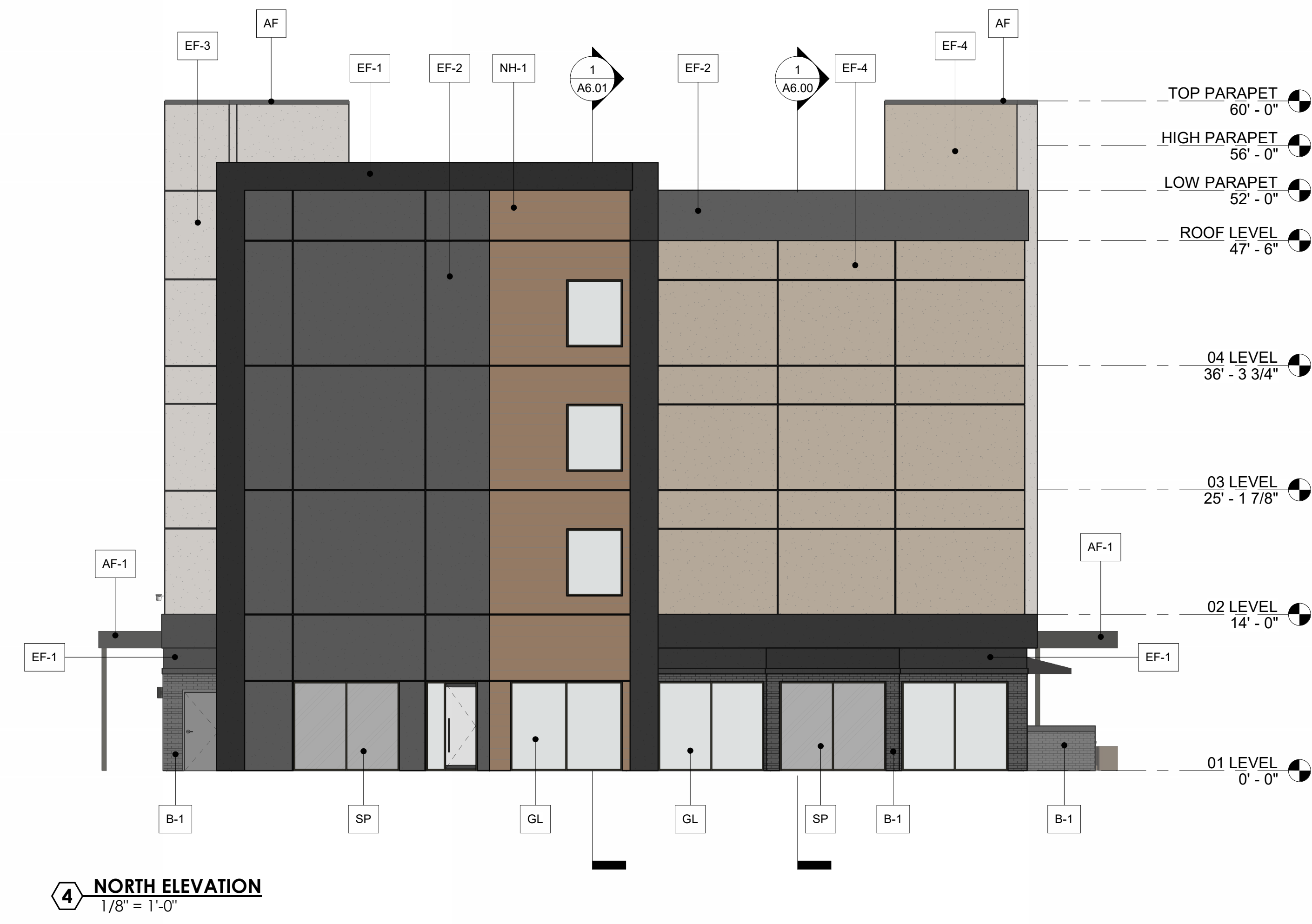
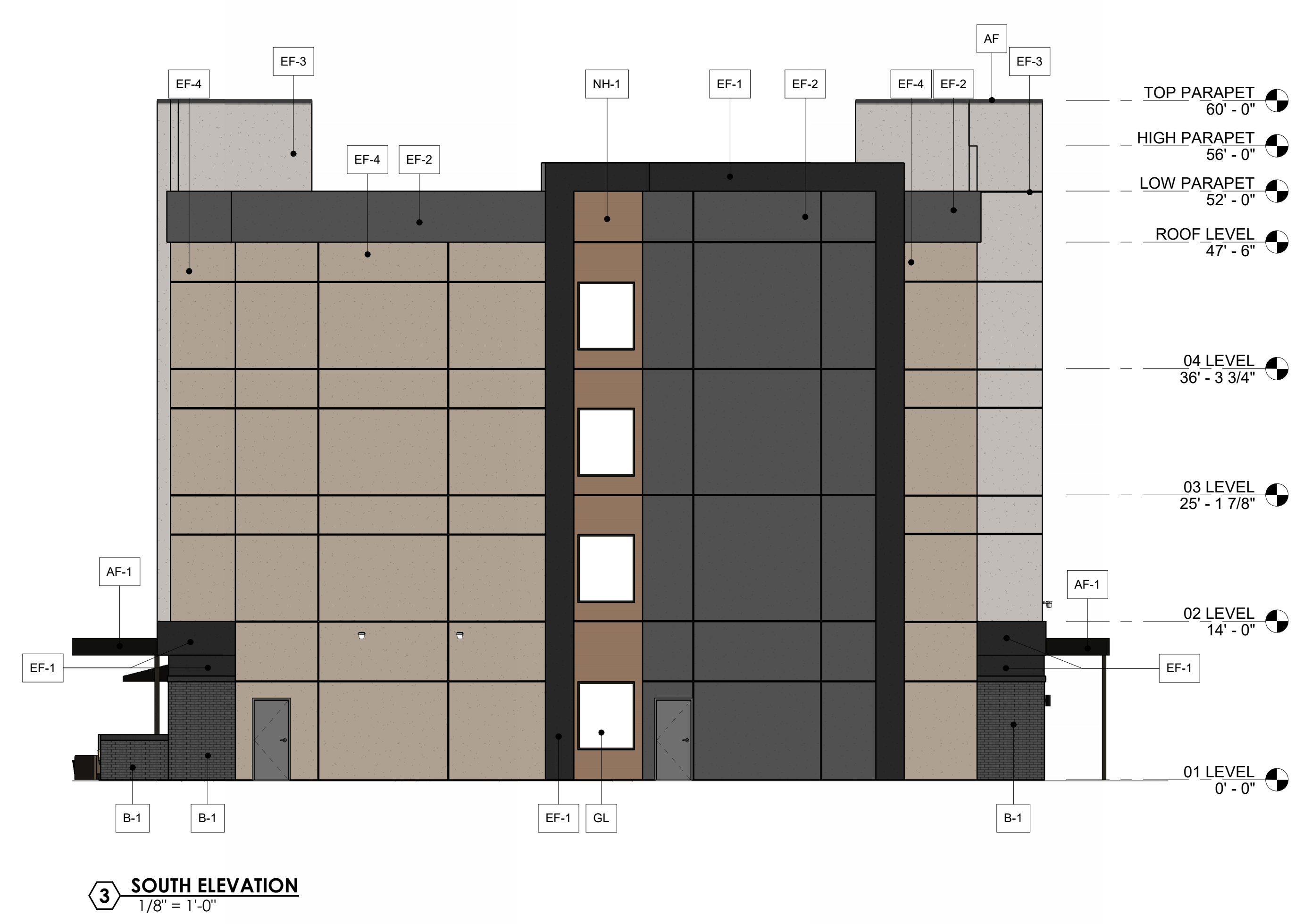
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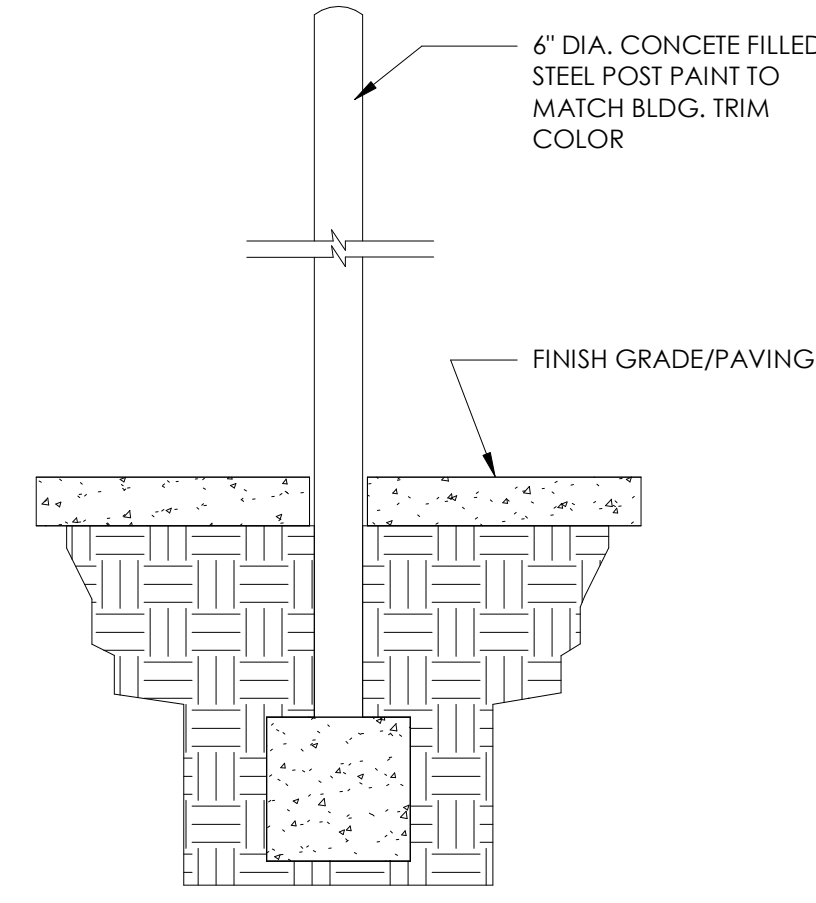
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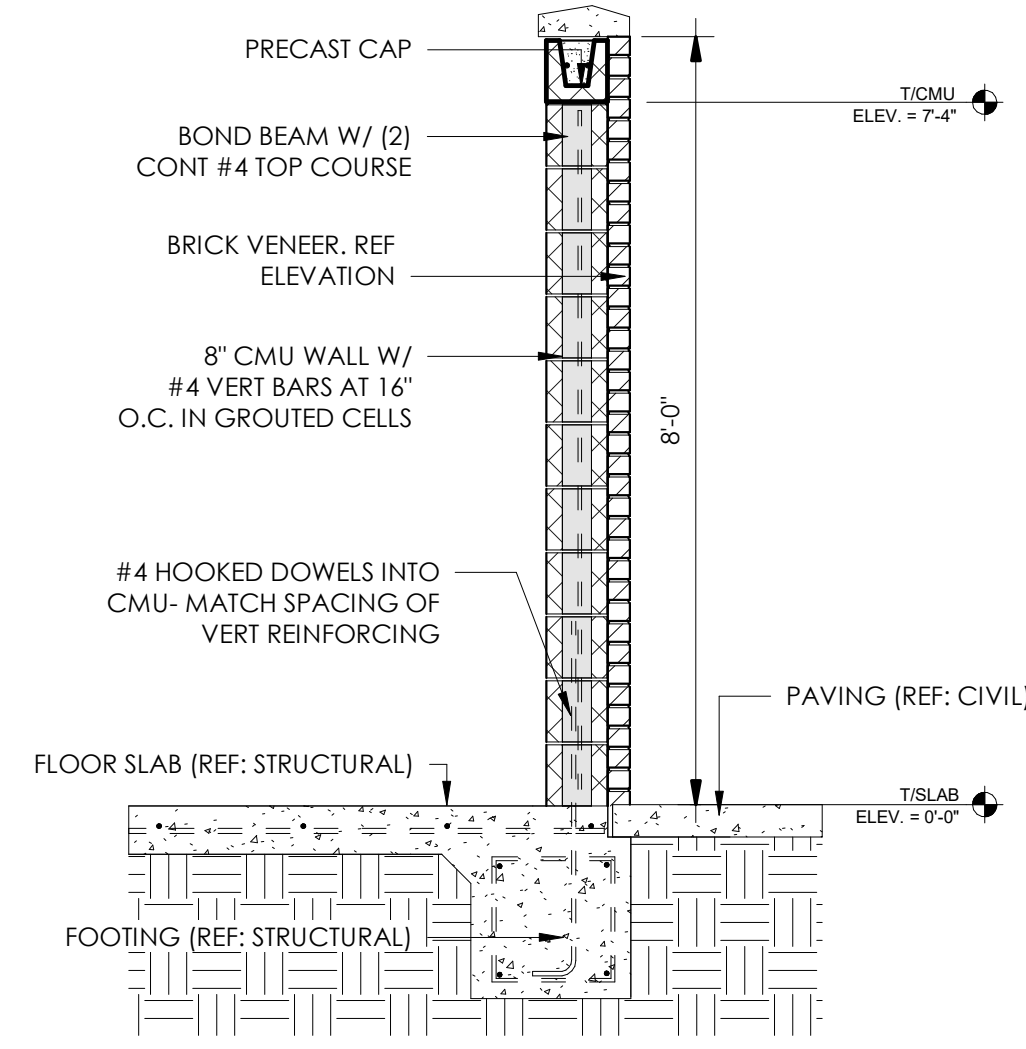
SHEET NUMBER  
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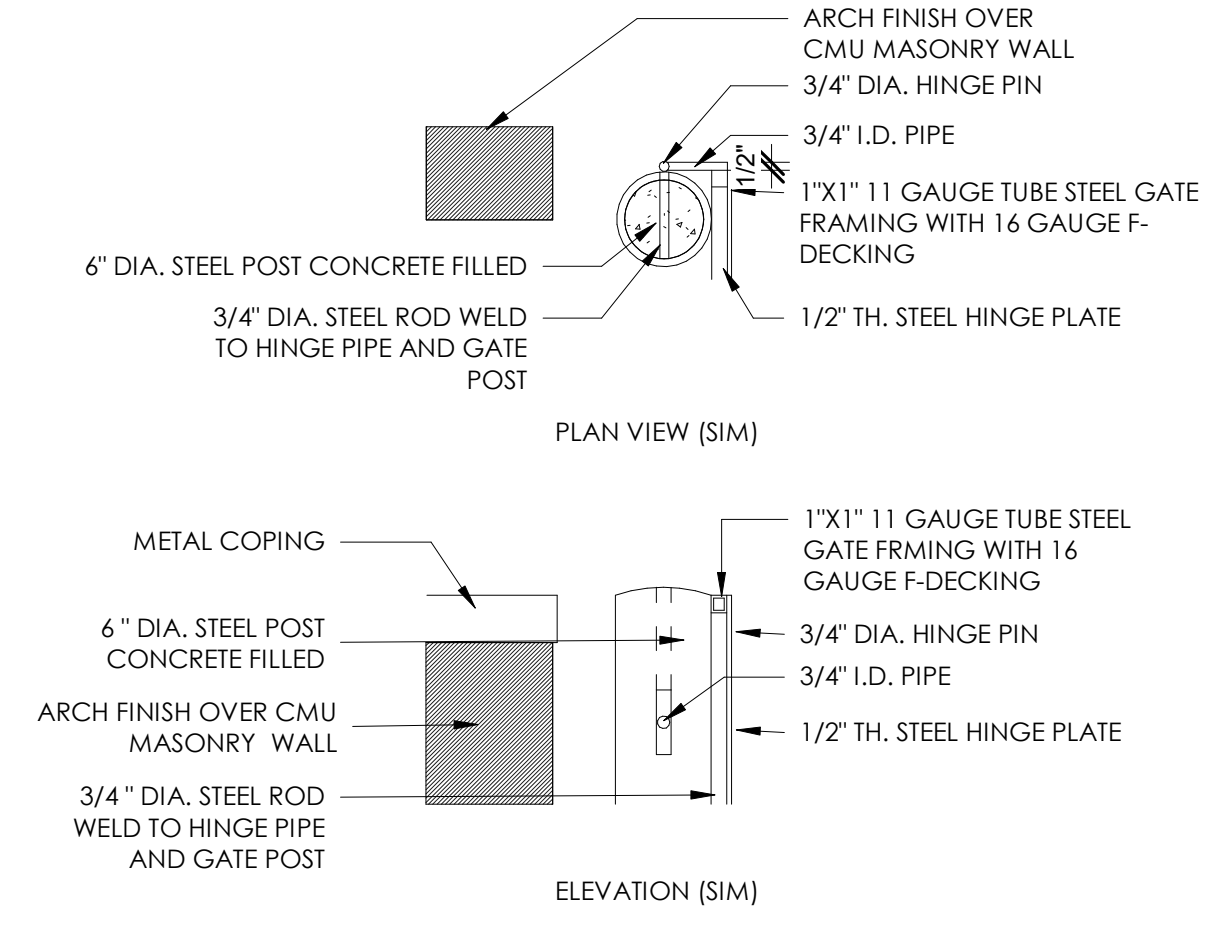
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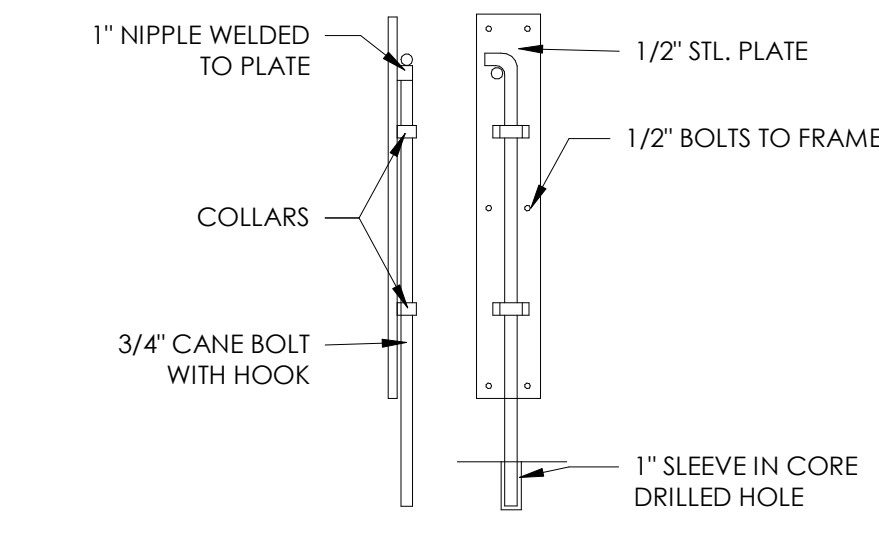
**1 BOLLARD DETAIL**  
1/2" = 1'-0"



**9 DUMPSTER ENCLOSURE SECTION**  
1/2" = 1'-0"

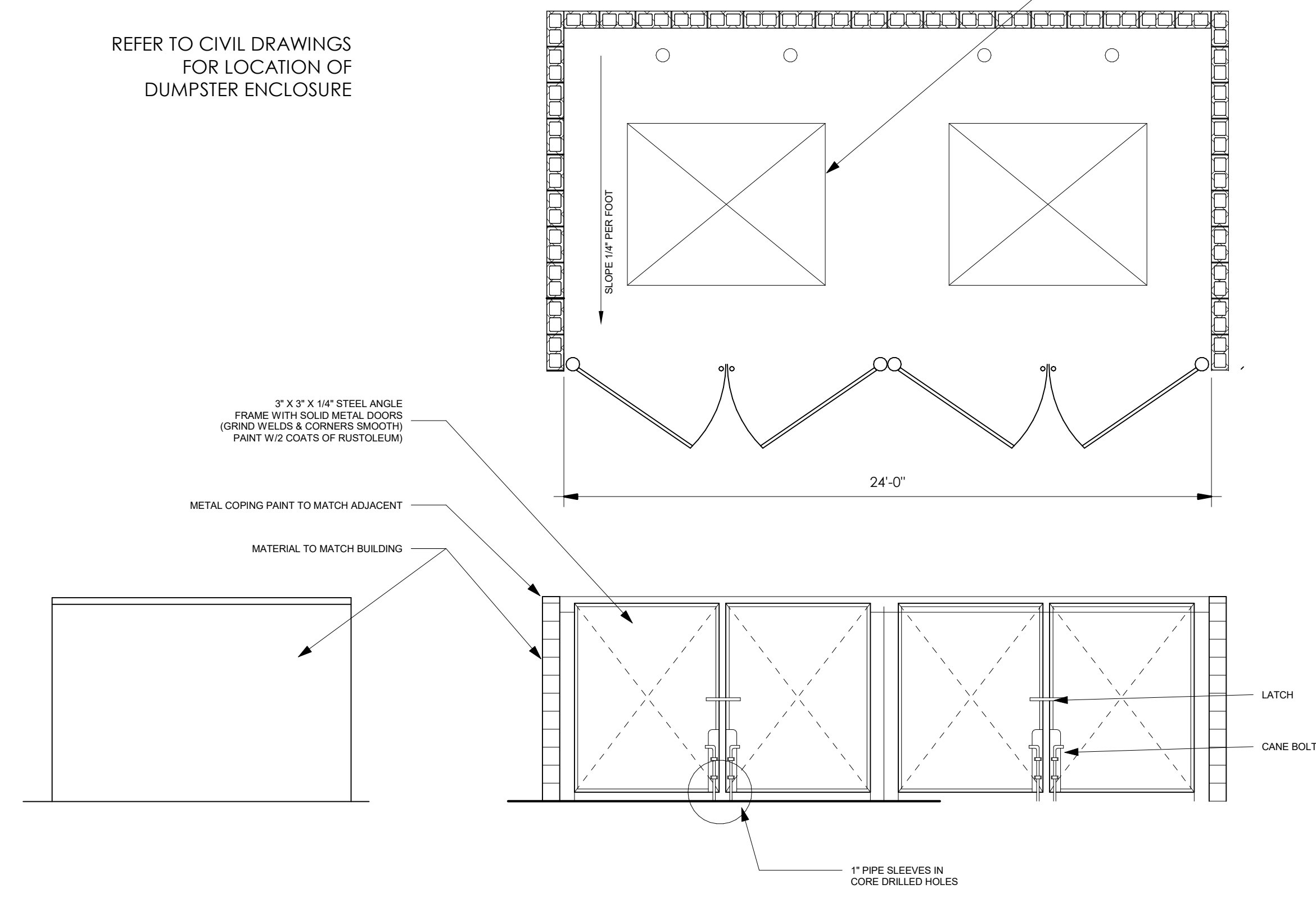


**4 DUMPSTER GATE HINGE**  
1" = 1'-0"



**2 CANE BOLT**  
1" = 1'-0"

REFER TO CIVIL DRAWINGS FOR LOCATION OF DUMPSTER ENCLOSURE



**3 DUMPSTER ENCLOSURE**  
1/4" = 1'-0"

**KANSAS CITY MISSOURI**

**City Plan Commission**  
Recommends Approval with Conditions  
of Case No. **CD-CPC-2024-00019** on **06/18/2024**

*Diane Binkley*  
Diane Binkley, ACP  
Secretary of the City Plan Commission



**TYPE-SIX DEVELOPMENT SERVICES, LLC**  
910 SOUTH MAIN STREET #150  
GRAPEVINE, TEXAS 76054  
972.677.9075

**LIVSMART STUDIOS**  
**MARQUEE HOSPITALITY**  
10000 N POLO DR  
KANSAS CITY, MO 64153  
PROJECT # 00000

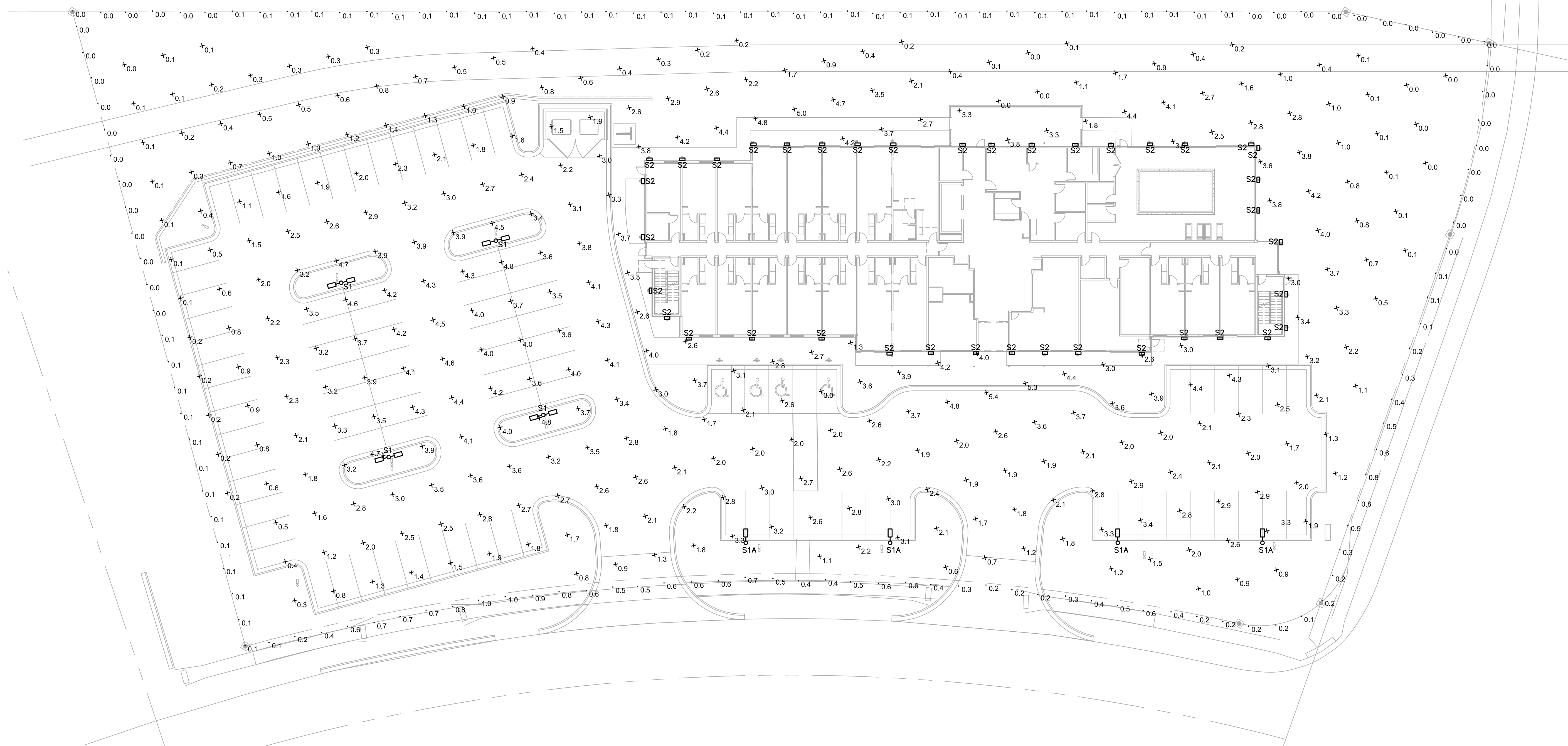
ARCHITECT
D. HAYES HINKLE
ISSUE DATE
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SHEET NAME  
SITE ELEMENTS

SHEET NUMBER  
**A0.03**





**1 SITE PLAN - PHOTOMETRICS**  
 SCALE: 1" = 20'-0"

LIGHTING SCHEDULE						
TYPE	DESCRIPTION	VOLTAGE	LAMP		FIXTURE	
			NO.	TYPE	MOUNTING	MANUFACTURER/ CAT. #
S1	LED POLE MOUNTED SITE LIGHT	120	1	104W	POLE	LITHONIA
				LED	20'	DSX1-LED-P3-40K-80CRI-T2M-XXX-XXS-XX
S1A	LED POLE MOUNTED SITE LIGHT	120	1	104W	POLE	LITHONIA
				LED	20'	DSX1-LED-P3-40K-80CRI-T4M-MVOLT-XX-XXHS-XX
S2	LED BUILDING MOUNTED SITE LIGHT	120	1		SURFACE	LITHONIA
				LED	13'	DSXW1-LED-10C-700-40K-TFTM-MVOLT-XX-XXS-XX

**GENERAL NOTES**

- ALL REQUESTS FOR SUBSTITUTIONS/ALTERNATES MUST BE SUBMITTED TO ENGINEER 7 DAYS PRIOR TO BID FOR APPROVAL. ALL SUBMISSION SHALL INCLUDE DETAILED CUT SHEETS AND PERFORMANCE DATA FOR CONSIDERATION.
- CONTRACTOR MUST SUBMIT LAMPS AND BALLAST WITH FIXTURE SUBMITTALS.
- LIGHTING PACKAGE MUST BE ENERGY STAR LISTED FIXTURES AND/OR LAMPS

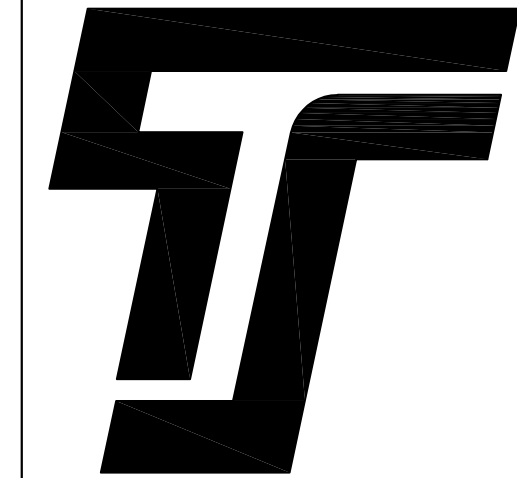
**LIVSMART STUDIOS**  
**MARQUEE HOSPITALITY**  
 10000 N POLO DR  
 KANSAS CITY, MO 64153  
**PROJECT # 23028**

ARCHITECT  
 D. HAYES HINKLE  
 ISSUE DATE  
 17 MAY 2024  
 ISSUED FOR  
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SHEET NAME  
 SITE PLAN  
 PHOTOMETRICS  
 SHEET NUMBER  
**PH1.01**





TYPE-SIX

TYPE-SIX DEVELOPMENT SERVICES, LLC
910 SOUTH MAIN STREET #150
GRAPEVINE, TEXAS 76054
972.677.9075

Introduction

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with the environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficiency, long-life luminaire.

The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in an area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.



Specifications

EPAs: 0.69 ft (0.91 m)
Length: 14.25" (36.81 cm)
Height H1: 7.68" (19.51 cm)
Height H2: 2.23" (5.66 cm)
Weight: 34 lbs (15.4 kg)

Ordering Information

Table with columns: Series, LED, Color Temperature, Color Rendering Index, Distribution, Voltage, Mounting. Includes example: DSX1 LED P7 40K 70CM T3M MVOLT SPA NLTAR2 PIRHN DBX0D.

Control options

Table with columns: Control options, Other options, Finish choice. Lists various accessories like motion sensors, dimming, and mounting options.

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is intended to be representative of configurations shown within the brackets defined within LM-79. Contact factory for performance data on any configurations not shown here.

Table with columns: Temperature, System Watt, LED Count, Beam Spread (deg), Distribution Type, and Lumen Output (lm).

Projected LED Lumen Maintenance

See table for projected lumen maintenance percentages for the luminaire rated in a 25°C ambient. Based on 100,000 hours of LED testing based per IESNA LM-80-08 as presented per IESNA TM-21-11.

FAO Dimming Settings

Table with columns: LED Module, % Voltage, % Lumen Output, % Power, % Life, % THD.

Motion Sensor Default Settings

Table with columns: Option, Detection Distance, Sensitivity, Delay Time, Trip-up Time, Delay-down Time.

Electrical Load

Table with columns: Voltage, Current, Power, and Efficiency for various configurations.

Projected LED Lumen Maintenance

See table for projected lumen maintenance percentages for the luminaire rated in a 25°C ambient. Based on 100,000 hours of LED testing based per IESNA LM-80-08 as presented per IESNA TM-21-11.

FAO Dimming Settings

Table with columns: LED Module, % Voltage, % Lumen Output, % Power, % Life, % THD.

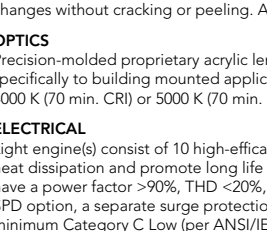
Motion Sensor Default Settings

Table with columns: Option, Detection Distance, Sensitivity, Delay Time, Trip-up Time, Delay-down Time.

Photometric Diagrams



Options and Accessories



Features & Specifications

Features include: 10-year warranty, long life and easy-to-install design, 10-year warranty, 10-year warranty, 10-year warranty.

Installation

Includes universal mounting bracket installed securely to any 4" round or square outlet box for quick and easy installation.

Warranty

10-year warranty on LED components, 5-year warranty on non-LED components.

Accessories

Table listing various accessories like shields, sensors, and diffusers.

DSX1 LED Rev. 1/18/23

Ordering Information

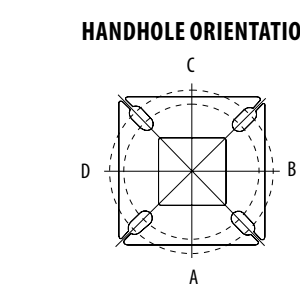
Accessories

Notes: 1. Related accessories available with packages P10, P11, P12 and P13. Must be combined with option L10 or L15.

Shield Accessories



Drilling



Tenon Mounting Splitter

Table with columns: Mounting Option, Tenon Size, and Dimensions.

DSX1 Area Luminaire - EPA

Table with columns: Feature, Mounting Type, and Dimensions.

Performance Data

Lumen Output

Table with columns: Temperature, System Watt, LED Count, Beam Spread (deg), Distribution Type, and Lumen Output (lm).

Projected LED Lumen Maintenance

See table for projected lumen maintenance percentages for the luminaire rated in a 25°C ambient. Based on 100,000 hours of LED testing based per IESNA LM-80-08 as presented per IESNA TM-21-11.

FAO Dimming Settings

Table with columns: LED Module, % Voltage, % Lumen Output, % Power, % Life, % THD.

Motion Sensor Default Settings

Table with columns: Option, Detection Distance, Sensitivity, Delay Time, Trip-up Time, Delay-down Time.

Photometric Diagrams



Options and Accessories



Features & Specifications

Features include: 10-year warranty, long life and easy-to-install design, 10-year warranty, 10-year warranty, 10-year warranty.

Installation

Includes universal mounting bracket installed securely to any 4" round or square outlet box for quick and easy installation.

Warranty

10-year warranty on LED components, 5-year warranty on non-LED components.

Accessories

Table listing various accessories like shields, sensors, and diffusers.

DSX1 LED Rev. 1/18/23



Specifications

Depth: 13.3/4" (34.0 cm)
Weight: 12 lbs (5.4 kg)
Height: 6.3/8" (16.2 cm)

Ordering Information

Table with columns: Series, LED, Beam Spread, Color Temperature, Distribution, Voltage, Mounting. Includes example: DSXW1 LED 20C 1000 40K T3M MVOLT DBDXT0.

Control options

Table with columns: Control options, Other options, Finish choice. Lists various accessories like motion sensors, dimming, and mounting options.

Accessories

Table listing various accessories like shields, sensors, and diffusers.

DSXW1 LED Rev. 1/18/23

City Plan Commission Recommends Approval with Conditions
of Case No. CD-CPC-2024-00019 on 06/18/2024
Diane Binkkley, AIA
Secretary of the City Plan Commission

LIVSMART STUDIOS
MARQUEE HOSPITALITY
10000 N POLO DR
KANSAS CITY, MO 64153
PROJECT # 23028

ARCHITECT
D. HAYES HINKLE
ISSUE DATE
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SHEET NAME
LIGHT FIXTURE DETAILS
SHEET NUMBER
PH1.02

REGISTERED ARCHITECT
D. HAYES HINKLE
STATE OF TEXAS
3 CONSULTING ENGINEERS
VIGILANT - VIABLE - VIRTUOUS
VS PROJECT #: 24010