

GUIDELINES

- TSC'S CONTRACTOR CONSTRUCTION NOTES
- GENERAL GUIDELINES FOR PROPANE LOCATION AND INSTALLATION:
- PROPANE TANK LOCATION TO COMPLY WITH NFPA STANDARDS AND GUIDELINES.
 - CONTRACTOR TO VERIFY COMPLIANCE WITH PROPANE COMPANY PRIOR TO INSTALLATION.
 - PROPANE TANK TO BE INSTALLED 25'-0" MIN. AWAY FROM ANY STRUCTURE PER NFPA 58.
 - PROPANE TANK TO BE INSTALLED 25'-0" MIN. AWAY FROM LIGHT POLES UNLESS EXPLOSION PROOF BOX INSTALLED PER NFPA 58.
 - PROPANE TANK TO BE INSTALLED 25'-0" AWAY FROM UTILITIES (I.E. STORMWATER, ELECTRICAL TRANSFORMERS, METERS) PER NFPA 58.
 - PROPANE TANK TO BE INSTALLED 25'-0" MIN. AWAY FROM PROPERTY LINES PER NFPA 58.
 - PROPANE TANK TO HAVE 15' CLEARANCE FROM RUNNING VEHICLES TO POINT OF TRANSFER PER NFPA 58.
 - G.C. TO CONFIRM PROPOSED LOCATION SHOWN ON SITE PLAN IS CLEAR OF ALL KNOWN OBSTRUCTIONS AND WITHIN 100' OF BUILDING FOR LOCATING SHUTOFF PRIOR TO COMMENCING WORK.
 - ANY OBSTRUCTIONS FOUND, G.C. SHALL NOTIFY TSC PM AND ARCHITECT IN WRITING FOR RESOLUTION PRIOR TO COMMENCING WORK.

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- (FOR FENCED OUTDOOR DISPLAY AREA FIXTURE INSTALLATION)
- CONTRACTOR TO VERIFY WITH THE STORE MANAGER THAT ALL RACKS ARE PROPERLY BUILT AND POSITIONED.
 - DRILL HOLES FOR ANCHORING RACK. GENERALLY THE HOLE IN THE FOOT OF THE RACK IS 1/2" IN DIAMETER. HOWEVER, THIS MAY VARY. GENERAL CONTRACTOR IS TO DETERMINE IN THE FIELD THE MOST APPROPRIATE SIZE REQUIRED TO ANCHOR RACKS.
 - RACKS ARE TO BE SECURELY ANCHORED W/ ANCHOR BOLTS IN EVERY AVAILABLE HOLE.
 - FOLLOWING INSTALLATION, REMOVE ANY RESIDUAL DEBRIS AND CLEAN AREA.

GUIDELINES

- TSC'S CONTRACTOR CONSTRUCTION NOTES
- (FOR DETACHED FENCED OUTDOOR DISPLAY AREA)
- PERIMETER OF NEW FOD LOCATION TO BE MARKED WITH ORANGE BARRICADE FENCING AND/OR CAUTION TAPE OR SIMILAR CLOSE-OFF MATERIALS TO PREVENT THE PARKING OF VEHICLES WITHIN THE WORK ZONE FOR FOD FENCE CONSTRUCTION.
- SHOULD CARS BE PRESENT WITHIN THE CONSTRUCTION ZONE, A NOTE IS TO BE PLACED ON THE VEHICLE INDICATING THE INTENT TO CONSTRUCT WITH A DATE OF COMMENCEMENT FOR SAID CONSTRUCTION AND THE TSC PM SHALL BE CONTACTED IMMEDIATELY TO DETERMINE A PLAN OF ACTION TO RESOLVE.

SPECIFICATIONS

- TSC'S CONTRACTOR CONSTRUCTION NOTES
- PARKING LOT PAINT SPECIFICATIONS - 15 MIL APPLICATION (0.015 INCH THICKNESS):
- NEW PAVEMENT SURFACE TO CURE FOR A PERIOD OF NOT LESS THAN 14 DAYS BEFORE APPLICATION OF MARKING MATERIALS.
 - REMOVE ALL DIRT, GRAVEL, DEBRIS, VEGETATION, OR OTHER MISCELLANEOUS OBJECTS FROM THE SURFACE WITH A BROOM/TRUCK OR EQUIVALENT RIGOROUS METHOD. PROVIDE A CLEAN, DUST-FREE AND COMPLETELY DRY SURFACE FOR PAINT APPLICATION. DO NOT APPLY PAINT OVER EXISTING TAPE MARKINGS.
 - CONFIRM & RECORD PROPER AIR AND SURFACE TEMPERATURES OF 55° AND RISING AND LESS THAN 95°. IF THE SURFACE TEMPERATURE IS NOT WITHIN THE TEMPERATURE RANGE OR IF THE PAINT APPLICATION IS DONE UNDER ADVERSE CONDITIONS AS DETERMINED BY THE CONSTRUCTION PROJECT MANAGER) SUCH AS ABOVE 75% HUMIDITY, NIGHT STRIPING, ETC. IN ORDER TO MEET TSC OPENING SCHEDULE, CONTRACTOR TO RE-SCHEDULE AND COMPLETE SURFACE STRIPING UNDER PROPER CONDITIONS A MINIMUM OF 30 DAYS PRIOR TO THE EXPIRATION OF THE (1) ONE YEAR CONSTRUCTION WARRANTY.
 - PROVIDE A 15 MIL THICK 4" WIDE CONTINUOUS STRIPE WHERE INDICATED. MINIMUM OF (2) TWO COATS.
 - PROVIDE PRIMER AND SEALER TO BE APPLIED PER THE MANUFACTURERS RECOMMENDATIONS ON ALL CONCRETE SURFACES AND ON ASPHALT SURFACES THAT ARE MORE THAN TWO YEARS OLD, OXIDIZED AND/OR HAVE AGGREGATE EXPOSED.

SPECIFICATIONS

- TSC'S CONTRACTOR CONSTRUCTION NOTES
- (FOR NEW 8 FOOT BLACK VINYL CHAIN LINK FENCE):
- FABRIC: 96" 9 GA. BLACK VINYL (2" MESH) CHAIN LINK FABRIC.
 - TOP & BOTTOM RAIL: 1 5/8" O.D. FULL WEIGHT PIPE, 2.27 LBS. PER FOOT (MIN). TOP RAIL TO BE JOINED WITH 1 5/8" SLEEVE. BOTTOM RAIL 8" 19' 48V. GRADE.
 - LINE POST: 2 1/2" O.D. FULL WEIGHT PIPE, 3.65 LBS. PER FOOT (MIN). LINE POST TO BE SET 10' ON CENTER MAX. SPACING. CONCRETE FOOTING TO BE 8" DIA. BY 30" DEEP CONC.
 - TERMINAL POST: 3" O.D. FULL WEIGHT PIPE, 5.79 LBS. PER FOOT (MIN). SET IN 8" DIA. BY 36" DEEP CONC. FOOTING.
 - GATE POST: 4" O.D. FULL WEIGHT PIPE, 9.10 LBS. PER FOOT (MIN). 8" DIA. 36" DEEP CONC. FOOTING.
 - (4) GATES: (2) 20 FOOT CANTILEVERED SLIDING GATES, (2) 4 FOOT SWING GATES, WITH FRAMEWORK OF 1 5/8" FULL WEIGHT PIPE, 2.27 LBS. PER FOOT (MIN). GATES BRACED AND TRUSSED AS NECESSARY. SAME FABRIC AS FENCE. SEE PLAN FOR WIDTH.
 - SWINGING GATES: DESIGN AS PER THE MANUFACTURERS DESIGN STANDARDS. GATES SHALL BE MANUALLY OPERATED.
 - TENSION WIRE: 7 GA. COIL SPRING GALVANIZED TENSION WIRE ATTACHED TO BOTTOM OF FENCE FABRIC WITH 9 GA. ALUM. HOO RING SPACED 24" ON CENTER.
 - FITTINGS: HEAVY BRACED BAND AND CARRIAGE BOLT, PRESSED STEEL RAIL-END, PRESSED STEEL LOCK CAP, PRESSED STEEL CAP, 1/4" X 3/4" TENSION BAR, HEAVY TENSION BAND AND CARRIAGE BOLT.
 - TIE WIRE: 8 1/4" 12 GA. STEEL TIE WIRE AND 6 1/2" 12 GA. STEEL WIRE SPACED 15" ON CENTER FOR LINE POST AND 24" ON CENTER FOR RAILS.
 - POST FOOTING: TRUCK POURED CONCRETE.
 - SWING GATE LATCH TO BE CHAIN LINK FENCE-LTM BY HOOVER FENCE CO. OR EQUAL AND SHALL ACCEPT PAD LOCKS.

BUILDING DATA	Required	Proposed	Deviation Requested?	Approved
Rear Setback	43.4'	43.4'	NO	
Front Setback	50.7'	50.7'	NO	
Side Setback	72.9'	72.9'	NO	
Side Setback (abutting street)	NA	NA	NO	
Height	75' MAX	35'-4"	NO	

88-420 - PARKING	Vehicle Spaces		Bike Spaces		Alternatives Proposed? (See 88-420-16)
	Required	Proposed	Required	Proposed	
Proposed Use(s)					
List All Proposed Uses	92	93	NA	NA	NA
Total					

Land Data	Area
Total Land Area	196,455.6 S.F.
Land Area for Proposed and Existing Right of Way	7,359
Net Land Area	161,052.6
Plot Data	Count
Number of Lots	1
Number of Tracts	1

88-424 TREE PRESERVATION AND PROTECTION		Calculation	Units
Step	Process		
1a	Total acreage of continuous canopy cover to be removed		Acres
1b	Total acreage of continuous canopy cover to be preserved outside of any stream buffers		Acres
1c	Step 1a - Step 1b		Acres
2a	Undisturbed areas of canopy cover in stream buffers		Acres
2b	Step 1c - Step 2a		Acres
3	If 2b is a negative number, no mitigation required. If 2b is positive, proceed to Step 3		
4	Multiply the acreage calculated in Step 2b by 0.35		Inches
5	Multiply the acreage in Step 3 by 150 caliper inches		Inches
5	Total caliper inches of trees provided for landscape plan per 88-425		Inches
6	Total caliper inches required to mitigation: Step 4- Step 5		Dollars
7	If paying a fee in-lieu, multiply Step 6 by \$185		
EXISTING VEGETATION TO REMAIN. NEW SCREENING IS PROVIDED TO SHIELD VIEW OF NEW PERMANENT TRAILER DISPLAY.			

SITE DATA	Existing	Proposed	Deviation Requested?	Approved
Zoning	B3-2	B3-2	NO	
Gross Land Area				
in square feet	196,455.6	196,455.6	NO	
in acres	4.51	4.51	NO	
Right-of-way Dedication				
in square feet	7,359	7,359	NO	
in acres	0.169	0.169	NO	
Net Land Area				
in square feet	161,052.6	161,052.6	NO	
in acres	3.69	3.69	NO	
Building Area (sq. ft.)	35,403	35,403	NO	
Floor Area Ratio	0.18	0.18	NO	
Residential Use Info	NA	NA	NO	
Total Dwelling Units	NA	NA	NO	
Detached House	NA	NA	NO	
Zero lot line House	NA	NA	NO	
Cottage House	NA	NA	NO	
Semi-attached House	NA	NA	NO	
Townhouse	NA	NA	NO	
Multi-unit House	NA	NA	NO	
Multi-unit House	NA	NA	NO	
Colonnade	NA	NA	NO	
Multiple	NA	NA	NO	
Multi-unit Building	NA	NA	NO	
Total Lots	NA	NA	NO	
Residential	NA	NA	NO	
Public/Civic	NA	NA	NO	
Commercial	NA	NA	NO	
Industrial	NA	NA	NO	
Other	NA	NA	NO	

88-425 - LANDSCAPE REQUIREMENTS	Required	Proposed	Alternative Requested?	Approved
88-425-03 Street Trees	N/A	N/A	NO	
88-425-04 General	N/A	N/A	NO	
88-425-05 Permitted Vehicular Use Area Adjacent to Streets				
Buffer Width Trees				
Shrubs/Wall/Berm	N/A	N/A	NO	
Adjacent to Residential Zones				
Buffer Width Trees				
Shrubs/Berm/Fence/Wall				
88-425-06 Interior Vehicular Use Area				
Interior Area Trees	N/A		NO	
Shrubs				
88-425-07 Parking Garage Screening	Describe	N/A		
88-425-08 Mechanical/Utility Equipment Screening	Describe	N/A		
88-425-09 Outdoor Use Screening	Describe	NEW VEGETATION SCREENING FOR TRAILER DISPLAY		

KEYNOTES

- TSC'S CONTRACTOR CONSTRUCTION NOTES
- (REFER ONLY TO NOTES THAT ARE INDICATED BY NUMERICAL KEY ON PLAN):
- CONTRACTOR SHALL CLEAN EXISTING LIGHTPOLES FREE FROM DEBRIS AND ENSURE SYSTEMS ARE IN GOOD WORKING ORDER. REPLACE BALLAST IN EXISTING LIGHTING SYSTEM.
 - EXISTING ACCESSIBILITY SIGNAGE. SEE DETAILS SHEET AS1.1. CONTRACTOR SHALL VERIFY THAT SIGNAGE IS LEGIBLE AND FREE FROM DAMAGE.
 - CONTRACTOR TO CONFIRM THAT ACCESSIBLE ROUTE AT FRONT IS ACCEPTABLE TO THE LOCAL GOVERNING AUTHORITY'S ACCESSIBILITY STANDARD. THE RUNNING SLOPE DOES NOT EXCEED 1:20 AND CROSS SLOPE DOES NOT EXCEED A 1:48 SLOPE.
 - 4" PAINTED STRIPE INDICATING EXTENT OF DRIVE AISLE AND DISPLAY AREAS. YELLOW ON CONCRETE AND WHITE ON ASPHALT OR AS DETERMINED BY TSC PROJECT MANAGER. SEE PARKING LOT PAINT SPECIFICATION THIS SHEET. BLACKOUT EXISTING SPACES AS NECESSARY.
 - EXISTING CONCRETE DUMPSTER AND PAD LOCATION.
 - NEW PIPE BOLLARD(S). SEE DETAIL 3 15/AS1.1. COVER PER FINISH SCHEDULE ON A0.1.
 - CONTRACTOR TO SPRAY SIDEWALK, PARKING LOT, DOWNSPOUT, AND OVERFLOW AREAS FOR WEED REMOVAL ON PREMISES.
 - NEW TSC MONUMENT SIGN. SIGN AND FOUNDATION SHALL BE DESIGNED BY SIGNAGE VENDOR PER CURRENT TSC STANDARD CRITERIA PLANS. NOTE THAT NEW SIGN SHALL COMPLY WITH THE CITY OF WOODSTOCK, GA ORDINANCE 2025-025.
 - PROPANE LOCATION. CONCRETE MUST BE LEVEL AT LOCATION OF PROPANE TANK. SEE DETAIL 12/AS1.1 FOR MORE INFORMATION. NEW CONCRETE PAD AND PROPANE TANK. COORDINATE WITH MANUFACTURE FOR LOCATION AND SIZE OF PAD, TANK AND NUMBER OF BOLLARDS. BOLLARDS TO RECEIVE MOCUE BOLLARD COVERS. CONCRETE TO BE A MINIMUM 6" THICK 4000 PSI WITH 6 X 6 W 1.4 X W 1.4 WWF ON 6" DRAINABLE BASE ON COMPACTED FILL. PAD TO SIT FLUSH WITH ADJACENT GRADE. PROVIDE NEW 6" WIDE CURB TO MATCH EXISTING. ADJACENT CURB AT NEW PAVEMENT. PAVEMENT WILL EXTEND TO BOUNDARY OF PROPANE PAD AS INDICATED.
 - EXISTING PAD-MOUNTED TRANSFORMER LOCATION.
 - FENCED OUTDOOR RACKING. SEE TSC FINAL MERCHANDISING LAYOUT. RACK HEIGHT SHALL NOT EXCEED 8'-0" A.F.F.
 - EXISTING ELECTRICAL METER AND SERVICE.
 - EXISTING FDC. CONTRACTOR SHALL COORDINATE THE ORIENTATION OF THE CONNECTION WITH THE FIRE MARSHAL TO ENSURE POSITIVE CONNECTION WITHOUT INTERFERENCE. ADJUST HOSE CONNECTION AWAY FROM FOD FENCE.
 - EXISTING GAS METER.
 - (2) BOPIS SPACES. SEE SIGNAGE DETAILS ON AS1.1.
 - (2) VETERAN SPACES. SEE SIGNAGE DETAILS ON AS1.1.
 - CONTRACTOR TO INSTALL NEW CONCRETE TOW MOTOR PATH WITH BROOM FINISH. NEW CONCRETE PAD. CONCRETE TO BE A MINIMUM 6" THICK 4000 PSI WITH 6 X 6 W 1.4 X W 1.4 WWF ON 6" DRAINABLE BASE ON COMPACTED FILL. PAD TO SIT FLUSH WITH FINISHED FLOOR AND HAVE POSITIVE SLOPE AWAY FROM BUILDING. ELEVATION OF NEW WORK SHALL MATCH THE ADJACENT CONCRETE SIDEWALK ELEVATION TO ENSURE ACCESSIBLE ROUTE.
 - NEW PERMANENT TRAILER DISPLAY.
 - NEW CUSTOMER LOADING.
 - NEW FENCED OUTDOOR DISPLAY AREA. SEE AS1.1.
 - NEW 20 FOOT ALUMINUM TUBE CANTILEVERED GATE. SEE AS1.1.
 - NEW 4 FOOT ALUMINUM TUBE SWING GATE. SEE AS1.1.
 - NEW STRIPED PULL-THROUGH SPACES.
 - PROVISIONS SHALL BE PROVIDED TO RENAME 'DELTA DRIVE' TO 'JIM WRIGHT WAY.'
 - NEW 8'-0" TALL BLACK VINYL CHAINLINK FENCE. PROVIDE THREE SIDES OF FOD. SEE SPECIFICATIONS THIS SHEET. SEE DETAILS 2,3, 7, AND 8/AS1.1.
 - NEW VINYL PRIVACY FENCE WITH 90% OPACITY PROVIDED AS BASE BID. SEE DETAIL 12/AS1.1. PROVIDE ALTERNATE FOR NEW 8'-0" ALUMINUM TUBE FENCE WITH PRIVACY SLATS (90% OPAQUE). SEE SPECIFICATIONS THIS SHEET. NOTE: SHOP DRAWINGS FOR THE FINAL PRIVACY FENCE SHALL BE PROVIDED TO TSC, THE ARCHITECT, AND AHJ FOR REVIEW AND APPROVAL.
 - NEW LANDSCAPE BUFFER, ADJACENT TO EXISTING TREE. PROVIDE DWARF TREES COMPLYING WITH THE AHJ'S REQUIREMENTS FOR SCREENING OF THE NEW PERMANENT TRAILER STORAGE AREA. NOTE: A LANDSCAPE ARCHITECT SHALL BE ENGAGED BY THE CONTRACTOR TO VERIFY ADEQUATELY PLANTING AND PROVIDE AN AFFIDAVIT PRIOR TO RECEIVING THE C.O..



OXFORD
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Architecture
Planning
Interior Architecture



TRACTOR SUPPLY COMPANY

NORTH
KANSAS CITY,
MISSOURI

Tractor Supply Company shall not be responsible for the payment of any work performed or material supplied by the Contractor or any of its sub-contractors, sub-subcontractors and anyone claiming by through or under any of them which is not identified in writing and signed by one of the following Tractor Supply Company personnel: Vice President, Real Estate, Director of Construction, or a Construction Project Manager. No action, conduct, omission, prior failure, or course of dealing by Tractor Supply Company shall act to waive, modify, change or alter the requirement that all work, whether by contract, change order or change directive, must be in writing and signed by the personnel identified in this provision. Any work performed or material provided by the Contractor, any of its sub-contractors, sub-subcontractors contrary to this provision shall be at its own risk and own expense and Tractor Supply Company shall not be obligated to reimburse or pay the Contractor or any of its sub-contractors, sub-subcontractors for same.

All measurements and items portrayed on this sheet are deemed to be accurate by architect, however all bidding General Contractors should field verify the actual conditions. Any changes to the scope of work, and thus potential change orders, should be identified and communicated in your bid submittal to TSC.

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Job Number: 25161

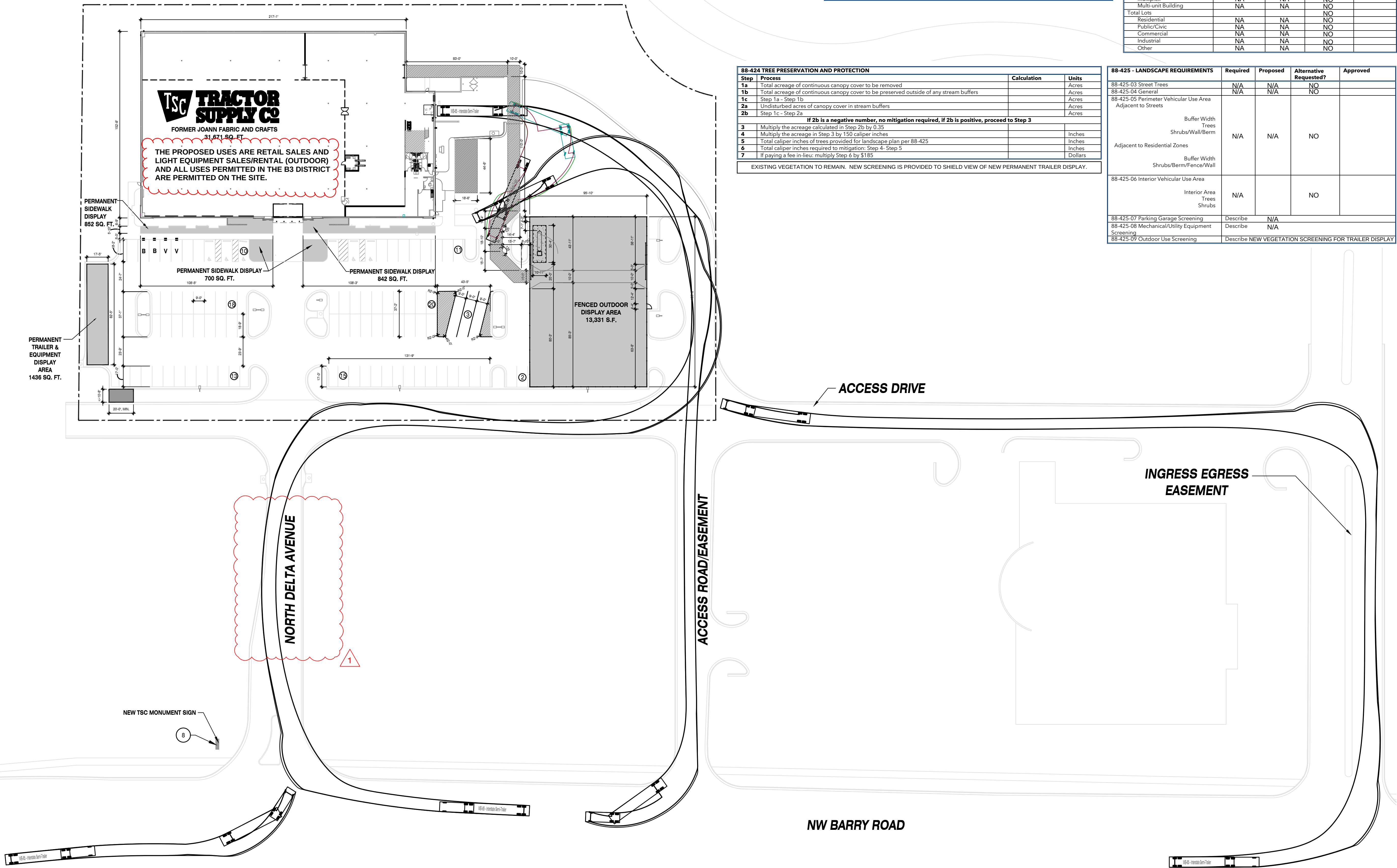
Date: 01.27.2026

Revisions: 1 03.03.2026

Revisions:

Revisions: SITE PLAN- OVERALL

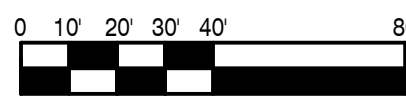
Sheet Number: AS1.0-A



SITE PLAN-OVERALL

SCALE: 1"=40'

NORTH KANSAS CITY, MO



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Land Data	Area
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PLOT DATA	COUNT
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Step	Process	Calculation	Units
1a	Total acreage of continuous canopy cover to be removed		Acres
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1c	Step 1a - Step 1b		Acres
2a	Undisturbed acres of canopy cover in stream buffers		Acres
2b	Step 1c - Step 2a		Acres
If 2b is a negative number, no mitigation required. If 2b is positive, proceed to Step 3			
3	Multiply the acreage calculated in Step 2b by 0.35		Inches
4	Multiply the acreage in Step 3 by 150 caliper inches		Inches
5	Total caliper inches of trees provided for landscape plan per 88-425		Inches
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SPECIFICATIONS

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 - TERMINAL POST: 3" O.D. FULL WEIGHT PIPE, 5.79 LBS. PER FOOT (MIN). SET IN 8" DIA. BY 36" DEEP CONC. FOOTING.
 - GATE POST: 4" O.D. FULL WEIGHT PIPE, 9.10 LBS. PER FOOT (MIN). 8" DIA. 36" DEEP CONC. FOOTING.
 - (4) GATES: (2) 20 FOOT CANTILEVERED SLIDING GATES, (2) 4 FOOT SWING GATES, WITH FRAMEWORK OF 1 5/8" FULL WEIGHT PIPE, 2.27 LBS. PER FOOT (MIN). GATES BRACED AND TRUSSED AS NECESSARY. SAME FABRIC AS FENCE. SEE PLAN FOR WIDTH.
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 - FITTINGS: HEAVY BRACED BAND AND CARRIAGE BOLT, PRESSED STEEL RAIL-END, PRESSED STEEL LOOP CAP, PRESSED STEEL CAP, 1/4" X 3/4" TENSION BAR, HEAVY TENSION BAND AND CARRIAGE BOLT.
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 - POST FOOTING: TRUCK POURED CONCRETE.
 - SWING GATE LATCH TO BE CHAIN LINK FENCE-LTM BY HOOVER FENCE CO. OR EQUAL AND SHALL ACCEPT PAD LOCKS.

SITE DATA	Existing	Proposed	Deviation Requested?	Approved
Zoning	B3-2	B3-2	NO	
Gross Land Area	195,455.6	195,455.6	NO	
in square feet	4.51	4.51	NO	
in acres	7,359	7,359	NO	
Right of way Dedication	0.169	0.169	NO	
in square feet	161,052.6	161,052.6	NO	
in acres	36.99	36.99	NO	
Building Area (sq. ft.)	28,403	28,403	NO	
Floor Area Ratio	0.18	0.18	NO	
Residential Use Ints	NA	NA	NO	
Total Dwelling Units	NA	NA	NO	
Detached House	NA	NA	NO	
Semi-Attached House	NA	NA	NO	
Cottage House	NA	NA	NO	
Multi-Unit House	NA	NA	NO	
Apartment House	NA	NA	NO	
Multi-Unit House	NA	NA	NO	
Public/Civic	NA	NA	NO	
Commercial	NA	NA	NO	
Industrial	NA	NA	NO	
Other	NA	NA	NO	

SPECIFICATIONS

- TSC'S CONTRACTOR CONSTRUCTION NOTES
- (FOR NEW 8' ALUMINUM TUBE FENCE):
- CONTRACTOR TO SUBMIT OUT SHEET TO ARCHITECT FOR APPROVAL. GENERAL SPECIFICATIONS ARE AS FOLLOWS:
- PICKETS 1" X 1" X 0.065 WALL.
 - STITCHERS 1.625" X 1.625" X 1.625"
 - SIDE WALL 0.100 TOP WALL 0.070
 - LINE POSTS 2.5" X 2.5" X 0.075 WALLS. LINE POSTS TO BE SET@10'-0" MAX. SPACING. DEPTH OF POST TO BE MIN. OF 30" IN TRUCK POURED CONCRETE. WHEN PRESET GALVANIZED FENCE SLEEVES ARE USED POSTS ARE TO BE ADHERED WITH EPOXY.
 - TERMINAL AND GATE POSTS 6" X 6" X 0.125 WALL. DEPTH OF TERMINAL AND GATE POSTS TO BE MIN. OF 36" IN TRUCK POURED CONCRETE. WHEN PRESET GALVANIZED FENCE SLEEVES ARE USED POSTS ARE TO BE ADHERED WITH EPOXY.
 - PICKET SPACING 4.5" O.C.
 - SPACING BETWEEN PICKETS 3.75"
 - HORIZONTAL RAILS: (4) LOCATED 1 @ 6" ABOVE FINISH GRADE (A.F.G.), 2 @ 18" A.F.G., 3 @ 6'-6" A.F.G., AND 4 @ 7'-6" A.F.G..
 - SWINGING GATES: DESIGN AS PER THE MANUFACTURERS DESIGN STANDARDS. GATES SHALL BE MANUALLY OPERATED.
 - FASTENERS SHALL BE 302 STAINLESS STEEL WITH SELF-DRILLING HEAD. ALL SCREWS SHALL BE PAINTED TO MATCH FENCE.
 - GATE LATCHES SHALL ACCEPT PADLOCKS.

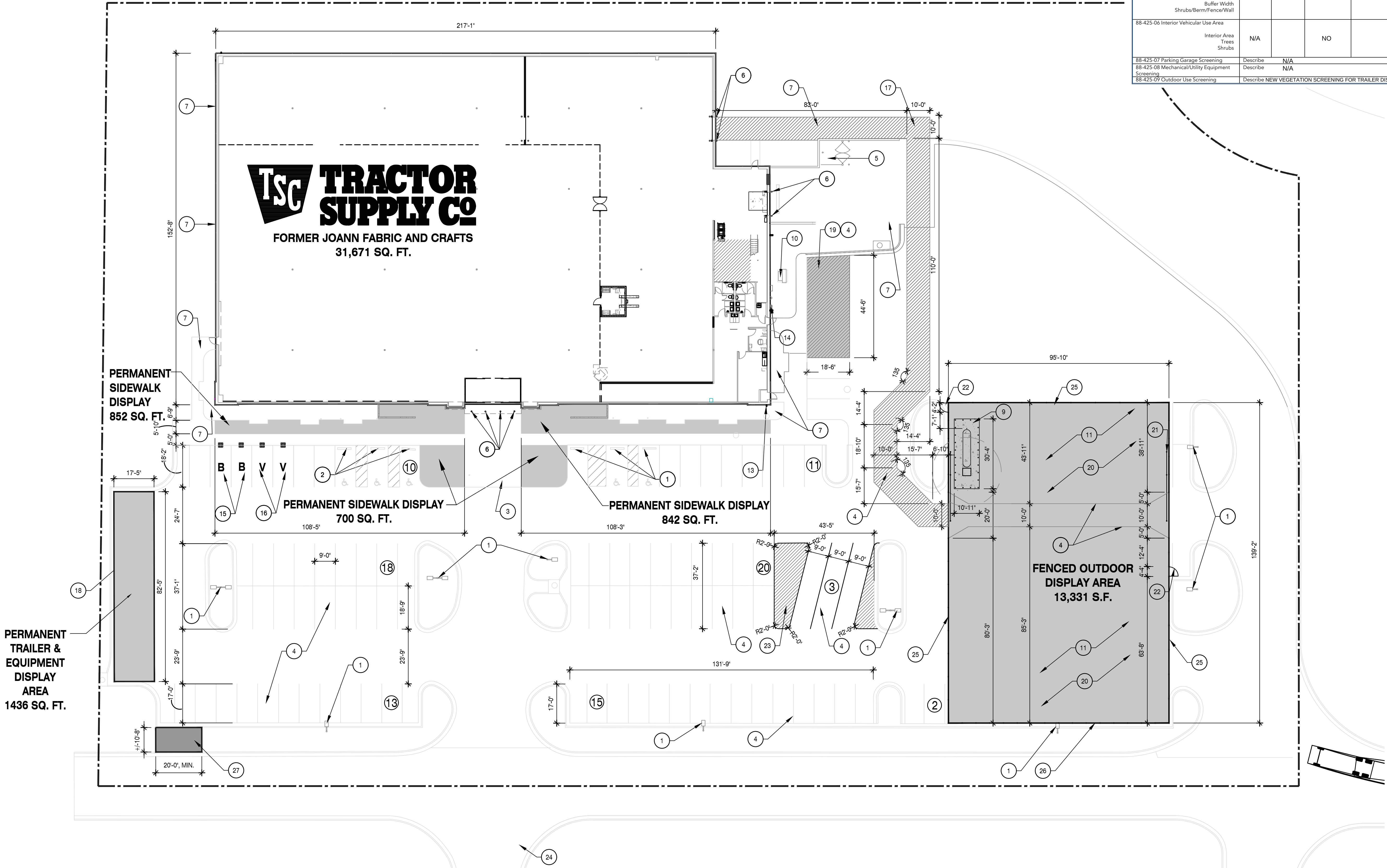
BUILDING DATA	Required	Proposed	Deviation Requested?	Approved
Rear Setback	43'-4"	43'-4"	NO	
Front Setback	50'-7"	50'-7"	NO	
Side Setback	72'-9"	72'-9"	NO	
Side Setback (abutting street)	NA	NA	NO	
Height	75', MAX	55'-4"	NO	

88-420 - PARKING	Vehicle Spaces		Bike Spaces		Alternatives Proposed? (See 88-420-16)
	Required	Proposed	Required	Proposed	
Proposed Use(s) List All Proposed Uses	92	93	NA	NA	NA
Total					

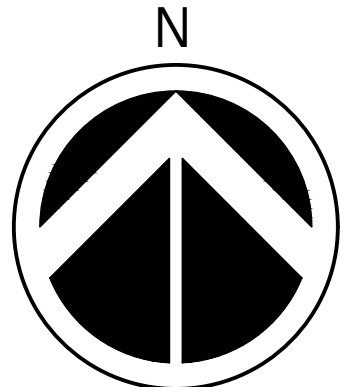
88-425 - LANDSCAPE REQUIREMENTS	Required	Proposed	Alternative Requested?	Approved
88-425-03 Street Trees	N/A	N/A	NO	
88-425-04 General	N/A	N/A	NO	
88-425-05 Perimeter Vehicular Use Area Adjacent to Streets				
Buffer Width				
Shrubs/Wall/Berm	N/A	N/A	NO	
Adjacent to Residential Zones				
Buffer Width				
Shrubs/Berm/Fence/Wall	N/A	N/A	NO	
88-425-06 Interior Vehicular Use Area				
Interior Area				
Trees	N/A	N/A	NO	
Shrubs	N/A	N/A	NO	
88-425-07 Parking Garage Screening	Describe	N/A		
88-425-08 Mechanical/Utility Equipment Screening	Describe	N/A		
88-425-09 Outdoor Use Screening	Describe	NEW VEGETATION SCREENING FOR TRAILER DISPLAY		

KEYNOTES

- TSC'S CONTRACTOR CONSTRUCTION NOTES
- (REFER ONLY TO NOTES THAT ARE INDICATED BY NUMERICAL KEY ON PLAN):
- CONTRACTOR SHALL CLEAN EXISTING LIGHTPOLES FREE FROM DEBRIS AND ENSURE SYSTEMS ARE IN GOOD WORKING ORDER. REPLACE BALLAST IN EXISTING LIGHTING SYSTEM.
 - EXISTING ACCESSIBILITY SIGNAGE, SEE DETAILS SHEET AS1.1. CONTRACTOR SHALL VERIFY THAT SIGNAGE IS LEGIBLE AND FREE FROM DAMAGE.
 - CONTRACTOR TO CONFIRM THAT ACCESSIBLE ROUTE AT FRONT IS ACCEPTABLE TO THE LOCAL GOVERNING AUTHORITY'S ACCESSIBILITY STANDARD. THE RUNNING SLOPE DOES NOT EXCEED 1:20 AND CROSS SLOPE DOES NOT EXCEED A 1:48 SLOPE.
 - 4" PAINTED STRIPE INDICATING EXTENT OF DRIVE AISLE AND DISPLAY AREAS. YELLOW ON CONCRETE AND WHITE ON ASPHALT OR AS DETERMINED BY TSC PROJECT MANAGER. SEE PARKING LOT PAINT SPECIFICATION THIS SHEET. BLACKOUT EXISTING SPACES AS NECESSARY.
 - EXISTING CONCRETE DUMPSTER AND PAD LOCATION.
 - NEW PIPE BOLLARD(S), SEE DETAIL 3 15/AS1.1. COVER PER FINISH SCHEDULE ON A0.1.
 - CONTRACTOR TO SPRAY SIDEWALK, PARKING LOT, DOWNSPOUT, AND OVERFLOW AREAS FOR WEED REMOVAL ON PREMISES.
 - NEW TSC MONUMENT SIGN. SIGN AND FOUNDATION SHALL BE DESIGNED BY SIGNAGE VENDOR PER CURRENT TSC STANDARD CRITERIA PLANS. NOTE THAT NEW SIGN SHALL COMPLY WITH THE CITY OF WOODSTOCK, GA ORDINANCE 2025-025.
 - PROPANE LOCATION. CONCRETE MUST BE LEVEL AT LOCATION OF PROPANE TANK. SEE DETAIL 12/AS1.1 FOR MORE INFORMATION. NEW CONCRETE PAD AND PROPANE TANK COORDINATE WITH MANUFACTURE FOR LOCATION AND SIZE OF PAD, TANK AND NUMBER OF BOLLARDS. BOLLARDS TO RECEIVE MOCUE BOLLARD COVERS. CONCRETE TO BE A MINIMUM 6" THICK 4000 PSI WITH 6 X 6 W 1.4 WWF ON 6" DRAINABLE BASE ON COMPACTED FILL. PAD TO SIT FLUSH WITH ADJACENT GRADE. PROVIDE NEW 6" WIDE CURB TO MATCH EXISTING. ADJACENT CURB AT NEW PAVEMENT. PAVEMENT WILL EXTEND TO BOUNDARY OF PROPANE PAD AS INDICATED.
 - EXISTING PAD-MOUNTED TRANSFORMER LOCATION.
 - FENCED OUTDOOR RACKING. SEE TSC FINAL MERCHANDISING LAYOUT. RACK HEIGHT SHALL NOT EXCEED 8'-0" A.F.F.
 - EXISTING ELECTRICAL METER AND SERVICE.
 - EXISTING FDC. CONTRACTOR SHALL COORDINATE THE ORIENTATION OF THE CONNECTION WITH THE FIRE MARSHAL TO ENSURE POSITIVE CONNECTION WITHOUT INTERFERENCE. ADJUST HOSE CONNECTION AWAY FROM FOD FENCE.
 - EXISTING GAS METER.
 - (2) BOPIS SPACES. SEE SIGNAGE DETAILS ON AS1.1.
 - (2) VETERAN SPACES. SEE SIGNAGE DETAILS ON AS1.1.
 - CONTRACTOR TO INSTALL NEW CONCRETE TOW MOTOR PATH WITH BROOM FINISH. NEW CONCRETE PAD. CONCRETE TO BE A MINIMUM 6" THICK 4000 PSI WITH 6 X 6 W 1.4 WWF ON 6" DRAINABLE BASE ON COMPACTED FILL. PAD TO SIT FLUSH WITH FINISHED FLOOR AND HAVE POSITIVE SLOPE AWAY FROM BUILDING. ELEVATION OF NEW WORK SHALL MATCH THE ADJACENT CONCRETE SIDEWALK ELEVATION TO ENSURE ACCESSIBLE ROUTE.
 - NEW PERMANENT TRAILER DISPLAY.
 - NEW CUSTOMER LOADING.
 - NEW FENCED OUTDOOR DISPLAY AREA. SEE AS1.1.
 - NEW 20 FOOT ALUMINUM TUBE CANTILEVERED GATE. SEE AS1.1.
 - NEW 4 FOOT ALUMINUM TUBE SWING GATE. SEE AS1.1.
 - NEW STRIPED PULL-THROUGH SPACES.
 - PROVISIONS SHALL BE PROVIDED TO RENAME 'DELTA DRIVE' TO 'JIM WRIGHT WAY.'
 - NEW 8'-0" TALL BLACK VINYL CHAINLINK FENCE. PROVIDE THREE SIDES OF FOD. SEE SPECIFICATIONS THIS SHEET. SEE DETAILS 2.3, 7, AND 8/AS1.1.
 - NEW VINYL PRIVACY FENCE WITH 90% OPAQITY PROVIDED AS BASE BID. SEE DETAIL 12/AS1.1. PROVIDE ALTERNATE FOR NEW 8'-0" ALUMINUM TUBE FENCE WITH PRIVACY SLATS (90% OPAQUE). SEE SPECIFICATIONS THIS SHEET. NOTE: SHOP DRAWINGS FOR THE FINAL PRIVACY FENCE SHALL BE PROVIDED TO TSC, THE ARCHITECT, AND AHJ FOR REVIEW AND APPROVAL.
 - NEW LANDSCAPE BUFFER, ADJACENT TO EXISTING TREE. PROVIDE DWARF TREES COMPLYING WITH THE AHJ'S REQUIREMENTS FOR SCREENING OF THE NEW PERMANENT TRAILER STORAGE AREA. NOTE: A LANDSCAPE ARCHITECT SHALL BE ENGAGED BY THE CONTRACTOR TO VERIFY ADEQUATELY PLANTING AND PROVIDE AN AFFIDAVIT PRIOR TO RECEIVING THE C.O..



LANDSCAPE BUFFER
FENCED OUTDOOR DISPLAY AREA
PERMANENT TRAILER AND EQUIPMENT DISPLAY AREA
PERMANENT SIDEWALK DISPLAY AREA W/ 5' CLEAR WALKWAY
PYLON SIGN
PROPERTY LINE
DEMISED PREMISES



SITE PLAN-LARGE SCALE

SCALE: 1"=20'

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Architecture
Planning
Interior Architecture

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Professional Engineer
STATE OF TENNESSEE
LICENSE NO. A-302500166

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Job Number: 25161

Date: 01.27.2026

Revisions:

Revisions:

Revisions:

Revisions:

SITE PLAN - LARGE SCALE

Sheet Number: AS1.0-B



KOREAN HORNBEAM TREE



DWARF COLUMNAR EUROPEAN HONRBEAM TREE



QUAKING ASPEN TREE



VERNAL WITCHHAZEL



SILKY DOGWOOD



SPICEBUSH

88-424 TREE PRESERVATION AND PROTECTION			
Step	Process	Calculation	Units
1a	Total acreage of continuous canopy cover to be removed		Acres
1b	Total acreage of continuous canopy cover to be preserved outside of any stream buffers		Acres
1c	Step 1a - Step 1b		Acres
2a	Undisturbed acres of canopy cover in stream buffers		Acres
2b	Step 1c - Step 2a		Acres
If 2b is a negative number, no mitigation required, if 2b is positive, proceed to Step 3			
3	Multiply the acreage calculated in Step 2b by 0.35		Inches
4	Multiply the acreage in Step 3 by 150 caliper inches		Inches
5	Total caliper inches of trees provided for landscape plan per 88-425		Inches
6	Total caliper inches required to mitigate: Step 4 - Step 5		Dollars
7	If paying a fee is less, multiply Step 6 by \$165		Dollars
EXISTING VEGETATION TO REMAIN. NEW SCREENING IS PROVIDED TO SHIELD VIEW OF NEW PERMANENT TRAILER DISPLAY.			

88-425 - LANDSCAPE REQUIREMENTS	Required	Proposed	Alternative Requested?	Approved
88-425-03 Street Trees	N/A	N/A	NO	
88-425-04 General	N/A	N/A	NO	
88-425-05 Perimeter Vehicular Use Area Adjacent to Streets				
Buffer Width				
Trees				
Shrubs/Wall/Berm	N/A	N/A	NO	
Adjacent to Residential Zones				
Buffer Width				
Shrubs/Berm/Fence/Wall				
88-425-06 Interior Vehicular Use Area				
Interior Area				
Trees	N/A		NO	
Shrubs				
88-425-07 Parking/Garage Screening	Describe	N/A		
88-425-08 Mechanical/Utility Equipment Screening	Describe	N/A		
88-425-09 Outdoor Use Screening	Describe	NEW VEGETATION SCREENING FOR TRAILER DISPLAY		

NOTE:
-ABOVE EXAMPLES OF TREES, BUSHES, AND DWARF TREES ARE PROVIDED FOR REFERENCE ONLY. FINAL SELECTION SHALL BE PROVIDED BY A LANDSCAPE ARCHITECT, LICENSED IN THE STATE OF MISSOURI AS PART OF THE DEFERRED SUBMITTAL / DELEGATED DESIGN.
-REFERENCES ABOVE ARE BASED ON VARIETIES UNDERSTOOD TO BE NATIVE TO THE REGION.
-REFER TO SHEE AS1.0-B FOR EXTENT OF PLANTINGS.



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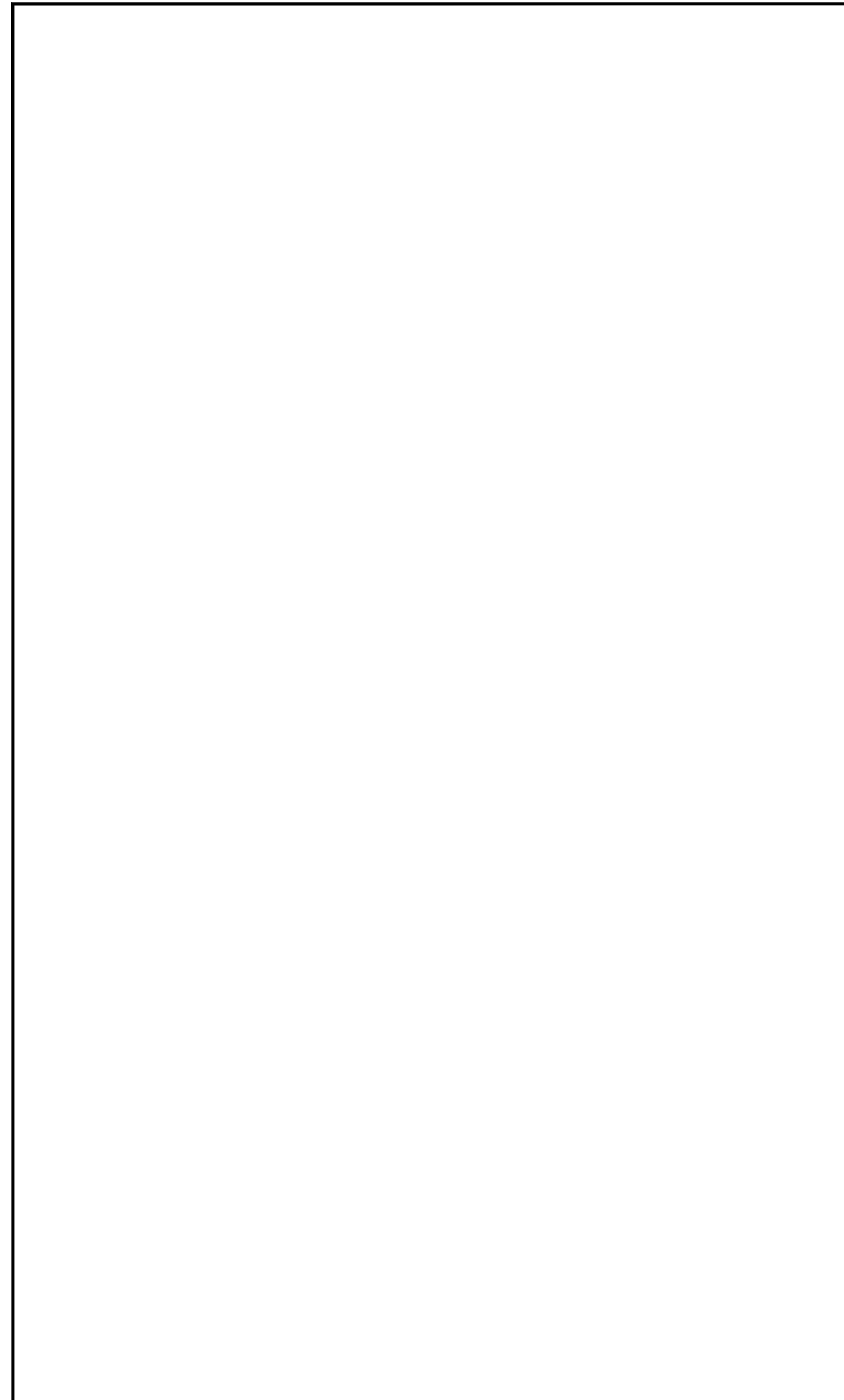
Revisions:

Revisions:

Revisions:

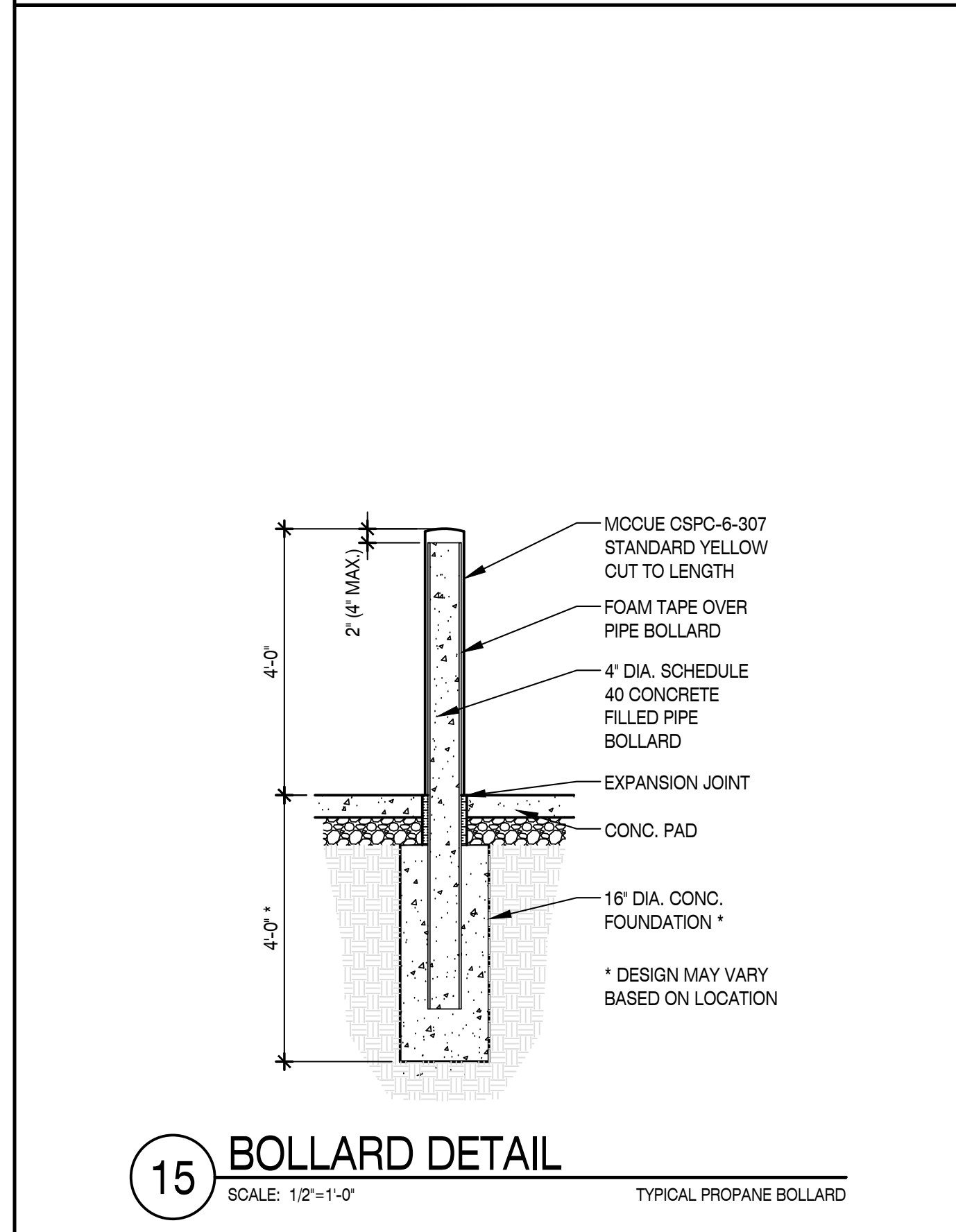
PROPOSED TRAILER SCREENING

Sheet Number: AS1.0-C



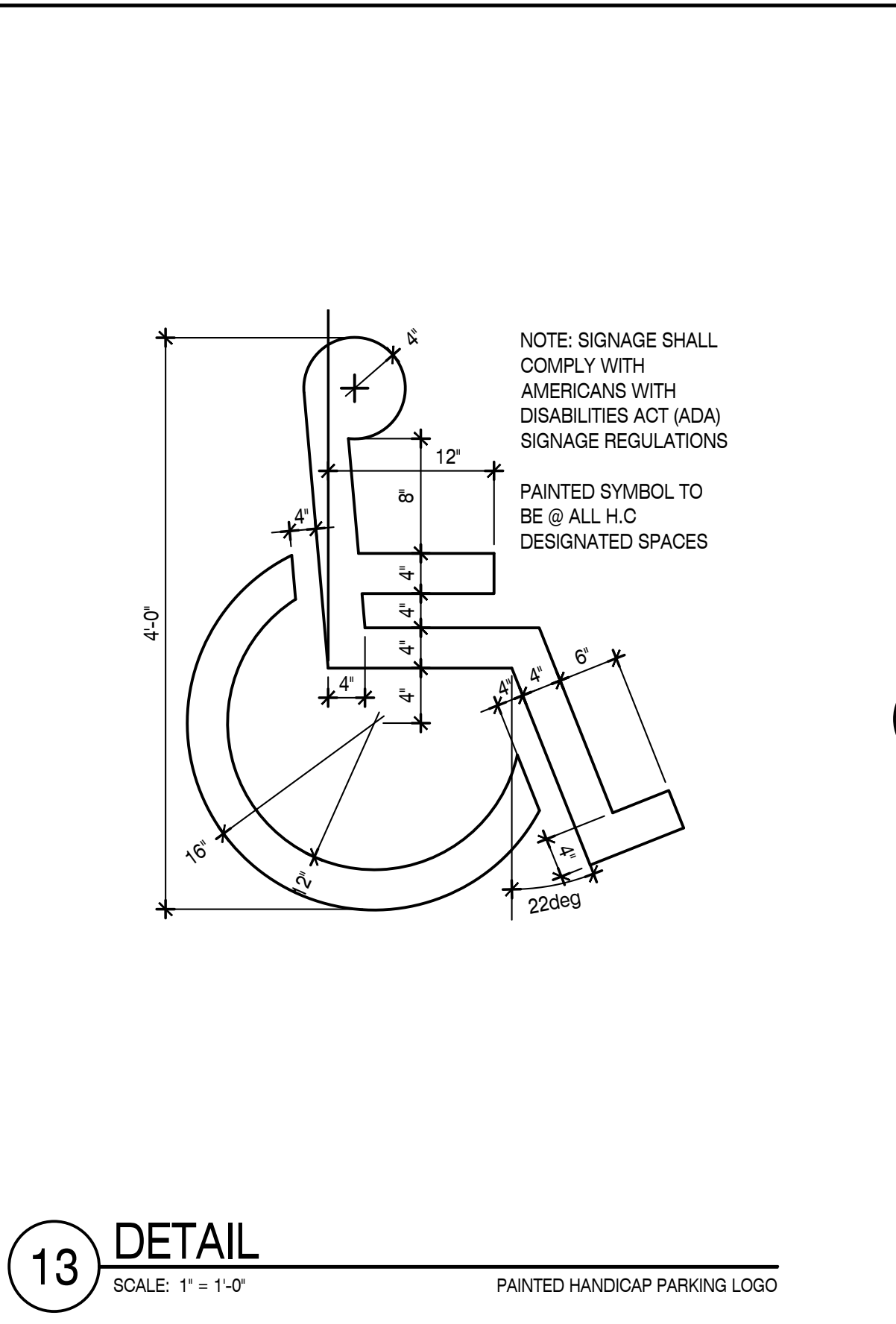
12 ELEVATION
SCALE: 3/4" = 1'-0"

POD VINYL FENCE



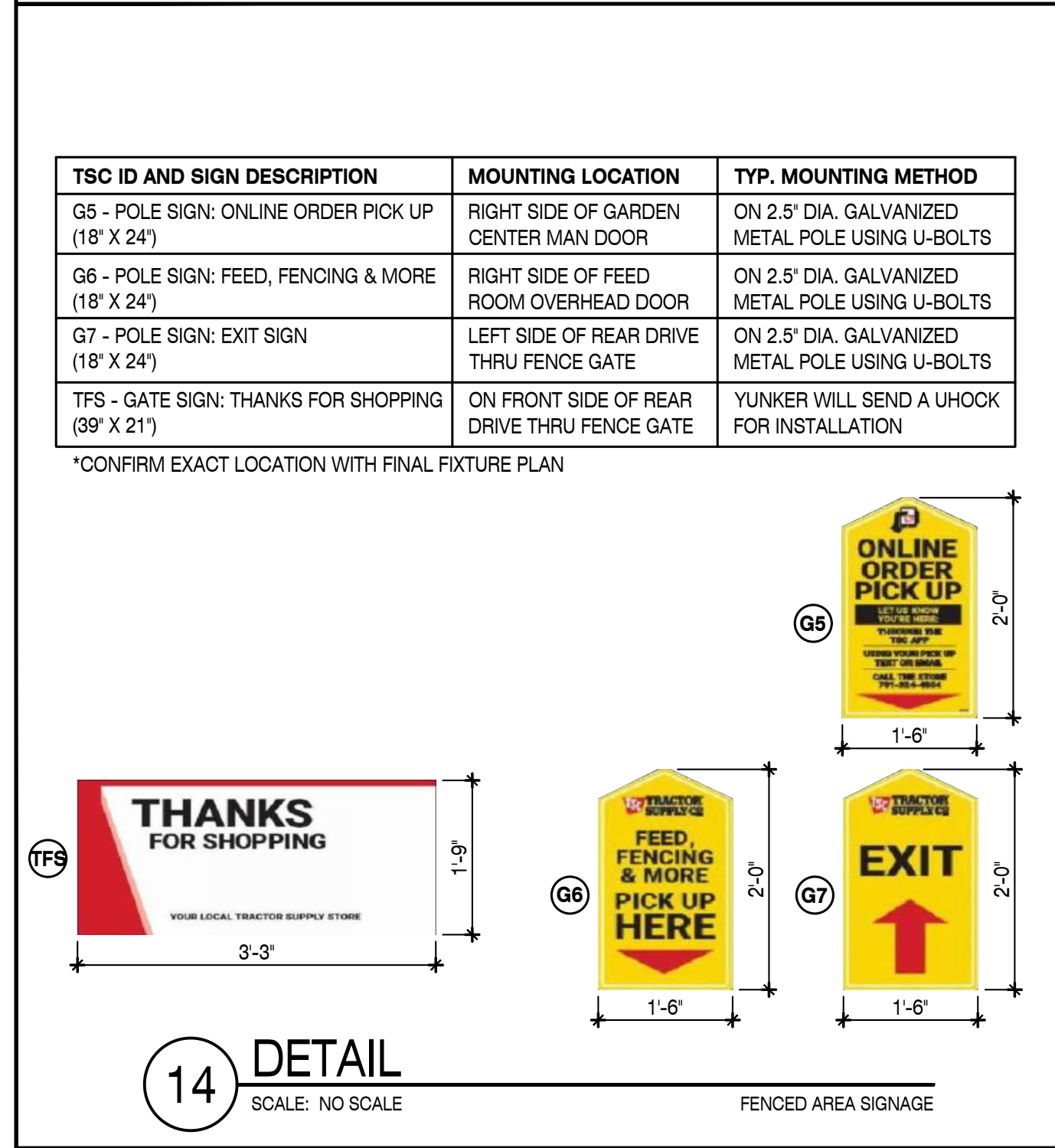
15 BOLLARD DETAIL
SCALE: 1/2" = 1'-0"

TYPICAL PROPANE BOLLARD



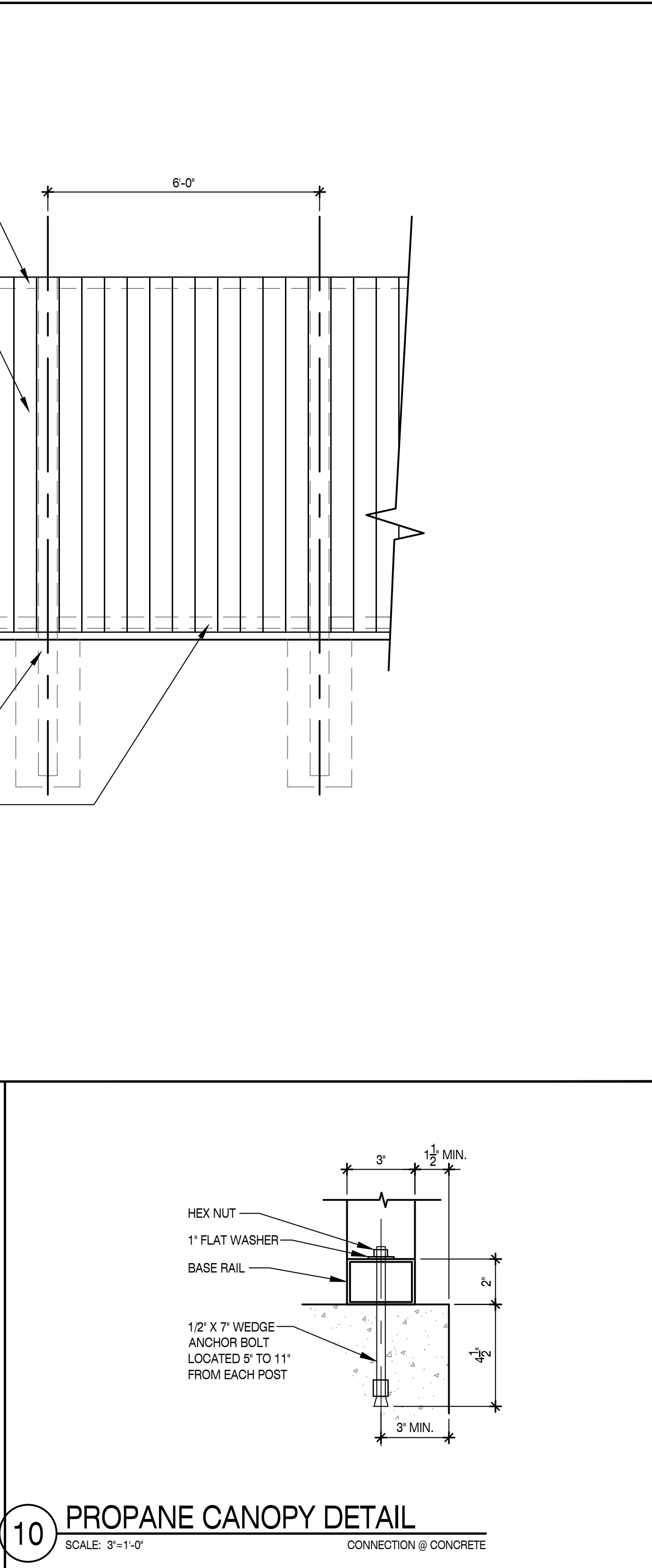
13 DETAIL
SCALE: 1" = 1'-0"

PAINTED HANDICAP PARKING LOGO



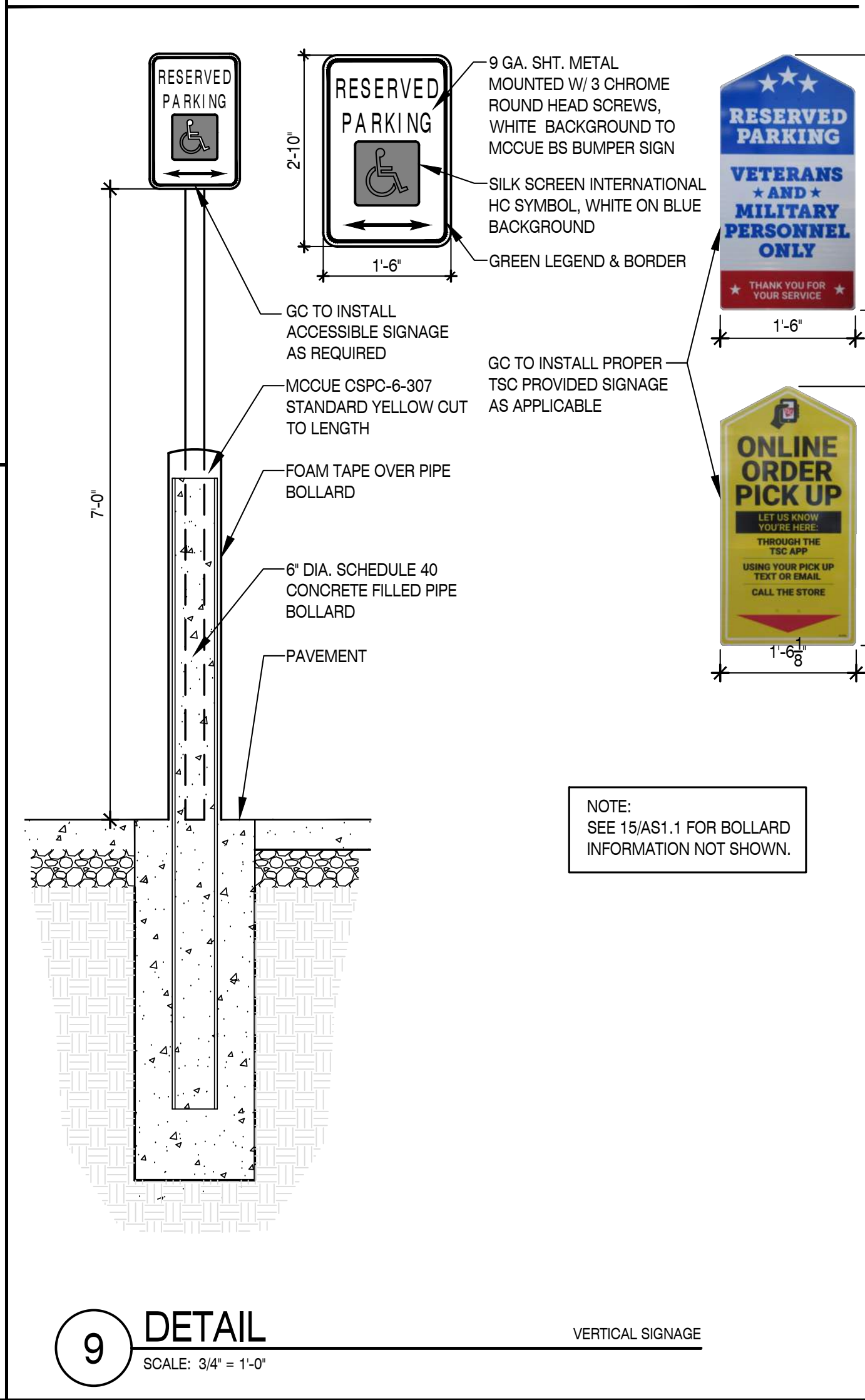
14 DETAIL
SCALE: NO SCALE

FENCED AREA SIGNAGE



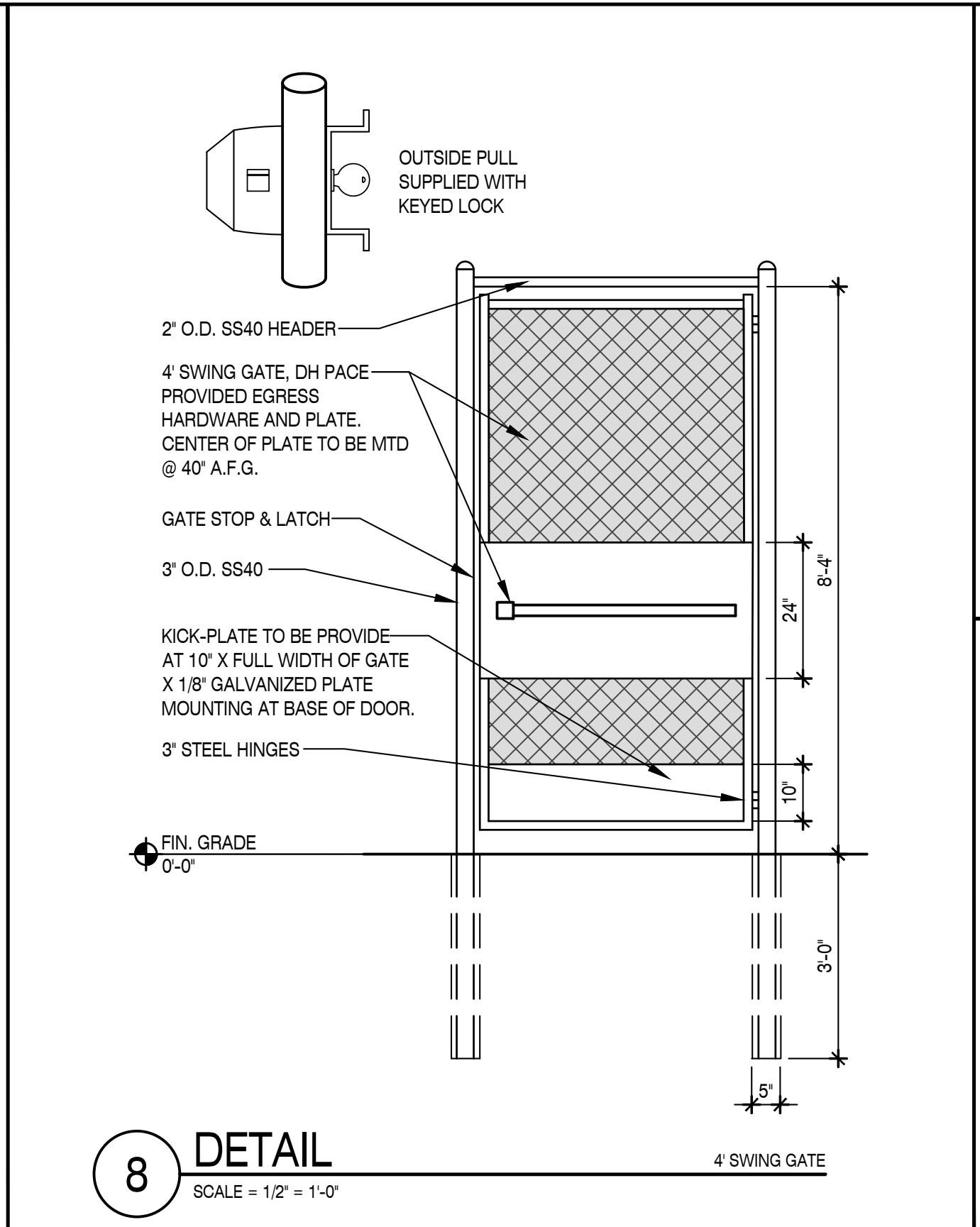
10 PROPANE CANOPY DETAIL
SCALE: 3/4" = 1'-0"

CONNECTION @ CONCRETE



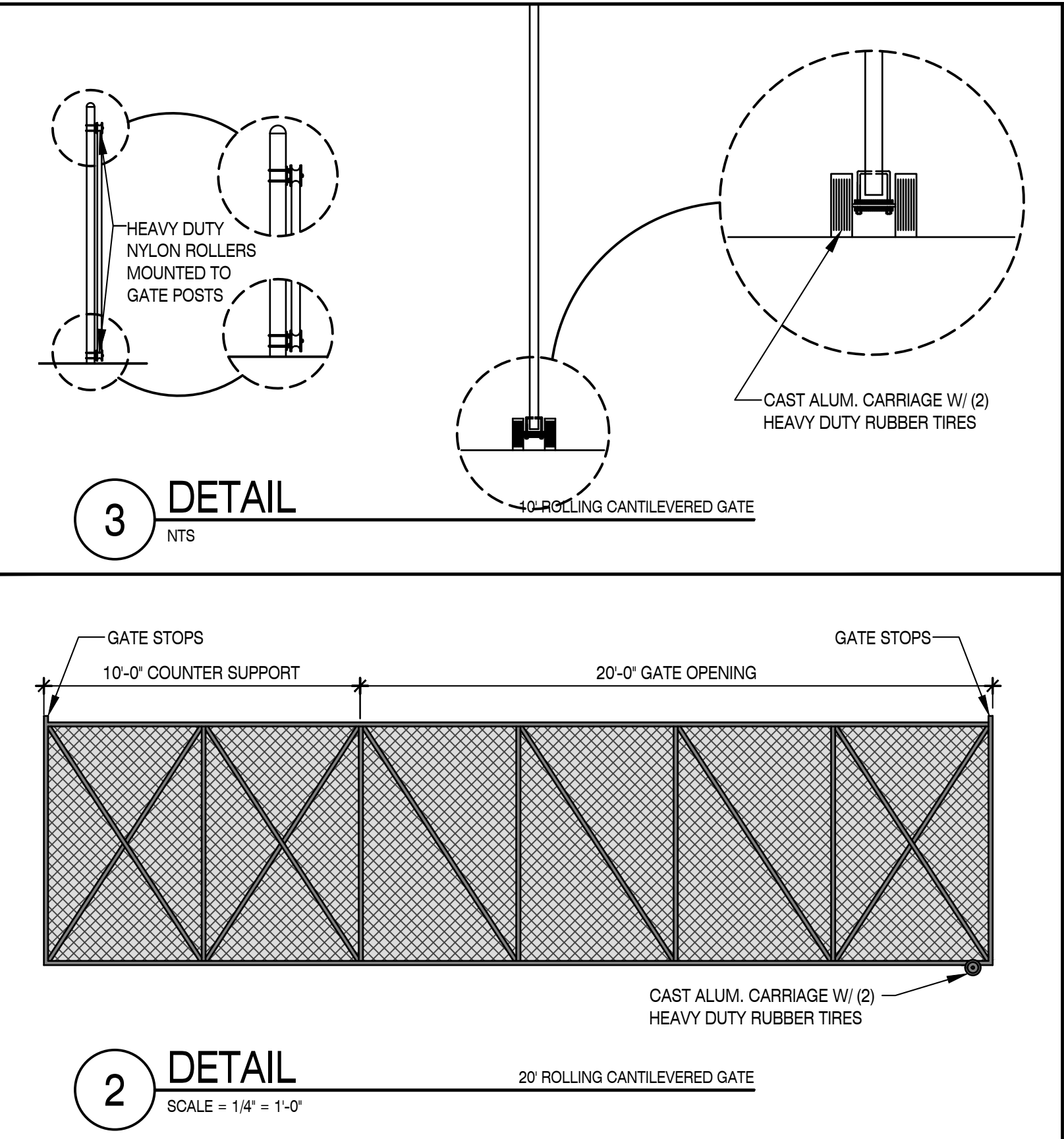
9 DETAIL
SCALE: 3/4" = 1'-0"

VERTICAL SIGNAGE



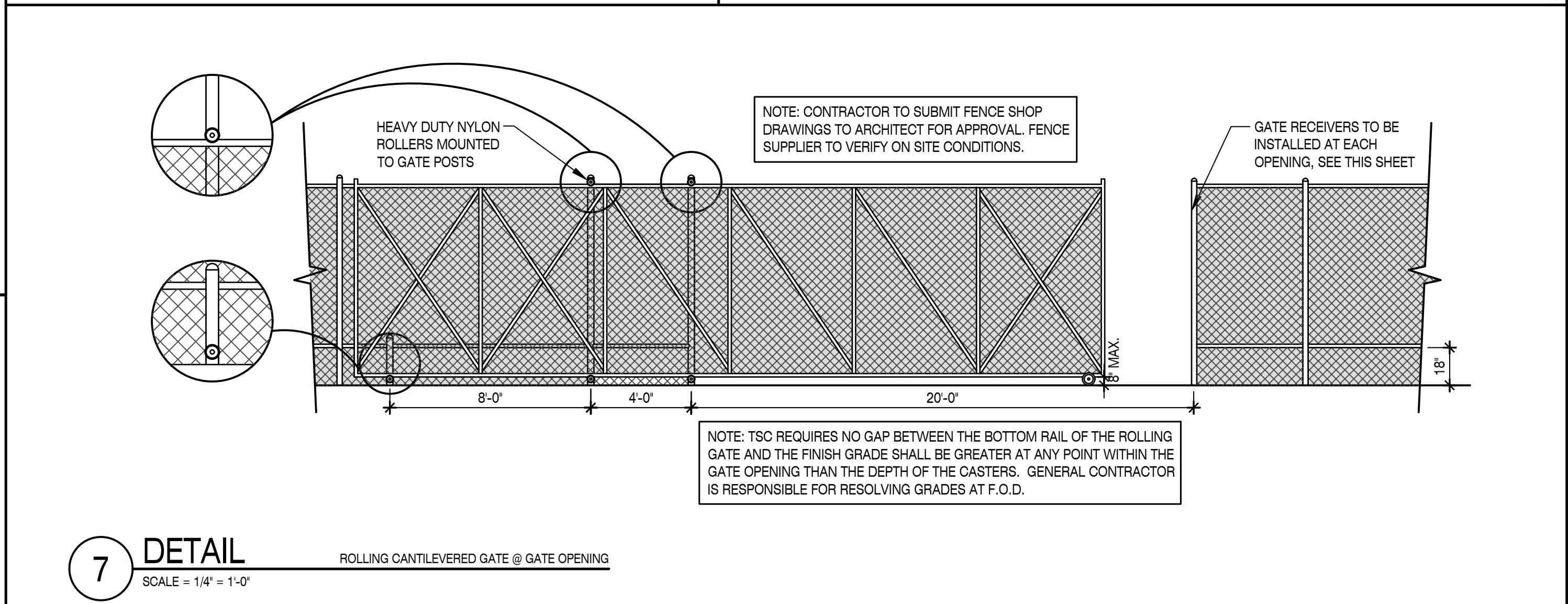
8 DETAIL
SCALE: 1/2" = 1'-0"

4 SWING GATE



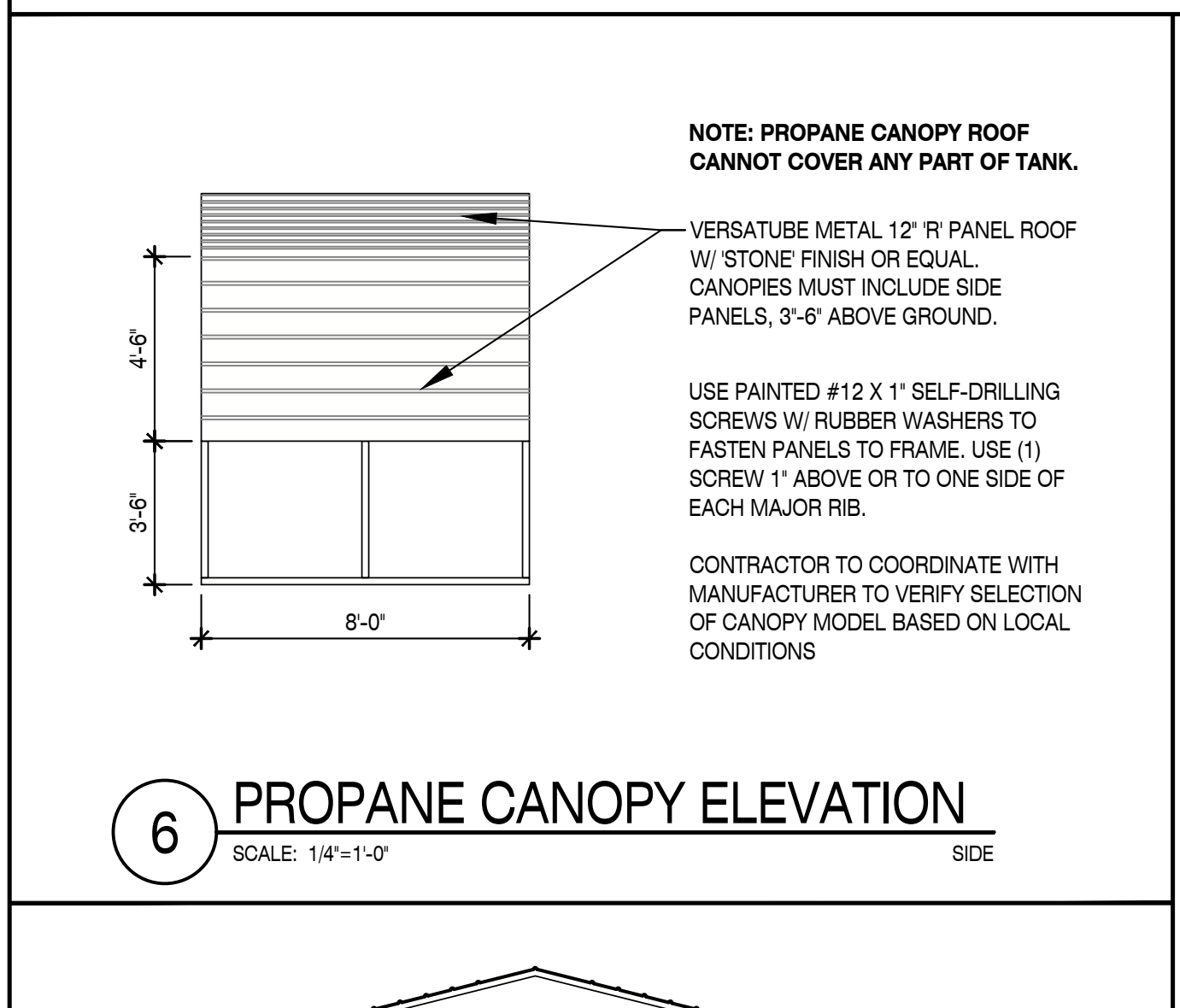
2 DETAIL
SCALE: 1/4" = 1'-0"

20' ROLLING CANTILEVERED GATE



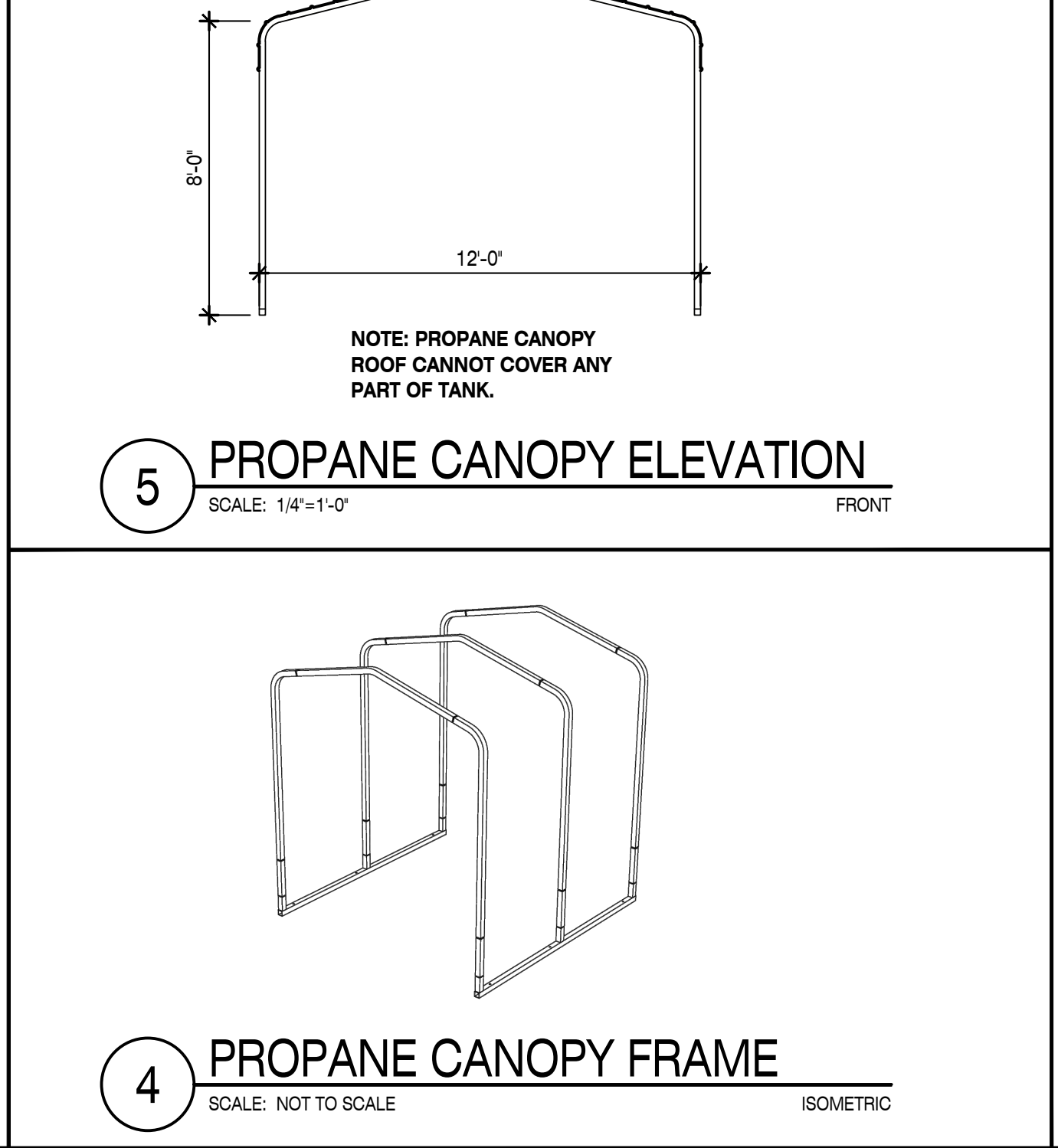
7 DETAIL
SCALE: 1/4" = 1'-0"

ROLLING CANTILEVERED GATE @ GATE OPENING



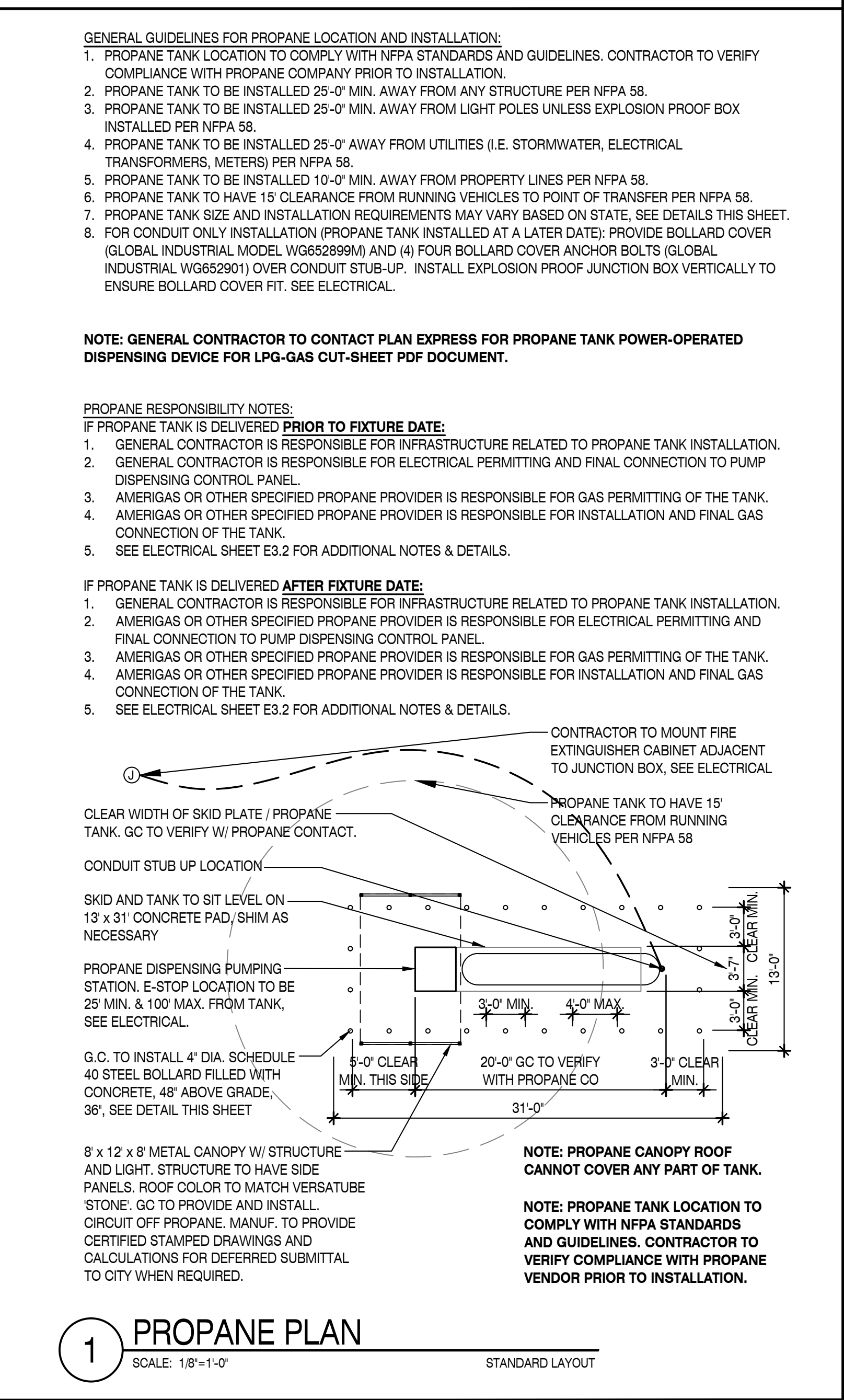
6 PROPANE CANOPY ELEVATION
SCALE: 1/4" = 1'-0"

SIDE



5 PROPANE CANOPY ELEVATION
SCALE: 1/4" = 1'-0"

FRONT



1 PROPANE PLAN
SCALE: 1/8" = 1'-0"

STANDARD LAYOUT

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Architecture
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BRETT
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Professional Engineer
STATE OF MISSOURI
NUMBER
A-302500116

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Job Number: 25161
Date: 01.27.2026
Revisions:
Revisions:
Revisions:
PROpane TANK LAYOUTS & FENCE DTLS

Sheet Number: **AS1.1**

KEYNOTES

(REFER ONLY TO NOTES THAT ARE INDICATED BY NUMERICAL KEY ON PLAN):

- NEW CONCRETE PAD. CONCRETE TO BE A MINIMUM 6" THICK 4000 PSI WITH 6 X 6 W 1.4 X W 1.4 WWF ON 6" DRAINABLE BASE ON COMPACTED FILL. PAD TO SIT FLUSH WITH FINISHED FLOOR AND HAVE POSITIVE SLOPE AWAY FROM BUILDING. ELEVATION OF NEW WORK SHALL MATCH THE ADJACENT CONCRETE SIDEWALK ELEVATION TO ENSURE ACCESSIBLE ROUTE.
- EXISTING ROOF ACCESS TO ROOF WITH LADDER AND ROOF HATCH AT MEZZANINE TO REMAIN. CONTRACTOR SHALL INSPECT AND VERIFY ALL CONNECTIONS FROM LADDER AND HATCH TO SUBSTRATE ARE SECURE, FULLY ENGAGED, AND IN GOOD WORKING ORDER.
- 6" SCHEDULE 40 CONCRETE FILLED PIPE BOLLARDS, TYP. EA SIDE OF OPENING. SEE DETAIL 9/A4.0 FOR MORE INFORMATION. SEE AS1.0 FOR BOLLARD LOCATIONS OTHER THAN THOSE AT OPENINGS.
- INFILL EXISTING DOCK LEVELLER TO RECESS. SEE STRUCTURAL.
- EXISTING WINDOWS AT STOREFRONT TO HAVE WHITE FROSTED LLUMAR WINDOW FILM APPLIED TO INSIDE FACE. CONTRACTOR TO INFILL INTERIOR WINDOW OPENING WITH METAL STUDS AND GYPSUM BOARD TO ALIGN WITH EXISTING. PROVIDE 12" X 1" OPENING IN GYP. BOARD FOR VENTILATION.
- SECURITY VENDOR TO PROVIDE AND INSTALL KNOX BOX FOR FIRE DEPARTMENT WHERE INDICATED. VERIFY FINAL LOCATION WITH AUTHORITY HAVING JURISDICTION.
- EXISTING DOOR IN EXISTING OPENING. CONTRACTOR SHALL ENSURE THAT EXISTING DOOR, FRAME, AND HARDWARE ARE IN GOOD WORKING ORDER. SEE A0.1 FOR DOOR SCHEDULE.
- INSTALL NEW MAN DOOR AND FRAME IN EXISTING MASONRY.
- INSTALL DOOR BELL @ MAN DOOR WHERE INDICATED.
- INSTALL BIG-EYE VIEWER @ MAN DOOR WHERE INDICATED.
- NEW 10' X 10' INSULATED SECTIONAL DOOR LOCATION WITH AUTOMATIC OPERATION. SEE A0.1 DOOR SCHEDULE FOR MORE INFORMATION.
- INSTALL 8 FOOT LONG, 6" DIA PVC PIPE, SUSPENDED BY CHAIN, 1" BELOW THE TOP OF THE O.H. DOOR OPENING AND 1'-0" FROM END OF DOOR TRACK. PAINT YELLOW AND STENCIL 'MAX LOAD HEIGHT'.
- EXTENT OF VINYL PLANK FLOORING FOR EXPANDED CLOTHING AREA. USE ONE SIDED BEVEL PLANK @ POINT OF TRANSITION TO CONCRETE. VERIFY EXTENT OF PLANK FLOORING WITH TSC PROVIDED FINAL FIXTURE PLAN PRIOR TO INSTALLATION. SUPPLIED BY TSC AND INSTALLED BY CONTRACTOR. AREA NOT TO EXCEED 3,000 SQ. FT.

- DRESSING ROOMS ARE PREFABRICATED AND PROVIDED BY TSC. CONTRACTOR TO ASSEMBLE AND ANCHOR DRESSING ROOM AND ALL COMPONENTS TO WALL AND/OR FLOOR. CONTRACTOR TO PROVIDE AND INSTALL (2) 24" X 60" (1/4" POLISHED PLATE GLASS - 1 PIECE), ONE ON THE EXTERIOR SIDE OF DOOR AND ONE ON THE INTERIOR WALL PARALLEL TO THE FRONT WALL, HUNG WITH STANDARD MIRROR CLIPS PER MANUFACTURER RECOMMENDATIONS. WHERE BOTTOM EDGE OF THE REFLECTING SURFACE IS AT 18" A.F.F., AND (4) FOUR HOOKS ON DRESSING ROOM WALL. MOUNT (2) TWO HOOKS TO MEET ACCESSIBILITY ACCESS (48" MAX. A.F.F. / 48" MAX. A.F.F. IF MOUNTED OVER THE BENCH) AND (2) TWO HOOKS AT 60" A.F.F. VERIFY LOCATION W/ FINAL FIXTURE PLAN AND TSC PROJECT MANAGER. SEE DETAIL 11 ON SHEET A4.0 FOR LAYOUT AND CONTRACTOR PROVIDED FURRING PROVISIONS.
- TSC TO SUPPLY. CONTRACTOR TO INSTALL NEW DULURITE DOORS @ NEW FIXTURE WALL. VERIFY LOCATION W/ FINAL FIXTURE PLAN (@ NEW/MODIFIED EXISTING MASONRY OPENINGS). CONTRACTOR TO COORDINATE DOOR AND FRAME HEIGHT/WIDTH IN HARD WALL CONDITIONS FOR ROUGH OPENING SIZE.
- EXISTING RESTROOMS TO BE RE-USED, THOROUGHLY STEAM CLEANED AND DISINFECTED. ALL PENETRATIONS TO BE REPAIRED AND PAINTED. REPLACE ALL FIXTURES AND FLOORING AS INDICATED ON TENANT FLOOR PLAN PER TENANTS STANDARD CRITERIA PLANS, AND CONSISTENT WITH ALL APPLICABLE CODES. PROVIDE ALL ELECTRICAL ITEMS PER STANDARD CRITERIA PLANS AND AS REFERENCED IN ELECTRICAL ITEMS SECTION.
- CONTRACTOR TO INSTALL NEW TOILETS AND SINKS AS INDICATED ON PLANS. SEE PLUMBING AND ENLARGED RESTROOM PLAN 1/A4.0.
- CONTRACTOR TO INSTALL NEW OWNER PROVIDED BATHROOM ACCESSORIES AS REQUIRED. SEE BATHROOM DETAILS A4.0. ALL ACCESSORIES INSTALLED SHALL COMPLY WITH CURRENT ADA (TEXAS ACCESSIBILITY (N TX)) STANDARDS.
- 6" SCHEDULE 40 CONCRETE FILLED PIPE BOLLARDS, TYP. SEE DETAIL 15/AS1.1 FOR MORE INFORMATION.
- EXISTING MANAGERS OFFICE TO BE RE-USED. THOROUGHLY STEAM CLEANED AND DISINFECTED. ALL PENETRATIONS TO BE REPAIRED AND PAINTED. REPLACE ALL FIXTURES AND FLOORING AS INDICATED ON TENANT FLOOR PLAN PER TENANTS STANDARD CRITERIA PLANS, AND CONSISTENT WITH ALL APPLICABLE CODES. PROVIDE ALL ELECTRICAL ITEMS PER STANDARD CRITERIA PLANS AND AS REFERENCED IN ELECTRICAL ITEMS SECTION. CONTRACTOR TO ADD MTL. STUDS AND GYP. BD. TO DECK AS NECESSARY ABOVE CEILING FOR SECURITY.
- CONTRACTOR TO BOLT DOWN SAFE IN MANAGERS OFFICE. VERIFY LOCATION WITH STORE MANAGER.
- EXISTING ROOM TO BE RE-USED FOR EMPLOYEE LOUNGE, THOROUGHLY STEAM CLEANED AND DISINFECTED. ALL PENETRATIONS TO BE REPAIRED AND PAINTED. REPLACE ALL FIXTURES AND FLOORING AS INDICATED ON TENANT FLOOR PLAN PER TENANTS STANDARD CRITERIA PLANS, AND CONSISTENT WITH ALL APPLICABLE CODES. PROVIDE ALL ELECTRICAL ITEMS PER STANDARD CRITERIA PLANS AND AS REFERENCED IN ELECTRICAL ITEMS SECTION.

- INSTALL NEW TSC PROVIDED EMPLOYEE LOUNGE COUNTER AND SINK. SEE DETAIL 6/A4.0 FOR NEW COUNTER AND SINK.
- EXISTING ROOM TO BE MODIFIED FOR IT ROOM. THOROUGHLY STEAM CLEANED AND DISINFECTED. ALL PENETRATIONS TO BE REPAIRED AND PAINTED. REPLACE ALL FIXTURES AND FLOORING AS INDICATED ON TENANT FLOOR PLAN PER TENANTS STANDARD CRITERIA PLANS, AND CONSISTENT WITH ALL APPLICABLE CODES. PROVIDE ALL ELECTRICAL ITEMS PER STANDARD CRITERIA PLANS AND AS REFERENCED IN ELECTRICAL ITEMS SECTION. CONTRACTOR TO ADD MTL. STUDS AND FIRE RETARDANT PLYWOOD TO DECK FOR SECURITY AROUND IT ROOM.
- INSTALL 3/4" X 4" X 8" FIRE RETARDANT PLYWOOD PHONE BOARD. SEE ELECTRICAL, DETAIL 10/A4.0.
- CONTRACTOR TO INSTALL NEW PET WASH ROOM. SEE DETAIL 1/A5.1 FOR WALL CONSTRUCTION. SEE PLAN FOR WALLS EXTENDING TO DECK. INSTALL ANY AND ALL ITEMS SUCH AS PLUMBING AND ELECTRICAL. SEE PLUMBING AND ELECTRICAL. CONTRACTOR TO INSTALL ALL TSC PROVIDED EQUIPMENT IN ROOM. CONTRACTOR TO ACCESS PLAN EXPRESS FOR COMPLETE PET WASH DETAIL SHEETS.
- CONTRACTOR TO INSTALL NEW WATER HEATER. SEE DETAILS 647/A5.1. SEE PLUMBING.
- INSTALL FIXTURES IN STOCKROOM PER GUIDELINES THIS SHEET. SEE TSC FINAL FIXTURE PLAN FOR LOCATIONS.
- TSC TO DELIVER, CONTRACTOR TO CIRCUIT AND INSTALL SERVICE DISCONNECT FOR NEW BALER. VERIFY CIRCUIT LOCATION IN FIELD W/ TSC PM. INSTALL 4" DIA. PVC PIPE 8 FEET LONG BEHIND BALER @ 36" A.F.F. FOR BALER WIRE. SEE ELECTRICAL. SUSPEND FLEX-LINE OVERHEAD.
- EXISTING ELECTRICAL PANELS TO BE REUSED. ADD NEW AS NECESSARY, SEE ELECTRICAL.
- CONTRACTOR TO FILL DEMOED TRENCHES WITH GRAVEL AND HIGH STRENGTH CONCRETE. FILL ALL REMAINING CONCRETE CRACKS WITH HIGH STRENGTH CONCRETE. CONTRACTOR TO AGITATE GRAVEL IN ALL REFRIGERATED PITS TO FILL ALL VOIDS PRIOR TO CONCRETE INSTALLATION. CONCRETE TO BE A MINIMUM OF 4" THICK 4,000 PSI WITH 6 X 6 W 1.4 X W 1.4 WWF ON 6" DRAINABLE BASE ON COMPACTED FILL.
- CONTRACTOR SHALL CLEAN EXISTING CONCRETE SLAB ON GROUND FREE FROM ALL DEBRIS AND FINISH PER FINISH SCHEDULE. SEE SHEET A0.1.
- NEW 4" PAINTED STRIPE PER PAINT SPECIFICATIONS ON AS1.0.
- CONTRACTOR SHALL VERIFY EXISTING DOCK BUMPERS TO BE DAMAGED. CONTRACTOR SHALL VERIFY EXISTING DOCK LEVELER IS IN GOOD WORKING ORDER AND FREE FROM ALL DEBRIS.

- CONTRACTOR TO INFILL DEMOED COMPACTOR DOOR OPENING W/ NEW 6" MASONRY. SEE STRUCTURAL. PROVIDE NEW EXTERIOR CEMENTITIOUS COATING TO MATCH EXISTING. ADJACENT TILT-UP CONCRETE WALL PANEL. PROVIDE INTERIOR METAL FUR-OUT WALL AND GYPSUM FINISH TO MATCH EXISTING INTERIOR FINISH. SEE STRUCTURE FOR COMPOSITION OF NEW WALL ASSEMBLY. NEW FINISH TO MATCH EXISTING.
- CONTRACTOR TO ADD 1/2" F.T. PLYWOOD TO 12'-0" A.F.F. OVER ALL GYP. BD. WALLS IN STOCKROOM/FEED. FINISH TO DECK WITH F.T. PLYWOOD OR GYP. BOARD. PREP TO BE PAINTED PER A0.1.
- CONTRACTOR TO ADD 1/2" F.T. PLYWOOD TO 4'-0" A.F.F. OVER ALL GYP. BD. WALLS IN IDO. PREP TO BE PAINTED PER A0.1.
- CONTRACTOR TO INSTALL FORKLIFT CHARGER, SEE ELECTRICAL FOR MORE INFORMATION.
- TSC PROVIDED HISTORY OF TSC MURAL ON FRONT WALL WITH TRIBUTE TO JIM WRIGHT.
- INSTALL NEW STOREFRONT ENTRY DOORS AND VESTIBULE.
- EXISTING DUMPSTER ENCLOSURE TO REMAIN.
- EXISTING PAD MOUNTED TRANSFORMER.
- EXISTING STEEL LANDING AND STAIRS WITH 3/4" GLAV. METAL HANDRAIL. SEE DETAIL ON A2.0. CONTRACTOR SHALL VERIFY THE CONDITION OF THE EXISTING STAIR SYSTEM AND PAINT HANDRAIL/GUARDRAIL PER A0.1 AS REQUIRED TO MAINTAIN A CONSTANT FINISH FREE FROM CORROSION.
- CONTRACTOR SHALL CLEAN EXISTING CONCRETE SLAB ON GROUND FREE FROM ALL DEBRIS AND FINISH PER SCHEDULE ON SHEET A0.1.
- EXISTING SHOPPING CART CORRAL TO REMAIN. CONTRACTOR SHALL VERIFY CART CORRAL IS FREE FROM DEBRIS. THE STEEL COMPONENTS ARE FREE FROM RUSH, AND THE MASONRY IS IN GOOD WORKING ORDER.
- PATCH OR REPAIR EXISTING GYP. BD. FINISH THROUGHOUT SALES AREA PRIOR TO PAINT.
- EXISTING ROOF HATCH AT MEZZANINE TO REMAIN.
- EXISTING ELECTRICAL PANEL TO REMAIN. SEE ELECTRICAL DRAWINGS.

GENERAL NOTES

CONTRACTOR CONSTRUCTION NOTES

(REFERS TO ALL AREAS WITHIN TSC DEMISED PREMISES):

- TSC TO PROVIDE ANCHOR BOLTS PER MANUFACTURERS SPECIFICATIONS AND ANCHOR RACKING AT SIDEWALK DISPLAY AS NECESSARY. TSC TO PROVIDE ANCHOR PLATES.
- TSC TO PROVIDE ANCHOR BOLTS PER MANUFACTURERS SPECIFICATIONS AND ANCHOR FIXTURE WALL. TSC TO PROVIDE ANCHOR PLATES.
- CONTRACTOR TO LEVEL FLOOR IN STOCKROOM WHERE DEMO HAS OCCURRED. PATCH BACK FLOOR AS REQUIRED TO FINISH FLUSH WITH FINISH FLOOR. CONCRETE TO BE A MINIMUM 6" THICK 4000 PSI WITH 6 X 6 W 1.4 X 1.4 WWF ON 6" DRAINABLE BASE ON COMPACTED FILL.
- REPAIR ALL MASONRY AND DRYWALL AROUND OPENINGS AND 6'-8" A.F.F. WHERE REQUIRED IN RETAIL SALES. PRIOR TO PAINT.
- PAINT INTERIOR WALLS AND PROVIDE 12" RED STRIPE AROUND PERIMETER OF RETAIL SALES 10'-3" TO BOTTOM OF STRIPE. SEE COLOR SCHEDULE. AT CEILINGS 11'-0" OR LESS COORDINATE W/ TSC PROJECT MANAGER FOR THINNER STRIPE OR LOWERED STRIPE.
- PAINT COLUMNS. SEE COLOR SCHEDULE.
- PAINT ALL STOCKROOM WALLS. SEE COLOR SCHEDULE.
- CONCRETE FLOOR TO BE GROUND AND POLISHED. END RESULT TO BE A SMOOTH, GLOSSY SURFACE WITH NO TRIPPING HAZARDS AND ALL SURFACE ITEMS AND DEBRIS REMOVED WITH ALL TOPICAL STAINS REMOVED AND ALL JOINTS RECAULKED AS NEEDED. SEE FINISH SCHEDULE ON A0.1 FOR ROOMS. NEW CONCRETE FINISH SHALL MATCH ADJACENT CONCRETE SLAB ON GROUND FINISH TO REMAIN.
- CLEAN EXISTING HVAC GRILLES TO REMAIN THROUGHOUT TSC SPACE OR REPLACE.
- MODIFY SPRINKLER HEADS AS REQUIRED IN NEW CORE AREA, AT AREAS OF DEMO, AND AT NEWLY CONSTRUCTED DEMISING WALL, OR AS REQUIRED BY CODES. RAISE SPRINKLER HEADS AND LINES AS HIGH AS POSSIBLE IN STOCKROOM.
- AT FIXTURE WALL. CONTRACTOR TO PROVIDE ANCHOR BOLTS PER MANUFACTURERS SPECIFICATIONS AND ANCHOR FIXTURE WALL. TSC TO PROVIDE ANCHOR PLATES.
- CONTRACTOR TO CIRCUIT AND PROVIDE ELECTRICAL CONNECTIONS TO ALL COUNTERS, MANAGERS OFFICE, EMERGENCY LIGHTS, DELAYED EGRESS CONNECTIONS, POWER POLES FOR COUNTER, RX COOLER AND DISPLAY CASE. ADD NEW OUTLETS AS NECESSARY IN THE CORE AREA CLOTHING AREA AND STOCKROOM. SEE ELECTRICAL.
- RECEIVE, STORE AND INSTALL OWNERS CHECK-OUT COUNTERS, CUSTOMER SERVICE COUNTER AND RECEIVING TABLE. SEE OWNER PROVIDED FIXTURE PLAN.
- TSC TO CONDUCT FMS SURVEY OF EXISTING SANITARY SEWER LINES VIA CAMERA. SUMMARY REPORT OF EXISTING CONDITIONS TO TSC PM. TSC PM TO DETERMINE WHETHER NEW SANITARY SEWER LINES ARE TO BE LAID OR IF EXISTING CONDITIONS ARE SUFFICIENT BASED ON SUMMARY REPORT FINDINGS. CONTACT TSC PM TO RECEIVE A COPY OF FMS REPORT FOR WORK TO BE CONDUCTED PRIOR TO ANY CONSTRUCTION OR DEMOLITION OF EXISTING SANITARY SEWER PIPING.
- SNAKE OUT ALL SANITARY LINES TO NEAREST MANHOLE. G.C. TO VERIFY LINE IS CLEAR. IF THERE IS AN OBSTRUCTION IN EXISTING LINES, LANDLORD IS RESPONSIBLE FOR CLEARING THE BLOCKAGE. CONTRACTOR TO PRESENT CERTIFICATE OF COMPLETION.
- CONTRACTOR TO USE WATER RESISTANCE GYP. BD. ON ALL PLUMBING WALLS. EXISTING MENS AND WOMENS RESTROOM, AND JANITORS CLOSET SHALL REMAIN UNLESS EXISTING WALL FINISH IS FOUND TO BE DAMAGED.
- CONTRACTOR TO ADD GYP. BOARD ALONG PERIMETER OF RETAIL SALES AS NECESSARY TO FACILITATE SQUARE INSTALLATION OF FIXTURE WALLS.
- FINISHED SPACE SHALL BE PROVIDED IN A MANNER THAT PREVENTS RODENT INTRUSION. SEAL PENETRATIONS THROUGH EXTERIOR WALL SURFACES WITH AN AEROSOL, MOISTURE-CURING POLYURETHANE FOAM SIMILAR TO 'PUR BLACK' BY TUDOL PRODUCTS, INC OR APPROVED EQUAL. 'PUR BLACK' BY TUDOL PRODUCTS, INC. 508.651.3818.
- J MOLD TO BE USED AT ALL INTERSECTIONS OF GYPSUM BOARD AND ANY OTHER NON-GYPSUM MATERIAL.
- CORNER GUARDS TO BE USED AT ALL INTERIOR OUTSIDE CORNER CONDITIONS.
- CONTRACTOR TO FILL DEMOED TRENCHES WITH GRAVEL AND HIGH STRENGTH CONCRETE. FILL ALL REMAINING CONCRETE CRACKS WITH HIGH STRENGTH CONCRETE. CONTRACTOR TO AGITATE GRAVEL IN ALL REFRIGERATED PITS TO FILL ALL VOIDS PRIOR TO CONCRETE INSTALLATION. CONCRETE TO BE A MINIMUM OF 4" THICK 4,000 PSI WITH 6 X 6 W 1.4 X W 1.4 WWF ON 6" DRAINABLE BASE ON COMPACTED FILL.
- WHERE NEW OR MODIFIED OPENINGS ARE PROVIDED IN CONCRETE TILT-UP PANELS, EXISTING PANELS SHALL BE SCANNED USING GROUND PENETRATING RADAR (GPR) TO VERIFY PANEL THICKNESS AND REINFORCING STEEL IN THE PANELS. THIS INFORMATION SHALL BE PROVIDED TO THE ARCHITECT PRIOR TO MODIFYING THE EXISTING PANEL TO ACCOMMODATE THE NEW / MODIFIED OPENINGS. SEE STRUCTURAL FOR NEW STEEL AT MODIFIED PANELS.

GUIDELINES

TSC'S CONTRACTOR CONSTRUCTION NOTES

(FOR INSTALLING STOCKROOM FIXTURES)

- CONTRACTOR IS TO VERIFY WITH THE STORE MANAGER THAT ALL RACKS ARE PROPERLY BUILT AND POSITIONED.
- DRILL HOLES FOR ANCHORING RACK. GENERALLY, THE HOLE IN THE FOOT OF THE RACK LEG IS 12" IN DIAMETER. VERIFY HOLE SIZE PER BOLT ISSUED BY RACKING MANUFACTURER (1) ONE ANCHOR PER FOOT.
- RACKS ARE TO BE SECURELY ANCHORED WITH ANCHOR BOLTS PER MANUFACTURER SPECIFICATIONS.
- FOLLOWING INSTALLATION, REMOVE ANY RESIDUAL DEBRIS AND CLEAN AREA.
- IF SEISMIC ANCHORING IS REQUIRED THE FIXTURE INSTALLER WILL COMPLETE ALL DRILLING/ANCHORING PER THE SEISMIC PLANS.
- TRACTOR SUPPLY COMPANY RACK STORAGE TO BE NO MORE THAN 10, SEE SPRINKLER INTENT INFORMATION FP1.0.

WALL TYPES

TSC'S CONTRACTOR CONSTRUCTION LEGEND

- EXISTING WALL TO REMAIN
- NEW 20 GAUGE 6" METAL STUDS @ 16" O.C. EXTENDING TO DECK W/ 5/8" GYPSUM BOARD EACH SIDE TO EXTEND 4" ABOVE FINISH CEILING, U.N.O..
- NEW 20 GAUGE 6" METAL STUDS @ 16" O.C. W/ 5/8" GYPSUM BOARD EACH SIDE. STUDS AND GYPSUM BOARD EXTEND TO DECK.
- PLUMBING WALLS TO BE 6" METAL STUDS W/ 1 LAYER 5/8" WATER RESISTANT GYPSUM BOARD ON PLUMBING SIDE TO 9'-0" A.F.F.
- REFER TO KEYNOTES THIS SHEET FOR SOUND INSULATION FOR WALLS
- PET WASH WALL. SEE A4.0 FOR DETAILS
- DRESSING ROOM WALL. SEE A4.0 FOR ENLARGED PLAN
- FIXTURE WALL, PROVIDED AND INSTALLED BY TSC
- AREA SHOWN WITH HATCH TO HAVE NEW CONCRETE



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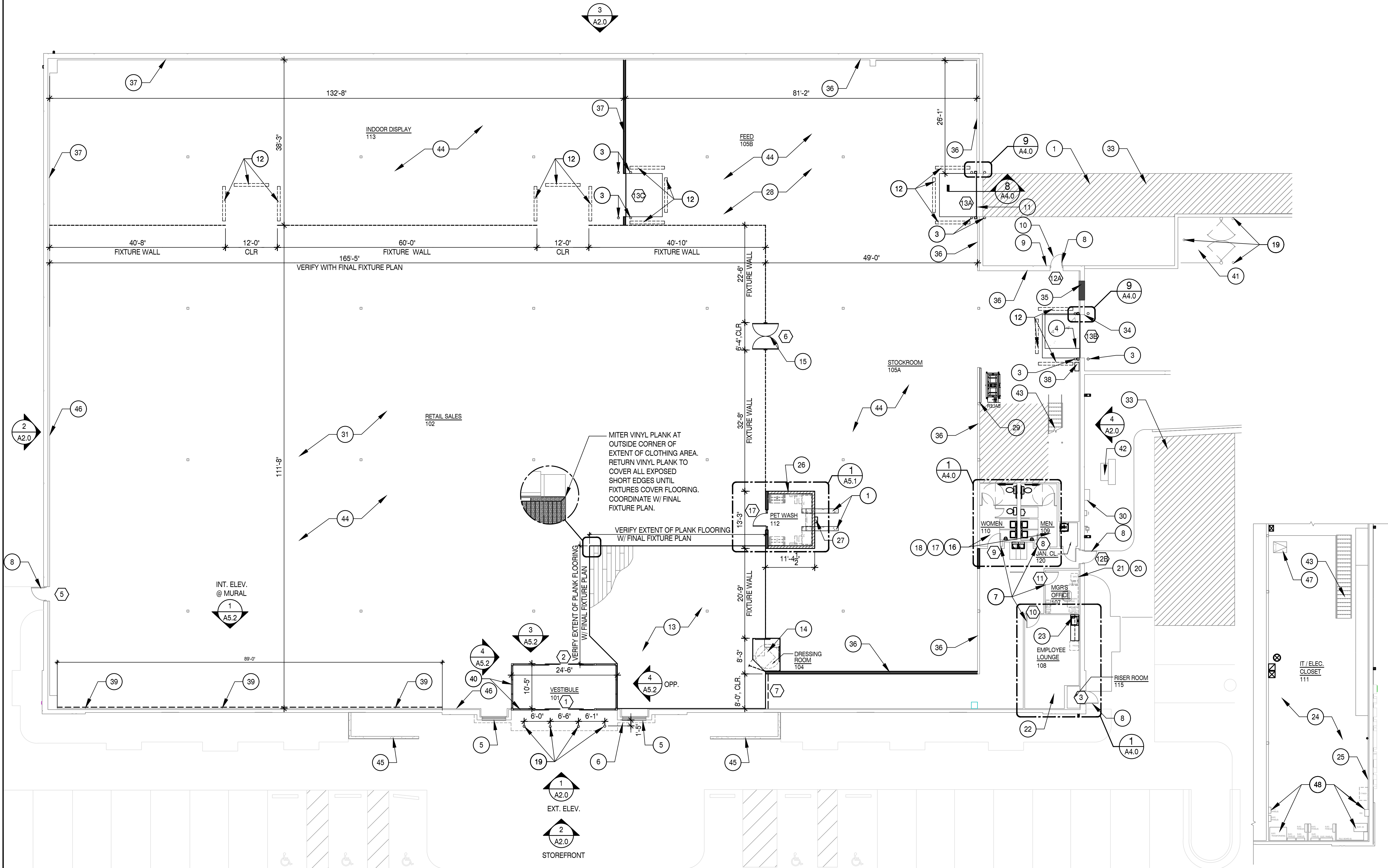
Date: 01.27.2026

Revisions:

Revisions:

Revisions: ARCHITECTURAL FLOOR PLAN

Sheet Number: A1.0



FLOOR PLAN

SCALE:3/32"=1'-0"

MEZZANINE

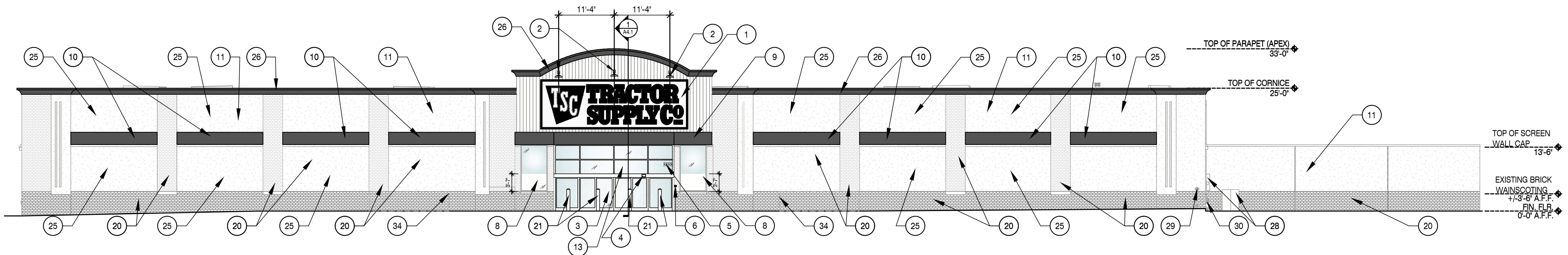
SCALE:3/32"=1'-0"

BUILDING DATA	Required	Proposed	Deviation Requested?	Approved
Rear Setback	43.4'	43.4'	NO	
Front Setback	50.7'	50.7'	NO	
Side Setback	72.9'	72.9'	NO	
Side Setback (abutting street)	N/A	N/A	NO	
Height	75' MAX	33'-4"	NO	

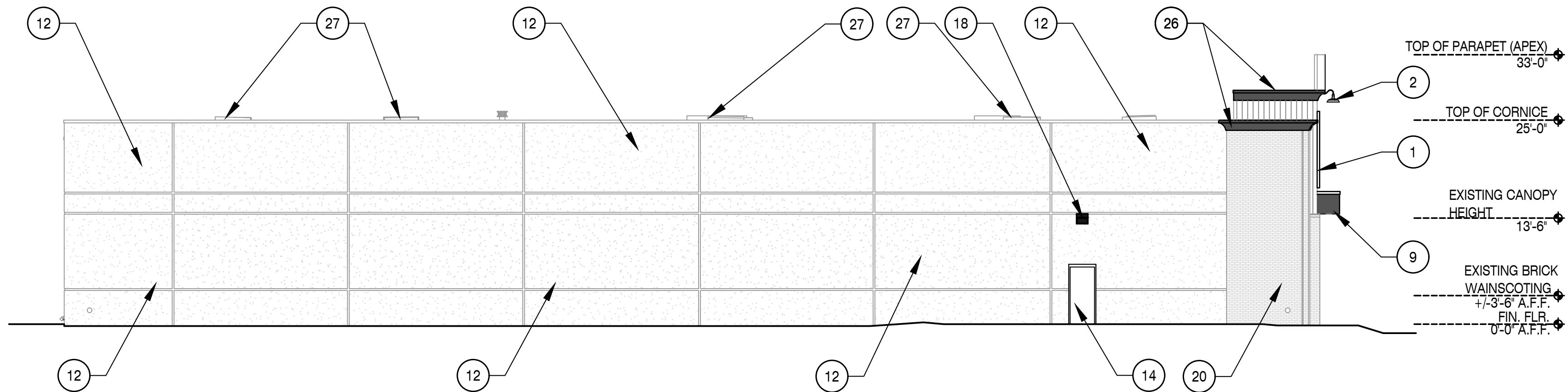
KEYNOTES

TSCS CONTRACTOR CONSTRUCTION NOTES

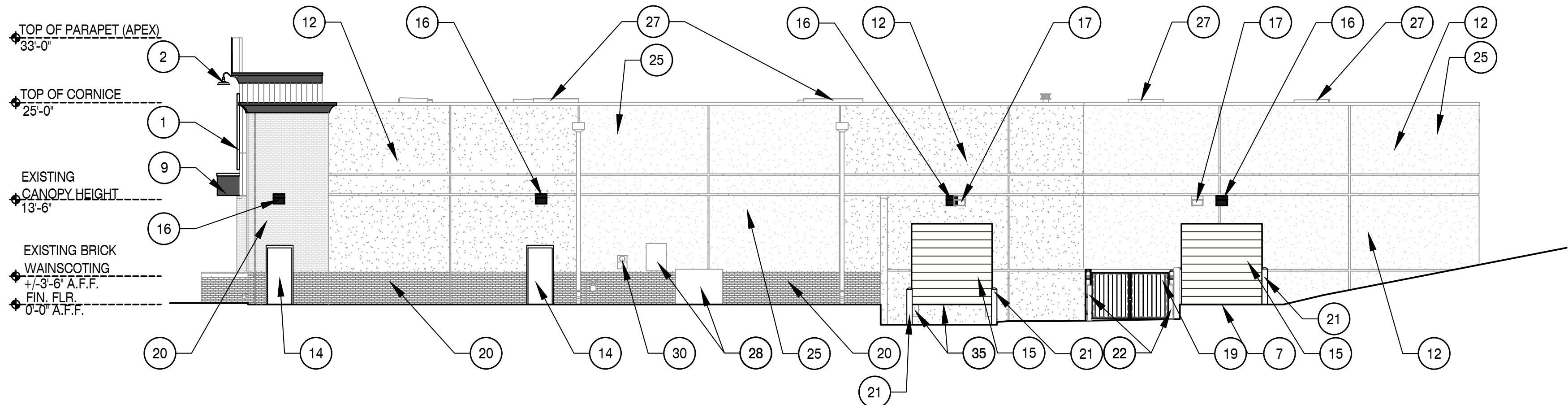
- # CONSTRUCTION NOTES (REFER ONLY TO NOTES THAT ARE INDICATED BY NUMERICAL KEY ON PLAN):
- NEW 10' X 30' LIGHTED SIGN. SIGNAGE FURNISHED AND INSTALLED BY OTHERS. CONTRACTOR TO PROVIDE AND INSTALL JUNCTION BOX AND CIRCUIT TO PANEL, SEE ELECTRICAL.
 - CONTRACTOR TO INSTALL NEW GOOSENECK EXTERIOR LIGHT FIXTURE. BOTTOM OF FIXTURE MOUNTED @ 27'-5" A.F.F. SEE ELECTRICAL.
 - CONTRACTOR TO INSTALL ALUMINUM STOREFRONT ENTRY SYSTEM. SEE DOOR SPECIFICATION A0.1 FOR GLASS TYPE. COLOR TO MATCH EXISTING.
 - AUTOMATIC DOOR OPENER.
 - CONTRACTOR TO PROVIDE BLOCK STYLE NUMBERS FOR ADDRESS, COORDINATE WITH LOCAL FIRE MARSHAL FOR SIZE, COLOR, AND LOCATION OF ADDRESS NUMBERS.
 - SECURITY VENDOR TO PROVIDE AND INSTALL KNOX BOX FOR FIRE DEPARTMENT ACCESS MOUNTED @ 4'-0" A.F.F. COORDINATE EXACT LOCATION WITH LOCAL FIRE MARSHAL.
 - CONTRACTOR TO POUR NEW CONCRETE FOR TOW MOTOR PATH, DIMENSION PER PLAN. SEE A1.0 FOR EXTENTS AND MORE INFORMATION.
 - CONTRACTOR TO INSTALL 'LLUMARY MATTE FROST FILM TO INSIDE OF WINDOWS WHERE INDICATED.
 - EXISTING CANOPY TO RECEIVE 2'-6" SAFETY RED APPLIED METAL STRIPE ON EXISTING CANOPY EFS.
 - CONTRACTOR TO PAINT 2'-6" TALL STRIPE SAFETY RED @ +/-13'-7" A.F.F., SEE COLOR SCHEDULE.
 - CONTRACTOR TO POWER WASH FRONT AND RIGHT SIDE OF BUILDING PRIOR TO PAINT. SEE COLOR SCHEDULE SHEET A0.1.
 - CONTRACTOR TO POWER WASH BACK, LEFT, AND RIGHT SIDE OF BUILDING. TOUCH UP PAINT AS REQUIRED TO MATCH EXISTING.
 - EXISTING STOREFRONT WINDOWS TO REMAIN. CONTRACTOR TO CLEAN AND REPAIR AS NECESSARY.
 - CONTRACTOR TO INSTALL NEW HOLLOW METAL MAN DOOR WHERE INDICATED. SEE SHEET A0.1 FOR DOOR SCHEDULE.
 - CONTRACTOR TO INSTALL NEW 10' X 10' INSULATED SECTIONAL METAL DOOR INSIDE OF BUILDING AT OPENING MODIFIED OPENING. SEE SHEET A0.1 DOOR SCHEDULE.
 - CONTRACTOR TO INSTALL NEW EXTERIOR WALL PACK. SEE ELECTRICAL. MOUNT @ EXISTING WALL PACK HEIGHT, +/-12'-6" A.F.F. UNLESS NOTED OTHERWISE.
 - CONTRACTOR TO REMOVE EXISTING WALL PACK. EXISTING WALL TO BE PATCHED AND REPAIRED AS REQUIRED. REPAIR WALL TO MATCH EXISTING IN TEXTURE AND COLOR.
 - CONTRACTOR TO INSTALL NEW WALL PACK LIGHT FIXTURE WHERE OLD WALL PACK WAS REMOVED. AREA TO BE PATCHED AND REPAIRED AT NEW FIXTURE AS REQUIRED. REPAIR TO MATCH EXISTING WALL IN MATERIAL, TEXTURE, FINISH AND COLOR.
 - DUMPSTER CONCRETE PAD GATE LOCATION.
 - CONTRACTOR TO CLEAN EXISTING BRICK FREE OF ALL DEBRIS AND TUCK POINT FAILED MORTAR.
 - NEW 6" CONCRETE FILLED PIPE BOLLARD, COVER PER COLOR SCHEDULE A0.1. SEE DETAIL 9/A4.0.
 - EXISTING BOLLARD TO REMAIN. REPAIR AS NECESSARY. CONTRACTOR TO PREP AND COVER PER COLOR SCHEDULE A0.1.
 - DOOR BELL LOCATION. MOUNT AT 4'-0" A.F.F.
 - BIG EYE VIEWER LOCATION.
 - PAINT EXISTING, EIFS, FRONT AND RIGHT FACADE URBAN PUTTY.
 - CONTRACTOR TO PAINT EXISTING COORPING AND EIFS CORNICE SAFETY RED. SEE COLOR SCHEDULE.
 - EXISTING HVAC LOCATIONS. CONTRACTOR TO INSTALL ADDITIONAL UNITS TO SATISFY RATE OF 1 TON PER 450 - 550 SQ. FT. SEE MECHANICAL FOR TSC WORK.
 - EXISTING TRANSFORMER AND ELECTRIC METER LOCATION.
 - EXISTING FDC GAS LOCATION.
 - EXISTING WATER METER LOCATION.
 - MONUMENT SIGN WITH BRICK VENEER. SIGN DESIGN BY SIGNAGE SUPPLIER AND PERMITTED OUTSIDE OF THIS SCOPE.
 - ALUMINUM CAP, FLASH EXTERIOR OF BRICK VENEER.
 - BRICK VENEER TO MATCH EXISTING BRICK TO REMAIN AT MAIN BUILDING.
 - EXISTING SHOPPING CART CORRAL TO REMAIN. CONTRACTOR SHALL VERIFY CART CORRAL IS IN GOOD WORKING ORDER AND FREE FROM ALL DEBRIS.
 - REPLACE EXISTING DOCK BUMPERS WITH NEW.



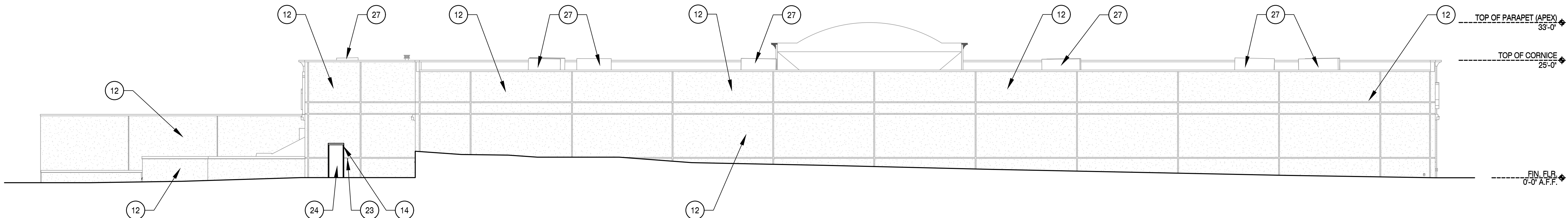
1 ELEVATION
SCALE: 3/32"=1'-0"
FRONT



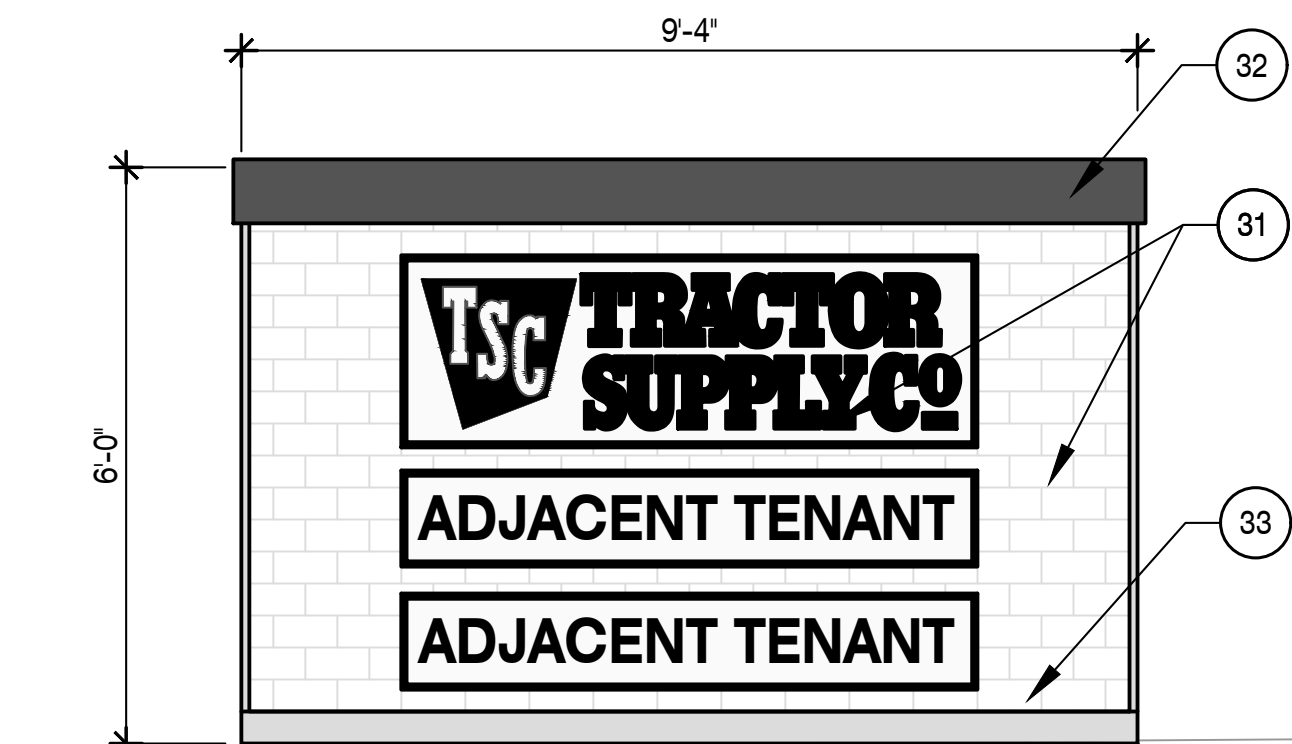
2 ELEVATION
SCALE: 3/32"=1'-0"
LEFT



3 ELEVATION
SCALE: 3/32"=1'-0"
RIGHT



4 ELEVATION
SCALE: 3/32"=1'-0"
REAR



5 ELEVATION
SCALE: 1/2"=1'-0"
MONUMENT SIGN



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Revisions:

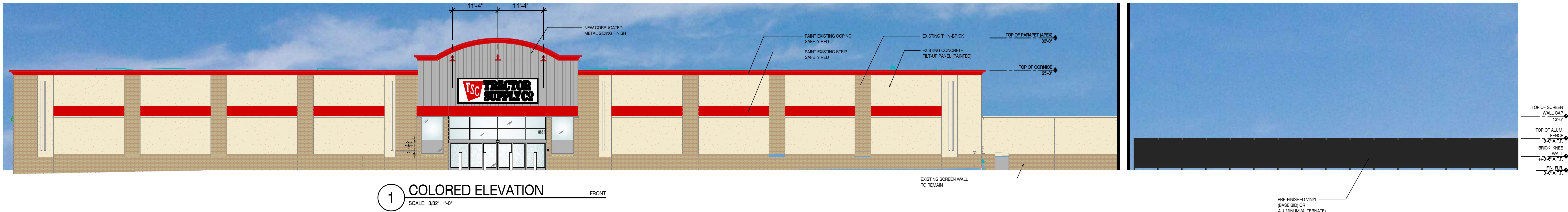
Revisions:

Revisions:

ARCHITECTURAL ELEVATIONS

Sheet Number: A2.0

BUILDING DATA	Required	Proposed	Deviation Requested?	Approved
Rear Setback	43'-4"	43'-4"	NO	
Front Setback	50'-7"	50'-7"	NO	
Side Setback	72'-9"	72'-9"	NO	
Side Setback (abutting street)	NA	NA	NO	
Height	75', MAX	33'-4"	NO	



1 COLORED ELEVATION
SCALE: 3/32"=1'-0"
FRONT



ALUMINUM FENCE (90% OPACITY)



COMPOSITE FENCE (90% OPACITY)



ALUMINUM FENCE (90% OPACITY)



VINYL FENCE (100% OPACITY)



COMPOSITE FENCE (100% OPACITY)



COMPOSITE FENCE (100% OPACITY)



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Revisions:

Revisions:
COLOR ARCHITECTURAL ELEVATIONS

Sheet Number: A2.1