



PLAN REVIEW

The section of public right-of-way proposed to be vacated is a portion of improved right-of-way along West 20th Street, east of Baltimore Avenue and the alley to the west. The proposed vacation is

September 3, 2025

approximately 11.5 feet in width and 110 feet in length. The proposed 1,168 square foot vacation is a request from MSG Investment Inc., to provide ADA access to a newly proposed eating and drinking establishment at 1925 Baltimore Avenue. With the vacation, the applicants are proposing to add an additional landscape buffer along West 20th Street. These improvements cannot be done within the public right-of-way, so staff has recommended a vacation at this location. No street parking or existing sidewalks will be impacted with this proposed vacation.

There are public and private utilities located with the right-of-way. Public Works Street Lighting Services currently has light poles within the proposed area of the vacation. Public Works Street Lighting Services requires that the applicant retain an easement or relocate facilities at the applicant's expense. Evergy, AT&T, Everfast Fiber Network, Google Fiber, Lumen/Level3 and Spectrum Charter also have utilities within the right-of-way which will also require easements be retained or the utilities be relocated.

SPECIFIC REVIEW CRITERIA

Vacation of Alley, Street and Plats (88-560-10)

In order to determine that no private rights will be unreasonably injured or endangered by the vacation and the public will suffer no unreasonable loss or inconvenience, the city planning and development director, city plan commission, and city council must consider at least the following factors:

- A. All property owners adjacent to the right-of-way shall have legal access to another public right-of-way. Such access shall be physically feasible and shall not result in an unreasonable burden or unsafe conditions on the alternate right-of-way.**

All adjacent property owners will retain legal access to the public right-of-way. No legal form of access is proposed to be vacated with this vacation of public right-of-way.

- B. The retention of the public right-of-way or subdivision serves no current purposes and no future useful public purpose is anticipated.**

The existing public right-of-way in question does not serve any current or future public purpose other than a portion of the applicant's parking lot which encroaches on the public right-of-way. The proposed development does not require any access point off of West 20th Street. The right-of-way vacation will allow for better ADA access to the building on site.

- C. The vacation will not result in violation of 88-405.**

The proposed vacation does not violate 88-405. The proposed vacation only vacates 11.5 feet of public right-of-way from the approximately 110 feet of existing public right-of-way.

- D. The vacation shall not disrupt the constructed street network or reduce existing physical connectivity.**

The proposed vacation will not disrupt any street network and will not have an impact on physical connectivity.

- E. The vacation shall not result in a dead-end street or alley.**

The proposed vacation will not result in a dead-end street.

F. The vacation shall not result in street traffic being routed through an alley.

No traffic will be routed through an alley as a result of this vacation.

G. The vacation shall not vacate half the width of a street or alley.

The proposed vacation does not vacate half the width of a street or alley.

H. The right-of-way to be vacated is not on the Major Street Plan.

The area being vacated is not on the Major Street Plan.

ATTACHMENTS

1. Conditions Report
2. Applicant's Submittal
 - a. Exhibit
 - b. Legal Description
 - c. Petition to Vacate
 - d. Consent to Vacate
 - e. Utility Comment Sheets

PROFESSIONAL STAFF RECOMMENDATION

City staff recommends APPROVAL SUBJECT TO CONDITIONS as stated in the conditions report.

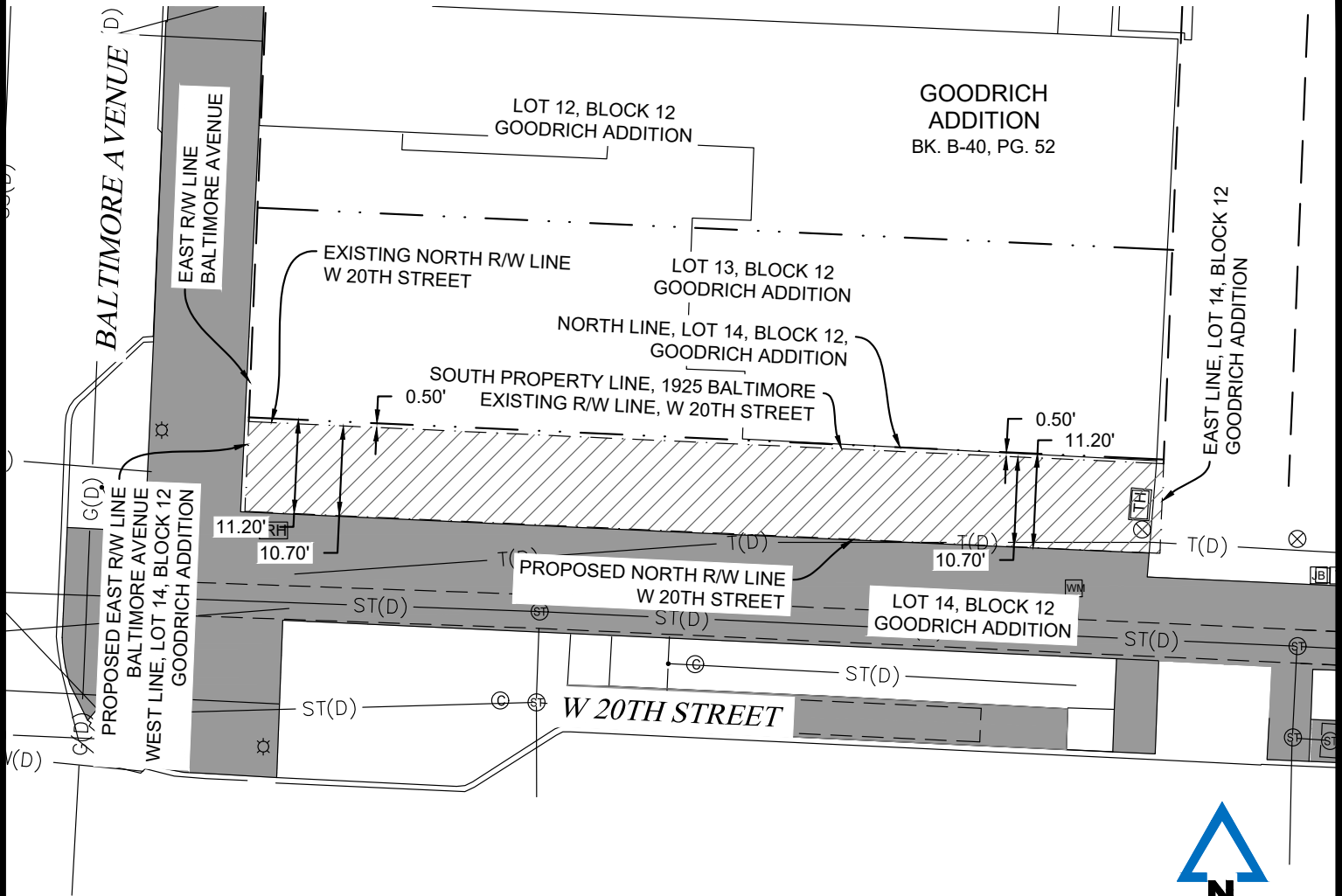
Respectfully submitted,



Justin Smith

Planner

VACATION OF RIGHT-OF-WAY EXHIBIT



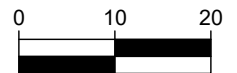
LEGAL DESCRIPTION:

SOUTH 10.70 FEET OF THE NORTH 11.20 FEET OF LOT 14, BLOCK 12, GOODRICH ADDITION.

DESCRIBED AREA CONTAINS 1,168 SQUARE FEET.



NORTH



(IN FEET)
1 inch = 20 ft.

LEGEND

---	LOT LINE	JB	JUNCTION BOX
---	ROW LINE	C	STORM SEWER CLEANOUT
G(D)	GAS LINE	ST	STORM SEWER MANHOLE
ST(D)	STORM SEWER LINE	SL	STREET LIGHT
T(D)	COMMUNICATION LINE	TH	TELECOM HANDHOLE
W(D)	WATER LINE	RH	TRAFFIC HANDHOLE
▨	EXHIBIT AREA	UP	UTILITY POLE
■	CONCRETE SIDEWALK	WM	WATER METER



THE PROPERTY SHOWN AND DESCRIBED HEREON ACCURATELY DESCRIBES A PORTION OF W 20TH STREET RIGHT-OF-WAY THAT IS INTENDED TO BE TRANSFERRED TO PRIVATE OWNERSHIP BY A SEPARATE SURVEY DOCUMENT AUTHORIZED AND APPROVED BY THE CITY PLANNING AND DEVELOPMENT DEPARTMENT



1700 Swift Street, STE 100
North Kansas City, Missouri 64116
816-756-0444
www.mcclurevision.com

REVISIONS

1925 BALTIMORE
VACATION OF
RIGHT-OF-WAY
KANSAS CITY, MISSOURI
JACKSON COUNTY

7/14/2025

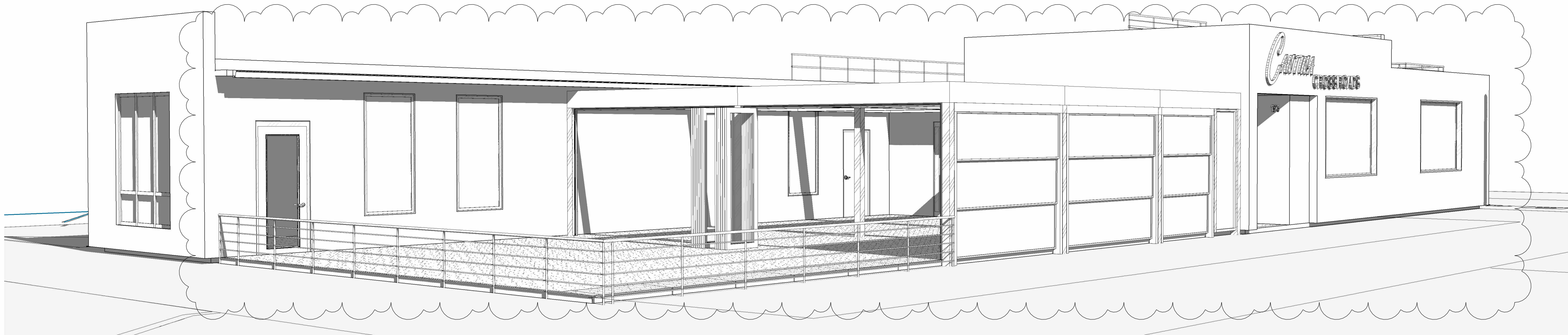
ENGINEER
SURVEYOR
S. WHITAKER

DRAWN BY
C. COOPER
CREW CHIEF

SKETCH NO.
EXH-01

Crossroads Cantina

1925 Baltimore Avenue, Kansas City, MO 64108



General Project Notes

- A SEPARATE SIGN PERMIT IS REQUIRED THROUGH CITY PERMITTING.
- A SEPARATE IRRIGATION PERMIT IS REQUIRED THROUGH UTILITY DEPARTMENT.
- THERE SHALL BE NO SMOKING IN OR OUTSIDE OF BUILDING.
- CONTRACTOR TO ENSURE THAT NO PIPING (DRAIN, WATER, SEWER, OR SPRINKLER LINE) IS OVER ELECTRICAL PANELS OR SWITCHGEAR.
- ALL MECHANICAL EQUIPMENT SHALL BE LABELED ON THE ROOF WITH A UV RATED TAG AND SHALL DENOTE PANEL AND CIRCUIT SUPPLYING THE EQUIPMENT AND FIRE ALARM DEVICE ADDRESS.
- THE FOLLOWING REQUIRES SPECIAL INSPECTIONS IN ACCORDANCE WITH THE BUILDING CODE (SEE SHEET S1 STRUCTURAL GENERAL NOTES - #14):
 - CAST-IN-PLACE CONCRETE
 - STRUCTURAL STEEL
 - WOOD CONSTRUCTION
 - PAVEMENT INSPECTION (OWNER SHALL IN INFORMED OF INSPECTION AND SHALL ALSO BE ON SITE) DURING INSPECTION.
 - FOR ADDITIONAL INFORMATION SEE STRUCTURAL
- SPECIAL INSPECTIONS WILL BE PERFORMED BY A QUALIFIED AGENCY CONTRACTED BY THE OWNER. CONTRACTOR TO COORDINATE SCHEDULE WITH THE INSPECTOR. A COPY OF ALL SPECIAL INSPECTIONS, FIELD TEST, ETC. SHALL BE SENT TO CITY INSPECTION'S DEPARTMENT. SPECIAL INSPECTIONS TO BE PROVIDED ELECTRONICALLY TO THE CITY BUILDING OFFICIAL IN ACCORDANCE WITH IBC 1704.
- TERMITE CONTROL WILL BE PROVIDED.
- DRAWINGS ARE NOT TO BE SCALED.
- SHOP DRAWINGS ARE REQUIRED FOR THE HOOD/DUCT AND HOOD SUPPRESSION INSTALLATION BY OWNER'S VENDOR. THIS WILL INCLUDE THE UL TESTING AND LISTING REPORT FOR THE HOOD TO BE USED. THESE WILL BE REVIEWED WHEN SUBMITTED. THE ACTUATION OF THE SUPPRESSION SYSTEM SHALL AUTOMATICALLY SHUT DOWN THE FUEL OT ELECTRICAL SUPPLY TO THE COOKING EQUIPMENT. THE FUEL AND ELECTRICAL SUPPLY RESET SHALL BE MANUAL. THE EDGE OF THE CANOPY HOODS SHALL EXTEND A MINIMUM HORIZONTAL DISTANCE OF 6 INCHES BEYOND THE EDGE OF THE COOKING SURFACE ON ALL OPEN SIDES. CONTRACTOR TO COORDINATE
- A MINIMUM OF 2A:10B:C FIRE EXTINGUISHERS ARE REQUIRED TO BE PLACED EVERY 75' OF TRAVEL DISTANCE. THE FIRE EXTINGUISHERS ARE TO BE MOUNTED NO HIGHER THAN 5' TO THE TOP OF THE EXTINGUISHERS.

Annotations and Symbols

Interior Elevation

Detail Number

Detail Reference

Detail Number

Sheet Number

Section Reference

Detail Number

Sheet Number

View Title

View Name

1/8" = 1'-0"

Scale

Elevation Mark

Name

Elevation

Door Number

Room Tag

Room name

Revision Reference

Revision Cloud

Revision Number

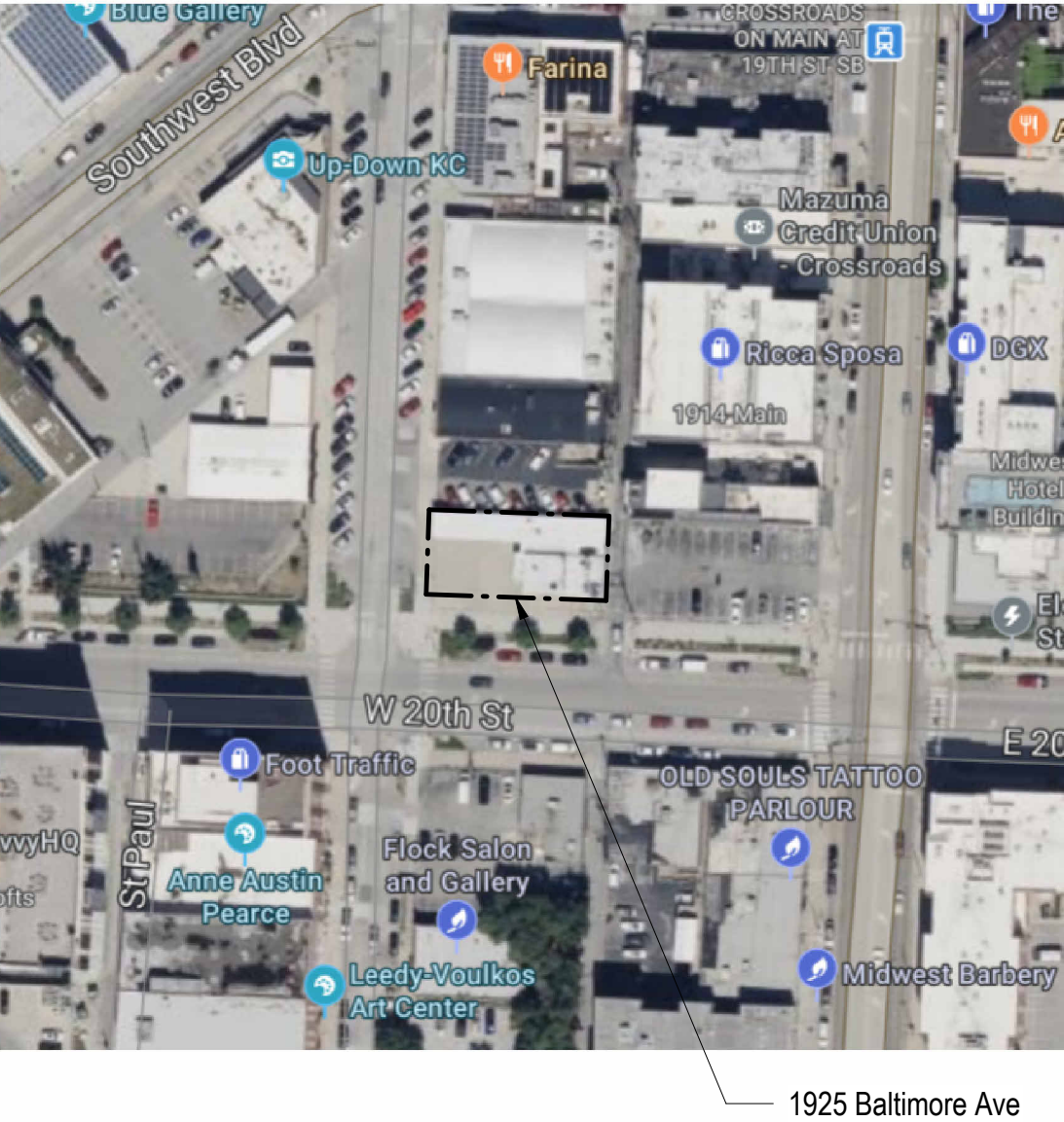
Wall Tag

11

North Arrow

North

Location Map



Team Directory

OWNER
Brett Springs

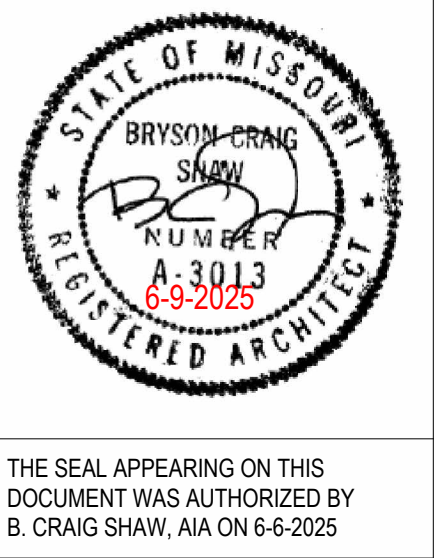
ARCHITECT
Shaw Hofstra & Associates
1800 Central St. Suite 203
Kansas City, MO 64108
816-421-0505

MEP ENGINEERS
VUEngineering LLC
4437 Pennsylvania Ave.
Kansas City, MO 64111
816-866-0262

STRUCTURAL ENGINEERS
LORAC Design Group, LLC
816-529-4019

Sheet List

Sheet List		
Sheet Number	Sheet Name	REV 3
A000	COVER SHEET	6/9/25
A001	CODE ANALYSIS & CODE PLAN	6/9/25
A002	ENERGY CODE COMPLIANCE & WALL TYPES	
A003	ACCESSIBILITY DETAILS	
A004	ACCESSIBILITY DETAILS	
A070	DEMOLITION PLAN	6/9/25
A100	FLOOR PLAN	6/9/25
A103	ROOF PLAN	6/9/25
A200	BUILDING ELEVATIONS	6/9/25
A201	BUILDING ELEVATIONS	6/9/25
A300	BUILDING SECTIONS	6/9/25
A500	RESTROOM PLANS AND ELEVATIONS	
A501	INTERIOR ELEVATIONS	
A502	INTERIOR ELEVATIONS	
A503	KITCHEN PLAN	
A504	BAR PLANS	
A600	REFLECTED CEILING PLAN	6/9/25
A601	INTERIOR DETAILS	
A700	DOOR AND WINDOW SCHEDULE	
A901	FINISH SCHEDULE	
A902	FLOOR FINISH PLAN	
A903	WALL FINISH PLAN	
E1	SCHEDULE & DETAILS	6/9/25
E2	LIGHTING PLAN	6/9/25
E3	POWER PLAN	6/9/25
E4	DETAILS	6/9/25
E5	DETAILS	6/9/25
E6	DETAILS	6/9/25
M1	MECHANICAL FLOOR PLAN	6/9/25
MP1	SCHEDULES & DETAILS	6/9/25
MP2	SCHEDULES & DETAILS	6/9/25
P1	PLUMBING FLOOR PLAN	6/9/25
P2	WASTE/VENT FLOOR PLAN	6/9/25
S 001	GENERAL NOTES	
S 101	FOUNDATION PLAN	
S 102	FINISH FLOOR PLAN	
S 103	ROOF FRAMING PLAN	
S 201	STRUCTURAL INT. ELEVATIONS	
S 401	STRUCTURAL DETAILS	



CROSSROADS CANTINA
1925 Baltimore Ave
Kansas City, MO 64108

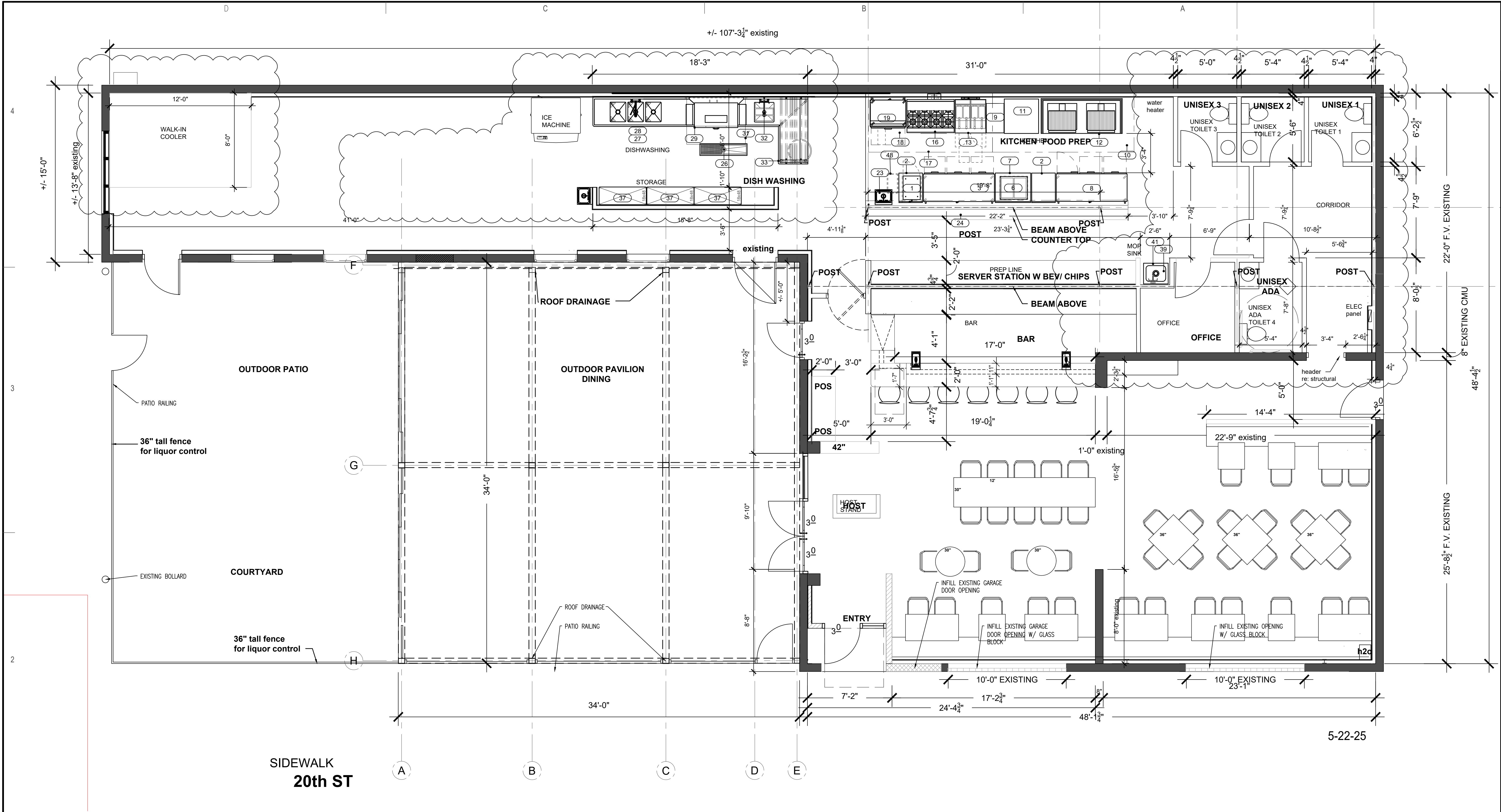


SHAW HOFSTRA + ASSOCIATES
1800 CENTRAL STREET, SUITE 203
KANSAS CITY, MISSOURI 64108
P: 816.421.0505
ARCHITECTURAL CORPORATION
Certificate of Authority No. 00111130
This document, and all plans, specifications, and other information contained therein, are the exclusive property of SHAW HOFSTRA + ASSOCIATES. These documents are delivered and accepted by you in trust and on the expressed condition that neither these documents or the information contained therein will be copied, reproduced, or delivered to others, except copies stamped "CONFIDENTIAL - NOT FOR CONSTRUCTION" PROPERTY OF SHAW HOFSTRA + ASSOCIATES. No reproducible copies shall be distributed without the express written consent of SHAW HOFSTRA + ASSOCIATES. The design represented by these documents and plans is the exclusive property, design, and concepts of SHAW HOFSTRA + ASSOCIATES and may not be used or copied without the express written consent of SHAW HOFSTRA + ASSOCIATES.

SHAW HOFSTRA + ASSOCIATES © 2024		
JOB NO.		
DRAWN BY: CAR		
ISSUE		DATE
1	City Comments	2/12/25
2	City Comments	3/3/25

A000
COVER SHEET

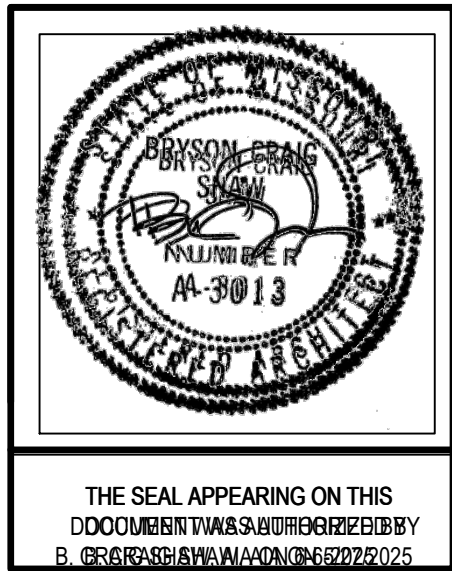
24 x 36 SHEET



1 FLOOR PLAN
SCALE 1/4" = 1'-0"

GENERAL NOTES:

1. A MINIMUM OF 24 10B-C FIRE EXTINGUISHERS ARE REQUIRED TO BE PLACED EVERY 75' OF TRAVEL DISTANCE. THE FIRE EXTINGUISHERS ARE TO BE MOUNTED NO HIGHER THAN 5' TO THE TOP OF THE EXTINGUISHERS.
2. SEE SHEET A002 FOR WALL TYPES
3. CONTRACTOR IS TO COORDINATE CONDUIT IN FLOOR SLAB AND BLOCKING IN WALL FOR KITCHEN AND BAR EQUIPMENT. SEE FOOD SERVICE EQUIPMENT PLANS AND DRAIN DIMENSIONS
4. SEE SHEET A... FOR WALL FINISH PLAN FOR BACK OF HOUSE. FINISH: STAINLESS STEEL PANELS
5. STAINLESS STEEL CORNER GUARDS: 6'-6" A.F.F. 1'-10" x 1'-10" x 16 GA 80° LONG. START GUARD AT TOP OF BASE. GUARDS ARE TO BE LOCATED AT EVERY OUTSIDE CORNER IN THE KITCHEN (TYPICAL)
6. PROVIDE WOOD BLOCKING AS NECESSARY FOR SECURE ANCHORAGE OF DIAPER CHANGING STATIONS AND MISC. TOILET ACCESSORIES.
7. CONTRACTOR SHALL PROVIDE AND INSTALL OCCUPANT LOAD SIGN - LOCATE IN WAITING.
8. CONTRACTOR WILL PROVIDE ADDRESS OF BUILDING IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET. SEE ELEVATION SHEET FOR LOCATION.
9. CONTRACTOR SHALL PROVIDE AND INSTALL ADA ACCESSIBLE SIGNAGE FOR PUBLIC TOILETS.
10. PROVIDE WOOD BLOCKING AS NECESSARY FOR WALL MOUNTED TELEVISIONS.
11. ALL WOOD MILLWORK IN FRONT OF HOUSE SHALL BE RADUSED - NO SHARP CORNERS
12. SEE NOTES ON COVER SHEET FOR REQUIREMENTS FOR AIR LEAKAGE, COMPONENT CERTIFICATION, AND VAPOR RETARDER REQUIREMENTS.



CROSSROADS CANTINA
1925 Baltimore Ave
Kansas City, MO 64108



ASSOCIATES
SHAW HOFSTRA + ASSOCIATES
1800 CENTRAL STREET, SUITE 203
KANSAS CITY, MISSOURI 64108
P: 816.421.0505
ARCHITECTURAL CORPORATION
Certificate of Authority No. 00111130

This document, and all plans, specifications, and other information contained therein, are the exclusive property of SHAW HOFSTRA + ASSOCIATES. These documents are delivered and accepted by you in trust and on the expressed condition that neither these documents or the information contained therein will be copied, reproduced, or delivered to others, except copies stamped "CONFIDENTIAL - NOT FOR CONSTRUCTION" PROPERTY OF SHAW HOFSTRA + ASSOCIATES. No reproducible copies shall be distributed without the express written consent of SHAW HOFSTRA + ASSOCIATES. The design represented by these documents and plans is the exclusive property, design, and concepts of SHAW HOFSTRA + ASSOCIATES and may not be used or copied without the express written consent of SHAW HOFSTRA + ASSOCIATES.

SHAW HOFSTRA + ASSOCIATES
© 2025

JOB NO. 1925 Baltimore Ave		
DRAWN BY:		
ISSUE		DATE
1	1/16/25	5/8/25

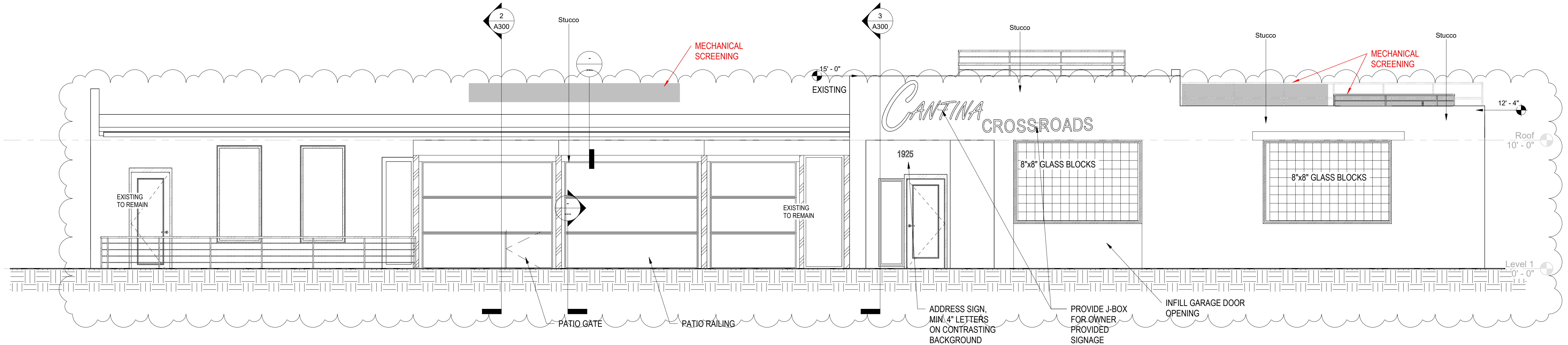
SHEET NUMBER	
FLOOR PLAN	
A100	
36 x 24 SHEET	

EXTERIOR MATERIAL LEGEND

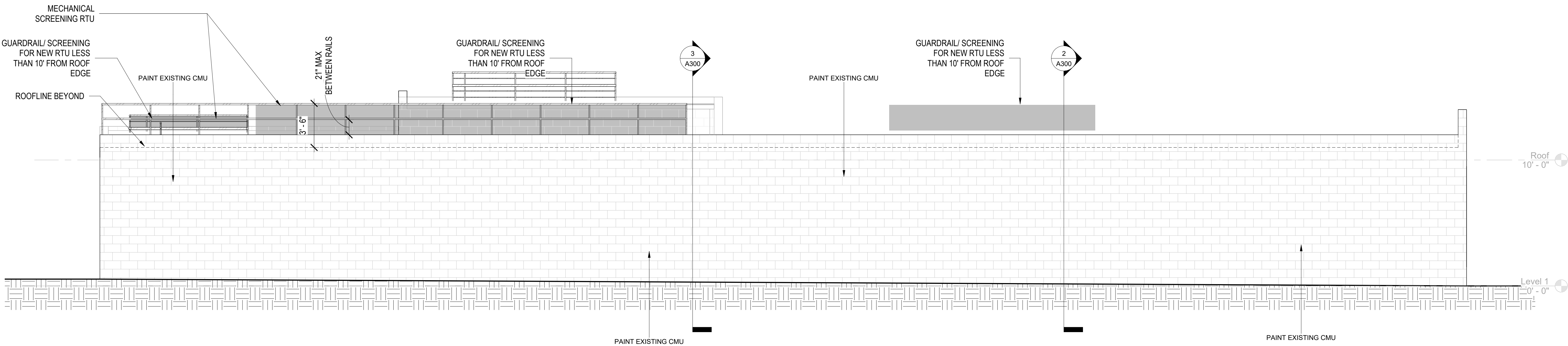
Stucco

CMU (PAINT)

Metal - Aluminum or Sim.
Dark Bronze to match
metal windows/doors



② South
1/4" = 1'-0"



① North
1/4" = 1'-0"



CROSSROADS CANTINA
1925 Baltimore Ave
Kansas City, MO 64108



SHAW HOFSTRA + ASSOCIATES
1800 CENTRAL STREET, SUITE 203
KANSAS CITY, MISSOURI 64108
P: 816.421.0505
ARCHITECTURAL CORPORATION
Certificate of Authority No. 00111130
This document, and all plans, specifications, and other information contained therein, are the exclusive property of SHAW HOFSTRA + ASSOCIATES. These documents are delivered and accepted by you in trust and on the expressed condition that neither these documents or the information contained therein will be copied, reproduced, or delivered to others, except copies stamped "CONFIDENTIAL - NOT FOR CONSTRUCTION". PROPERTY OF SHAW HOFSTRA + ASSOCIATES. No reproducible copies shall be distributed without the express written consent of SHAW HOFSTRA + ASSOCIATES. The design represented by these documents and plans is the exclusive property, design, and concepts of SHAW HOFSTRA + ASSOCIATES and may not be used or copied without the express written consent of SHAW HOFSTRA + ASSOCIATES.

SHAW HOFSTRA + ASSOCIATES © 2024		
JOB NO.		
DRAWN BY: CAR		
ISSUE		
Permit Set	DATE	
1 City Comments	10/08/2024	
2 City Comments	2/12/25	

A200
BUILDING
ELEVATIONS
24 x 36 SHEET



Spire Missouri Inc.
700 Market St.
St. Louis, MO 63101

July 30, 2025

Zach Marten / Bret Springs
Rockhill Restaurant Group
zmarten@rockhill-restaurants.com
785-331-8283

Re: Zach Marten / Bret Springs
CD-ROW-2025-00021

Vacation: vacate the south Lot 14 of GOODRICH ADD—LOTS 12 AND 13 AND N .5' LOT 14 BLK 12, generally located between Baltimore Ave to the west, 1924 Main Street (Rieger Building) to the east, 20th Street to the South and 1925 Baltimore to the North, to allow for ADA ingress/egress to the building as well as a landscape buffer and retaining wall for a barrier to the restaurant for LBW consumption containment.

Zach and Bret,

In response to your email letter dated July 21, 2025, relative to the above referenced vacation request.

Please be advised that Spire Missouri Inc. ("Spire") has no facilities located within the area which is requested to be vacated.

Sincerely,



Alex Sammet (Jul 30, 2025 10:34:47 CDT)

Alex Sammet
Manager Right of Way & Land Management
Spire Missouri Inc.

TJF: JLS
cc: Zach Marten / Bret Springs

Engineering Dept. Approval: 

System Planning Approval: 
