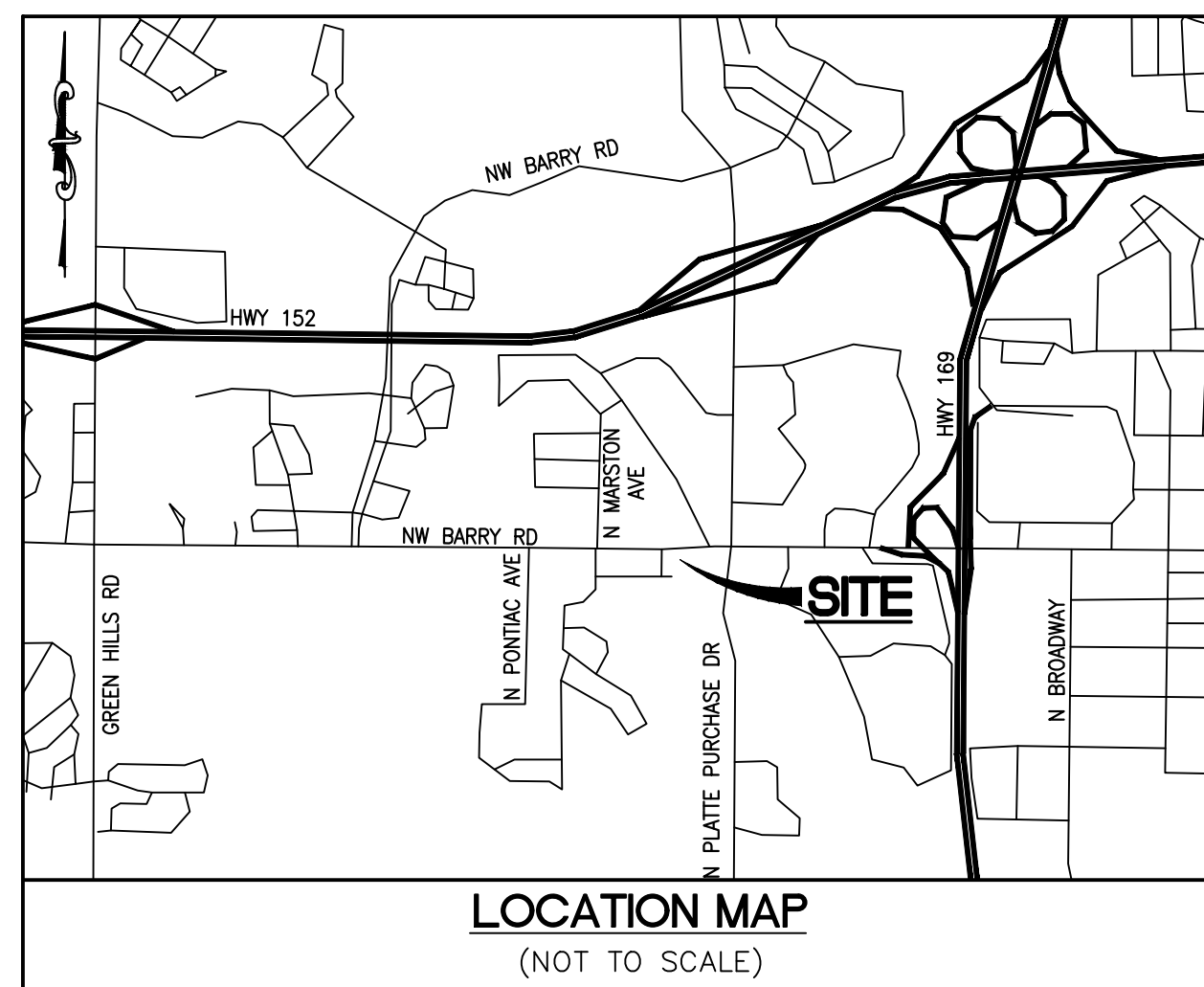


VIVA BENE - AVENUE

A TRACT OF LAND IN THE FRACTIONAL SOUTHWEST QUARTER
OF SECTION 10, TOWNSHIP 51 NORTH, RANGE 33 WEST
CITY OF KANSAS CITY, PLATTE COUNTY, MISSOURI

DEVELOPMENT PLAN



PERTINENT DATA

SITE ADDRESS = 1801 NW BARRY ROAD
KANSAS CITY, MO 64151
PARCEL ID = 231808
FIRE DISTRICT = KANSAS CITY FIRE DEPARTMENT
FEMA MAP PANEL = 29095C0126G, DATE: JAN 20, 2017
GROSS SITE AREA = 6.394 AC.

UTILITIES

SEWER SERVICE CITY OF KANSAS CITY SEWER
4800 E 63RD STREET
KANSAS CITY, MO 64130
CONTACT: ---
PH. 816.513.1313 OR 311

FIRE DISTRICT FIRE DEPARTMENT
CITY OF KANSAS CITY, MO.
635 WOODLAND AVE. SUITE 2103
KANSAS CITY, MO 64106
CONTACT: MIKE SCHROEDER
PH. 816.513.4604

WATER SERVICE CITY OF KANSAS CITY SEWER
4800 E 63RD STREET
KANSAS CITY, MO 64130
CONTACT: ---
PH. 816.513.1313 OR 311

ELECTRIC SERVICE EVERGY
1200 MAIN ST
KANSAS CITY, MO 64105
CONTACT: ---
PH. 888.471.5275

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DEVELOPMENT NOTES

- SITE ACREAGE = 6.394 AC.
EXISTING ZONING = B3-2
PROPOSED ZONING = B3-2
EXISTING USE = VACANT/AGRICULTURAL
PROPOSED USE = ELDERLY HOUSING/MEDICAL OFFICES
CURRENT OWNERS = PLATTE PURCHASE PLAZA LLC
DEVELOPER = AVENUE DEVELOPMENT, LLC
- SILTATION CONTROL SHALL BE INSTALLED AND PLACED PER CITY OF KANSAS CITY STANDARDS.
 - AS DETERMINED THROUGH GRAPHIC PLOTTING ONLY, SUBJECT TRACT FALLS IN ZONE X, AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN PER THE FEDERAL EMERGENCY MANAGEMENT AGENCY AND FLOOD INSURANCE RATE MAP FOR PLATTE COUNTY, MISSOURI AND INCORPORATED AREAS, PANEL 126 OF 625, MAP NUMBER 29095C0126G, EFFECTIVE DATE OF JANUARY 20, 2017.
 - UNDERGROUND UTILITIES AND FACILITIES HAVE BEEN SHOWN BASED ON RECORD DRAWINGS AND VISIBLE EVIDENCE FOUND. NO WARRANTY IS MADE REGARDING THE COMPLETENESS OR ACCURACY OF SUCH INFORMATION. TO DETERMINE THE EXACT LOCATION OF UNDERGROUND FACILITIES AND UTILITIES, AND PRESERVE THEM FROM DAMAGE, CALL MISSOURI ONE CALL (1-800-DIG-RITE) FOR UTILITY LOCATIONS. CONTRACTORS TO PROVIDE THREE DAYS NOTICE. THE CONTRACTOR MUST COMPLY WITH ALL UTILITY LAWS AND PAY ANY AND ALL DAMAGES ASSOCIATED WITH HIS FAILURE TO EXACTLY LOCATE AND PRESERVE UNDERGROUND FACILITIES AND UTILITIES.
 - ALL UTILITIES SHALL BE INSTALLED UNDERGROUND.
 - THE DEVELOPER WILL BE REQUIRED TO INSTALL THE NECESSARY SEWER LINES, WATER LINES, FIRE HYDRANTS AND DOMESTIC WATER LINES.
 - DETENTION APPEARS TO BE PROVIDED PER THE PLATTE PURCHASE PLAZA MACRO DRAINAGE STUDY IN THE EXISTING BASIN TO THE SOUTH WEST OF THE SITE. THE EXISTING BASIN WILL BE ANALYZED FOR REMAINING CAPACITY AND IF REQUIRED, MODIFICATIONS WILL BE PERFORMED ACCORDINGLY. STORM WATER QUALITY WILL BE PROVIDED VIA AN ONSITE BIORETENTION BASIN, PERVIOUS PAVEMENT, PROPRIETARY DEVICE OR COMBINATION THEREOF AND SPECIFIED IN A MICRO DRAINAGE REPORT PER CITY CODE.
 - BACKFILL PER GEOTECHNICAL ENGINEER RECOMMENDATIONS.
 - SETBACKS: FRONT YARD BUILDING SETBACK: NONE
SIDE YARD BUILDING SETBACK: NONE
REAR YARD BUILDING SETBACK: NONE
 - ALL SIGNAGE SHALL BE BY A SEPARATE REVIEW AND PERMIT PROCESS.
 - ALL NATURAL FEATURES AND WATER COURSES SHALL BE LEFT UNDISTURBED.
 - LIGHTING SHALL BE IN ACCORDANCE WITH THE CITY OF KANSAS CITY.
 - REFER TO PHOTO METRIC PLAN FOR LOCATION OF PARKING LOT LIGHTS.
 - AN AUTOMATIC PERMANENT IRRIGATION SYSTEM SHALL BE INSTALLED TO COVER ALL LANDSCAPED AREAS OF SIGNIFICANT SIZE.
 - THE SITE ADDRESS IS 1801 NW BARRY ROAD, KANSAS CITY, MO.

UTILITY INFORMATION:

UTILITIES SHOWN HAVE BEEN TAKEN FROM AVAILABLE SURVEYS, UTILITY COMPANY MAPS AND PHYSICAL PROPERTY INSPECTION. THE LOCATIONS AND FACILITIES SHALL BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE ADDITIONAL UTILITIES THAT HAVE NOT BEEN SHOWN ON THIS SURVEY. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE LOCATIONS OF ALL UTILITIES PRIOR TO EXCAVATION OR CONSTRUCTION.



City Plan Commission
Recommends Approval with Conditions
of Case No. **CD-CPC-2022-00162** on **11/15/2022**

Joseph Rexwinkle
Joseph Rexwinkle, AICP
Secretary of the Commission

LEGEND

EXISTING	PROPOSED
460 459 +620.15	460 459 621.25 (TOP OF CURB) (FINISH PAVEMENT)
CONTOURS	CONTOURS
SPOT GRADE	SPOT GRADE
TREE LINE	TREE LINE
TREE	TREE
BUSH	BUSH
STORM MANHOLE	STORM MANHOLE
AREA INLET	AREA INLET
CURB INLET	CURB INLET
GRATED INLET	GRATED INLET
FLARED END SECTION	FLARED END SECTION
12" RCP	12" RCP
STORM SEWER	STORM SEWER
GRATED MANHOLE	GRATED MANHOLE
STORM DESIGNATOR	STORM DESIGNATOR
DOWNSPOUT	DOWNSPOUT
DRAINAGE PIPE	DRAINAGE PIPE
SWALE/SLOPE INDICATOR	SWALE/SLOPE INDICATOR
8" VCP	8" VCP
SANITARY MANHOLE	SANITARY MANHOLE
SANITARY SEWER	SANITARY SEWER
CLEAN OUT	CLEAN OUT
SANITARY DESIGNATOR	SANITARY DESIGNATOR
UTILITY POLE	UTILITY POLE
GUY WIRE	GUY WIRE
OVERHEAD UTILITY	OVERHEAD UTILITY
UNDERGROUND ELECTRIC	UNDERGROUND ELECTRIC
ELECTRIC MARKER	ELECTRIC MARKER
ELECTRIC METER	ELECTRIC METER
ELECTRIC BOX	ELECTRIC BOX
ELECTRIC PULL BOX	ELECTRIC PULL BOX
ELECTRIC TRANSFORMER	ELECTRIC TRANSFORMER
ELECTRIC MANHOLE	ELECTRIC MANHOLE
UNDERGROUND TELEPHONE	UNDERGROUND TELEPHONE
FIBER OPTIC MARKER	FIBER OPTIC MARKER
CABLE MARKER	CABLE MARKER
GAS LINE	GAS LINE
GAS VALVE	GAS VALVE
GAS METER	GAS METER
GAS MARKER	GAS MARKER
WATER LINE	WATER LINE
WATER VALVE	WATER VALVE
WATER METER	WATER METER
FIRE HYDRANT	FIRE HYDRANT
SIGN	SIGN
MAIL BOX	MAIL BOX
TEST HOLE	TEST HOLE
LIGHT STANDARD	LIGHT STANDARD
FENCE	FENCE
BOLLARD	BOLLARD
RETAINING WALL	RETAINING WALL
CONCRETE PAVEMENT	CONCRETE PAVEMENT
SILTATION FENCE	SILTATION FENCE
AIR CONDITIONER	AIR CONDITIONER
FLAG POLE	FLAG POLE
MONITORING WELL	MONITORING WELL
PARKING METER	PARKING METER
PLANTER	PLANTER
SPRINKLER CONTROL BOX	SPRINKLER CONTROL BOX
SPRINKLER	SPRINKLER
SPRINKLER VALVE	SPRINKLER VALVE
TRAFFIC CONTROL BOX	TRAFFIC CONTROL BOX
TRAFFIC POLE	TRAFFIC POLE
YARD LIGHT	YARD LIGHT
GUARD RAIL	GUARD RAIL
PROPERTY LINE	PROPERTY LINE
EASEMENT	EASEMENT
SETBACK	SETBACK
INLET PROTECTION	INLET PROTECTION
WATTLE	WATTLE
CHECK DAM	CHECK DAM
USE IN PLACE	(UIP)
TO BE REMOVED	(TBR)
ADJUST TO GRADE	(ATG)
TO BE REMOVED & RELOCATED	(TBR&R)
TYPICAL	(TYP)
NOT TO SCALE	N.T.S.
HIGH POINT IN GRADE	HP
LOW POINT IN GRADE	LP
TOP OF WALL	TW
BOTTOM OF WALL	BW
NOT IN CONTRACT	(NIC)

SITE BENCHMARK INFORMATION

PROJECT: CL-05 MISSOURI DNR GRS ALUMINUM DISK SET IN A 12" DIAMETER CONCRETE BASE.
NAVD88 ELEV = 919.58

SITE BENCHMARK #1: "0" IN OPEN ATOP A FIRE HYDRANT ON THE SOUTH SIDE OF NW BARRY ROAD AS SHOWN ON THE SURVEY.
NAVD88 ELEV = 1012.48

SITE BENCHMARK #2: CUT SQUARE ON SOUTHWEST CORNER OF A CURB INLET ON THE WEST SIDE OF NORTH PLATTE PURCHASE DRIVE AS SHOWN ON THE SURVEY.
NAVD88 ELEV = 991.02

DEVELOPER/OWNER:
AVENUE DEVELOPMENT, LLC
8485 KEYSTONE CROSSING BLVD, STE. 140
INDIANAPOLIS, IN 46240
PHONE: 414-688-8565

THE PROFESSIONAL, WHOSE SIGNATURE AND PERSONAL SEAL APPEAR HEREON, HAS EXAMINED THE DRAWINGS AND SPECIFICATIONS AND HAS FOUND THEM TO BE IN ACCORDANCE WITH THE CITY OF KANSAS CITY STANDARDS AND SPECIFICATIONS. ESTIMATES, REPORTS, OR OTHER DOCUMENTS OF INSTRUMENTS NOT SPECIFICALLY REFERENCED IN THESE DRAWINGS ARE NOT PART OF THESE DRAWINGS. THE PROFESSIONAL IS NOT PROVIDING ANY SERVICES FOR THE PROJECT TO WHICH THIS DRAWING RELATES.

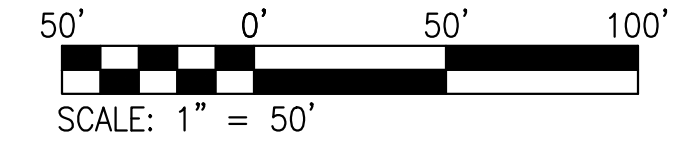
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DATE: 09/30/2022

VIVA BENE - AVENUE
1801 NW BARRY ROAD
KANSAS CITY, MO 64151
COVER SHEET

ST. CHARLES
1520 S. Fifth Street
Suite 307
St. Charles, MO 63033
636.790.3500
636.790.3500 fax
636.790.3500 cell

COLE
CIVIL ENGINEERING / SURVEYING / PLANNING / LANDSCAPE ARCHITECTURE
636.790.3500 cell

DESIGN/CALC BY: LFD
DRAWN BY: MAB
CHECKED BY: KAK
DRAWING SCALE: AS SHOWN
DATE: 8/26/2022
Job Number: 22-0119
Sheet Number: P1.0



NMKS REAL ESTATE INVESTMENTS INC
2829 TOWNSGATE RD, STE 350
WESTLAKE VILLAGE, CA 91361

RISING SUN MASONIC TEMPLE
2000 NW BARRY RD
KANSAS CITY, MO 64154

BATEMAN, DONNA M
7805 NW BRIDLE PARC LANE
PARKVILLE, MO 64152

BATEMAN, ROBERT L
209 NW 73RD ST
GLADSTONE, MO 64118

M-T INVESTMENTS COMPANY
PO BOX 11332
OVERLAND PARK, KS 66207

BT APARTMENT LLC
PO BOX 11332
OVERLAND PARK, KS 66207

PLATTE PURCHASE PLAZA LLC
PO BOX 11332
OVERLAND PARK, KS 66207

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OVERLAND PARK, KS 66207

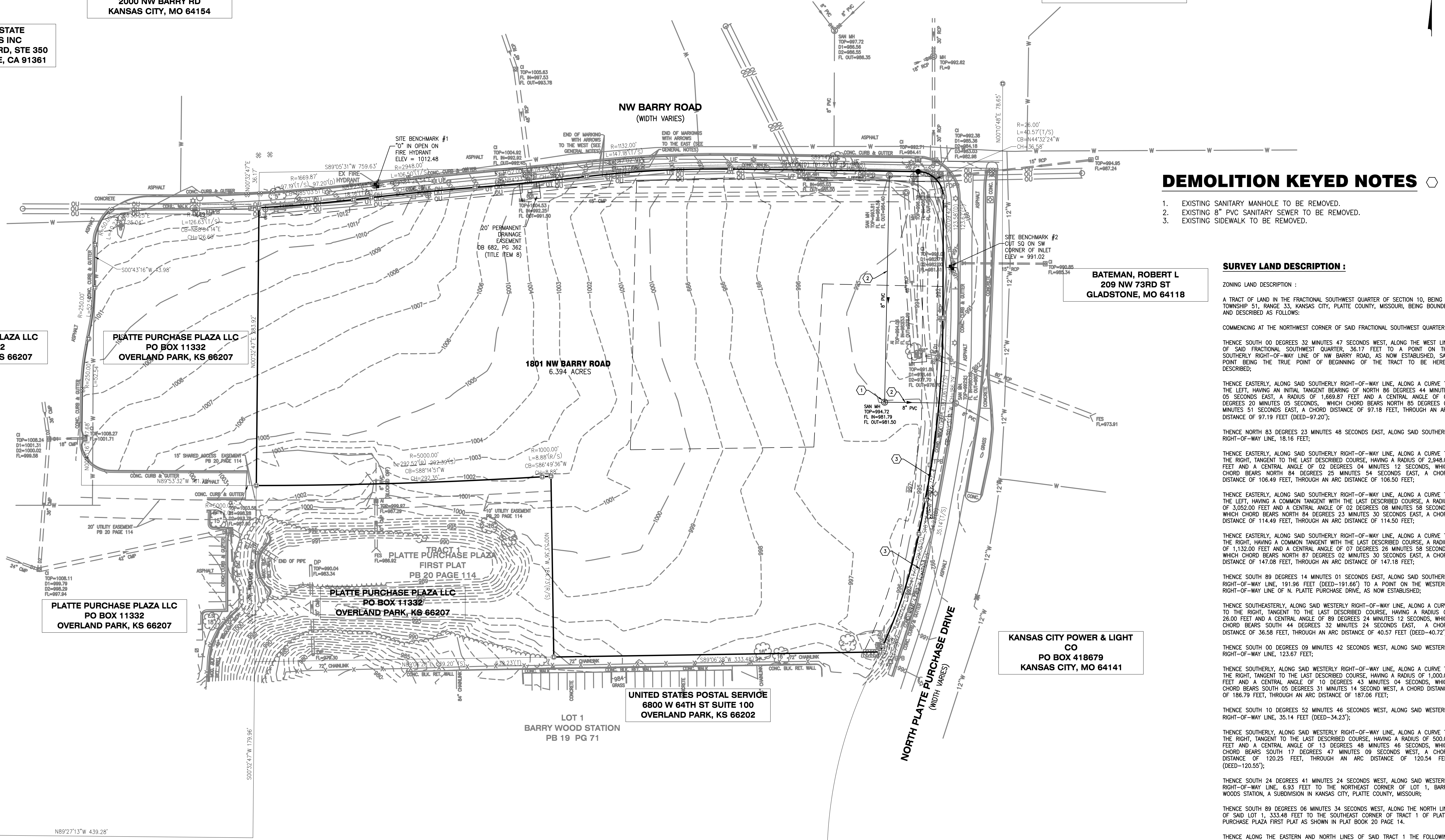
PLATTE PURCHASE PLAZA LLC
PO BOX 11332
OVERLAND PARK, KS 66207

PLATTE PURCHASE PLAZA LLC
PO BOX 11332
OVERLAND PARK, KS 66207

UNITED STATES POSTAL SERVICE
6800 W 64TH ST SUITE 100
OVERLAND PARK, KS 66202

KANSAS CITY POWER & LIGHT CO
PO BOX 418679
KANSAS CITY, MO 64141

EVERGY METRO INC
PO BOX 418679
KANSAS CITY, MO 64141



DEMOLITION KEYED NOTES

- EXISTING SANITARY MANHOLE TO BE REMOVED.
- EXISTING 8" PVC SANITARY SEWER TO BE REMOVED.
- EXISTING SIDEWALK TO BE REMOVED.

SURVEY LAND DESCRIPTION :

ZONING LAND DESCRIPTION :
A TRACT OF LAND IN THE FRACTIONAL SOUTHWEST QUARTER OF SECTION 10, BEING IN TOWNSHIP 51, RANGE 33, KANSAS CITY, PLATTE COUNTY, MISSOURI, BEING BOUNDED AND DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID FRACTIONAL SOUTHWEST QUARTER;
THENCE SOUTH 00 DEGREES 32 MINUTES 47 SECONDS WEST, ALONG THE WEST LINE OF SAID FRACTIONAL SOUTHWEST QUARTER, 36.17 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF NW BARRY ROAD, AS NOW ESTABLISHED, SAID POINT BEING THE TRUE POINT OF BEGINNING OF THE TRACT TO BE HERIN DESCRIBED;

THENCE EASTERLY, ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, ALONG A CURVE TO THE LEFT, HAVING AN INITIAL TANGENT BEARING OF NORTH 86 DEGREES 44 MINUTES 05 SECONDS EAST, A RADIUS OF 1,669.87 FEET AND A CENTRAL ANGLE OF 03 DEGREES 20 MINUTES 05 SECONDS, WHICH CHORD BEARS NORTH 85 DEGREES 03 MINUTES 51 SECONDS EAST, A CHORD DISTANCE OF 97.18 FEET, THROUGH AN ARC DISTANCE OF 97.19 FEET (DEED-97.20');

THENCE NORTH 83 DEGREES 23 MINUTES 48 SECONDS EAST, ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, 18.16 FEET;
THENCE EASTERLY, ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, ALONG A CURVE TO THE RIGHT, TANGENT TO THE LAST DESCRIBED COURSE, HAVING A RADIUS OF 2,948.00 FEET AND A CENTRAL ANGLE OF 02 DEGREES 04 MINUTES 12 SECONDS, WHICH CHORD BEARS NORTH 84 DEGREES 25 MINUTES 54 SECONDS EAST, A CHORD DISTANCE OF 106.49 FEET, THROUGH AN ARC DISTANCE OF 106.50 FEET;

THENCE EASTERLY, ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, ALONG A CURVE TO THE LEFT, HAVING A COMMON TANGENT WITH THE LAST DESCRIBED COURSE, A RADIUS OF 3,052.00 FEET AND A CENTRAL ANGLE OF 02 DEGREES 08 MINUTES 58 SECONDS, WHICH CHORD BEARS NORTH 84 DEGREES 23 MINUTES 30 SECONDS EAST, A CHORD DISTANCE OF 114.49 FEET, THROUGH AN ARC DISTANCE OF 114.50 FEET;

THENCE EASTERLY, ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, ALONG A CURVE TO THE RIGHT, HAVING A COMMON TANGENT WITH THE LAST DESCRIBED COURSE, A RADIUS OF 1,132.00 FEET AND A CENTRAL ANGLE OF 07 DEGREES 28 MINUTES 58 SECONDS, WHICH CHORD BEARS NORTH 87 DEGREES 02 MINUTES 30 SECONDS EAST, A CHORD DISTANCE OF 147.08 FEET, THROUGH AN ARC DISTANCE OF 147.18 FEET;

THENCE SOUTH 89 DEGREES 14 MINUTES 01 SECONDS EAST, ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, 191.96 FEET (DEED-191.66') TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF N. PLATTE PURCHASE DRIVE, AS NOW ESTABLISHED;

THENCE SOUTHEASTERLY, ALONG SAID WESTERLY RIGHT-OF-WAY LINE, ALONG A CURVE TO THE RIGHT, TANGENT TO THE LAST DESCRIBED COURSE, HAVING A RADIUS OF 26.00 FEET AND A CENTRAL ANGLE OF 89 DEGREES 24 MINUTES 12 SECONDS, WHICH CHORD BEARS SOUTH 44 DEGREES 32 MINUTES 24 SECONDS EAST, A CHORD DISTANCE OF 36.58 FEET, THROUGH AN ARC DISTANCE OF 40.57 FEET (DEED-40.72');

THENCE SOUTH 00 DEGREES 09 MINUTES 42 SECONDS WEST, ALONG SAID WESTERLY RIGHT-OF-WAY LINE, 123.67 FEET;

THENCE SOUTHERLY, ALONG SAID WESTERLY RIGHT-OF-WAY LINE, ALONG A CURVE TO THE RIGHT, TANGENT TO THE LAST DESCRIBED COURSE, HAVING A RADIUS OF 1,000.00 FEET AND A CENTRAL ANGLE OF 10 DEGREES 43 MINUTES 04 SECONDS, WHICH CHORD BEARS SOUTH 05 DEGREES 31 MINUTES 14 SECONDS WEST, A CHORD DISTANCE OF 186.79 FEET, THROUGH AN ARC DISTANCE OF 187.06 FEET;

THENCE SOUTH 10 DEGREES 52 MINUTES 46 SECONDS WEST, ALONG SAID WESTERLY RIGHT-OF-WAY LINE, 35.14 FEET (DEED-34.23');

THENCE SOUTHERLY, ALONG SAID WESTERLY RIGHT-OF-WAY LINE, ALONG A CURVE TO THE RIGHT, TANGENT TO THE LAST DESCRIBED COURSE, HAVING A RADIUS OF 500.00 FEET AND A CENTRAL ANGLE OF 13 DEGREES 48 MINUTES 46 SECONDS, WHICH CHORD BEARS SOUTH 17 DEGREES 47 MINUTES 09 SECONDS WEST, A CHORD DISTANCE OF 120.25 FEET, THROUGH AN ARC DISTANCE OF 120.54 FEET (DEED-120.55');

THENCE SOUTH 24 DEGREES 41 MINUTES 24 SECONDS WEST, ALONG SAID WESTERLY RIGHT-OF-WAY LINE, 6.33 FEET TO THE SOUTHEAST CORNER OF LOT 1, BARRY WOODS STATION, A SUBDIVISION IN KANSAS CITY, PLATTE COUNTY, MISSOURI;

THENCE SOUTH 89 DEGREES 06 MINUTES 34 SECONDS WEST, ALONG THE NORTH LINE OF SAID LOT 1, 333.48 FEET TO THE SOUTHEAST CORNER OF TRACT 1 OF PLATTE PURCHASE PLAZA FIRST PLAT AS SHOWN IN PLAT BOOK 20 PAGE 14.
THENCE ALONG THE EASTERN AND NORTH LINES OF SAID TRACT 1 THE FOLLOWING COURSES AND DISTANCES: NORTH 00 DEGREES 53 MINUTES 36 SECONDS WEST, A DISTANCE OF 184.72 FEET; ALONG A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 1,000.00 FEET, WITH A CENTRAL ANGLE 00 DEGREES 30 MINUTES 32 SECONDS, WHICH CHORD BEARS SOUTH 86 DEGREES 49 MINUTES 36 SECONDS WEST, A CHORD DISTANCE OF 6.88 FEET, THROUGH AN ARC DISTANCE OF 6.88 FEET; AND ALONG A REVERSE CURVE TO THE RIGHT HAVING A RADIUS OF 5,000.00 FEET, WITH A CENTRAL ANGLE OF 03 DEGREES 21 MINUTES 02 SECONDS, WHICH CHORD BEARS SOUTH 88 DEGREES 14 MINUTES 51 SECONDS WEST, A CHORD DISTANCE OF 292.35 FEET, THROUGH AN ARC DISTANCE OF 292.39 FEET TO THE EASTERN LINE OF SECTION 9;
THENCE ALONG SAID EASTERN LINE NORTH 00 DEGREES 32 MINUTES 47 SECONDS EAST, A DISTANCE OF 283.92 FEET TO THE POINT BEGINNING

DEVELOPER/OWNER:
AVENUE DEVELOPMENT, LLC
8485 KEYSTONE CROSSING BLVD, STE. 140
INDIANAPOLIS, IN 46240
PHONE: 414-688-8565

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P.E., 2018021213
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VIVA BENE - AVENUE
1801 NW BARRY ROAD
KANSAS CITY, MO 64151

+ ST. CHARLES
1520 S. Fifth Street
Suite 307
St. Charles, MO 63033
636.770.3388
636.770.3388



DESIGN/CALC BY: LFD
DRAWN BY: MAB
CHECKED BY: KAK
DRAWING SCALE: AS SHOWN
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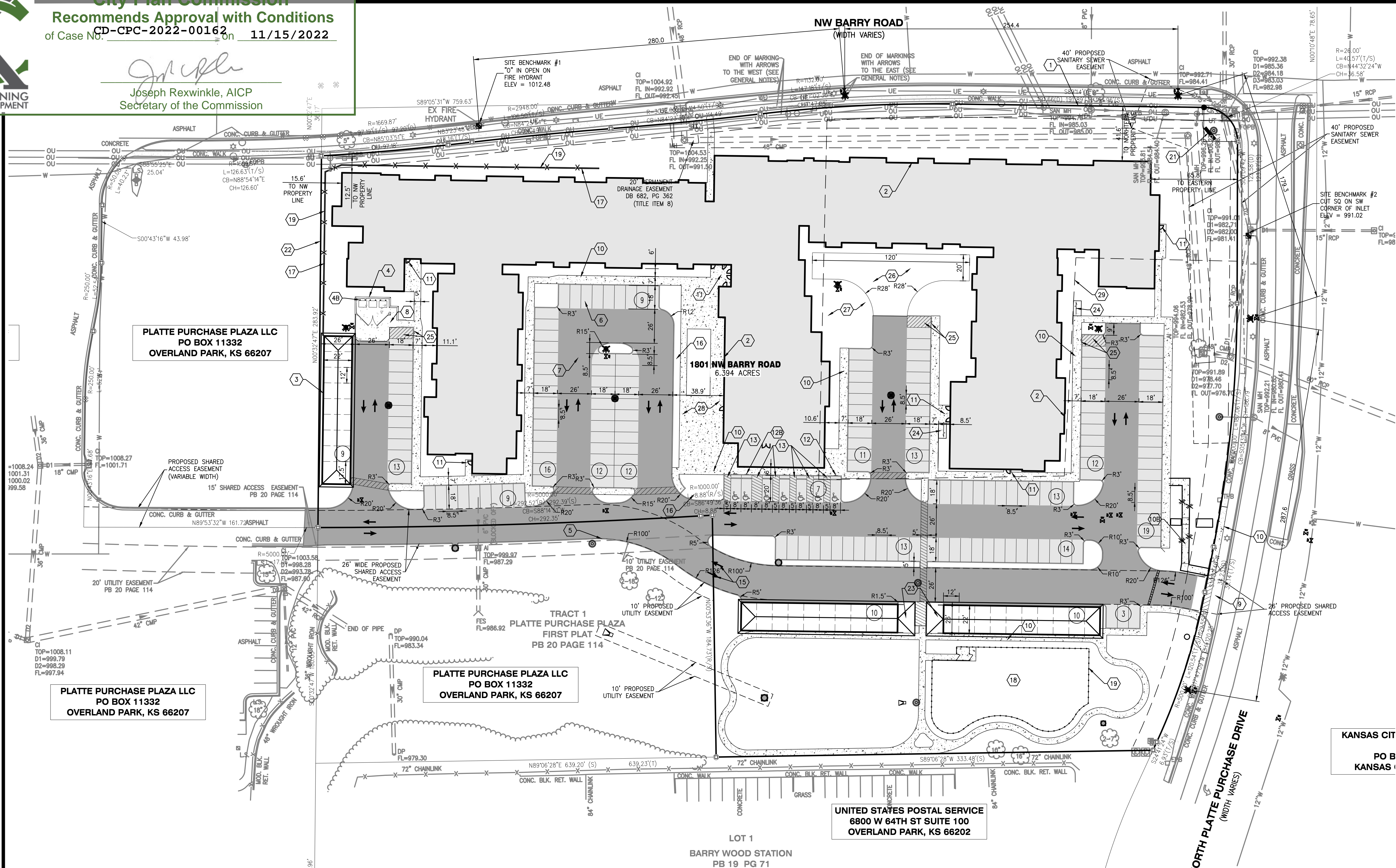
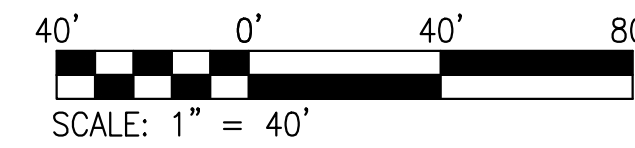
City Plan Commission
Recommends Approval with Conditions
of Case No. CD-CPC-2022-00162 on 11/15/2022

Joseph Rexwinkle
Joseph Rexwinkle, AICP
Secretary of the Commission

USER: Kurt Kuller TAB: P2.0 EXISTING CONDITIONS
DATE: October 1, 2022 - 4:28:34 PM
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Joseph Rexwinkle
 Joseph Rexwinkle, AICP
 Secretary of the Commission



PLATTE PURCHASE PLAZA LLC
 PO BOX 11332
 OVERLAND PARK, KS 66207

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 OVERLAND PARK, KS 66207

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 PO BOX 11332
 OVERLAND PARK, KS 66207

UNITED STATES POSTAL SERVICE
 6800 W 64TH ST SUITE 100
 OVERLAND PARK, KS 66202

KANSAS CITY
PO B
KANSAS CITY

SITE KEYED NOTES

- ALL IMPROVEMENTS ARE PARALLEL AND PERPENDICULAR TO THE NORTHERN PROPERTY LINE (S89°14'01"E) UNLESS DIMENSIONED OTHERWISE.
- NEW BUILDING. REFER TO ARCHITECTURAL PLANS.
- NEW GARAGE. REFER TO ARCHITECTURAL PLANS.
- NEW DUMPSTER ENCLOSURE. REFER TO ARCHITECTURAL PLANS.
- NEW BOLLARDS.
- NEW CURBS
- NEW 6" VERTICAL CONCRETE CURB. REFER TO DETAIL ON SHEET P5.0.
- NEW PAVEMENTS
- NEW ASPHALT PAVEMENT (LIGHT DUTY). REFER TO DETAIL ON SHEET P5.0.
- NEW ASPHALT PAVEMENT (HEAVY DUTY). REFER TO DETAIL ON SHEET P5.0.
- NEW CONCRETE PAVEMENT (HEAVY DUTY). REFER TO DETAIL ON SHEET P5.0.
- NEW CONCRETE APPROACH. PER CITY OF KANSAS CITY STANDARDS.
- NEW SIDEWALKS
- NEW CONCRETE SIDEWALK. REFER TO DETAIL ON SHEET P5.0.
- NEW ACCESSIBLE RAMP AND HANDRAILS. REFER TO ARCHITECTURAL.
- PROPOSED BUILDING POINT OF ENTRY.

- NEW SIGNS**
- NEW ACCESSIBLE PARKING SIGN (TYPICAL OF 7). REFER TO DETAIL ON SHEET P5.0.
 - NEW VAN ACCESSIBLE PARKING SIGN. REFER TO DETAIL ON SHEET P5.0.
- NEW PAVEMENT MARKINGS**
- NEW ACCESSIBLE PARKING STRIPING (BLUE). REFER TO DETAIL ON SHEET P5.0.
 - NEW PARKING LOT STRIPING (WHITE).
 - NEW TRAFFIC FLOW ARROWS.
- NEW MISCELLANEOUS ITEMS**
- NEW LANDSCAPE AREA. REFER TO LANDSCAPING PLAN.
 - NEW RETAINING WALL. REFER TO DETAIL ON SHEET P5.0.
 - NEW DOG PARK.
 - NEW BLACK METAL FENCE. REFER TO DETAIL ON P6.0.
 - NEW LIGHT. REFER TO PHOTOMETRIC PLANS.
 - NEW MONUMENT SIGN BY SEPARATE PERMIT.
 - EXISTING PROPERTY LINE.
 - NEW COVERED BIKE RACK (30 SPACES). REFER TO ARCHITECTURAL PLANS.
 - NEW BIKE RACK. REFER TO DETAIL ON P6.0.
 - NEW STRIPED TURN AROUND WITH "NO PARKING" SIGN.
 - BOCHE BALL COURT AND PERMEABLE GRASS PAVERS. (PAVERS SHALL SUPPORT KANSAS CITY FIRE APARATUS WITH GROSS AXLE WEIGHT OF 85,000 LBS) (REFER TO LANDSCAPING).
 - PICKLEBALL COURT (REFER TO LANDSCAPING).
 - NEW POOL (REFER TO LANDSCAPING).
 - EXISTING UTILITY EASEMENT (TO BE VACATED)

VEHICLE PARKING CALCULATIONS

MINIMUM PARKING REQUIREMENTS	CALCULATION	SPACES PROVIDED (TOTAL)
ELDERLY HOUSING	1 SPACE PER 1 DWELLING UNITS	162 SPACES
MEDICAL OFFICES	4 SPACES PER 1,000 SQUARE FEET OF GROSS FLOOR AREA	29 SPACES
CALCULATION	162 DWELLING UNITS * 1 SPACES = 162 SPACES 1,149 S.F./1,000 S.F. * 4 SPACES = 5 SPACES TOTAL = 167 SPACES	169 SPACES
PARKING DATA (REQUIRED)	SPACES REQUIRED (STANDARD) = 162 SPACES SPACES REQUIRED (ACCESSIBLE) = 5 SPACES SPACES REQUIRED (TOTAL) = 167 SPACES	169 SPACES
PARKING DATA (PROVIDED)	SPACES PROVIDED (STANDARD) = 162 SPACES SPACES PROVIDED (COVERED) = 29 SPACES SPACES PROVIDED (ACCESSIBLE) = 7 SPACES (1 VAN ACCESSIBLE) (7 REQ PER 151 - 200 TOTAL SPACES) SPACES PROVIDED (TOTAL) = 205 SPACES	205 SPACES

BIKE PARKING CALCULATIONS

MINIMUM SHORT TERM PARKING REQUIREMENTS	CALCULATION	SPACES PROVIDED (STANDARD)
BUILDINGS CONTAINING 12 DWELLING UNITS OR MORE MUST PROVIDE AT LEAST 3 SPACES OR AT LEAST 10% OF ACTUAL OFF-STREET VEHICLE PARKING PROVIDED, WHICHEVER IS GREATER	205 VEHICLE SPACES * 10% = 21 SPACES	21 SPACES
PARKING DATA (REQUIRED)	SPACES REQUIRED (STANDARD) = 21 SPACES	21 SPACES
PARKING DATA (PROVIDED)	SPACES PROVIDED (STANDARD) = 21 SPACES	21 SPACES
MINIMUM LONG TERM PARKING REQUIREMENTS	ELDERLY HOUSING = 1 SPACE PER 3 DWELLING UNITS MEDICAL OFFICES = 1 + 1 SPACE PER 10,000 SQUARE FEET OF GROSS FLOOR AREA	30 SPACES
CALCULATION	162 DWELLING UNITS * 0.33 SPACES = 54 SPACES 1,149 S.F./10,000 S.F. * (1+1) SPACE = 2 SPACES TOTAL = 56 SPACES	56 SPACES
PARKING DATA (REQUIRED)	SPACES REQUIRED (STANDARD) = 56 SPACES	56 SPACES
PARKING DATA (PROVIDED)	SPACES PROVIDED (STANDARD) = 56 SPACES	56 SPACES

SUMMARY TABLE		
ZONING		
A	EXISTING	B3-2
	PROPOSED	B3-2
TOTAL LAND AREA		
B	EXISTING	6.394 ACRES
NET LAND AREA		
C	EXISTING	6.394 ACRES
	PROPOSED	6.394 ACRES
PROPOSED USES		
D	AGE RESTRICTED HOUSING	
STRUCTURE HEIGHT & # OF FLOORS		
E	NUMBER OF FLOORS	3
	STRUCTURE HEIGHT	0'-0"
GROSS FLOOR AREA & # OF FLOORS		
F	TOTAL BUILDING COUNT (INCLUDES GARAGES)	4
	MEDICAL OFFICE (SF)	1,149
	AGE RESTRICTED HOUSING (SF)	
	GARAGE FLOOR (SF)	7,716
	TOTAL GROSS FLOOR AREA (SF)	78,853
	TOTAL DWELLING UNIT COUNT	162
BUILDING COVERAGE & FAR		
G	COVERAGE	28.3%
	FAR	0.72
DENSITY		
H	GROSS DENSITY (LOTS/LAND AREA)	25.34
	NET DENSITY (LOTS/NET LAND AREA)	25.34
PARKING		
I	VEHICLE STALLS REQUIRED	59
	VEHICLE STALLS PROVIDED	205
	SHORT-TERM BIKE STALLS REQUIRED	21
	SHORT-TERM BIKE STALLS PROVIDED	22
	LONG-TERM BIKE STALLS REQUIRED	56
	LONG-TERM BIKE STALLS PROVIDED	*30
TIMELINE		
J	ESTIMATED START DATE	04/01/23
	ESTIMATED COMPLETION DATE	10/01/24
BUILDING SETBACK REQUIREMENTS		
K	REAR SETBACK (FT)	NA
	FRONT SETBACK (FT)	NA
	SIDE SETBACK (FT)	NA
	SIDE SETBACK (ABUTTING STREET) (FT)	NA
	MAXIMUM HEIGHT (FT)	45'
PARKLAND DEDICATION		
L	CALCULATED BASE ON 2 PEOPLE PER DWELLING UNIT	
	# OF DWELLING UNITS	162
	TOTAL PEOPLE	324
	ACRES PER PERSON	0.006
	ACRES REQUIRED	1.94
	ACRES PROVIDED	0.0
	DIFFERENCE	1.94
	PARKLAND FEES	\$124,587.15

CODE COMPLIANCE NOTES:

- TRASH RECEPTACLE WILL CONFORM TO KCMO DEVELOPMENT CODE 88-425-08.
- ANY ROOF MOUNTED MECHANICAL EQUIPMENT WILL COMPLY WITH THE KCMO DEVELOPMENT CODE 88-425-08-B.
- ANY SITE SIGNAGE WILL COMPLY WITH THE KCMO DEVELOPMENT CODE 88-445.

NOTE:

REQUEST FOR REDUCTION IN COUNT FOR LONG TERM BIKE REQUIREMENTS FROM 56 TO 30.

IN ADDITION TO THE 30 LONG TERM STORAGE AREA THE FOLLOWING ARE ADDITIONAL STORAGE OPTIONS:

- GARAGE STORAGE - 29 PRIVATE GARAGE SPACES
- PERSONAL STORAGE AVAILABLE ON 2ND OR 3RD FLOOR.
- INSIDE UNIT ON GROUND FLOOR - 52 UNITS TOTAL

DEVELOPER/OWNER:
AVENUE DEVELOPMENT, LLC
 8485 KEYSTONE CROSSING BLVD, STE. 140
 INDIANAPOLIS, IN 46240
 PHONE: 414-688-8565

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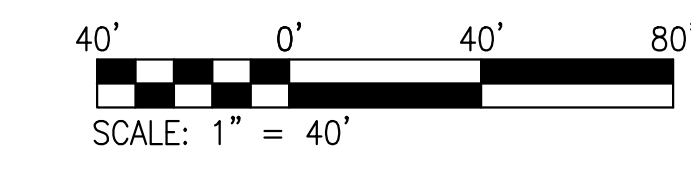
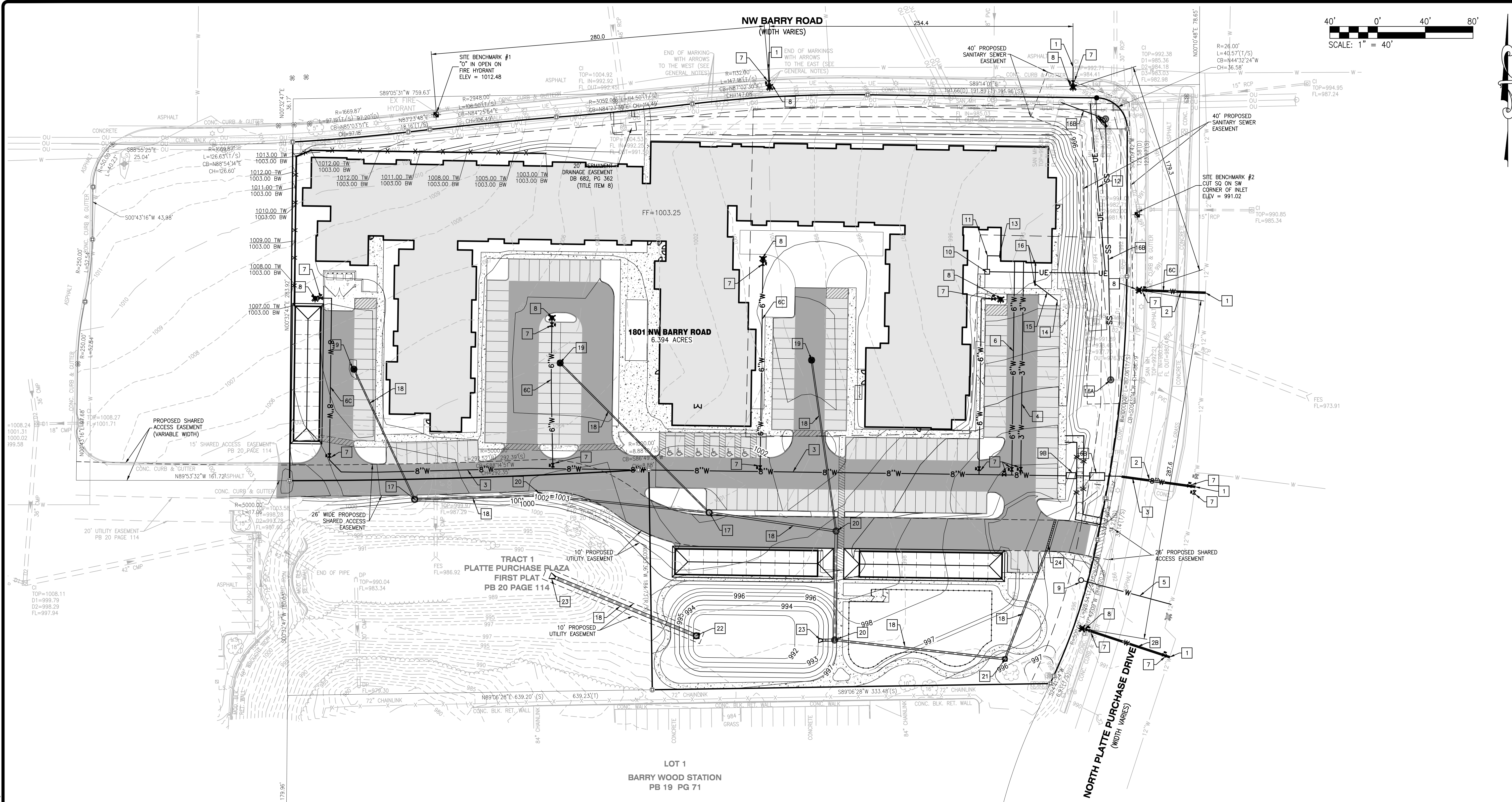
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VIVA BENE - AVENUE
 1801 NW BARRY ROAD
 KANSAS CITY, MO 64151

+ ST. CHARLES
 1520 S. Fifth Street
 Suite 307
 St. Charles, MO 63033
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 DRAWN BY: MAB
 CHECKED BY: KAK
 DRAWING SCALE: AS SHOWN
 DATE: 8/26/2022
 Job Number: 22-0119
 Sheet Number: P3.0

USER: Kurt Kuller TAB: P3.0 PRELIMINARY SITE PLAN DATE: October 1, 2022 - 4:28:45 PM DRAWING: S:\085\Job\2022\22-0119\CADD\C-Plan\PoolSheets\Site Plan_Submittal\CD-CPC-2022-00162-0119.dwg



NOTE:
 DETENTION APPEARS TO BE PROVIDED PER THE PLATTE PURCHASE PLAZA MACRO DRAINAGE STUDY IN THE EXISTING BASIN TO THE SOUTH WEST OF THE SITE. THE EXISTING BASIN WILL BE ANALYZED FOR REMAINING CAPACITY AND IF REQUIRED, MODIFICATIONS WILL BE PERFORMED ACCORDINGLY. STORM WATER QUALITY WILL BE PROVIDED VIA AN ONSITE BIORETENTION BASIN, PERVIOUS PAVEMENT, PROPRIETARY DEVICE OR COMBINATION THEREOF AND SPECIFIED IN A MICRO DRAINAGE REPORT PER CITY CODE.

UTILITY KEYED NOTES

- WATER SERVICE**
- NEW WATER SERVICE POINT OF CONNECTION TO EXISTING WATER MAIN.
 - NEW 8" WATER BORE AND PIPE ENCASUREMENT PER CITY OF KANSAS CITY STANDARDS.
 - NEW 6" WATER BORE AND PIPE ENCASUREMENT PER CITY OF KANSAS CITY STANDARDS.
 - NEW PRIVATE 8" WATER MAIN.
 - NEW PRIVATE 3" DOMESTIC WATER SERVICE.
 - NEW 1" WATER BORE PER CITY OF KANSAS CITY STDS.
 - NEW PRIVATE 6" FIRE SERVICE.
 - NEW 8" WATER METER AND BACKFLOW IN HEATED ENCLOSURE PIT PER CITY OF KANSAS CITY STANDARDS.
 - NEW PRIVATE 6" WATER MAIN.
 - NEW GATE VALVE.
 - NEW PUBLIC FIRE HYDRANT PER CITY OF KANSAS CITY STANDARDS.
 - NEW PRIVATE FIRE HYDRANT PER CITY OF KANSAS CITY STANDARDS.
 - NEW 1" TAP AND IRRIGATION METER PER CITY OF KANSAS CITY STANDARDS.
 - NEW DOUBLE CHECK VALVE AND BACKFLOW PREVENTER ENCLOSURE.
- ELECTRIC SERVICE**
- NEW TRANSFORMER AND PAD.
 - NEW SECONDARY ELECTRIC SERVICE.
 - NEW PRIMARY ELECTRIC SERVICE.
 - NEW ELECTRIC METERS.
- SANITARY SEWER SERVICE**
- NEW WYE CONNECTION TO EXISTING SANITARY MAIN.
 - NEW 6" SDR35 SANITARY SEWER LATERAL AT 2.0% MIN SLOPE.
 - NEW SANITARY CLEANOUT, TYP.
 - NEW SANITARY MANHOLE.
 - NEW 8" SDR 26 SANITARY SEWER.
- STORM SEWER SERVICE**
- NEW STORM SEWER CURB INLET.
 - NEW STORM SEWER.
 - NEW STORM SEWER GRATED INLET.
 - NEW STORM SEWER MANHOLE.
 - NEW NYLOPLAST YARD DRAIN.
 - NEW OUTFALL STRUCTURE.
 - NEW FLARED END SECTION.
 - NEW TRENCH DRAIN.
- NOTE:**
- ALL PROPOSED WATER AND FIRE SERVICE LINES SHOULD MEET CURRENT WATER SERVICES DEPARTMENT RULES AND REGULATIONS.
 - ALL PROPOSED WATER LINES SHALL HAVE A COVER OF NOT LESS THAN 4 FEET NOR MORE THAN 5 FEET.

City Plan Commission
 Recommends Approval with Conditions
 of Case No. **CD-CPC-2022-00162** on **11/15/2022**

Joseph Rexwinkle
 Joseph Rexwinkle, AICP
 Secretary of the Commission

DEVELOPER/OWNER:
AVENUE DEVELOPMENT, LLC
 8435 KEYSTONE CROSSING BLVD, STE. 140
 INDIANAPOLIS, IN 46240
 PHONE: 414-688-8565

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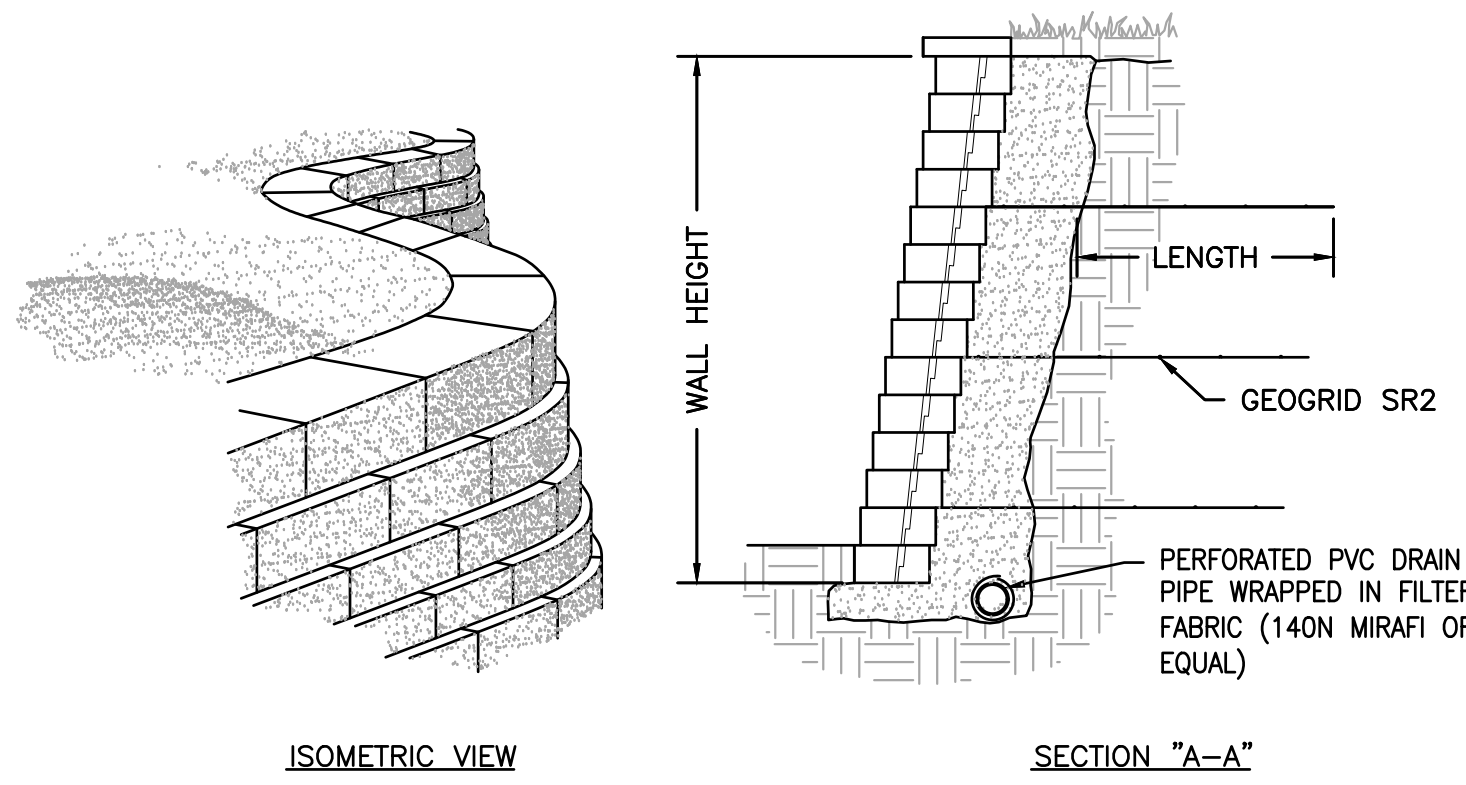
PRELIM GRADING & UTILITY PLAN

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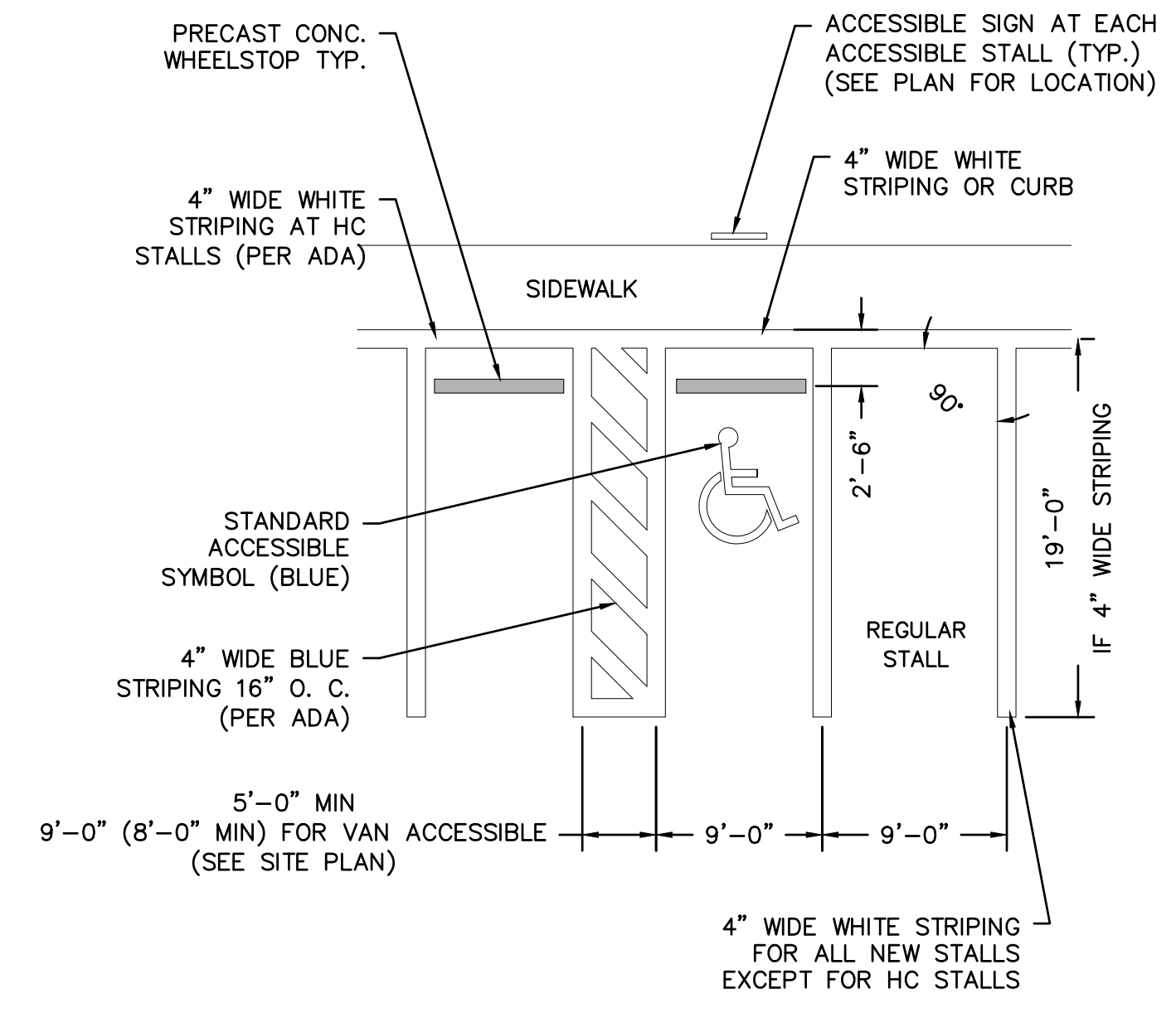
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 DRAWING SCALE: AS SHOWN
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 Job Number: 22-0119
 Sheet Number: P4.0

USER: Kurt Kuller, TAB: P4.0, PRELIMINARY GRADING AND UTILITY
 DATE: October 1, 2022 - 4:28:53 PM
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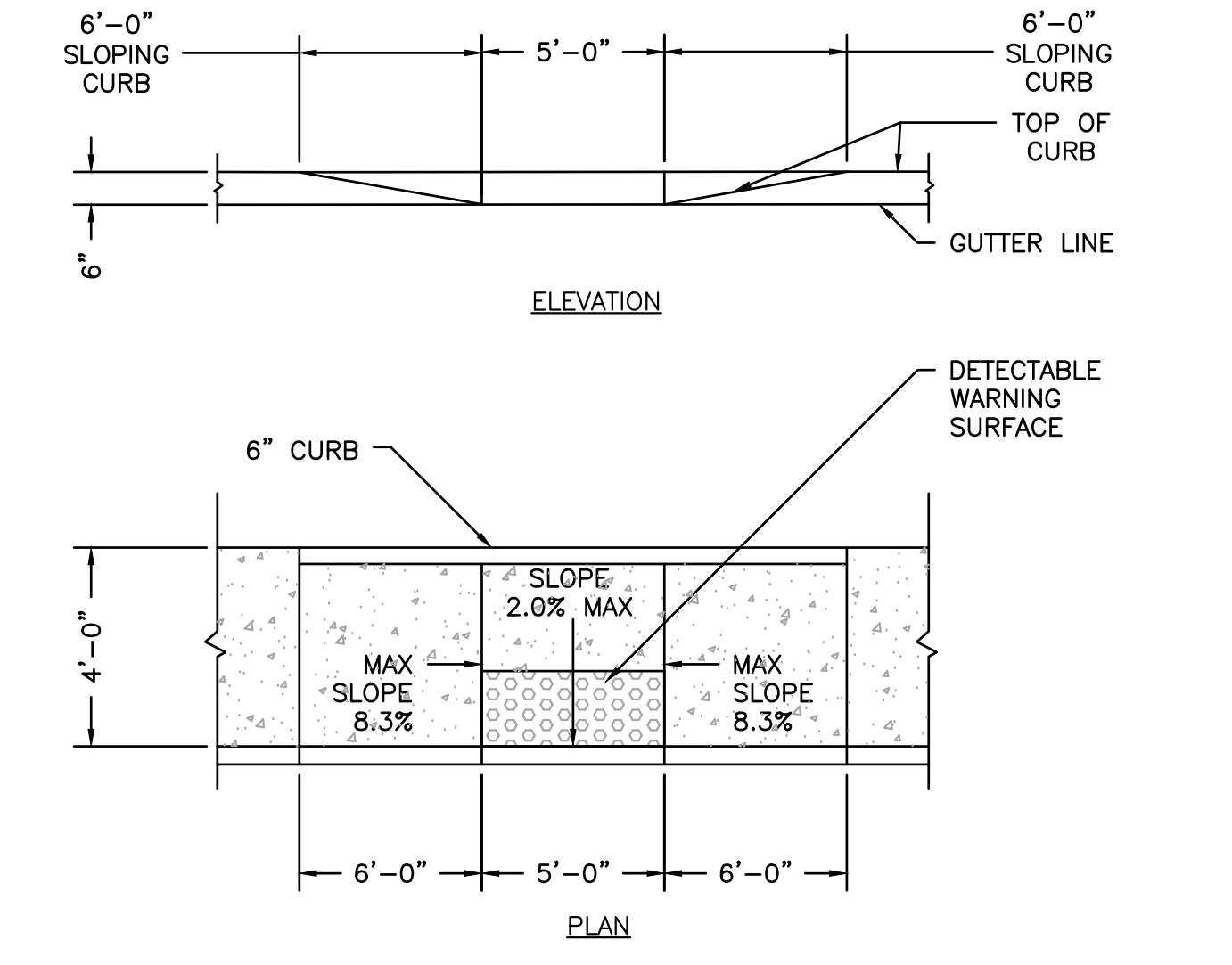


- NOTES:**
- 1.) ALL CONSTRUCTION SHALL BE PER THE MANUFACTURERS RECOMMENDATION.
 - 2.) SHOP DRAWINGS BEARING THE SEAL OF A REGISTERED ENGINEER TO BE SUPPLIED TO THIS ENGINEER FOR APPROVAL.
 - 3.) ACCEPTED ALTERNATE WALL SYSTEM: KEYSTONE OR HERCULES
 - 4.) TW= TOP OF RETAINING WALL, BW= GRADE AT BASE OF WALL.
 - 5.) FENCING SHALL BE PROVIDED ON ALL RETAINING WALLS TALLER THAN 4 FEET.

12 RETAINING WALL DETAIL
SCALE: N.T.S. REF. DWG. P3.0



9 90 DEGREE ACCESSIBLE PARKING DETAIL
SCALE: N.T.S. REF. DWG. P3.0



6 PARALLEL ACCESSIBLE RAMP DETAIL
SCALE: N.T.S. REF. DWG. P3.0

City Plan Commission
Recommends Approval with Conditions
CD-CPC-2022-00162 on 11/15/2022

CITY PLANNING AND DEVELOPMENT

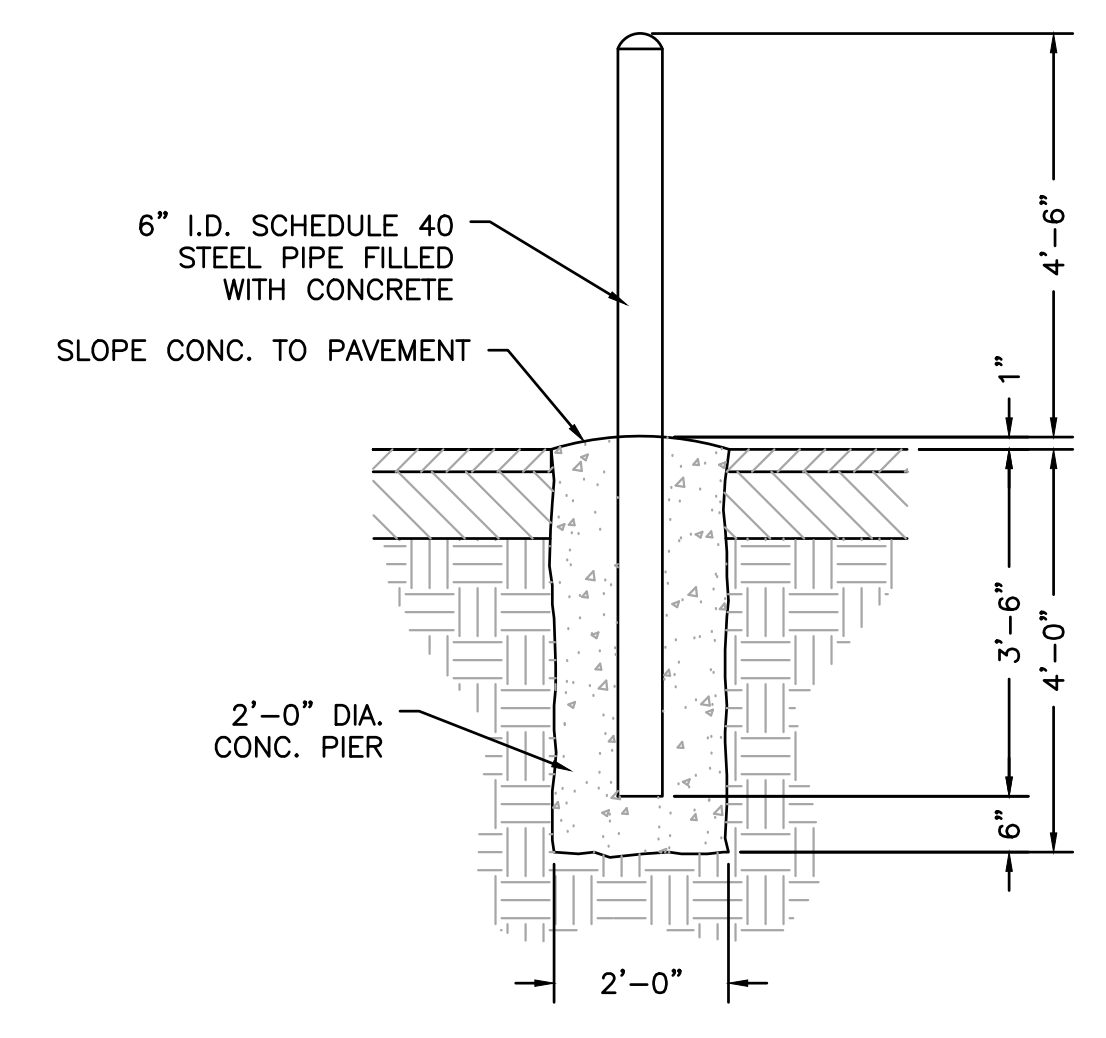
Joseph Rexwinkle, AICP
Secretary of the Commission

MODOT MIX BP-1

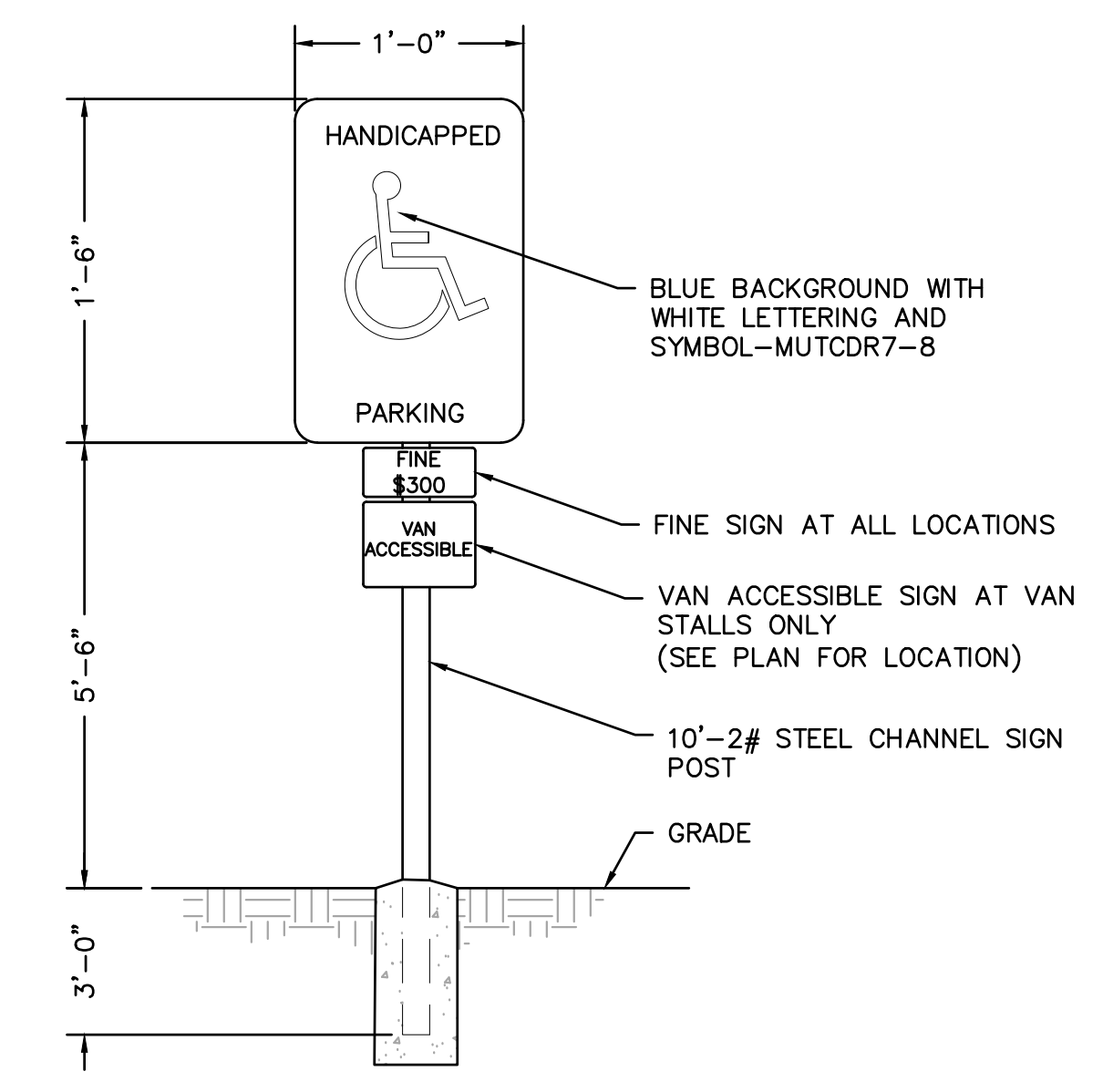
ASPHALT PAVEMENT DETAIL (HEAVY DUTY)

NOTE: PAVEMENT DETAILS SHOWN FOR REFERENCE ONLY. CONTRACTOR TO VERIFY FINAL PAVEMENT REQUIREMENTS WITH GEOTECH REPORT AND/OR OWNER.

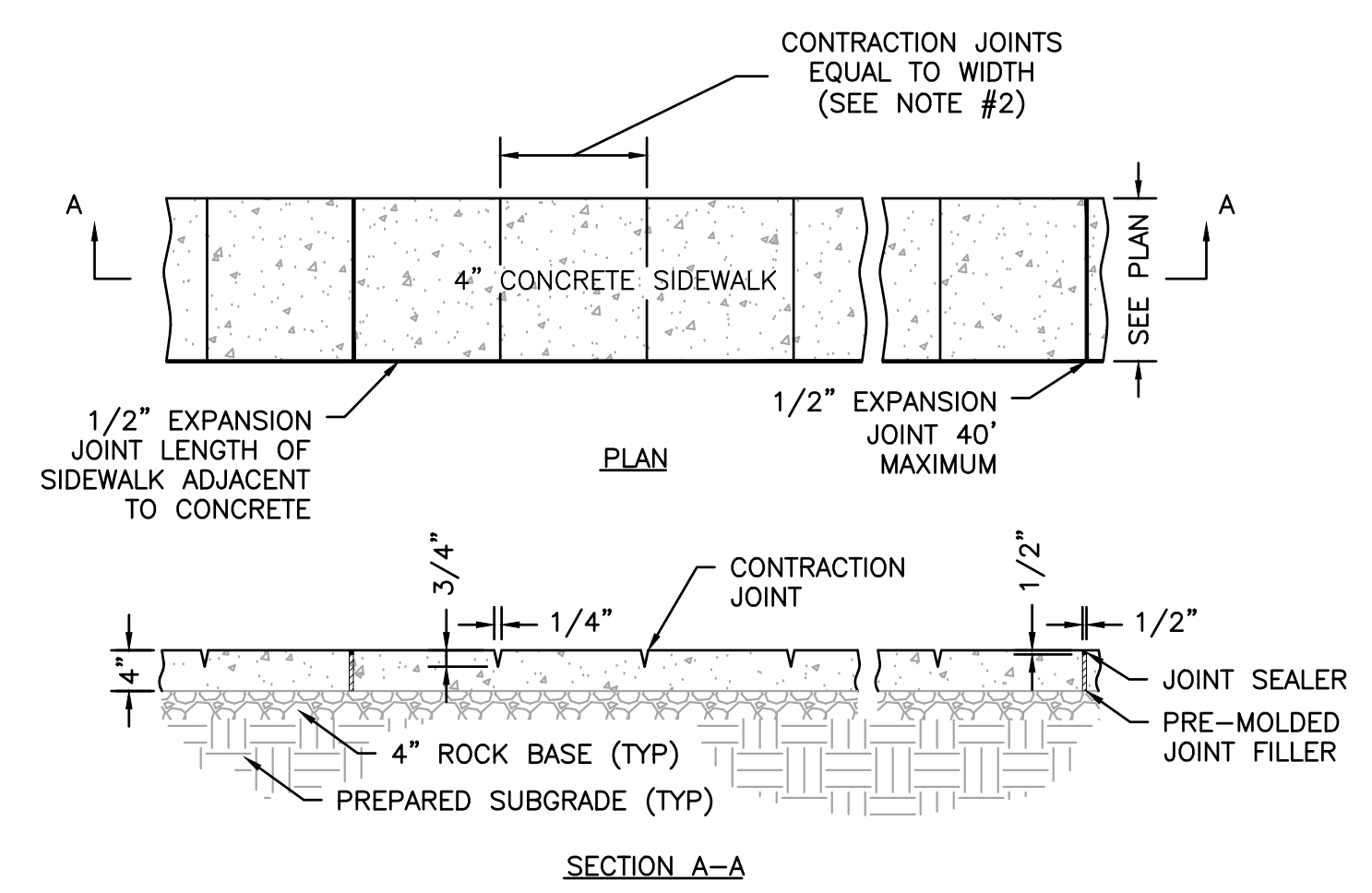
3 ASPHALT PAVEMENT DETAIL (HEAVY DUTY)
SCALE: N.T.S. REF. DWG. P3.0



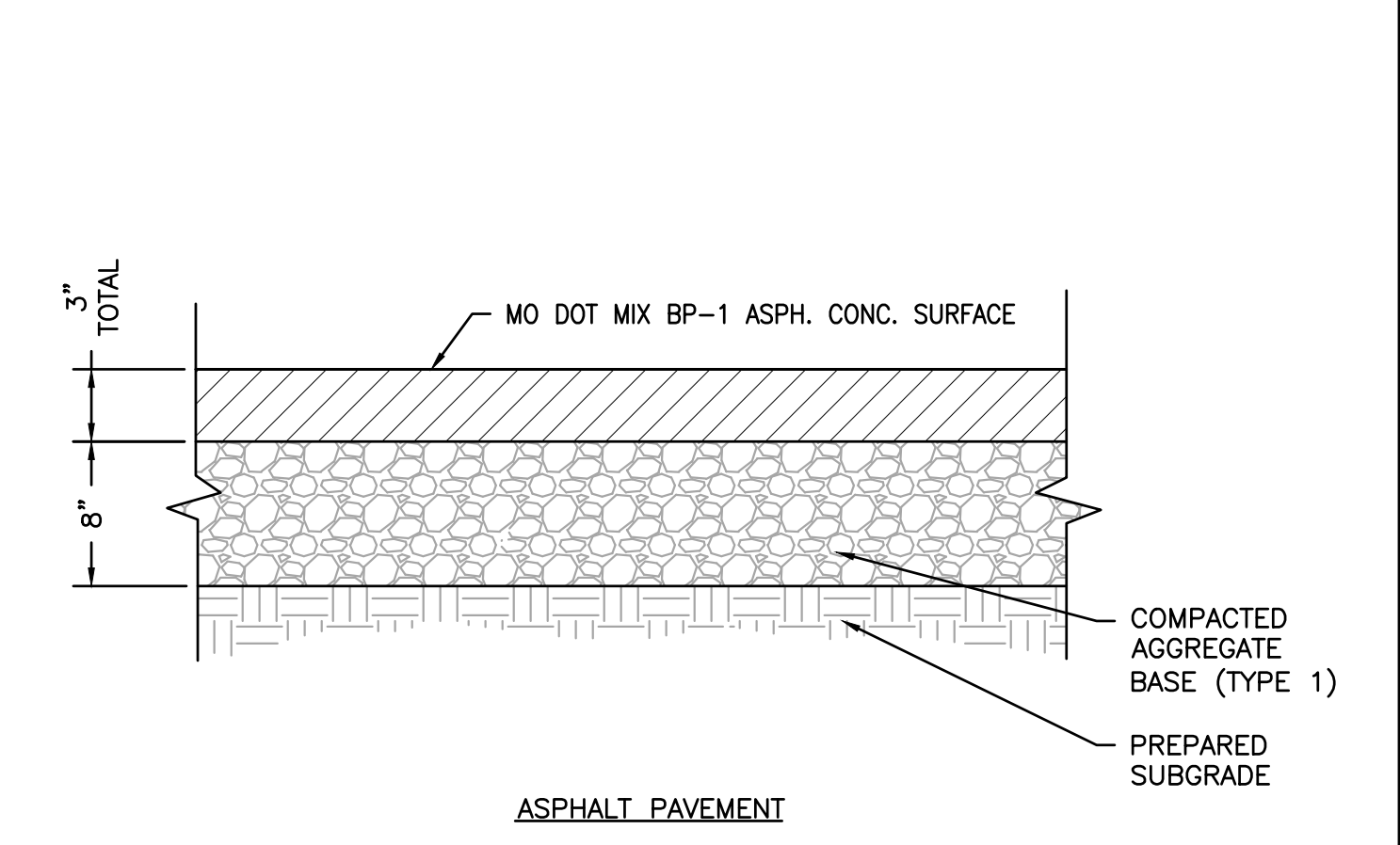
11 BOLLARD DETAIL
SCALE: N.T.S. REF. DWG. P3.0



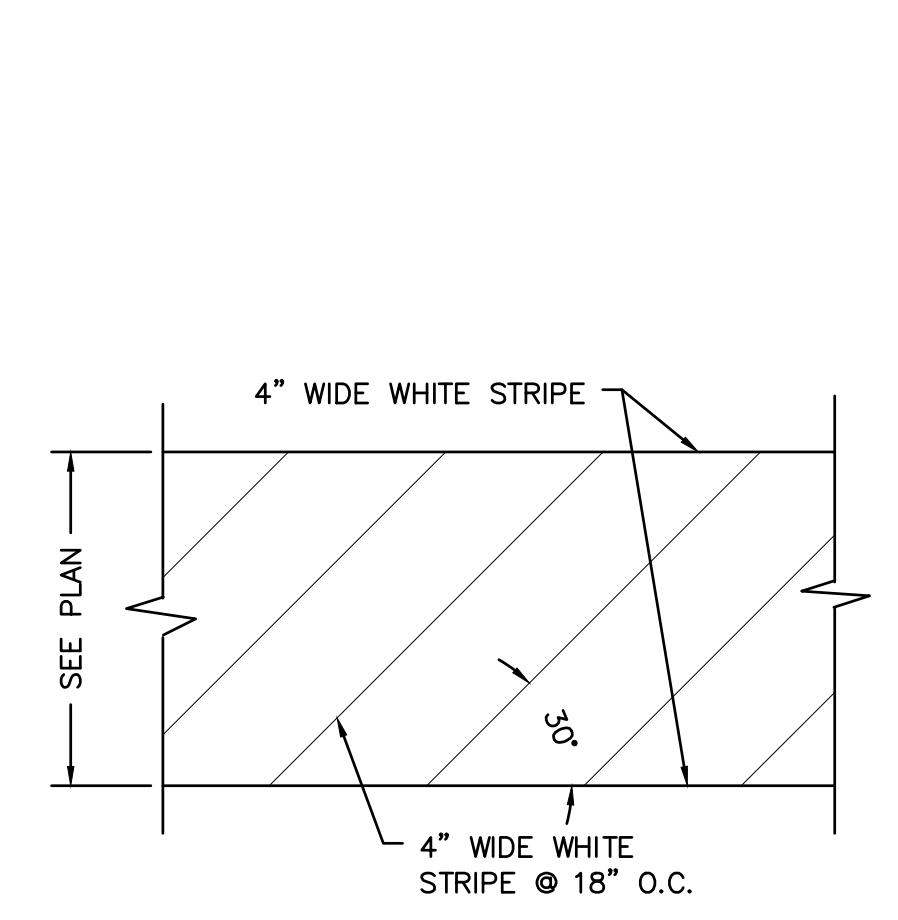
8 ACCESSIBLE PARKING SIGN DETAIL
SCALE: N.T.S. REF. DWG. P3.0



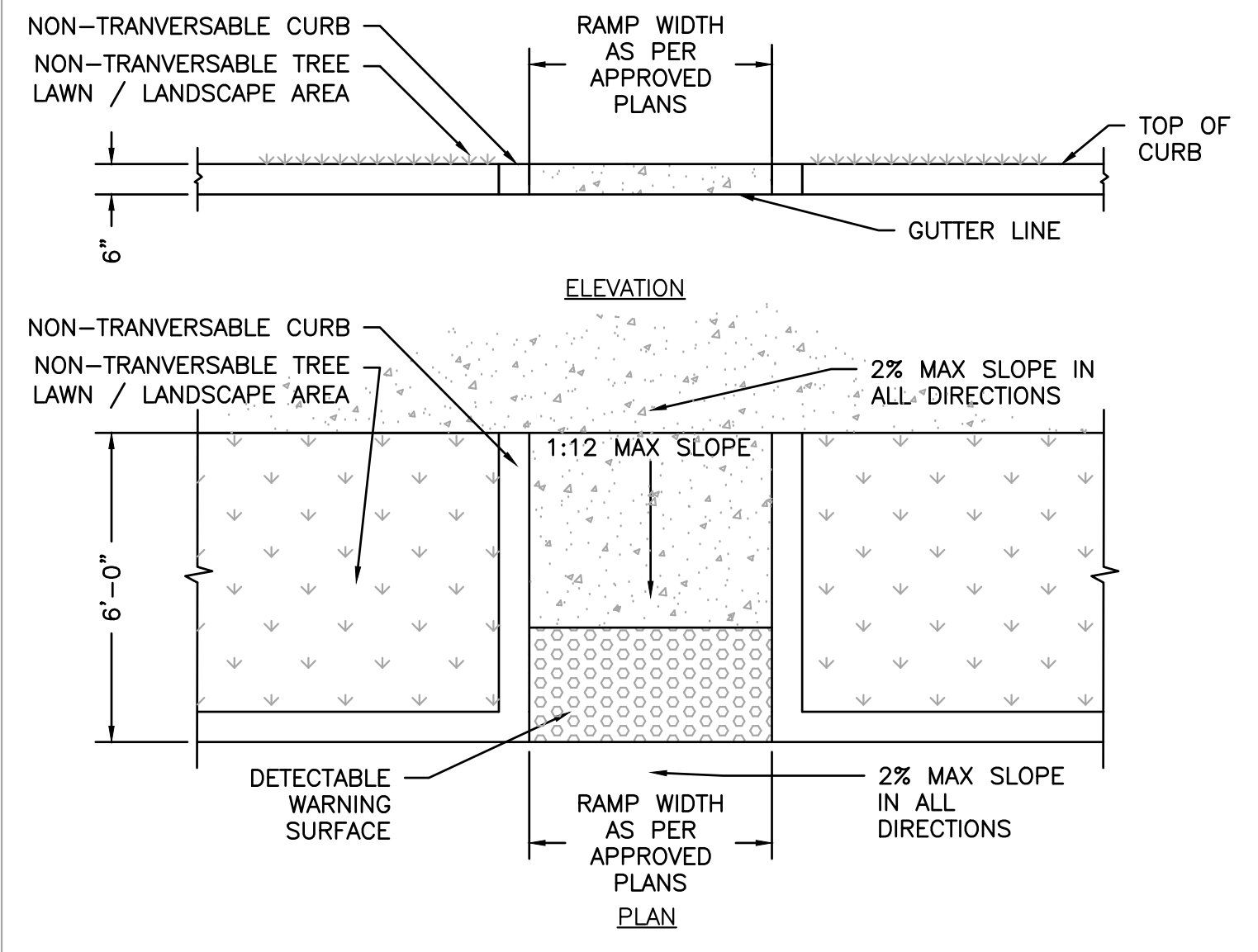
5 CONCRETE SIDEWALK DETAIL
SCALE: N.T.S. REF. DWG. P3.0



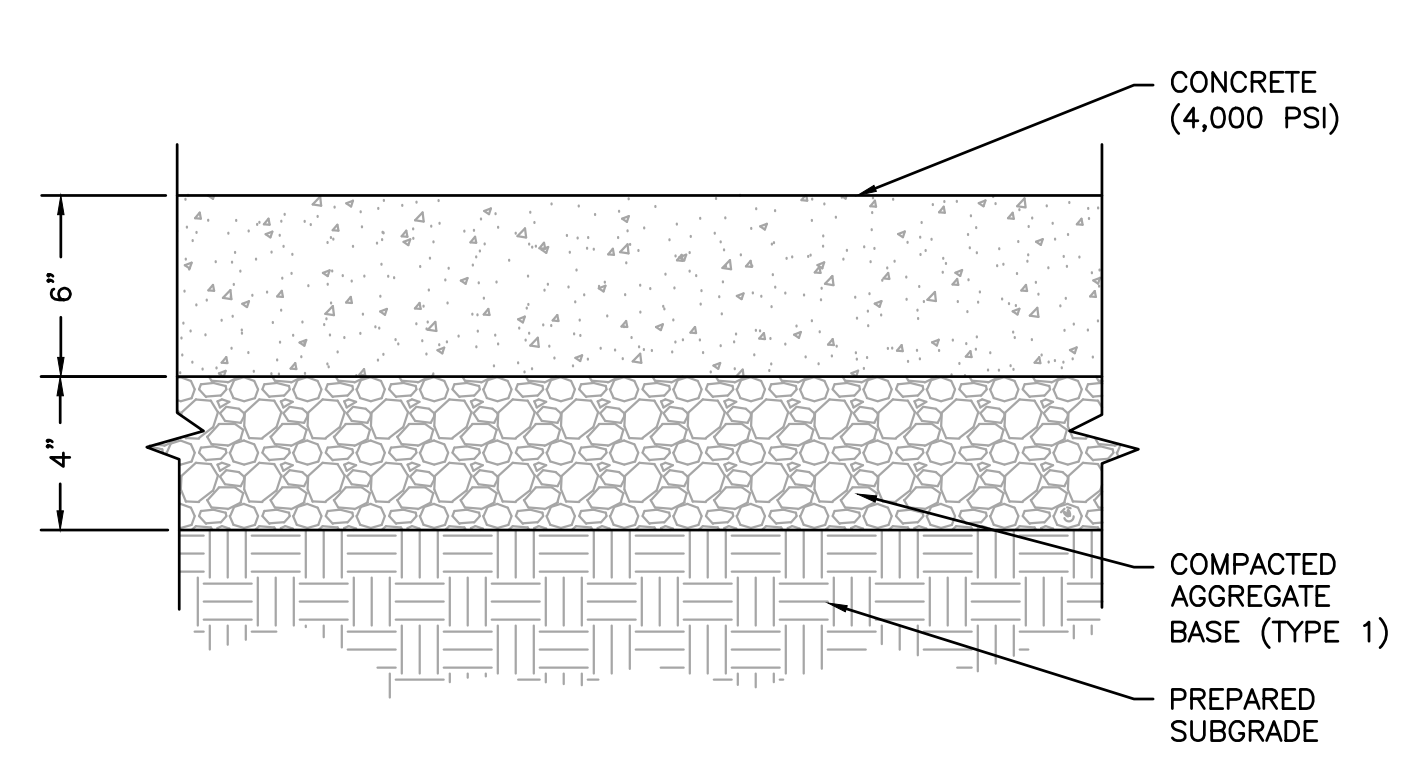
2 ASPHALT PAVEMENT (LIGHT DUTY)
SCALE: N.T.S. REF. DWG. P3.0



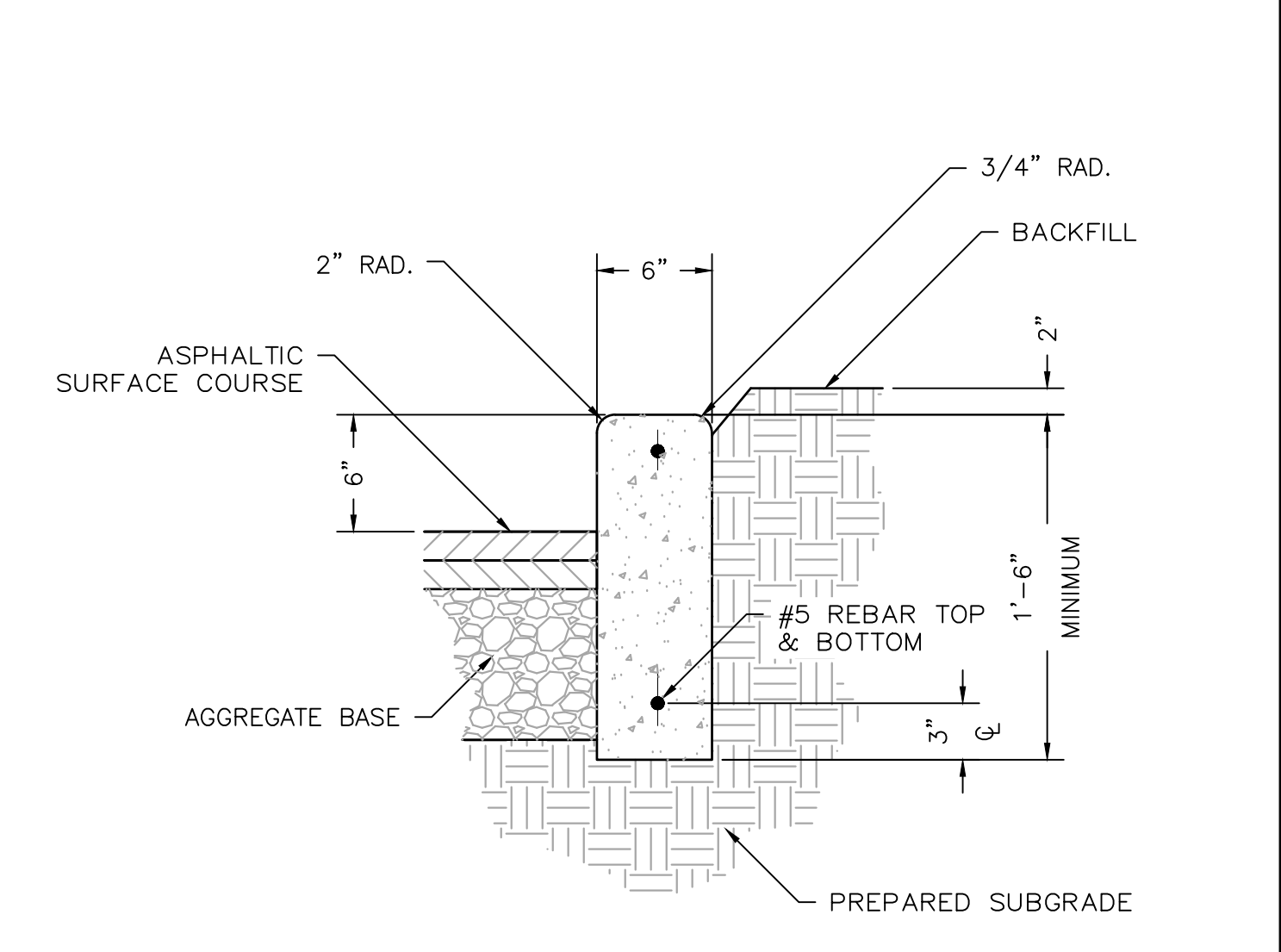
10 CROSS WALK DETAIL
SCALE: N.T.S. REF. DWG. P3.0



7 ACCESSIBLE RAMP WITH NON-TRAVERSABLE CURBS DETAIL
SCALE: N.T.S. REF. DWG. P3.0



4 CONCRETE PAVEMENT DETAIL
SCALE: N.T.S. REF. DWG. P3.0



1 VERTICAL CONCRETE CURB DETAIL
SCALE: N.T.S. REF. DWG. P3.0

DEVELOPER/OWNER:
AVENUE DEVELOPMENT, LLC
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INDIANAPOLIS, IN 46240
PHONE: 414-688-8565

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KANSAS CITY, MO 64151

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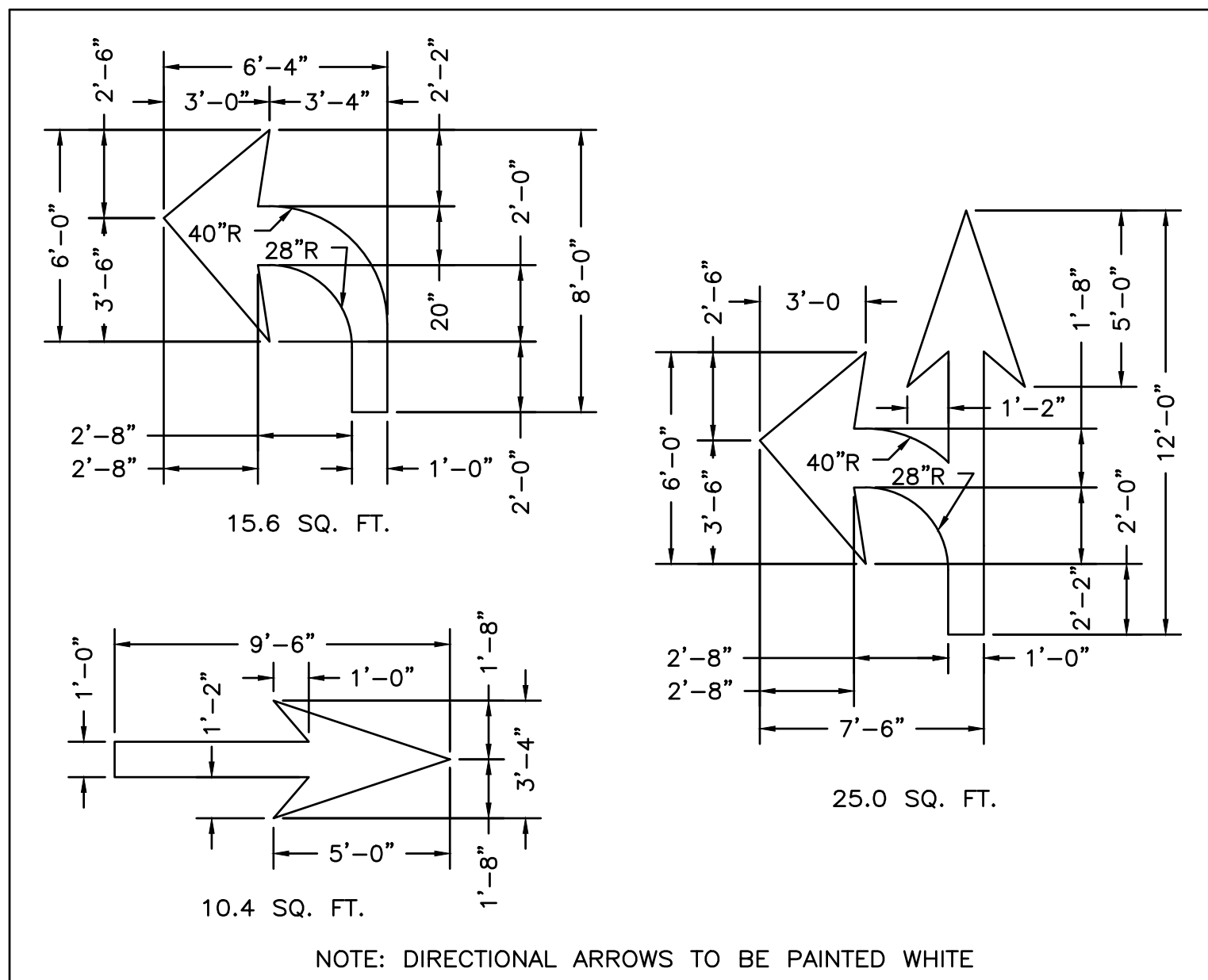
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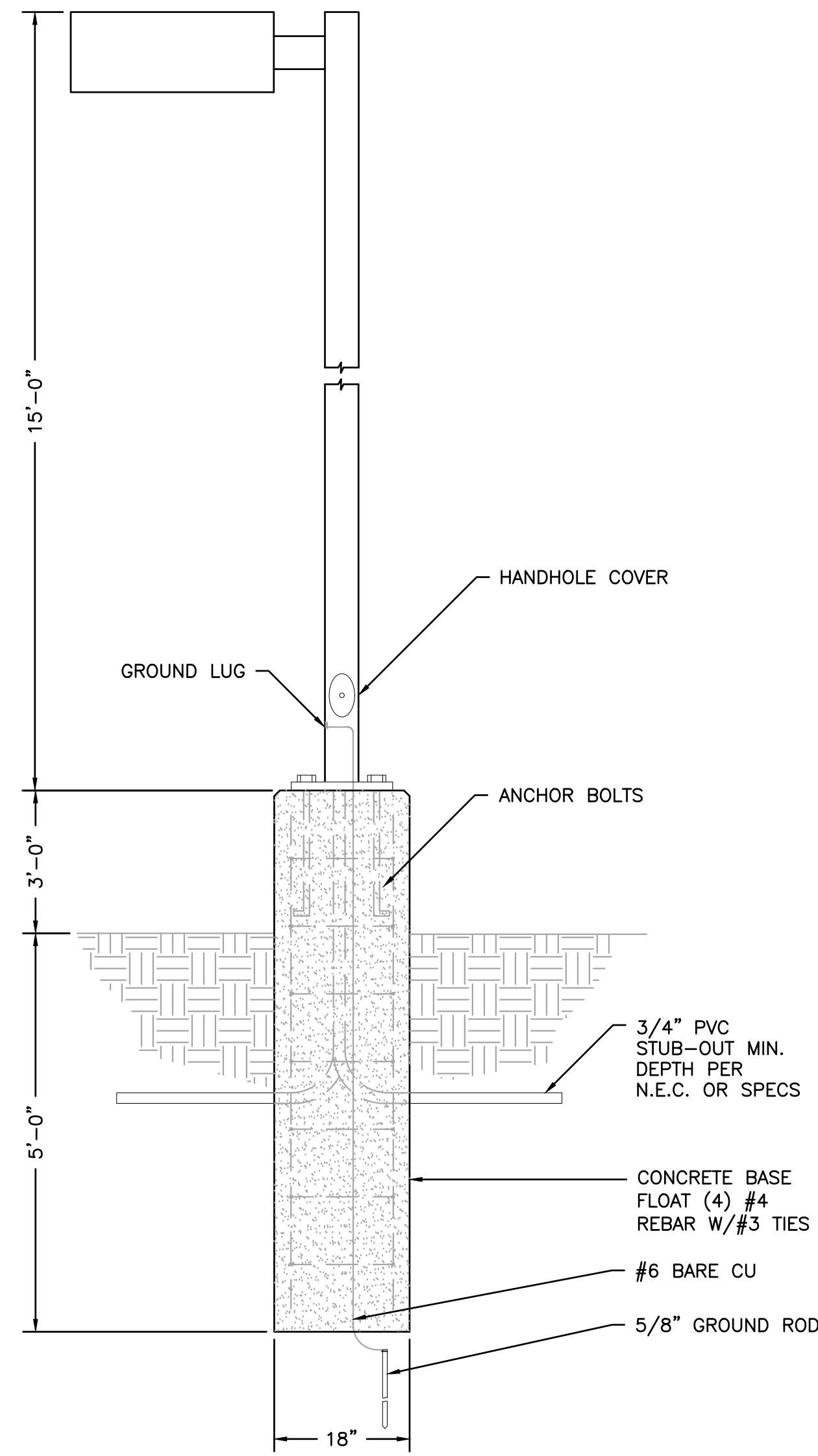


City Plan Commission
 Recommends Approval with Conditions
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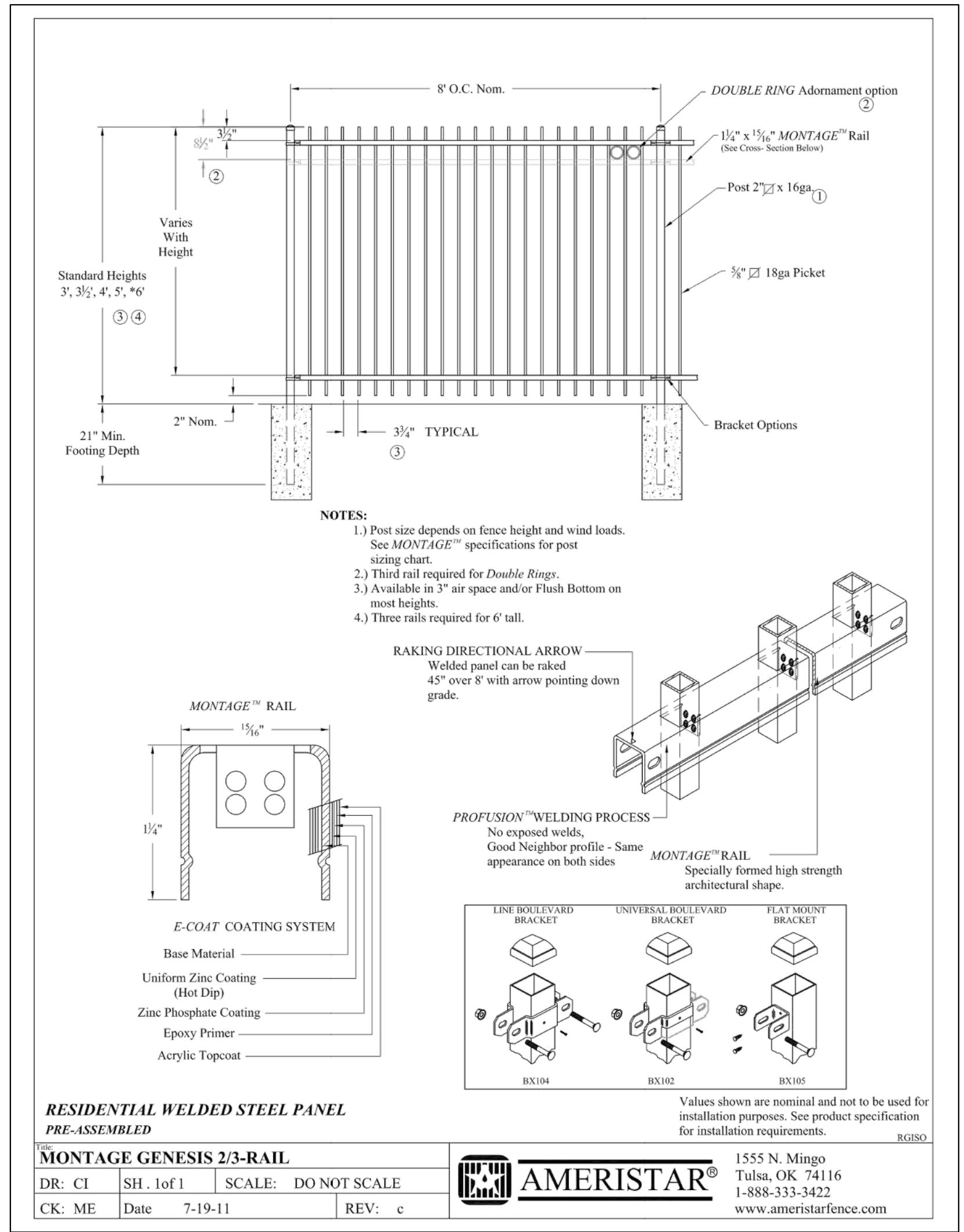
Joseph Rexwinkle
 Joseph Rexwinkle, AICP
 Secretary of the Commission



1 DIRECTION ARROWS DETAIL
 SCALE: N.T.S. REF. DWG. P3.0



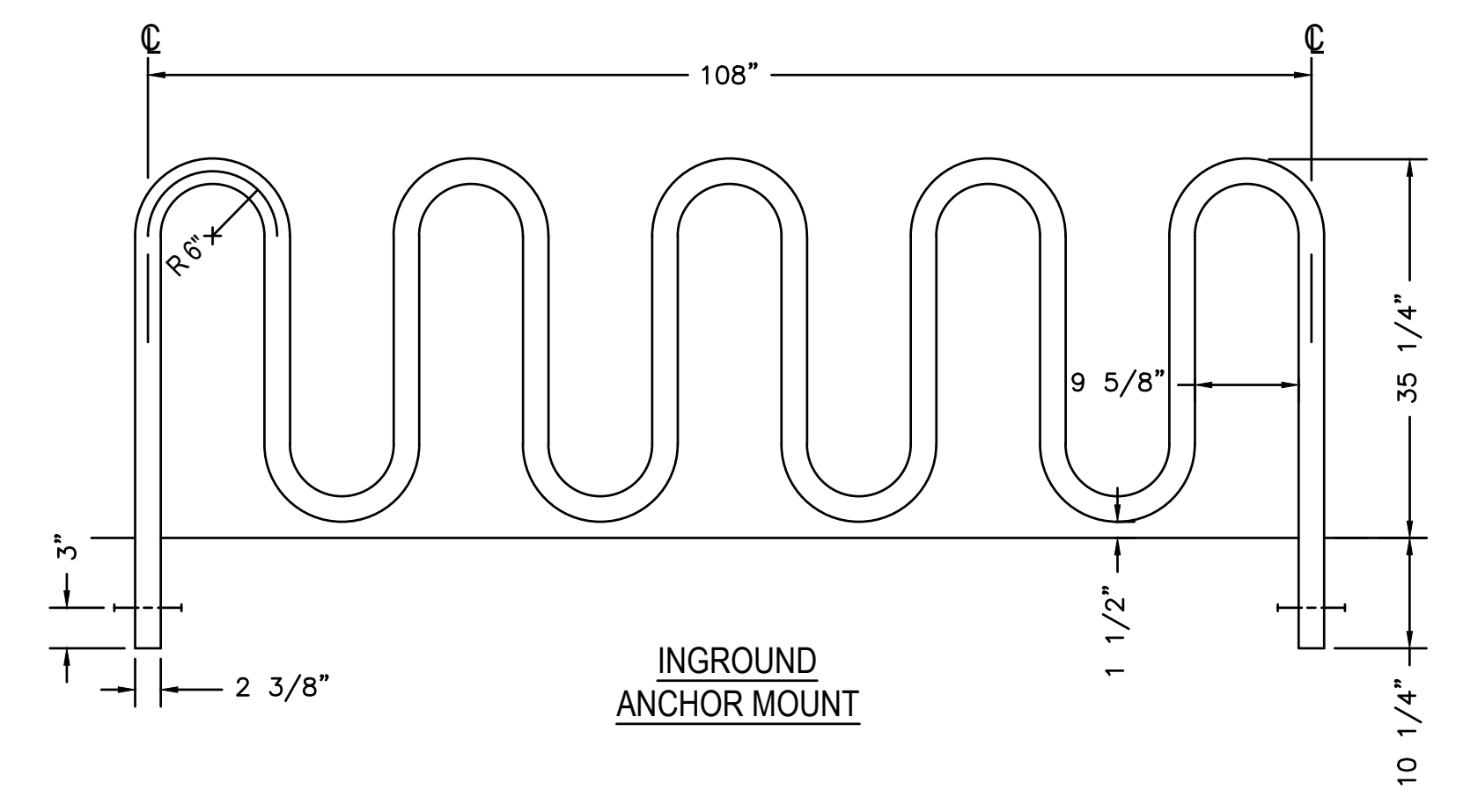
2 LIGHTING DETAIL
 SCALE: N.T.S. REF. DWG. P3.0



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- NOTES:**
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. ALL DIMENSIONS ARE CONSIDERED TRUE AND REFLECT MANUFACTURER'S SPECIFICATIONS.
 3. DO NOT SCALE DRAWING.
 4. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADdetails.com/info REFERENCE NUMBER 4349-013.

RB 11 | G
 11 CAPACITY, INGROUND ANCHOR MOUNT, GALVANIZED BIKE RACK

DEVELOPER/OWNER:
AVENUE DEVELOPMENT, LLC
8435 KEYSTONE CROSSING BLVD, STE. 140
INDIANAPOLIS, IN 46240
PHONE: 414-688-8565

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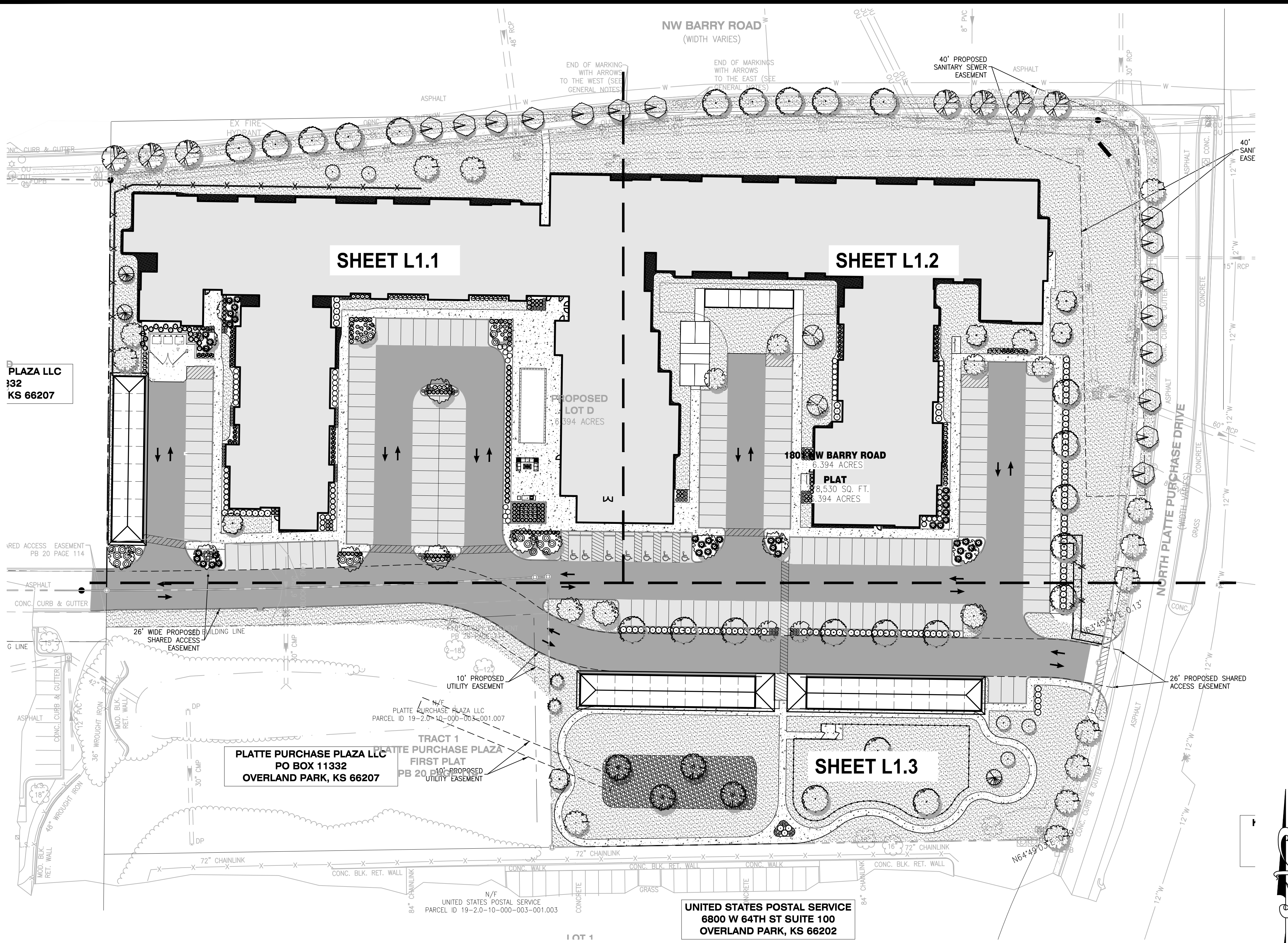
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DETAIL SHEET

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 Job Number: 22-0119
 Sheet Number: P6.0

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1 OVERALL LANDSCAPE PLAN
 SCALE: 1" = 40'
 REF. DWG.

VEHICLE PARKING CALCULATIONS

MINIMUM PARKING REQUIREMENTS	
ELDERLY HOUSING	1 SPACE PER 3 DWELLING UNITS
MEDICAL OFFICES	4 SPACES PER 1,000 SQUARE FEET OF GROSS FLOOR AREA
CALCULATION	162 DWELLING UNITS * 0.33 SPACES = 54 SPACES 1,149 S.F./1,000 S.F. * 4 SPACES = 5 SPACES TOTAL = 59 SPACES
PARKING DATA (REQUIRED)	
SPACES REQUIRED (STANDARD)	56 SPACES
SPACES REQUIRED (ACCESSIBLE)	3 SPACES (1 VAN ACCESSIBLE) (3 REQ. PER 51 - 75 TOTAL SPACES)
SPACES REQUIRED (TOTAL)	59 SPACES
PARKING DATA (PROVIDED)	
SPACES PROVIDED (STANDARD)	169 SPACES
SPACES PROVIDED (COVERED)	29 SPACES
SPACES PROVIDED (ACCESSIBLE)	7 SPACES (1 VAN ACCESSIBLE) (7 REQ. PER 151 - 200 TOTAL SPACES)
SPACES PROVIDED (TOTAL)	205 SPACES

PERTINENT DATA

SITE ADDRESS	=	1801 NW BARRY ROAD
PARCEL ID	=	KANSAS CITY, MO 64151
FIRE DISTRICT	=	231808
FEMA MAP PANEL	=	29095C0126G, DATE: JAN 20, 2017
GROSS SITE AREA	=	6.394 AC.

PLANT SCHEDULE		
LARGE & MEDIUM DECIDUOUS TREES	BOTANICAL NAME	COMMON NAME
	<i>Acer rubrum</i> 'red sunset'	Rd Maple
	<i>Quercus rubra</i>	Red Oak
	<i>Zelkova serrata</i> 'JFS-KW1'	City Sprite zelkova
	<i>Tilia americana</i>	American Linden
	<i>Betula nigra</i> 'BNMT'	Dura Heat®/River Birch
EVERGREEN TREES	BOTANICAL NAME	COMMON NAME
	<i>Pinus echinata</i>	Short-Leaf Pine
	<i>Juniperus virginiana</i>	Red Cedar
	<i>Thuja</i> 'Green Giant'	Arborvitae
SMALL DECIDUOUS TREES	BOTANICAL NAME	COMMON NAME
	<i>Cornus florida</i>	Flowering Dogwood
	<i>Cercis canadensis</i>	Red Bud
	<i>Amelanchier x grandiflora</i> 'Autumn Brilliance'	Autumn Brilliance®/Apple Serviceberry
	<i>Carpinus caroliniana</i>	American Hornbeam
SHRUBS	BOTANICAL NAME	COMMON NAME
	<i>Buxus x 'Green Velvet'</i>	Green Velvet Boxwood
	<i>Taxus x 'media'</i>	Yew
	<i>Physocarpus opulifolius</i>	Tiny Wine Ninebark
	<i>Juniperus x pfitzeriana</i> 'Sea Green'	Chinese Juniper
	ITEA VIRGINICA 'LITTLE HENRY'	'LITTLE HENRY' SWEET SPIRE
	<i>Ceanothus americanus</i>	New Jersey Tea
	<i>Thuja occidentalis</i> 'Smaragd'	Emerald Green Arborvitae
	<i>Rhus aromatica</i> 'Gro-Low'	Gro-Low Fragrant Sumac
	<i>Spiraea japonica</i>	Japanese spirea
ORNAMENTAL GRASS & GROUND COVER	BOTANICAL NAME	COMMON NAME
	<i>Schizachyrium scoparium</i>	Little Bluestem
	<i>Sorghastrum nutans</i>	Indiangrass
	<i>Juniperus procumbens</i> 'Green Mound'	Green Mound Juniper
		AREA TO BE TURF
		DECORATIVE GRAVEL

* SEE SHEET L1.4 FOR LANDSCAPE NOTES, CALCULATIONS AND FULL PLANT SCHEDULE WITH QUANTITIES

DATE	NO.	REVISION DESCRIPTION
09/30/2022	1	PER CITY COMMENTS

DEVELOPER/OWNER:
AVENUE DEVELOPMENT, LLC
 8435 KEYSTONE CROSSING BLVD, STE. 140
 INDIANAPOLIS, IN 46240
 PHONE: 414-688-8565

THE PROFESSIONAL WHOSE SIGNATURE AND PERSONAL SEAL APPEAR HEREON HAS EXAMINED THIS PLAN AND FOUND IT TO BE IN ACCORDANCE WITH THE CITY OF KANSAS CITY, MISSOURI PLUMBING CODE AND ALL APPLICABLE ORDINANCES. ESTIMATES, REPORTS, OR OTHER DOCUMENTS OF INSTRUMENTS NOT SEAL OR SIGNATURE OF THE PROFESSIONAL TO WHOM THIS PLAN REFERS WILL BE USED.

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OVERALL LANDSCAPE PLAN

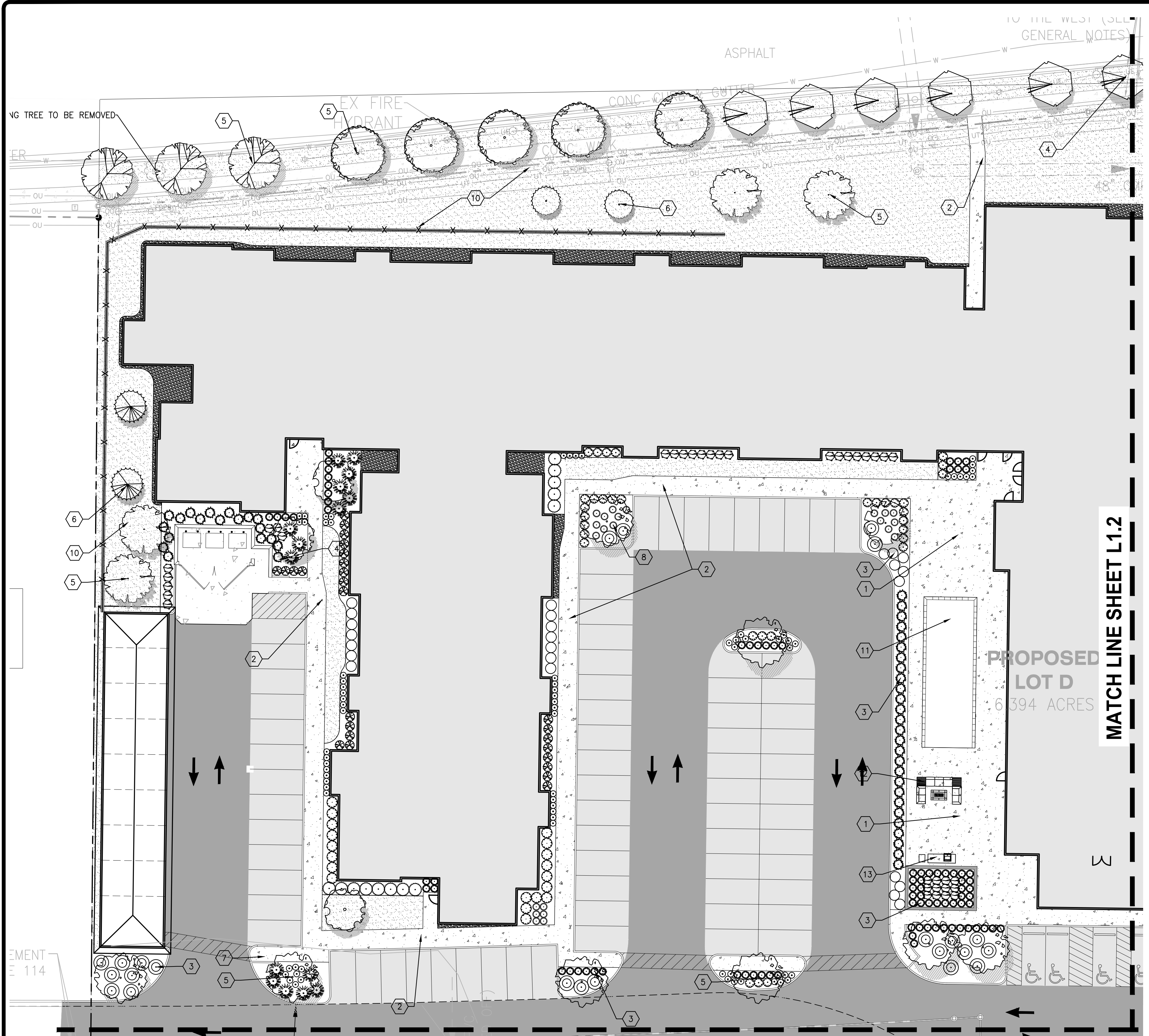
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 DRAWN BY: MAB
 CHECKED BY: KAK
 DRAWING SCALE: AS SHOWN
 DATE: 8/26/2022
 Job Number: 22-0119
 Sheet Number: L1.0

City Plan Commission
 Recommends Approval with Conditions
 of Case No. CD-CPC-2022-00162 on 11/15/2022

Joseph Rexwinkle, AICP
 Secretary of the Commission

USER: Kurt Kuller, TAB: L1.0
 DATE: October 1, 2022 - 4:28:26 PM
 DRAWING: S:\085\Jobs\2022\22-0119\CAD\CityPlan\PLN\LAND_22-0119.dwg



1 LANDSCAPE ENLARGEMENT - WEST
 SCALE: 1" = 20'
 REF. DWG. L1.0

KEY	FURNISHING	DETAIL
1	PATIO STANDARD CONCRETE WITH BROOM FINISH, SCORED PER PLAN HAND TOOLED OR MACHINE CUT	SEE CIVIL DRAWINGS
2	CONCRETE SIDEWALK STANDARD CONCRETE WITH BROOM FINISH, SCORED PER PLAN, HAND TOOLED OR MACHINE CUT	SEE CIVIL DRAWINGS
3	TYPICAL SHRUB PLANTING	-
4	TYPICAL FLOWERING/ORNAMENTAL TREE PLANTING	-
5	TYPICAL LARGE DECIDUOUS TREE PLANTING	-
6	TYPICAL EVERGREEN TREE PLANTING	-
7	TYPICAL GROUND COVER PLANTING	-
8	TYPICAL ORNAMENTAL GRAS PLANTING	-

9	METAL EDGE	-
10	TURF	-
11	POOL	-
12	FIRE PIT	-
13	OUTDOOR KITCHEN	-
14	PICKLE BALL COURT	-
15	BOCCE BALL COURT	-
16	DOG PARK	-

PLANT SCHEDULE		
LARGE & MEDIUM DECIDUOUS TREES	BOTANICAL NAME	COMMON NAME
	Acer rubrum 'red sunset'	Rd Maple
	Quercus rubra	Red Oak
	Zelkova serrata 'JFS-KW1'	City Sprite zelkova
	Tilia americana	American Linden
	Betula nigra 'BNMT'	Dura Heat@River Birch
EVERGREEN TREES	BOTANICAL NAME	COMMON NAME
	Pinus echinata	Short-Leaf Pine
	Juniperus virginiana	Red Cedar
	Thuja 'Green Giant'	Arborvitae
SMALL DECIDUOUS TREES	BOTANICAL NAME	COMMON NAME
	Cornus florida	Flowering Dogwood
	Cercis canadensis	Red Bud
	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance@Apple Serviceberry
	Carpinus caroliniana	American Hornbeam
SHRUBS	BOTANICAL NAME	COMMON NAME
	Buxus x 'Green Velvet'	Green Velvet Boxwood
	Taxus x media	Yew
	Physocarpus opulifolius	Tiny Wine Ninebark
	Juniperus x pfitzeriana 'Sea Green'	Chinese Juniper
	ITEA VIRGINICA 'LITTLE HENRY'	'LITTLE HENRY' SWEET SPIRE
	Ceanothus americanus	New Jersey Tea
	Thuja occidentalis 'Smaragd'	Emerald Green Arborvitae
	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac
	Spiraea japonica	Japanese spirea
ORNAMENTAL GRASS & GROUND COVER	BOTANICAL NAME	COMMON NAME
	Schizachyrium scoparium	Little Bluestem
	Sorghastrum nutans	Indiangrass
	Juniperus procumbens 'Green Mound'	Green Mound Juniper
		AREA TO BE TURF
		DECORATIVE GRAVEL

* SEE SHEET L1.4 FOR LANDSCAPE NOTES, CALCULATIONS AND FULL PLANT SCHEDULE WITH QUANTITIES

DATE	NO	REVISION DESCRIPTION
09/30/2022	1	PER CITY COMMENTS

DEVELOPER/OWNER:
AVENUE DEVELOPMENT, LLC
 8435 KEYSTONE CROSSING BLVD, STE. 140
 INDIANAPOLIS, IN 46240
 PHONE: 414-688-8565

THE PROFESSIONAL, WHOSE SIGNATURE AND PERSONAL SEAL APPEAR HEREON, HAS REVIEWED THIS DRAWING FOR CONFORMANCE WITH THE PROFESSIONAL SEAL ACT AND THE RULES OF THE BOARD OF ARCHITECTURE, ENGINEERS AND SURVEYORS OF THE STATE OF INDIANA. THIS REVIEW IS LIMITED TO THE TECHNICAL ASPECTS OF THE DRAWING AND DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE PROFESSIONAL IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THIS DRAWING OR FOR ANY CONSEQUENCES ARISING FROM THE USE OF THIS DRAWING FOR ANY PURPOSES OTHER THAN THAT FOR WHICH IT WAS PREPARED.

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 DATE: 09/30/2022

VIVA BENE - AVENUE
 1801 NW BARRY ROAD
 KANSAS CITY, MO 64151
LANDSCAPE ENLARGEMENT

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 Suite 307
 St. Charles, MO 63303
 636.770.2500 for
 636.770.2500 fax

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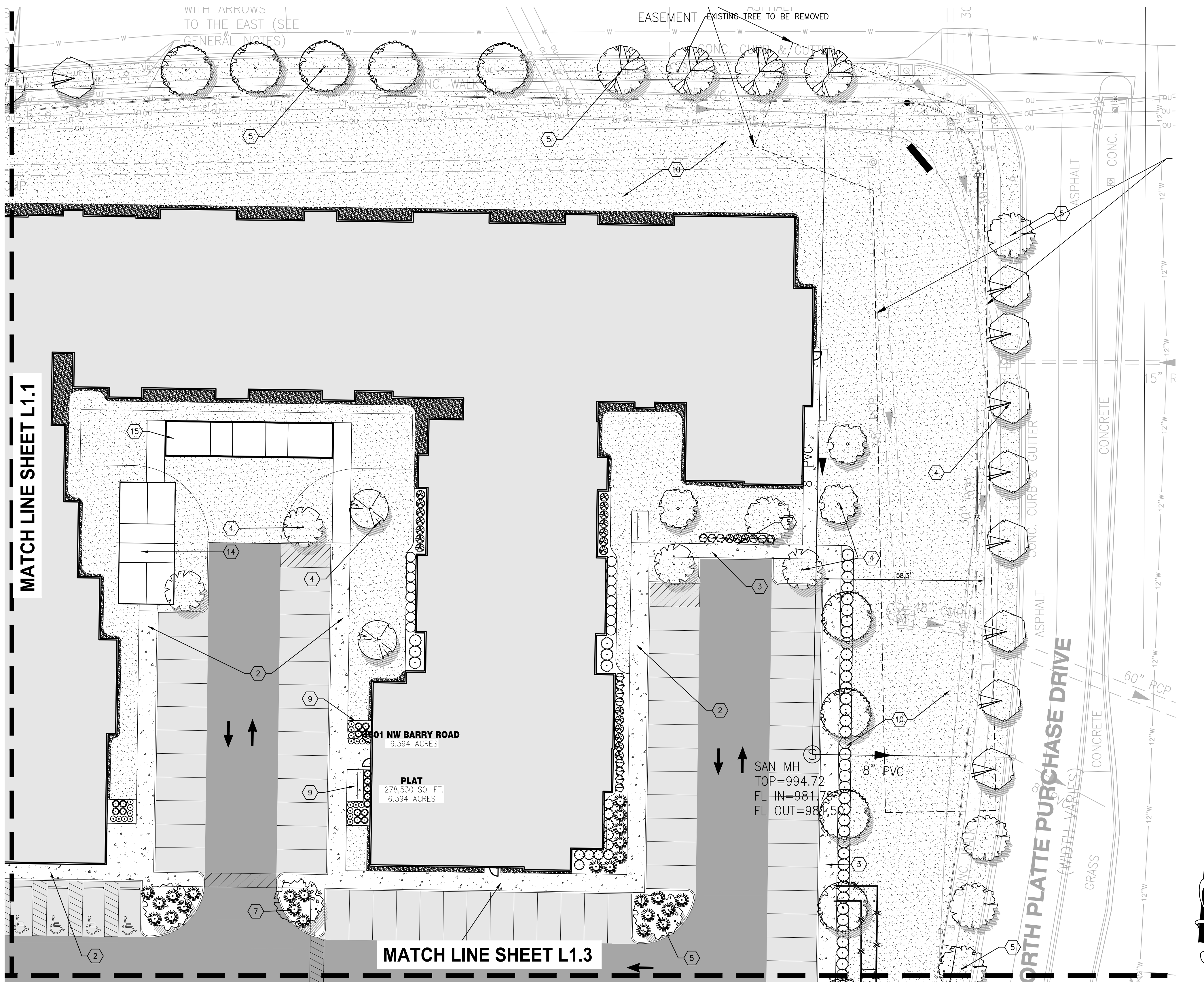
DESIGN/CALC BY	LFD
DRAWN BY	MAB
CHECKED BY	KAK
DRAWING SCALE	AS SHOWN
DATE	8/26/2022
Job Number	22-0119
Sheet Number	L1.1

City Plan Commission
 Recommends Approval with Conditions
 of Case No. **CD-CPC-2022-00162** on **11/15/2022**

Joseph Rexwinkle, AICP
 Secretary of the Commission

CITY PLANNING AND DEVELOPMENT

USER: Kurt Kuller TAB: L1.1
 DATE: October 1, 2022 - 4:29:33 PM
 DRAWING: S:\085\085\2022\22-0119\000\0-Plan\PoolSheet\0_Plan_LAND_22-0119.dwg



1 LANDSCAPE ENLARGEMENT - EAST
 SCALE: 1" = 20' REF. DWG. L1.0

KEY	FURNISHING	DETAIL
1	PATIO STANDARD CONCRETE WITH BROOM FINISH, SCORED PER PLAN HAND TOOLED OR MACHINE CUT	SEE CIVIL DRAWINGS
2	CONCRETE SIDEWALK STANDARD CONCRETE WITH BROOM FINISH, SCORED PER PLAN, HAND TOOLED OR MACHINE CUT	SEE CIVIL DRAWINGS
3	TYPICAL SHRUB PLANTING	-
4	TYPICAL FLOWERING/ORNAMENTAL TREE PLANTING	-
5	TYPICAL LARGE DECIDUOUS TREE PLANTING	-
6	TYPICAL EVERGREEN TREE PLANTING	-
7	TYPICAL GROUND COVER PLANTING	-
8	TYPICAL ORNAMENTAL GRAS PLANTING	-

9	METAL EDGE	-
10	TURF	-
11	POOL	-
12	FIRE PIT	-
13	OUTDOOR KITCHEN	-
14	PICKLE BALL COURT	-
15	BOCCIE BALL COURT	-
16	DOG PARK	-

PLANT SCHEDULE		
LARGE & MEDIUM DECIDUOUS TREES	BOTANICAL NAME	COMMON NAME
	Acer rubrum 'red sunset'	Rd Maple
	Quercus rubra	Red Oak
	Zelkova serrata 'JFS-KW1'	City Sprite zelkova
	Tilia americana	American Linden
	Betula nigra 'BNMT'	Dura Heat@River Birch
EVERGREEN TREES	BOTANICAL NAME	COMMON NAME
	Pinus echinata	Short-Leaf Pine
	Juniperus virginiana	Red Cedar
	Thuja 'Green Giant'	Arborvitae
SMALL DECIDUOUS TREES	BOTANICAL NAME	COMMON NAME
	Cornus florida	Flowering Dogwood
	Cercis canadensis	Red Bud
	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance@Apple Serviceberry
	Carpinus caroliniana	American Hornbeam
SHRUBS	BOTANICAL NAME	COMMON NAME
	Buxus x 'Green Velvet'	Green Velvet Boxwood
	Taxus x media	Yew
	Physocarpus opulifolius	Tiny Wine Ninebark
	Juniperus x pfitzeriana 'Sea Green'	Chinese Juniper
	ITEA VIRGINICA 'LITTLE HENRY'	'LITTLE HENRY' SWEET SPIRE
	Ceanothus americanus	New Jersey Tea
	Thuja occidentalis 'Smaragd'	Emerald Green Arborvitae
	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac
	Spiraea japonica	Japanese spirea
ORNAMENTAL GRASS & GROUND COVER	BOTANICAL NAME	COMMON NAME
	Schizachyrium scoparium	Little Bluestem
	Sorghastrum nutans	Indiangrass
	Juniperus procumbens 'Green Mound'	Green Mound Juniper
		AREA TO BE TURF
		DECORATIVE GRAVEL

* SEE SHEET L1.4 FOR LANDSCAPE NOTES, CALCULATIONS AND FULL PLANT SCHEDULE WITH QUANTITIES

CITY PLANNING AND DEVELOPMENT

City Plan Commission
Recommends Approval with Conditions
 of Case No. **CD-CPC-2022-00162** on **11/15/2022**

Joseph Rexwinkle, AICP
 Secretary of the Commission

DATE	NO	REVISION DESCRIPTION
09/30/2022	1	PER CITY COMMENTS

DEVELOPER/OWNER:
AVENUE DEVELOPMENT, LLC
8435 KEYSTONE CROSSING BLVD, STE. 140
INDIANAPOLIS, IN 46240
PHONE: 414-688-8565

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 KANSAS CITY, MO 64151

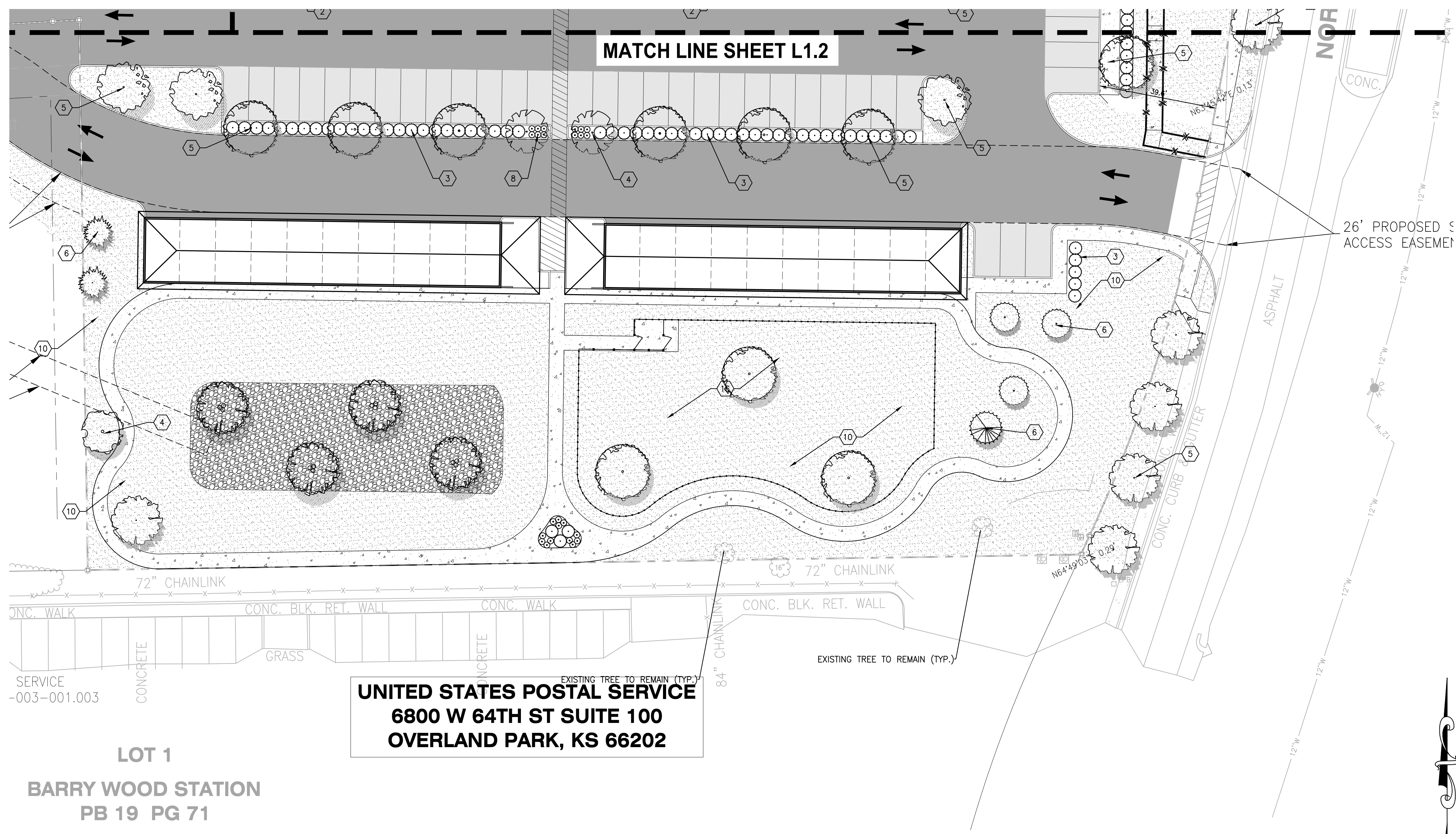
LANDSCAPE ENLARGEMENT

+ ST. CHARLES
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 Suite 307
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 636.770.2500 for
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DRAWN BY	MAB
CHECKED BY	KAK
DRAWING SCALE	AS SHOWN
DATE	8/26/2022
Job Number	22-0119
Sheet Number	L1.2

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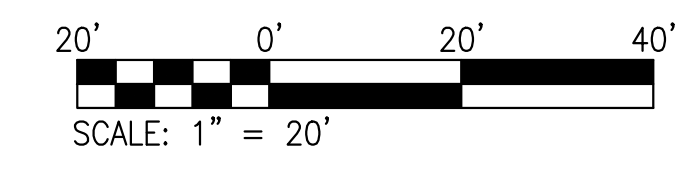
1 LANDSCAPE ENLARGEMENT - SOUTH
 SCALE: 1"=20' REF. DWG. L1.0

KEYED NOTES		
KEY	FURNISHING	DETAIL
1	PATIO STANDARD CONCRETE WITH BROOM FINISH, SCORED PER PLAN HAND TOOLED OR MACHINE CUT	SEE CIVIL DRAWINGS
2	CONCRETE SIDEWALK STANDARD CONCRETE WITH BROOM FINISH, SCORED PER PLAN, HAND TOOLED OR MACHINE CUT	SEE CIVIL DRAWINGS
3	TYPICAL SHRUB PLANTING	-
4	TYPICAL FLOWERING/ORNAMENTAL TREE PLANTING	-
5	TYPICAL LARGE DECIDUOUS TREE PLANTING	-
6	TYPICAL EVERGREEN TREE PLANTING	-
7	TYPICAL GROUND COVER PLANTING	-
8	TYPICAL ORNAMENTAL GRAS PLANTING	-

9	METAL EDGE	-
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11	POOL	-
12	FIRE PIT	-
13	OUTDOOR KITCHEN	-
14	PICKLE BALL COURT	-
15	BOCCE BALL COURT	-
16	DOG PARK	-

PLANT SCHEDULE		
LARGE & MEDIUM DECIDUOUS TREES	BOTANICAL NAME	COMMON NAME
	<i>Acer rubrum</i> 'red sunset'	Rd Maple
	<i>Quercus rubra</i>	Red Oak
	<i>Zelkova serrata</i> 'JFS-KW1'	City Sprite zelkova
	<i>Tilia americana</i>	American Linden
	<i>Betula nigra</i> 'BNMT'	Dura Heat@River Birch
EVERGREEN TREES	BOTANICAL NAME	COMMON NAME
	<i>Pinus echinata</i>	Short-Leaf Pine
	<i>Juniperus virginiana</i>	Red Cedar
	<i>Thuja</i> 'Green Giant'	Arborvitae
SMALL DECIDUOUS TREES	BOTANICAL NAME	COMMON NAME
	<i>Cornus florida</i>	Flowering Dogwood
	<i>Cercis canadensis</i>	Red Bud
	<i>Amelanchier x grandiflora</i> 'Autumn Brilliance'	Autumn Brilliance@Apple Serviceberry
	<i>Carpinus caroliniana</i>	American Hornbeam
SHRUBS	BOTANICAL NAME	COMMON NAME
	<i>Buxus x</i> 'Green Velvet'	Green Velvet Boxwood
	<i>Taxus x</i> 'media'	Yew
	<i>Physocarpus opulifolius</i>	Tiny Wine Ninebark
	<i>Juniperus x pfitzeriana</i> 'Sea Green'	Chinese Juniper
	<i>ITEA VIRGINICA</i> 'LITTLE HENRY'	'LITTLE HENRY' SWEET SPIRE
	<i>Ceanothus americanus</i>	New Jersey Tea
	<i>Thuja occidentalis</i> 'Smaragd'	Emerald Green Arborvitae
	<i>Rhus aromatica</i> 'Gro-Low'	Gro-Low Fragrant Sumac
	<i>Spiraea japonica</i>	Japanese spirea
ORNAMENTAL GRASS & GROUND COVER	BOTANICAL NAME	COMMON NAME
	<i>Schizachyrium scoparium</i>	Little Bluestem
	<i>Sorghastrum nutans</i>	Indiangrass
	<i>Juniperus procumbens</i> 'Green Mound'	Green Mound Juniper
		AREA TO BE TURF
		DECORATIVE GRAVEL

* SEE SHEET L1.4 FOR LANDSCAPE NOTES, CALCULATIONS AND FULL PLANT SCHEDULE WITH QUANTITIES



USER: Kurt Kutter TAB: L1.3
 DATE: October 1, 2022 - 4:28:47 PM
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DEVELOPER/OWNER:
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DESIGN/CALC BY: LFD
 DRAWN BY: MAB
 CHECKED BY: KAK
 DRAWING SCALE: AS SHOWN
 DATE: 8/26/2022
 Job Number: 22-0119
 Sheet Number: **L1.3**

City Plan Commission
Recommends Approval with Conditions
 of Case No. **CD-CPC-2022-00162** on **11/15/2022**

Joseph Rexwinkle, AICP
 Secretary of the Commission

USER: Kurt Kutter TAB: L1.4
 DATE: October 1, 2022 - 4:29:50 PM
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PLANT SCHEDULE - INCLUDES ENTIRE SITE AND R.O.W. PLANTINGS						
LARGE & MEDIUM DECIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME	SPACING	SIZE	COMMENTS
	24	Acer rubrum 'red sunset'	Rd Maple	As Shown	2" Cal. Min.	B&B
	7	Quercus rubra	Red Oak	As Shown	2" Cal. Min.	B&B
	14	Zelkova serrata 'JFS-KW1'	City Sprite zelkova	As Shown	2" Cal. Min.	B&B
	14	Tilia americana	American Linden	As Shown	2" Cal. Min.	B&B
	4	Betula nigra 'BNMT'	Dura Heat/River Birch	As Shown	2" Cal. Min.	B&B
EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	SPACING	SIZE	COMMENTS
	3	Pinus echinata	Short-Leaf Pine	As Shown	6'-8' HT. MIN.	B&B
	2	Juniperus virginiana	Red Cedar	As Shown	6'-8' HT. MIN.	B&B
	5	Thuja 'Green Giant'	Arborvitae	As Shown	6'-8' HT. MIN.	B&B
SMALL DECIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME	SPACING	SIZE	COMMENTS
	2	Cornus florida	Flowering Dogwood	As Shown	1.5" Cal. Min.	B&B
	4	Cercis canadensis	Red Bud	As Shown	1.5" Cal. Min.	B&B
	15	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance/Apple Serviceberry	As Shown	1.5" Cal. Min.	B&B SINGLE STEM
	7	Carpinus caroliniana	American Hornbeam	As Shown	1.5" Cal. Min.	B&B
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SPACING	SIZE	COMMENTS
	99	Buxus x 'Green Velvet'	Green Velvet Boxwood	As Shown	18" min.	Cont.
	49	Taxus x media	Yew	As Shown	24" min.	Cont.
	50	Physocarpus opulifolius	Tiny Wine Ninebark	As Shown	18" min.	Cont.
	123	Juniperus x pfitzeriana 'Sea Green'	Chinese Juniper	As Shown	24" min.	Cont.
	40	ITEA VIRGINICA 'LITTLE HENRY'	'LITTLE HENRY' SWEET SPIRE	As Shown	24" min.	Cont.
	33	Ceanothus americanus	New Jersey Tea	As Shown	24" min.	Cont.
	46	Thuja occidentalis 'Smaragd'	Emerald Green Arborvitae	As Shown	4' HT. min.	Cont.
	23	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	As Shown	24" min.	Cont.
	29	Spiraea japonica	Japanese spirea	As Shown	24" min.	Cont.
ORNAMENTAL GRASS & GROUND COVER	QTY	BOTANICAL NAME	COMMON NAME	SPACING	SIZE	COMMENTS
	120	Schizachyrium scaparium	Little Bluestem	As Shown	2 gal.	Cont.
	22	Sorghastrum nutans	Indiangrass	As Shown	2 gal.	Cont.
	40	Juniperus procumbens 'Green Mound'	Green Mound Juniper	3' O.C.	2 gal.	Cont.
	TBD		AREA TO BE TURF			
	TBD		DECORATIVE GRAVEL			

LANDSCAPE AND TREE REQUIREMENTS				
CODE SEC. 88-425-03-C TREE PLANTING REQUIREMENTS - STREET TREES				
REQUIREMENT	AREA / MEASUREMENT	REQ'D	PROVD	APPROVED
1 STREET TREE FOR EACH 30' OF STREET FRONTAGE NO MORE THAN 50% ONE TREE SPECIES	NW BARRY RD. +/- 700 L.F. 700/30=23.3	24 TREES	24 TREES	
	N PLATTE PURCHASE RD +/- 500 L.F. 500-28LF ENTRY DRIVE= 474 474/30=15.8	16 TREES	16 TREES	
CODE SEC. 88-425-04-D TREES - GENERAL LANDSCAPING REQUIREMENTS				
REQUIREMENT	AREA / MEASUREMENT	REQ'D	PROVD	APPROVED
1 TREE PER 5,000 S.F. OF PRINCIPAL BUILDING COVERAGE	77,232.8 S.F. OF BUILDING COVERAGE 77,232.8/5,000 = 15.4	16 TREES	16 TREES	
CODE SEC. 88-425-06-B - MIN. INTERIOR LANDSCAPE AREA - INTERIOR LANDSCAPING OF PARKING LOTS				
REQUIREMENT	AREA / MEASUREMENT	REQ'D	PROVD	APPROVED
MIN. 35 S.F. OF INTERIOR LANDSCAPE AREA FOR EACH PARKING SPACE	210 PARKING SPACES 210x35=7,350 S.F. OF INTERIOR LANDSCAPE AREA REQUIRED	7,350 S.F.	7,416 S.F.	
CODE SEC. 88-425-06-E - PLANT MATERIALS - INTERIOR LANDSCAPING OF PARKING LOTS				
REQUIREMENT	AREA / MEASUREMENT	REQ'D	PROVD	APPROVED
1 TREE PER 5 PARKING STALLS 1 SHRUB PER PARKING SPACE GROUND COVER PLANTS MUST COVER ALL INTERIOR LANDSCAPE AREAS	205 PARKING SPACES 205/5 = 41 TREES 205x1 = 205 SHRUBS REQUIRED	41 TREES 205 SHRUBS	41 TREES 205 SHRUBS	
CODE SEC. 88-425-05-B - ADJACENT TO STREETS - PERIMETER LANDSCAPING OF VEHICULAR USE AREAS				
REQUIREMENT	AREA / MEASUREMENT	REQ'D	PROVD	APPROVED
- 10' WIDE BUFFER STRIP - 1 TREE PER 30 LINEAR FEET OF LANDSCAPE STRIP * TREES PLANTED FOR STREET TREE PLANTING REQUIREMENTS MAY BE COUNTED - EVERGREEN SHRUBS TO FORM A VISUAL SCREEN AT LEAST 3' IN HEIGHT AFTER FIRST GROWING SEASON - GROUND COVER PLANTS MUST COVER THE REMAINDER OF THE REQUIRED LANDSCAPE STRIP.	+/- 180 L.F. OF PARKING LOT FRONTAGE 180/30 = 6 TREES & EVERGREEN SHRUB SCREEN	6 TREES EVERGREEN SHRUB SCREEN	6 TREES * INCLUDES PROPOSED STREET TREES EVERGREEN SHRUB SCREEN	

LANDSCAPE NOTES:

- LANDSCAPE CONTRACTOR TO VERIFY LOCATION OF UNDERGROUND UTILITIES BEFORE BEGINNING WORK.
- ALL LANDSCAPE SHALL COMPLY WITH THE CURRENT EDITION OF ANSI Z 60.1 "AMERICAN STANDARD FOR NURSERY STOCK."
- ALL PLANTS SHALL MEET THE REQUIREMENTS OF THE STATE AND FEDERAL LAW WITH RESPECT TO DISEASE AND INSECT INFESTATION.
- MULCH AREAS WITH TRIPLE GROUND HARDWOOD MULCH 3" MIN. DEPTH.
- ALL LANDSCAPE SUBSTITUTIONS MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE/LANDSCAPE ARCHITECT.
- FORMAL LINES AND GROUPINGS OF A SPECIES OF TREE, SHRUB, OR GROUND COVER SHALL BE MATCHED FOR SIZE, FORM, AND COLOR.
- ALL BACKFILL IN PLANTING BEDS AND TREE PITS SHALL BE BACKFILLED WITH PLANTING SOIL AS CALLED OUT IN THE SPECIFICATIONS.
- ALL TREES OUTSIDE OF PLANT BEDS SHALL BE PLANTED WITH A MULCH RING. OBTAIN APPROVAL FROM OWNER'S REPRESENTATIVE/LANDSCAPE ARCHITECT FOR ANY TREES THAT WILL NOT BE MULCHED FOR EXCESSIVE MOISTURE REASONS.
- ALL LANDSCAPING SHALL BE INSTALLED AS SHOWN ON THE APPROVED PLAN.
- AT PLANTING, TREE TRUNKS MUST BE STRAIGHT WITH MINIMAL DOGLEGS.
- WIRE BASKETS, BURLAP WRAPPINGS, ROPE, TWINE OR ANY SIMILAR SHIPPING MATERIALS SHALL BE REMOVED BEFORE PLANTING.
- A SPADE CUT EDGE SHALL BE CREATED AT ALL LOCATIONS WHERE PLANTING BEDS ARE ADJACENT TO GRASS AREAS UNLESS OTHERWISE NOTED.
- SEE CIVIL PLANS FOR TYPE AND LOCATION OF EROSION CONTROL MATERIALS.
- DO NOT DISTURB EXISTING UTILITIES WITHIN WORK AREA. SILT FENCE AND PLANTINGS SHALL AVOID ANY EXISTING UTILITIES.
- THE CONTRACTOR SHALL FOLLOW THE LANDSCAPE PLANS. ANY SUBSTITUTION OR ALTERATION SHALL NOT BE ALLOWED WITHOUT APPROVAL OF THE OWNER'S REPRESENTATIVE/LANDSCAPE ARCHITECT. OVERALL PLANT QUANTITY AND QUALITY SHALL BE CONSISTENT WITH THE PLANS.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES. WRITTEN QUANTITIES TAKES PRECEDENCE OVER GRAPHIC QUANTITIES. NOTIFY OWNER'S REPRESENTATIVE/LANDSCAPE ARCHITECT OF DISCREPANCIES.
- THE OWNER'S REPRESENTATIVE/LANDSCAPE ARCHITECT RESERVES THE RIGHT TO INSPECT AND TAG ALL PLANT MATERIAL PRIOR TO SHIPPING TO THE SITE. IN ALL CASES, THE LANDSCAPE ARCHITECT MAY REJECT PLANT MATERIAL AT THE SITE IF MATERIAL IS DAMAGED, DISEASED, OR DECLINING IN HEALTH AT THE TIME OF ON SITE INSPECTIONS OR IF THE PLANT MATERIAL DOES NOT MEET THE MINIMUM SPECIFIED STANDARD IDENTIFIED ON THE PLANS AND IN THE SPECIFICATIONS. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVE/LANDSCAPE ARCHITECT FOR INSPECTION AND APPROVAL OF ALL MATERIALS AND PRODUCTS PRIOR TO INSTALLATION.
- THE OWNER'S REPRESENTATIVE/LANDSCAPE ARCHITECT MAY ELECT TO UPSIZE PLANT MATERIAL AT THEIR DISCRETION BASED ON SELECTION, AVAILABILITY, OR TO ENHANCE SPECIFIC AREAS OF THE PROJECT. THE CONTRACTOR SHALL VERIFY PLANT MATERIAL SIZES WITH OWNER'S REPRESENTATIVE/LANDSCAPE ARCHITECT PRIOR TO PURCHASING, SHIPPING OR STOCKING OF PLANT MATERIALS. SUBMIT CHANGE ORDER REQUEST TO OWNER'S REPRESENTATIVE/LANDSCAPE ARCHITECT FOR APPROVAL IF ADDITIONAL COST IS REQUESTED BY THE CONTRACTOR PRIOR TO INSTALLATION. RE-STOCKING CHARGES WILL NOT BE APPROVED IF THE CONTRACTOR FAILS TO SUBMIT A REQUEST FOR MATERIAL CHANGES.
- THE CONTRACTOR SHALL WARRANTY ALL CONTRACTED WORK AND MATERIALS FOR A PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION HAS BEEN ISSUED BY THE OWNER'S REPRESENTATIVE/LANDSCAPE ARCHITECT FOR THE ENTIRE PROJECT UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS OR SPECIFICATIONS.
- THE DEVELOPER, HIS SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE INSTALLATION, MAINTENANCE AND REPLACEMENT OF ALL LANDSCAPING MATERIALS SHOWN OR INDICATED ON THE APPROVED LANDSCAPE PLAN ON FILE WITH THE PLANNING DEPARTMENT. ALL LANDSCAPING WILL BE INSTALLED AS DELINEATED ON THE PLAN, PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
- PRIOR TO INSTALLATION OF PLANT MATERIALS, AREAS THAT HAVE BEEN COMPACTED OR DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE THOROUGHLY LOOSENEED TO A DEPTH OF 8" - 12" AND AMENDED PER SPECIFICATIONS.
- ALL LANDSCAPED AREAS ARE TO HAVE SOIL PREPARATION PER SPECIFICATIONS. (MINIMUM RATE OF 3 CU. YDS. OF ORGANIC MATTER PER 1000 S.F.). TREES SHALL NOT BE LOCATED IN DRAINAGE SWALES, DRAINAGE AREAS, OR UTILITY EASEMENTS. CONTACT OWNER'S REPRESENTATIVE/LANDSCAPE ARCHITECT FOR RELOCATION OF PLANTS IN QUESTIONABLE AREAS PRIOR TO INSTALLATION.
- ALL EVERGREEN TREES SHALL BE FULLY BRANCHED TO THE GROUND AND SHALL NOT EXHIBIT SIGNS OF ACCELERATED GROWTH AS DETERMINED BY THE OWNER'S REPRESENTATIVE/LANDSCAPE ARCHITECT.
- ALL TREES ARE TO BE STAKED AND GUYED PER DETAILS FOR A PERIOD OF 1 YEAR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING STAKES AT THE END OF 1 YEAR FROM ACCEPTANCE OF LANDSCAPE INSTALLATION BY THE OWNER'S REPRESENTATIVE/LANDSCAPE ARCHITECT. OBTAIN APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO REMOVAL.
- ALL TREES INSTALLED ABOVE RETAINING WALLS UTILIZING GEO-GRID MUST BE HAND DUG TO PROTECT GEO-GRID. IF GEO-GRID MUST BE CUT TO INSTALL TREES, APPROVAL MUST BE GIVEN BY OWNER'S REPRESENTATIVE/LANDSCAPE ARCHITECT PRIOR TO DOING WORK.
- PLACE PLANT MATERIAL IN SHRUB BED SO THAT ONCE PLANTS GROW TO FULL SIZE THEY ARE FULLY CONTAINED WITHIN THE SHRUB BED AREA AND DO NOT HANG OVER THE EDGER LINE.
- REFER TO IRRIGATION PLANS FOR LIMITS AND TYPES OF IRRIGATION DESIGNED FOR THE LANDSCAPE. IN NO CASE SHALL IRRIGATION BE EMITTED WITHIN THE MINIMUM DISTANCE FROM BUILDING OR WALL FOUNDATIONS AS STIPULATED IN THE GEOTECHNICAL REPORT. ALL IRRIGATION DISTRIBUTION LINES, HEADS AND EMITTERS SHALL BE KEPT OUTSIDE THE MINIMUM DISTANCE AWAY FROM ALL BUILDING AND WALL FOUNDATIONS AS STIPULATED IN THE GEOTECHNICAL REPORT.
- LANDSCAPE AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH INDIVIDUAL ZONES FOR TURF AND NON-TURF AREAS, AND MUST INCLUDE A MOISTURE DETECTION DEVICE TO PREVENT OPERATION DURING RAINY PERIODS. TURF AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC POP-UP IRRIGATION SYSTEM. SHRUB AND PERENNIAL BEDS SHALL HAVE DRIP IRRIGATION.
- LANDSCAPE MATERIAL LOCATIONS SHALL HAVE PRECEDENCE OVER IRRIGATION MAINLINE AND LATERAL LOCATIONS. COORDINATE INSTALLATION OF IRRIGATION EQUIPMENT SO THAT IT DOES NOT INTERFERE WITH THE PLANTING OF TREES OR OTHER LANDSCAPE MATERIAL.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING POSITIVE DRAINAGE EXISTS IN ALL LANDSCAPE AREAS. SURFACE DRAINAGE ON LANDSCAPE AREAS SHALL NOT FLOW TOWARD STRUCTURES AND FOUNDATIONS. MAINTAIN SLOPE AWAY FROM FOUNDATIONS PER THE GEOTECHNICAL REPORT RECOMMENDATIONS. ALL LANDSCAPE AREAS BETWEEN WALKS AND CURBS SHALL DRAIN FREELY TO THE CURB UNLESS OTHERWISE IDENTIFIED ON THE GRADING PLAN. IN NO CASE SHALL THE GRADE, TURF THATCH, OR OTHER LANDSCAPE MATERIALS DAM WATER AGAINST WALKS. MINIMUM SLOPES ON LANDSCAPE AREAS SHALL BE 2%; MAXIMUM SLOPE SHALL BE 25% UNLESS SPECIFICALLY IDENTIFIED ON THE PLANS OR APPROVED BY THE OWNER'S REPRESENTATIVE/LANDSCAPE ARCHITECT.
- SHRUB, GROUND COVER AND PERENNIAL BEDS ARE TO BE CONTAINED BY A SPADE CUT EDGE. EDGER IS NOT REQUIRED WHEN ADJACENT TO CURBS, WALLS, WALKS OR SOLID FENCES WITHIN 3" OF PRE-MULCHED FINAL GRADE. EDGER SHALL NOT BE REQUIRED TO SEPARATE MULCH TYPES UNLESS SPECIFIED ON THE PLANS.
- ALL SHRUB BEDS ARE TO BE MULCHED WITH MIN. 3" DEPTH, SHREDDED HARDWOOD BARK MULCH.
- AT SEED AREA BOUNDARIES ADJACENT TO EXISTING NATIVE AREAS, OVERLAP ABUTTING NATIVE AREAS BY THE FULL WIDTH OF THE SEEDER.
- EXISTING TURF AREAS THAT ARE DISTURBED DURING CONSTRUCTION, ESTABLISHMENT AND THE MAINTENANCE PERIOD SHALL BE RESTORED WITH NEW SOD TO MATCH EXISTING TURF SPECIES. DISTURBED NATIVE AREAS WHICH ARE TO REMAIN SHALL BE OVER SEEDED AND RESTORED WITH SPECIFIED SEED MIX.
- CONTRACTOR SHALL OVER SEED ALL MAINTENANCE OR SERVICE ACCESS BENCHES AND ROADS WITH SPECIFIED SEED MIX UNLESS OTHERWISE NOTED ON THE PLANS.
- ALL SEEDED SLOPES EXCEEDING 25% IN GRADE (4:1) SHALL RECEIVE EROSION CONTROL BLANKETS. PRIOR TO INSTALLATION, NOTIFY OWNER'S REPRESENTATIVE FOR APPROVAL OF LOCATION AND ANY ADDITIONAL COST IF A CHANGE ORDER IS NECESSARY.
- WHEN COMPLETE, ALL GRADES SHALL BE WITHIN +/- 1/8" OF FINISHED GRADES AS SHOWN ON THE PLANS. THESE PLANS ARE NOT INTENDED FOR CONSTRUCTION OR PERMITTING UNLESS STATED IN THE TITLE BLOCK.
- DRAWINGS ARE INTENDED TO BE PRINTED ON 24" X 36" PAPER. PRINTING THESE DRAWINGS AT A DIFFERENT SIZE WILL IMPACT THE SCALE. VERIFY THE GRAPHIC SCALE BEFORE REFERENCING ANY MEASUREMENTS ON THESE SHEETS. THE RECIPIENT OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR ANY ERRORS RESULTING FROM INCORRECT PRINTING, COPYING, OR ANY OTHER CHANGES THAT ALTER THE SCALE OF THE DRAWINGS.
- VERIFY ALL PLAN DIMENSIONS PRIOR TO START OF CONSTRUCTION. NOTIFY THE OWNER'S REPRESENTATIVE TO ADDRESS ANY QUESTIONS OR CLARIFY ANY DISCREPANCIES.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- SUBMIT A CHANGE ORDER FOR APPROVAL FOR ANY CHANGES TO WORK SCOPE RESULTING FROM FIELD CONDITIONS OR DIRECTION BY OWNER'S REPRESENTATIVE WHICH REQUIRE ADDITIONAL COST TO THE OWNER PRIOR TO PERFORMANCE OF WORK.
- THE CONTRACTOR SHALL PROVIDE A STAKED LAYOUT OF ALL SITE IMPROVEMENTS FOR INSPECTION BY THE OWNER'S REPRESENTATIVE AND MAKE MODIFICATIONS AS REQUIRED.

DATE	NO	REVISION DESCRIPTION
09/30/2022	1	FEEL CITY COMMENTS

DEVELOPER/OWNER:
AVENUE DEVELOPMENT, LLC
 8435 KEYSTONE CROSSING BLVD, STE. 140
 INDIANAPOLIS, IN 46240
 PHONE: 414-688-8565

THE PROFESSIONAL WHOSE SIGNATURE AND PERSONAL SEAL APPEAR HEREON HAS ASSURED THAT THE PLANS AND SPECIFICATIONS ARE ACCURATE AND COMPLETE AS FAR AS HE OR SHE KNOWS AND BELIEVES. HE OR SHE HAS NOT BEEN INFORMED OF ANY CHANGES OR OMISSIONS SINCE THE DATE OF THE PREPARATION OF THESE PLANS. THIS AGREEMENT IS NOT VALID UNLESS SIGNED BY THE PROFESSIONAL IN THE PRESENCE OF THE DEVELOPER/OWNER.

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 P.E., #2018021213
 on 09/30/2022.
 It is not to be used for bidding, construction or permitting purposes.
 DATE: 09/30/2022

VIVA BENE - AVENUE
 1801 NW BARRY ROAD
 KANSAS CITY, MO 64151

PLANT SCHEDULE & NOTES

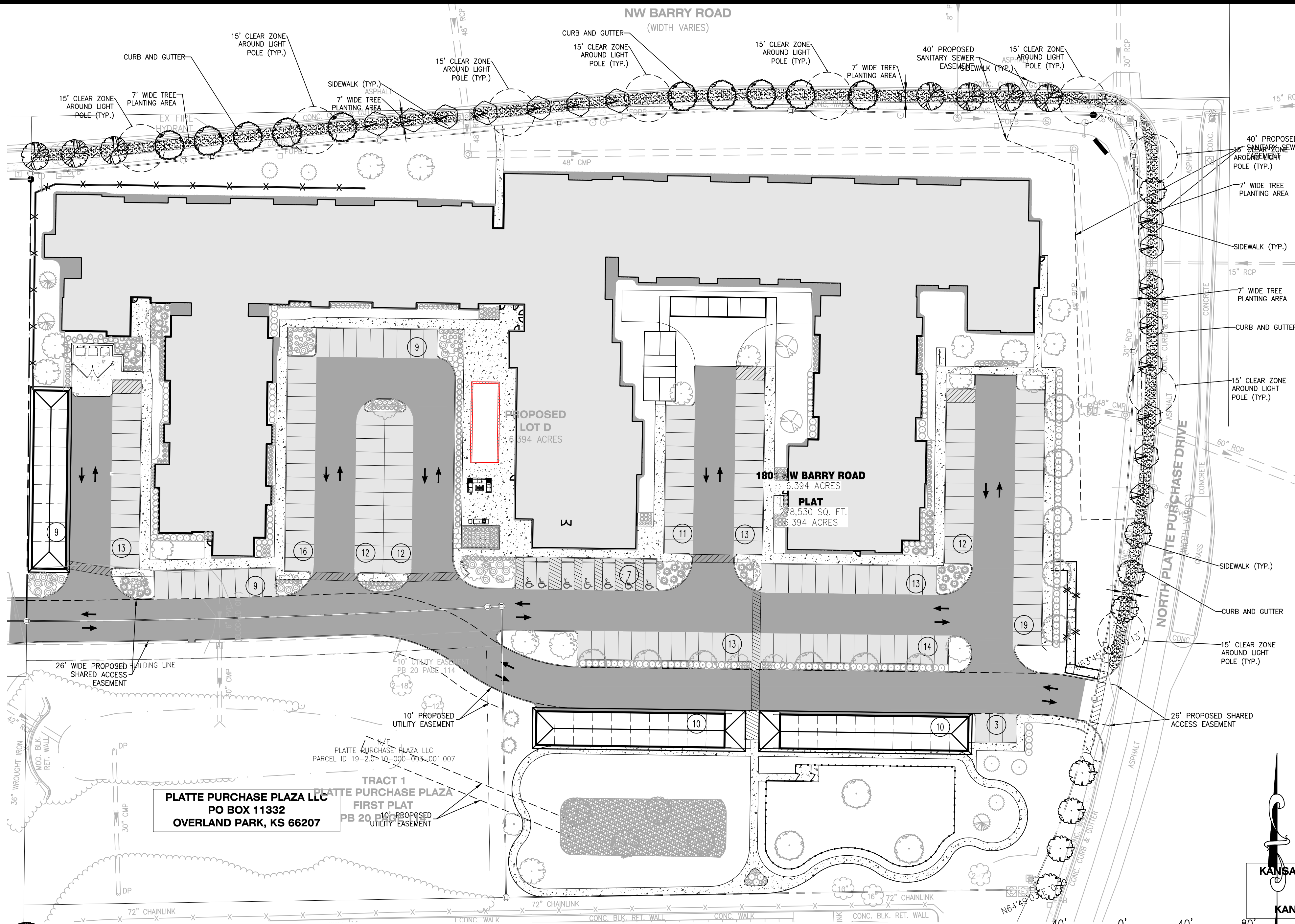
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 1520 S. Fifth Street
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DESIGN/CALC BY	LFD
DRAWN BY	MAB
CHECKED BY	KAK
DRAWING SCALE	AS SHOWN
DATE	8/26/2022
Job Number	22-0119
Sheet Number	L1.4

City Plan Commission
 Recommends Approval with Conditions
 of Case No. **CD-CPC-2022-00162** on **11/15/2022**

Joseph Rexwinkle, AICP
 Secretary of the Commission



EXISTING LEGEND		PROPOSED LEGEND	
*NOTE: NOT ALL SYMBOLS MAY BE APPLICABLE TO THIS PLAN			
ELECTRIC		PROPOSED	
EMT	ELECTRIC METER	CONTOURS	460 459
GA	GUY ANCHOR	TREE	
LP	LIGHT POLE	BUSH	
PP	POWER POLE	STORM MANHOLE	
STORM		AREA INLET	
ES	END SECTION	CURB INLET	
CI	CURB INLET	GRATED INLET	
FOM	FIBER OPTIC MARKER	FLARED END SECTION	
TPD	TELEPHONE PEDESTAL	STORM SEWER	
TRAFFIC	TRAFFIC	STORM DESIGNATOR	
TSP	TRAFFIC SIGNAL POLE	DRAINAGE PIPE	
TSV	TRAFFIC SIGNAL VAULT	SANITARY MANHOLE	
SURVEY MARKERS		SANITARY SEWER	
□	FOUND SECTION CORNER (MONUMENTATION AS NOTED)	CLEAN OUT	
○	FOUND PROPERTY CORNER (MONUMENTATION AS NOTED)	SANITARY DESIGNATOR	
◆	BENCHMARK - CONTROL POINT	LIGHT POLE	
MISCELLANEOUS		POWER POLE	
—	FENCE: CHAIN LINK, STEEL OR ALUMINUM	OVERHEAD UTILITY	
—	VINYL OR PLASTIC	UNDERGROUND ELECTRIC	
—	FENCE: STOCKADE, WOOD,	UNDERGROUND TELEPHONE	
MB	MAILBOX	GAS LINE	
SW	EXISTING TREELINE	GAS VALVE	
●	TREE	GAS METER	
●	TREE, EVERGREEN	GAS MARKER	
		WATER LINE	
		WATER VALVE	
		WATER METER	
		FIRE HYDRANT	
		SIGN	
		LIGHT STANDARD	
		FENCE	
		BOLLARD	
		RETAINING WALL	
		CONCRETE PAVEMENT	
		GUARD RAIL	
		PROPERTY LINE	
		EASEMENT	
		SETBACK	

SPECIES DIVERSITY - NW BARRY RD

* IF LESS THAN 50 TREES, THEN NOT MORE THAN 50% MAY BE OF A SINGLE GENUS.

RED MAPLE - 10 PROPOSED = 42%
 SERVICEBERRY - 7 PROPOSED = 29%
 RED OAK - 7 PROPOSED = 29%

TOTAL - 24 PROPOSED STREET TREES

SPECIES DIVERSITY - NORTH PLATTE PURCHASE DR.

* IF LESS THAN 50 TREES, THEN NOT MORE THAN 50% MAY BE OF A SINGLE GENUS.

ZELKOVA - 8 PROPOSED = 50%
 SERVICEBERRY - 8 PROPOSED = 50%

TOTAL - 16 PROPOSED STREET TREES

DATE OF PLANTING

THE DATE OF TREE PLANTING IS TO BE DETERMINED.

** CONTRACTOR SHALL FIELD VERIFY LOCATIONS OF ALL UTILITIES BEFORE STARTING WORK AND INFORM CIVIL ENGINEER OR LANDSCAPE ARCHITECT OF POSSIBLE UTILITY CONFLICTS WITH PROPOSED LANDSCAPE BEFORE BEGINNING WORK.

STREET R.O.W. PLANT SCHEDULE ONLY

LARGE & MEDIUM DECIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME	SPACING	SIZE	COMMENTS
	10	Acer rubrum 'red sunset'	Rd Maple	As Shown	2" Cal. Min.	B&B
	7	Quercus rubra	Red Oak	As Shown	2" Cal. Min.	B&B
	8	Zelkova serrata 'JFS-KW1'	City Sprite zelkova	As Shown	2" Cal. Min.	B&B
SMALL DECIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME	SPACING	SIZE	COMMENTS
	15	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance® Apple Serviceberry	As Shown	1.5" Cal. Min.	B&B SINGLE STEM
GROUND COVER	QTY	BOTANICAL NAME	COMMON NAME	SPACING	SIZE	COMMENTS
	TBD		AREA TO BE TURF			

** PLANT SCHEDULE ON THIS SHEET SHOWS TREES WITHIN THE RIGHT-OF-WAY ONLY. SEE SHEET L1.0 FOR ON-SITE LANDSCAPE.

PLANT GUARANTEE & MAINTENANCE REQUIREMENTS

- THE CITY FORESTER OR HIS DESIGNEE SHALL HAVE THE RIGHT TO INSPECT ALL TREES PLANTED IN THE CITY RIGHT-OF-WAY PRIOR TO PLANTING.
- REJECTED TREES SHALL BE PROMPTLY REMOVED AND REPLACED.
- MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER EACH PLANT IS PLANTED AND CONTINUE UNTIL ITS ACCEPTANCE HAS BEEN CONFIRMED BY THE CITY FORESTER OR HIS DESIGNEE.
- ALL TREES SHALL BE GUARANTEED BY THE DEVELOPER TO BE IN VIGOROUS GROWING CONDITION AT THE TIME OF PLANTING. ACCEPTANCE OF PLANT MATERIAL SHALL BE FOR GENERAL CONFORMANCE TO SPECIFIED SIZE, CHARACTER, AND QUALITY AND SHALL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR FULL CONFORMANCE TO THE CONTRACT DOCUMENTS, INCLUDING CORRECT SPECIES AND/OR CULTIVAR.
- DEVELOPER SHALL PROMPTLY RAISE AND STRAIGHTEN TREES THAT SETTLE OR LEAN, FOR A PERIOD OF 18 MONTHS.
- DEVELOPER WILL TREAT FOR ANY DISEASE, OR INSECT PROBLEM THAT COULD CAUSE SIGNIFICANT HARM TO THE TREE.
- DEVELOPER WILL GUARANTEE AND REPLACE ANY TREE THAT DIES FOR A PERIOD OF 18 MONTHS. THE CITY FORESTER OR HIS DESIGNEE SHALL HAVE THE RIGHT TO INSPECT TREES FOR GROWING CONDITION AND REQUIRE REPLACEMENT IF NECESSARY. TO BE CONSIDERED ACCEPTABLE, PLANTS SHALL BE FREE OF DEAD OR DYING BRANCHES AND BRANCH TIPS AND SHALL BEAR FOLIAGE OF NORMAL DENSITY, SIZE, AND COLOR. REPLACEMENTS SHALL BE SUBJECT TO ALL REQUIREMENTS STATED IN THIS SPECIFICATION. REPLACEMENT TREES WILL ALSO BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE THAT THEY WERE PLANTED.
- DEVELOPER WILL NOT BE HELD RESPONSIBLE FOR TREES THAT ARE VANADIZED, OR OTHERWISE DAMAGED DUE TO CIRCUMSTANCES BEYOND THE CONTRACTOR'S CONTROL. ANY TREES IDENTIFIED AS DYING DUE TO CIRCUMSTANCES BEYOND THE CONTROL OF THE DEVELOPER, MUST BE INSPECTED AND VERIFIED BY A REPRESENTATIVE FROM THE CITY FORESTER'S OFFICE.

1 OVERALL STREET TREE PLAN
SCALE: 1" = 40'

REF. DWG.

LANDSCAPE AND TREE REQUIREMENTS			
CODE SEC. 88-425-03-C TREE PLANTING REQUIREMENTS - STREET TREES			
REQUIREMENT	AREA / MEASUREMENT	REQ'D	PROVD
1 STREET TREE FOR EACH 30' OF STREET FRONTAGE NO MORE THAN 50% ONE TREE SPECIES	NW BARRY RD +/- 700 L.F. 700/30=23.3	24 TREES	24 TREES
	N PLATTE PURCHASE RD +/- 500 L.F. 500-26LF ENTRY DRIVE = 474 474/30=15.8	16 TREES	16 TREES

SIZE OF TREE & WIDTH OF R.O.W.			
R.O.W.	R.O.W. WIDTH	MAX. DBH ALLOWED	PROPOSED TREES AND THEIR MATURE DBH
N PLATTE PURCHASE RD	7' PLANTING AREA	42"	SERVICEBERRY 16 DBH ZELKOVA 24 DBH PLANTING AREA 5X5 PLANTING AREA 5X5
NW BARRY RD.	7' PLANTING AREA	42"	RED SUNSET MAPLE 36 DBH SERVICEBERRY 16 DBH RED OAK 36 DBH PLANTING AREA 7X7 PLANTING AREA 5X5 PLANTING AREA 7X7

CENTRAL PLANTING SPECIFICATIONS:

NOTE: THE REPRESENTATIVE FROM THE CITY FORESTER'S OFFICE MAY INSPECT ANY PHASE OF THIS OPERATION AND MAY REJECT ANY PLANT MATERIAL IMPROPERLY HANDLED DURING ANY PHASE OF THIS OPERATION. NOTHING IN THIS SECTION SHALL BE INTERPRETED AS RELIEVING THE DEVELOPER OF THE RESPONSIBILITY OF PROVIDING HEALTHY, VIABLE PLANTS, NOR SHALL IT HAVE ANY EFFECT UPON THE TERMS OF THE WARRANTY SPECIFIED.

- PROTECTION OF EXISTING PLANTS: DO NOT STORE MATERIALS OR EQUIPMENT, OR OPERATE EQUIPMENT UNDER BRANCHES OF ANY TREES EXCEPT AS ACTUALLY REQUIRED FOR PLANTING IN THOSE AREAS. IF EXISTING PLANTS ARE DAMAGED DURING PLANTING, DEVELOPER SHALL REPLACE SUCH PLANTS WITH THE SAME SPECIES AND SIZE AS THOSE DAMAGED AT NO COST TO PARKS AND RECREATION. DETERMINATION OF THE EXTENT OF DAMAGE AND VALUE OF DAMAGED PLANT SHALL REST SOLELY WITH THE REPRESENTATIVE OF THE CITY FORESTER. (SEE FIGURE 5 FOR TREE PROTECTION GUIDELINES).
- ALL BROADLEAF TREES SHALL BE 2" MINIMUM CALIPER AND EVERGREEN TREES MUST HAVE A MINIMUM PLANTED HEIGHT OF FIVE (5) FEET, SMALLER SIZES REQUIRE PRIOR APPROVAL FROM THE CITY FORESTER.
- ALL PLANTS SHALL BE SYMMETRICAL IN GROWTH WITH BALANCED ROOT AND TOP GROWTH AND SHALL BE NO. 1 IN GRADE OR TYPE, CONFORMING TO THE LATEST EDITION OF "AMERICAN STANDARD OF NURSERY STOCK", ANSI Z60.1 (2014) REFERENCED HEREIN. TREES SHALL HAVE A SINGLE STRAIGHT TRUNK, SINGLE DOMINANT CENTRAL LEADER (WHEN CHARACTERISTIC OF THE SPECIES), AND A WELL-BALANCED BRANCH STRUCTURE.

PRUNING, AND OTHER CARE AS IS NORMALLY USED IN NURSERY PRACTICE. COLLECTED STOCK WILL BE REJECTED. TREES LARGER THAN 1-1/2" CALIPER SHALL HAVE BEEN TRANSPLANTED OR ROOT PRUNED AT LEAST ONCE IN THE PAST 3 YEARS. STOCK SHALL CONSIST OF PLANTS GROWN UNDER NATURAL CONDITIONS IN SOILS AND CLIMATE COMPATIBLE WITH THE CITY OF KANSAS CITY. PLANTS SHALL HAVE BEEN GROWN AT A LATITUDE NOT MORE THAN 200 MILES NORTH OR SOUTH OF THE PLANTING LOCATION UNLESS THE PROVENANCE OF THE PLANT CAN BE DOCUMENTED TO BE COMPATIBLE WITH THE LATITUDE AND COLD HARDINESS ZONE OF THE PLANTING LOCATION.

- PLANTS SHALL BE FREE FROM DEFECTS, DISEASE, INSECTS, EGGS OR LARVAE AND INJURIES OR OTHER CONDITIONS THAT WOULD PREVENT VIGOROUS GROWTH. THE CITY RESERVES THE RIGHT TO REJECT ANY AND ALL PLANTS THAT IN ITS OPINION ARE POOR IN QUALITY, HEALTH, AND/OR FORM. ALL FIELD GROWN TREES SHALL BE MARKED TO INDICATE THE TREE'S NORTH ORIENTATION IN THE NURSERY. ALL SHIPMENTS OF PLANT STOCK SHALL COMPLY WITH EXISTING STATE AND FEDERAL LAWS AND REGULATIONS GOVERNING PLANT DISEASE AND INFECTION, AND INTERSTATE MOVEMENT OF NURSERY STOCK.
- FERTILIZER: FERTILIZE TREES AFTER PLANTING WITH A "PLANT STARTER/ROOT STIMULATOR" LIQUID SOLUTION APPLIED ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS.
- MULCH: WOOD MULCH SHALL CONSIST OF BAGGED OR BULK AGED WOOD CHIPS, OR SHREDDED HARDWOOD BARK. WALNUT BARK OR CHIPS ARE NOT ACCEPTABLE.
- TREE GUARDS: EACH TREE SHALL BE PROTECTED AFTER PLANTING WITH A PLASTIC PROTECTOR, 9" NOMINAL HEIGHT, 4" MINIMUM DIAMETER. MATERIAL SHALL BE VENTED POLYETHYLENE OR EQUIVALENT LIGHT IN COLOR NOT BLACK.
- EXCAVATION FOR PLANTING: PLANTING HOLES SHALL BE A MINIMUM OF 10" LARGER IN DIAMETER THAN THE SPREAD OF ROOTS OR SIZE OF ROOT BALL. THE BOTTOM OF THE HOLE SHALL BE NO DEEPER THAN THE HEIGHT OF THE ROOT BALL SO THAT THE TREE BALL IS PLACED ON SOLID EARTH. PLANTING HOLES SHALL HAVE APPROXIMATELY 45 DEGREE VERTICAL SIDES AND FLAT BOTTOMS. ALL UNDERGROUND UTILITY LOCATIONS ARE TO BE LOCATED IN THE PLANTING AREAS. MISSOURI LAW REQUIRES THAT A LOCATE REQUEST BE PLACED BEFORE BEGINNING ANY EXCAVATION.
- WHERE TURFED AREAS ARE DAMAGED BY PLANTING OPERATIONS, THEY SHALL BE RESTORED AND REPLACED WITH EQUAL QUALITY TURF.

City Plan Commission
 Recommends Approval with Conditions
 CD-CPC-2022-00162 on 11/15/2022

Joseph Rexwinkle, AICP
 Secretary of the Commission

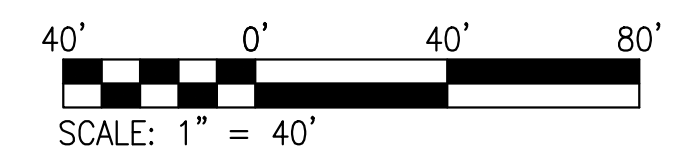
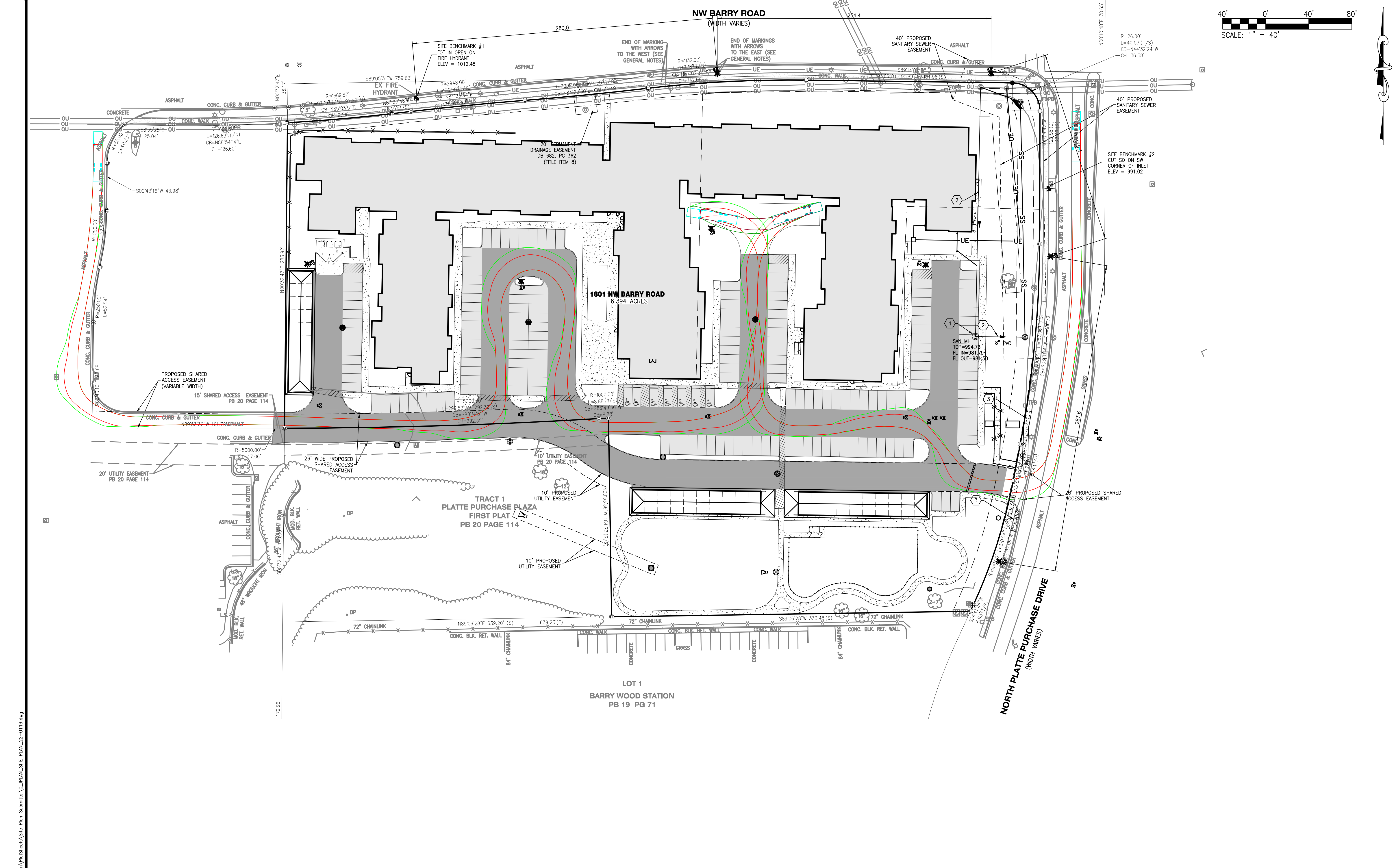
DEVELOPER/OWNER:
AVENUE DEVELOPMENT, LLC
 8485 KEYSTONE CROSSING BLVD, STE. 140
 INDIANAPOLIS, IN 46240
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 P.E. #2018021213
 on 09/30/2022.
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VIVA BENE - AVENUE
 1801 NW BARRY ROAD
 KANSAS CITY, MO 64151

STREET TREE PLAN

DESIGN/CALC BY: LFD
 DRAWN BY: MAB
 CHECKED BY: KAK
 DRAWING SCALE: AS SHOWN
 DATE: 8/26/2022
 Job Number: 22-0119
 Sheet Number: L2.0



NO	REVISION DESCRIPTION
1	09/30/2022

DEVELOPER/OWNER:
AVENUE DEVELOPMENT, LLC
 8435 KEYSTONE CROSSING BLVD, STE. 140
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THE PROFESSIONAL, WHOSE SIGNATURE AND PERSONAL SEAL APPEAR HEREON, HAS REVIEWED THIS PLAN FOR CONFORMANCE WITH THE CITY OF KANSAS CITY, MISSOURI, ORDINANCES AND SPECIFICATIONS, ESTIMATES, REPORTS, OR OTHER DOCUMENTS OR INSTRUMENTS NOT SPECIFICALLY REFERENCED ON THIS PLAN. THE PROFESSIONAL'S REVIEW IS LIMITED TO THE TECHNICAL ASPECTS OF THE PROJECT, TO WHICH THIS REVIEW RELATES.

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DATE: 09/30/2022

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 1801 NW BARRY ROAD
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TURNING EXHIBIT

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cole
 CIVIL ENGINEERING / SURVEYING / PLANNING / LANDSCAPE ARCHITECTURE
COLE & ASSOCIATES, INC. IS AN EQUAL OPPORTUNITY FIRM. SEE ADDRESS & PHONE NUMBER LISTED ON THE "COLE"

DESIGN/CALC BY	LFD
DRAWN BY	MAB
CHECKED BY	KAK
DRAWING SCALE	AS SHOWN
DATE	8/26/2022
Job Number	22-0119
Sheet Number	1 OF 1

City Plan Commission
 Recommends Approval with Conditions
 of Case No. CD-CPC-2022-00162 on 11/15/2022

Joseph Rexwinkle
 Joseph Rexwinkle, AICP
 Secretary of the Commission

USER: Kurt Kuller TAB: fire truck exhibit
 DATE: October 1, 2022 - 4:37:34 PM
 DRAWING: S:\JOBS\2022\22-0119\CADD\Plan\Sheet\Site Plan_Submittal\CD-CPC-2022-00162.dwg


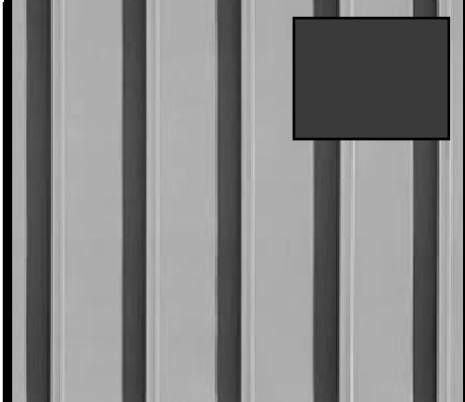
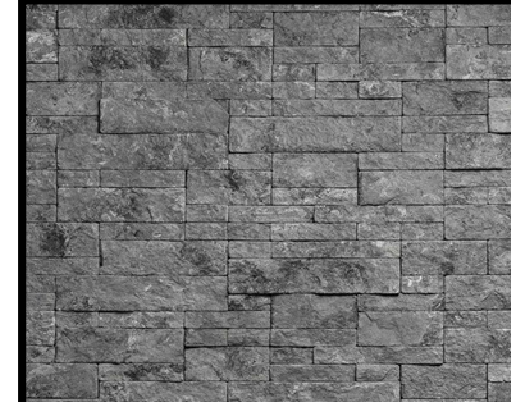


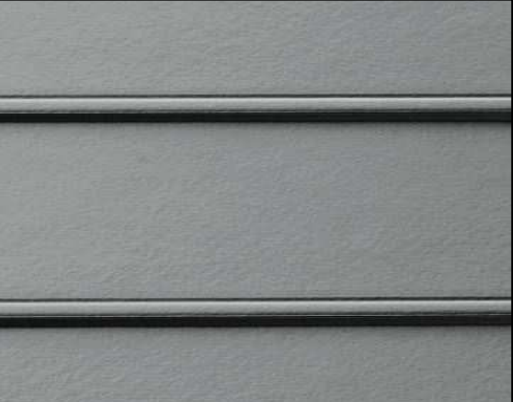


RENDERING A - OVERALL SOUTH VIEW

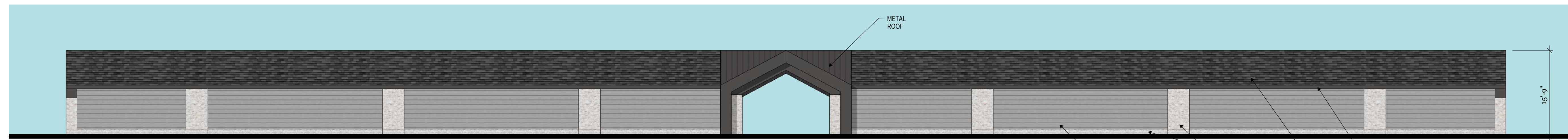


RENDERING B - FRONT ENTRY

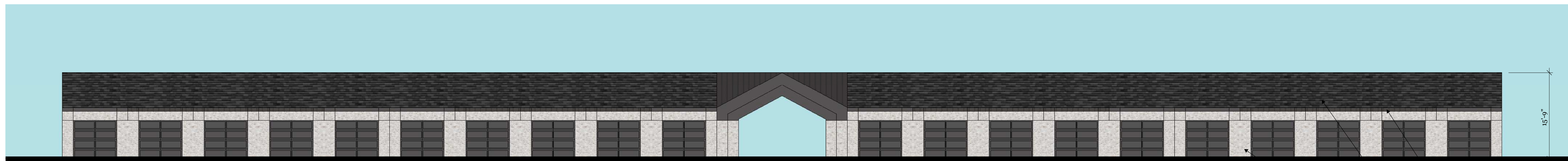


MATERIAL LEGEND

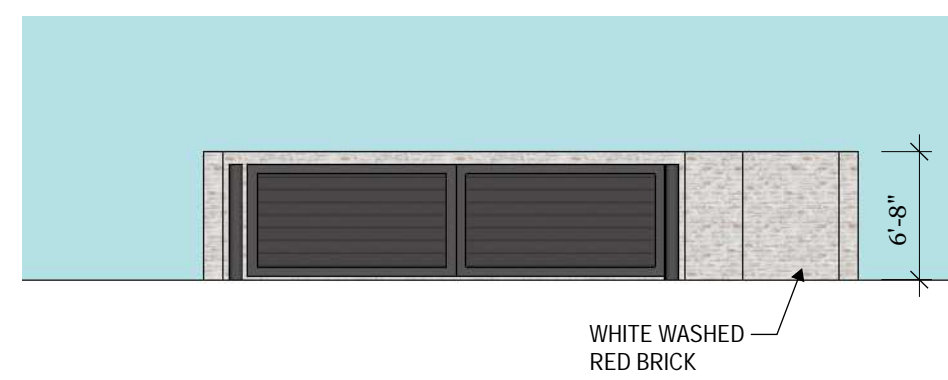
 ASPHALT SHINGLE PENTER	 METAL ROOFING CHARCOAL	 BRICK MASONRY VENEER WHITE WASHED - RED BRICK	 STONE MASONRY VENEER GRAY COLORED STONE
 FIBER CEMENT PANEL WITH BOARD AND BATTEN CHARCOAL	 FIBER CEMENT SIDING 1	 FIBER CEMENT SIDING 2 STABLE GRAY OR SIMILAR	 FIBER CEMENT TRIM BOARDS CHARCOAL
 ALUMINUM STOREFRONT / HANDRAILS BLACK	 METAL FASCIAS CHARCOAL		



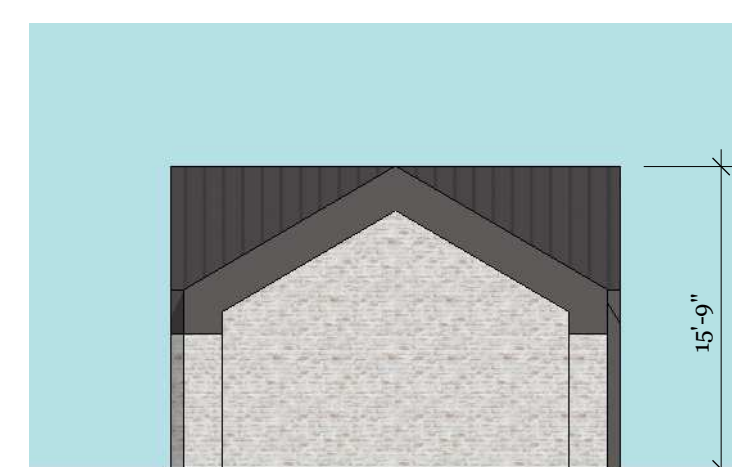
A PRELIMINARY GARAGE SOUTH ELEVATION - COLOR
SCALE: 1" = 10'



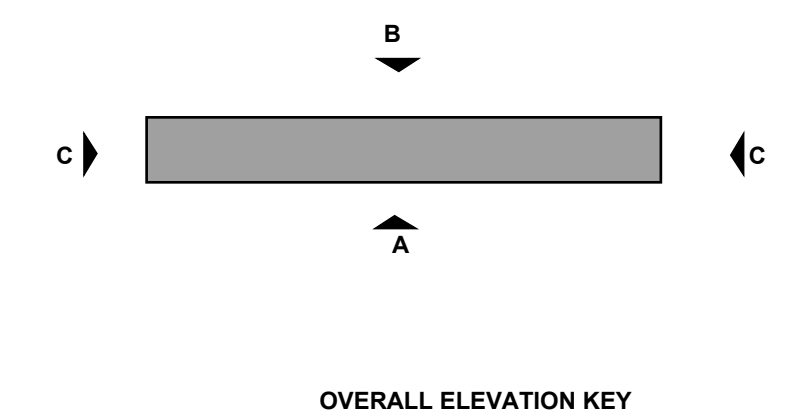
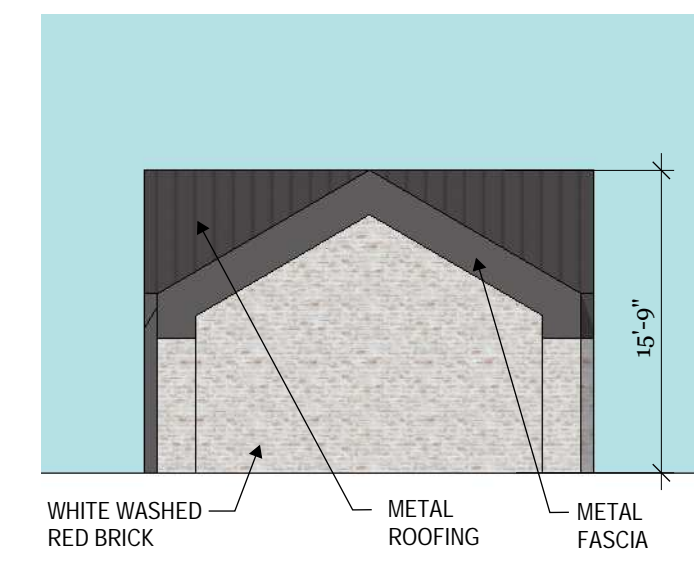
B PRELIMINARY GARAGE NORTH ELEVATION - COLOR
SCALE: 1" = 10'



D PRELIMINARY DUMPSTER FRONT
SCALE: 1" = 10'



C PRELIMINARY EAST AND WEST ELEVATION - COLOR
SCALE: 1" = 10'



City Plan Commission
Recommends Approval with Conditions
of Case No. CD-CPC-2022-00162 on 11/15/2022

Joseph Rexwinkle
Joseph Rexwinkle, AICP
Secretary of the Commission





City Plan Commission
Recommends Approval with Conditions
 of Case No. **CD-CPC-2022-00162** on **11/15/2022**

Joseph Rexwinkle
 Joseph Rexwinkle, AICP
 Secretary of the Commission



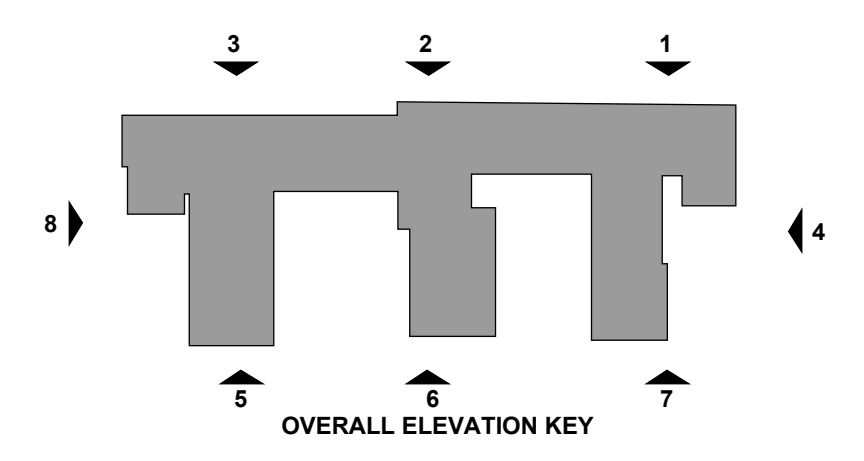
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1 PRELIMINARY NORTH ELEVATION - COLOR
 SCALE: 1/8" = 1'-0"



2 PRELIMINARY NORTH ELEVATION - COLOR
 SCALE: 1/8" = 1'-0"



KCMO - VIVA BENE
ACTIVE ADULT COMMUNITY
 SOUTHEAST CORNER
 NW BARRY ROAD AND N PLATTE PURCHASE DR

REVISIONS

SHEET TITLE
COLOR BUILDING ELEVATIONS

SEAL

PROJECT NO. 05-2022-001-MO
 PHASE PRELIMINARY
 DATE 9/23/2022
 SCALE 1/8" = 1'-0"

A201



City Plan Commission
Recommends Approval with Conditions
 of Case No. **CD-CPC-2022-00162** on **11/15/2022**

Joseph Rexwinkle
 Joseph Rexwinkle, AICP
 Secretary of the Commission



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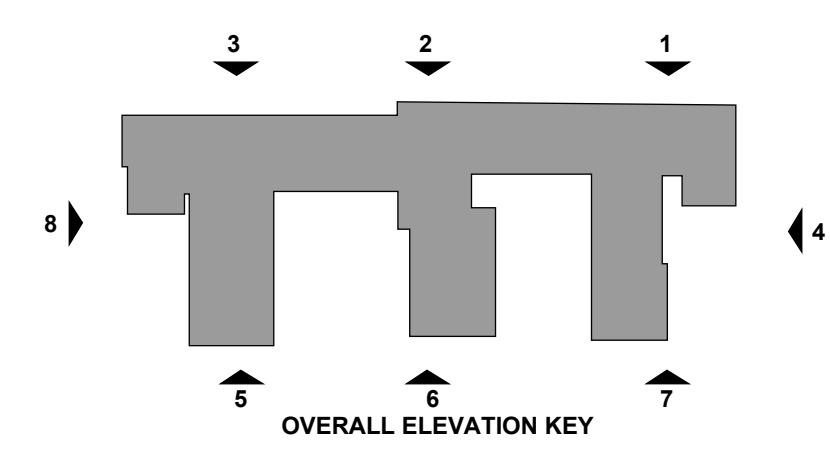
ALLOWABLE ROOF HEIGHT TO
 MID POINT OF ROOF:
 37'-9"
 49'-1"
 45'-0"

3 PRELIMINARY NORTH ELEVATION - COLOR
 SCALE: 1/8" = 1'-0"



43'-2"

4 PRELIMINARY EAST ELEVATION - COLOR
 SCALE: 1/8" = 1'-0"



KCMO - VIVA BENE
ACTIVE ADULT COMMUNITY
 SOUTHEAST CORNER
 NW BARRY ROAD AND N PLATTE PURCHASE DR

REVISIONS

SHEET TITLE
COLOR BUILDING ELEVATIONS

SCALE

PROJECT NO. 05-2022-001-MO
 PHASE PRELIMINARY
 DATE 9/23/2022
 SCALE 1/8" = 1'-0"

A202



City Plan Commission
Recommends Approval with Conditions
 of Case No. **CD-CPC-2022-00162** On **11/15/2022**

Joseph Rexwinkle
 Joseph Rexwinkle, AICP
 Secretary of the Commission



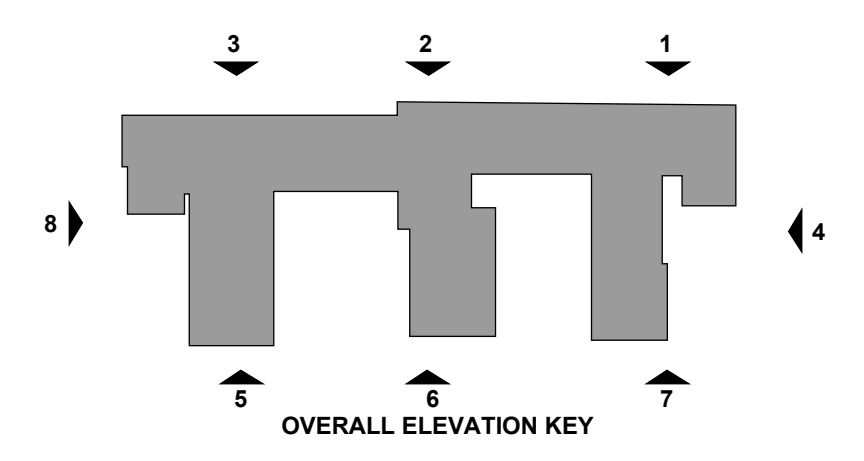
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5 PRELIMINARY SOUTH ELEVATION - COLOR
 SCALE: 1/8" = 1'-0"



6 PRELIMINARY SOUTH ELEVATION - COLOR
 SCALE: 1/8" = 1'-0"



PROJECT TITLE
KCMO - VIVA BENE
ACTIVE ADULT COMMUNITY
 LOCATION
 SOUTHEAST CORNER
 NW BARRY ROAD AND N PLATTE PURCHASE DR

REVISIONS

SHEET TITLE
RENDERING /ACCESSORY
BUILDING ELEVATIONS

SEAL

PROJECT NO. 05-2022-001-MO
 PHASE PRELIMINARY
 DATE 9/23/2022
 SCALE 1/8" = 1'-0"

A203

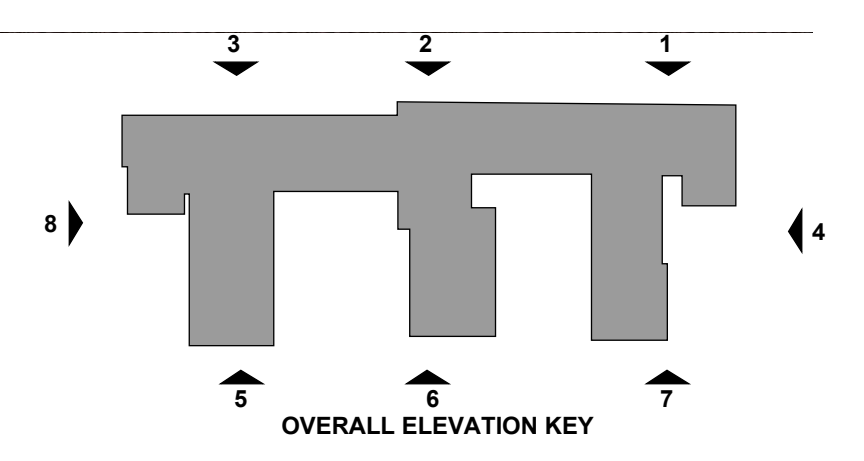


7 PRELIMINARY SOUTH ELEVATION - COLOR
SCALE: 1/8" = 1'-0"



8 PRELIMINARY WEST ELEVATION - COLOR
SCALE: 1/8" = 1'-0"

GRADE/RETAINING
WALL IN FRONT OF
ELEVATION



PROJECT TITLE
**KCMO - VIVA BENE
ACTIVE ADULT COMMUNITY**

LOCATION
SOUTHEAST CORNER
NW BARRY ROAD AND N PLATTE PURCHASE DR

REVISIONS

SHEET TITLE
BUILDING ELEVATIONS

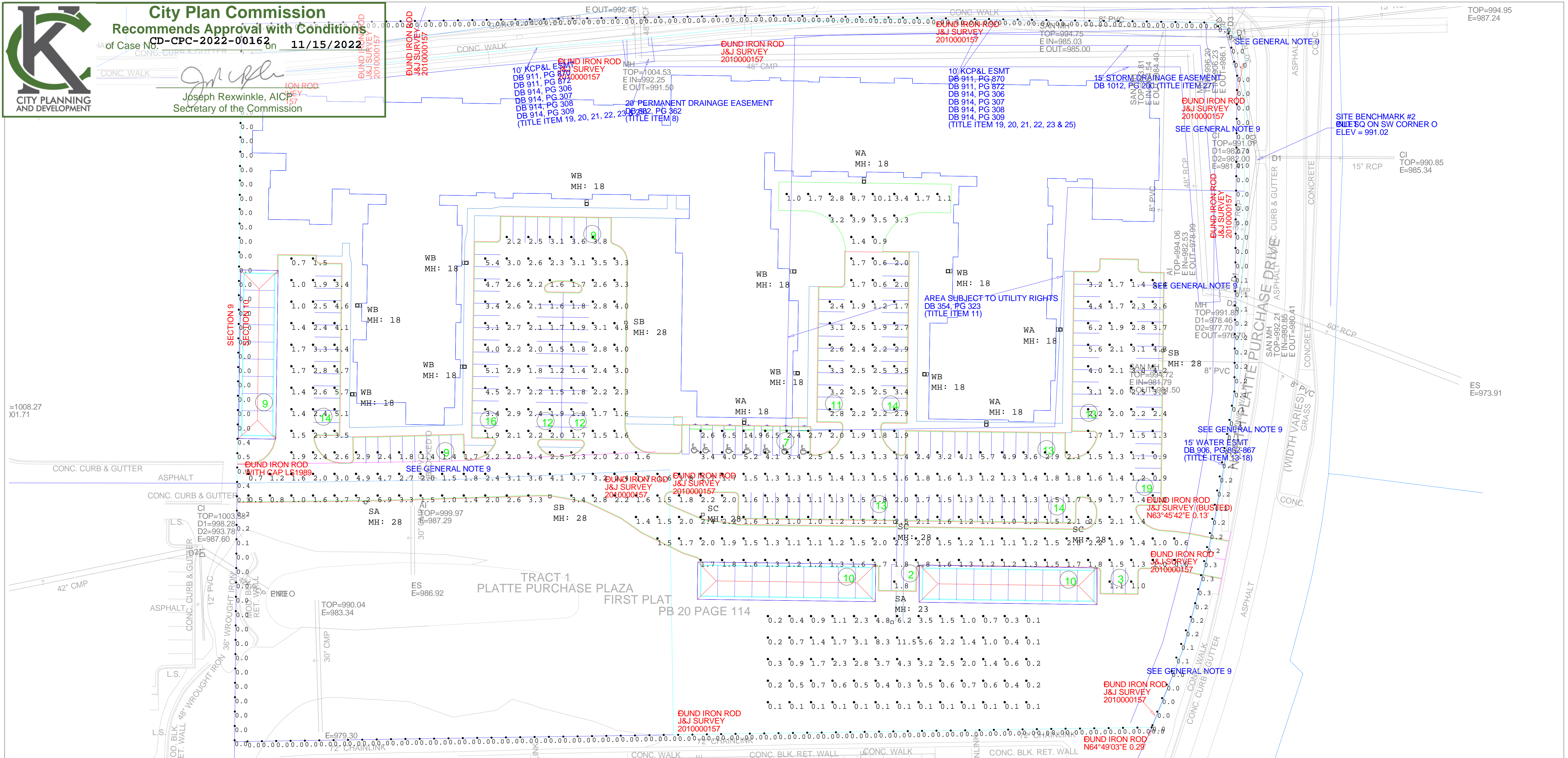
SEAL

PROJECT NO. 05-2022-001-MO
PHASE PRELIMINARY
DATE 9/23/2022
SCALE 1/8" = 1'-0"

A204



City Plan Commission
Recommends Approval with Conditions
 CD-CPC-2022-00162 on 11/15/2022
 Joseph Rexwinkle, AICP
 Secretary of the Commission



Symbol	Label	Qty	LLF	Description	Lum. Watts
□	SA	2	0.900	NLS NV-1-T3-64L-1-40K8-UNV-DPS3-XX / POLE: NLS SSSP-25-4S-11G-12BC-SGL-XX-136	205
□	SB	3	0.900	NLS NV-1-T4-64L-1-40K8-UNV-DPS3-XX / POLE: NLS SSSP-25-4S-11G-12BC-SGL-XX-136	205
□	SC	3	0.900	NLS NV-1-T5-64L-1-40K8-UNV-DPS3-XX / POLE: NLS SSSP-25-4S-11G-12BC-SGL-XX-136	205
□	WA	4	0.900	NLS NV-1-T3-64L-7-40K8-UNV-WM-XX	136
□	WB	9	0.900	NLS NV-1-T4-64L-7-40K8-UNV-WM-XX	136

Calculation Summary					
Label	Avg	Max	Min	Avg/Min	Max/Min
DOG PARK AREA (0'AFF)	1.45	11.5	0.1	14.50	115.00
PARKING LOT (0'AFF)	2.31	14.9	0.5	4.62	29.80
PROPERTY LINE (0'AFF)	0.03	0.5	0.0	N.A.	N.A.

1. Parking Lot Calculation Points Set at 0'-0" AFF, 10'x10' spacing at property line, 15'x15' spacing at parking lot
 2. Area Fixture Mounting Height: 28' AFF / 25' Pole Height / 3' Concrete Base
 -Building Wall Mounts: 18'AFF
 -Area Fixture Dog Park: 23'AFF / 20' Pole Height / 3' Concrete Base

THE LIGHTING CALCULATIONS PROVIDED IN THIS REPORT APPROXIMATE THE LIGHT LEVELS EXPECTED WITHIN THE SPACE BASED ON AN OPEN ENVIRONMENT AND BASED ON INFORMATION PROVIDED TO MEGLIO AND ASSOCIATES. PLEASE VERIFY THE DATA LISTED TO ENSURE ACCURACY. ANY VARIANCE IN COLOR/COMPOSITION OF WALLS CCT, SPACING, AND ANY OTHER SUBSTANTIAL FACTORS OR CHANGES PROVIDED IN DRAWINGS WILL VOID THIS CALCULATION AND A NEW CALCULATION WILL NEED TO BE MADE. THIS LAYOUT IS MEANT TO SHOW FIXTURE QUANTITY AND PERFORMANCE.

PROJECT NAME:	VIVE BENE PARKING LOT
PROJECT LOCATION:	KANSAS CITY, MO
DATE:	8/25/2022
COMPANY:	MEGLIO & ASSOCIATES (JML)

