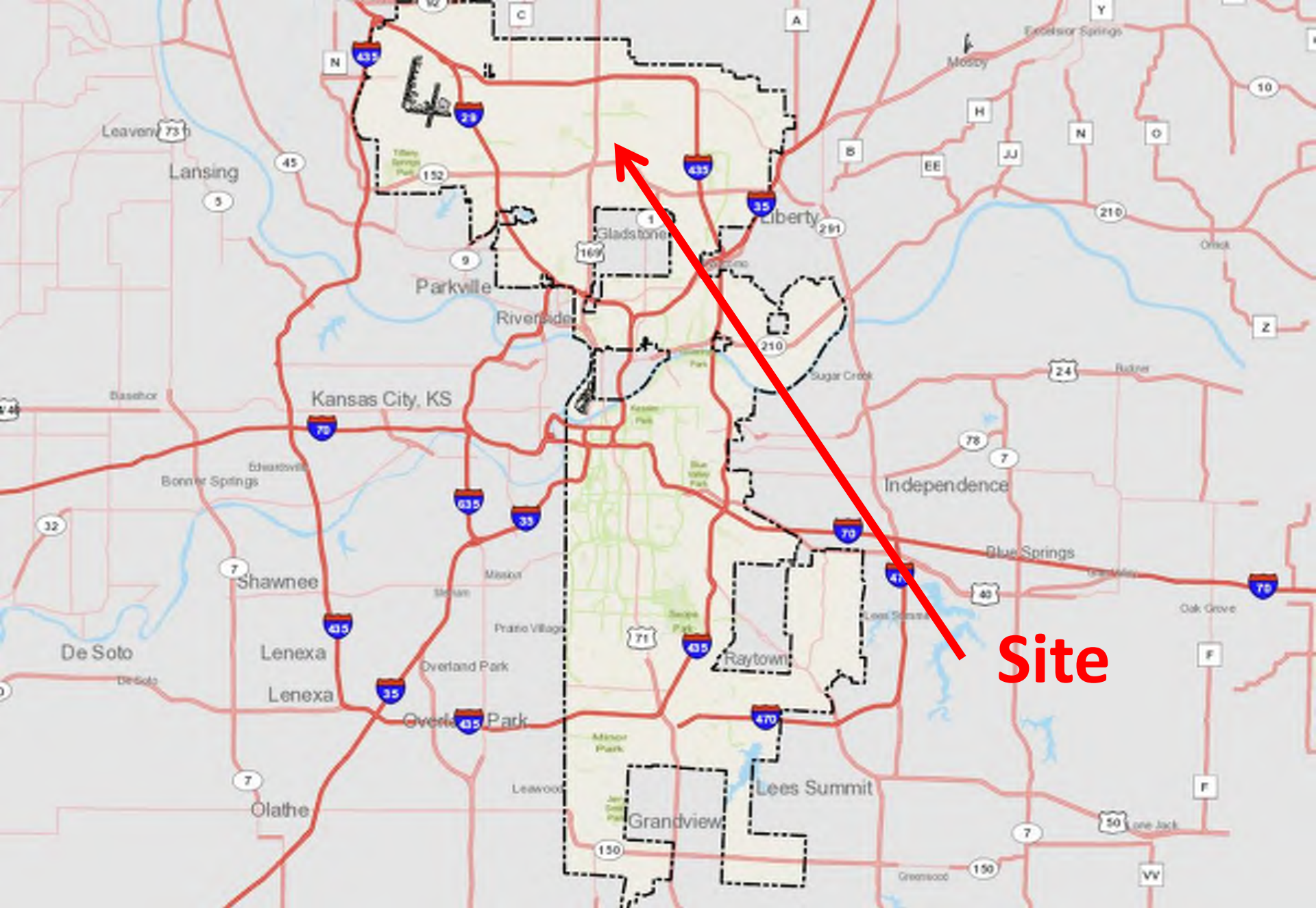


Docket #4

Case No. CD-CPC-2020-00191

Mazuma Credit Union – Rezoning to MPD



Site



View looking north from N. Oak Trfy.

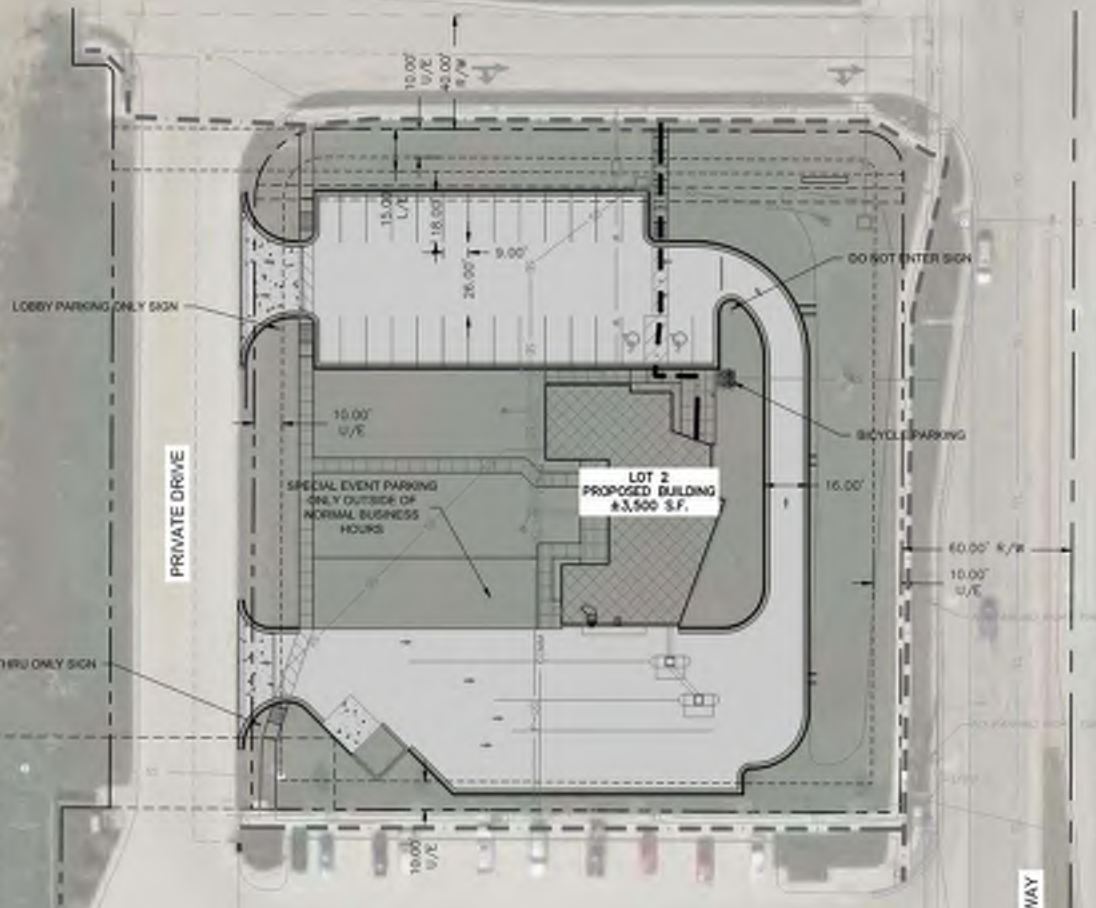
 **Case No. CD-CPC-2020-00191**



View looking south from N. Oak Trfy.

 **Case No. CD-CPC-2020-00191**

97TH STREET



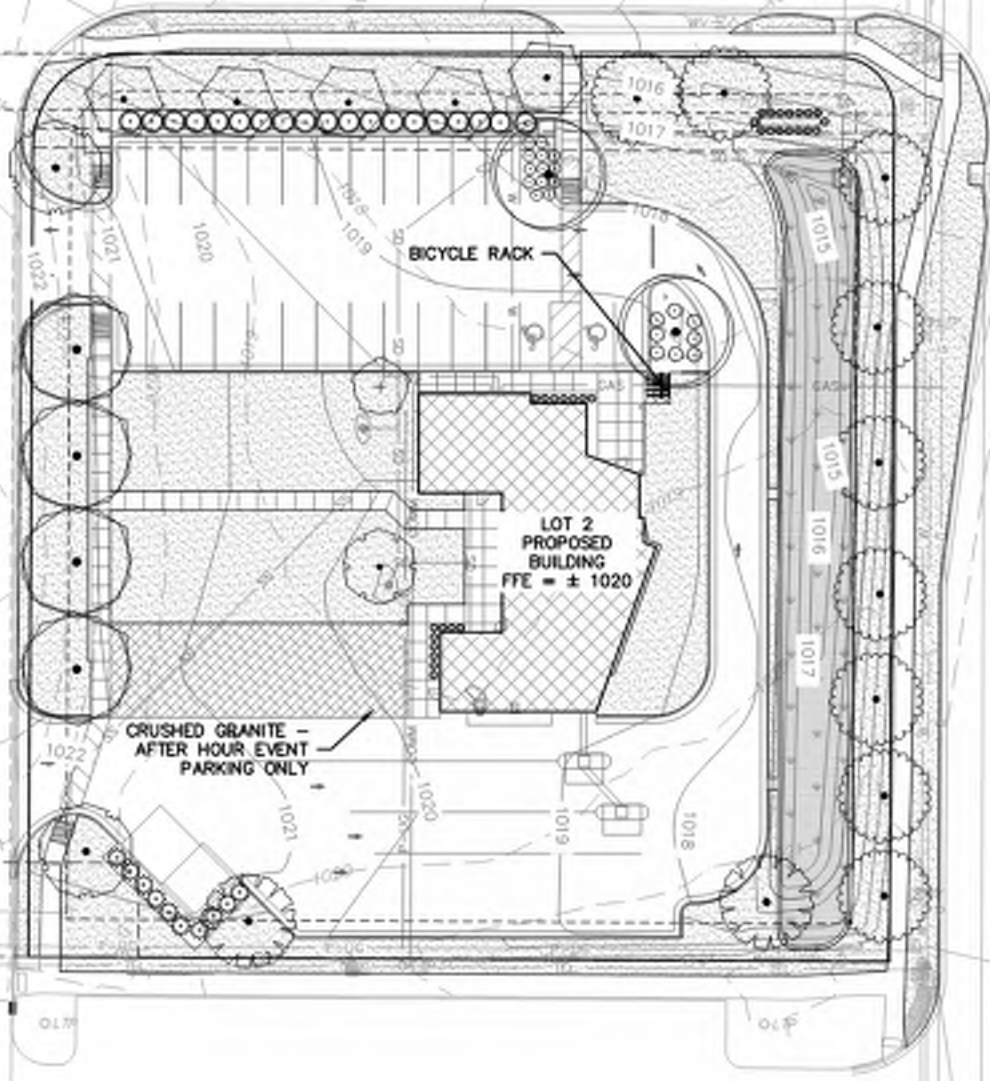
LOT 2
PROPOSED BUILDING
±3,500 S.F.

WINDSOR NORMANDY MASTER
HOME OWNERS ASSOC.
ZONING R-7.5

LOT 1
PHASE 1 MPD (COMPLETED)

EXISTING QUIKTRIP
CASE #12419-MPD-3

PRIVATE DRIVE



BICYCLE RACK

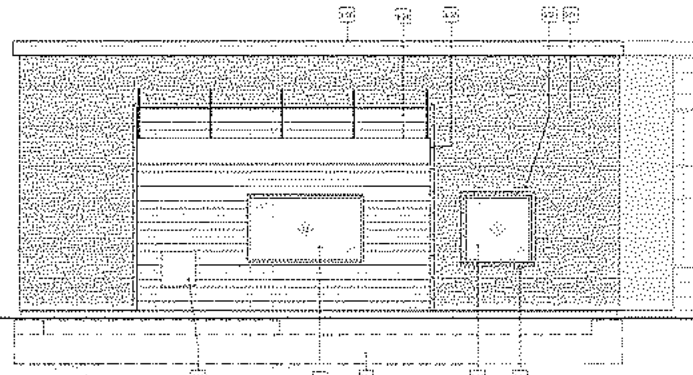
LOT 2
PROPOSED
BUILDING
FFE = ± 1020

CRUSHED GRANITE -
AFTER HOUR EVENT
PARKING ONLY

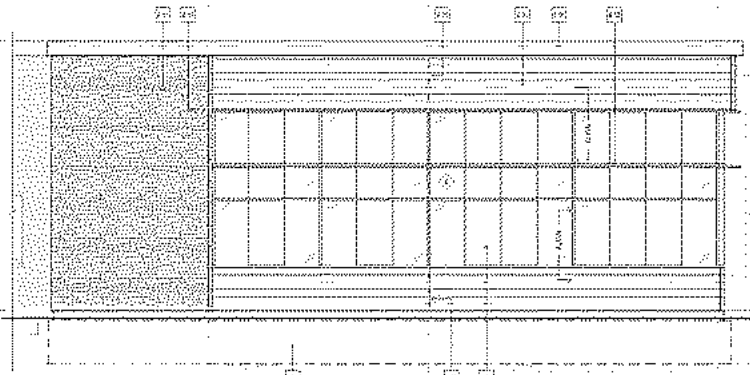
N OAK TRAFFICWAY



Case No. CD-CPC-2020-00191

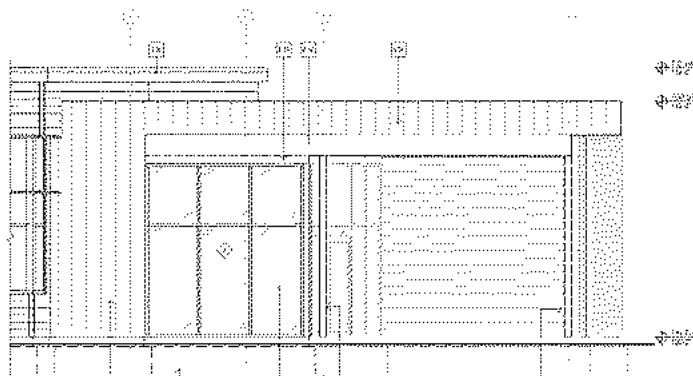


SOUTH ELEVATION
SOUTH SIDE - 11'11"

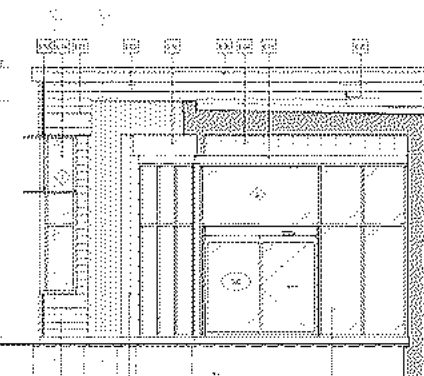


SOUTHEAST ELEVATION
SOUTHEAST SIDE - 11'11"

- NOTES**
1. ALL FINISHES TO BE AS SHOWN UNLESS OTHERWISE NOTED.
 2. ALL MATERIALS TO BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
 3. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND STANDARDS.
 4. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MANUFACTURER'S INSTRUCTIONS.
 5. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL BUILDING CODES AND STANDARDS.



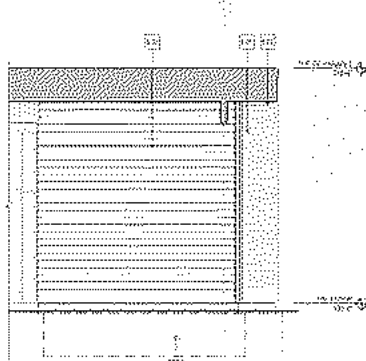
EAST ELEVATION
EAST SIDE - 11'11"



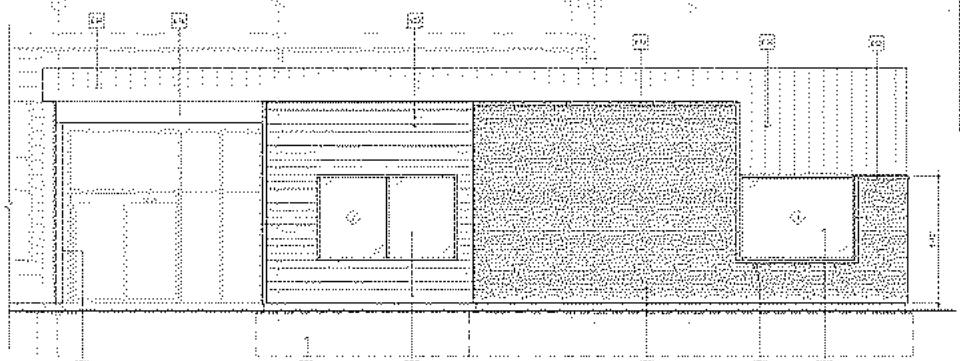
NORTHEAST ELEVATION
NORTHEAST SIDE - 11'11"

DETAIL NOTES

1. SEE ARCHITECT'S NOTES FOR ALL MATERIALS AND FINISHES.
2. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND STANDARDS.
3. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MANUFACTURER'S INSTRUCTIONS.
4. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL BUILDING CODES AND STANDARDS.
5. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL BUILDING CODES AND STANDARDS.

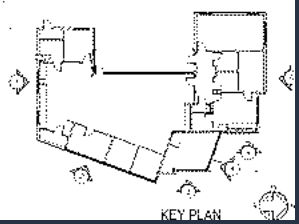


EAST ELEVATION



NORTH ELEVATION

SYMBOL	DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
[Symbol]	CONCRETE	1000	CU YD	120.00	120,000.00
[Symbol]	STEEL	500	TON	100.00	50,000.00
[Symbol]	BRICK	10000	SQ YD	1.00	10,000.00
[Symbol]	GLASS	100	SQ FT	100.00	10,000.00
[Symbol]	PAINT	100	GA	100.00	10,000.00
[Symbol]	ROOFING	1000	SQ FT	1.00	1,000.00
[Symbol]	MECHANICAL	100	HR	100.00	10,000.00
[Symbol]	ELECTRICAL	100	HR	100.00	10,000.00
[Symbol]	FOUNDATION	100	CU YD	120.00	12,000.00
[Symbol]	EXTERIOR FINISHES	1000	SQ YD	1.00	1,000.00
[Symbol]	INTERIOR FINISHES	1000	SQ YD	1.00	1,000.00
[Symbol]	LANDSCAPE	100	HR	100.00	10,000.00
[Symbol]	PERMITS	1	LOT	1000.00	1,000.00
[Symbol]	CONTRACTOR	1	LOT	1000.00	1,000.00
[Symbol]	ARCHITECT	1	LOT	1000.00	1,000.00
[Symbol]	ENGINEER	1	LOT	1000.00	1,000.00
[Symbol]	INSURANCE	1	LOT	1000.00	1,000.00
[Symbol]	TOTAL				200,000.00



KEY PLAN

CLOSEUP VIEW FROM NORTHEAST
LOOKING AT MAIN ENTRY



VIEW FROM NORTHEAST

Staff Recommendations:

CD-CPC-2020-00191 Approval with
conditions # 1-18

Docket #5

Case No. CD-CPC-2021-00008

One Nine Vine – Rezoning to UR



Case No. CD-CPC-2021-00008



Case No. CD-CPC-2021-00008



View looking west from Vine Street

 **Case No. CD-CPC-2021-00008**



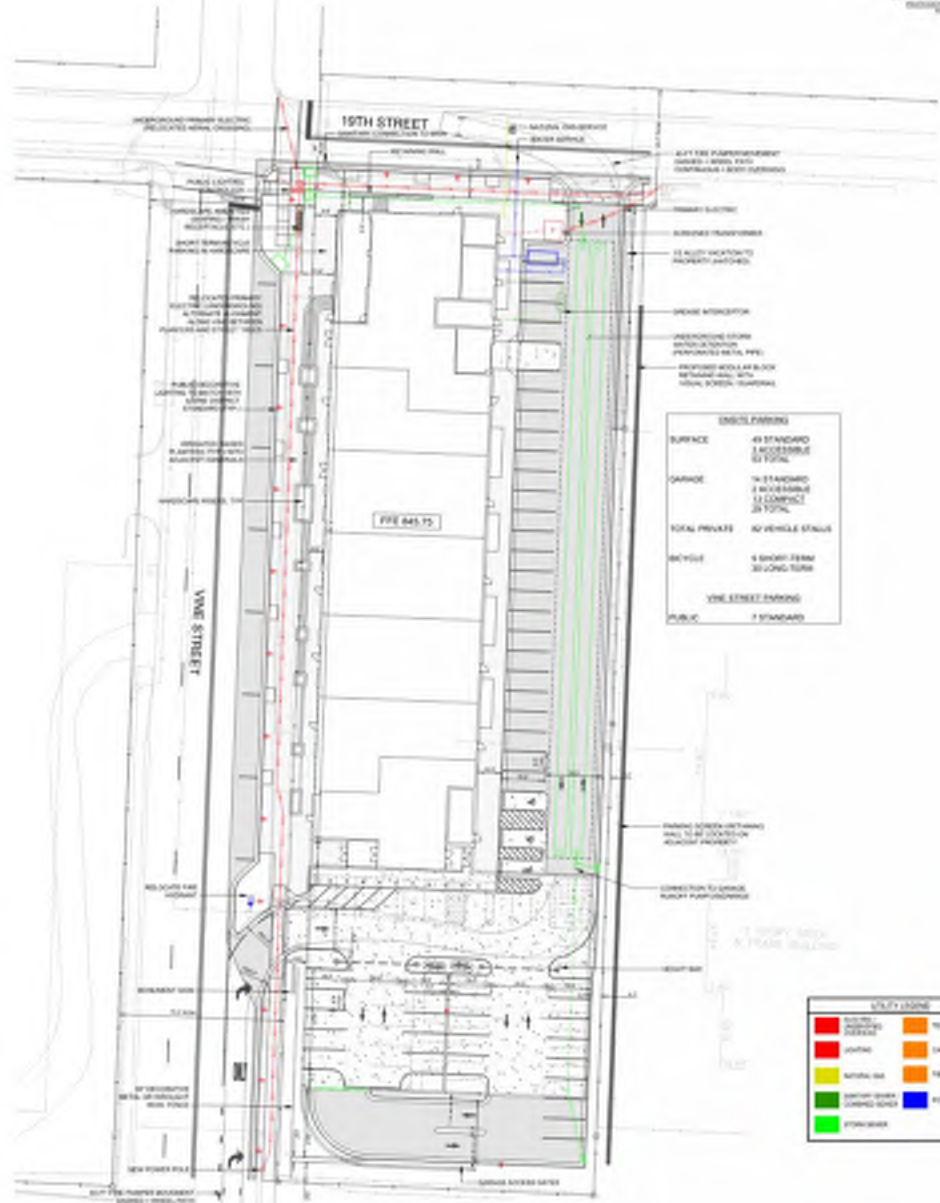
View looking west from Vine Street



Case No. CD-CPC-2021-00008



SUBLEVEL PARKING & UTILITY SITE PLAN



SURFACE & UTILITY SITE PLAN



ENGINEERING

SURFACE	49 STANDARD 2 ACCESSIBLE 51 TOTAL
GARAGE	74 STANDARD 2 ACCESSIBLE 76 TOTAL
TOTAL PRIVATE	123 VEHICLE SPACES
BIKE	5 SHORT TERM 30 LONG TERM
VINE STREET PARKING	7 STANDARD

UTILITY LEGEND

RED	SEWER	ORANGE	TELEPHONE
YELLOW	WATER	GREEN	BIKEWAY
PINK	STORM SEWER	BLUE	STREET LIGHT
GREEN	STORM SEWER		



SOUTH ELEVATION 4



NORTH ELEVATION 3



EAST ELEVATION 2



WEST ELEVATION 1

Grizzle Gray SW 706

Simple White SW 702

Haven SW 6437

Wide Board Plank

Accent Brick

Orange Brick

GUARD RAIL

Staff Recommendations:

CD-CPC-2021-00008 Approval with
conditions # 1-18

Docket #6.1, 6.2

**Case No. CD-CPC-2021-00011, CLD-
FnPlat-2021-00001**

The Tracks Apartments – Rezoning to UR, Final Plat



Case No. CD-CPC-2021-00011, CLD-FnPlat-2021-00001





View looking south from W. 22nd Street



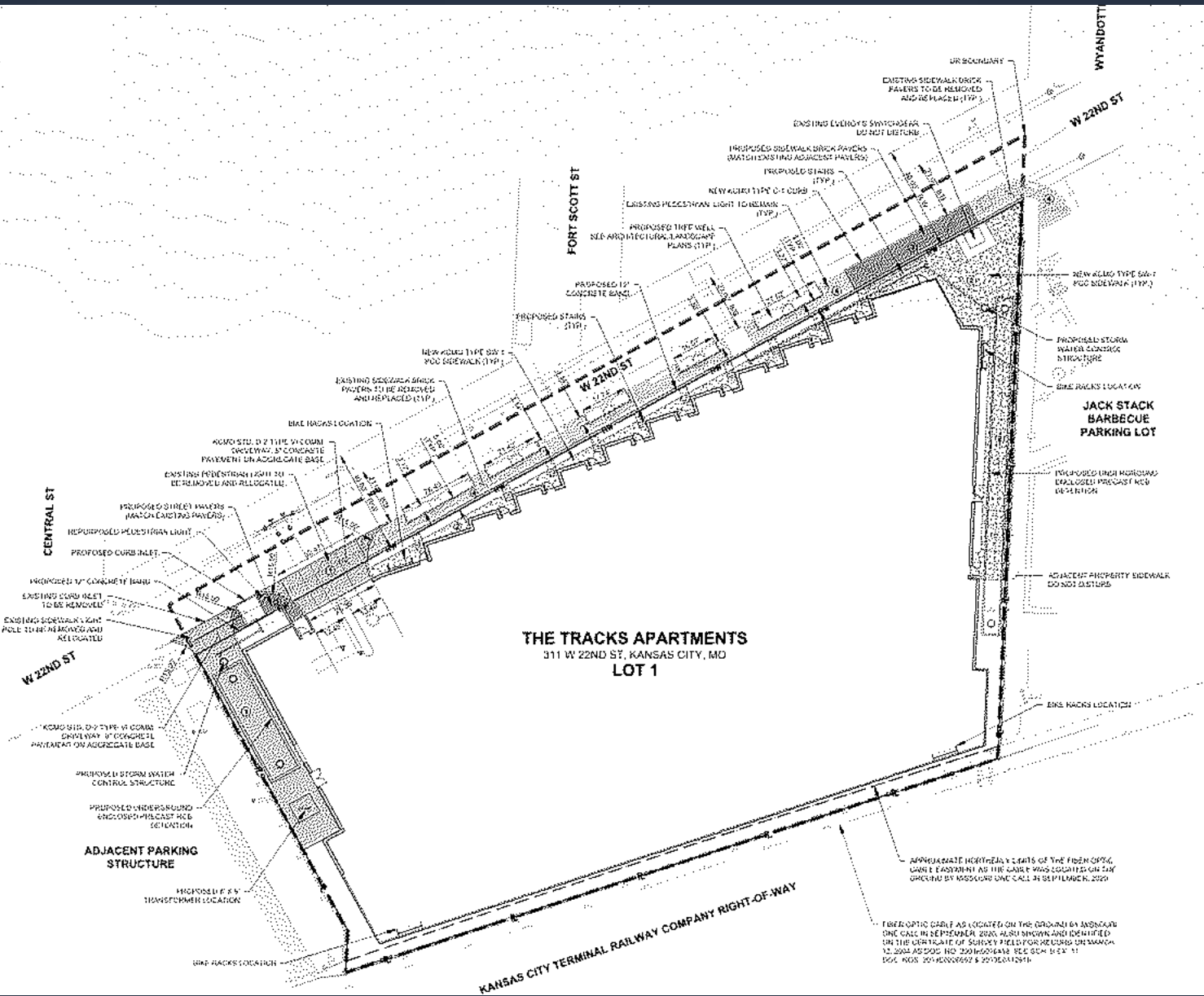
Case No. CD-CPC-2021-00011, CLD-FnPlat-2021-00001



View looking north from W. 22nd Street



Case No. CD-CPC-2021-00011, CLD-FnPlat-2021-00001

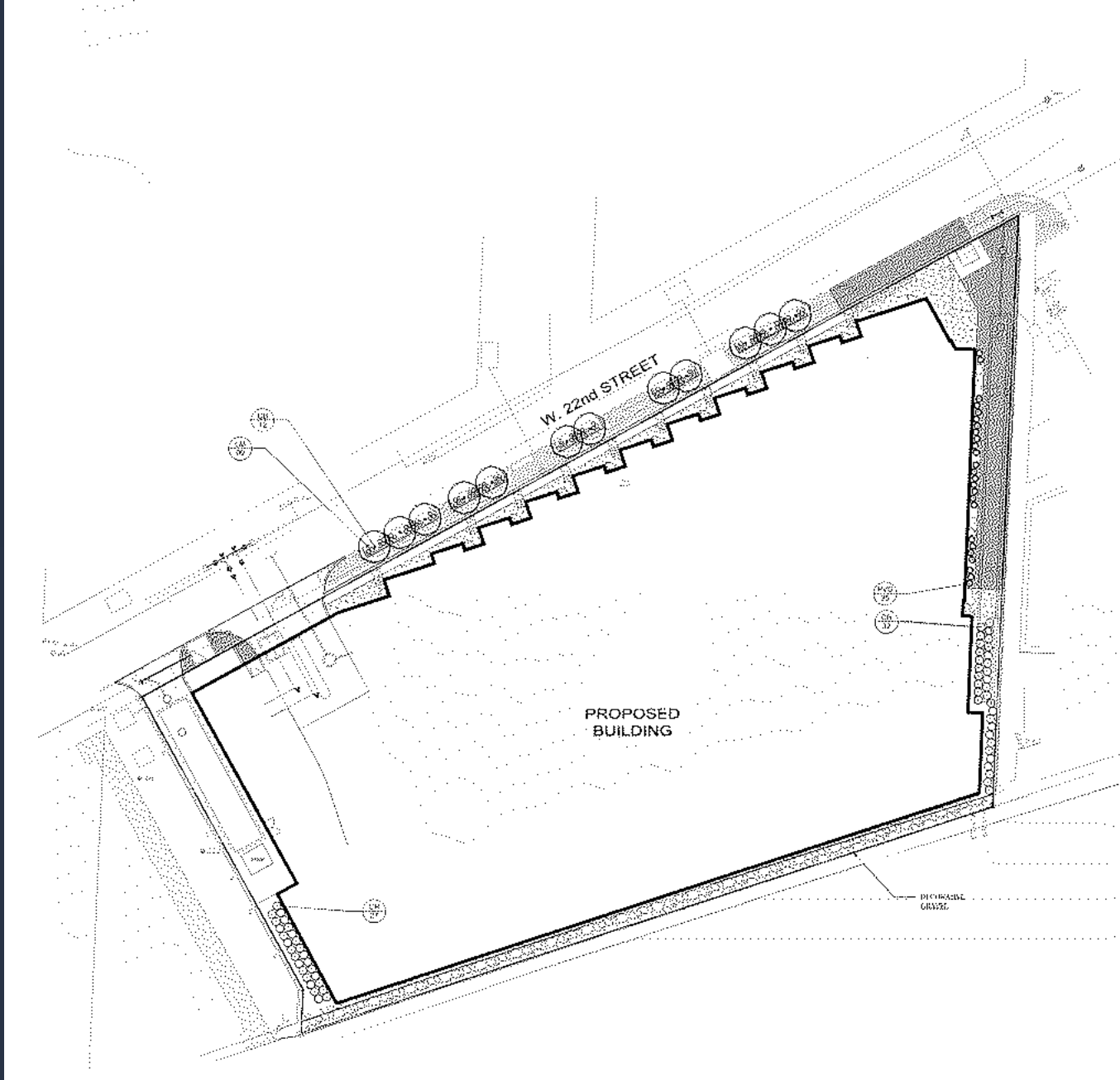


THE TRACKS APARTMENTS
 311 W 22ND ST, KANSAS CITY, MO
 LOT 1

SITE LEGEND:

- UT BOUNDARY
- ① CONCRETE PAVEMENT
- ② CONCRETE SIDEWALK
- ③ SIDEWALK BRICK PAVERS
- ④ HARDTOP SIDEWALK BRICK PAVERS

APPROXIMATE HORIZONTAL SEATS OF THE FIBER OPTIC CABLE EXPOSED AS THE CABLE WAS LOCATED ON THE GROUND BY VISUAL SURVEY ON 06/14/2021. SEE SOI MAY 11 2021, PAGES 201 AND 202 & 203 FOR DETAILS.





helix.

Case No. CD-CPC-2021-00011, CLD-FnPlat-2021-00001





Fiber Cement Siding, Typ

Metal Panel Trim Frame



Metal Panel Type 1, Typ

Horizontal Trim to Match Metal Panel



Brick Type 1, Typ

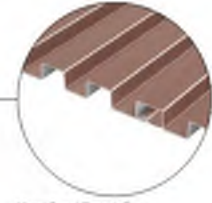


North Facade Perspective





Fiber Cement Siding, Typ



Metal Panel Type 1, Typ



Metal Panel Trim Frame

Horizontal Trim to Match Metal Panel

South Elevation

1/16" = 1'-0"



Metal Panel Type 1, Typ

Horizontal Trim to Match Metal Panel



Fiber Cement Siding, Typ



Cast-in-Place Concrete

Metal Panel Trim Frame



Brick Type 1, Typ

East Facade Perspective





Fiber Cement Siding, Typ

Metal Panel Trim Frame



Metal Panel Type 1, Typ

Horizontal Trim to Match Metal Panel

Cast-in-Place Concrete

CMU, Painted



Brick Type 1, Typ



West Facade Perspective



Landscape and Screening Standards (88-425)	Yes	Yes	
Outdoor Lighting Standards (88-430)	Yes	Yes	
Sign Standards (88-445)	N/A	N/A	A sign package was not submitted, but the signs are expected to comply with 88-445 and be permitted separately.
Pedestrian Standards (88-450)	Yes	Yes	

ANALYSIS

193 per revised UR & FDP

The plan, as proposed, is in general conformance with the zoning code requirements. The proposed use including 203 residential units with amenities and a front lobby at the northeast corner of the site. Due to the separation of the parcels on the site, a final plat is filed to combine the parcels into one single lot.

The applicant proposes one vehicular access with both ingress and egress from W. 22nd Street to the garage behind the residential units. A total of 261 parking spaces are provided (111 for unit parking and 150 for shared public and unit parking) and 86 bike parking is provided on site.

78 per revised UR & FDP

The proposed 7-story residential apartments will have 0-foot setback from all property boundaries and fronting W. 22nd Street with diagonal units on the ground and 2nd floors to provide more pedestrian-oriented experience

Condition(s) by Fire Department. Contact Michael Schroeder at 816-513-4611 / michael.schroeder@kcms.org with questions.

19. Fire Department access roads shall be provided prior to construction/demolition projects begin. (IFC-2018 § 501.4 and 3310.1; NFPA 241-2013 § 7.5.5) (3/10/2021)
20. Fire apparatus access roads shall have an unobstructed width of not less than 20 feet (6096mm), exclusive of shoulders, except for approved security gates in accordance with Section 503.6, and an unobstructed (3/10/2021)
21. • Aerial Fire Apparatus access roads shall be provided for any building that is 30 feet in height or greater. Aerial Fire Apparatus Roads are a minimum 26 feet wide, at least 15 feet away from the building but not more than 30 feet from the structure. (IFC-2018 § D105) (3/10/2021)
22. • The turning radius for fire department access roads is 30 feet inside and 50 feet outside radius. (IFC-2018: § 505.2.4) (3/10/2021)
23. • Buildings exceeding three (3) stories or 30 feet in height shall have at least two means of fire apparatus access. (IFC-2018: § D104.1) (3/10/2021)
24. • Buildings equipped with a fire standpipe system shall have an operable fire hydrant within 100 feet of the Fire Department Connection (FDC). (IFC2018 § 507.5.1.1) (3/10/2021)
25. • The Fire Department Connection (FDC) shall not be located that obstructs access/egress to the building when in use (IFC-2018 § 912.2). (3/10/2021)
26. • The expectation is the project will meet the fire flow requirements as set forth in Appendix B of the International Fire Code 2018. (IFC-2018 § 507.1) (3/10/2021)
27. • Multi-family residential developments greater than 200 dwelling units shall have at least two separate and approved fire apparatus access roads (IFC-2018 § D106.2) (3/10/2021)



Staff Recommendations:

CD-CPC-2021-00011 Approval with
conditions # 1-31

Remove #19, 20, 21, 22, 23, 27

CLD-FnPlat-2021-00001 Approval with
conditions # 1-14



CD-CPC-2021-00011 conditions # 18:

**The developer shall continue working with staff to add more brick or masonry accent materials for the north façade. Such accents can be added to the roof parapet or trims between floors similar to the surrounding buildings.
(3/17/2021)**



 Case No. CD-CPC-2021-00011, CLD-FnPlat-2021-00001



 Case No. CD-CPC-2021-00011, CLD-FnPlat-2021-00001



 Case No. CD-CPC-2021-00011, CLD-FnPlat-2021-00001

Docket #7.1, 7.2, 7.3

Case No. CD-CPC-2021-00029, CD-CPC-2021-00038, CLD-FnPlat-2021-00005

Northland Human Service Center – Rezoning without Plan, Preliminary Plat, Final Plat







View looking south from N. Agnes Ave.





View looking east from N. Agnes Ave.



Staff Recommendations:

CD-CPC-2021-00029 Approval without condition

CD-CPC-2021-00038 Approval with conditions # 1-14

CLD-FnPlat-2021-00005 Approval with conditions # 1-15

