



CITY PLAN COMMISSION STAFF REPORT

City of Kansas City, Missouri
City Planning & Development Department
www.kcmo.gov/cpc

November 1, 2022

Project Name
The Mabion

Docket # 4

Request

CD-CPC-2022-00165
Development Plan – Residential & Preliminary Plat

Applicant

Joseph Buchheit
Anderson Engineering Inc.

Owner

Bethlehem Christian Assembly + Mabion Investments LLC

Location 2720 Forest Avenue
Area About 1.16 acres
Zoning R-1.5
Council District 3rd
County Jackson
School District KCMO 110

Surrounding Land Uses

North: Vacant, zoned B3-2
South: Residential, zoned R-1.5
East: Residential, zoned R-1.5
West: Residential, zoned B4-5

Major Street Plan

Forest Avenue and E. 28th Street are not identified on the City's Major Street Plan.

Land Use Plan

The Greater Downtown Area Plan recommends Downtown Residential Land Use for this location.

APPROVAL PROCESS



PROJECT TIMELINE

The application for the subject request was filed on 09/10/2022. No scheduling deviations from 2022 Cycle U have occurred.

REQUIRED PUBLIC ENGAGEMENT

Public engagement as required by 88-505-12 does apply to this request. The applicant hosted a meeting on October 25, 2022. A summary of the meeting is attached to the staff report, see Attachment #3.

EXISTING CONDITIONS

The proposed project consists of seven (7) lots where a former church and detached home are located on the roughly 1.16-acre site.

SUMMARY OF REQUEST + KEY POINTS

The applicant is seeking approval of a residential development plan and preliminary plat to construct fifty-seven (57) dwelling units in a 4-story building.

CONTROLLING + RELATED CASES

There are no controlling cases related to this site.

PROFESSIONAL STAFF RECOMMENDATION

Docket # Recommendation

4 APPROVAL WITH CONDITIONS

PLAN REVIEW

The proposed 57 unit multi-unit project will be located on the 2700 block of Forest Avenue and will sit on roughly 1.16 acres with a small parking area located on the north end of the building and additional parking located on the western perimeter of the building that is accessed from the alley. The developer is seeking a deviation to 88-110 (Lot and Building Standards) because the proposed number of units exceeds the minimum lot area per unit of 1,500 square feet; The Mabion is seeking the approval of a deviation to allow for roughly 889 square feet of lot area per unit; staff supports the deviation as it promotes the density goals found in the Greater Downtown Area Plan. The multi-unit building type and proposed building height of 45' is permitted in the existing zoning district. The proposed project will also be 100% affordable housing and the developer is permitted by the Zoning and Development Code to only construct .5 space per dwelling unit per 88-420-04-M. There will be a total of twenty-nine (29) parking stalls to serve the fifty-seven (57) residential units.

The applicant will be demolishing the two existing structures on site and will also be removing most of the existing trees to construct the proposed building. The two existing structures are not on the local or national register of historic places. The applicant has worked with City staff to increase the amount of brick on the building and enlarged the windows.

PLAN ANALYSIS

As stated in the plan review section the applicant is seeking a deviation to 88-110 (Lot and Building Standards) because the proposed number of units exceeds the minimum lot area per unit which staff supports to make this project financially feasible and supports the density goals found in the Greater Downtown Area Plan (GDAP). The proposed project complies with all other standards found in 88-110.

The architectural character of surrounding properties where The Mabion is proposed provide a wide variety of building types and materiality. Staff asked the applicant to incorporate more brick to complement the colonnades located on E. 28th Street. The applicant also incorporated windows on all four facades to complement the large windows found on the craftsmen style homes located on the east side of Forest Avenue. Staff was originally requesting balconies and walk up units to promote more "eyes on the street" and to allow for greater outdoor opportunities for residents of The Mabion. The applicant stated that due to the site topography, ADA standards and costs that they could not meet staff's request.

As stated earlier this project is eligible to only provide ½ the amount of the required parking as The Mabion will offer at least twenty percent (20%) of the total number of units as affordable housing (88-420-04-M). The reduced parking amount is feasible as this project is located roughly 150' from the Troost MAX line and is also in close proximity to a variety of multi-modal opportunities which were recently constructed.

* indicates adjustment/deviation

Standards	Applicability	Meets	More Information
Lot and Building Standards (88-110) *	Yes	No	The applicant is seeking a deviation to the minimum lot area required per dwelling unit.
Parkland Dedication (88-408)	Yes	Yes, subject to conditions	
Parking and Loading Standards (88-420) *	Yes	Yes	½ the parking ratio is required per 88-420-04-M. AFFORDABLE HOUSING
Landscape and Screening Standards (88-425)	Yes	Yes, subject to conditions	Applicant is continuing to work with staff.
Outdoor Lighting Standards (88-430)	Yes	Yes, subject to conditions	
Sign Standards (88-445)	Yes	Yes, subject to conditions	All signage shall comply with 88-445.
Pedestrian Standards (88-450)	Yes	Yes, subject to conditions	Applicant will submit revised site plan.

SPECIFIC REVIEW CRITERIA

Development Plans, Project Plan, or Site Plan (88-516-05)

In order to be approved, a development plan, project plan, or site plan must comply with all of the following criteria:

A. The plan must comply with all standards of the Zoning and Development Code and all other applicable city ordinances and policies;

The applicant is seeking one deviation to the minimum lot area of each unit. The proposed density of the project is roughly 889 square feet of lot area per unit, the R-1.5 zoning district requires a minimum lot area of 1500 square feet.

B. The proposed use must be allowed in the district in which it is located;

The existing R-1.5 zoning district allows for the proposed multi-unit building.

C. Vehicular ingress and egress to and from the site, and circulation within the site must provide for safe, efficient, and convenient movement of traffic not only within the site but on adjacent roadways;

The proposed vehicular use area will be accessed from Forest Avenue. Staff has requested that the applicant revise their plans to show a pedestrian crossing that complies with 88-450 (Pedestrian Standards) prior to ordinance request.

D. The plan must provide for safe, efficient, and convenient non-motorized travel opportunities, being pedestrian and bicycle movement, on the subject site;

The proposed plan shall comply with 88-450 (Pedestrian Standards). The location of the site provides for safe, efficient and convenient mobility with existing sidewalks and Vision Zero improvements that were recently constructed in the surrounding area.

E. The plan must provide for adequate utilities based on City standards for the particular development proposed.

The proposed plan does provide for adequate utilities based on City standards.

F. The location, orientation, and architectural features, including design and material, of buildings and other structures on the site must be designed to be compatible with adjacent properties.

The orientation and setback of the proposed building allows for plenty of space between the structures located on Troost Avenue and on the east side of Forest Avenue. The building offers a mix of traditional and modern architectural materials. The applicant has worked with staff to provide more brick and enlarged the windows to complement the character of the surrounding area.

G. Landscaping, berms, fences, and/or walls must be provided to buffer the site from undesirable views, noises, lighting, or other off-site negative influences and to buffer adjacent properties from negative influences that may be created by the plan.

The proposed landscape plan complies the Zoning and Development Code. The building will sit at a higher elevation than the vehicular use area and staff does not anticipate headlights entering into any dwelling units from the north or west.

H. The design of streets, drives, and parking areas within the project should result in a minimum of area devoted to asphalt or other impervious surfaces consistent with the needs of the project and city code requirements.

The applicant is providing the required amount of parking of 29 stalls (2 will meet ADA standards). The applicant designed parking that is located off of the alley on the western edge of the property.

I. The plan must identify trees to be removed and trees to be preserved during the development of the subject property with the goal of saving trees that are not required to be removed for the development of the property.

The applicant provided a tree plan that identifies which existing trees will be removed or preserved.

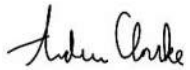
ATTACHMENTS

1. Conditions Report
2. Applicants Submittal
3. Public Engagement Materials
4. Additional documents, if applicable

PROFESSIONAL STAFF RECOMMENDATION

City staff recommends **APPROVAL WITH CONDITIONS** as stated in the conditions report.

Respectfully Submitted,



Andrew Clarke
Staff Planner



Plan Conditions

Report Date: October 27, 2022

Case Number: CD-CPC-2022-00165

Project: The Mabion

Condition(s) by City Planning and Development Department. Contact Andrew Clarke at (816) 513-8821 / Andrew.Clarke@kcmo.org with questions.

1. All dumpsters, mechanical and utility equipment shall be screened pursuant to 88-425-08.
2. The developer shall submit an affidavit, completed by a landscape architect licensed in the State of Missouri, verifying that all landscaping required of the approved plan has been installed in accordance with the plan and is healthy prior to Certificate of Occupancy.
3. That all signage shall conform to 88-445 and shall require a sign permit prior to installation.
4. That the developer shall submit an affidavit, prepared by an engineer licensed in the State of Missouri, verifying that all outdoor lighting has been installed in accordance with approved plans and that lighting levels do not exceed that shown on the approved lighting plan at the property lines prior to Certificate of Occupancy.
5. The developer shall submit an affidavit, completed by a landscape architect licensed in the State of Missouri, verifying that street trees have been installed in accordance with the approved street tree planting plan and are healthy prior to Certificate of Occupancy.
6. Applicant must pay application fee prior to submitting a response letter and moving to applicant DRC.
7. The applicant shall provide revised building elevations to City Planning and Development prior to ordinance request.
8. Provide revised site plan to show pedestrian crossing that complies with 88-450 prior to ordinance request.
9. The applicant shall obtain a deviation from Council of .86 acres to the required lot area per unit in a R-1.5 zoning district (88-110-06).

Condition(s) by City Planning and Development Department. Contact Terry Thomas at / Terry.A.Thomas@kcmo.org with questions.

10. The developer must integrate into the existing street light system any relocated existing street lights within the street right-of-way impacted by the new drive or approach entrances as required by the Land Development Division, and the relocated lights must comply with all adopted lighting standards.
11. The developer must obtain the executed and recorded city approved grading, temporary construction, drainage/sewer, or any other necessary easements from the abutting property owner(s) that may be required prior to submitting any public improvements crossing properties not controlled by the developer and include said document(s) within the public improvement applications submitted for permitting
12. The developer must grant a [BMP and/or Surface Drainage Easement] to the City as required by the Land Development Division, prior to recording the plat or issuance of any building permits.
13. The developer shall submit a Storm Drainage analysis from a Missouri-licensed civil engineer to the Land Development Division evaluating proposed improvements and impact to drainage conditions. Since this project is within a "Combined Sewer Overflow" (CSO) district, the project shall be designed to retain rainfall of 1.5 inch depth over the entire site to simulate natural runoff conditions and reduce small storm discharge to the combined sewer system. Manage the 10-year storm and 100-year storm per currently adopted APWA standards. The analysis shall be submitted, and the developer shall secure permits to construct any improvements required by the Land Development Division prior to recording the plat.
14. The developer must submit covenants, conditions and restrictions to the Land Development Division for review by the Law Department for approval for the maintenance of private open space and enter into a covenant agreement for the maintenance of any stormwater detention area tracts, prior to recording the plat.

Condition(s) by City Planning and Development Department. Contact Terry Thomas at / Terry.A.Thomas@kcmo.org with questions.

15. The developer shall submit an analysis to verify adequate capacity of the existing sewer system as required by the Land Development Division prior to issuance of a building permit to connect private system to the public sewer main and depending on adequacy of the receiving system, make other improvements may be required.
16. The owner/developer must submit plans for grading, siltation, and erosion control to Land Development Division for review and acceptance, and secure a Site Disturbance permit for any proposed disturbance area equal to one acre or more prior to beginning any construction activities.
17. The developer shall submit a letter to the Land Development Division from a Licensed Civil Engineer, Licensed Architect, or Licensed Landscape Architect, who is registered in the State of Missouri, that identifies sidewalks, curbs, and gutters in disrepair as defined by Public Works Department's "OUT OF REPAIR CRITERIA FOR SIDEWALK, DRIVEWAY AND CURB revised 11/5/2013" and based on compliance with Chapters 56 and 64 of the Code of Ordinances for the sidewalks, curbs, and gutters where said letter shall identify the quantity and location of sidewalks, curbs, gutters that need to be constructed, repaired, or reconstructed to remedy deficiencies and/or to remove existing approaches no longer needed by this project. The developer shall secure permits to repair or reconstruct the identified sidewalks, curbs, and gutters as necessary along all development street frontages as required by the Land Development Division and prior to issuance of any certificate of occupancy permits including temporary certificate occupancy permits.
18. The developer must submit a plan for approval and permitting by the Land Development Division prior to beginning construction of the improvements in the public right of way, and construct ADA compliant ramps at all required locations where new private drives are being added, or where existing sidewalks are modified or repaired.

Condition(s) by Fire Department. Contact Michael Schroeder at (816) 513-4604 / michael.schroeder@kcmo.org with questions.

19. New buildings shall have approved radio coverage for emergency responders within the building based on the existing coverage levels of the public safety communication systems utilized by the jurisdiction, measured at the exterior of the building. This section shall not require improvement of the existing public safety communication systems. (IFC 2018 510.1) and (NFPA1221)
20. The project shall meet the fire flow requirements as set forth in Appendix B of the International Fire Code 2018. (IFC-2018 § 507.1)
21. Buildings equipped with a fire standpipe system shall have an operable fire hydrant within 100 feet of the Fire Department Connection (FDC). (IFC2018 § 507.5.1.1)
22. Fire hydrant distribution shall follow IFC-2018 Table C102.1 and fire hydrants shall be installed and operable prior to the arrival of any combustible building materials onto the site. (IFC-2018 § 501.4 and 3312.1; NFPA -2013 § 8.7.2)
23. Aerial Fire Apparatus access roads shall be provided for any building that is 30 feet in height or greater. Aerial Fire Apparatus Roads are a minimum 26 feet wide, at least 15 feet away from the building but not more than 30 feet from the structure. (IFC-2018 § D105).

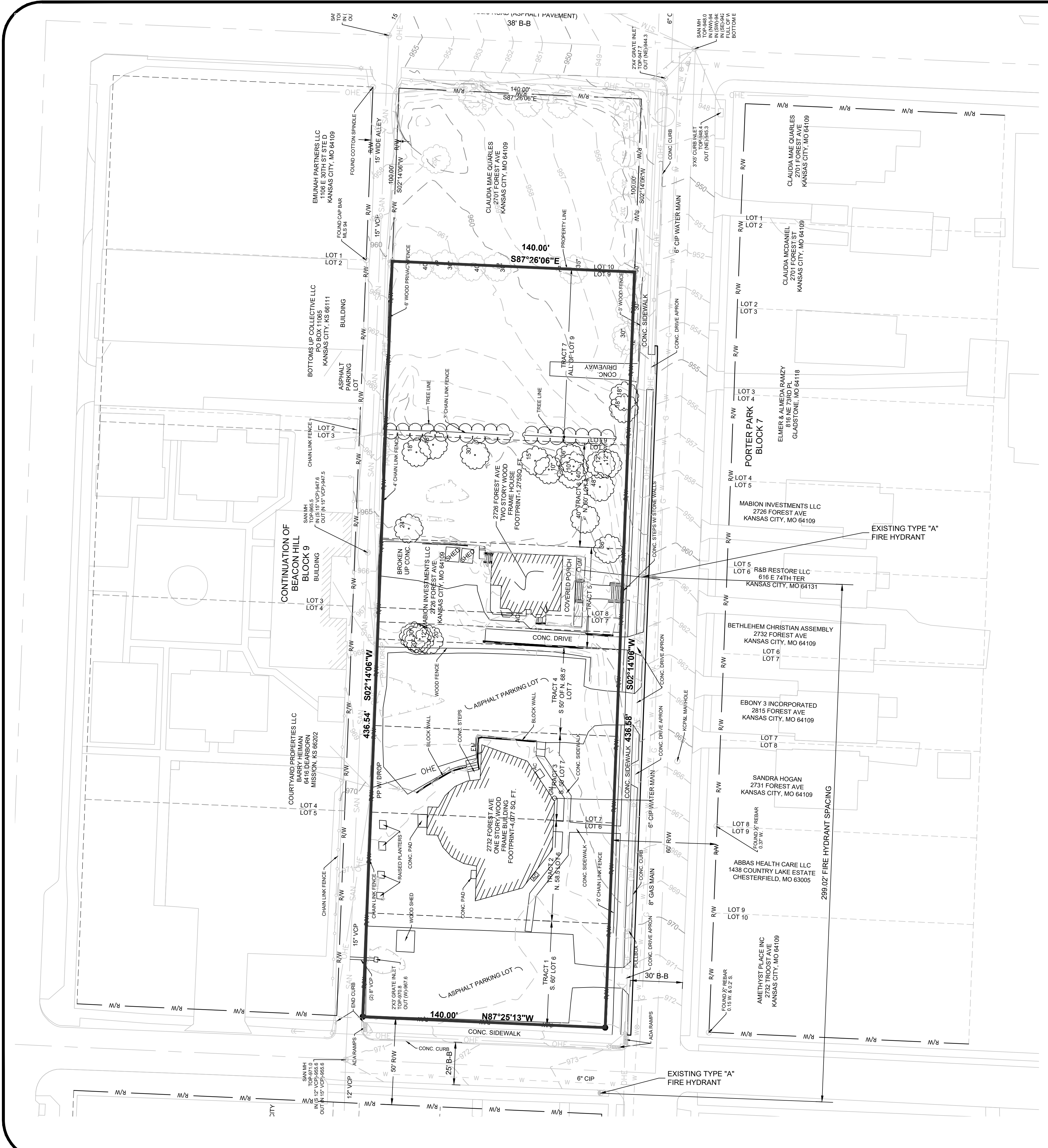
Condition(s) by Parks & Recreation. Contact Justin Peterson at (816) 513-7599 / Justin.Peterson@kcmo.org with questions.

24. The developer shall submit a streetscape plan with street tree planting plan per 88-425-03 for approval by the Parks & Recreation Department's Forestry Division prior to building permit.
25. The developer shall pay money-in-lieu of parkland dedication as indicated on plans with the amount due based upon the 2022 acquisition rate of \$64,220.18 per acre. This requirement shall be satisfied prior to certificate of occupancy.

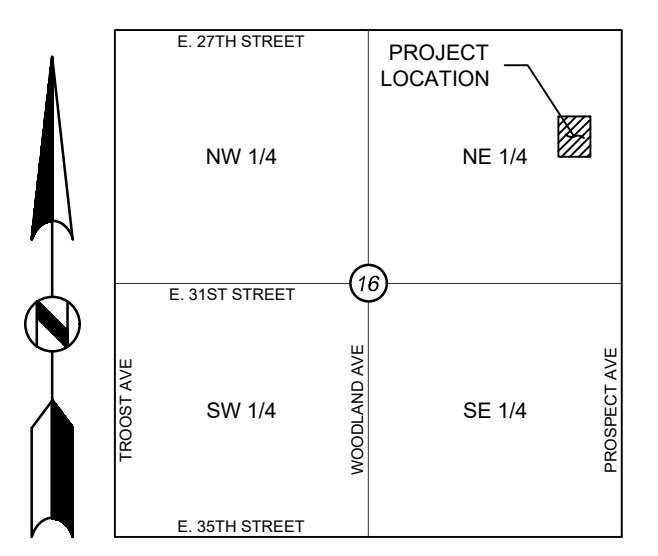
Condition(s) by Water Services Department. Contact Heather Massey at (816) 513-2111 / heather.massey@kcmo.org with questions.

26. The developer shall ensure that water and fire service lines should meet current Water Services Department Rules and Regulations. Prior to C of O.
<https://www.kcwater.us/wp-content/uploads/2022/05/2022-Rules-and-Regulations-for-Water-Service-Lines-Final.pdf>
27. The developer shall have a water flow test done to ensure there is adequate water pressure to serve the development.
South of River contact – Sean Allen - 816-513-0318
North of River contact Pedro Colato – 816-513-4892

Oct 14, 2022 - 8:52am Plotted By: currecth_ar-inc G:\Shared drives\VC10 - Land Development\Projects\2022\22KC10021 - SPTS-PLAT.dwg Layout: PRELIMINARY PLAT EXISTING



Know what's below.
Call before you dig.



VICINITY MAP
SECTION 16, TOWNSHIP 49N, RANGE 33W
(1" = 2000')

LEGEND

	BOUNDARY OF PLAT
	EXISTING LOT LINE
	RIGHT OF WAY LINE
	FINISH GRADE 5' CONTOUR
	FINISH GRADE 1' CONTOUR
	EXISTING GRADE 5' CONTOUR
	EXISTING GRADE 1' CONTOUR
	EXISTING WATER MAIN
	EXISTING GAS MAIN
	EXISTING OVERHEAD ELECTRIC LINE
	EXISTING STORM LINE
	EXISTING SANITARY MAIN
	PROPOSED WATER MAIN
	PROPOSED WATER SERVICE LINE
	PROPOSED FIRE PROTECTION LINE

DEVELOPER

THE VECINO GROUP
305 W. COMMERCIAL ST.
SPRINGFIELD, MO 65803
CONTACT: ROB HOLZMAN
PHONE: (417) 720-1577

ZONED:

EXISTING: R-1.5
PROPOSED: R-1.5.

SITE AREA:

1.16 AC

LAND USE:

MULTI-UNIT BUILDING

PREPARED & SUBMITTED BY:

ANDERSON ENGINEERING, INC.
KANSAS CITY, MISSOURI

SAMUEL J. DEPRIEST, PLS
MISSOURI PLS NO. 2013000041

LEGAL DESCRIPTION

TRACT 1:
THE SOUTH 60 FEET OF LOT 6, BLOCK 9, BEACON HILL, SOMETIMES CALLED CONTINUATION OF BEACON HILL, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF.

TRACT 2:
THE NORTH 58.5 FEET OF LOT 6, BLOCK 9, BEACON HILL, SOMETIMES CALLED CONTINUATION OF BEACON HILL, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF.

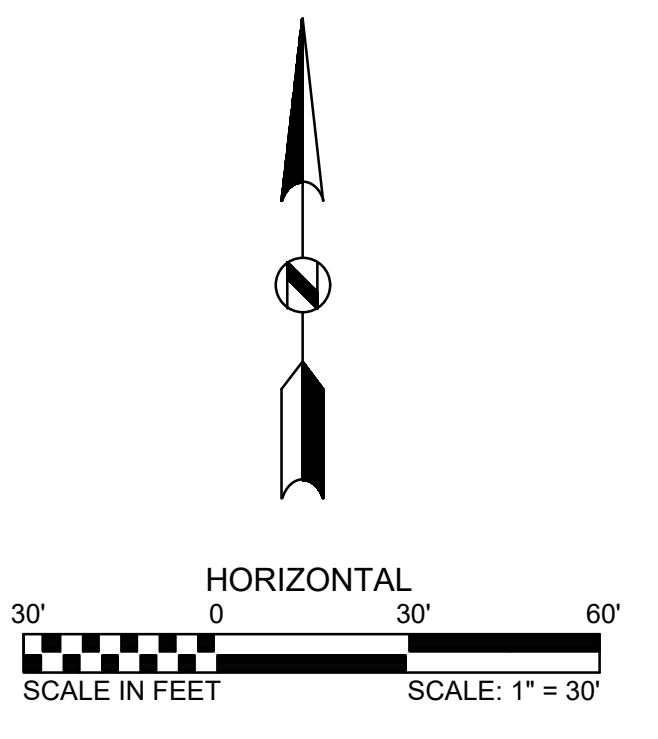
TRACT 3:
THE SOUTH 50 FEET OF LOT 7, BLOCK 9, BEACON HILL, SOMETIMES CALLED CONTINUATION OF BEACON HILL, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF.

TRACT 4:
THE SOUTH 50 FEET OF THE NORTH 68.5 FEET OF LOT 7, BLOCK 9, BEACON HILL, SOMETIMES CALLED CONTINUATION OF BEACON HILL, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF.

TRACT 5:
THE NORTH 18½ FEET OF LOT 7, AND THE SOUTH 40 FEET OF LOT 8, BLOCK 9, BEACON HILL, SOMETIMES CALLED CONTINUATION OF BEACON HILL, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF.

TRACT 6:
THE NORTH 60 FEET OF LOT 8, BLOCK 9, BEACON HILL, SOMETIMES CALLED CONTINUATION OF BEACON HILL, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF.

TRACT 7:
LOT 9, BLOCK 9, BEACON HILL, SOMETIMES CALLED CONTINUATION OF BEACON HILL, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF.



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REVISIONS		DRAWING INFO.	
NO.	DESCRIPTION	DATE	JOB
			TAF
			DATE
			ISSUED FOR
			JOB NUMBER

THE MABION

**PRELIMINARY PLAT
EXISTING**

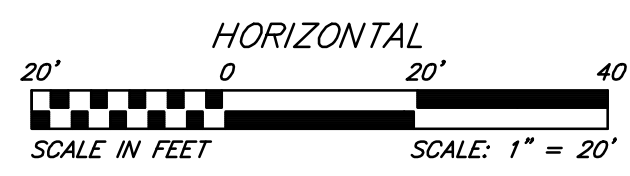
2732 FOREST AVE KANSAS CITY, MO 64130

PRELIMINARY NOT FOR CONSTRUCTION

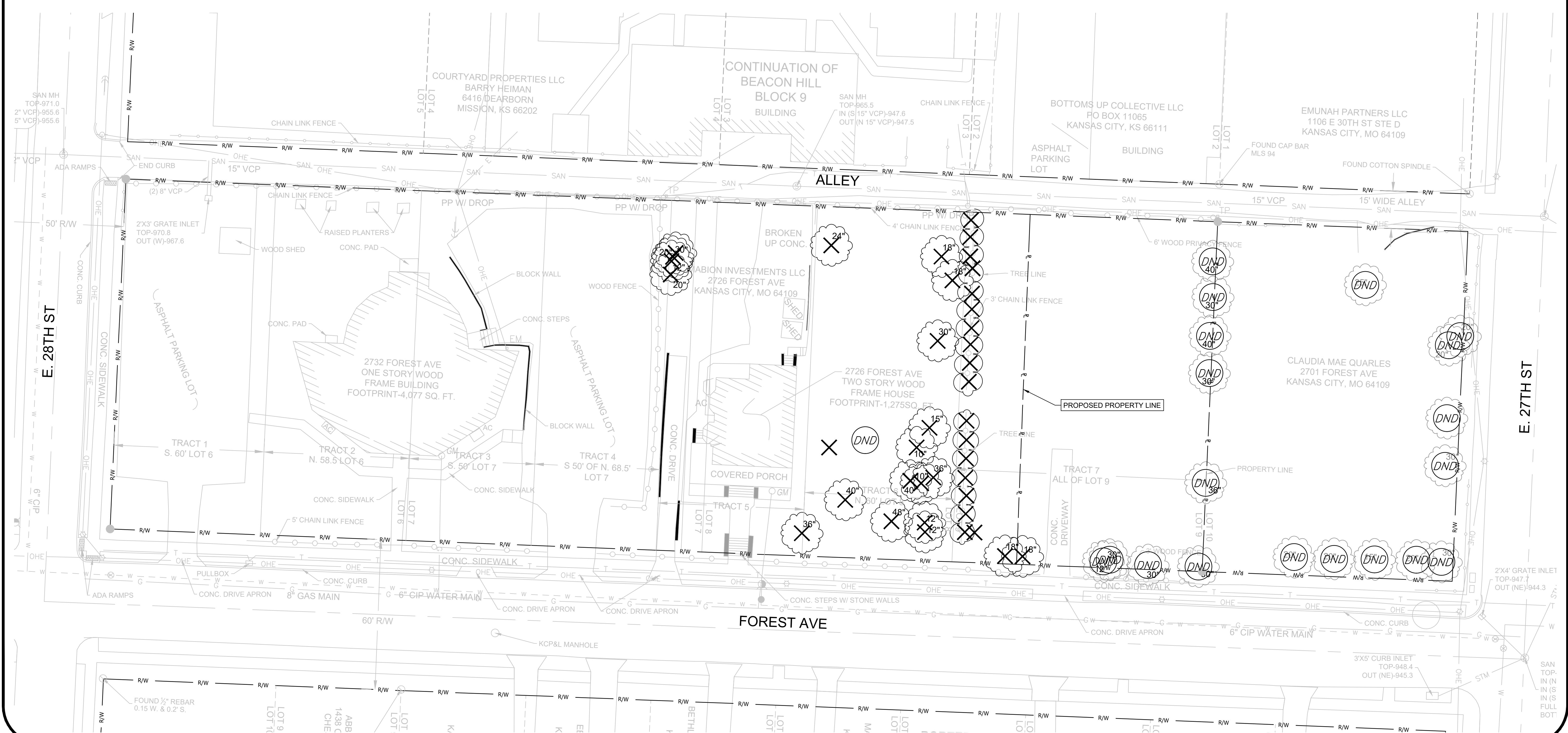
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S1.0
2 OF 8

LEGEND

- R/W — RIGHT-OF-WAY
- P — PROPERTY LINE
- ✕ REMOVE TREE
- ⊙ DND DO NOT DISTURB TREE



Oct 14, 2022 - 8:52am Plotted By: cweeth_lar-inc G:\Shared drives\VC10 - Land Development\Projects\2022\22KCI0021 The Mabion\01 Civil\03-DWG\Sheet\Development Plan\22KCI0021-SRFS-TREE.dwg Layout: TREE PLAN



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DATE:	10/14/2022
ISSUED FOR:	CITY REVIEW
JOB NUMBER:	22KCI0021

THE MABION
TREE PLAN

PRELIMINARY NOT FOR CONSTRUCTION

SHEET NUMBER
C1.0
 4 OF 8

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LEGEND

- 850 FINISH GRADE 5' CONTOUR
- 849 FINISH GRADE 1' CONTOUR
- 850 EXISTING GRADE 5' CONTOUR
- 849 EXISTING GRADE 1' CONTOUR

GENERAL NOTES

REFERENCED STANDARDS:

THE FOLLOWING STANDARDS ARE REFERENCED DIRECTLY IN THIS SECTION. THE LATEST VERSION OF THESE STANDARDS SHALL BE USED.

ASTM D698 -TEST METHOD FOR LABORATORY COMPACTION CHARACTERISTICS OF SOIL USING STANDARD EFFORT (12,400 FT-LBF/FT³)

2201.1 SUMMARY:

THIS SECTION INCLUDES SUBGRADE PREPARATION AT LOCATIONS WHICH HAVE BEEN PREVIOUSLY GRADED IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 2100 "GRADING AND SITE PREPARATION"

2201.2 DEFINITIONS:

- A. **SUBGRADE:** SUBGRADE IS DEFINED AS A WELL GRADED AND COMPACTED LAYER ON WHICH BASE AND SUBSEQUENT COURSES ARE PLACED.
- B. **SUBGRADE PREPARATION:** SUBGRADE PREPARATION IS THE REPEATED OPERATION OF FINE-GRADING AND COMPACTING THE SUBGRADE UNTIL THE SPECIFIED LINES, GRADES, AND CROSS-SECTION, AS INDICATED ON THE PLANS ARE OBTAINED AND THE MATERIALS ARE COMPACTED TO THE SPECIFIED DEPTH AND DENSITY.

CONSTRUCTION:

- A. **GENERAL:** THE SUBGRADE SURFACE SHALL BE BROUGHT TO THE SPECIFIED LINES, GRADES AND CROSS-SECTION BY ADDING OR REMOVING MATERIAL AND COMPACTING TO THE SPECIFIED DENSITY. TOLERANCE ALLOWED ON ALL LINES, GRADES AND CROSS-SECTIONS SHALL BE NO MORE THAN 1/4 INCH.
- B. **COMPACTING THE SUBGRADE:** UNLESS OTHERWISE SPECIFIED, THE TOP 6 INCHES OF SUBGRADE FOR PAVEMENTS SHALL BE COMPACTED TO 95% OF THE STANDARD PROCTOR MAXIMUM DENSITY

FOR THE MATERIAL USED AS DETERMINED BY ASTM D 698 AND WITHIN A TOLERANCE OF PLUS 3% AND MINUS 3% OF THE OPTIMUM MOISTURE CONTENT. THE TOLERANCE APPLIES ONLY TO THE TOP 6 INCHES.

C. **PROTECTION AND MAINTENANCE OF SUBGRADE:** THE SUBGRADE SHALL BE PROTECTED FROM ACTION OF THE ELEMENTS OR OTHERS. ANY ACTION (E.G. SETTLEMENT OR EROSION) THAT DAMAGES THE SUBGRADE OR ANY SUBGRADE THAT HAS BECOME UNACCEPTABLE PRIOR TO PLACING THE PAVEMENT THEREON, SHALL BE REPAIRED AND THE SPECIFIC LINES, GRADES, CROSSSECTION, TOLERANCE, DENSITY, AND MOISTURE CONTENT RANGE REESTABLISHED.

THE CONTRACTOR SHALL PROTECT ALL EXISTING IMPROVEMENTS FROM DAMAGE RESULTING FROM HIS SUBGRADE OPERATION. ANY IMPROVEMENT DAMAGED SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT HIS OWN EXPENSE.

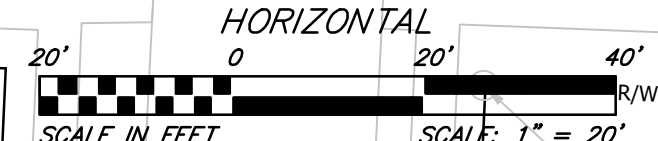
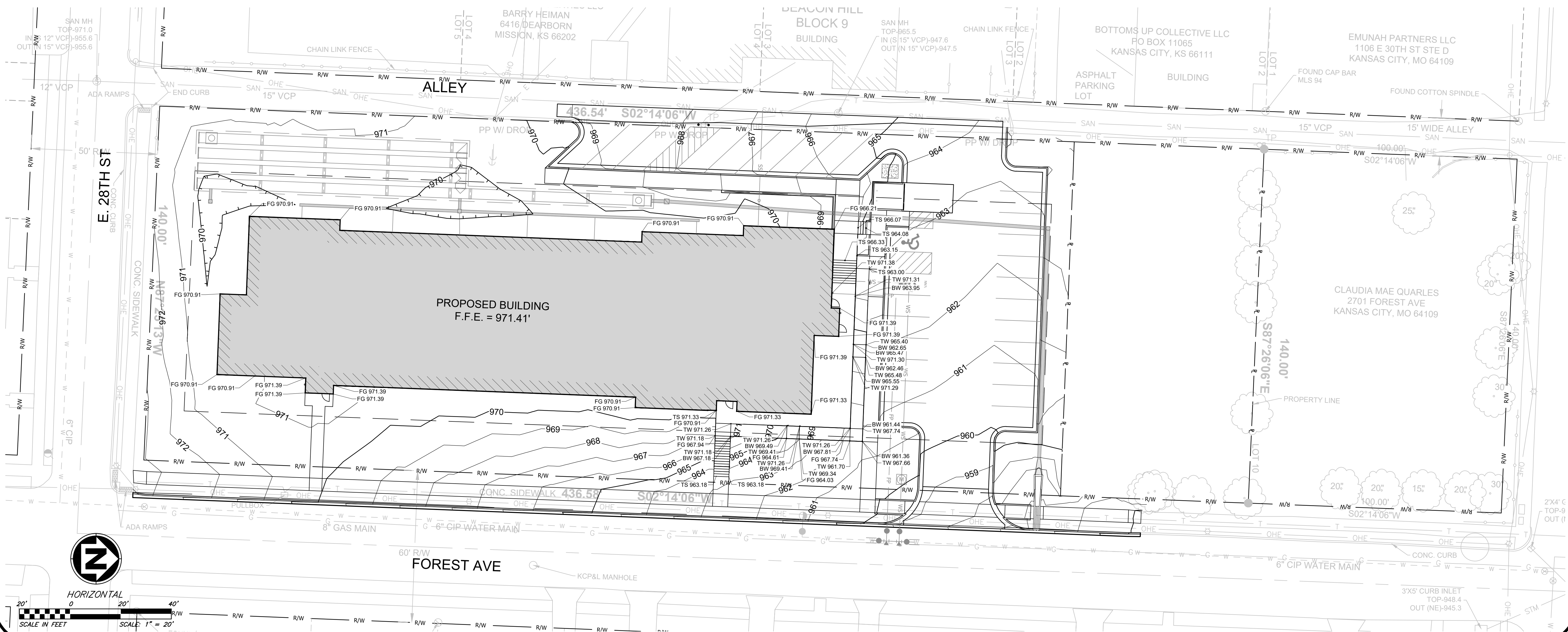
D. **CLEANUP:** SUBGRADE CLEANUP SHALL FOLLOW THE WORK PROGRESSIVELY. THE CONTRACTOR SHALL REMOVE FROM THE PROJECT SITE ALL RUBBISH, SURPLUS OR DISCARDED MATERIAL, UNSUITABLE MATERIAL, AND ANY EQUIPMENT, TOOLS AND TEMPORARY CONSTRUCTION ITEMS USED FOR THE PREPARATION OF THE SUBGRADE.

E. **ROLL TESTING:** ONCE THE SUBGRADE HAS BEEN BROUGHT TO THE FINAL PLAN ELEVATION, BUT PRIOR TO APPROVAL OF THE SUBGRADE FOR PAVING, ALL LANES SHALL BE ROLL TESTED IN THEIR ENTIRE LENGTH. THE SUBGRADE WILL NOT BE ACCEPTABLE IF RUTTING, PUMPING, OR DEFORMATION OF THE SUBGRADE RESULTS FROM THE ROLL TEST. THIS TESTING WILL BE DONE BY THE CONTRACTOR, AND WILL BE IN ADDITION TO THE APPLICABLE MOISTURE AND DENSITY TESTING.

EQUIPMENT FOR ROLL TESTING SHALL BE A TANDEM DUMP TRUCK (ONE FRONT AND TWO REAR AXLES) CARRYING A MINIMUM LOAD OF TWENTY (20) TONS.

THE TRUCK SHALL PROCEED SLOWLY ALONG EACH TRAFFIC LANE, ALLOWING THE ENGINEER TO WALK ALONGSIDE AND OBSERVE THE RESULTS. AREAS FAILING THE ROLL TEST WILL BE REWORKED AND RETESTED PRIOR TO APPROVAL OF THE SUBGRADE FOR PAVING.

Oct 14, 2022 - 8:55am Plotted By: creeth_car-inc G:\Shared drives\VC10 - Land Development\Projects\2022\22KCI0021 - The Mabion\01_Civil\03-DWG\Sheet\Development Plan\22KCI0021 - SPTS-GRAD.dwg Layout: GRADING PLAN



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DATE:	10/14/2022
ISSUED FOR:	CITY REVIEW
JOB NUMBER:	22KCI0021

THE MABION
GRADING PLAN
2732 FOREST AVE KANSAS CITY, MO 64109

PRELIMINARY NOT FOR CONSTRUCTION

SHEET NUMBER
C3.0
6 OF 8

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NO.	REVISIONS	DESCRIPTION	BY	DATE

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LEGEND

- RIGHT-OF-WAY
- PROPERTY LINE
- BUILDING SETBACK LINE
- 6" CIP WATER MAIN
- WATER SERVICE LINE
- 6" FIRE PROTECTION LINE
- 15" VCP SANITARY SEWER MAIN
- 6" SANITARY SEWER SERVICE LINE
- STORM SEWER

UTILITY PLAN KEY NOTES

1. OVERSIZED PIPE DETENTION SYSTEM. RE: SHEET C520
2. NYLOPLAST STORM SEWER STRUCTURE.
3. 24" OUTLET CONTROL STRUCTURE. RE: SHEET C510
4. EXISTING GUY ANCHORS TO BE STABILIZED DURING CONSTRUCTION
5. PROPOSED TRANSFORMER PAD PER EVERGY STANDARD DRAWING 700-103. RE: EVERGY FINAL ELECTRICAL DESIGN
6. PROPOSED FDC. RE: MEP PLANS

SANITARY SEWER KEY NOTES

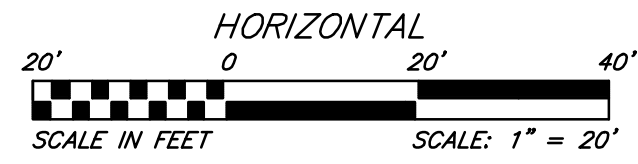
- S1 6" PVC SANITARY SEWER SERVICE LINE. INSTALL 46 LF OF 6" SDR-26 PCV @ 1.00% MIN. FL @ MAIN = 948.42. INSTALL 6" WYE OR TEE AT MAIN
- S2 6" (STRAIGHT TEE) SANITARY SEWER CLEANOUT INSPECTION TEE PER DETAIL ON SHEET C602 - STORM AND SANITARY DETAILS

WATERLINE KEY NOTES

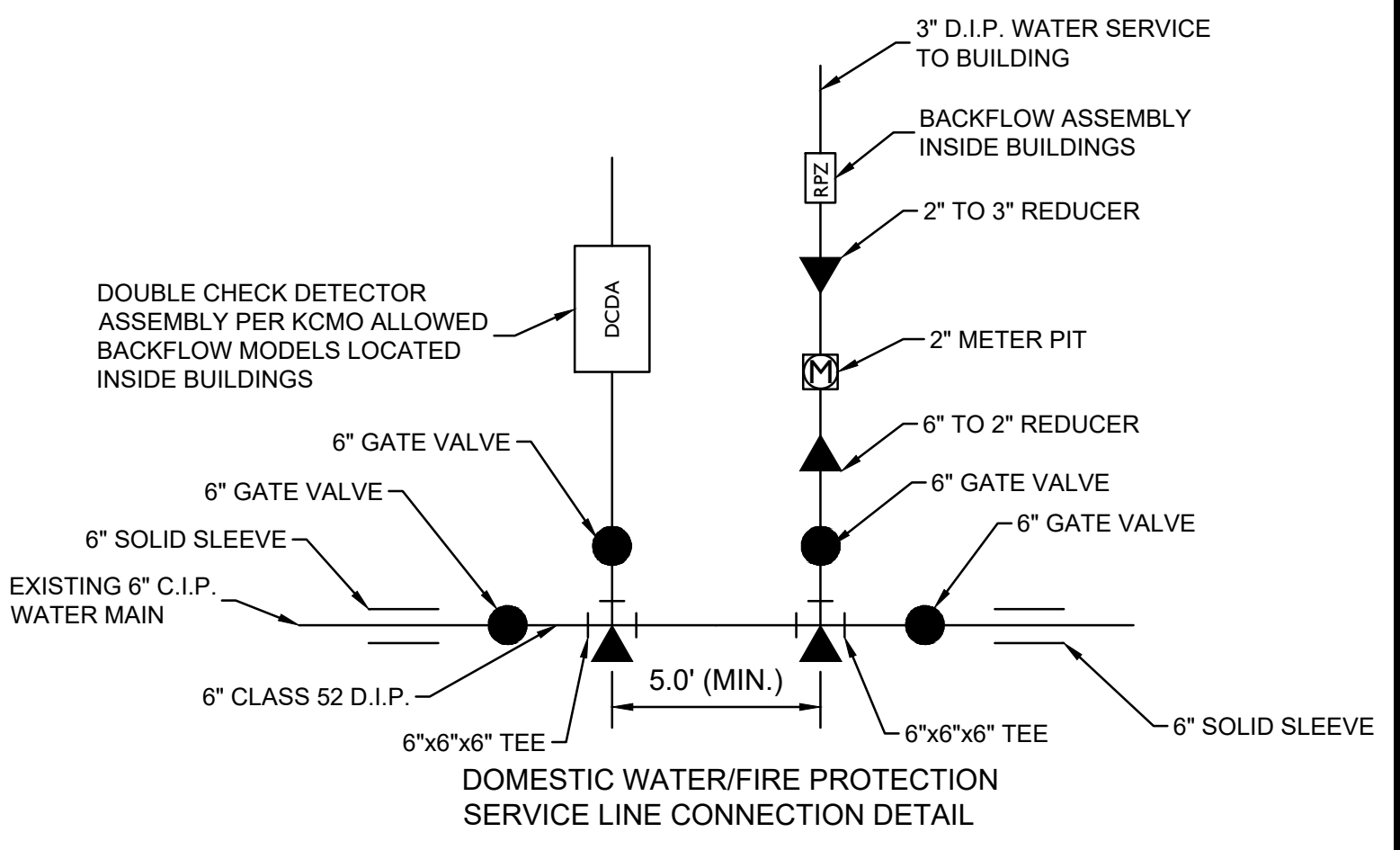
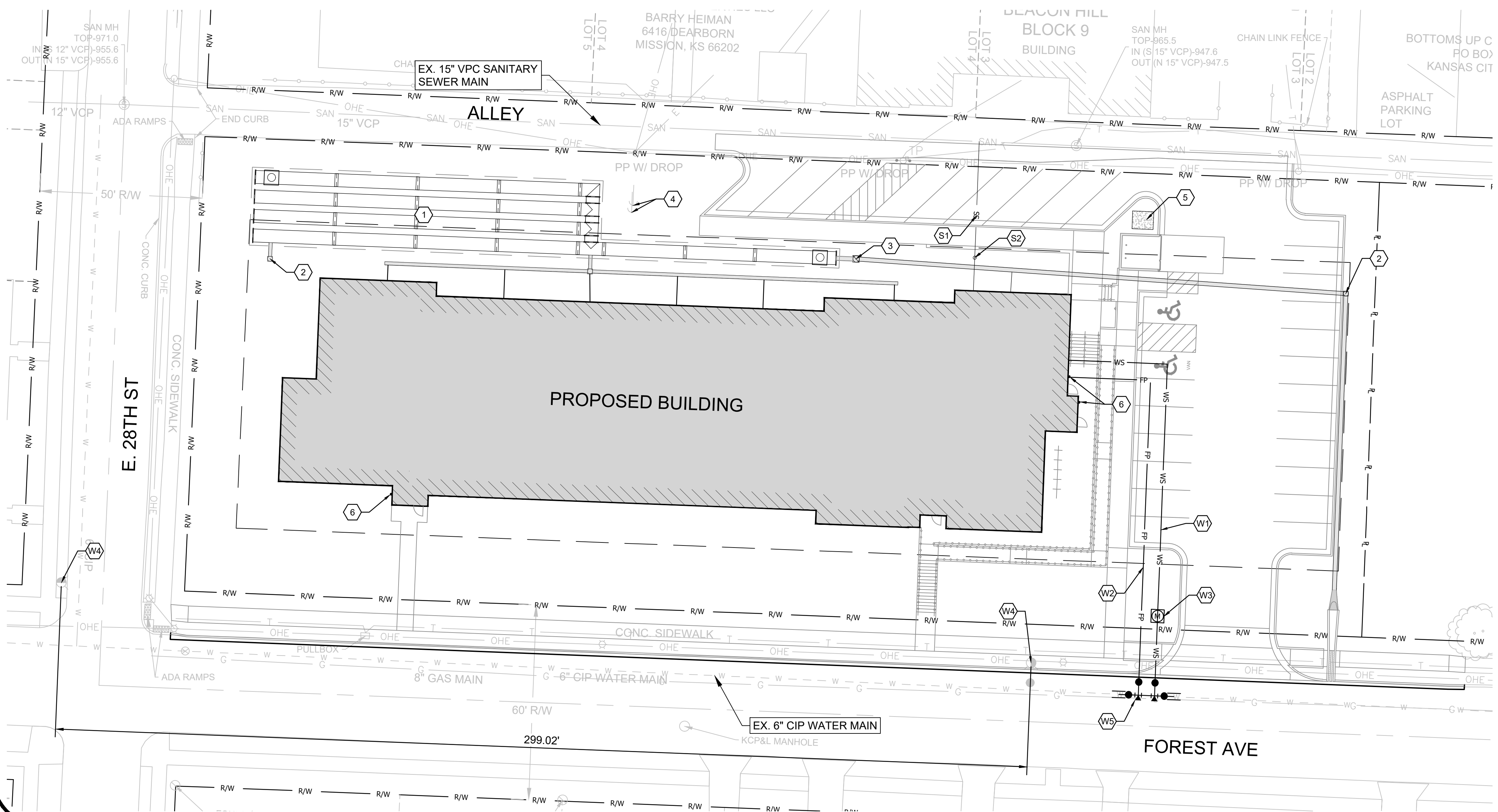
- W1 WATER SERVICE LINE. INSTALL 2" TO 3" REDUCER AND 106 LF OF 3" D.I.P. WATER SERVICE LINE FROM WATER METER PIT TO BUILDING WITH 48" OF COVER (MIN) AND 60" OF COVER (MAX) UNLESS OBSTRUCTIONS REQUIRE DEEPER EXCAVATION FOR CLEARANCE.
- W2 FIRE PROTECTION LINE. INSTALL 121 LF OF 6" CLASS 52 D.I.P. PROTECTION LINE FROM MAIN TO BUILDING WITH 48" OF COVER (MIN) AND 60" OF COVER (MAX) UNLESS OBSTRUCTIONS REQUIRE DEEPER EXCAVATION FOR CLEARANCE. BACKFLOW PREVENTER LOCATED IN MECHANICAL ROOM.
- W3 WATER METER AND METER PIT. INSTALL 2" WATER METER. PER KCMO STANDARDS
- W4 EXISTING FIRE HYDRANT.
- W5 WATER SERVICE CONNECTION. RE: DOMESTIC WATER/FIRE PROTECTION SERVICE LINE CONNECTION DETAIL

GENERAL NOTES

1. ALL FILL MATERIAL IS TO BE IN PLACE, COMPACTED, AND CONSOLIDATED BEFORE INSTALLATION OF PROPOSED UTILITIES. ALL UTILITIES ARE TO BE PLACED IN TRENCH CONDITIONS.
2. CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
3. ALL UNDERGROUND STORM AND OTHER UTILITY LINES SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING. FAILURE TO HAVE INSPECTION APPROVAL PRIOR TO BACKFILL WILL CONSTITUTE REJECTION OF WORK.
4. TOPS OF EXISTING MANHOLES SHALL BE RAISED AS NECESSARY TO BE FLUSH WITH PROPOSED PAVEMENT ELEVATIONS OR FINISH GRADE ELEVATIONS IN NON-PAVED AREAS.
5. DRAWINGS DO NOT PURPORT TO SHOW ALL EXISTING UTILITIES. EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
6. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH AND RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
7. CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES.
8. CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE RELOCATION OR REMOVAL OF EXISTING POWER POLES, TELEPHONE POLES AND GUY'S WITH RESPECTIVE UTILITY COMPANIES. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS REGARDING UTILITY SERVICES.
9. THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITION OF ALL STORM SEWERS ADJACENT TO THE PROJECT LIMITS TO DETERMINE IF ANY EXISTING STORM SEWERS ARE PLUGGED. NOTIFY THE ENGINEER OF ANY PRE-EXISTING CONDITIONS WHICH NEED ATTENTION. ONCE CONSTRUCTION BEGINS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL EXISTING AND ADJACENT STORM SEWERS IN GOOD WORKING ORDER UNTIL SUBSTANTIAL COMPLETION.
10. ALL WATER SERVICE INSTALLATIONS INCLUDING BACKFLOW DEVICES ARE SUBJECT TO FIELD VERIFICATION AND APPROVAL BY THE WATER DEPARTMENT INSPECTOR.



MAINTAIN MIN. 18" VERTICAL CROSSING WITH ALL UTILITIES



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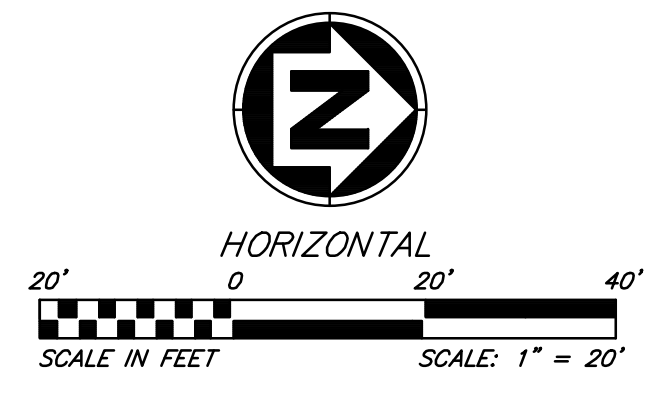
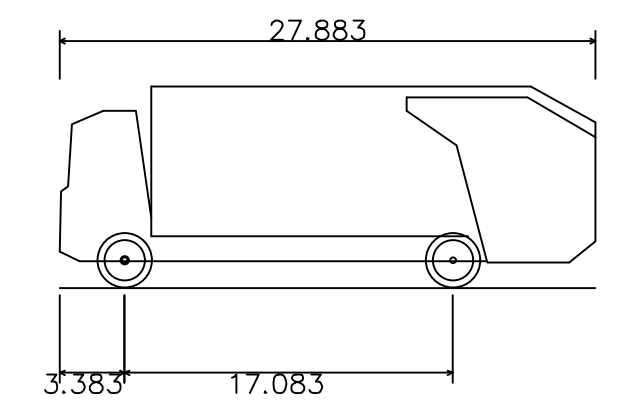
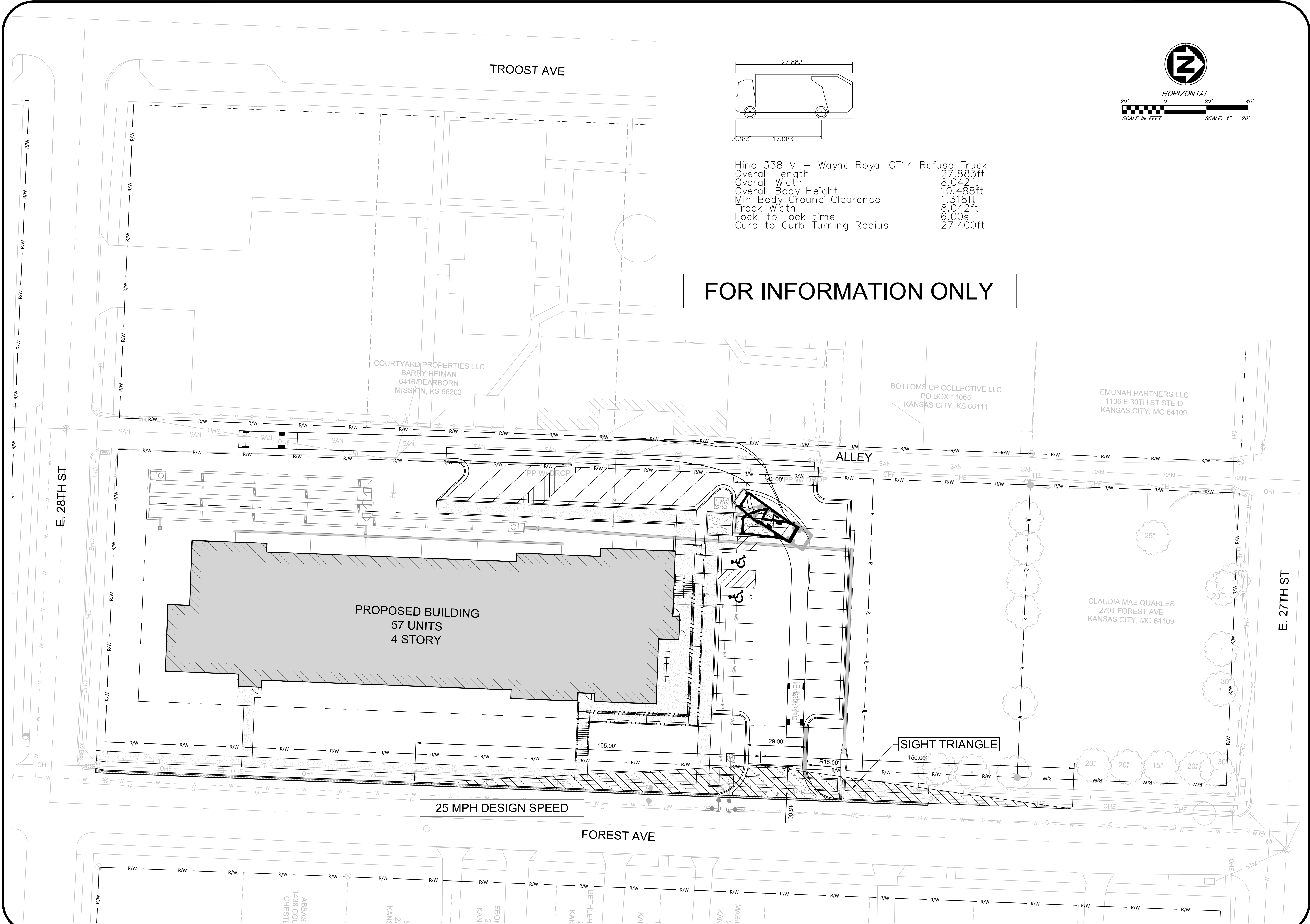
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THE MABION
UTILITY PLAN
2732 FOREST AVE KANSAS CITY, MO 64109

PRELIMINARY NOT FOR CONSTRUCTION

SHEET NUMBER
C4.0
7 OF 8

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THE MABION

TURNING TEMPLATE

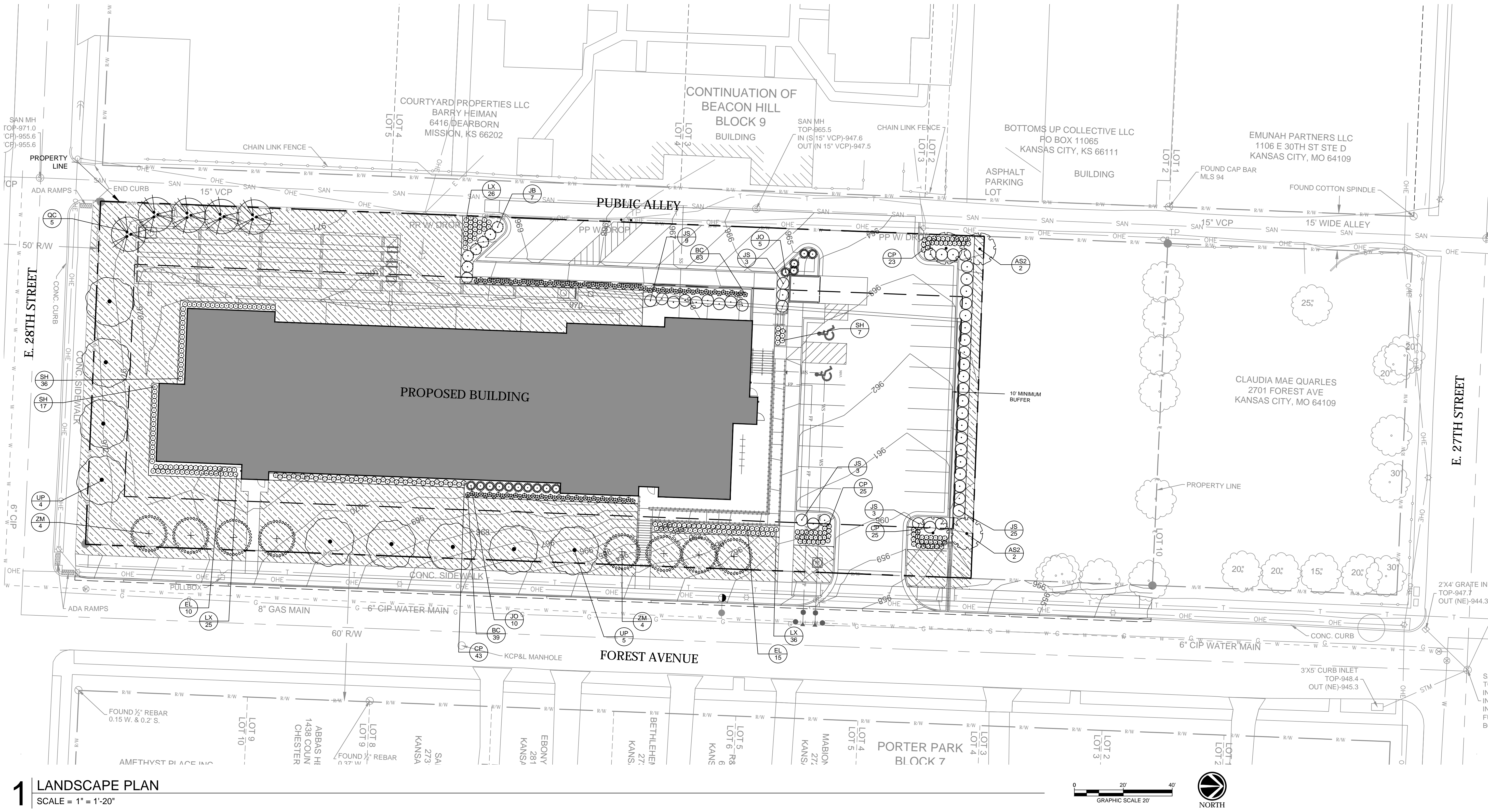
2732 FOREST AVE KANSAS CITY, MO 64109

PRELIMINARY NOT FOR CONSTRUCTION

SHEET NUMBER
C5.0
 8 OF 8

88-425 Landscape Requirements				
Landscape and Screening (Section 88-425, Kansas City, Missouri Zoning and Development Code)				
	Required	Proposed	Alternative Requested	Approved
88-425-03 Street Trees	17	17		
88-425-04 General Landscape Trees	3	5		
88-425-05 Perimeter Vehicular Use Area Adjacent to Residential				
Buffer Width Minimum	10'	10'		
Trees	N/A	N/A		
Evergreen Shrubs	Form a continuous visual screen at least 4' in height after first growing season.	Form a continuous visual screen at least 4' in height after first growing season.		
88-425-06 Interior Vehicular Use Area				
Interior Area	1015	1015		
Trees	6	4		
Shrubs	29	29		
88-425-07 Parking Garage Screening	N/A			
88-425-08 Mechanical/Utility Equipment Screening	Evergreen shrubs to be used to screen utilities.			
88-425-09 Outdoor Use Screening	N/A			

PLANT SCHEDULE					
DECIDUOUS TREES	CODE	QTY	COMMON / BOTANICAL NAME	CONT	GAL
	AS2	4	SUGAR CONE SUGAR MAPLE / ACER SACCHARUM 'SUGAR CONE'	8.8.8	2'CAL
	OC	5	CRIMSON SPIRE™ OAK / QUERCUS ROBUR X ALBA 'CRIMSHMDT'	8.8.8	2'CAL
	UP	9	EMERALD SUNSHINE ELM / ULMUS PROPINQUA 'JFS-BIEBERCH'	8.8.8	2'CAL
	ZM	8	MUSASHINO SAWLEAF ZELKOVA / ZELKOVA SERRATA 'MUSASHINO'	8.8.8	2'CAL
SHRUBS	CODE	QTY	COMMON / BOTANICAL NAME	CONT	
	CP	87	PETIT BLEU BLUEBEARD / CARYOPTERIS X CLANDONENSIS 'MINBLEU' TM	2	GAL
	JB	7	BLUE RUG JUNIPER / JUNIPERUS HORIZONTALIS 'BLUE RUG'	5	GAL
	JO	26	GREY OWL EASTERN REDCEDAR / JUNIPERUS VIRGINIANA 'GREY OWL'	5	GAL
	JS	33	SEA GREEN JUNIPER / JUNIPERUS X PFITZERIANA 'SEA GREEN'	5	GAL
GRASSES & PERENNIALS	CODE	QTY	COMMON / BOTANICAL NAME	CONT	
	BC	102	SIDE OATS GRAMA / BOITELOUIA CURTIPENDULA	1	GAL
	EL	25	PURPLE CONEFLOWER / ECHINACEA PURPUREA 'MAGNUS'	1	GAL
	LX	87	PHENOMENAL LAVENDER / LAVANDULA X INTERMEDIA 'PHENOMENAL'	1	GAL
	SH	60	PRAIRIE DROPSPEED / SPOROBOLUS HETEROLEPIS	1	GAL
GROUND COVERS	CODE	QTY	COMMON / BOTANICAL NAME	CONT	
	TF	19,632 SF	TALL FESCUE / TURF TYPE TALL FESCUE BLEND	SEED	



current submittal

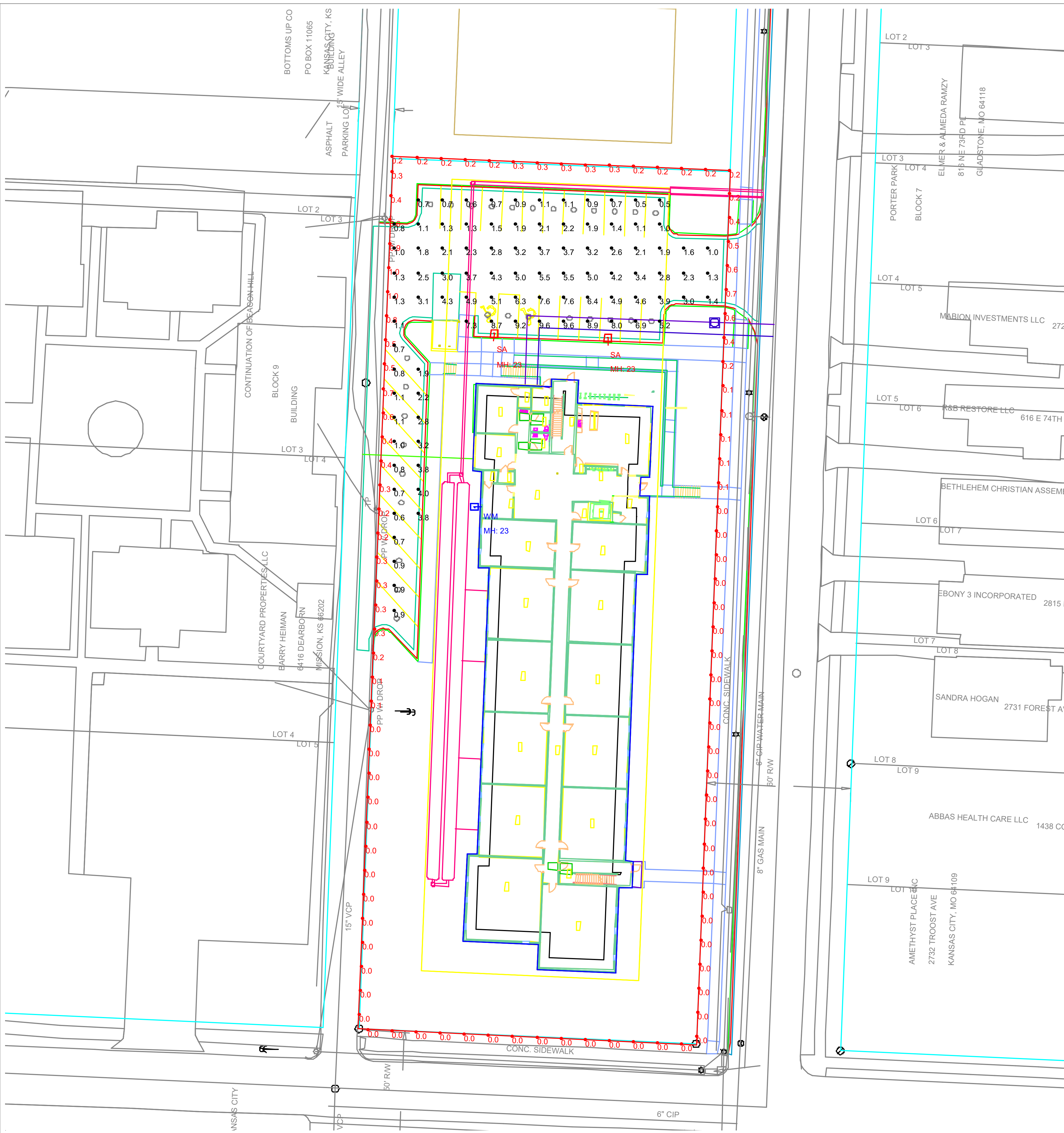
issued: _____

revisions

Date	No.

professional seal

IF THIS DRAWING IS PRINTED LESS THAN 24" X 36" IN SIZE, IT IS A REDUCED SIZE DRAWING. ADJUST SCALES ACCORDINGLY.



Luminaire Schedule						
Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Watts
SA	2	SA	Single	0.900	ATLAS PXS LPM-FT-24L-2-40-4SQ20	160
WM	1	WM	Single	0.900	ATLAS S LPM-24L-4K/500-WBBZ	160

Calculation Summary					
Label	Avg	Max	Min	Avg/Min	Max/Min
Parking Lot	2.97	9.6	0.5	5.94	19.20
SPILL LIGHT	0.18	1.0	0.0	N.A.	N.A.

1. Parking Lot Calculation Points Set at 0'-0" AFF, 10'x10' spacing
2. Fixture Mounting Height: 23' AFF/ 20' Pole/ 3' Concrete Base

THE LIGHTING CALCULATIONS PROVIDED IN THIS REPORT APPROXIMATE THE LIGHT LEVELS EXPECTED WITHIN THE SPACE BASED ON AN OPEN ENVIRONMENT AND BASED ON INFORMATION PROVIDED TO MEGLIO AND ASSOCIATES. PLEASE VERIFY THE DATA LISTED TO ENSURE ACCURACY. ANY VARIANCE IN COLOR/COMPOSITION OF WALLS CCT, SPACING, AND ANY OTHER SUBSTANTIAL FACTORS OR CHANGES PROVIDED IN DRAWINGS WILL VOID THIS CALCULATION AND A NEW CALCULATION WILL NEED TO BE MADE. THIS LAYOUT IS MEANT TO SHOW FIXTURE QUANTITY AND PERFORMANCE.

PROJECT NAME:	22259-The Mabion Site KC, MO r2.AGI
PROJECT LOCATION:	Kansas City, MO
DATE:	10/12/2022
COMPANY:	MEGLIO & ASSOCIATES (SLA)



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GENERAL NOTES

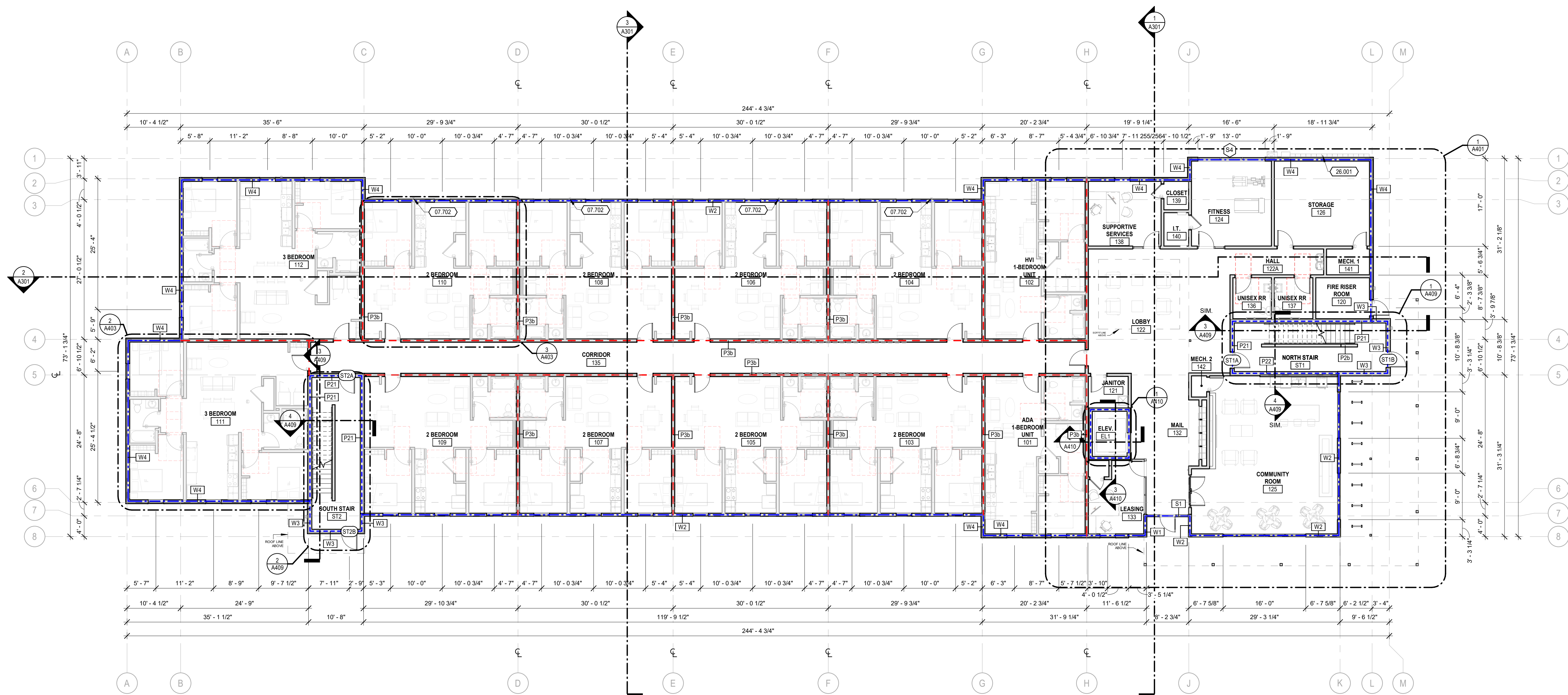
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5. CONFIRM EXTERIOR WALL TAGS MATCH EXTERIOR ELEVATIONS. WHEN THERE IS A CONFLICT, THE INTENT FROM THE EXTERIOR ELEVATIONS SHALL TAKE PRECEDENT.

KEYNOTE LEGEND

- 07.702 ALUMINUM DOWNSPOUTS. SEE ROOF PLAN FOR LOCATIONS AND SIZES. COLOR TO MATCH ADJACENT WALL SURFACE COLOR.
- 26.001 ELECTRIC METER BANK, DISCONNECT, AND PULL BOX. CONTRACTOR TO COORDINATE ELECTRIC SERVICE, LOCATIONS AND INSTALLATION. REFER TO ELECTRICAL DRAWINGS AND LOCAL ELECTRIC SERVICE REQUIREMENTS MANUAL FOR ADDITIONAL INFORMATION.

FIRE RATING / EGRESS LEGEND

- EGRESS ROUTE
- - - - ACCESSIBILITY ROUTE
- - - - 1 HOUR FIRE RATED PARTITION. NOTE, ALL UNIT DEMISING WALLS ARE RATED TO 1 HOUR
- - - - 1 HOUR FIRE RATED BARRIER
- - - - 2 HOUR FIRE RATED WALL



5 1ST FLOOR PLAN
3/32" = 1'-0"

THE MABION - KC MO
FOREST AVE. AND E 28TH ST.
KANSAS CITY, MO, 64109

REV	DESCRIPTION	DATE

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OVERALL 1ST FLOOR

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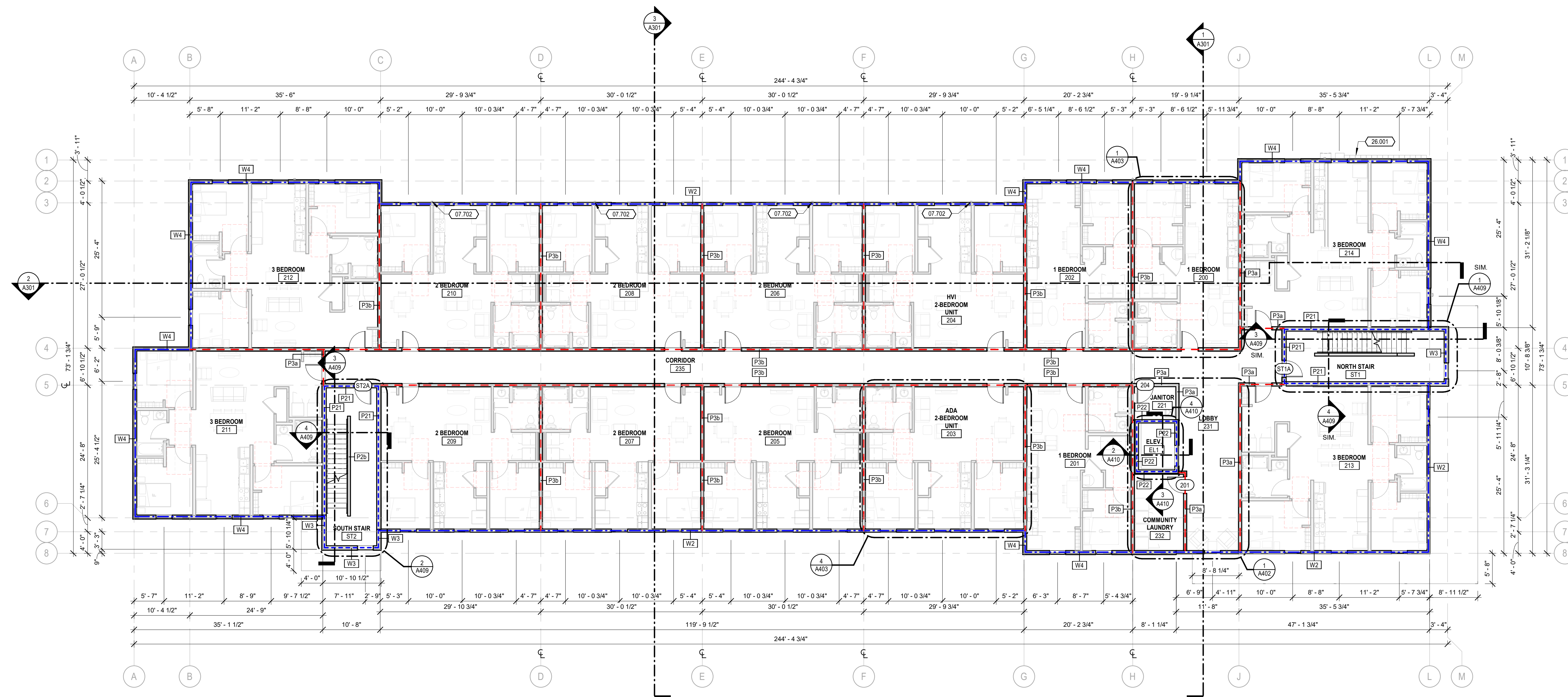
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1 2ND FLOOR PLAN
3/32" = 1'-0"

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OVERALL 2ND FLOOR

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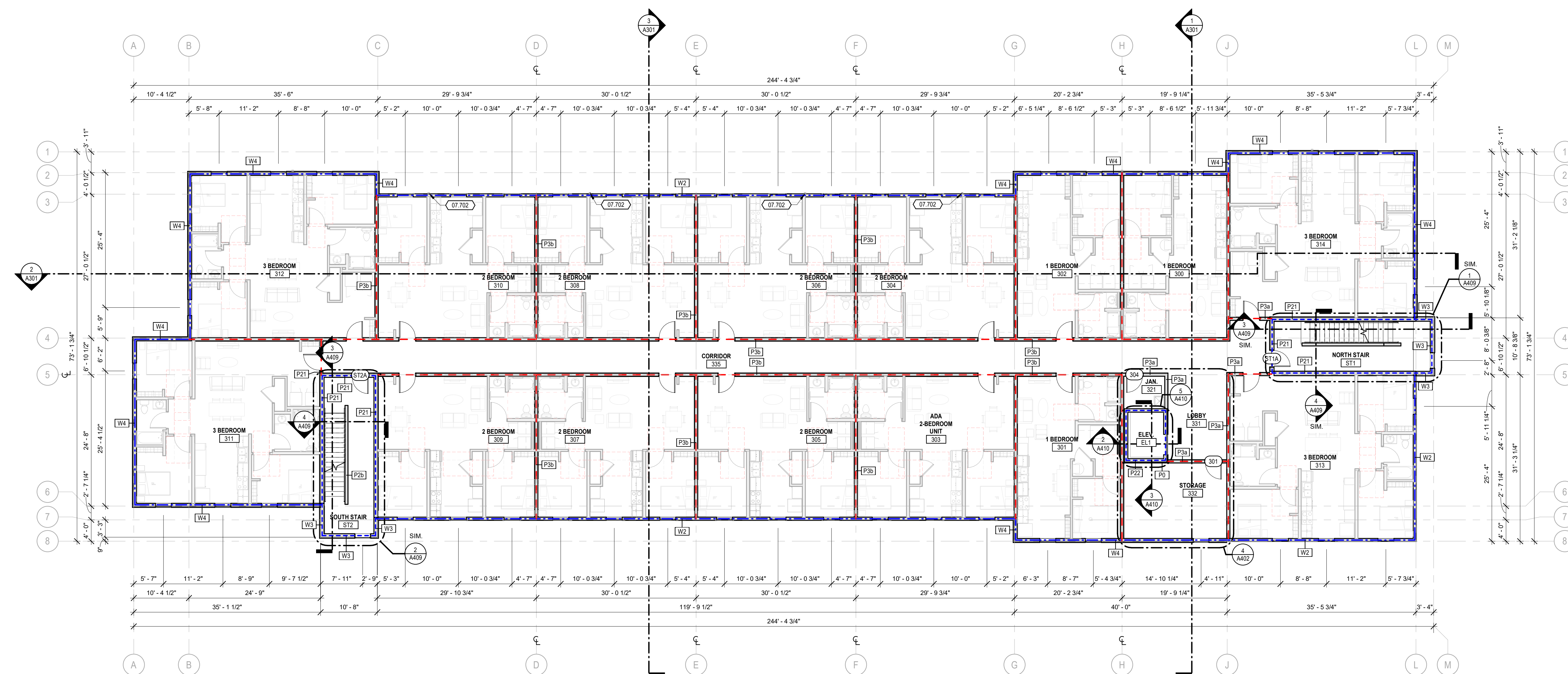
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1 3RD FLOOR PLAN
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OVERALL 3RD FLOOR

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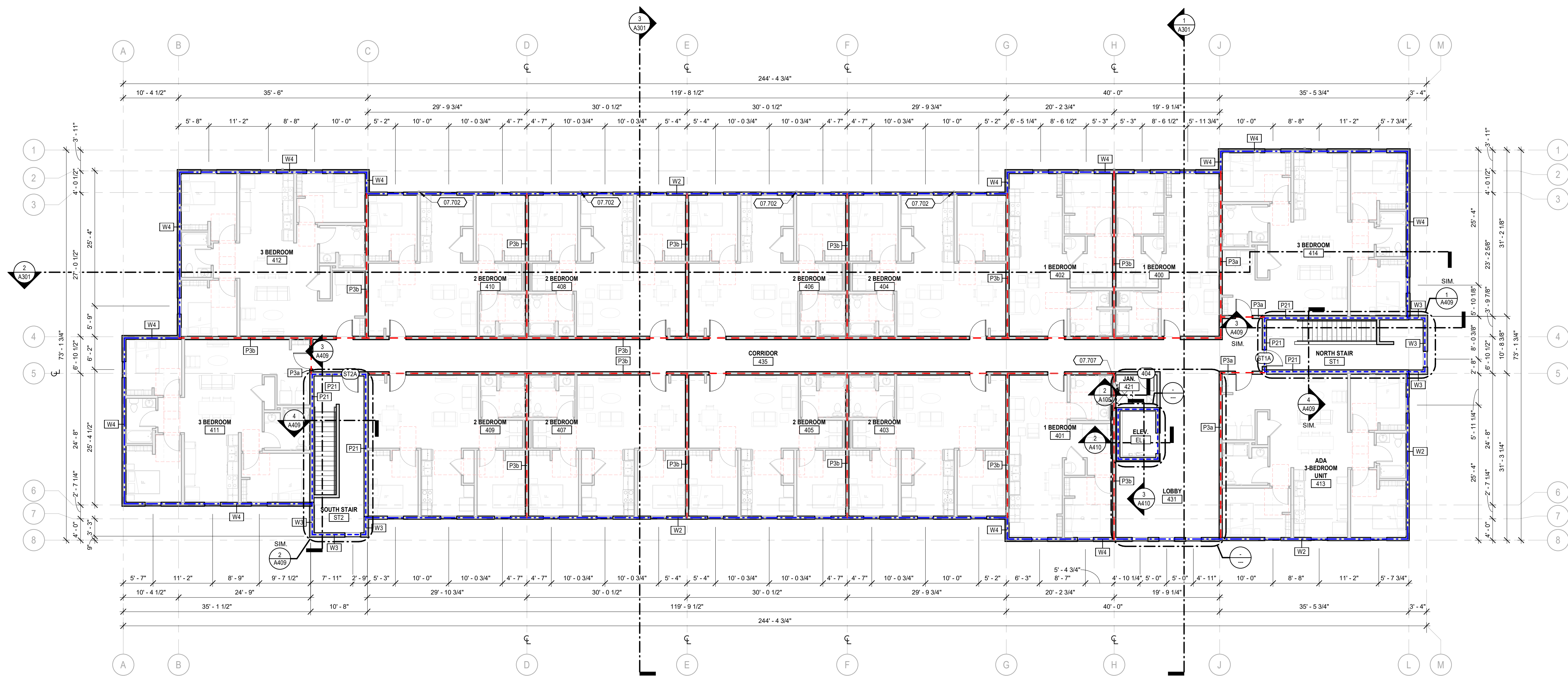
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5. CONFIRM EXTERIOR WALL TAGS MATCH EXTERIOR ELEVATIONS. WHEN THERE IS A CONFLICT, THE INTENT FROM THE EXTERIOR ELEVATIONS SHALL TAKE PRECEDENT.

KEYNOTE LEGEND

- 07.702 ALUMINUM DOWNSPOUTS. SEE ROOF PLAN FOR LOCATIONS AND SIZES. COLOR TO MATCH ADJACENT WALL SURFACE COLOR.
- 07.707 30" WIDE BY 36" LONG ROOF ACCESS HATCH EQUAL TO TYPE S-20 ROOF HATCH BY THE BILCO COMPANY COMPLETE WITH BIL-GUARD FIXED HATCH RAILING SYSTEM AND LADDER UP SAFETY POST. TOP OF RAILING SYSTEM TO BE SET 42" MINIMUM ABOVE FINISHED ROOF SURFACE. CENTER ACCESS HATCH BEHIND TRUSS BRUSSES. CONTRACTOR TO COORDINATE ROOF TRUSS PLACEMENT AND CROSS BRUSSES BEHIND.

FIRE RATING / ACCESSIBILITY LEGEND

- EGRESS ROUTE
- - - - - ACCESSIBILITY ROUTE
- - - - - 1 HOUR FIRE RATED PARTITION: NOTE, ALL UNIT DEMISING WALLS ARE RATED TO 1 HOUR
- - - - - 1 HOUR FIRE RATED BARRIER
- - - - - 2 HOUR FIRE RATED WALL



1 4TH FLOOR PLAN
3/32" = 1'-0"

REVISION	DESCRIPTION	DATE

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OVERALL 4TH FLOOR

A104

THE MABION - KCMO
FOREST AVE. AND E 28TH ST.
KANSAS CITY, MO, 64109

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MEP ENGINEERING
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CONTACT: NAOMI FISHER

GENERAL NOTES

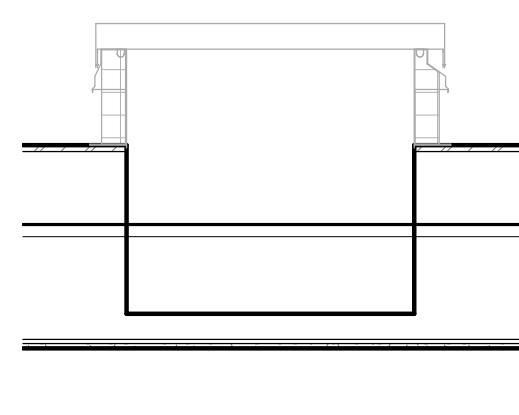
1. PROVIDE SOLID 2X8 WALL BLOCKING / REINFORCING AT TOILETS AND SHOWERS IN ALL UNITS PER SHEETS G-002 AND G-003. GRAB BARS ARE TO BE INSTALLED AT TOILET AND TUB/SHOWER LOCATIONS IN "TYPE A" UNITS ONLY.
2. REFER TO OVERALL PLANS FOR "TYPE A" UNIT LOCATIONS
3. ALLOW INSPECTION OF WALL INSULATION, INCLUDING FRAMING, PRE-DRY WALL INSTALLATION AND POST DRY WALL CONSTRUCTION. NOTIFY RESPONSIBLE PARTY PRIOR TO ENCLOSING WALL INSULATION IN AREAS DESIGNATED FOR INSPECTIONS.
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5. CONFIRM EXTERIOR WALL TAGS MATCH EXTERIOR ELEVATIONS. WHEN THERE IS A CONFLICT, THE INTENT FROM THE EXTERIOR ELEVATIONS SHALL TAKE PRECEDENT.

KEYNOTE LEGEND

- 07.501 ROOF CRICKET, SLOPE 1/4" MINIMUM. REFER TO ROOF PLAN FOR CRICKET LOCATIONS.
- 07.602 PREFINISHED METAL COPING CAP FASTENED OVER CLEAT ON EXTERIOR SIDE AND NAILED PER MANUFACTURER ON INTERIOR SIDE.
- 07.703 INSTALL 4" PRE-FINISHED METAL GUTTER WITH BOX STYLE PROFILE. CONNECT GUTTER TO WALL DOWNSPOUT AT BUILDING. GUTTER AND DOWNSPOUT FINISH TO MATCH FACE.
- 07.704 PREFINISHED METAL THROUGH WALL SCUPPER CONNECTED TO PREFINISHED METAL CONDUCTOR HEAD AND DOWNSPOUT.

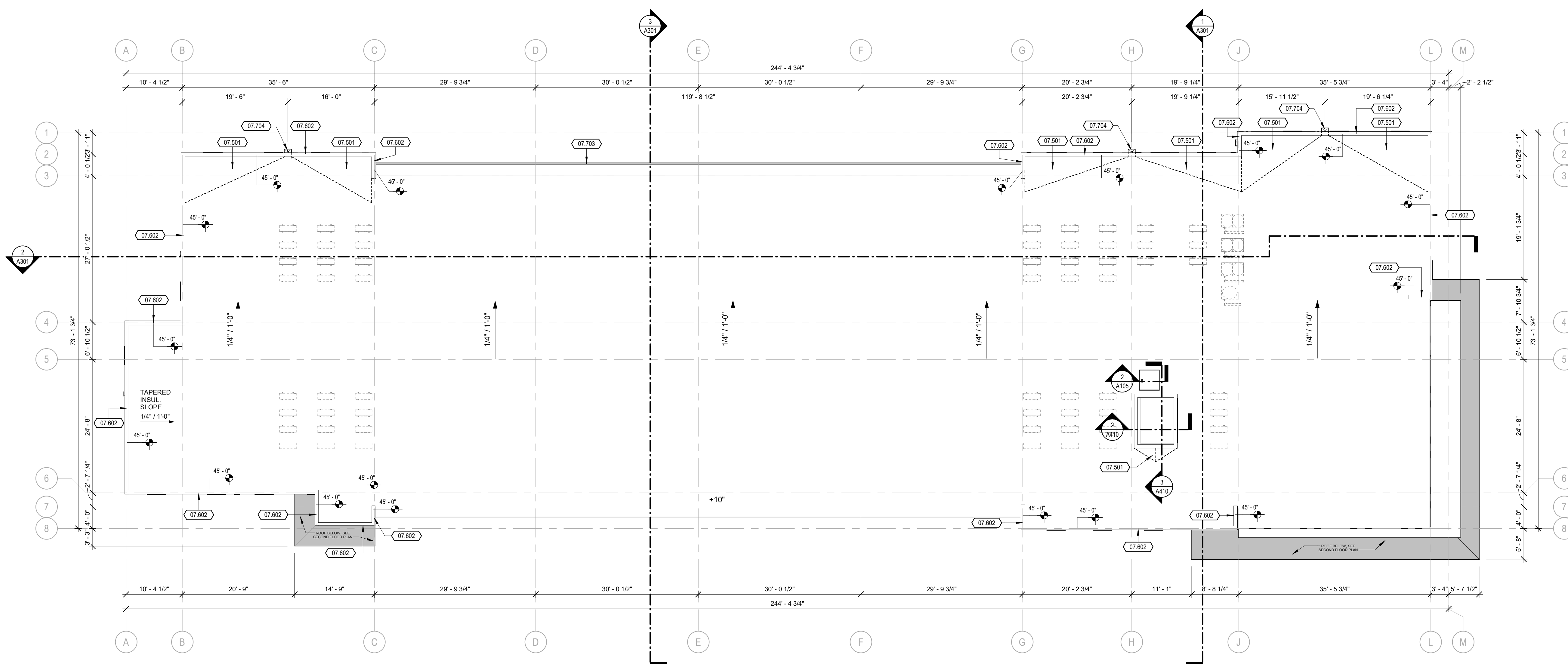
FIRE RATING / EGRESS LEGEND

- EGRESS ROUTE
- ACCESSIBILITY ROUTE
- 1 HOUR FIRE RATED PARTITION; NOTE, ALL UNIT DEMISING WALLS ARE RATED TO 1 HOUR
- 1 HOUR FIRE RATED BARRIER
- 2 HOUR FIRE RATED WALL



2 ROOF ACCESS LADDER / HATCH SECTION

1/2" = 1'-0"



1 ROOF PLAN

3/32" = 1'-0"

THE MABION - KCMO
FOREST AVE. AND E 28TH ST.
KANSAS CITY, MO, 64109

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OVERALL ROOF PLAN

A105

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THE MABION - KCMO
2732 FOREST AVE.
KANSAS CITY, MO 64109

GENERAL NOTES

- PROVIDE SOLID 2X8 WALL BLOCKING / REINFORCING AT TOILETS AND SHOWERS IN ALL UNITS PER SHEETS G-002 AND G-003. GRAB BARS ARE TO BE INSTALLED AT TOILET AND TUB/SHOWER LOCATIONS IN "TYPE A" UNITS ONLY.
- REFER TO OVERALL PLANS FOR "TYPE A" UNIT LOCATIONS
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- CONFIRM EXTERIOR WALL TAGS MATCH EXTERIOR ELEVATIONS. WHEN THERE IS A CONFLICT, THE INTENT FROM THE EXTERIOR ELEVATIONS SHALL TAKE PRECEDENT.

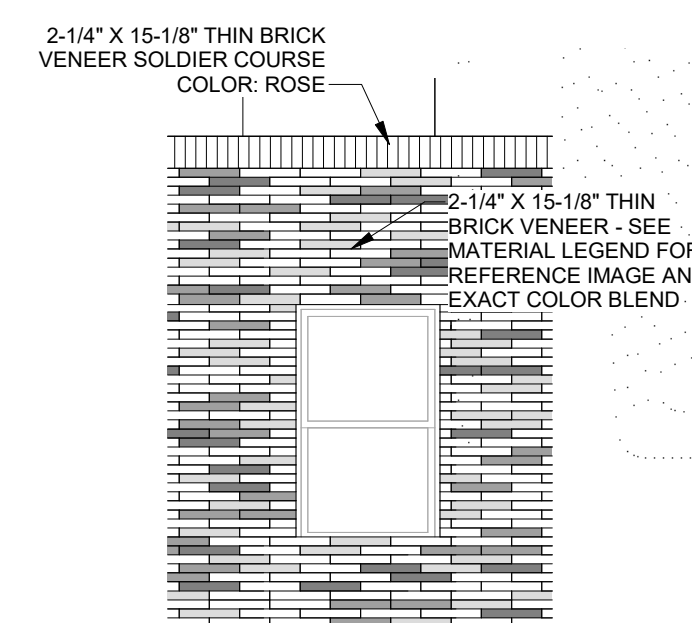
KEYNOTE LEGEND

- 07.413 FIBER CEMENT FASCIA
- 07.602 PREFINISHED METAL COPING CAP FASTENED OVER CLEAT ON EXTERIOR SIDE AND NAILED PER MANUFACTURER ON INTERIOR SIDE.
- 07.707 30" WIDE BY 36" LONG ROOF ACCESS HATCH EQUAL TO TYPE S-20 ROOF HATCH BY THE BILCO COMPANY COMPLETE WITH BIL-GUARD FIXED HATCH RAILING SYSTEM AND LADDER UP SAFETY POST. TOP OF RAILING SYSTEM TO BE SET 0" MINIMUM ABOVE FINISHED ROOF SURFACE. CENTER ACCESS HATCH BETWEEN ROOF TRUSSES. CONTRACTOR TO COORDINATE ROOF TRUSS PLACEMENT AND CROSS BRACING AS REQUIRED.
- 11.101 U SHAPED BICYCLE RACK
- 26.001 ELECTRIC METER BANK, DISCONNECT, AND PULL BOX. CONTRACTOR TO COORDINATE ELECTRIC SERVICE, LOCATIONS, AND INSTALLATION. REFER TO ELECTRICAL DRAWINGS AND LOCAL ELECTRIC SERVICE REQUIREMENTS MANUAL FOR ADDITIONAL INFORMATION.

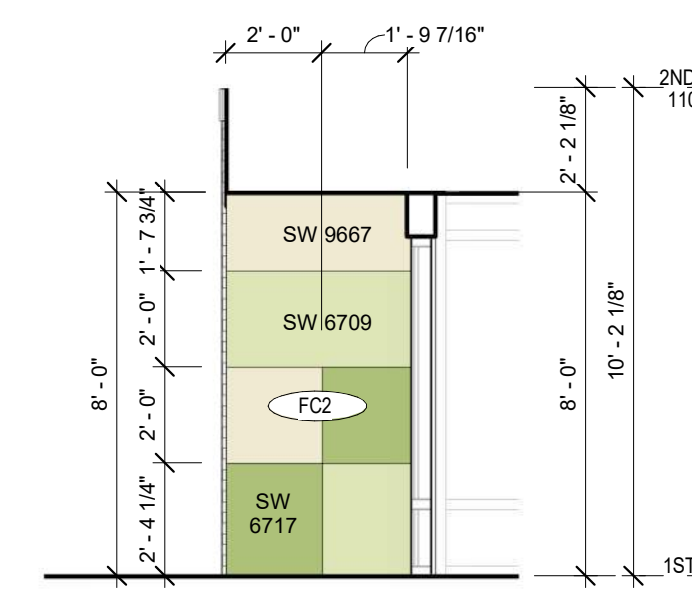
MATERIAL LEGEND

- FIBER CEMENT PANEL - VERTICAL**
MFR: ALLURA FIBER CEMENT PANEL OR APPROVED EQUAL
COLOR: KNIGHTS ARMOR
- FIBER CEMENT PANEL**
MFR: ALLURA FIBER CEMENT PANEL OR APPROVED EQUAL
COLORS: SW 9667, SW 6709, & SW 6717
- FIBER CEMENT PANEL - HORIZONTAL**
MFR: ALLURA FIBER CEMENT PANEL OR APPROVED EQUAL
COLOR: KNIGHTS ARMOR
- THIN BRICK VENEER - RUNNING BOND**
MFR: ENDICOTT BRICK - MERIDIAN, OR APPROVED EQUAL
COLOR: BLEND - BURGUNDY, RED, ROSE, RUBY
SIZE: 2-1/4" X 15-1/8"
- COLORED PARGE COAT OVER CAST IN PLACE CONCRETE**

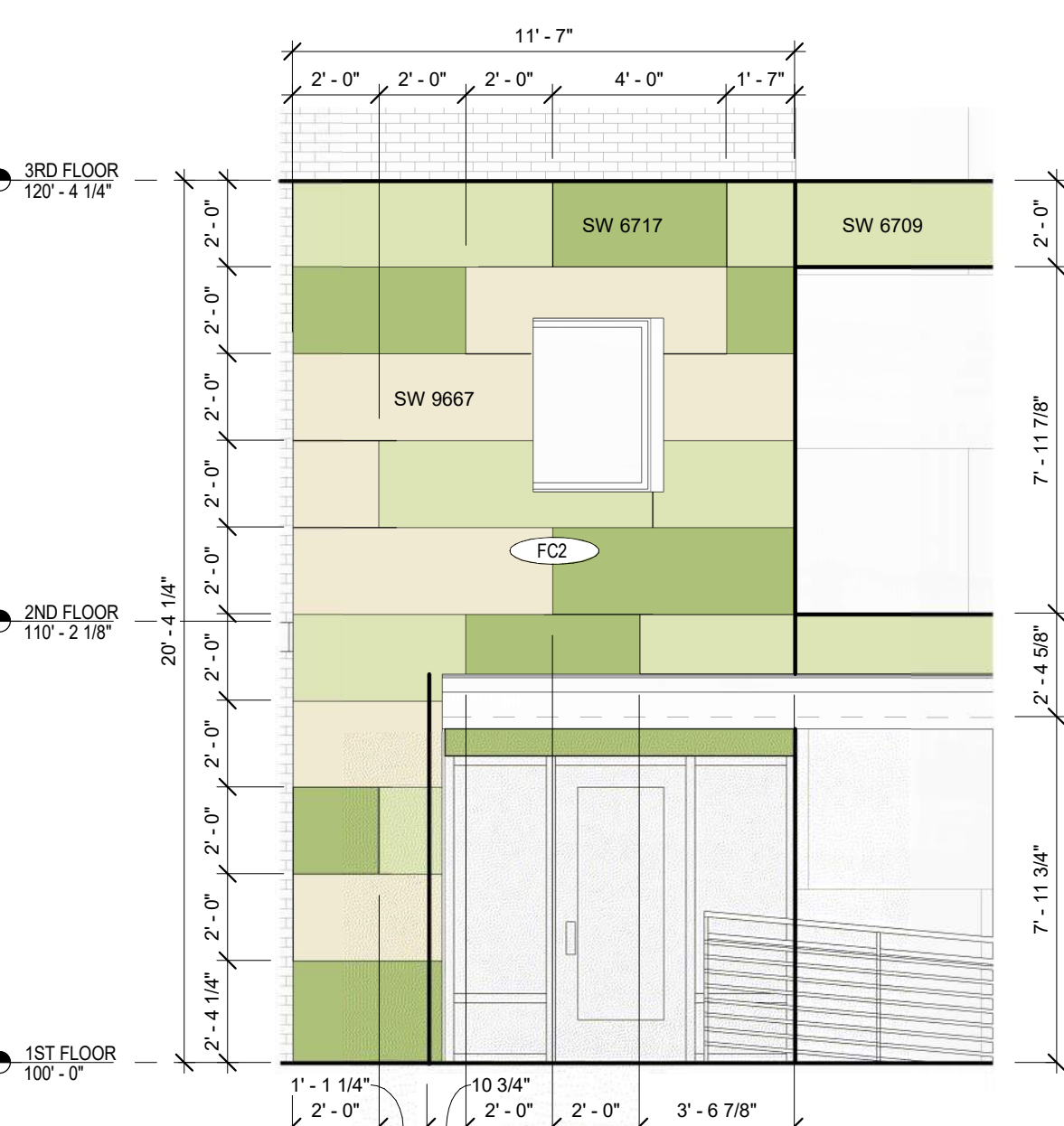
EXAMPLE IMAGE OF THIN BRICK VENEER BLEND:



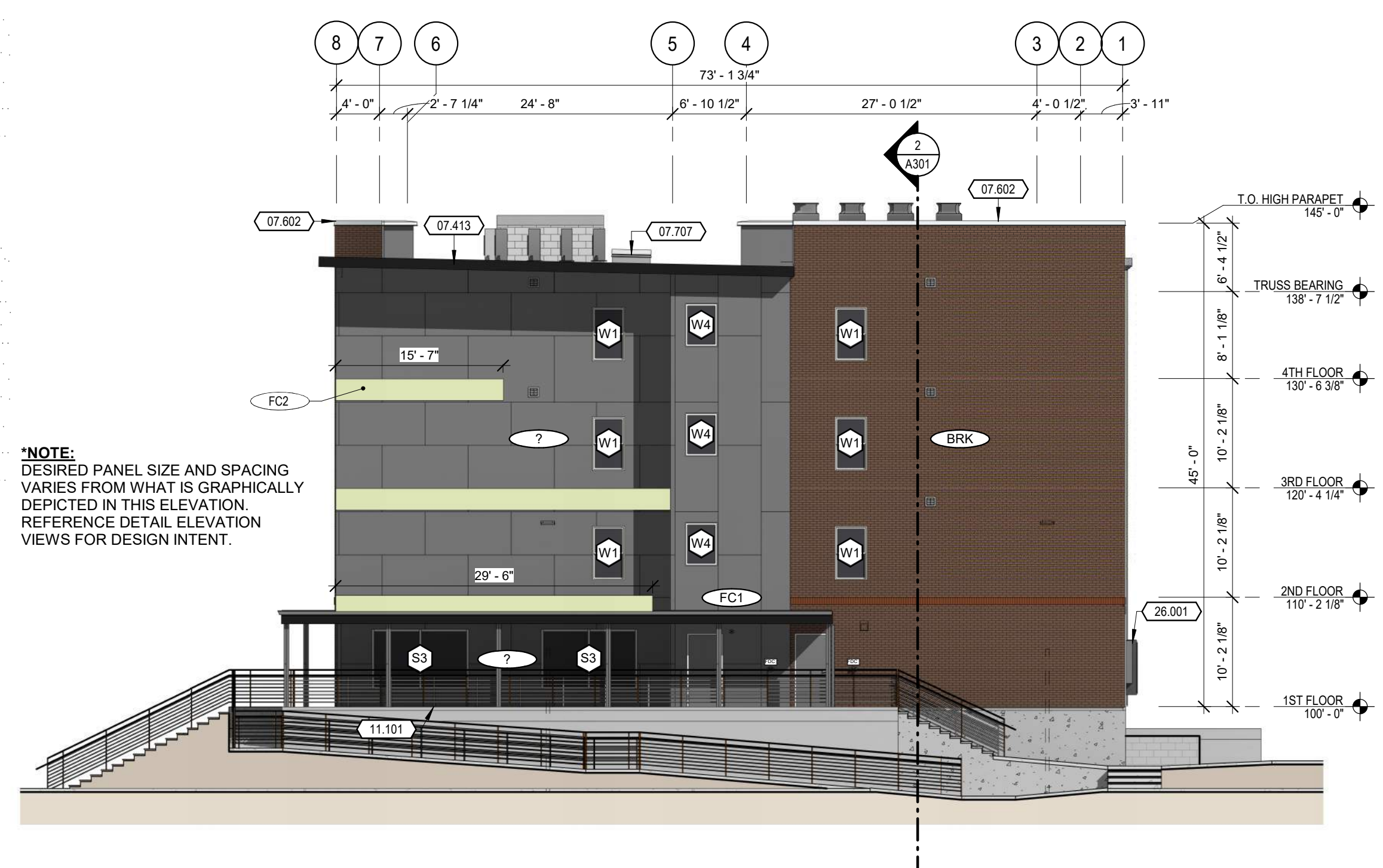
5 ENLARGED BRICK DETAIL
1/4" = 1'-0"



3 ENLARGED MAIN ENTRY - NORTH
1/4" = 1'-0"

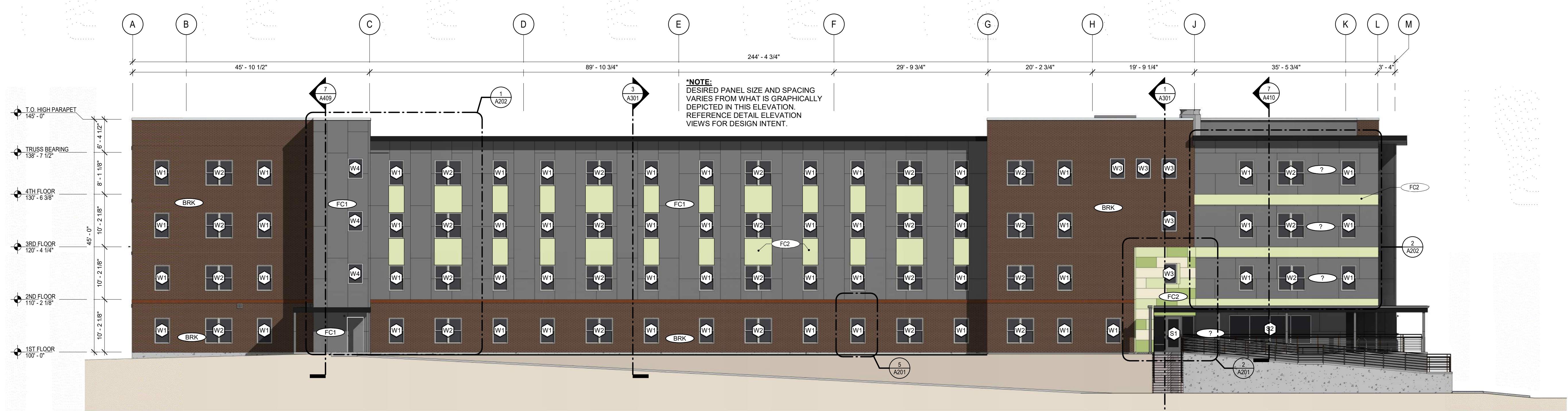


2 ENLARGED MAIN ENTRY - EAST
1/4" = 1'-0"



1 NORTH ELEVATION
3/32" = 1'-0"

*NOTE:
DESIRED PANEL SIZE AND SPACING
VARIES FROM WHAT IS GRAPHICALLY
DEPICTED IN THIS ELEVATION
REFERENCE DETAIL ELEVATION
VIEWS FOR DESIGN INTENT.



4 EAST ELEVATION
3/32" = 1'-0"

REV	DESCRIPTION	DATE

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PROJECT NUMBER: 21190
DRAWN BY: CM
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BUILDING ELEVATIONS
A201

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THE MABION - KCMO
2732 FOREST AVE.
KANSAS CITY, MO 64109

REV	DESCRIPTION	DATE

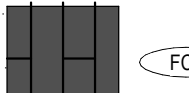


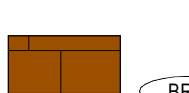
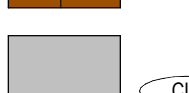
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PROJECT NUMBER: 21190
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BUILDING
ELEVATIONS
A202

MATERIAL LEGEND

	FIBER CEMENT PANEL - VERTICAL MFR: ALLURA FIBER CEMENT PANEL OR APPROVED EQUAL COLOR: KNIGHTS ARMOR
	FIBER CEMENT PANEL MFR: ALLURA FIBER CEMENT PANEL OR APPROVED EQUAL COLORS: SW 9667, SW 6709, & SW 6717
	FIBER CEMENT PANEL - HORIZONTAL MFR: ALLURA FIBER CEMENT PANEL OR APPROVED EQUAL COLOR: KNIGHTS ARMOR
	THIN BRICK VENEER - RUNNING BOND MFR: ENDICOTT BRICK - MERIDIAN, OR APPROVED EQUAL COLOR: BLEND - BURGUNDY, RED, ROSE, RUBY SIZE: 2-1/4" X 15-1/8"
	COLORLED PARGE COAT OVER CAST IN PLACE CONCRETE

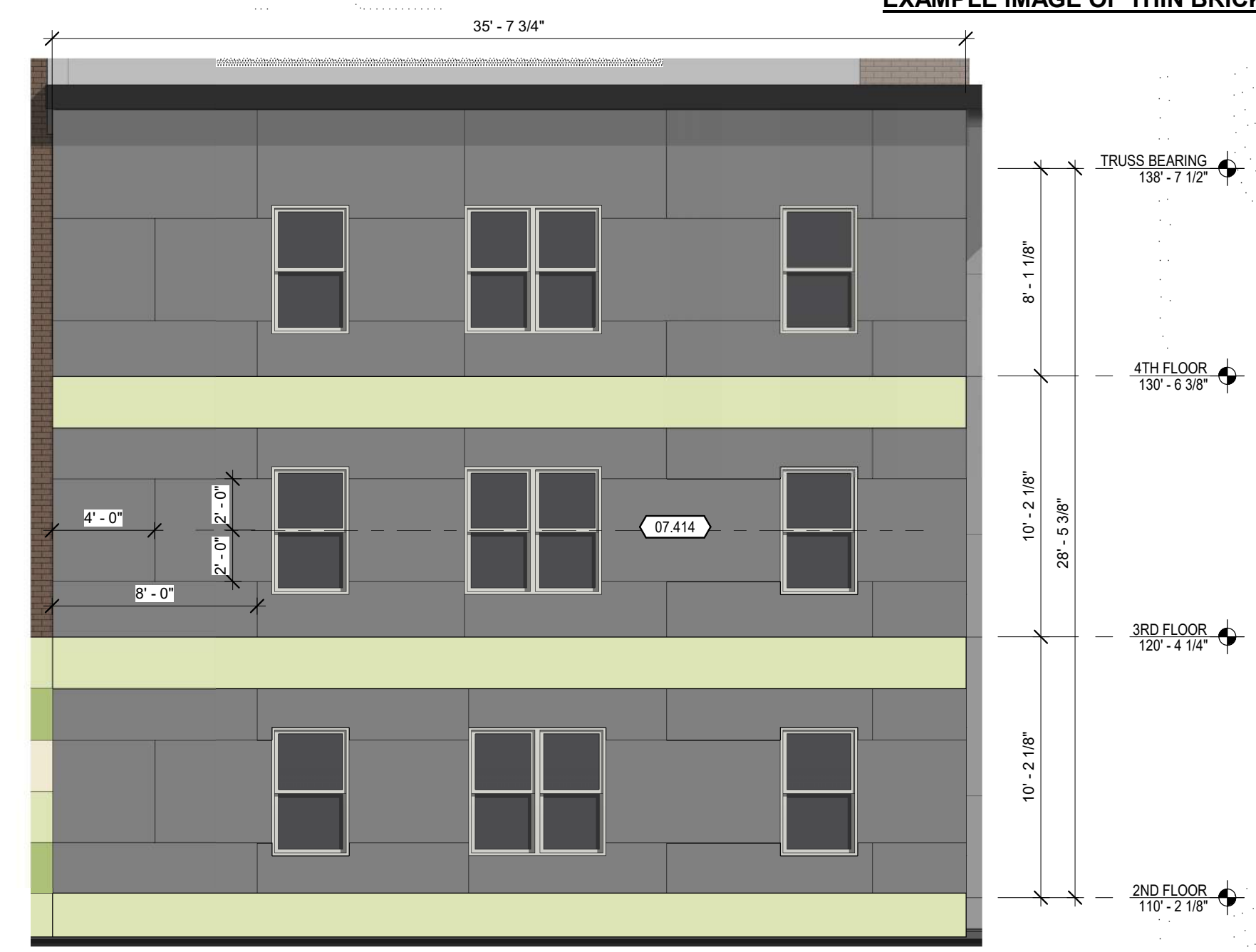
- GENERAL NOTES**
1. PROVIDE SOLID 2X8 WALL BLOCKING / REINFORCING AT TOILETS AND SHOWERS IN ALL UNITS PER SHEETS G-002 AND G-003. GRAB BARS ARE TO BE INSTALLED AT TOILET AND TUB/SHOWER LOCATIONS IN "TYPE A" UNITS ONLY.
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KEYNOTE LEGEND

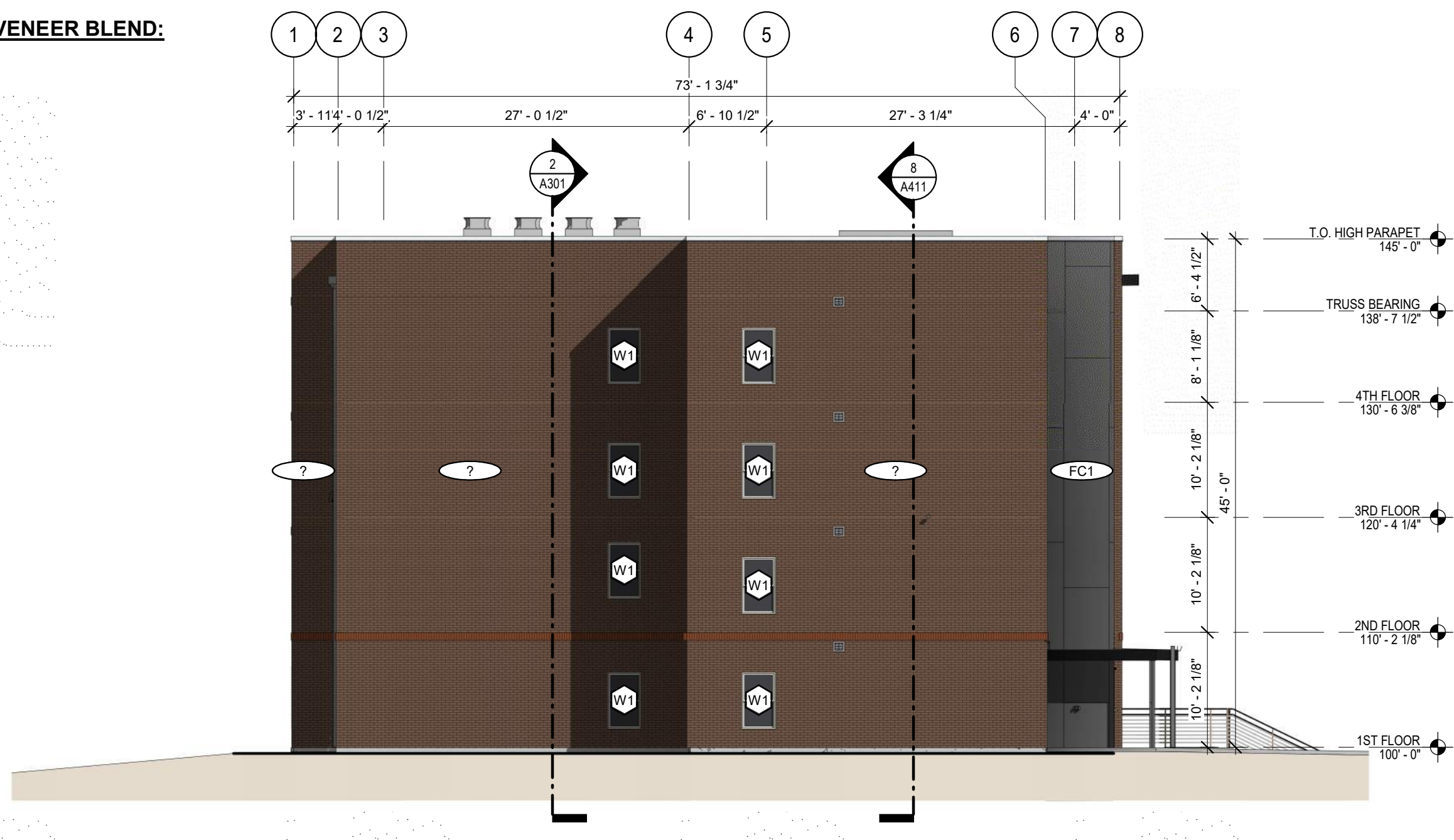
EXAMPLE IMAGE OF THIN BRICK VENEER BLEND:



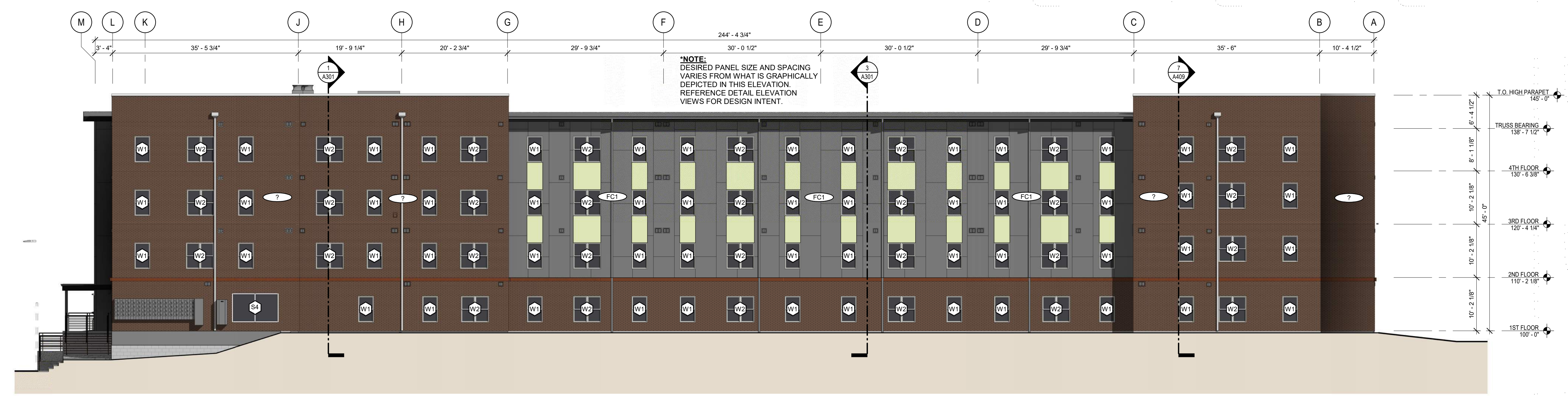
1 EAST ELEVATION - ENLARGED TYPICAL FIBER CEMENT LAYOUT
3/16" = 1'-0"



2 EAST ELEVATION - ENLARGED FIBER CEMENT LAYOUT MAIN ENTRY
3/16" = 1'-0"



3 SOUTH ELEVATION
3/32" = 1'-0"



4 WEST ELEVATION
3/32" = 1'-0"

THE MABION EXTERIOR SIGNAGE

MAIN ENTRY SIGN

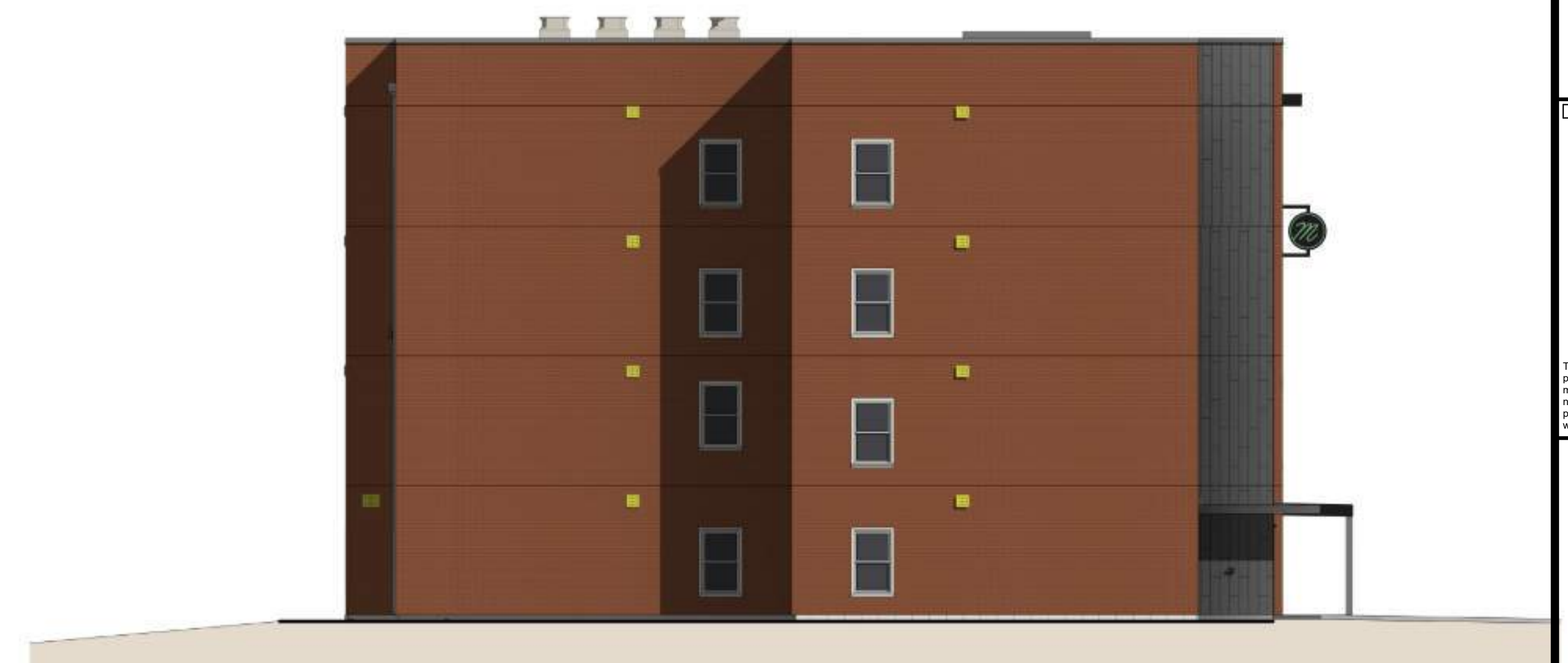
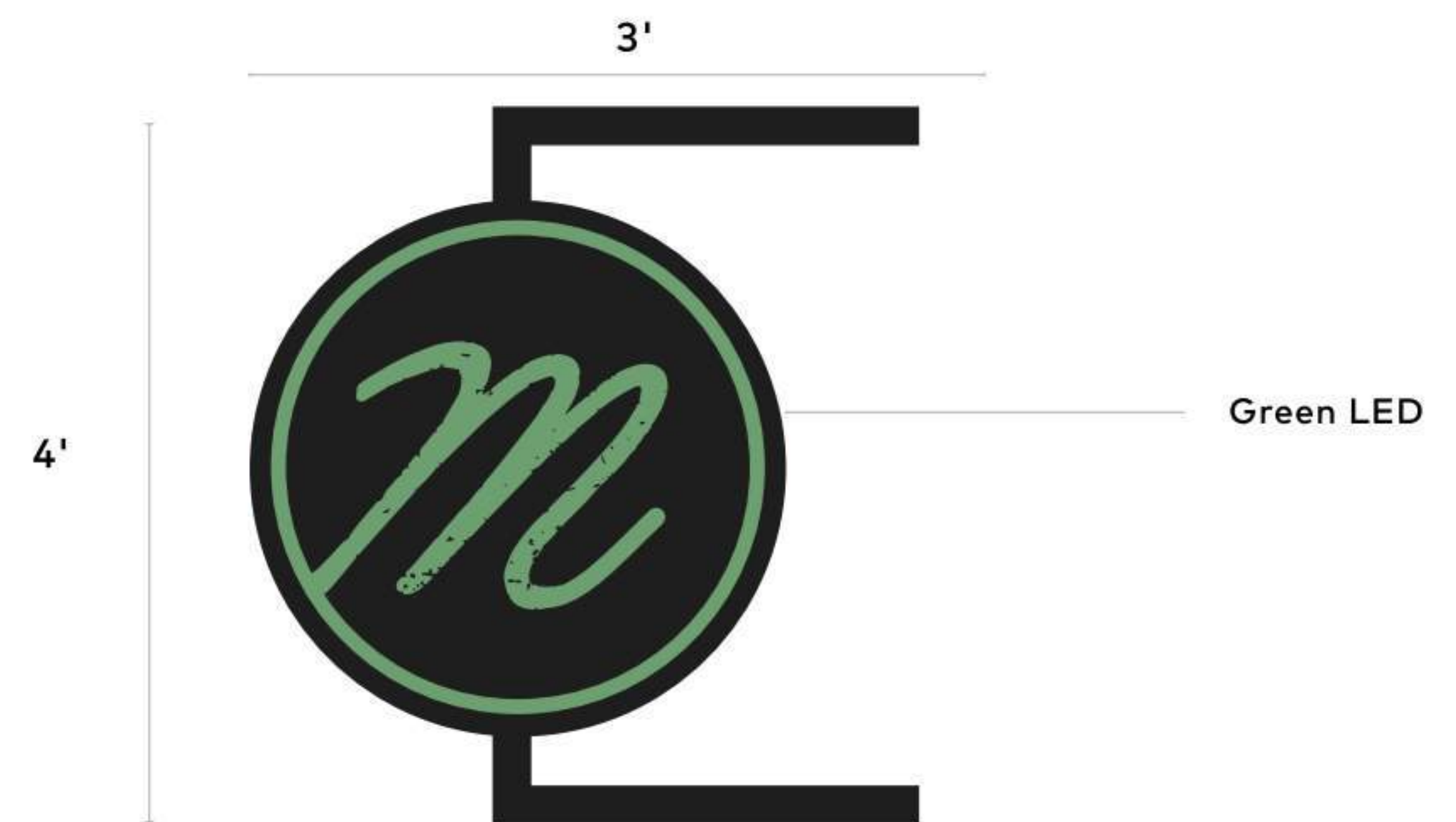


EAST ELEVATION



EXECUTION EXAMPLE

PROJECTION SIGN



SOUTH ELEVATION

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CONTACT: NAOMI FISHER

THE MABION - KCMO
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KANSAS CITY, MO 64109

REV	DESCRIPTION	DATE
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PROJECT NUMBER: 21190
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EXTERIOR BUILDING SIGNAGE

G011



THE *Mabian*

VECINO
DESIGN



THE *Mabian*

VECINO
DESIGN

Public Meeting Notice

Please join _____

for a meeting about _____

case number _____

proposed for the following address:

Meeting Date:

Meeting Time:

Meeting Location:

Project Description:

If you have any questions, please contact:

Name:

Phone:

Email:

You are receiving this notice in accordance with city code that requires a public meeting with neighborhoods for certain types of development projects. You can read more about the process requirements at kcmo.gov/publicengagement



If you would like further information on this proposed project, please visit the city's planning and permitting system, Compass KC, at Compasskc.kcmo.org. You may search by project type and address/case number to find project details.

Sincerely,

Case No. CD-CPL-2022-00165

AFFIDAVIT OF SIGN POSTING

STATE OF Missouri)
COUNTY OF Jackson)

I, Colin Wreath being duly sworn upon my oath and being of sound mind and legal age state:

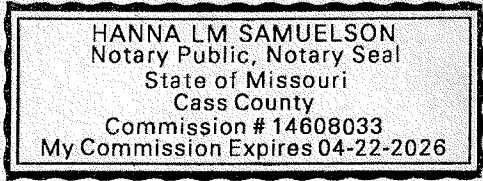
That I am the agent (agent, owner, attorney) of the lot, tract or parcel of land for which the application was filed and did not later that fifteen (15) days (five (5) days for final plans) prior to the date of hearing scheduled before the City Plan Commission, place a sign upon said lot, tract or parcel of land in compliance with Article V, C, 9 (Article V, C, 6 for final plans) of the Rules, Regulations and Procedures of the City Plan Commission, as amended February 20, 1990.

Colin Wreath
(Print Name)

Subscribed and sworn to before me this 14 day of October, 2022

Hanna LM Samuelson
Notary Public

My Commission Expires 04-22-2026



Said sign shall be furnished by the City to the applicant and the applicant shall firmly affix and attach the sign to a wood or metal backing or frame. The sign shall be posted in a fashion visible from a public right-of-way or public place, shall not be further than ten (10) feet from the property line exclusive of the public right-of-way and shall be posted in a manner that the bottom portion of the sign is no further than eighteen (18) inches from the ground. The applicant shall file an affidavit prior to the public hearing stating that said sign has been posted according to these regulations.



PUBLIC HEARING
CITY HALL, KANSAS CITY, MISSOURI
CD-CP-2022-00165
11-1-2022
City Plan Commission
For information call 816-513-8801

2132

Meeting Sign-In Sheet

Project Name and Address

The Mabion Residential Development-CD-CPC-2022-00165

2720 Forest Ave., Kansas City, MO

Name	Address	Phone	Email
Claydon Woods	2701 Forest ^{ME}	816 260 0453	—
Daniel Swint	2700 Tracy	913 744 7946	daniel.swint@hotmail.com
Starta Brennan	2735 Troost		
Cindy Heiman	2735 Troost		mheiman@gmail.com
Casey Albright	2809 Forest	(816) 882-7810	caseykc91@gmail.com
PATRICK JOYCE	941 W 141st TRC KCMO	816-777-0400	PJOYCE@ae-inc.com
Trevor Fox	same	same	tfox@ae-inc.com
Collin Wreath	same	same	CWreath@aerinc.com
Joe B	same	same	Jbucheit@ae-inc.com
MATT LUGHLIN	305 W. COMMERCIAL SPRINGFIELD, MO	417-233-5528	mcmatt@ecinogroup.com
Bethmabe	2726 Forest	816 916-5315	bethmabe27@gmail.com
Larry Olson	2732 FOREST	816-215-5826	larry.olson@sbeglobal.net
RAY MABION II	2726 Forest Ave KCMO	816-474-6271	



CITY PLANNING & DEVELOPMENT

Public Meeting Summary Form

Project Case # CD-CPC-2022-00165

Meeting Date: October 25th, 2022

Meeting Location: Bethlehem Christian Assembly, 2732 Forest Ave.

Meeting Time (include start and end time): 6PM to 7PM

Additional Comments (optional):

Meeting started shortly after 6 p.m.

Patrick Joyce from Anderson Engineering and Matt McLaughlin from the Vecino Group gave an overview of the project.

Patrick and Matt answered questions from the residents, several of which related to parking requirements.

Meeting adjourned at approximately 6:50 p.m.