

Waldo Apartments

Icehouse Development, LLC

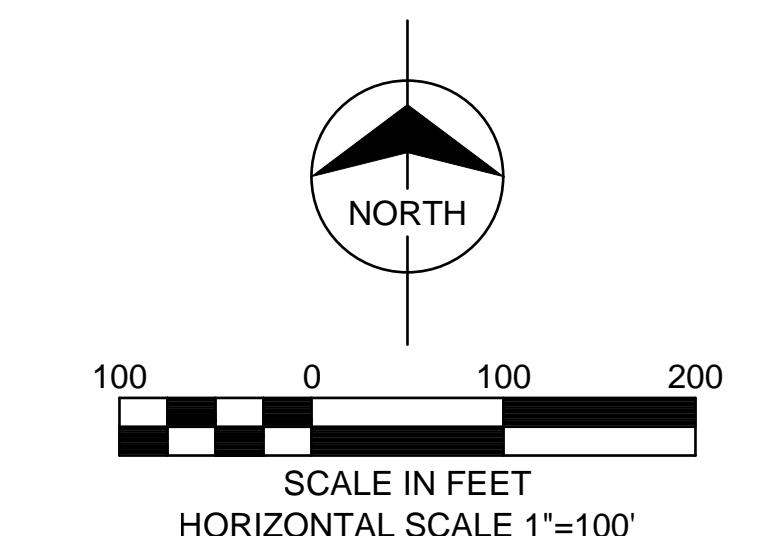
222 W 75th Street

Kansas City, Missouri 64114



OWNERSHIP INFORMATION

PARCEL NO.	OWNER	ADDRESS	PARCEL NO.	OWNER	ADDRESS
①	WALDO ICE HOUSE LLC	7441 A BROADWAY, KANSAS CITY, MO 64114	⑦	JACHE LLC	817 WESTPORT RD, KANSAS CITY, MO 64111
②	TURLEY JOHN W	18308 S STATE ROUTE D, BELTON, MO 64012	⑧	RAMM ROBERT PAUL TRUSTEE	221 W 74TH TER, KANSAS CITY, MO 64114
③	SAN ANGELO REALTY LLC	10689 N PENNSYLVANIA ST, INDIANAPOLIS, IN 46280	⑨	VITALE ROSEMARY-TRUSTEE	PO BOX 7027, OVERLAND PARK, KS 66207
④	GREGORY MCGEE CO LLC	PO BOX 480912, KANSAS CITY, MO 64148	⑩	AMC WALDO LLC	204 W 75TH ST, KANSAS CITY, MO 64114
⑤	KANSAS CITY AREA TRANS AUTH	1350 E 17TH ST, KANSAS CITY, MO 64108			
⑥	BOTWIN WESTMORELAND BUILDING LLC - DIANE BOTWIN	7441 A BROADWAY, KANSAS CITY, MO 64114			

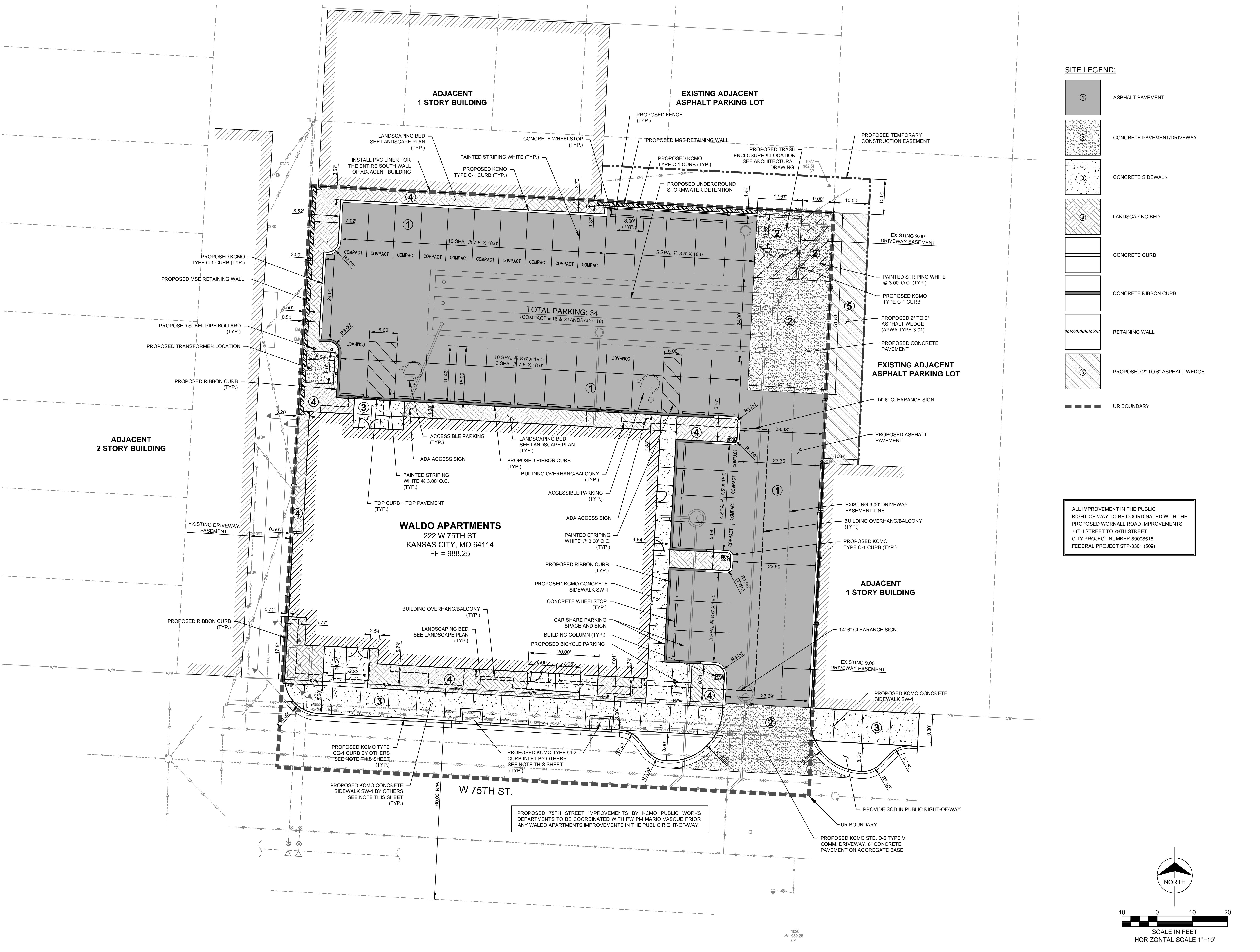


Revisions:
Project #: 77-1600
UR REZONING PLAN
FEBRUARY 14, 2020

EXISTING CONDITIONS
C-002

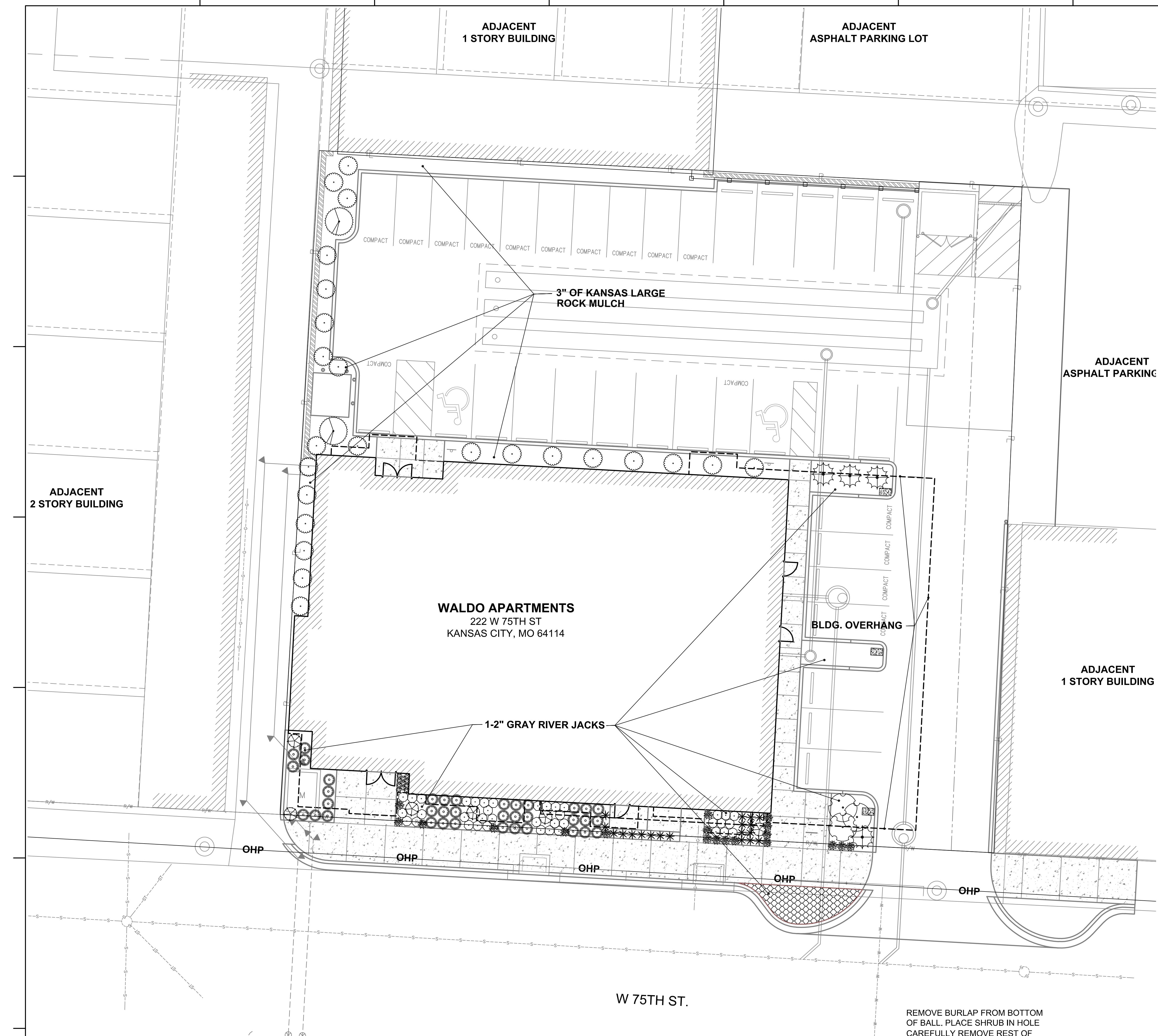
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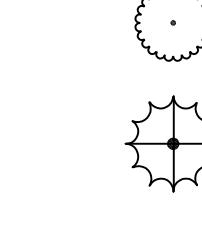
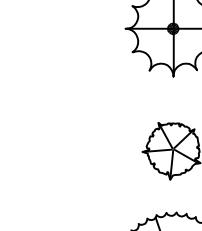
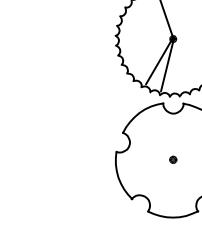
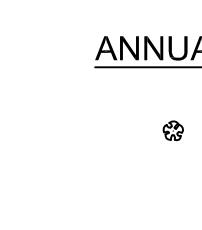
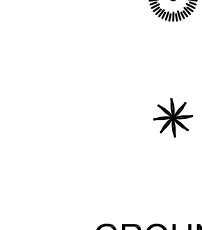
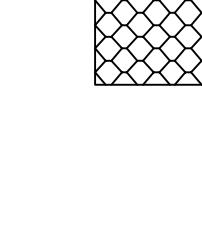


Landscape Requirements:

	Required	Provided
88-425-03-C Street Trees 1/30' of Right-Of-Way 125 ft. After Subtracting Drive Entries	4	*0
88-425-04-C Unused Areas 1 tree/5000sq. ft. of principle building 6916 sq. ft. 1	**0	
88-425-05-B Parking Screening Adjacent To Streets 1 tree/30 ft. 16 ft. and continuous evergreen shrubs	.5 Continuous	***0 Continuous
88-425-06-B Minimum Interior Landscape Area	1190sf.	****312sf.

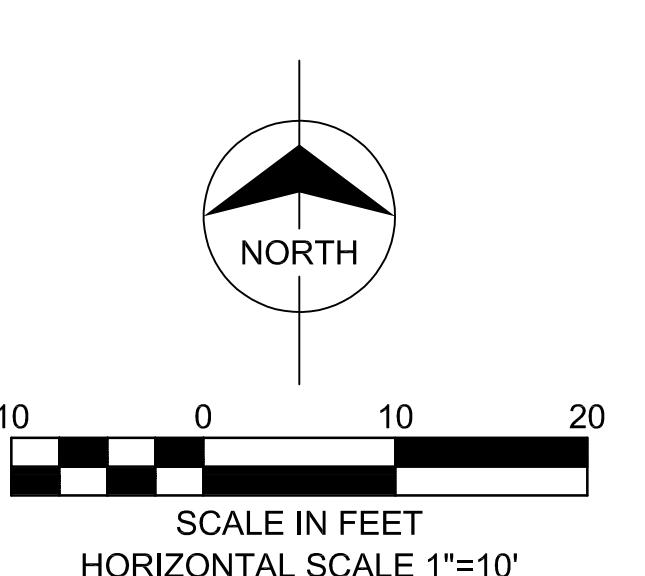
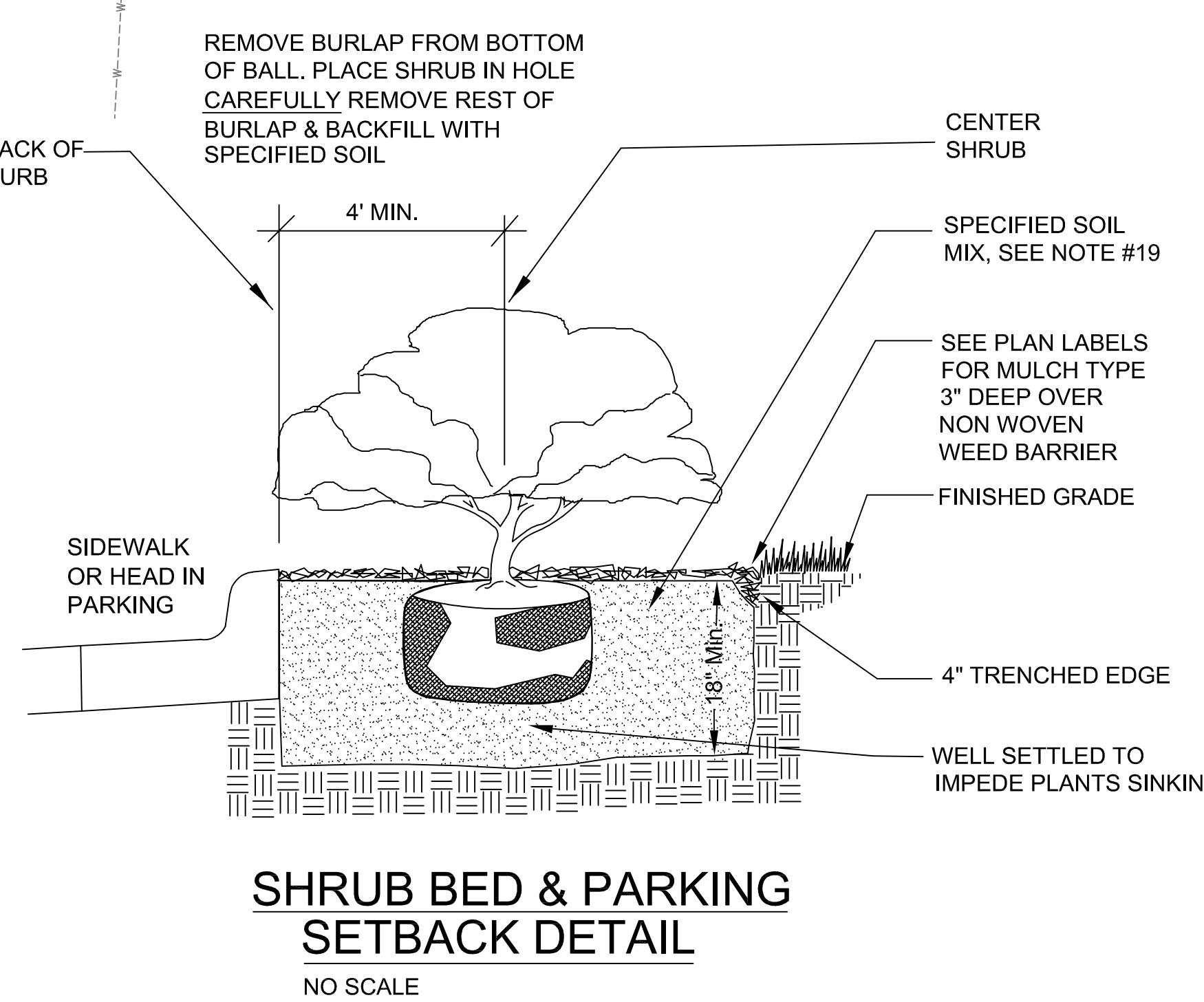
* Low overhead utility lines prevent planting of trees.
 ** No sufficient space for tree canopy or roots
 *** Building overhang prevents planting of tree in island
 **** If required to remove 6 parking spaces project would not be viable. Given hidden nature of most all the parking in a parking garage type setting, we feel less than the required island space is justified.

PLANT SCHEDULE

SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT
	24	Hypericum frondosum 'Sunburst' / Sunburst Hypericum 18"-24" hgt. & sp.	3 gal
	4	Juniperus virginiana 'Grey Owl' / Grey Owl Juniper 18"-24" sp.	5 gal
	6	Juniperus virginiana 'Taylor' / Taylor Eastern Redcedar B&B	6ft.
	2	Juniperus x pfitzeriana 'Sea Green' / Sea Green Juniper 24"-30" hgt. & sp.	5 gal
	3	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac 18"-24" hgt. & sp.	3 gal.
ANNUALS/PERENNIALS	QTY	BOTANICAL / COMMON NAME	CONT
	11	Carex pensylvanica / Pennsylvania Sedge	1 gal
	19	Ceratostigma plumbaginoides 'Blue Plumbago' / Blue Plumbago	1 gal
GRASSES	QTY	BOTANICAL / COMMON NAME	CONT
	38	Calamagrostis acutiflora 'Karl Foerster' / Feather Reed Grass 18"-24" hgt.	3 gal
	37	Panicum virgatum 'Shenandoah' / Burgundy Switch Grass 2 ft. on center	2 gal
	19	Sporobolus heterolepis / Prairie Dropseed 2 ft. on center	1 gal
GROUND COVERS	QTY	BOTANICAL / COMMON NAME	CONT
	61	Liriope spicata / Creeping Lily Turf 18" o.c. In Triangular Pattern	1 gt.

GENERAL LANDSCAPE NOTES:

1. CONTRACTOR SHALL VERIFY THE EXISTENCE AND LOCATION OF ALL UTILITIES BEFORE STARTING ANY WORK.
2. CONTRACTOR SHALL VERIFY ALL LANDSCAPE MATERIAL QUANTITIES AND SHALL REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
3. CONTRACTOR SHALL MAKE NO SUBSTITUTIONS WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT.
4. CONTRACTOR SHALL STAKE LAYOUT PLAN IN THE FIELD AND SHALL HAVE THE LAYOUT APPROVED BY THE LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH THE INSTALLATION.
5. ALL LANDSCAPE BEDS SHALL BE TREATED WITH THE PRE-EMERGENT HERBICIDE PRE M 60 DG (GRANULAR) OR AN APPROVED EQUAL IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
6. FERTILIZER FOR ALL LANDSCAPE BEDS AND CONTAINER STOCK AREAS SHALL BE AS DETERMINED BY SOIL TESTS.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE PLANTS UNTIL COMPLETION OF THE JOB AND ACCEPTANCE BY THE OWNER.
8. CONTRACTOR SHALL WARRANTY ALL LANDSCAPE WORK AND PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE OF THE WORK BY THE OWNER.
9. CONTRACTOR SHALL PROVIDE MAINTENANCE OF ALL LANDSCAPING FOR A PERIOD OF ONE (1) YEAR AFTER THE DATE OF SUBSTANTIAL COMPLETION IF THE OWNER DESIRES.
10. ANY PLANT MATERIAL WHICH DIES DURING THE ONE YEAR WARRANTY PERIOD SHALL BE REPLACED BY THE CONTRACTOR DURING NORMAL PLANTING SEASONS.
11. ALL PLANT NAMES ON THE PLANT LIST CONFORM TO THE STANDARDIZED PLANT NAMES PREPARED BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURAL NOMENCLATURE OR TO NAMES GENERALLY ACCEPTED IN THE NURSERY TRADE.
12. ALL PLANT MATERIAL SHALL BE SPECIMEN QUALITY STOCK AS DETERMINED IN THE "AMERICAN STANDARDS FOR NURSERY STOCK" PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMAN, FREE OF PLANT DISEASES AND PESTS, OF TYPICAL GROWTH OF THE SPECIES AND HAVING A HEALTHY, NORMAL ROOT SYSTEM.
13. SIZES INDICATED ON THE PLANT LIST ARE THE MINIMUM, ACCEPTABLE SIZE, IN NO CASE WILL SIZES LESS THAN THE SPECIFIED SIZES BE ACCEPTED.
14. PLANTS SHALL NOT BE PRUNED PRIOR TO DELIVERY TO THE SITE OR AFTER INSTALLATION EXCEPT FOR THOSE BRANCHES THAT HAVE BEEN DAMAGED IN SOME WAY.
15. PLANTS SHALL NOT HAVE NAME TAGS REMOVED PRIOR TO FINAL INSPECTION.
16. ALL PLANTINGS SHALL RECEIVE A COMMERCIAL TRANSPLANT ADDITIVE PER MANUFACTURER'S RECOMMENDED RATES AND INSTRUCTIONS FOR APPLICATION.
17. RIVER JACKS SHALL BE 2" DEPTH OF 1-2" SIZE MINI RIVER JACKS OVER A FELT TYPE SOIL SEPARATOR CUT INTO THE GROUND WITH A TRENCHED EDGE ALONG PAVEMENT EDGES 4" DEEP.
18. OTHER MULCH AS LABELED SHALL BE 3" DEPTH OF KANSAS RIVER ROCK 2" SIZE OVER A FELT TYPE SOIL SEPARATOR CUT INTO THE GROUND WITH A TRENCHED EDGE.
19. SOIL MIX FOR ALL PLANT BEDS SHALL BE 50% TOPSOIL, 30% COMPOST AND 20% COARSE SAND. EXISTING SOIL SHALL BE REPLACED TO A DEPTH OF 18".
20. SUCCESSFUL LANDSCAPE BIDDER SHALL BE RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF AN IRRIGATION SYSTEM TO BE APPROVED BY THE OWNER PRIOR TO CONSTRUCTION SHOULD THE OWNER DESIRE AN IRRIGATION SYSTEM.



Revisions: _____
 Project #: 77-1600
 UR REZONING PLAN
 February 14, 2020
 LANDSCAPE PLAN

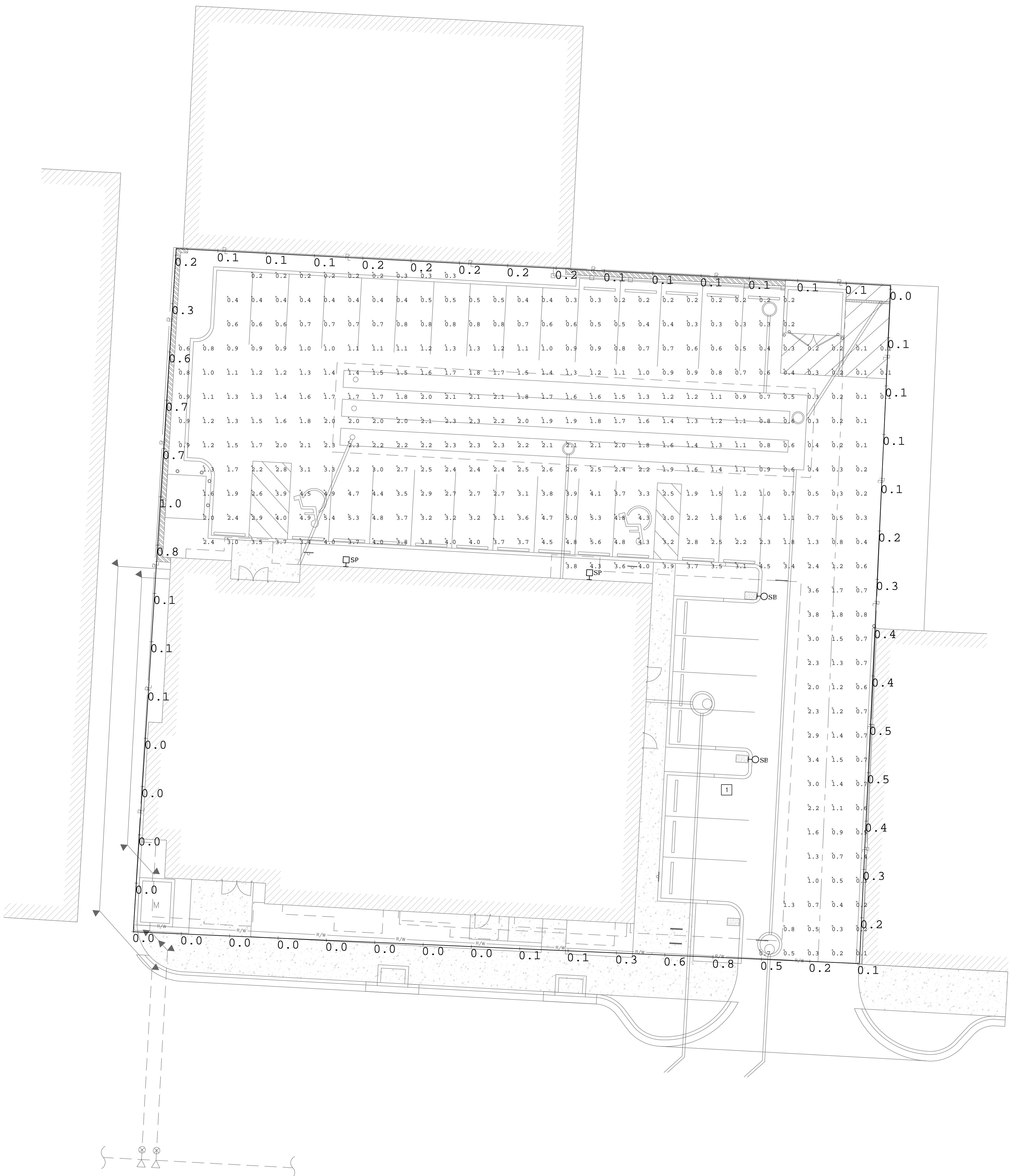
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ELECTRICAL PLAN NOTES:
1. TYPE C UNDER EXTERIOR CANOPY IS ALSO CONSIDERED IN THIS
CALCULATION. REFER TO INTERIOR LIGHTING PLANS FOR LOCATION
REFERENCE.



SITE LIGHTING FIXTURE SCHEDULE

TYPE	DESCRIPTION	MOUNTING	LAMP	VOLTS	MANUFACTURER	V-A
SP	BUILDING MOUNTED SITE LIGHT, DIE CAST ALUMINUM HOUSING, INTEGRAL HEAT SINK, IP66 RATING, TYPE IV FORWARD THROW DISTRIBUTION, 600mA DRIVE CURRENT, 80 CRI, ARCHITECT TO SELECT FINISH.	BUILDING WALL 15'-10" AFF	LED 3000K 9,829 LUMENS	120	COOPER SERIES GLEON GALLEON	96
SM	2' EXTERIOR LINEAR MOUNTED ON ADJUSTABLE KNUCKLE ON 3" ARM, 10 DEGREE X 60 DEGREE WALL GRAZE OPTIC, MOUNT FIXTURE 6" ABOVE FINISH GRADE.	BUILDING WALL	LED 3000K 350 LMS/FT	277	LUMEN PULSE LUMENFAADE NANO	5W PER FT
SB	ARCHITECTURAL WALL SCONCE LED FIXTURE, VISUAL COMFORT WIDE DISTRIBUTION, ARCHITECT TO SELECT FINISH, FULL-CUT OFF, WET LOCATION LISTED.	BUILDING WALL 12'-10" AFF	LED 3000K 1,530 LUMENS	120	LITHONIA SERIES WST	12

NOTE: FOR PARKING LOT SITE LIGHTING, BASIS OF DESIGN IS THE SCHEDULED COOPER GLEON FIXTURE. ANY OTHER SUBSTITUTES MUST INCLUDE A FOOTCANDLE LAYOUT MEETING THE LEVELS OF THE CURRENT DESIGN.

CALCULATION SUMMARY					
AREA NAME	AVE	MAX	MIN	AVE/MIN	MAX/MIN
PARKING LOT AND DRIVE LANE	1.6	5.6	0.1	16.3	56.0
PROPERTY LINE	0.2	1.0	0.0	N.A.	N.A.

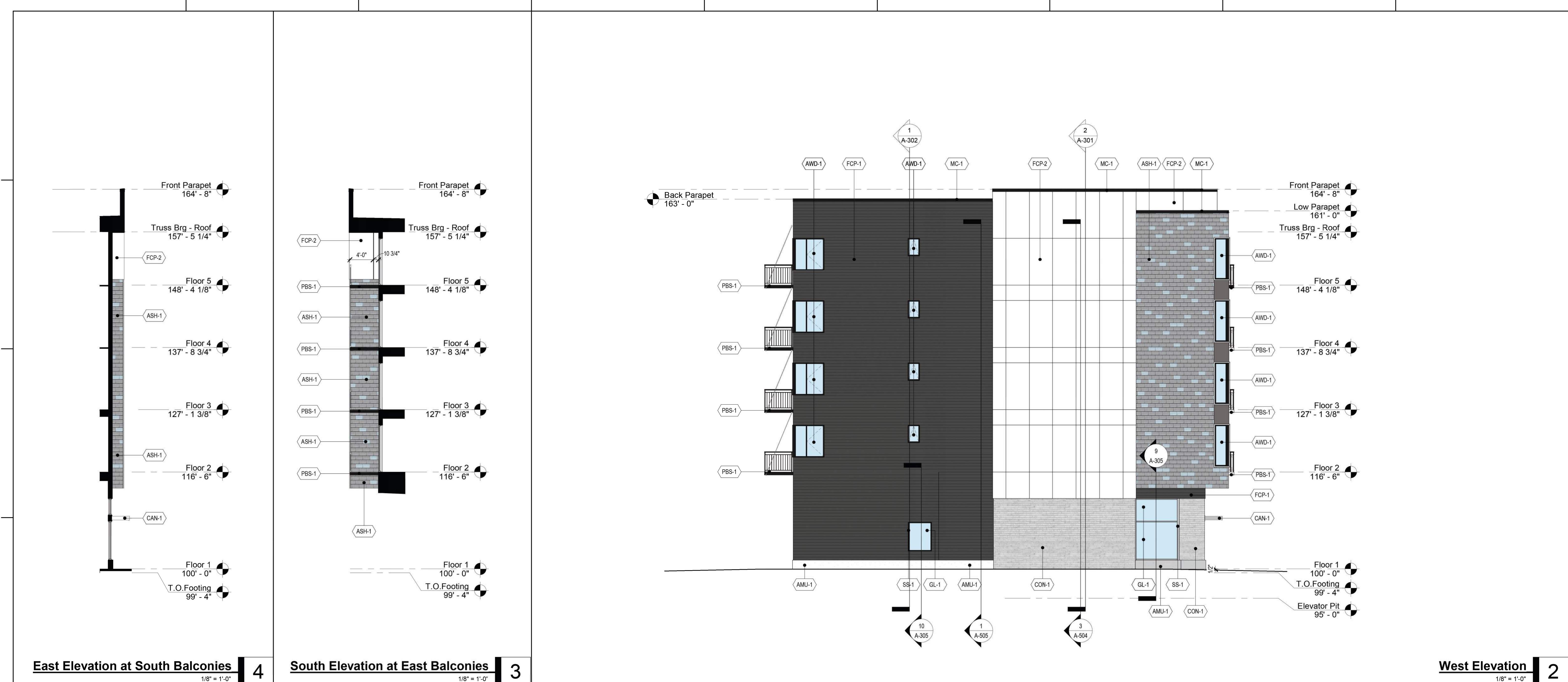
NOTES:
1. ILLUMINANCE VALUES ARE IN FC.
2. MAINTENANCE FACTOR OF 0.9 WAS USED AS FIXTURES ARE LED.

Revisions:
Project #: 190102
UR REZONING PLAN
February 14, 2020

SITE PLAN
PHOTOMETRICS

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house Development, LLC
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IE ARCHITECTS, INC. (c) 2019
City, Missouri • Omaha, Nebraska
888-756-1958
slaggie.com

MATERIALS

AMU-1	ARCHITECTURAL MASONRY UNIT MANUFACTURER: ROCKCAST OR EQUAL COLOR: SLATE
AS-1	PERFORATED ARCHITECTURAL SCREEN ATTACHED TO CLEAR ANODIZED ALUMINUM FRAME MANUFACTURER: ARTISAN PANELS, INC. OR APPROVED EQUAL PATTERN: 65 - MATRIX COLOR/FINISH: BLUE GLOSS POWDER COATED FINISH, COLOR TO MATCH SAMPLE PROVIDED BY ARCHITECT
ASH-1	ARCHITECTURAL SHINGLES MANUFACTURER: MILLENNIUM FORMS ZALMAG LARGE TILE CUPPED COLOR: CUSTOM BLEND 88% PRE-PATINA II WITH 12% NATURAL
AWD-1	APARTMENT WINDOWS AND DOORS MANUFACTURER: PELLA COLOR: BLACK
BM-1	CLEAR ANODIZED ALUMINUM BREAK METAL TO MATCH STOREFRONT
CAN-1	METAL CANOPY AT RETAIL LEVEL MANUFACTURER: MAPES CANTILEVER SUPERSHADE COLOR: CLEAR ANODIZED ALUMINUM
COL-1	CAST IN PLACE CONCRETE COLUMN, RE: STRUCTURAL
CON-1	CAST IN PLACE CONCRETE WALL W/ DECORATIVE FORMLINER MANUFACTURER: FITZGERALD FORMLINERS COLOR/FINISH: NATURAL CONCRETE / 16923 BARNWOOD
ED-1	FLUSH HOLLOW CORE STEEL DOOR W/ HIGH PERFORMANCE COATING COLOR/FINISH: WHITE, SEMI-GLOSS FINISH. REFER TO SPEC. FOR HIGH-PERFORMANCE COATING PROPERTIES.
FCP-1	
FCP-1	FIBER CEMENT LAP SIDING MANUFACTURER: JAMES HARDIE - HARDIEPLANK LAP SIDING 7 1/4" FINISH: SMOOTH COLOR: SHOU SUGI BAN
FCP-2	FIBER CEMENT RAINSCREEN PANEL SYSTEM MANUFACTURER: JAMES HARDIE - REVEAL PANEL WITH CLEAR ANNODIZED SURROUND TRIM OR ALUMINUM EASY TRIM REVEAL SYSTEM AND REVEAL COUNTERSUNK FASTENERS COLOR: PREFINISHED WHITE
GL-1	CLEAR INSULATED LOW-E GLAZING MANUFACTURER: AGC ENERGY SELECT 40
MC-1	PRE-FINISHED METAL COPING AND SHEET METAL MANUFACTURER: BERRIDGE MFG. COLOR/FINISH: LEAD-COTE
PBS-1	PREMANUFACTURED BALCONY SYSTEM MANUFACTURER: INNOTECH
SS-1	ALUMINUM STOREFRONT SYSTEM MANUFACTURER: KAWNEER TRI-FAB VERSAGLAZE 451-T COLOR/FINISH: CLEAR ANODIZED
WS-1	NATURAL WOOD SOFFIT 8" WIDE PREFINISHED CEDAR PLANK

East Elevation

1/8" = 1'-0"



North Elevation 1

1/8" = 1'-0"

Revisions:

: #: 190102

OUR REZONING PLAN

February 14, 2020

INTERIOR ELEVATIONS

EXTERIOR ELEVATIONS

A-Z0Z

