

C-001	COVER SHEET
C-002	EXISTING CONDITIONS
C-003	PROPOSED CONDITIONS
C-004	PROPOSED UTILITY PLAN
L-100	LANDSCAPE PLAN
ME-201P	SITE PLAN PHOTOMETRICS
A-201	EXTERIOR ELEVATIONS
A-202	EXTERIOR ELEVATIONS
AS-102	DUMPSTER ENCLOSURE



A north arrow pointing upwards, labeled "NORTH". Below it is a graphic scale bar with markings at 100, 0, 100, and 200 feet. The text "SCALE IN FEET" and "HORIZONTAL SCALE 1\"=100'" is printed below the bar.



BEGINNING AT THE POINT OF INTERSECTION OF THE PROLONGATION OF THE EAST LOT LINE OF LOT 38 AND THE CENTERLINE OF WEST 75TH STREET, THENCE WESTERLY ALONG SAID CENTERLINE OF WEST 75TH STREET TO THE INTERSECTION OF THE PROLONGATION OF THE WEST LOT LINE OF LOT 34; THENCE NORTHERLY ALONG THE WEST LOT LINE OF LOT 34 TO THE NORTHWEST CORNER OF LOT 34; THENCE EASTERLY ALONG THE NORTH LOT LINE OF LOT 34, 35, 36 AND 38 TO THE EAST CORNER OF LOT 38; THENCE SOUTHERLY ALONG THE EAST LOT LINE OF LOT 38 TO THE INTERSECTION OF THE PROLONGATION OF THE EAST LOT LINE OF LOT 38 WITH THE CENTERLINE OF WEST 75TH STREET, THE POINT OF BEGINNING.

222 W 75th Street
Kansas City, Missouri 64114

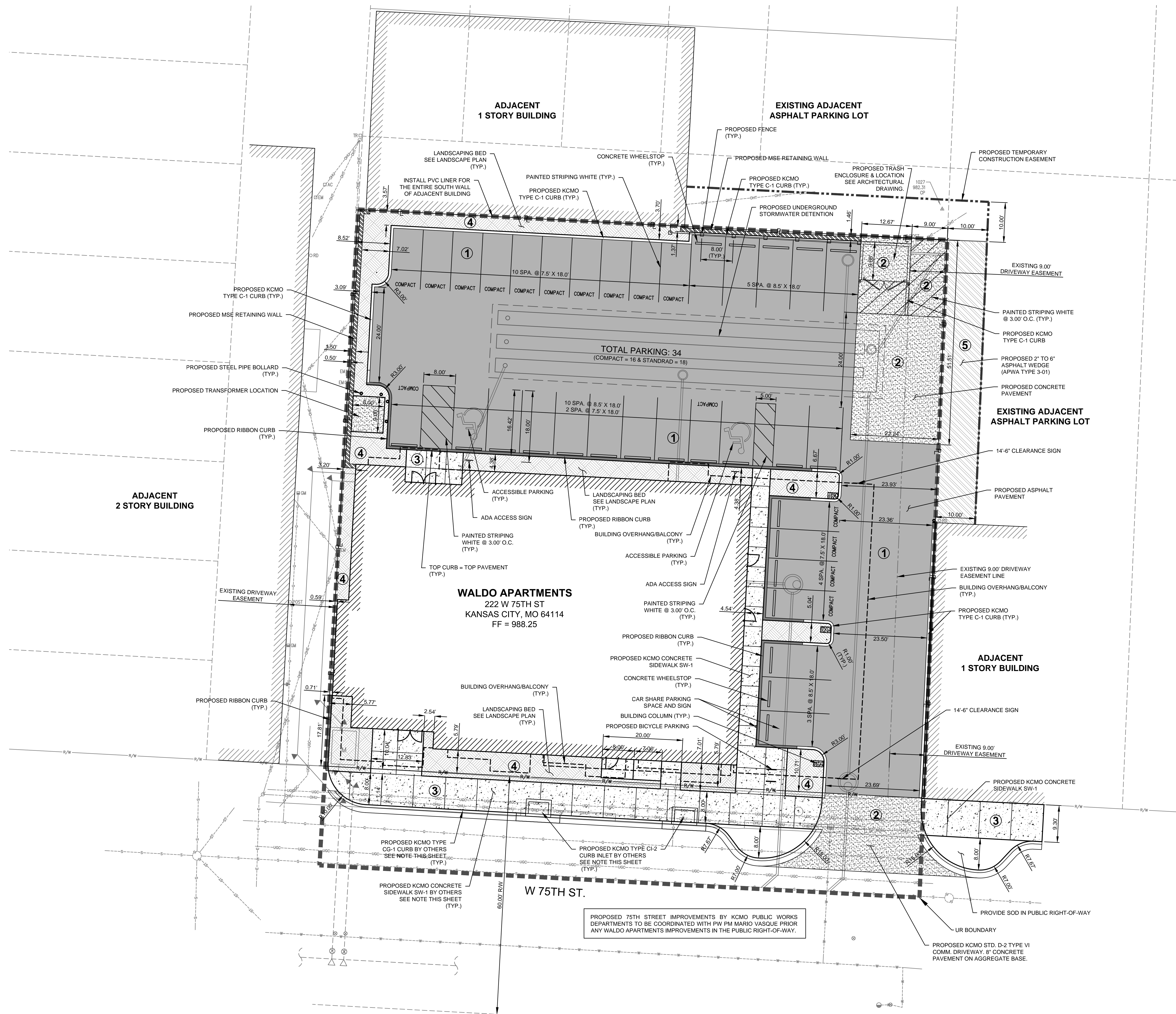


A north arrow pointing upwards, labeled "NORTH". Below it is a graphic scale bar with markings at 100, 0, 100, and 200 feet. The text "SCALE IN FEET" and "HORIZONTAL SCALE 1\"=100'" is printed below the scale bar.

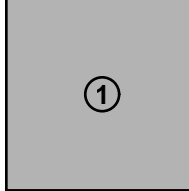
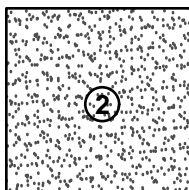

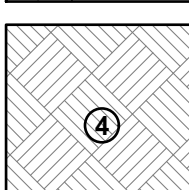
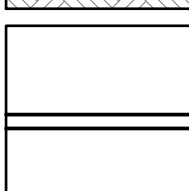
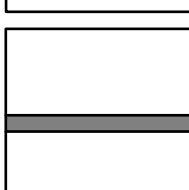
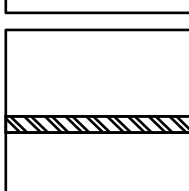
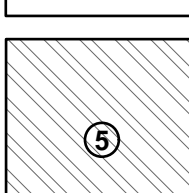
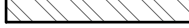
Waldo Apartments

Icehouse Development, LLC

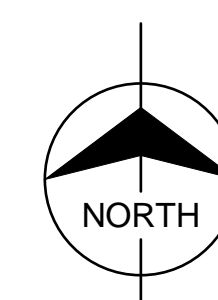
222 W 75th Street
Kansas City, Missouri 64114



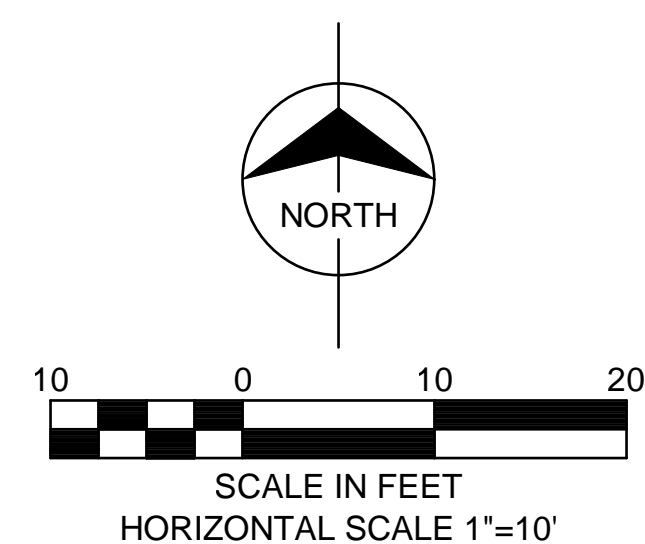
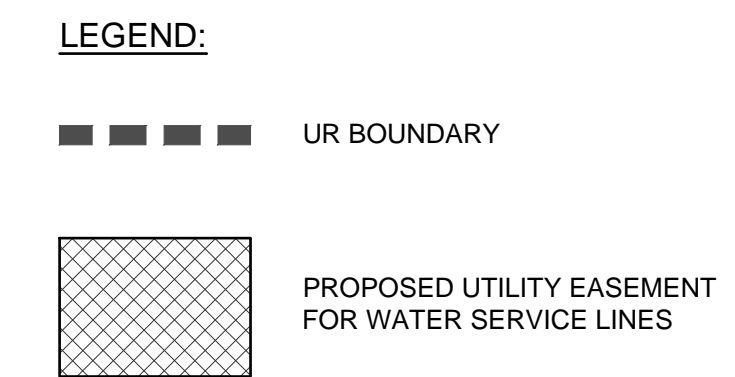
SITE LEGEND:

- | | |
|---|---------------------------------|
|  | ASPHALT PAVEMENT |
|  | CONCRETE PAVEMENT/DRIVEWAY |
|  | CONCRETE SIDEWALK |
|  | LANDSCAPING BED |
|  | CONCRETE CURB |
|  | CONCRETE RIBBON CURB |
|  | RETAINING WALL |
|  | PROPOSED 2' TO 6" ASPHALT WEDGE |
|  | UR BOUNDARY |


ALL IMPROVEMENT IN THE PUBLIC
RIGHT-OF-WAY TO BE COORDINATED WITH THE
PROPOSED WORNALL ROAD IMPROVEMENTS
74TH STREET TO 79TH STREET.
CITY PROJECT NUMBER 89008516.
FEDERAL PROJECT STP-3301 (509)



SCALE IN FEET
HORIZONTAL SCALE 1"=10'



222 W 73rd Street
Kansas City, Missouri 64114

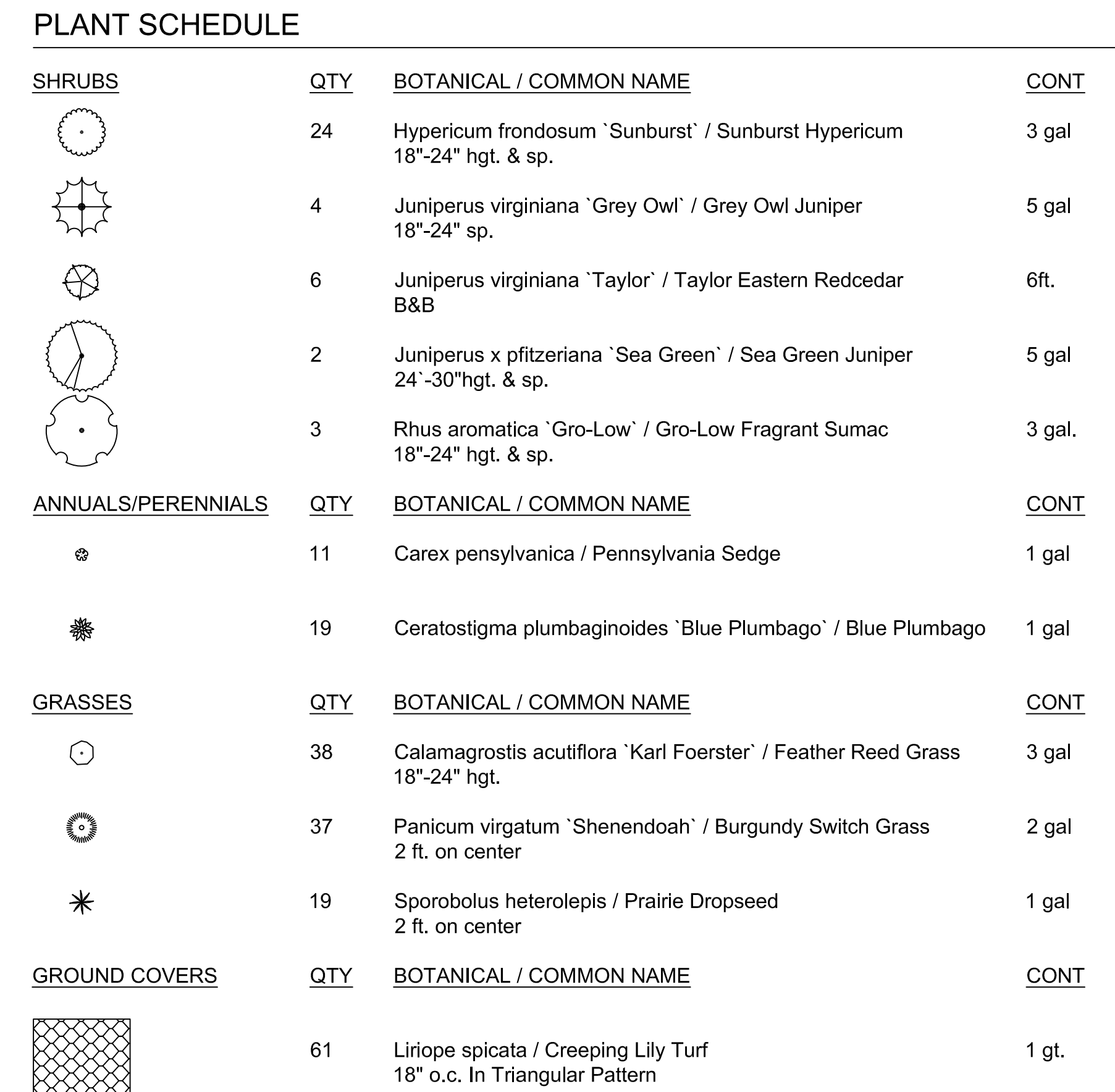
	Revisions:
Project #:	77-1600

UR REZONING PLAN

FEBRUARY 14, 2020

PROPOSED UTILITY PLAN

C-004



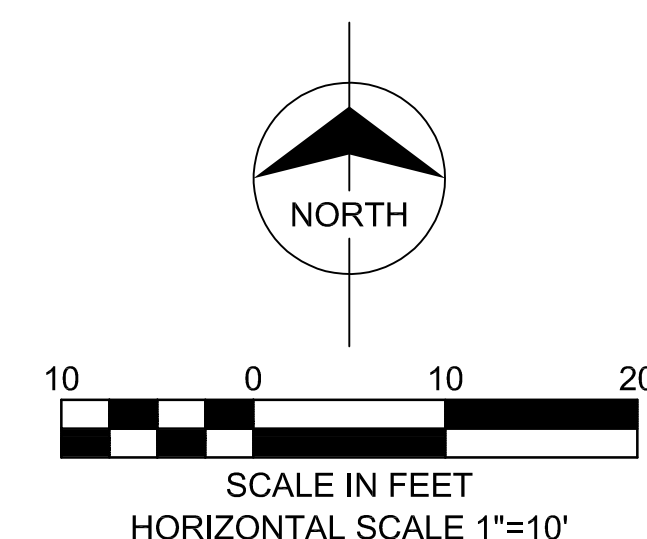
1. CONTRACTOR SHALL VERIFY THE EXISTENCE AND LOCATION OF ALL UTILITIES BEFORE STARTING ANY WORK.
2. CONTRACTOR SHALL VERIFY ALL LANDSCAPE MATERIAL QUANTITIES AND SHALL REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
3. CONTRACTOR SHALL MAKE NO SUBSTITUTIONS WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT.
4. CONTRACTOR SHALL STAKE LAYOUT PLAN IN THE FIELD AND SHALL HAVE THE LAYOUT APPROVED BY THE LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH THE INSTALLATION.
5. ALL LANDSCAPE BEDS SHALL BE TREATED WITH THE PRE-EMERGENT HERBICIDE PRE M 60 DG (GRANULAR) OR AN APPROVED EQUAL IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
6. FERTILIZER FOR ALL LANDSCAPE BEDS AND CONTAINER STOCK AREAS SHALL BE AS DETERMINED BY SOIL TESTS.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE PLANTS UNTIL COMPLETION OF THE JOB AND ACCEPTANCE BY THE OWNER.
8. CONTRACTOR SHALL WARRANTY ALL LANDSCAPE WORK AND PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE OF THE WORK BY THE OWNER.
9. CONTRACTOR SHALL PROVIDE MAINTENANCE OF ALL LANDSCAPING FOR A PERIOD OF ONE (1) YEAR AFTER THE DATE OF SUBSTANTIAL COMPLETION IF THE OWNER DESIRES.
10. ANY PLANT MATERIAL WHICH DIES DURING THE ONE YEAR WARRANTY PERIOD SHALL BE REPLACED BY THE CONTRACTOR DURING NORMAL PLANTING SEASONS.
11. ALL PLANT NAMES ON THE PLANT LIST CONFORM TO THE STANDARDIZED PLANT NAMES PREPARED BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURAL NOMENCLATURE OR TO NAMES GENERALLY ACCEPTED IN THE NURSERY TRADE.
12. ALL PLANT MATERIAL SHALL BE SPECIMEN QUALITY STOCK AS DETERMINED IN THE "AMERICAN STANDARDS FOR NURSERY STOCK" PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMAN. FREE OF PLANT DISEASES AND PESTS. OF TYPICAL GROWTH OF THE SPECIES AND HAVING A HEALTHY, NORMAL ROOT SYSTEM.
13. SIZES INDICATED ON THE PLANT LIST ARE THE MINIMUM, ACCEPTABLE SIZE. IN NO CASE WILL SIZES LESS THAN THE SPECIFIED SIZES BE ACCEPTED.
14. PLANTS SHALL NOT BE PRUNED PRIOR TO DELIVERY TO THE SITE OR AFTER INSTALLATION EXCEPT FOR THOSE BRANCHES THAT HAVE BEEN DAMAGED IN SOME WAY.
15. PLANTS SHALL NOT HAVE NAME TAGS REMOVED PRIOR TO FINAL INSPECTION.
16. ALL PLANTINGS SHALL RECEIVE A COMMERCIAL TRANSPLANT ADDITIVE PER MANUFACTURER'S RECOMMENDED RATES AND INSTRUCTIONS FOR APPLICATION.
17. RIVER JACKS SHALL BE 3" DEPTH OF 1/2" SIZE MIN RIVER JACKS OVER A FELT TYPE SOIL SEPARATOR. CUT INTO THE GROUND WITH A TRENCHED EDGE ALONG PAVEMENT EDGES 4' DEEP.
18. OTHER MULCH AS LABELED SHALL BE 3" DEPTH OF KANSAS RIVER ROCK 2" SIZE OVER A FELT TYPE SOIL SEPARATOR CUT INTO THE GROUND WITH A TRENCHED EDGE.
19. SOIL MIX FOR ALL PLANT BEDS SHALL BE 50% TOPSOIL, 30% COMPOST AND 20% COARSE SAND. EXISTING SOIL SHALL BE REPLACED TO A DEPTH OF 18".
20. SUCCESSFUL LANDSCAPE BIDDER SHALL BE RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF AN IRRIGATION SYSTEM TO BE APPROVED BY THE OWNER PRIOR TO CONSTRUCTION SHOULD THE OWNER DESIRE AN IRRIGATION SYSTEM.

88-425-03-C Street Trees 1/30' of Right-Of-Way 125 ft. After Subtracting Drive Entries		Required 4	Provided *0
88-425-04-C Unused Areas	1 tree/5000sq. ft. of principle building 6916 sq. ft.	1	**0
88-425-05-B Parking Screening Adjacent To Streets 1 tree/30 ft. 16 ft. and continuous evergreen shrubs		.5 Continuous	***0 Continuous
88-425-06-B Minimum Interior Landscape Area		1190sf.	****312sf.

Diagram illustrating the installation of a tree pit, showing the following components and labels:

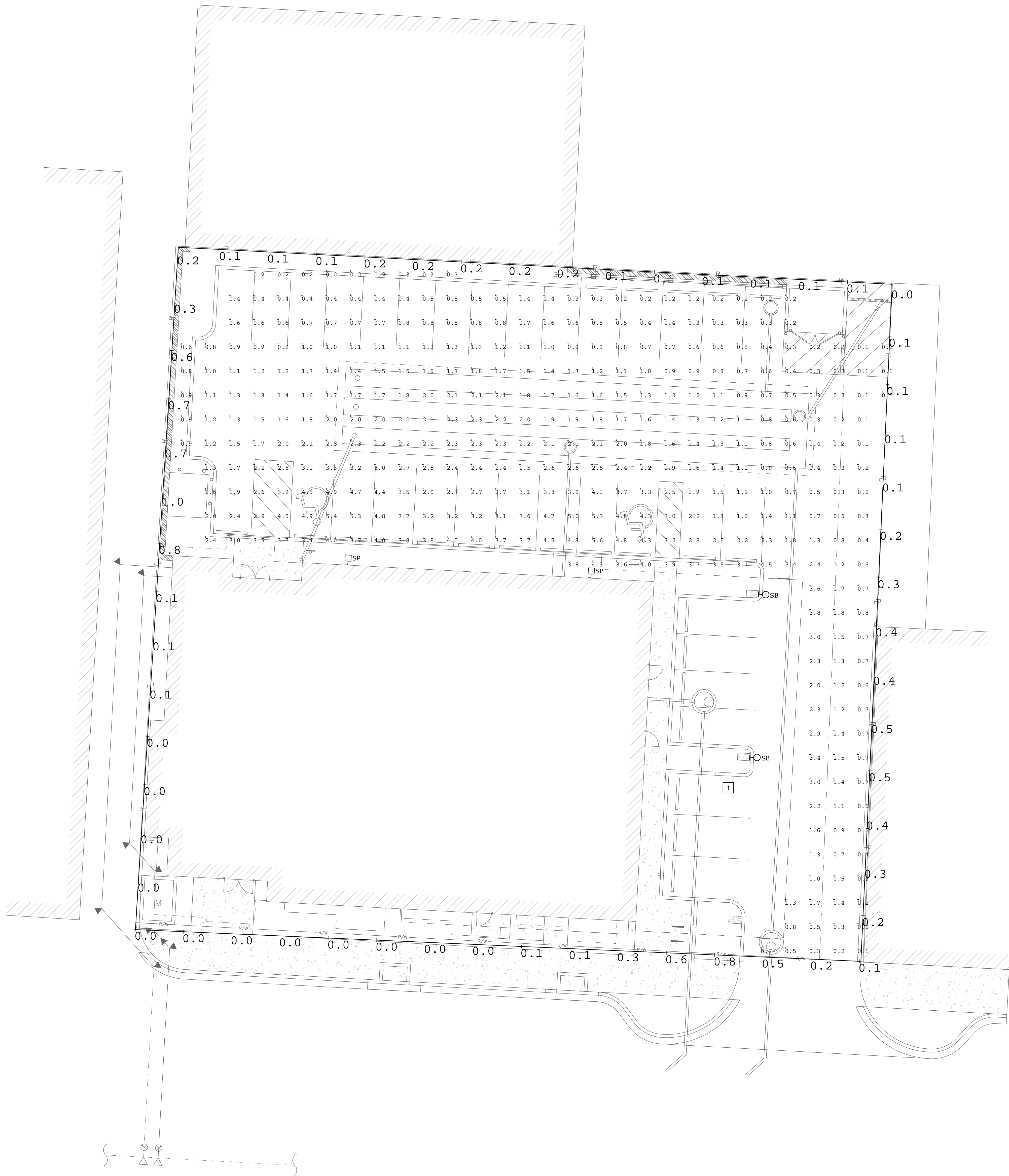
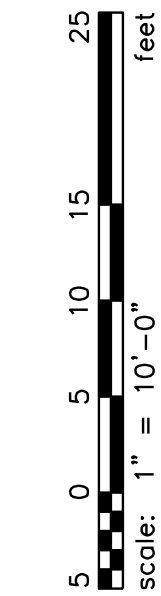
- REMOVE BURLAP FROM BOTTOM OF BALL. PLACE SHRUB IN HOLE. CAREFULLY REMOVE REST OF BURLAP & BACKFILL WITH SPECIFIED SOIL
- CENTER SHRUB
- 3' MIN.
- SPECIFIED SOIL MIX, SEE NOTE #19
- SEE PLAN LABELS FOR MULCH TYPE 3" DEEP OVER NON WOVEN WEED BARRIER
- FINISHED GRADE
- 4" TRENCHED EDGE
- WELL SETTLED TO IMPEDE PLANTS SINKING
- BACK OF CURB
- SIDEWALK OR HEAD IN PARKING
- 18" MIN.

NO SCALE



Waldo Apartments - Kansas City, MO
Project # 190102
Last Correction By: Charles Boody
Plotted By: Charles Boody
Date: February 13, 2020 8:39:18 AM

PROJECT NAME: WALDO APARTMENTS
LAST CORRECTION BY: CHARLES BOODY
PLOT DATE: FEBRUARY 13, 2020 8:39:18 AM



SITE PLAN - PHOTOMETRICS
SCALE: 1" = 10'-0"

ELECTRICAL PLAN NOTES:
1 TYPE G UNDER EXTERIOR CANOPY IS ALSO CONSIDERED IN THIS CALCULATION. REFER TO INTERIOR LIGHTING PLANS FOR LOCATION REFERENCE.

SITE LIGHTING FIXTURE SCHEDULE						
TYPE	DESCRIPTION	MOUNTING	LAMP	VOLTS	MANUFACTURER	V-A
SP	BUILDING MOUNTED SITE LIGHT, DIE CAST ALUMINUM HOUSING, INTEGRAL HEAT SINK, IP66 RATING, TYPE IV FORWARD THROW DISTRIBUTION, 600mA DRIVE CURRENT, 80 CRI, ARCHITECT TO SELECT FINISH.	BUILDING WALL 15'-10" AFF	LED 3000K 9,829 LUMENS	120	COOPER SERIES GLEON GALLEON LED OR APPROVED EQUAL	96
SM	Z EXTERIOR LINEAR MOUNTED ON ADJUSTABLE KNUCKLE ON 3" ARM, 10 DEGREE X 60 DEGREE WALL GRAZE OPTIC, MOUNT FIXTURE 6" ABOVE FINISH GRADE.	BUILDING WALL	LED 3000K 350 LMS/FT	277	LUMEN PULSE LUMENFACADE NANO OR APPROVED EQUAL	SW PER FT
SB	ARCHITECTURAL WALL SCONCE LED FIXTURE, VISUAL COMFORT WIDE DISTRIBUTION, ARCHITECT TO SELECT FINISH, FULL-CUT OFF, WET LOCATION LISTED.	BUILDING WALL 12'-10" AFF	LED 3000K 1,530 LUMENS	120	LITHONIA SERIES WST OR APPROVED EQUAL	12

NOTE: FOR PARKING LOT SITE LIGHTING, BASIS OF DESIGN IS THE SCHEDULED COOPER GLEON GALLEON FIXTURE. ANY OTHER SUBSTITUTES MUST INCLUDE A FOOTCANDLE LAYOUT MEETING THE LEVELS OF THE CURRENT DESIGN.

CALCULATION SUMMARY					
AREA NAME	AVE	MAX	MIN	AVEMIN	MAXMIN
PARKING LOT AND DRIVE LANE	1.6	5.6	0.1	16.3	56.0
PROPERTY LINE	0.2	1.0	0.0	N.A.	N.A.

NOTES:
1. ILLUMINANCE VALUES ARE IN FC.
2. MAINTENANCE FACTOR OF 0.9 WAS USED AS FIXTURES ARE LED.

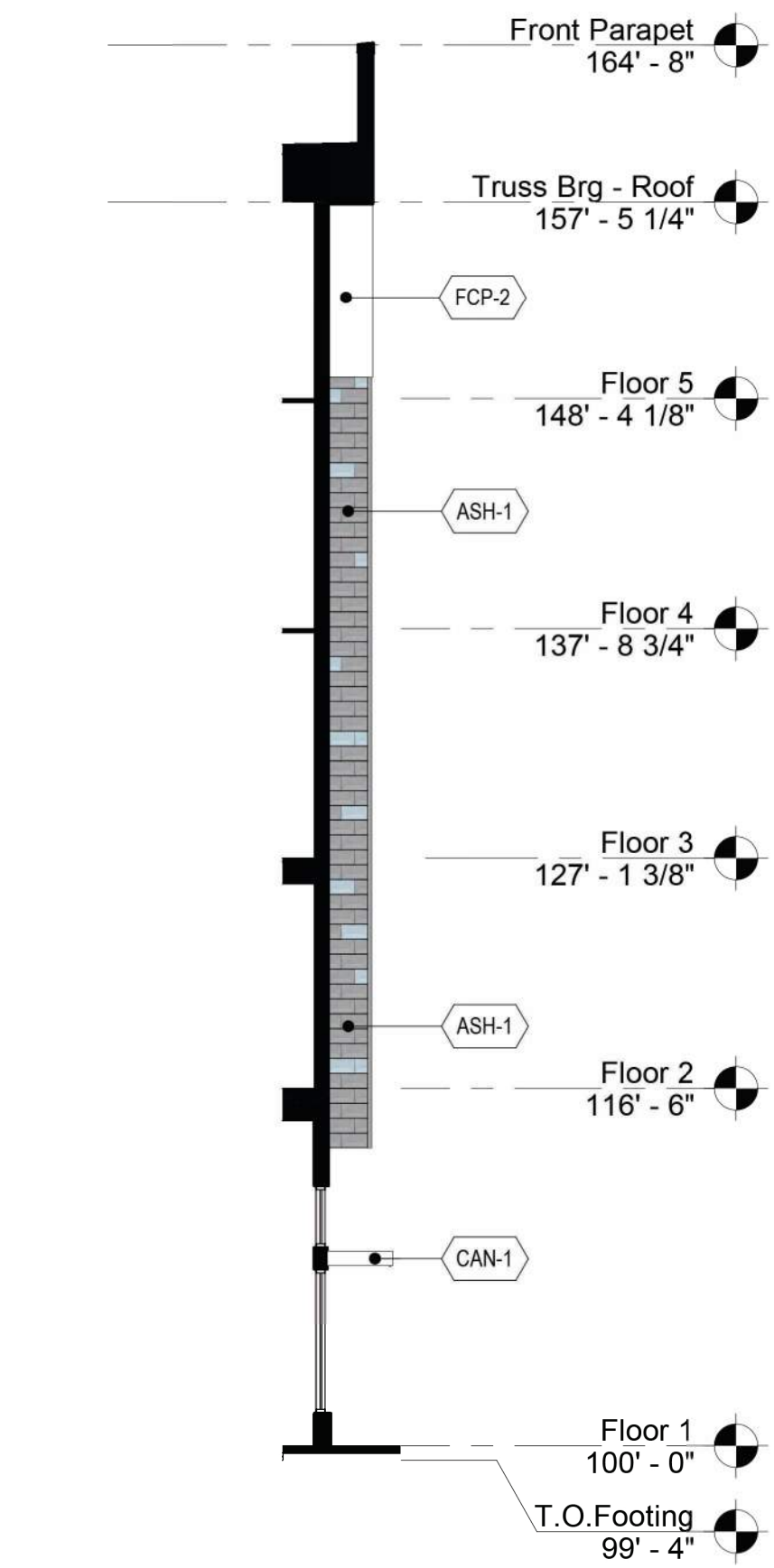
Waldo Apartments

Icehouse Development, LLC

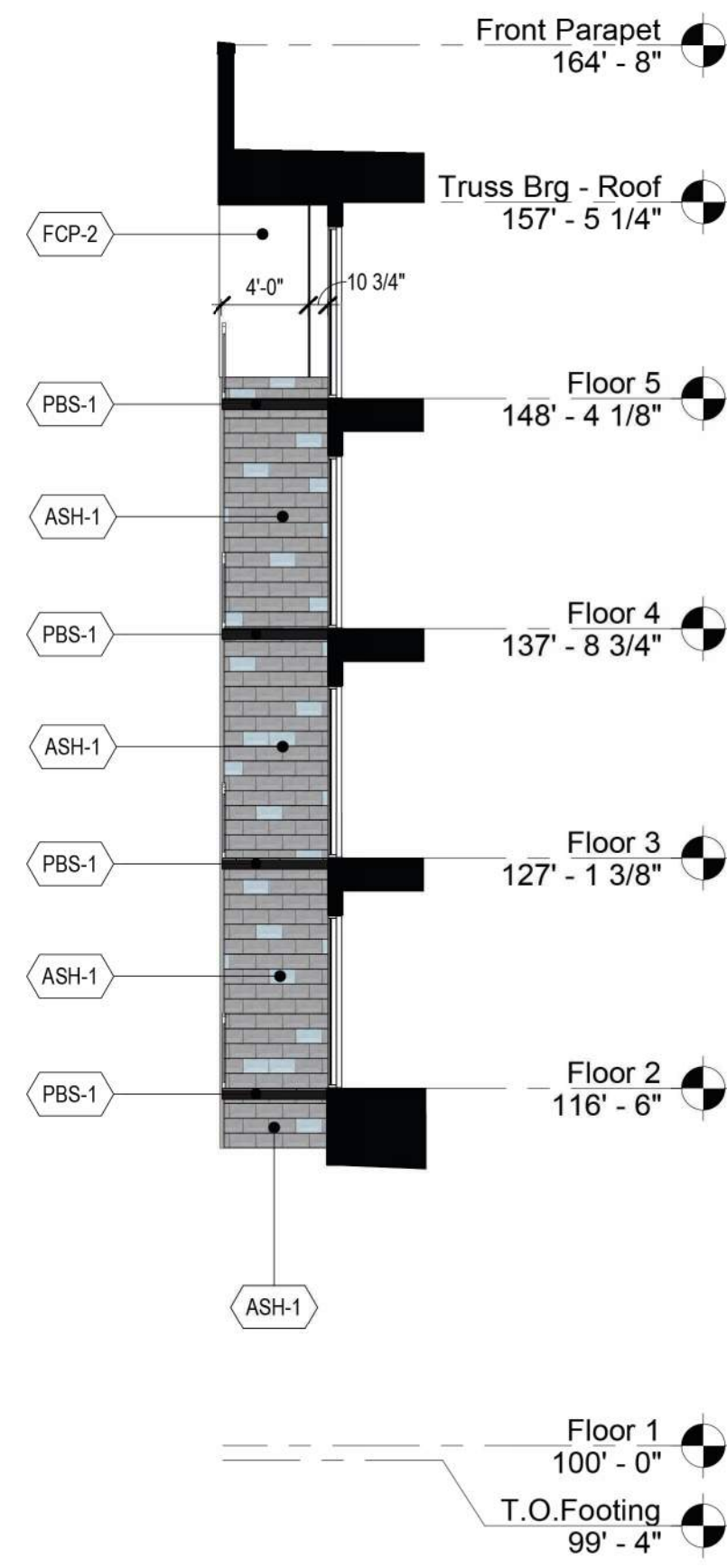
222 W 7th Street
Kansas City, Missouri 64114

MATERIALS

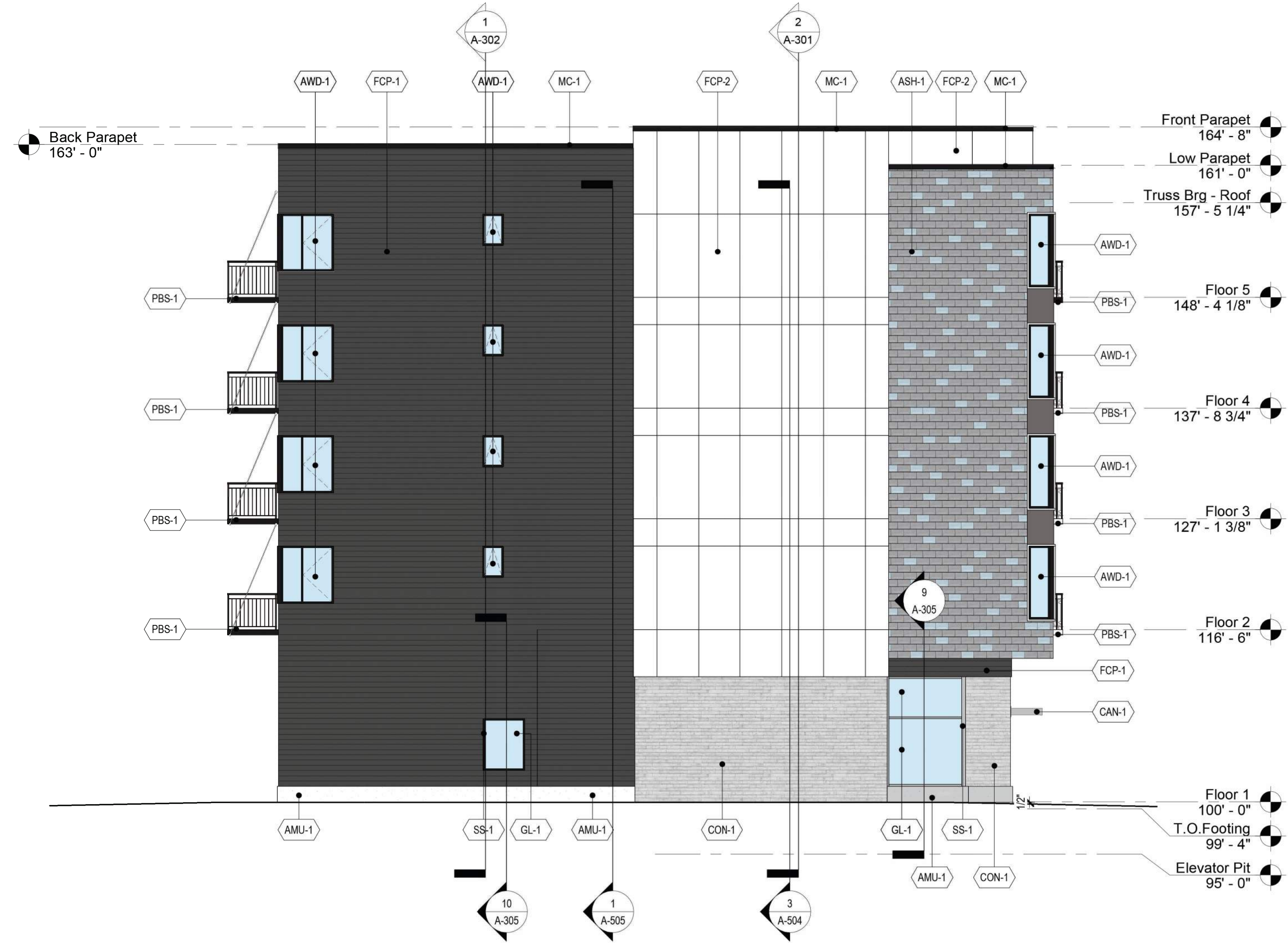
AMU-1	ARCHITECTURAL MASONRY UNIT MANUFACTURER: ROCKCAST OR EQUAL COLOR: LIGHT SUEDE
AS-1	PERFORATED ARCHITECTURAL SCREEN ATTACHED TO CLEAR ANODIZED ALUMINUM FINISH: PERFORATED ARTISAN PANELS, INC. OR EQUIVALENT. PATTERN 68-6 MATRIX FINISH: PEARL BLUE GLASS OR COATED FINISH: MATCH TO MATCH SAMPLE PROVIDED BY ARCHITECT
ASH-1	ARCHITECTURAL SHINGLES MANUFACTURER: MILLER/NUM FORMS ZALAM LARGE TILE CUPPED COLOR: CUSTOM BLENDED 88% PRE-PATINA II W/ 12% BLACK
AWO-1	APARTMENT WINDOWS AND DOORS MANUFACTURER: PELLA COLOR: BLACK
CAN-1	METAL CANOPY AT RETAIL LEVEL MANUFACTURER: MAPES CANTILEVER SUPERGRADE COLOR: CLEAR ANODIZED ALUMINUM
COL-1	CAST IN PLACE CONCRETE COLUMN; RE-STRUCTURAL
CON-1	CAST IN PLACE CONCRETE WALL W/ DEBRID FORMLINER MANUFACTURER: FITZGERALD FORMLINERS COLOR: FINISH: NATURAL CONCRETE / 16923 BAGS
FCP-1	FIBER CEMENT LAP SIDING MANUFACTURER: JAMES HARDIE COLOR: SHOU SUGI BAN FINISH: SMOOTH
FCP-2	FIBER CEMENT LAP SIDING 7 1/4" FINISH: SMOOTH COLOR: SHOU SUGI BAN
GL-1	GLAZING INSULATED LOW GLAZING MANUFACTURER: AGC ENERGY SELECT 40 COLOR: CLEAR
MC-1	PRE-FINISHED METAL CORNER AND SHEET MANUFACTURER: BEADCO COLOR: LEAD COLORED FINISH: LEAD COLORED
PBS-1	PRE-FABRICATED BALCONY SYSTEM MANUFACTURER: INNOTECH
SB-1	ALUMINUM STOREFRONT SYSTEM MANUFACTURER: KAWNEER TRIFAB VEIN: CLEAR ANODIZED COLOR: CLEAR ANODIZED



East Elevation at South Balconies




South Elevation at East Balconies



West Elevation 2



South Elevation 1

	Revisions:
Project #:	190102
<h2 style="text-align: center;">UR REZONING PLAN</h2>	
<p style="text-align: center;">February 14, 2020</p>	

Icehouse Development, LLC
222 W 75th Street

MATERIALS	
AMU-1	ARCHITECTURAL MASONRY UNIT MANUFACTURER: ROCKCAST OR EQUAL COLOR: WHITE
AS-1	PERFORATED ARCHITECTURAL SCREEN ATTACHED TO CLEAR ANODIZED ALUMINUM FRAME MANUFACTURER: ARTISAN PANELS, INC. OR APPROVED EQUAL PATTERN: 65-MATRIX COLOR/FINISH: BLUE GLOSS POWDER COATED FINISH TO MATCH SAMPLE PROVIDED FINISH BY ARCHITECT
ASH-1	ARCHITECTURAL SHINGLES MANUFACTURER: MILLERSON FORMS ZALMAG LARGES CUT SHEET COLOR: CUSTOM BLEND 88% PER-PATINA II WITH 12% NATURAL
AWD-1	ADJUSTED WINDOWS AND DOORS MANUFACTURER: PELLA COLOR: BLACK
BN-1	CLEAR ANODIZED ALUMINUM BREAK METAL TO MATCH STOREFRONT
CM-1	METAL CANOPY AT RETAIL LEVEL MANUFACTURER: MAPES CANTEILER SUS304 STAINLESS STEEL COLOR: CLEAR ANODIZED ALUMINUM
COL-1	CAST IN PLACE CONCRETE COLUMN, RE- STRUCTURAL
CON-1	APARTMENT IN PLACE CONCRETE WALL W/ DECORATIVE FORMLINER MANUFACTURER: FITZGERALD FORMLINERS SUS304 STAINLESS STEEL COLOR: 18923 BARNSHOD
ED-1	FLUSH HOLLOW CORE STEEL DOOR WITH HIGH PERFORMANCE COATING COLOR: FINISH WHITE, SEMI-GLOSS FINISH REFER TO SPEC. FOR HIGH-PERFORMANCE COATING PROPERTIES
FCP-1	FIBER CEMENT PLANK SIDING MANUFACTURER: JAMES HARDIE - HARDIEPLANK PLANK SIDING 1/4" x 12" FINISH: SMOOTH COLOR: SHOU SUGI BAN
FCP-2	FIBER CEMENT RAINSCREEN PANEL SYSTEM MANUFACTURER: JAMES HARDIE - REVEAL PANEL WITH CLEAR ANODIZED SURROUND TRIM OR ALUMINUM EASY TRIM REVEAL SYSTEM WITH REVEAL COUNTERSUNKS FASTENERS COLOR: FINISH WHITE
GL-1	CLEAR INSULATED LOW GLAZING MANUFACTURER: AGC ENERGY SELECT 40 PREFINISHED METAL CLIP AND SHEET METAL MANUFACTURER: BERRIDGE MFG. COLOR/FINISH: LEAD-COTE
PBS-1	PREMANUFACTURED BALCONY SYSTEM MANUFACTURER: INOTECH
SS-1	STAINLESS STEEL STOREFRONT MANUFACTURER: KAWNEER RITE-FAB VERGLAZE 45-11 COLOR/FINISH: CLEAR ANODIZED
WS-1	NATURAL WOOD SOFFIT 8" WIDE PREFINISHED CEDAR PLANK



East Elevation 2



North Elevation 1

