



CITY PLAN COMMISSION STAFF REPORT

City of Kansas City, Missouri
City Planning & Development Department
www.kcmo.gov/cpc

May 2, 2023

Project Name
MC 106 Data Center

Docket #1

Request
CD-CPC-2023-00016
Development Plan

Applicant
Luke Long
Kimley-Horn

Owner
Edge Kansas City, LLC

Location 3420 N. Arlington Ave
Area About 38 acres
Zoning M3-5
Council District 1st
County Clay
School District North Kansas City

Surrounding Land Uses

North: Vacant farmland, zoned M3-5
South: Vacant farmland, zoned M3-5
East: Residential, zoned R-80
West: Vacant farmland, zoned M3-5

Major Street Plan

North Arlington Avenue is identified on the City's Major Street Plan as a 4 Lane thoroughfare and Activity Street typology at this location. MO Route 210 is a highway.

Land Use Plan

The Riverfront Industrial Area Plan recommends Light Industrial uses for the subject property.

APPROVAL PROCESS



PROJECT TIMELINE

The application for the subject request was filed on January 29, 2023. Scheduling deviations from 2023 Cycle F have occurred due to the applicant modifying the development plan to include future phase 2.

NEIGHBORHOOD AND CIVIC ORGANIZATIONS NOTIFIED

There are no Neighborhood Associations tied to the subject site.

REQUIRED PUBLIC ENGAGEMENT

Public engagement as required by 88-505-12 applies to this request. Applicant hosted a meeting on April 21, 2023. A summary of the meeting is attached to the staff report, see Attachment #3.

EXISTING CONDITIONS

The 38-acre subject site is an undeveloped agricultural farmland located at the northwest corner of 210 Hwy and N. Arlington Avenue. It is within the existing Birmingham Levee District. Surrounding uses to the north, south and west are agricultural farmland. To the east of the site are existing single-family residences zoned R-80. The parcel is relatively flat and contains some wetlands. There is no associated regulated stream on the subject site.

SUMMARY OF REQUEST + KEY POINTS

The applicant is seeking approval of a development plan which also serves as a preliminary plat, in District M3-5 (Manufacturing) to allow for 192,000 square foot data center in two phases on one (1) lot, on about 38 acres generally located at the northwest corner of MO Hwy 210 and N. Arlington Avenue.

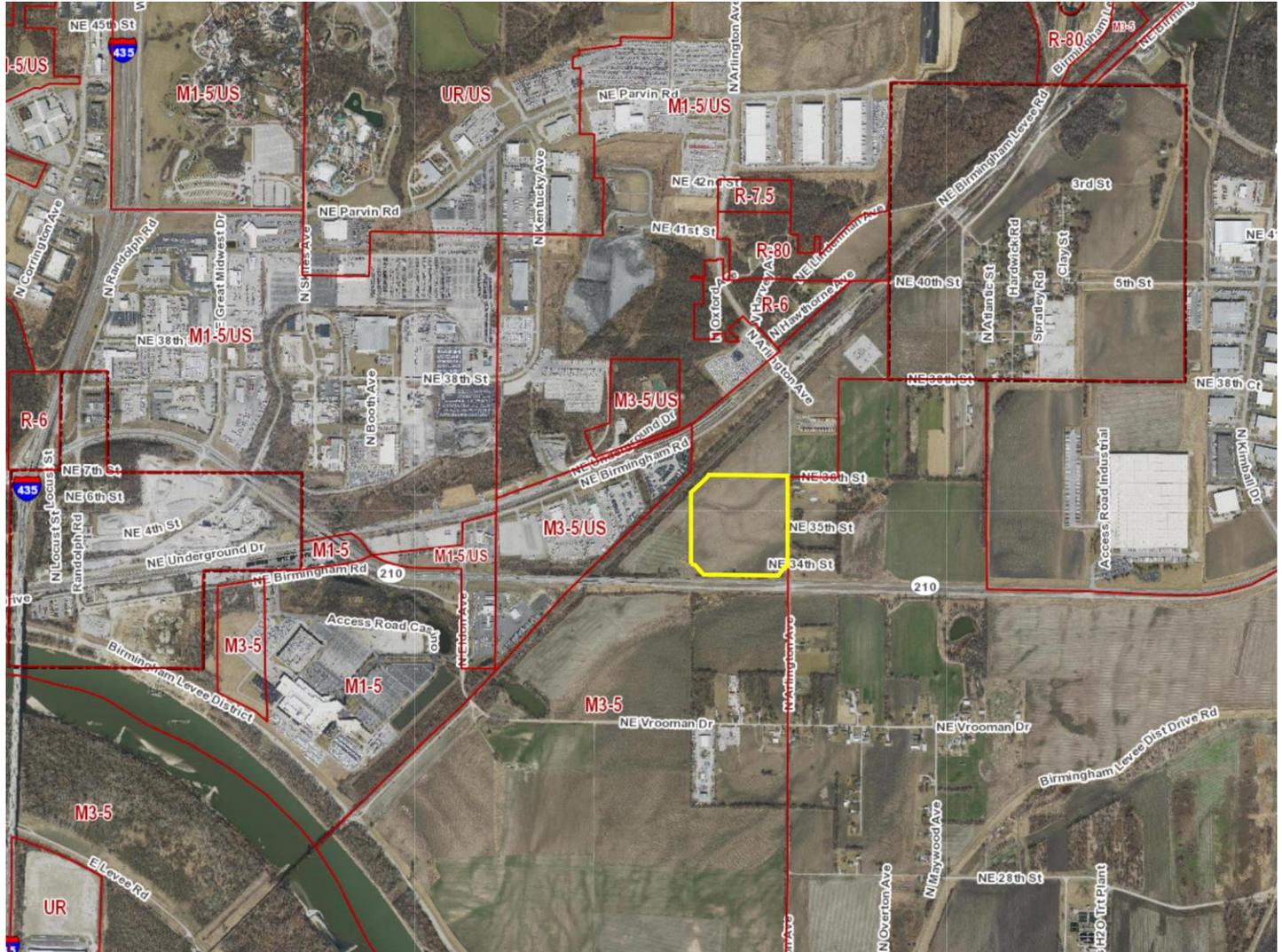
CONTROLLING CASE

There is no controlling case for the subject site.

PROFESSIONAL STAFF RECOMMENDATION

Docket #1 Recommendation: **Approval Subject to Conditions**

PROJECT LOCATION



AREA PLAN:

The site is within the Riverfront Industrial Area Plan which recommends Light Industrial land use. The proposed development plan is in conformance with the Area Plan future land use recommendation therefore an area plan amendment is not necessary.

PLAN REVIEW

The applicant is seeking approval of a Development Plan in District M3-5 on a 38-acre parcel generally located at the northwest corner of MO Hwy 210 and N. Arlington Avenue to allow for a 192,000 square foot data center in two phases. Phase I of the data center is proposed to be about 125,000 square foot and a single story. Phase two is about 67,000 square foot. The building is setback 100' from MO Route 210 and 25 feet from N. Arlington Avenue.

Access to the site is proposed via two driveways off N. Arlington Avenue. The first driveway aligns with NE 35th Street, but the second driveway is proposed midblock across from three existing single-family residence on the east side of N. Arlington Avenue. Staff recommends that the second driveway be relocated to align with NE 36th Street to minimize the impact on the existing homes. Staff also recommends additional berms and landscaping (evergreen) per staff approval to screen the proposed development prior to ordinance request. Staff will continue to work with the applicant as shown by the samples and options.

The plan proposes 1 lot with two BMP tracts. The plan shows internal sidewalks for pedestrians but no connections to the public right of way. Staff recommends that internal sidewalks be extended from the office area to N. Arlington Avenue.

WAIVERS AND DEVIATIONS

The applicant is seeking alternative parking compliance to the Zoning and Development Code. See analysis below.

PLAN ANALYSIS

*indicates adjustment/deviation requested

Standards	Applies	Meets	More Information
Lot and Building Standards (88-140)	Yes	Yes	Complies with M3-5 zoning standards
Accessory or Use- Specific Standards (88-305 – 385)	No	NA	
Boulevard and Parkway Standards (88-323)	No	NA	
Parkland Dedication (88-408)	No	NA	
Parking and Loading Standards (88-420)*	Yes	Yes	The applicant is seeking deviation for an alternative parking compliance. Show alternative table on face of the plan.
Landscape and Screening Standards (88-425)	Yes	NO	Need additional berms and landscape screening from public ROW. See plan set.
Outdoor Lighting Standards (88-430)	Yes	Yes	Plan conforms to standards
Sign Standards (88-445)	No		Signs must be permitted separately
Pedestrian Standards (88-450) *	Yes	No	No sidewalks are provided internally or along the public streets. Show internal pedestrian sidewalks connecting to N. Arlington Avenue from the office and parking lot.

SPECIFIC REVIEW CRITERIA

Development Plans, Project Plan, or Site Plan (88-516-05)

In order to be approved, a development plan, project plan, or site plan must comply with all of the following criteria:

- A. The plan must comply with all standards of the Zoning and Development Code and all other applicable city ordinances and policies;**
 The proposed development plan complies with all standards of the Zoning and Development Code as well as the Riverfront Industrial Area Plan.
- B. The proposed use must be allowed in the district in which it is located;**
 Proposed use is allowed by Section 88-140 of the Zoning and Development Code.
- C. Vehicular ingress and egress to and from the site, and circulation within the site must provide for safe, efficient, and convenient movement of traffic not only within the site but on adjacent roadways;**
 Proposed vehicular ingress and egress to and from the site allows for safe and efficient movement subject to relocation of the second access drive per staff correction.
- D. The plan must provide for safe, efficient, and convenient non-motorized travel opportunities, being pedestrian and bicycle movement, on the subject site;**
 The proposed plan shows on site pedestrian circulation. This will be compliant per staff correction to provide connection to N. Arlington Avenue.

E. The plan must provide for adequate utilities based on City standards for the particular development proposed.

There is existing public infrastructure serving the site. Additional utilities and infrastructure will be brought to City Standards after the applicant obtains an approved Final Plat.

F. The location, orientation, and architectural features, including design and material, of buildings and other structures on the site must be designed to be compatible with adjacent properties.

Adjacent properties are single family residences. Staff recommends that the applicant submit proposed architectural building material and color renderings. The site will also be screened with berms and landscaping to adequately screen this development.

G. Landscaping, berms, fences, and/or walls must be provided to buffer the site from undesirable views, noises, lighting, or other off-site negative influences and to buffer adjacent properties from negative influences that may be created by the plan.

Adjacent properties are single family residences and staff recommends berms and landscaping to adequately screen this development.

H. The design of streets, drives, and parking areas within the project should result in a minimum of area devoted to asphalt or other impervious surfaces consistent with the needs of the project and city code requirements.

The proposed building is data center with the required parking.

I. The plan must identify trees to be removed and trees to be preserved during the development of the subject property with the goal of saving trees that are not required to be removed for the development of the property.

There are no existing trees on the site. The applicant has proposed a landscape plan which shows extensive planting of trees.

ATTACHMENTS

1. Conditions Report
2. Applicants Submittal
3. Public Engagement Materials

PROFESSIONAL STAFF RECOMMENDATION

City staff recommends **Approval Subject to Conditions** as stated in the conditions report.

Respectfully Submitted,



Olofu Agbaji
Planner



Plan Conditions

Report Date: April 27, 2023

Case Number: CD-CPC-2023-00016

Project: MC106 Data Center

Condition(s) by City Planning and Development Department. Contact Olofu Agbaji at (816) 513-8815 / Olofu.Agbaji@kcmo.org with questions.

1. That the developer shall submit plans, revised as noted below, to the Development Management Division via Compass PRIOR to City Council consideration:
 1. Submit evidence of approval by MoDOT prior to ordinance request.
 2. Revise the landscaping plan to show a berm and continuous row of evergreen shrubs along N. Arlington Avenue to screen the existing residences on the east side of N. Arlington Avenue per staff approval prior to ordinance request (4/17/2023)
 3. Call out any request for waiver, deviation and modification to the subdivision regulations. Provide proposed alternative parking compliance plan. (4/17/2023)
 4. Provide revised architectural details for the proposed building. Show building articulation and differentiation on the façade along MO Route 210 and N. Arlington Avenue. Provide color elevations with material samples including renderings and perspective. (4/17/2023)
 5. Relocate the second entrance to align with NE 36th Street to avoid impacting the three existing detached residential homes at the southeast corner of NE 36th Street and N. Arlington Avenue. Revise Plans and Resubmit (4/27/2023)
 6. Show reciprocal cross access easement on the second drive to be able to serve the parcel to the north of the subject parcel. Revise Plans and Resubmit (4/27/2023)
 7. Add plan revision dates to the plan set. Revise Plans and Resubmit (4/27/2023)
 8. Provide revised architectural details for the proposed building. Provide color elevations with material samples including renderings and perspective. Revise Plans and Resubmit (4/27/2023)
 9. Show internal sidewalks connection extended to N. Arlington Avenue. Revise Plans and Resubmit (4/27/2023)
 10. Correct Site Summary Table to show the building height of phase 2. Correctly show the building height and the number of floors. Revise Plans and Resubmit (4/27/2023)
 11. Update parking calculations to cover shift changes also. Revise Plans and Resubmit (4/27/2023)
 12. Show all building and parking setbacks and dimensions on site plan. Revise Plans and Resubmit (4/27/2023)
 13. Provide alternate parking compliance request for vehicles and bicycle parking on the face of the plan. This should include required number and the percentage of deviation and why. Revise Plans and Resubmit (4/27/2023)
 14. Provide alternate parking compliance request for vehicles and bicycle parking on the face of the plan. This should include required number and the percentage of deviation and why. Revise Plans and Resubmit (4/27/2023)
 15. That the developer pay the outstanding \$136 continuance fee prior to ordinance request. Pay prior to ordinance request.

Condition(s) by City Planning and Development Department. Contact Olofu Agbaji at (816) 513-8815 / Olofu.Agbaji@kcmo.org with questions.

2. The developer shall submit an affidavit, completed by a landscape architect licensed in the State of Missouri, verifying that all landscaping required of the approved plan has been installed in accordance with the plan and is healthy prior to Certificate of Occupancy.
3. The developer shall submit an affidavit, completed by a landscape architect licensed in the State of Missouri, verifying that street trees have been installed in accordance with the approved street tree planting plan and are healthy prior to Certificate of Occupancy.
4. That all signage shall conform to 88-445 and shall require a sign permit prior to installation.
5. The developer shall submit an affidavit, prepared by an engineer licensed in the State of Missouri, verifying that all outdoor

lighting has been installed in accordance with approved plans and that lighting levels do not exceed that shown on the approved lighting plan at the property lines prior to Certificate of Occupancy.

6. The developer shall screen all roof and/or ground mounted mechanical and utility equipment in compliance with 88-425-08.
7. That the developer obtain approval from the Birmingham Levee District for review prior to ordinance request.
8. That the developer provide reciprocal cross access easement on the second drive to be able to serve the parcel to the north of the subject parcel.

Condition(s) by City Planning and Development Department. Contact Terry Thomas at (816) 513-2510 / Terry.A.Thomas@kcmo.org with questions.

9. The developer must grant a BMP and/or Surface Drainage Easement to the City as required by the Land Development Division, prior to recording the plat or issuance of any building permits.
10. The developer shall submit verification of vertical and horizontal sight distance for the drive connection to public right-of-way to the Land Development Division and make improvements to ensure local jurisdiction and/or minimum AASHTO adequate sight distance standards are met, prior to issuance of any certificate of occupancy.
11. The developer must secure permits to extend public sanitary and storm water conveyance systems to serve all proposed lots within the development and determine adequacy of receiving systems as required by the Land Development Division, prior to recording the plat or issuance of a building permit whichever occurs first.
12. The developer must pay impact fees as required by Chapter 39 of the City's Code of ordinances as required by the Land Development Division.
13. The developer shall submit plans for grading, siltation, and erosion control to Land Development Division for review and acceptance, and secure a Site Disturbance permit for any proposed disturbance area equal to one acre or more prior to beginning any construction activities.
14. The developer shall cause the area to be platted and processed in accordance with Chapter 88, Code of Ordinances of the City of Kansas City, Missouri.
15. The developer must submit a Macro storm drainage study with the first Plat or Phase, from a Missouri-licensed civil engineer to the Land Development Division showing compliance with current adopted standards in effect at the time of submission, including Water Quality BMP's, to the Land Development Division for review and acceptance for the entire development area, and submit Micro storm drainage study with each subsequent Plat or Phase showing compliance with the approved Macro and adopted standards. The developer shall secure permits to construct any improvements as necessary to mitigate impacts from rate, volume, and quality of runoff from each proposed phase, prior to recording the plat or prior to issuance of a Building Permit, whichever occurs first as required by the Land Development Division.

Condition(s) by City Planning and Development Department. Contact Terry Thomas at (816) 513-2510 / Terry.A.Thomas@kcmo.org with questions.

16. The developer must dedicate additional right of way [and provide easements] for N Arlington Ave as required by the adopted [Major Street Plan and/or Chapter 88] so as to provide a minimum of 50 feet of right of way as measured from the centerline, along those areas being platted, or seek approval recommendations from the Transportation and Development Committee for any variances requested to the Major Street Plan prior to City Plan Commission approval.

Condition(s) by Fire Department. Contact Michael Schroeder at (816) 513-4604 / michael.schroeder@kcmo.org with questions.

17. The project shall meet the fire flow requirements as set forth in Appendix B of the International Fire Code 2018. (IFC-2018 § 507.1)
18. If an approved security gate spans across a fire access road, an approved means for emergency operation shall be provided (IFC-2018 § 503.6)
19. The project shall meet the fire flow requirements as set forth in Appendix B of the International Fire Code 2018. (IFC-2018 § 507.1)
20. Buildings equipped with a fire standpipe system shall have an operable fire hydrant within 100 feet of the Fire Department Connection (FDC). (IFC2018 § 507.5.1.1)

21. A required fire department access roads shall be an all weather surface. (IFC-2012: § 503.2.3)
22. Fire Department access roads shall be provided prior to construction/demolition projects begin. (IFC-2018 § 501.4 and 3310.1; NFPA 241-2013 § 7.5.5)
23. Required fire department access roads shall designed to support a fire apparatus with gross axle weight of 85,000 pounds. (IFC-2018: § 503.2.3)
24. New buildings shall have approved radio coverage for emergency responders within the building based on the existing coverage levels of the public safety communication systems utilized by the jurisdiction, measured at the exterior of the building. This section shall not require improvement of the existing public safety communication systems. (IFC 2018 510.1) and (NFPA1221)
25. Fire hydrant distribution shall follow IFC-2018 Table C102.1
26. Fire hydrants shall be installed and operable prior to the arrival of any combustible building materials onto the site. (IFC-2018 § 501.4 and 3312.1; NFPA -2013 § 8.7.2)
27. § 501.4 and 3312.1; NFPA -2013 § 8.7.2)

Condition(s) by Parks & Recreation. Contact Richard Sanchez at (816) 513-7678 / Richard.Sanchez@kcmo.org with questions.

28. The developer shall submit a streetscape plan with street tree planting plan per 88-425-03 for approval and permitting by the Parks & Recreation Department's Forestry Division prior to beginning work in the public right-of-way

Condition(s) by Public Works Department. Contact Kirk Rome at (816) 513-0368 / kirk.rome@kcmo.org with questions.

29. The maximum fire hydrant spacing is 300', the developer must submit fire hydrant (relocation/new installation) drawings prepared by a registered professional Engineer in Missouri to the main extension desk for review, acceptance and contracts per the KC Water Rules and Regulations for Water main extensions and Relocations.

Condition(s) by Water Services Department. Contact Heather Massey at (816) 513-2111 / heather.massey@kcmo.org with questions.

30. The developer shall have a water flow test done to ensure there is adequate water pressure to serve the development.
31. The developer shall ensure that water and fire service lines should meet current Water Services Department Rules and Regulations. Prior to C of O.

SITE DEVELOPMENT PLANS

FOR

MCI06

SECTION 11, TOWNSHIP 50 N, RANGE 32 W
 IN KANSAS CITY, CLAY COUNTY, MISSOURI
 CITY PROJECT NO:

WATERSHED: MISSOURI RIVER
 AREA: 37.80 AC

ADDRESS: 3420 N ARLINGTON AVE, KANSAS CITY, MO

UTILITY AND GOVERNING AGENCY CONTACTS

AT&T	800-246-8464
BP PIPELINES NORTH AMERICA	918-660-4455
BLUEBIRD NETWORK	417-575-7115
CENTRUYLINK (FORMERLY QWEST)	800-283-4237
CONSOLIDATED	844-968-7224
COMCAST	800-391-3000
FIDELITY COMMUNICATIONS	800-392-8070
GOOGLE FIBER NOC	866-954-1572
KCMO PARKS & RECREATION	816-513-7500
KCMO STREET & TRAFFIC DIVISION	816-513-0421
KCMO STREET LIGHTING/BLACK & MCDONALD	816-513-0257
KCMO WATER SERVICE DEPT DISPATCHER	816-513-1313
KCMO WATER SERVICES POLLUTION CONTROL	816-513-1313
KCP&L	888-544-4852
MAGELLAN MIDSTREAM PARTNERS LP	800-720-2417
MISSOURI GAS ENERGY (LACLEDE)	800-582-0000
MISSOURI DEPARTMENT OF TRANSPORTATION	888-275-6636
MISSOURI ONE-CALL	800-344-7483
SOUTHERN STAR CGP	800-324-9696
SINCLAIR TRANSPORTATION	800-321-3994
SPRINT	800-521-0579
SUREWEST	913-825-3000
SPECTRUM	833-493-4939
TRI COUNTY WATER	916-796-4100
TW TELEVISION	800-829-0420
UNITED PRIVATE NETWORKS	866-963-4237
VERIZON/MCI COMMUNICATIONS INC.	800-624-9675
ZAYO	866-236-2824

PROJECT TEAM

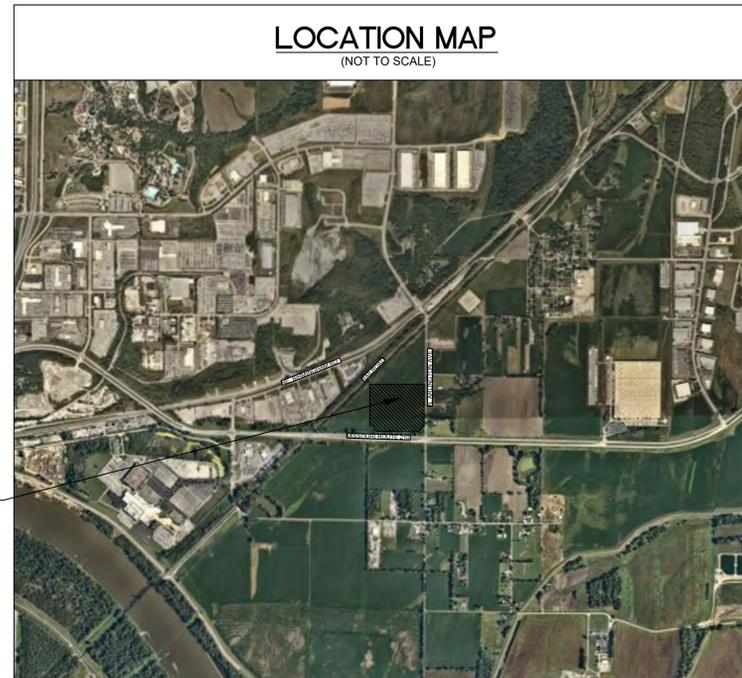
APPLICANT
 EDGED KANSAS CITY, LLC.
 30 OLD KINGS HIGHWAY SUITE 1005
 DARIEN, CT 06820
 TEL: (646) 372-6641
 CONTACT: POLINA TYMOSHENKO
 EMAIL: POLINA.TYMOSHENKO@EDGEDENERGY.COM

CIVIL ENGINEER
 KIMLEY-HORN AND ASSOCIATES, INC.
 805 PENNSYLVANIA AVENUE, SUITE 150
 KANSAS CITY, MO 64105
 TEL: (816) 652-0350
 PRIMARY CONTACT: JOHN CHAMBERLIN, P.E.
 EMAIL: JOHN.CHAMBERLIN@KIMLEY-HORN.COM
 SECONDARY CONTACT: LUKE LONG, CIVIL ANALYST
 EMAIL: LUKE.LONG@KIMLEY-HORN.COM

LANDSCAPE ARCHITECT
 KIMLEY-HORN AND ASSOCIATES, INC.
 805 PENNSYLVANIA AVENUE, SUITE 150
 KANSAS CITY, MO 64105
 EMAIL: (816) 652-0350
 PRIMARY CONTACT: JASON KANAK, R.L.A.
 EMAIL: JASON.KANAK@KIMLEY-HORN.COM
 SECONDARY CONTACT: ASHLEY SERR
 EMAIL: ASHLEY.SERR@KIMLEY-HORN.COM

PROJECT MANAGER
 BURNS & MCDONNELL
 9400 WARD PARKWAY
 KANSAS CITY, MO 64114
 PRIMARY CONTACT: CHAD SANDERSON
 EMAIL: CESANDERSON@BURNSMCD.COM
 TEL: 816-457-2756

Sheet List Table	
Sheet Number	Sheet Title
C001	COVER SHEET
C002	EXISTING CONDITIONS
C003	PRELIMINARY PLAT
C100	SITE PLAN
C200	GRADING & DRAINAGE PLAN
C300	UTILITY PLAN
C400	PHOTOMETRIC PLAN
C401	PHOTOMETRIC PLAN
L100	LANDSCAPE KEY MAP AND PLANT NOTES
L101	LANDSCAPE PLAN
L102	LANDSCAPE PLAN
L103	LANDSCAPE PLAN
L104	LANDSCAPE PLAN
L105	LANDSCAPE PLAN
L106	LANDSCAPE PLAN
L200	LANDSCAPE DETAILS
SD-1A	ELEVATIONS AND PERSPECTIVE



PROJECT LOCATION

LEGAL DESCRIPTION

Tract 2:
 The Northwest Quarter of the Southeast Quarter of Section 11, Township 50, Range 32, in Kansas City, Clay County, Missouri, except that part conveyed to the trustees of the property of Chicago, Milwaukee, St. Paul and Pacific Railroad Company by warranty deed recorded in Book 356, Page 391, and except that part conveyed to the trustees of the estate of St. Paul and Kansas City Short Line Railroad Company by warranty deed recorded in Book 356, Page 489.



REVIEWED FOR CODE COMPLIANCE

City Planning and Development Services
 Land Development Division

Land Disturbance
 Private Grading
 Public Grading
 Street Design
 Sanitary Sewers
 Storm Drainage

By: _____
 REVIEWER

DATE: _____

DEPARTMENT OF CITY PLANNING & DEVELOPMENT
 KANSAS CITY, MISSOURI

CONSTRUCTION PERMIT MUST BE SECURED WITHIN ONE YEAR OF REVIEW

NOT FOR CONSTRUCTION
 REVIEWED FOR CONSTRUCTION

CURRENT APPLICABLE CODE FOR INTERIOR WORK (UPC) UNIFORM PLUMBING CODE, 2018 EDITION

CURRENT APPLICABLE CODE FOR EXTERIOR WORK KC WATER 2018 STANDARDS AND SPECIFICATIONS FOR WATERMAIN EXTENSIONS AND RELOCATIONS

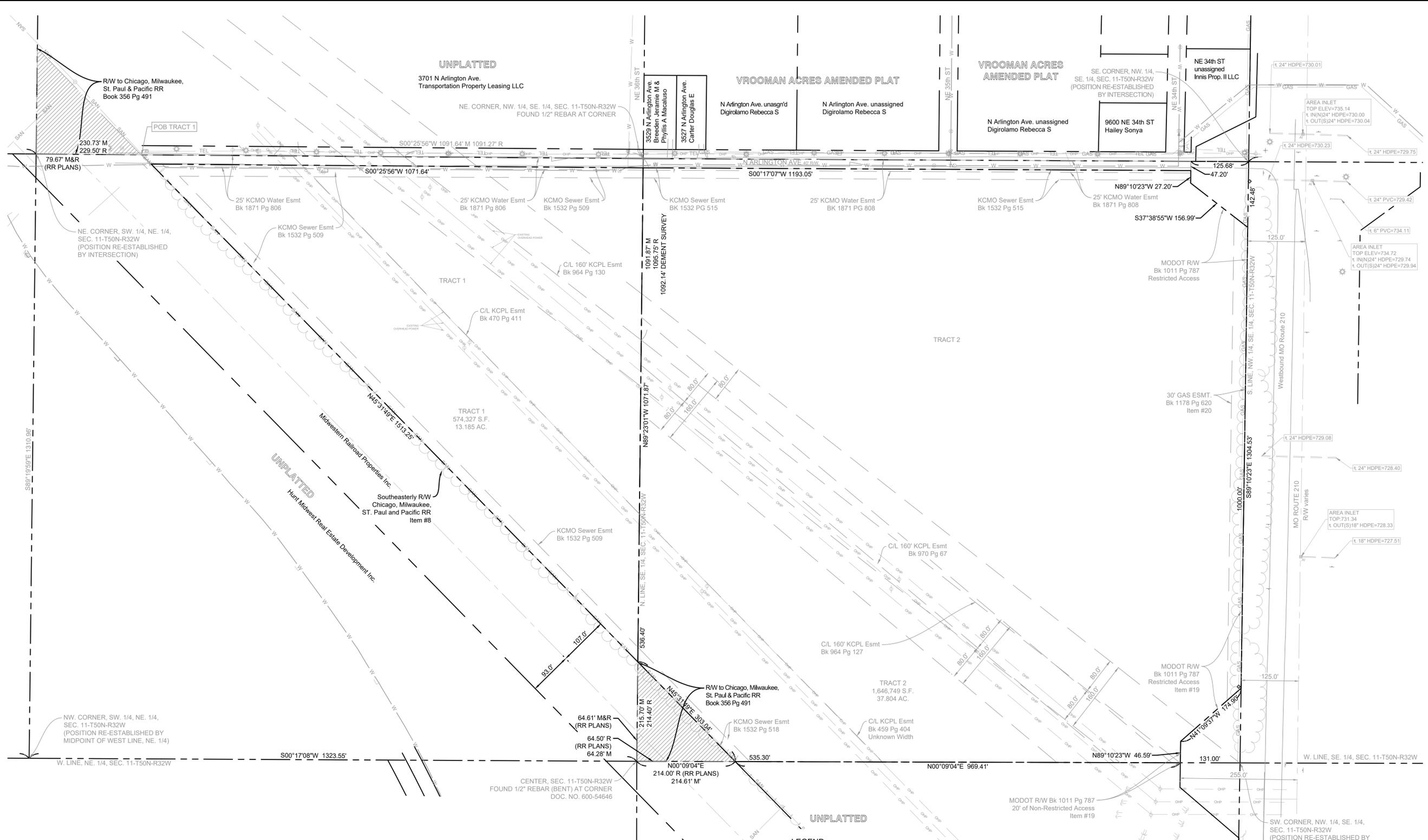
UTILITY NOTE:
 THE UTILITIES DEPICTED ON THIS DOCUMENT HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES OR SUBSURFACE FEATURES SHOWN COMPRISE ALL SUCH ITEMS IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES OR SUBSURFACE FEATURES SHOWN ARE IN THE EXACT LOCATION INDICATED EXCEPT WHERE NOTED AS QUALITY LEVEL A.



Plotted By: Luke, Sheet: Set: MCI06, Layout: 001, COVER SHEET, April 16, 2023, 08:21:45pm, K:\VNC\LEVA\268302000_MCI06_Design\CAD\PlanSheets\Site_Development_Plan\SD-COVER SHEET.dwg

<h1 style="font-size: 2em; margin: 0;">Kimley»Horn</h1> <p style="font-size: 0.8em; margin: 0;">805 PENNSYLVANIA AVE, SUITE 150, KANSAS CITY, MO 64105 PHONE: 816-652-0350 WWW.KIMLEY-HORN.COM © 2022 KIMLEY-HORN AND ASSOCIATES, INC.</p>	<h2 style="font-size: 1.5em; margin: 0;">COVER SHEET</h2> <p style="font-size: 0.8em; margin: 0;">MCI06 EDGEDENERGY</p>
<p style="font-size: 0.8em; margin: 0;">KHA PROJECT 268302000</p> <p style="font-size: 0.8em; margin: 0;">DATE 01/30/2023</p> <p style="font-size: 0.8em; margin: 0;">SCALE AS SHOWN</p> <p style="font-size: 0.8em; margin: 0;">DESIGNED BY LCL</p> <p style="font-size: 0.8em; margin: 0;">DRAWN BY LCL</p> <p style="font-size: 0.8em; margin: 0;">CHECKED BY JC</p>	<p style="font-size: 0.8em; margin: 0;">SHEET NUMBER C001</p>

Plotted By: Long, Luke Sheet Set: MCI06 Layout: C002 EXISTING CONDITIONS April 16, 2023 08:22:04pm K:\KINS_LDEV\268302000\MCI06 Design\CAD\PlanSheets\Site Development Plans\SD-EXISTING CONDITIONS.dwg This document, together with the concepts and designs presented herein, is an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on the document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



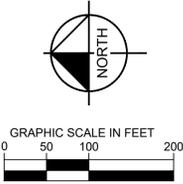
LEGAL DESCRIPTION

Tract 1:
All that part of the Southwest 1/4 of the Northeast 1/4 of Section 11, Township 50, Range 32, more particularly described as follows:
Beginning at a point on the East line of the Southwest 1/4 of the Northeast 1/4 of Section 11, Township 50, Range 32, 229.50 feet South of the Northeast corner thereof; thence South along the East line of said Southwest 1/4 of the Northeast 1/4 section 1,091.27 feet to the Southeast corner thereof; thence west along the South line of said Southwest 1/4 of the Northeast 1/4 Section 1,095.15 feet to a point 214.40 feet East of the Southwest corner thereof; thence Southeasterly 1547.38 feet to the point of beginning, in Kansas City, Clay County, Missouri.

Tract 2:
The Northwest Quarter of the Southeast Quarter of Section 11, Township 50, Range 32, in Kansas City, Clay County, Missouri, except that part conveyed to the trustees of the property of Chicago, Milwaukee, St. Paul and Pacific Railroad Company by warranty deed recorded in Book 356, Page 391, and except that part conveyed to the trustees of the estate of St. Paul and Kansas City Short Line Railroad Company by warranty deed recorded in Book 356, Page 489.



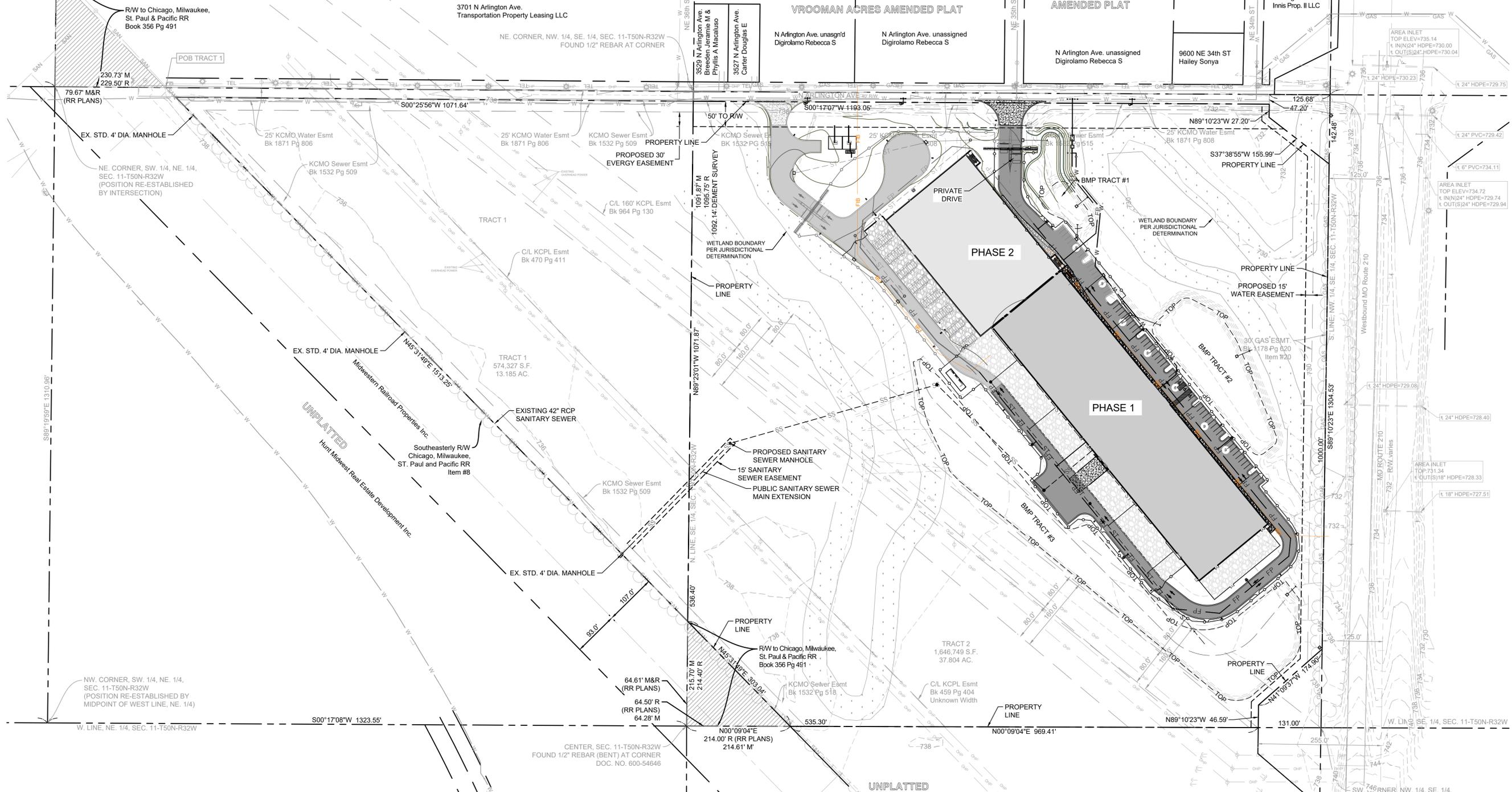
- LEGEND:**
- SURVEY**
 ▲ FOUND SECTION CORNER AS NOTED
 ● FOUND MONUMENT AS NOTED
 ○ SET 1/2" X 24" REBAR WITH RIC
 MODLS2011003572 CAP
 (P) PLATTED
 L LENGTH OF CURVE
 R RADIUS OF CURVE
- EASEMENTS**
 GLE GAS LINE EASEMENT
 SSE SANITARY SEWER EASEMENT
 U/E UTILITY EASEMENT
 WLE WATERLINE EASEMENT
 RZA RESTRICTED ACCESS
- MISCELLANEOUS**
 ☉ STREET LIGHT
 GAS GAS LINE
 OHP OVERHEAD POWER
 GUY GUY ANCHOR
 ○ POWER POLE
 ☒ SIGNS
 ☒ TELEPHONE BOX
 ☒ TELEPHONE VAULT
 UGT UNDERGROUND TELEPHONE



KHA PROJECT 268302000	DATE 01/30/2023	SCALE AS SHOWN	DESIGNED BY LCL	DRAWN BY LCL	CHECKED BY JJC	MO	SHEET NUMBER C002	KANSAS CITY	EDGEDENERGY	MCI06	EXISTING CONDITIONS	Kimley»Horn	605 PENNSYLVANIA AVE. SUITE 100 KANSAS CITY, MO 64105 PHONE: 816-552-0330 WWW.KIMLEY-HORN.COM © 2022 KIMLEY-HORN AND ASSOCIATES, INC.	REVISIONS	DATE	BY
														No.		

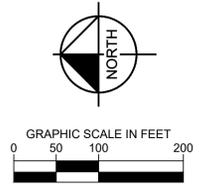
PRELIMINARY PLAT MCI06

PART OF THE SOUTHEAST QUARTER OF SECTION 11, TOWNSHIP 50N, RANGE 32W CITY OF KANSAS CITY, CLAY COUNTY, MISSOURI



LEGAL DESCRIPTION

Tract 2:
The Northwest Quarter of the Southeast Quarter of Section 11, Township 50, Range 32, in Kansas City, Clay County, Missouri, except that part conveyed to the trustees of the property of Chicago, Milwaukee, St. Paul and Pacific Railroad Company by warranty deed recorded in Book 356, Page 391, and except that part conveyed to the trustees of the estate of St. Paul and Kansas City Short Line Railroad Company by warranty deed recorded in Book 356, Page 489.



NO.	REVISIONS	DATE	BY

Kimley»Horn

685 PENNSYLVANIA AVE. SUITE 400, KANSAS CITY, MO 64105
PHONE: 816-552-0330
WWW.KIMLEY-HORN.COM
© 2022 KIMLEY-HORN AND ASSOCIATES, INC.

KHA PROJECT	268302000
DATE	01/30/2023
SCALE	AS SHOWN
DESIGNED BY	LCL
DRAWN BY	LCL
CHECKED BY	JC

PRELIMINARY PLAT

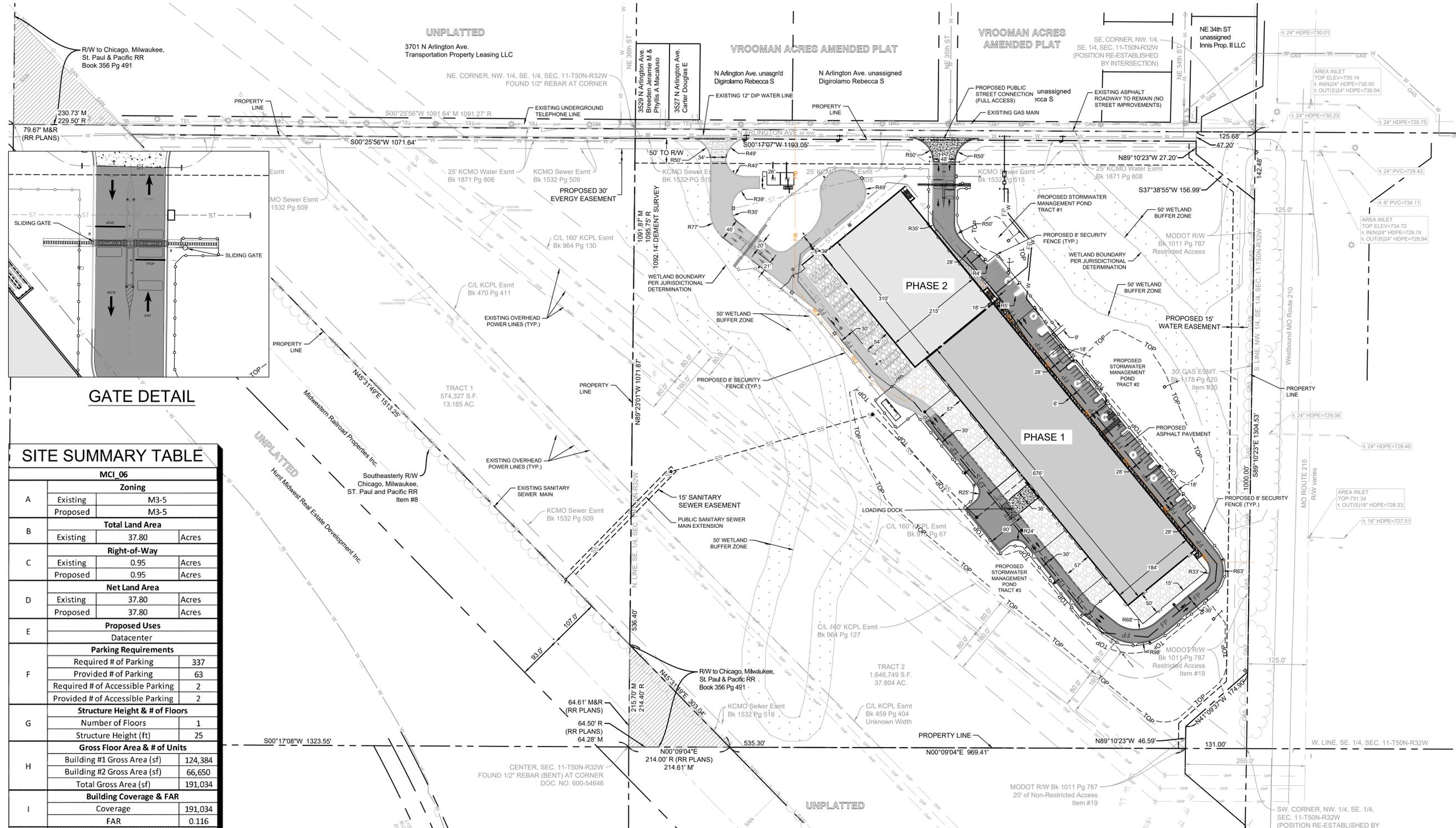
MCI06
EDGEENERGY

SHEET NUMBER
C003

KANSAS CITY, MO

Plotted By: Long, Luke. Sheet Set: MCI06. Layout: C003. Preliminary Plat. April 16, 2023. 08:22:34pm. K:\KNC_LDEV\268302000_MCI06_Prelim\CAD\Plat\Sheets\Site Development\Plat\SD-Preliminary Plat.dwg. This document, together with the concepts and designs presented herein, is an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

Plotted By: Long, Luke Sheet Set: MCI06 Layout: C:\100 SITE PLAN April 16, 2023 08:22:40pm K:\KANSAS_LDEV\268302000\MCI06 Design\CAD\PlanSheets\Site Development\Plans\SD-SITE PLAN.dwg
 This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on the document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



GATE DETAIL

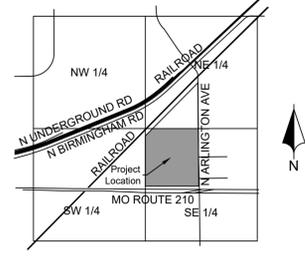
SITE SUMMARY TABLE

MCI_06		
A	Existing Zoning	M3-5
	Proposed Zoning	M3-5
B	Total Land Area	
	Existing	37.80 Acres
C	Right-of-Way	
	Existing	0.95 Acres
D	Net Land Area	
	Existing	37.80 Acres
E	Proposed Uses	
	Datacenter	
F	Parking Requirements	
	Required # of Parking	337
	Provided # of Parking	63
	Required # of Accessible Parking	2
G	Structure Height & # of Floors	
	Number of Floors	1
H	Gross Floor Area & # of Units	
	Building #1 Gross Area (sf)	124,384
	Building #2 Gross Area (sf)	66,650
I	Building Coverage & FAR	
	Coverage	191,034
J	Open Space	
	% Provided	75

NOTE:
 ALTERNATIVE PARKING COMPLIANCE TO BE SUBMITTED DUE TO MAXIMUM OF 50 EMPLOYEES BEING ON SITE AT A TIME.

LEGAL DESCRIPTION

Tract 2:
 The Northwest Quarter of the Southeast Quarter of Section 11, Township 50, Range 32, in Kansas City, Clay County, Missouri, except that part conveyed to the trustees of the property of Chicago, Milwaukee, St. Paul and Pacific Railroad Company by warranty deed recorded in Book 356, Page 391, and except that part conveyed to the trustees of the estate of St. Paul and Kansas City Short Line Railroad Company by warranty deed recorded in Book 356, Page 489.



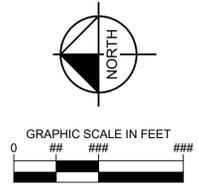
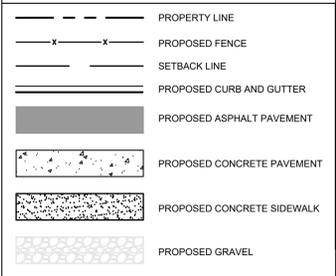
M3-5 HEIGHT 7 AREA REGULATIONS

- MAX. HEIGHT = NONE
 - MIN. FRONT SETBACK
 - ABUTTING RESIDENTIAL DISTRICT = [1]
 - NOT ABUTTING R DISTRICT = NONE
 - MIN. REAR SETBACK
 - ABUTTING RESIDENTIAL DISTRICT = [1]
 - % OF LOT DEPTH = 25
 - MAX. REQUIRED FEET = 30
 - NOT ABUTTING R DISTRICT = NONE
 - MIN. SIDE SETBACK
 - ABUTTING RESIDENTIAL DISTRICT = [2]
 - NOT ABUTTING R DISTRICT = NONE
- [1] Front setback required only when M-zoned lot abuts R-zoned lots. In such cases, the M-zoned lot must match the actual front setback of the building that exists on the abutting R-zoned lot, or if no building exists on the abutting R-zoned lot, the M-zoned lot must provide at least 50% of the front setback that applies to the abutting R-zoned lot.
- [2] Side setback required only when M-zoned lot abuts R-zoned lots. In such cases, the M-zoned lot must provide the same side setback as required for the abutting R-zoned lot.

GENERAL NOTES

- ALL DIMENSIONS REFER TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL AND STRUCTURAL PLANS TO VERIFY ALL BUILDING DIMENSIONS.
- RADIi ADJACENT TO PARKING STALL AND NOT DIMENSIONED ON THIS PLAN SHALL BE 3-FEET, TYPICAL.
- REFER TO ARCHITECTURAL PLANS FOR MONUMENT SIGN DETAILS.
- SEE MEP PLANS FOR SITE ELECTRICAL DRAWINGS.
- ALL PROPOSED ON-SITE STRIPING SHALL BE PAINTED UNLESS OTHERWISE NOTED.

SITE PLAN LEGEND



Kimley»Horn

605 PENNSYLVANIA AVE. SUITE 400, KANSAS CITY, MO 64105
 PHONE: 816-524-0330
 WWW.KIMLEY-HORN.COM
 © 2022 KIMLEY-HORN AND ASSOCIATES, INC.

DATE

REVISIONS

No.

BY

KHA PROJECT
268302000

DATE
01/30/2023

SCALE
AS SHOWN

DESIGNED BY
LCL

DRAWN BY
LCL

CHECKED BY
JC

SITE PLAN

MO

MCI06

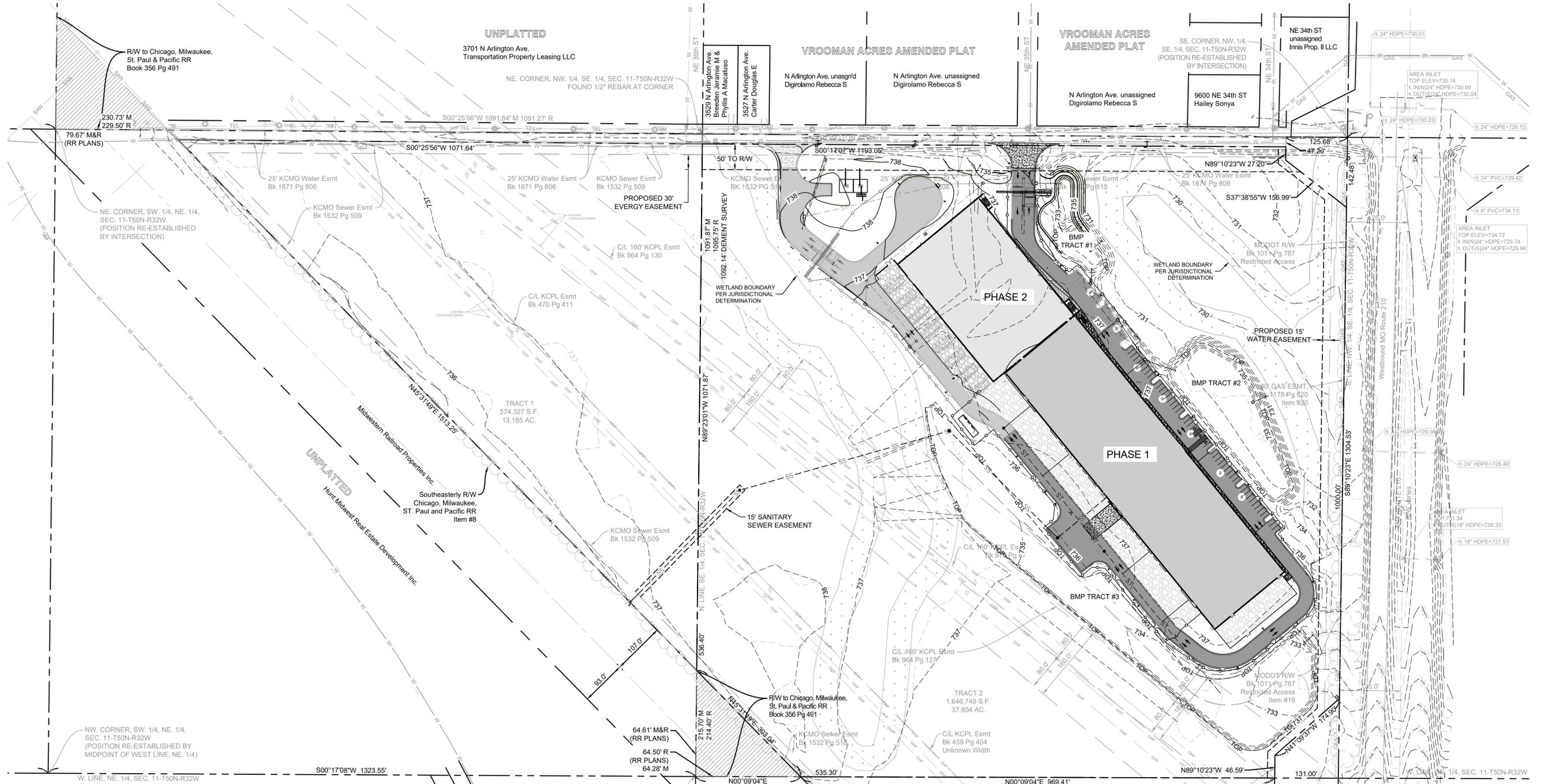
EDGEENERGY

KANSAS CITY

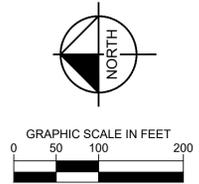
SHEET NUMBER

C100

Plotted By: Long, Luke Sheet Set: MCI06 Layout: C200 GRADING & DRAINAGE PLAN April 16, 2022 08:22:43pm K:\KNC_LDEV268302000 MCI06 Design\CAD\Plots\Sheets\Site Development\Plots\SD-GRADING & DRAINAGE PLAN.dwg
 This document, together with the concepts and designs presented herein, is an instrument of service, and its preparation and use are intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on the document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc. © 2022 KIMLEY-HORN AND ASSOCIATES, INC.



- ### NOTES
1. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE LOCATION OF EXISTING UTILITIES AND NOTIFY THE ENGINEER OF RECORD OF ANY CONFLICTS UPON DISCOVERY
 2. ALL ELEMENTS THAT ARE PLACES OF PUBLIC ACCOMMODATIONS AND COMMERCIAL FACILITIES ON THE SITE (INCLUDING ACCESSIBLE ROUTES AND PARKING) SHALL MEET THE REQUIREMENTS OF AMERICANS WITH DISABILITIES ACCESSIBILITY IMPLEMENTATION ACT, THE CURRENT ADA STANDARDS FOR ACCESSIBLE DESIGN, AND ALL STATE AND LOCAL STANDARDS.
 3. CONTRACTOR SHALL VERIFY EXISTING PIPE EXTENSIONS AND CONNECTION ELEVATIONS PRIOR TO SHOP DRAWING REVIEW.
 4. CONTRACTOR SHALL STABILIZE ALL DISTURBED AREAS WITH SOD OR GRASS SEED MIX IMMEDIATELY UPON COMPLETION OF LAND ALTERATION ACTIVITIES.
 5. THE CONTRACTOR SHALL REVIEW THE SITE GEOTECHNICAL REPORT BEFORE COMMENCING GRADING OPERATIONS.
 6. UNDERGROUND UTILITIES HAVE NOT BEEN VERIFIED BY THE OWNER, DESIGNER, OR THEIR REPRESENTATIVES. BEFORE YOU DIG CALL MISSOURI 1 CALL (811).
 7. SITE STABILITY ANALYSIS SHALL BE PERFORMED FOR ALL FILL SLOPES GREATER THAN 15' CONSTRUCTED AT 2.5(H):1(V) OR GREATER SLOPES. CONTRACTOR SHALL COORDINATE WITH THE GEOTECHNICAL ENGINEER PRIOR TO CONSTRUCTING SLOPE.



No.	REVISIONS	DATE	BY

Kimley»Horn

605 PENNSYLVANIA AVE. SUITE 400 KANSAS CITY, MO 64105
 PHONE: 816.552.0330
 WWW.KIMLEY-HORN.COM
 © 2022 KIMLEY-HORN AND ASSOCIATES, INC.

KHA PROJECT	268302000
DATE	01/30/2023
SCALE AS SHOWN	LCL
DESIGNED BY	LCL
DRAWN BY	LCL
CHECKED BY	JC

GRADING & DRAINAGE PLAN

MCI06

EDGEDENERGY

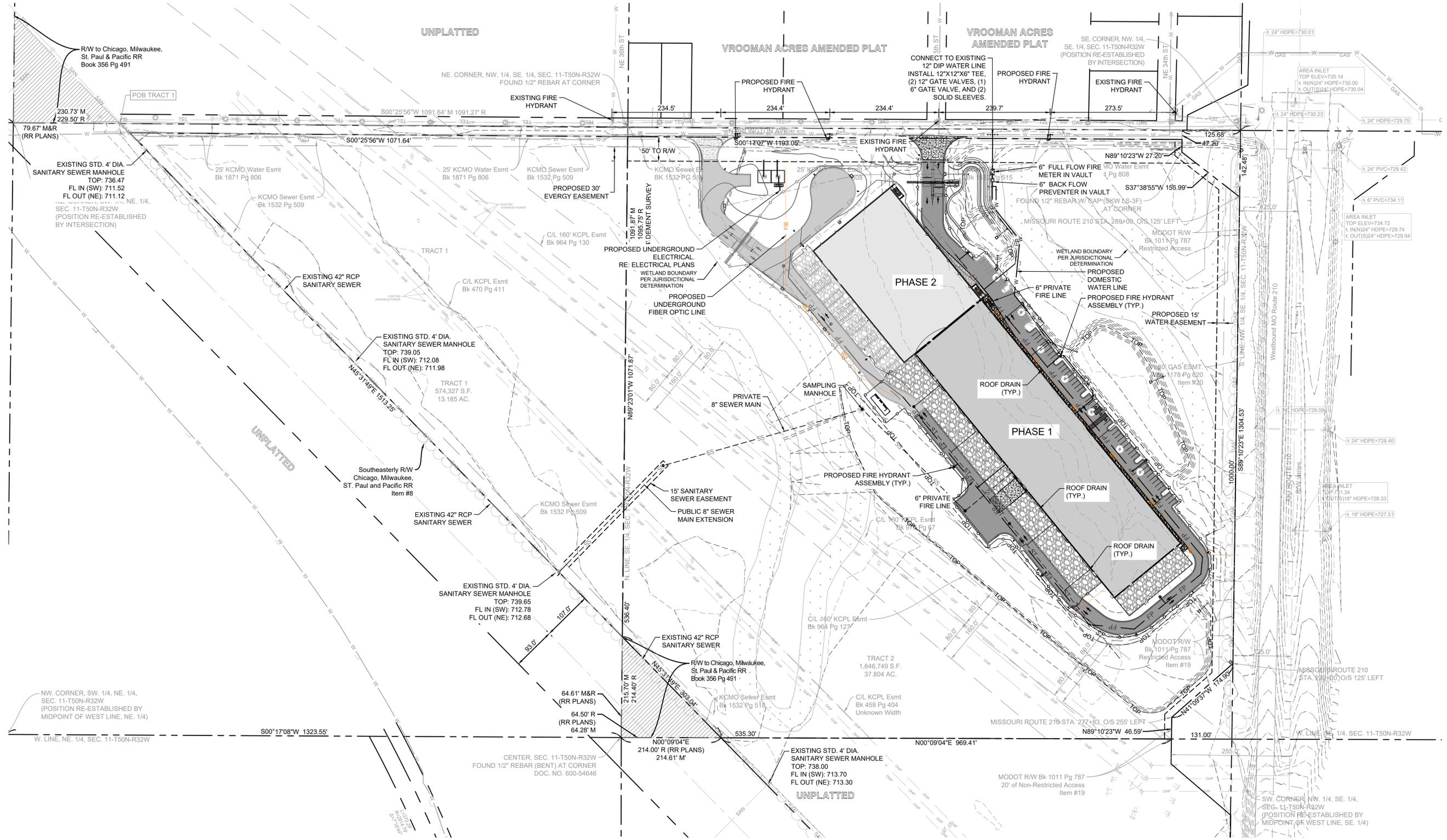
MO

KANSAS CITY

SHEET NUMBER

C200

Plotted By: Long, Luke Sheet Set: MCI06 Layout: C300 UTILITY PLAN April 16, 2023 08:22:46pm K:\KNC_LDEV\268302000_MCI06 Design\CAD\PlanSheets\Site Development Plans\SD-UTILITY PLAN.dwg
 This document, together with the concepts and designs presented herein, is an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



GENERAL NOTE

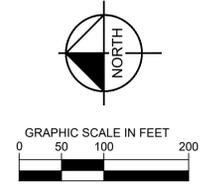
- THE PROPOSED IMPROVEMENTS ARE NOT LOCATED WITHIN THE 100-YEAR FLOODPLAIN

UTILITY NOTES

- ALL PROPOSED WATER & STORM LINES SHOWN ARE PRIVATELY OWNED & PRIVATELY MAINTAINED (TYP.)
- THE PROPOSED SANITARY SEWER SERVICE LINES ARE CONSIDERED PRIVATE, HOWEVER THE PROPOSED SEWER MAIN IS CONSIDERED PUBLIC.

UTILITY LEGEND

— W —	EXISTING WATER MAIN	— W —	PROPOSED WATER LINE
— SAN —	EXISTING SANITARY MAIN	- - - SS - - -	PROPOSED SANITARY SEWER LINE
— S —	EXISTING STORM LINE	— FP —	PROPOSED FIRE SERVICE LINE
— GAS —	EXISTING GAS MAIN	— GAS —	PROPOSED GAS LINE
— OHP —	EXISTING POWER LINE	— OHP —	PROPOSED SANITARY MANHOLE
⊙	EXISTING FIRE HYDRANT	○	PROPOSED SANITARY CLEANOUT
⊙	EXISTING WATER VALVE	⊙	PROPOSED FIRE HYDRANT
⊙	EXISTING SANITARY MANHOLE	⊙	PROPOSED WATER VALVE
⊙	EXISTING LIGHT POLE		
⊙	EXISTING STORM MANHOLE		



NO.	REVISIONS	DATE	BY

Kimley»Horn

685 PENNSYLVANIA AVE. SUITE 400 KANSAS CITY, MO 64105
 PHONE: 816-524-0330
 WWW.KIMLEY-HORN.COM
 © 2022 KIMLEY-HORN AND ASSOCIATES, INC.

KHA PROJECT	268302000
DATE	01/30/2023
SCALE	AS SHOWN
DESIGNED BY	LCL
DRAWN BY	LCL
CHECKED BY	JC

UTILITY PLAN

MCI06

EDGEENERGY

KANSAS CITY

SHEET NUMBER
C300

TARGET ILLUMINANCE VALUES

CALC TYPE	STANDARD	AVG	MAX	MIN	AVG/MIN	MAX/MIN
DRIVE AISLES PARKING REGIONS	CLIENT	1.35-1.65	-	-	-	-
WALKWAYS	CLIENT	1.35-1.65	-	-	-	-
GENERAL OUTDOOR AREAS	CLIENT	0.5	-	-	-	-
ENTRANCE	CLIENT	2.7-3.3	-	-	-	-
PERIMETER (RESIDENTIAL)	KCMO	-	0.186	-	-	-
PERIMETER (PUBLIC)	KCMO	-	1.0	-	-	-

TARGET ILLUMINANCE LEVELS BASED ON SECTION 9 OF CLIENT STANDARDS AND THE KANSAS CITY, MISSOURI - ZONING AND DEVELOPMENT CODE SECTION 88-430 OUTDOOR LIGHTING. THE MORE STRINGENT OF THE TARGET ILLUMINANCE LEVELS SHALL BE OBSERVED.

CALCULATED VALUES

CALC TYPE	TYPE	AVG	MAX	MIN	AVG/MIN	MAX/MIN
E PERIMETER	PERIMETER (RESIDENTIAL)	0.00	0.1	0.0	-	-
N/W/S PERIMETER	PERIMETER (PUBLIC)	0.00	0.1	0.0	-	-
OVERALL PARKING/DRIVE	DRIVE AISLES PARKING REGIONS	1.65	3.0	0.6	2.75	5.0
OVERALL WALKWAYS	WALKWAYS	1.39	5.1	0.6	2.32	8.50
*TYPICAL ENTRANCE	ENTRANCE	2.77	4.4	1.7	1.63	2.59
GENERATOR YARD	GENERAL OUTDOOR AREAS	1.35	3.0	0.7	1.93	4.29

*ALL BUILDING PERIMETER ENTRANCES, EXITS AND ACCESS POINTS SHALL HAVE WALL PACK LUMINAIRE CENTERED ABOVE OPENING AT 12 FT ABOVE FINISHED GRADE (UNLESS OTHERWISE ILLUMINATED BY CANOPY LIGHTING BY ARCHITECT OR OTHER PROPOSED WALL PACK). BASIS OF DESIGN IS DSXW2-LED-30C-350-40K-T3M OR APPROVED EQUAL. COORDINATE EXACT FIXTURE FINISH WITH OWNER AND ARCHITECT. PERIMETER ENTRANCE, EXIT AND ACCESS POINT LIGHTING IS EXCLUDED FROM ALL SITE CALCULATIONS AS LIGHTING WILL OFFER MINIMAL CONTRIBUTION TO OVERALL SITE LIGHTING.

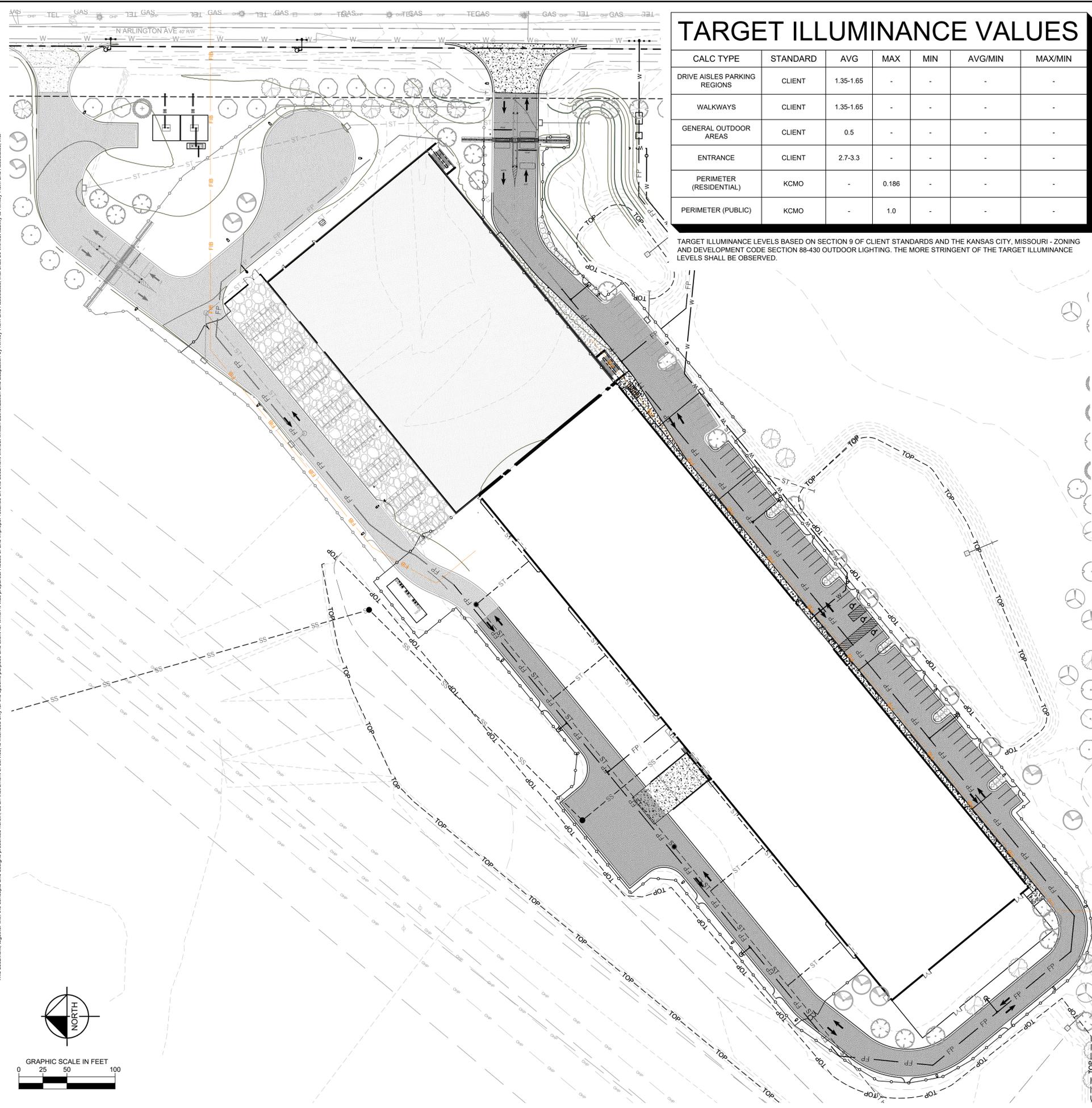
PHOTOMETRICS NOTES

- ALL PHOTOMETRIC VALUES SHOWN ON SITE PLAN IN TABLES ARE IN FOOTCANDLES (FC), 1 FC = 10.76 LUX.
- CALCULATED VALUES ARE DERIVED THROUGH A COMPUTER BASED MODEL WITH LIGHT FIXTURE DATA AS SUPPLIED BY MANUFACTURERS THROUGH IES FILES.
- ANY DEVIATION FROM SPECIFIED FIXTURE MODELS AND MOUNTING HEIGHTS IN THIS EXHIBIT WILL DISCOUNT THE VALIDITY OF THE CALCULATIONS.
- ALL SYMBOLS ARE DIAGRAMMATIC ONLY AND DO NOT REPRESENT THE ACTUAL FOOTPRINT OR EXACT SETBACK OF THE FIXTURES SHOWN. ALL POLES SHALL HAVE 5 FOOT SETBACK AND SHALL BE FIELD LOCATED FOR BEST COORDINATION WITH UNDERGROUND AND ABOVE GROUND CONFLICTS. ALL WALL MOUNTED FIXTURES SHALL BE COORDINATED WITH BUILDING ARCHITECT FOR COORDINATION WITH FACADE.
- THE PHOTOMETRIC ANALYSIS EXCLUDES ALL LANDSCAPE AND ARCHITECTURAL LIGHTING.
- THE PHOTOMETRIC ANALYSIS EXCLUDES ALL EXISTING AND PROPOSED OFF SITE STREET LIGHTING AND LANDSCAPE LIGHTING THAT IS CONSIDERED IRRELEVANT TO THE PURPOSE OF THE STUDY.
- CONTRACTOR TO FIELD COORDINATE EXACT LOCATION OF POLES WITH UNDERGROUND UTILITY AND OTHER OBSTRUCTIONS.
- CONTRACTOR SHALL CONFIRM POLE AND FIXTURE FINISHES WITH OWNER AND ARCHITECT PRIOR TO PURCHASE.
- ALL LUMINAIRE SYMBOLS ARE DIAGRAMMATIC ONLY. EXACT LOCATION AND SETBACKS SHALL BE FIELD COORDINATED.
- ALL LIGHTING SHALL BE IN ACCORDANCE WITH KANSAS CITY, MISSOURI - ZONING AND DEVELOPMENT CODE - 400 SERIES - 88-430 OUTDOOR LIGHTING.
- PERIMETER CALCULATIONS ADJACENT TO ENTRANCES ARE REMOVED FROM CALCULATIONS (WIDTH OF DRIVE AISLE) AS HIGHER LIGHTING LEVELS AT ENTRANCES ARE REQUIRED FOR SAFETY AND SKEW RESULTS.
- ALL FIXTURES SHALL BE INSTALLED WITH A FIXED BRACKET WITH ZERO TILT (PER 88-430 OUTDOOR LIGHTING).
- ELECTRICAL DESIGN, STRUCTURAL DESIGN AND CONTROLS TO BE DESIGNED BY OTHERS. LIGHTING SHALL BE AUTOMATICALLY CONTROLLED VIA PHOTOCELL AND TIMECLOCK THROUGH H-O-A. ELECTRICAL ENGINEER ON RECORD SHALL ENSURE THAT LIGHTING CONTROL MEETS ALL OWNER AND MUNICIPALITY REQUIREMENTS INCLUDING DIMMING AND OCCUPANCY SENSOR CONTROL.

PHOTOMETRICS LEGEND

-  LED POLE MOUNTED LUMINAIRE
-  LED BUILDING MOUNTED LUMINAIRE
-  CALCULATION POINT (ALL POINTS AT 10' GRID SPACING)

SEE LUMINAIRE SCHEDULE ON SHEET C401 FOR MODEL NUMBER AND LUMINAIRE DETAILS.



This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

No.	REVISIONS	DATE	BY

Kimley»Horn
 865 PENNSYLVANIA AVE. SUITE 400 KANSAS CITY, MO 64105
 PHONE: 816-452-0330
 WWW.KIMLEY-HORN.COM
 © 2022 KIMLEY-HORN AND ASSOCIATES, INC.

KHA PROJECT	268302000
DATE	01/30/2023
SCALE	AS SHOWN
DESIGNED BY	CMD
DRAWN BY	CMD
CHECKED BY	SK

PHOTOMETRIC PLAN

MCI06
 EDGEENERGY
 KANSAS CITY

SYMBOL	TAG	DESCRIPTION	MODEL NUMBER	POLE QUANTITY	FIXTURE QUANTITY	LLF	MOUNTING STYLE	LAMPS	VOLTAGE	WATTS	LUMENS	COLOR	MOUNTING HEIGHT	NOTES
	P1	LITHONIA LIGHTING DSX1 SERIES TYPE 3 POLE MOUNTED AREA LUMINAIRE	DSX1-LED-P5-40K-70CRI-T3M	19	19	0.85	POLE MOUNT	LED	MVOLT	138W	17,630	4000K	25 FT	MOUNT AT 25 FT AFG ON LITHONIA LIGHTING SQUARE STRAIGHT STEEL POLE
	P2	LITHONIA LIGHTING DSX1 SERIES TYPE FORWARD THROW POLE MOUNTED AREA LUMINAIRE	DSX1-LED-P5-40K-70CRI-TFTM	3	3	0.85	POLE MOUNT	LED	MVOLT	138W	18,017	4000K	25 FT	MOUNT AT 25 FT AFG ON LITHONIA LIGHTING SQUARE STRAIGHT STEEL POLE
	W1	LITHONIA LIGHTING DSXW2 SERIES TYPE 3 WALL MOUNTED AREA LUMINAIRE	DSXW2-LED-30C-1000-40K-T3M	-	6	0.85	WALL MOUNT	LED	MVOLT	109W	11,280	4000K	20 FT	MOUNT AT 20 FT AFG ON BUILDING FACADE.
	W2	LITHONIA LIGHTING DSXW2 SERIES TYPE 3 WALL MOUNTED AREA LUMINAIRE	DSXW2-LED-30C-530-40K-T3M	-	6	0.85	WALL MOUNT	LED	MVOLT	54W	6,467	4000K	12 FT	MOUNT AT 12 FT AFG ON BUILDING FACADE.
	W3	LITHONIA LIGHTING DSXW2 SERIES TYPE 3 WALL MOUNTED AREA LUMINAIRE	DSXW2-LED-30C-350-40K-T3M	-	BY ARCHITECT	0.85	WALL MOUNT	LED	MVOLT	36W	4,483	4000K	~10 FT	MOUNTED ABOVE ALL BUILDING ENTRANCES/EXITS/ACCESS POINTS IN ALL LOCATIONS THAT ARE NOT ALREADY COVERED BY CANOPY LIGHTING OR PROPOSED OVERHEAD LIGHTING.

D-Series Size 1 LED Area Luminaire



Specifications

EPAs: 0.69 ft² (0.64 m²)
 Length: 32.71" (831 mm)
 Width: 14.26" (362 mm)
 Height H1: 7.88" (200 mm)
 Height H2: 2.73" (69 mm)
 Weight: 34 lbs (15 kg)

Introduction

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficiency, long-life luminaire.

The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

LITHONIA LIGHTING

FEATURES & SPECIFICATIONS

INTENDED USE — These specifications are for standard use only. Square Straight Steel is a general purpose light pole for up to 30-foot mounting heights. This pole provides a robust yet cost effective option for mounting area lights and footlights.

CONSTRUCTION

Pole-Shell: The pole-shell is of uniform diameter and wall thickness and is made of weldable grade, hot rolled, commercial quality steel tubing with a minimum yield of 55 KSI (11 gauge, 0.130", or 50 KSI (7 gauge, 0.179"). Shell size shown with shell length longitudinal high frequency electric resistance weld. Additional square connection with the shell, small corner radii and excellent torsional qualities. Available shell widths are 4", 7" and 8".

Pole Top Options: Includes 4" iron top, drilled for side mount fixtures, iron with drilling (includes extra hardware) and iron top. Side drilled and open top poles include a removable top cap.

Hardware: A reinforced hardware with gusseting provision is provided at 18" from the base on side A. Positioning the hardware lower may not be possible and requires engineering review; consult Tech Support/Outdoor for further information. Every hardware includes a cover and one attachment hardware. The hardware has a nominal dimension of 2.5" x 7".

Base Cover: A durable ABS plastic two-piece full base cover, finished to match the pole, is provided with each pole assembly. Additional base cover options are available upon request.

Anchor Base/Bolt: Anchor base is fabricated from steel that meets ASTM A36 standards and can be altered to match existing foundations; consult factory for modifications. Anchor bolts are manufactured to ASTM F1554 Standard, grade 35, 1/2" K minimum yield strength and tensile strength of 75-95 KSI. Top threaded portion (nominal 1/2") is hot-dipped galvanized per ASTM A153.

HARDWARE — All structural fasteners are high-strength galvanized carbon steel. All non-structural fasteners are galvanized or zinc-plated carbon steel or stainless steel.

FINISH — Extra durable painted finish is coated with DOL (DryGrip) lacquer/urethane. Polyester powder that meets 5A and 5B classifications of ASTM D3359. Powder coat finishes include Dark Bronze, White, Black, and Natural Aluminum colors. Architectural Colors and Special Finishes are available by quote and include, but are not limited to these four dip-coated finishes: Mill Color, Custom Color, Custom Finish, and Custom Finish.

BUY AMERICAN ACT — Product with the BAA option is assembled in the USA and meets the Buy American(s) government procurement requirements under FAR, DFARS and DOT regulations. Please refer to www.buyusa.gov for more information on additional requirements.

INSTALLATION — Do not erect poles without having fixtures installed. Factory supplied templates must be used when setting anchor bolts. Lithonia Lighting will not accept claim for incorrect engineering placement due to failure to follow the Lithonia Lighting factory templates. Fixtures are stored outside, all protective wrapping must be removed immediately upon delivery to prevent finish damage. Lithonia Lighting is not responsible for the foundation design.

WARRANTY — 1 year limited warranty. This is the only warranty expressed and other statements in this specification sheet create any warranty of any kind. All other options and recycled warranties are disclaimed. Complete warranty terms located at: www.lithonia.com/usa/usa-warranty-terms-and-conditions

NOTE: Actual performance may differ as a result of site environment and application. Specifications subject to change without notice.

D-Series Size 2 LED Wall Luminaire



Specifications Luminaire

Width: 18.12" (457 mm) | Weight: 21 lbs (9.5 kg)
 Depth: 10" (254 mm) | Height: 7.58" (194 mm)

Back Box (BBW)

Width: 5.12" (130 mm) | Weight: 1 lb (0.45 kg)
 Depth: 1.12" (28 mm) | Height: 4" (102 mm)

Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency.
- This luminaire is A+ Certified when ordered with DTL* controls marked by a shaded background. DTL, DLL equipped luminaires meet the A+ specification for luminaire to photocontrol interoperability!
- This luminaire is part of an A+ Certified solution for ROAM* or XPoint™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a shaded background.

To learn more about A+, visit www.acuitybrands.com/aplus.

1. See ordering tree for details.
 2. A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately. Link to Roam: Link to DTL, DLL.

Ordering Information

EXAMPLE: DSX1 LED P7 40K 70CRI T3M MVOLT SPA NLAIR2Z PIRHN DBDXD

DSX1 LED	Series	Unit	Color	Temp	Beam	Mount	Options	Notes
DSX1 LED	P7	40K	70CRI	T3M	MVOLT	SPA	NLAIR2Z	PIRHN DBDXD

Category	Item	Description	Notes
Shield Installed	SS	Shield installed (light gray 1' x 1' x 1' with 1/2" level nut and 1/2" anchor screw, 8-47 mounting height, ambient color, 20-22" x 22" x 22")	SS
FR	FR	High flow, non-toxic, non-hazardous, 8-47 mounting height, ambient color, 20-22" x 22" x 22"	FR
PER	PER	High flow, non-toxic, non-hazardous, 8-47 mounting height, ambient color, 20-22" x 22" x 22"	PER
FRBS	FRBS	High flow, non-toxic, non-hazardous, 8-47 mounting height, ambient color, 20-22" x 22" x 22"	FRBS

LITHONIA LIGHTING

One Lithonia Way • Cary, Georgia 30012 • Phone: 1-800-705-SERV (3738) • www.lithonia.com
 © 2012-2022 Acuity Brands Lighting, Inc. All rights reserved.

DSX1-LED Rev. 11/10/22 Page 1 of 10

Ordering Information

EXAMPLE: DSXW2 LED 30C 700 40K T3M MVOLT DBDXTD

DSXW2 LED	Series	Unit	Color	Temp	Beam	Mount	Options	Notes
DSXW2 LED	30C	700	40K	T3M	MVOLT	DBDXTD		

Category	Item	Description	Notes
Shield Installed	SS	Shield installed (light gray 1' x 1' x 1' with 1/2" level nut and 1/2" anchor screw, 8-47 mounting height, ambient color, 20-22" x 22" x 22")	SS
FR	FR	High flow, non-toxic, non-hazardous, 8-47 mounting height, ambient color, 20-22" x 22" x 22"	FR
PER	PER	High flow, non-toxic, non-hazardous, 8-47 mounting height, ambient color, 20-22" x 22" x 22"	PER
FRBS	FRBS	High flow, non-toxic, non-hazardous, 8-47 mounting height, ambient color, 20-22" x 22" x 22"	FRBS

LITHONIA LIGHTING

One Lithonia Way • Cary, Georgia 30012 • Phone: 1-800-705-SERV (3738) • www.lithonia.com
 © 2012-2022 Acuity Brands Lighting, Inc. All rights reserved.

DSXW2-LED Rev. 11/10/22 Page 1 of 4

Ordering Information

Accessories

Notes:

- 1000mA is not available with AMPC.
- AMPC is not available with 1000mA.
- AMPC driver operates on any voltage from 120-277V/50/60 Hz.
- Single line (P) requires 120V or 240V voltage. Double line (DP) requires 208, 240, or 480V voltage option.
- Available with 30 LED/100mA options only (DSXW2 LED 30C 700, DMG) option not available.
- Also available as a separate accessory on Acuity Brands website.
- Photometric FR requires 120, 208, 240, 277 or 347 voltage option. Not available with non-toxic/non-hazardous light sensors (FR or FRBS).
- Photometric FRBS requires a separate line from Acuity Brands website. See accessories. Shipping Cap included.
- FRBS requires a separate line from Acuity Brands website.
- FRBS requires a separate line from Acuity Brands website.
- FRBS requires a separate line from Acuity Brands website.
- FRBS requires a separate line from Acuity Brands website.
- FRBS requires a separate line from Acuity Brands website.
- FRBS requires a separate line from Acuity Brands website.
- FRBS requires a separate line from Acuity Brands website.
- FRBS requires a separate line from Acuity Brands website.

Shield Accessories

External Glare Shield (EGS)

House Side Shield (HS)

Drilling

Handhole Orientation

Tenon Mounting Splitter

Mounting Style	Series	Splitter	Splitter	Splitter	Splitter	Splitter	Splitter
2.5"	FR	AS3-190	AS3-290	AS3-390	AS3-490	AS3-590	AS3-690
2.5"	FR	AS3-190	AS3-290	AS3-390	AS3-490	AS3-590	AS3-690
4"	FR	AS3-190	AS3-290	AS3-390	AS3-490	AS3-590	AS3-690

DSX1 Area Luminaire - EPA

Mounting Style	Series	Splitter	Splitter	Splitter	Splitter	Splitter	Splitter
DS1 with FR	0.69	1.38	1.31	1.54	---	---	1.38
DS1 with FR, FRBS	0.76	1.50	1.38	1.58	---	---	1.58
DS1 with FR, FRBS	0.76	1.50	1.38	1.58	---	---	1.58
DS1 with MA	0.83	1.56	1.50	2.00	1.80	2.00	2.00

LITHONIA LIGHTING

One Lithonia Way • Cary, Georgia 30012 • Phone: 1-800-705-SERV (3738) • www.lithonia.com
 © 2012-2022 Acuity Brands Lighting, Inc. All rights reserved.

DSX1-LED Rev. 11/10/22 Page 2 of 10

SSS Square Straight Steel Poles

Ordering Information

Example: SSS 20 SC DM19 DBDXD

SSS	Series	Material	Section	Height	Options	Finish
SSS	20	SC	DM19	DBDXD		

Notes:

- Handhole covers (HNC), full base covers (FBC) and top caps (TC) shipped separately. Not to be used in non-compliance.
- For additional parts please refer to accessories.
- Wall thickness will be specified with a "C" (11 Gauge) or a "D" (7 Gauge) in the description. "C" = 0.130" (11 Gauge) or "D" = 0.107" (7 Gauge).
- 17' tall poles include top cap. When ordering base mounting and drill template for the same pole, follow the example: DSX1-LED P7 40K 70CRI T3M MVOLT SPA NLAIR2Z PIRHN DBDXD. The combination includes a 4" x 4" x 4" top cap.
- Refer to the fixture spec sheet for the correct drilling template pattern and orientation compatibility.
- All DRILLING requires a minimum top 50% of 4".
- Mounting area 18" x 18" x 18" (nominal) includes extra hardware. (FR includes cover).
- Provide inherent corrosion resistance.
13. Use when not certified as non-toxic/non-hazardous.
14. Finish another specified. Additional colors available; see Architectural Colors brochure (Item No. 774). DRILLING may be extended to 1 week due to paint procurement.

LITHONIA LIGHTING

One Lithonia Way • Cary, Georgia 30012 • Phone: 1-800-705-SERV (3738) • www.lithonia.com
 © 2012-2022 Acuity Brands Lighting, Inc. All rights reserved.

SSS Rev. 11/10/22 Page 1 of 10

Ordering Information

Accessories

Notes:

- 1000mA is not available with AMPC.
- AMPC is not available with 1000mA.
- AMPC driver operates on any voltage from 120-277V/50/60 Hz.
- Single line (P) requires 120V or 240V voltage. Double line (DP) requires 208, 240, or 480V voltage option.
- Available with 30 LED/100mA options only (DSXW2 LED 30C 700, DMG) option not available.
- Also available as a separate accessory on Acuity Brands website.
- Photometric FR requires 120, 208, 240, 277 or 347 voltage option. Not available with non-toxic/non-hazardous light sensors (FR or FRBS).
- Photometric FRBS requires a separate line from Acuity Brands website. See accessories. Shipping Cap included.
- FRBS requires a separate line from Acuity Brands website.
- FRBS requires a separate line from Acuity Brands website.
- FRBS requires a separate line from Acuity Brands website.
- FRBS requires a separate line from Acuity Brands website.
- FRBS requires a separate line from Acuity Brands website.
- FRBS requires a separate line from Acuity Brands website.
- FRBS requires a separate line from Acuity Brands website.
- FRBS requires a separate line from Acuity Brands website.

Performance Data

Lumen Output

Lumen values are photometric test performed in accordance with IESNA LM-79-09. Data is considered to be representative of the configurations shown, with the tolerance allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Unit	Series	Height	Beam	Temp	Options	Notes
120	30C	20	700	40K	T3M	

LITHONIA LIGHTING

One Lithonia Way • Cary, Georgia 30012 • Phone: 1-800-705-SERV (3738) • www.lithonia.com
 © 2012-2022 Acuity Brands Lighting, Inc. All rights reserved.

DSXW2-LED Rev. 11/10/22 Page 2 of 4

NO.	REVISIONS	DATE	BY

Kimley»Horn

865 PENNSYLVANIA AVE. SUITE 400, KANSAS CITY, MO 64105
 PHONE: 816-842-0333
 WWW.KIMLEY-HORN.COM
 © 2022 KIMLEY-HORN AND ASSOCIATES, INC.

SCALE	AS SHOWN	DESIGNED BY	CMO	DROWN BY	CMO	CHECKED BY	SK

PHOTOMETRIC PLAN

MC106

EDGEENERGY

KANSAS CITY

SHEET NUMBER

C401

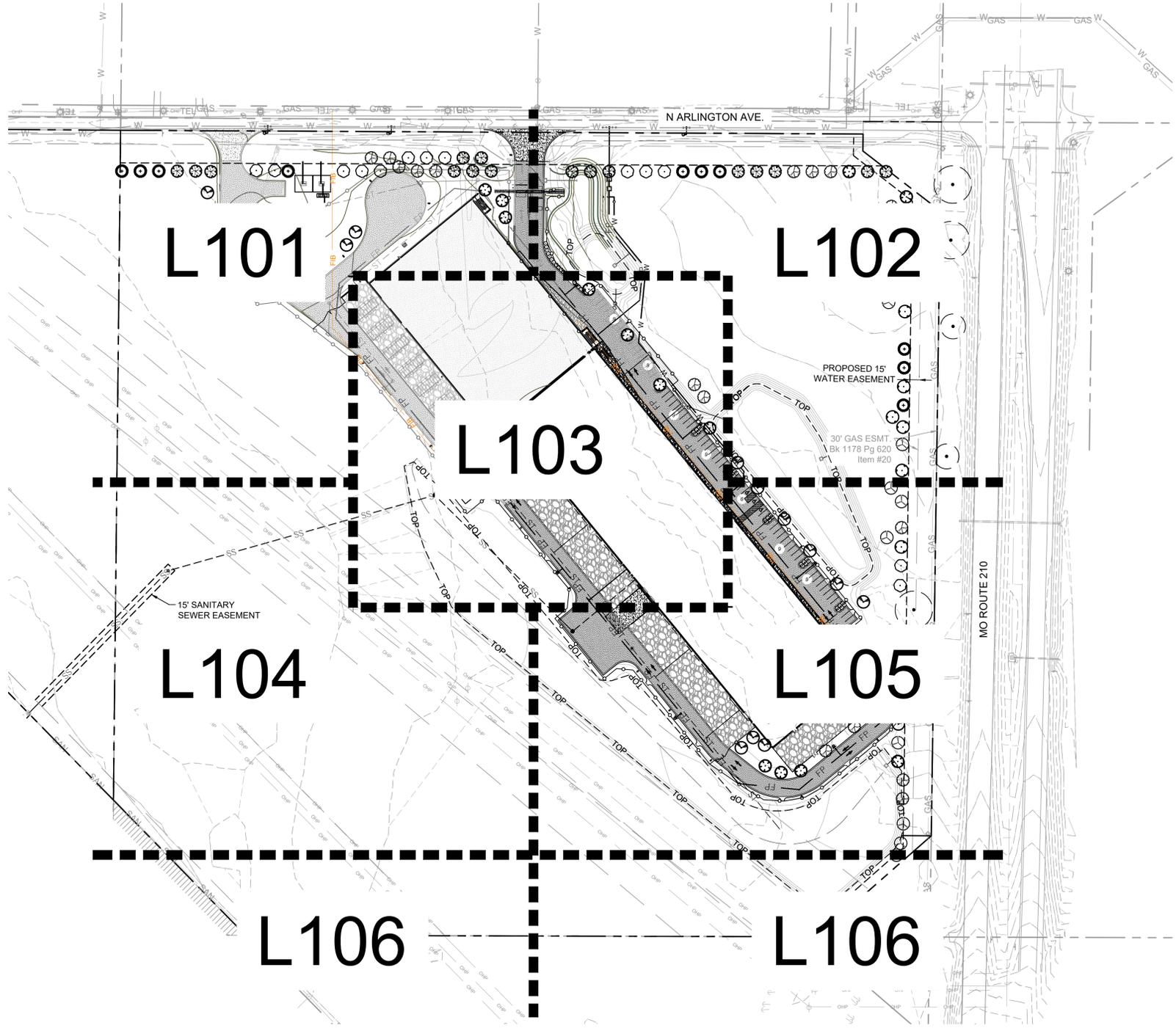
This document, together with the concepts and design presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

Plotted By: Long, Luke Sheet Set: MCI06 Layout: L100 April 16, 2023 08:24:17 AM K:\KINC LDEV\268302000 MCI06 Design\CAD\PlanSheets\Site Development\Plans\SD-LANDSCAPING PLANNING This document, together with the concepts and designs presented herein, is an instrument of service, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc. © 2023 KIMLEY-HORN AND ASSOCIATES, INC.

City of Kansas City, Missouri - Landscape Data Table		
Site Area: 4.43 acres (192,971 sqft) - Manufacturing (M3-5)		
	REQUIRED	PROVIDED
Section 88-425 Landscape and Screening		
88-425-03-C - Tree Planting Requirements		
At least one street tree is required for each 30' of street frontage.	Yes	Yes
N Arlington Avenue: 1,320 lin' / 30' = 44 Trees	N Arlington Avenue - 44 Trees	44 Proposed Trees
MO Route 210: 1,305 lin' / 30' = 44 Trees	MO Route 210 - 44 Trees	31 Proposed Trees
		3 Existing >12" DBH Trees = 9 Trees
		2 Existing 6"-12" DBH Trees = 4 Trees
Required street trees must be installed within the ROW or within 10' of the street ROW. (If street trees are located outside the ROW the city is authorized to require the establishment of a 15' landscape maintenance easement.)	Yes	Yes
88-425-04 - General Landscaping Requirements		
At least one tree must be provided per 5,000 square feet of principle building coverage (building footprint)	27 Trees	27 Trees
134,991 sqft Building Footprint / 5,000 sqft = 27 Trees		
88-425-05 - Perimeter Landscaping of Vehicular Use Areas		
A 10' landscape buffer strip with one tree per 30' linear feet of landscape strip and enough evergreen shrubs to form a continuous visual screen at least 3' in height at the time of planting.	23 Trees	23 Trees
695 lin' landscape buffer / 30' lin' = 23 Trees		
** Trees planted to satisfy the street tree planting requirements of 88-425-03 may be counted towards satisfying the tree planting requirements of 88-425-05-B.		
88-425-06-B - Minimum Interior Landscape Area		
At least 35 sqft of interior landscape area must be provided for each parking space.	1,610 sqft Landscape Area	> 1,610 sqft Landscape Area
46 Parking Spaces x 35 sqft = 1,610 sqft Landscape Area		
88-425-06-E - Minimum Interior Landscape Area		
One tree is required per 5 parking spaces	10 Trees	10 Trees
46 Parking Spaces / 5 = 10 Trees		
One shrub is required per parking space	46 Shrubs	46 Shrubs
46 Parking Spaces x 1 = 46 Shrubs		
Ground cover plants must cover all interior landscape areas	Yes	Yes
88-425-10-B - Trees		
If more than 8 trees are required, no more than 40% may be of a single species. If more than 25 trees are required, no more than 25% may be of a single species.	Yes	Yes

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT.	CALIPER	HEIGHT	REMARKS
	OP	15	QUERCUS PAGODA / CHERRYBARK OAK	B & B	2" CAL. MIN.	12' - 14' HT.	SINGLE, STRAIGHT LEADER FULL AND MATCHING
	MA	17	MAGNOLIA ACUMINATA / CUCUMBERTREE	B & B	2" CAL. MIN.	12' - 14' HT.	SINGLE, STRAIGHT LEADER FULL AND MATCHING
	GB	10	GINKGO BILOBA / MAIDENHAR TREE	B & B	2" CAL. MIN.	12' - 14' HT.	SINGLE, STRAIGHT LEADER FULL AND MATCHING
	CI	16	CARYA ILLINOENSIS / PECAN HICKORY	B & B	2" CAL. MIN.	12' - 14' HT.	SINGLE, STRAIGHT LEADER FULL AND MATCHING
	SA	10	SASSAFRAS ALBIDUM / SASSAFRAS	B & B	2" CAL. MIN.	12' - 14' HT.	MULTI-TRUNK FULL AND MATCHING
	TD	10	TAXODIUM DISTICHUM MICKELSON / SHAWNEE BRAVE BALDYPRESS	B & B	2" CAL. MIN.	12' - 14' HT.	SINGLE, STRAIGHT LEADER FULL AND MATCHING
	PO	16	PLATANUS OCCIDENTALIS 'GRENCKEL' / SILVERWOOD™ AMERICAN SYCAMORE	B & B	2" CAL. MIN.	12' - 14' HT.	SINGLE, STRAIGHT LEADER FULL AND MATCHING
	LT	19	LIRIODENDRON TULIPIFERA / TULIPTREE	B & B	2" CAL. MIN.	12' - 14' HT.	SINGLE, STRAIGHT LEADER FULL AND MATCHING
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT.	SIZE	SPACING	REMARKS
	ST	58	SEDUM TELEPHIUM LAJOS / AUTUMN CHARM™ STONECROP	2 GAL. MIN.	18" HT. X 18" W.	18" O.C.	FULL AND MATCHING
	PP	23	PICEA PUNGENS GLOBOSA / DWARF GLOBE BLUE SPRUCE	5 GAL. MIN.	48" HT. X 48" W.	48" O.C.	FULL AND MATCHING



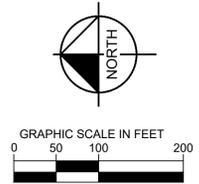
ESTABLISHMENT NOTES

- ENSURE ALL WEED COMPETITION IS CONTROLLED PRIOR TO PLANTING THE DRY PRAIRIE GRASS. WHEN POSSIBLE, ALLOW TIME FOR WEEDS TO SPROUT PRIOR TO ESTABLISHING SEEDS. ONCE WEEDS SPROUT, SPRAY THE ENTIRE AREA THAT IS BEING PREPARED FOR GRASS ESTABLISHMENT WITH HERBICIDE BASED ON WEED TYPES. ALLOW THE HERBICIDE TO SETTLE FOR THE RECOMMENDED TIME AS STATED BY THE HERBICIDE MANUFACTURER BEFORE PROCEEDING WITH SEED ESTABLISHMENT. WHEN USING HERBICIDES FOLLOW ALL LABELED RECOMMENDATIONS.
- DO NOT LIME OR USE FERTILIZER TO IMPROVE SOIL CONDITIONS.
- BROADCASTING - APPLY SEED EVENLY IN TWO INTERSECTING DIRECTIONS. REMOVE ANY THATCH OR MATERIAL THAT MAY PREVENT SEED TO SOIL CONTACT. AFTER BROADCASTING ROLL THE SITE WITH A ROLLER OR CULTI-PACKER TO ENSURE GOOD SEED TO SOIL CONTACT. IF USING STRAW MULCH ON SEEDED AREAS STRAW IS TO BE OATS OR WHEAT STRAW FREE FROM WEEDS. FOREIGN MATTER DETRIMENTAL TO PLANT LIFE AND HAY, OR CHOPPED CORNSTALKS ARE NOT ACCEPTABLE. TAKE SPECIAL CARE TO SPREAD A THIN LAYER OF STRAW AND DO NOT LEAVE CLUMPS OR PIECES OF BALES UNSPREAD. WHEN USING EROSION CONTROL BLANKETS, ENSURE THE USE OF OAT OR WHEAT STRAW FREE OF WEEDS. THE EROSION CONTROL BLANKET MESH + MATERIAL MUST BE THIN IN NATURE AS TO ALLOW SUNLIGHT THROUGH.
- GENERALLY, NATURAL RAINFALL EVENTS PROVIDE SUFFICIENT WATER BUT LIGHT WATERING MAY BE NEEDED IN PERIODS OF DROUGHT TO START THE GERMINATION PROCESS.

PLANTING NOTES:

- CONTRACTOR TO SEED TO LIMITS OF DISTURBANCE.
- ALL PLANT MATERIAL SHALL BE INSTALLED ACCORDING TO SOUND NURSERY PRACTICES AND SHALL MEET ALL STANDARDS AS STATED IN THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERMEN.
- NO SUBSTITUTIONS IN PLANT MATERIALS SHALL BE MADE WITHOUT WRITTEN AUTHORIZATION FROM OWNER OR LANDSCAPE ARCHITECT. IN THE EVENT OF DISCREPANCIES BETWEEN THE DRAWING AND THE PLANT LIST, THE DRAWING SHALL PREVAIL.
- LOCATE ALL UTILITIES PRIOR TO ANY DIGGING OPERATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES TO EXISTING UTILITIES INCURRED BY HIS WORK.
- STAKING AND GUYING ALTERNATIVES: METHODS INDICATED IN DRAWING DETAILS ARE PREFERRED. CONTRACTOR MAY SUGGEST ALTERNATE METHODS, ASSUMING FULL RESPONSIBILITY FOR THEIR IMPLEMENTATION. CONTRACTOR SHALL REPLACE, PLANT, OR UPRIGHT ANY TREES BLOWN OVER OR DAMAGED DUE TO INADEQUATE STAKING AT NO ADDITIONAL COST TO THE OWNER.
- PLANTS MASSED IN BEDS SHALL BE ARRANGED USING TRIANGULAR SPACING.
- PROVIDE A STEEL EDGE BETWEEN ALL PLANTING BEDS AND LAWN AREAS. REFERENCE LANDSCAPE PLAN.
- ALL PLANTING BEDS TO BE TOP DRESSED WITH A MINIMUM OF 3" SHREDDED HARDWOOD MULCH. REFERENCE LANDSCAPE PLAN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPING UNTIL FINAL ACCEPTANCE. ALL REQUIRED LANDSCAPING SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THE WORK SHALL INCLUDE, BUT NOT TO BE LIMITED TO, MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING, AND OTHER SUCH ACTIVITIES COMMON TO THE MAINTENANCE OF LANDSCAPING. ALL PLANT MATERIALS SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR. PLANT MATERIAL THAT DIES SHALL BE REPLACED WITH THE PLANT MATERIAL OF SIMILAR SIZE AND VARIETY.
- CONTRACTOR SHALL WARRANTY PLANT MATERIAL TO REMAIN ALIVE AND HEALTHY FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE. WARRANTY SHALL NOT INCLUDE DAMAGE FOR LOSS OF PLANT MATERIAL DUE TO ACTS OF VANDALISM OR NEGLIGENCE ON THE PART OF THE OWNER.
- ALL LANDSCAPE BED AREAS TO BE PREPARED USING "ORGANICALLY ENRICHED TOP SOIL" BY MISSOURI ORGANIC (OR APPROVED EQUAL). INSTALL TO DEPTHS, PER PLANTING DETAILS (12" DEPTH MIN.) FINISHED GRADES OF PLANTING BEDS TO BE 2" BELOW FINISHED GRADE OF ADJACENT PAVING OR AS SHOWN ON GRADING PLAN.
- ALL SOD AREAS TO RECEIVE 4" DEPTH (MIN) TOPSOIL PRIOR TO INSTALLATION. TOPSOIL SHALL BE NATURAL, FRIABLE, FERTILE, pH RANGE OF 7.0-7.5, AND FREE OF TRASH, DEBRIS, STONES, WEEDS, AND TWIGS/BRANCHES.

NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE CASE OF A DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.



KIMLEY-HORN AND ASSOCIATES, INC.
 805 PENNSYLVANIA AVE. SUITE 150, KANSAS CITY, MO 64105
 PHONE: 816-652-0333
 WWW.KIMLEY-HORN.COM

© 2023 KIMLEY-HORN AND ASSOCIATES, INC.

KHA PROJECT
 268302000

DATE
 01/30/2023

SCALE AS SHOWN

DESIGNED BY
 AMS

DRAWN BY
 CMS

CHECKED BY
 JDC

LANDSCAPE KEY MAP
 AND PLANT NOTES

MCI06
 EDGEDENERGY

MO

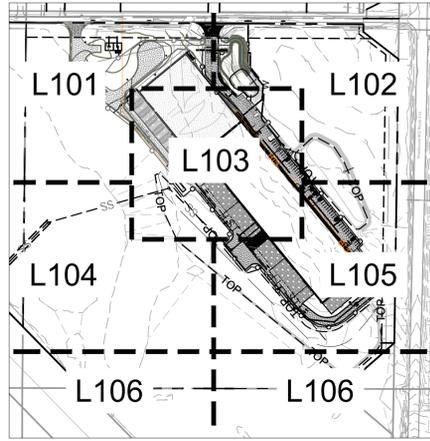
SHEET NUMBER
 L100

REVISIONS

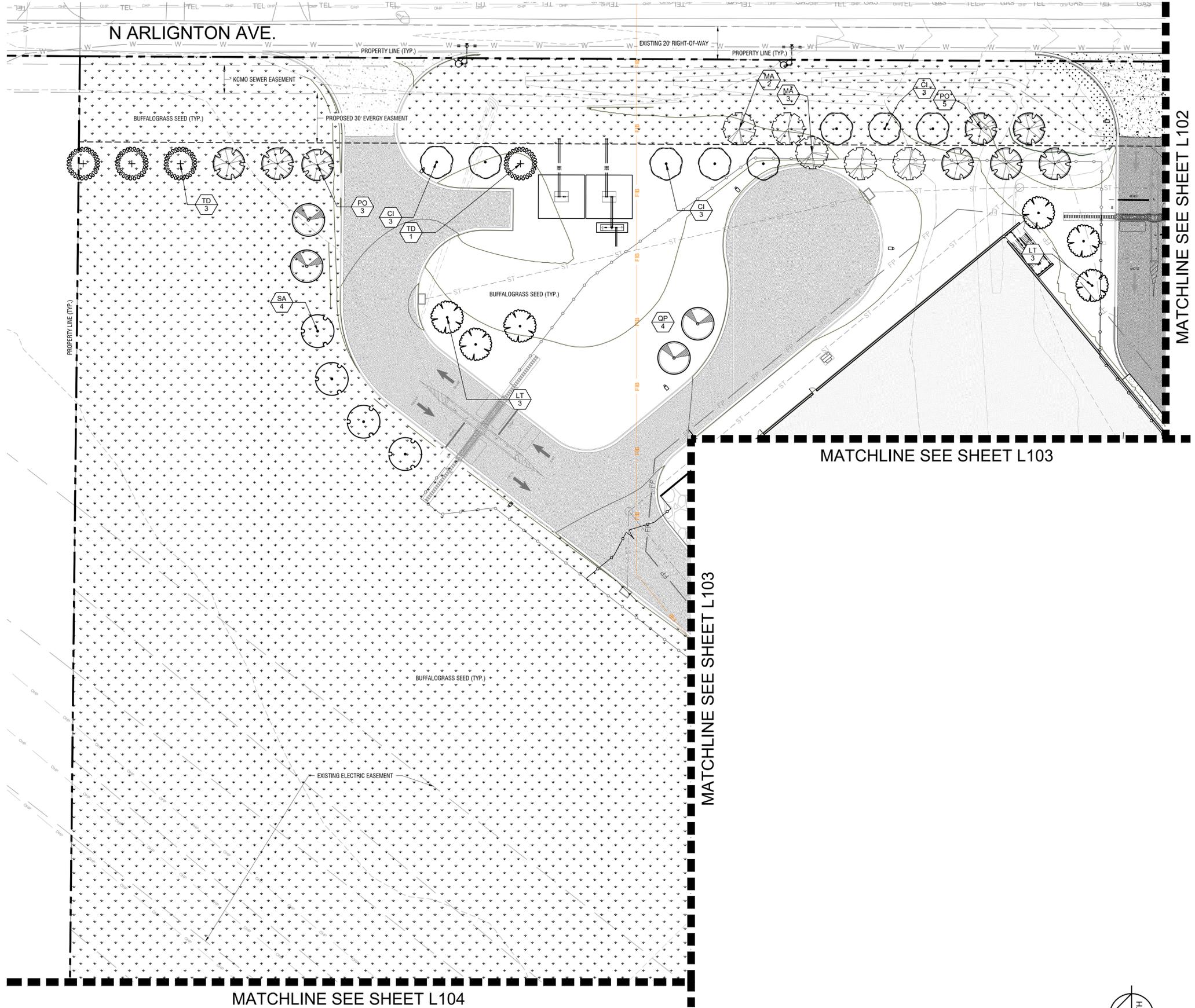
NO.

DATE

KEY MAP

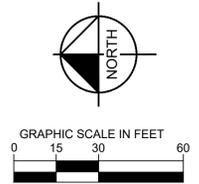


N ARLINGTON AVE.



PLANT SCHEDULE

TREES	
CODE	BOTANICAL / COMMON NAME
QP	QUERCUS PAGODA / CHERRYBARK OAK
MA	MAGNOLIA ACUMINATA / CUCUMBERTREE
GB	GINKGO BILOBA / MAIDENHAIR TREE
CI	CARYA ILLINOINENSIS / PECAN HICKORY
SA	SASSAFRAS ALBIDUM / SASSAFRAS
TD	TAXODIUM DISTICHUM 'MICKELSON' / SHAWNEE BRAVE BALDCYPRESS
PO	PLATANUS OCCIDENTALIS 'GREENICKEL' / SILVERWOOD™ AMERICAN SYCAMORE
LT	LIRIODENDRON TULPIFERA / TULIPTREE
SHRUBS	
CODE	BOTANICAL / COMMON NAME
ST	SEDUM TELEPHIUM 'LAJOS' / AUTUMN CHARM™ STONECROP
PP	PICEA PUNGENS 'GLOBOSA' / DWARF GLOBE BLUE SPRUCE



NOTE: SEE SHEET L100 FOR FULL PLANT SCHEDULE.

MATCHLINE SEE SHEET L104

MATCHLINE SEE SHEET L103

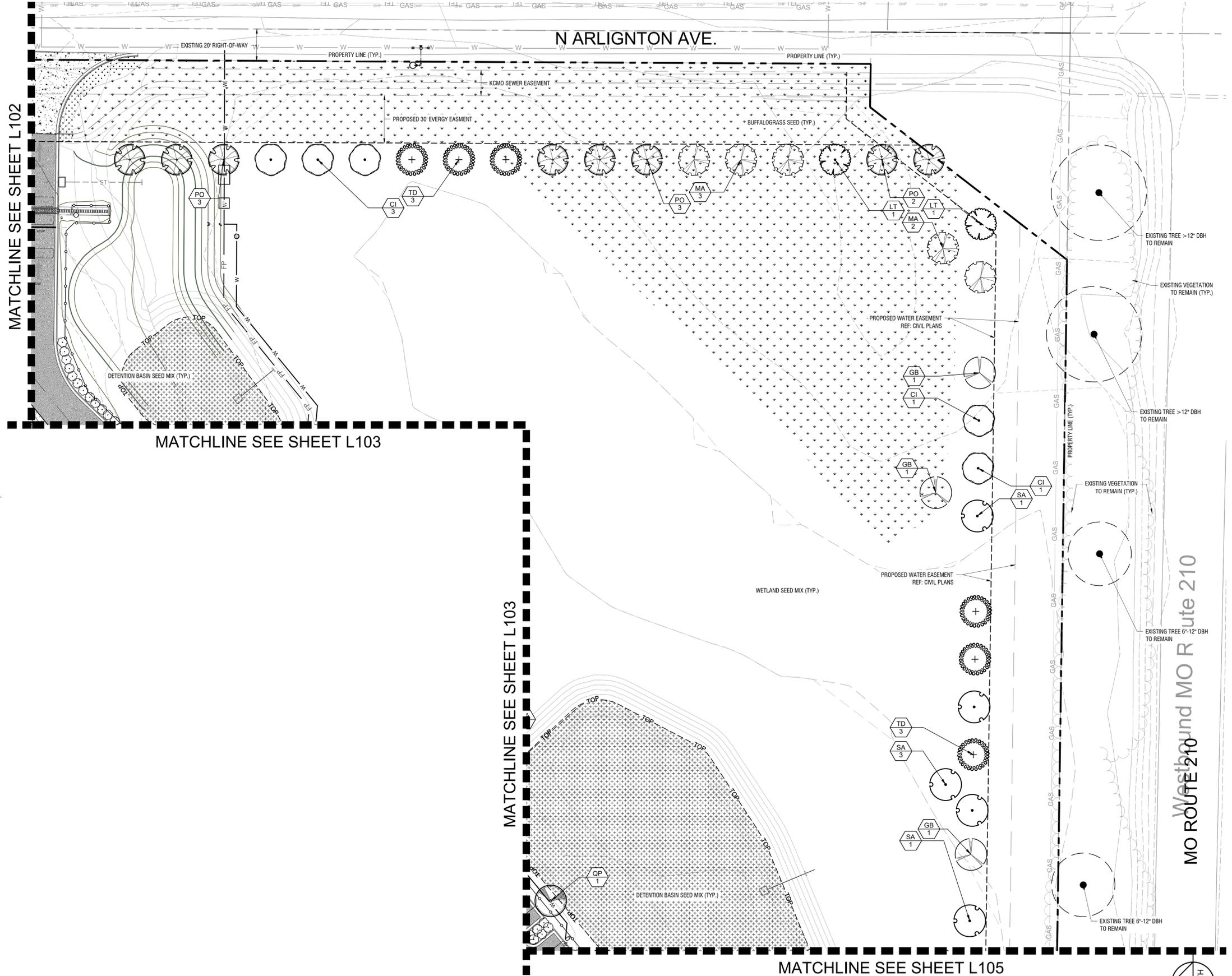
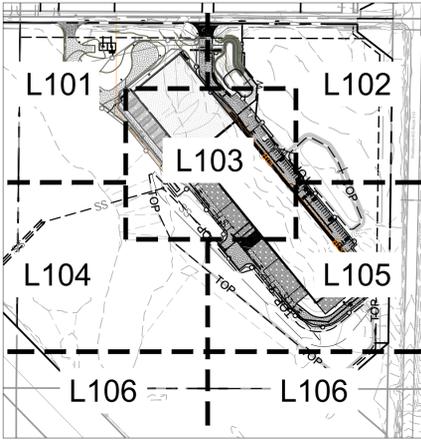
MATCHLINE SEE SHEET L102

Plotted By: Long, Luke Sheet Set: MCI06 Layout: L101 April 16, 2023 08:24:31pm K:\KINC LDEV\268302000 MCI06 Design\CAD\PlanSheets\Site Development Plans\SD-LANDSCAPING PLAN.dwg
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

<h1 style="margin: 0;">Kimley»Horn</h1> <p style="font-size: 8px; margin: 0;">805 PENNSYLVANIA AVE. SUITE 150, KANSAS CITY, MO 64105 PHONE: 816-652-0333 WWW.KIMLEY-HORN.COM © 2023 KIMLEY-HORN AND ASSOCIATES, INC.</p>	KHA PROJECT 268302000	DATE 01/30/2023	SCALE AS SHOWN DESIGNED BY AMS DRAWN BY CMS CHECKED BY JDK
	<h2 style="margin: 0;">LANDSCAPE PLAN</h2>		
MCI06 EDGEDENERGY	SHEET NUMBER <h1 style="margin: 0;">L101</h1>		
KANSAS CITY MO	REVISIONS No. _____ DATE _____ BY _____		

Plotted By: Long, Luke Sheet Set: MCI06 Date: 04/16/2023 08:24:41pm K:\KINC LDEV\268302000 MCI06 Design\CAD\PlanSheets\Site Development Plans\SD-LANDSCAPING PLAN.dwg
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

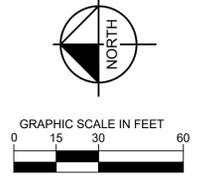
KEY MAP



PLANT SCHEDULE

TREES	
CODE	BOTANICAL / COMMON NAME
QP	QUERCUS PAGODA / CHERRYBARK OAK
MA	MAGNOLIA ACUMINATA / CUCUMBERTREE
GB	GINKGO BILOBA / MAIDENHAIR TREE
CI	CARYA ILLINOINENSIS / PECAN HICKORY
SA	SASSAFRAS ALBIDUM / SASSAFRAS
TD	TAXODIUM DISTICHUM 'MICKELSON' / SHAWNEE BRAVE BALDCYPRESS
PO	PLATANUS OCCIDENTALIS 'GREENICKEL' / SILVERWOOD™ AMERICAN SYCAMORE
LT	LIRIODENDRON TULPIFERA / TULIPTREE
SHRUBS	
CODE	BOTANICAL / COMMON NAME
ST	SEDUM TELEPHIUM 'LAJOS' / AUTUMN CHARM™ STONECROP
PP	PICEA PUNGENS 'GLOBOSA' / DWARF GLOBE BLUE SPRUCE

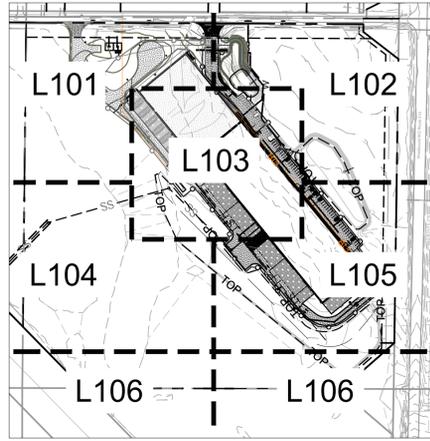
NOTE: SEE SHEET L100 FOR FULL PLANT SCHEDULE.



	805 PENNSYLVANIA AVE. SUITE 150, KANSAS CITY, MO 64105 PHONE: 816-652-0333 WWW.KIMLEY-HORN.COM © 2023 KIMLEY-HORN AND ASSOCIATES, INC.
	KHA PROJECT: 268302000 DATE: 01/30/2023 SCALE: AS SHOWN DESIGNED BY: AMS DRAWN BY: CMS CHECKED BY: JDK
LANDSCAPE PLAN	MO ROUTE 210
MCI06	EDGEDENERGY
SHEET NUMBER	KANSAS CITY
L102	DATE

Plotted By: Long, Luke Sheet Set: MCI06 Layout: L104 April 16, 2023 08:25:03pm K:\KNC LDEV\268302000 MCI06 Design\CAD\PlanSheets\Site Development Plans\SD-LANDSCAPING PLAN.dwg
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

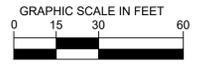
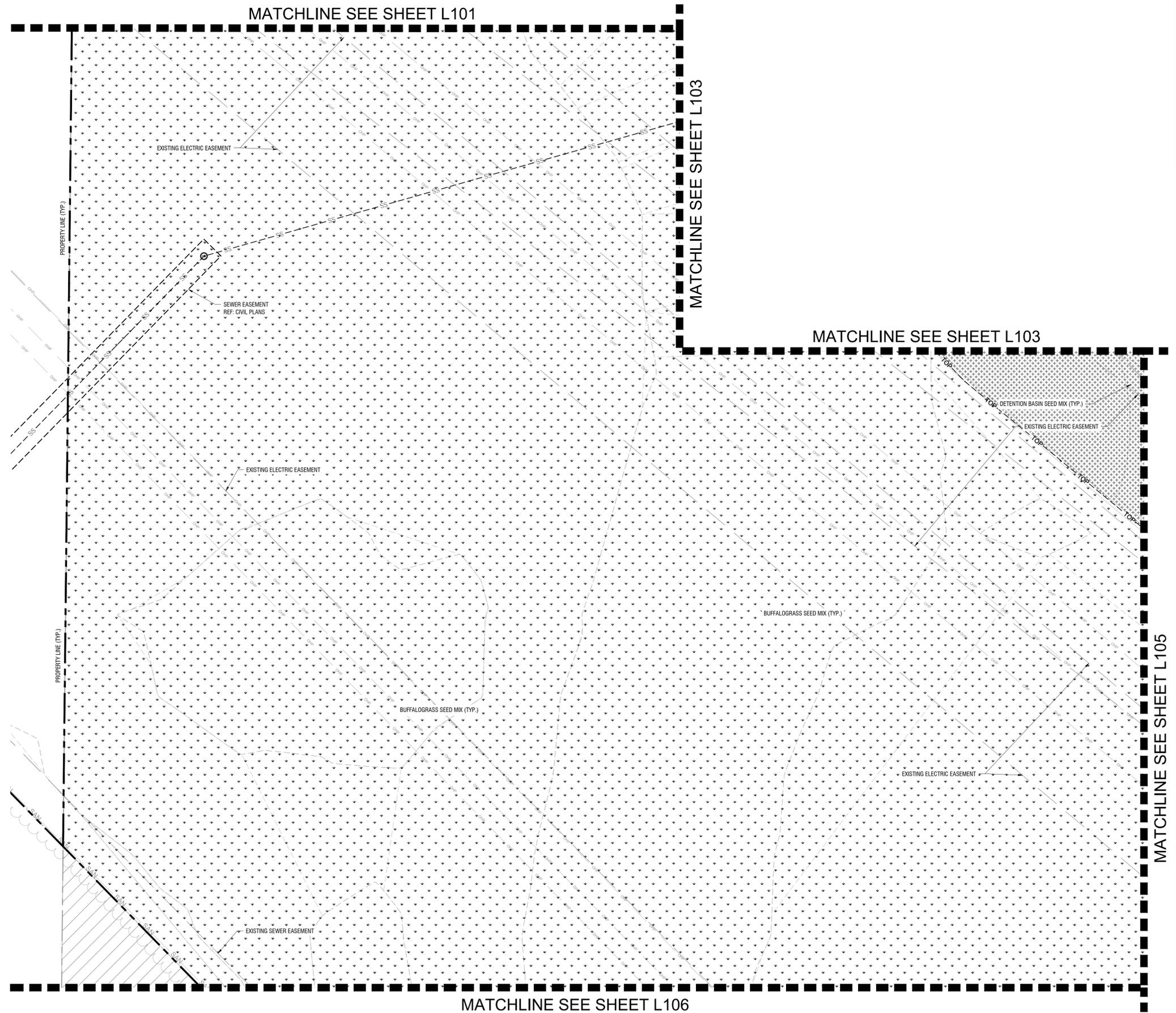
KEY MAP



PLANT SCHEDULE

TREES	
CODE	BOTANICAL / COMMON NAME
QP	QUERCUS PAGODA / CHERRYBARK OAK
MA	MAGNOLIA ACUMINATA / CUCUMBERTREE
GB	GINKGO BILOBA / MAIDENHAIR TREE
CI	CARYA ILLINOINENSIS / PECAN HICKORY
SA	SASSAFRAS ALBIDUM / SASSAFRAS
TD	TAXODIUM DISTICHUM 'MICKELSON' / SHAWNEE BRAVE BALDCYPRESS
PO	PLATANUS OCCIDENTALIS 'GREENICKEL' / SILVERWOOD™ AMERICAN SYCAMORE
LT	LIRIODENDRON TULIPIFERA / TULIPTREE
SHRUBS	
CODE	BOTANICAL / COMMON NAME
ST	SEDUM TELEPHUM 'LAJOS' / AUTUMN CHARM™ STONECROP
PP	PICEA PUNGENS 'GLOBOSA' / DWARF GLOBE BLUE SPRUCE

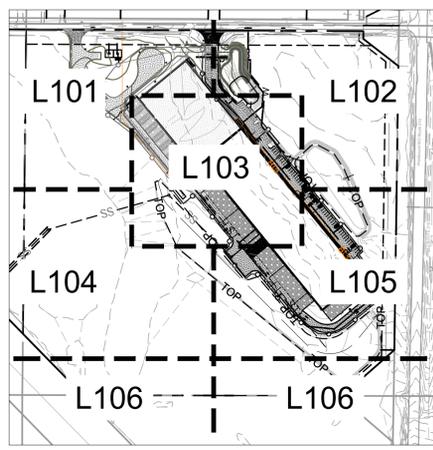
NOTE: SEE SHEET L100 FOR FULL PLANT SCHEDULE.



MCI06	EDGEDENERGY	MO	LANDSCAPE PLAN
KANSAS CITY		SHEET NUMBER	L104
		KHA PROJECT 268302000	DATE 01/30/2023
805 PENNSYLVANIA AVE. SUITE 150, KANSAS CITY, MO 64105 PHONE: 816-652-0333 WWW.KIMLEY-HORN.COM		DESIGNED BY AMS	DRAWN BY CMS
© 2023 KIMLEY-HORN AND ASSOCIATES, INC.		CHECKED BY JDK	REVISIONS No. _____ DATE _____ BY _____

Plotted By: Long, Luke Sheet Set: MCI06 Layout: L105 April 16, 2023 08:25:13pm K:\KINC LDEV\268302000 MCI06 Design\CAD\PlanSheets\Site Development Plans\SD-LANDSCAPING PLAN.dwg
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

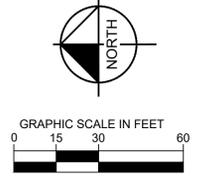
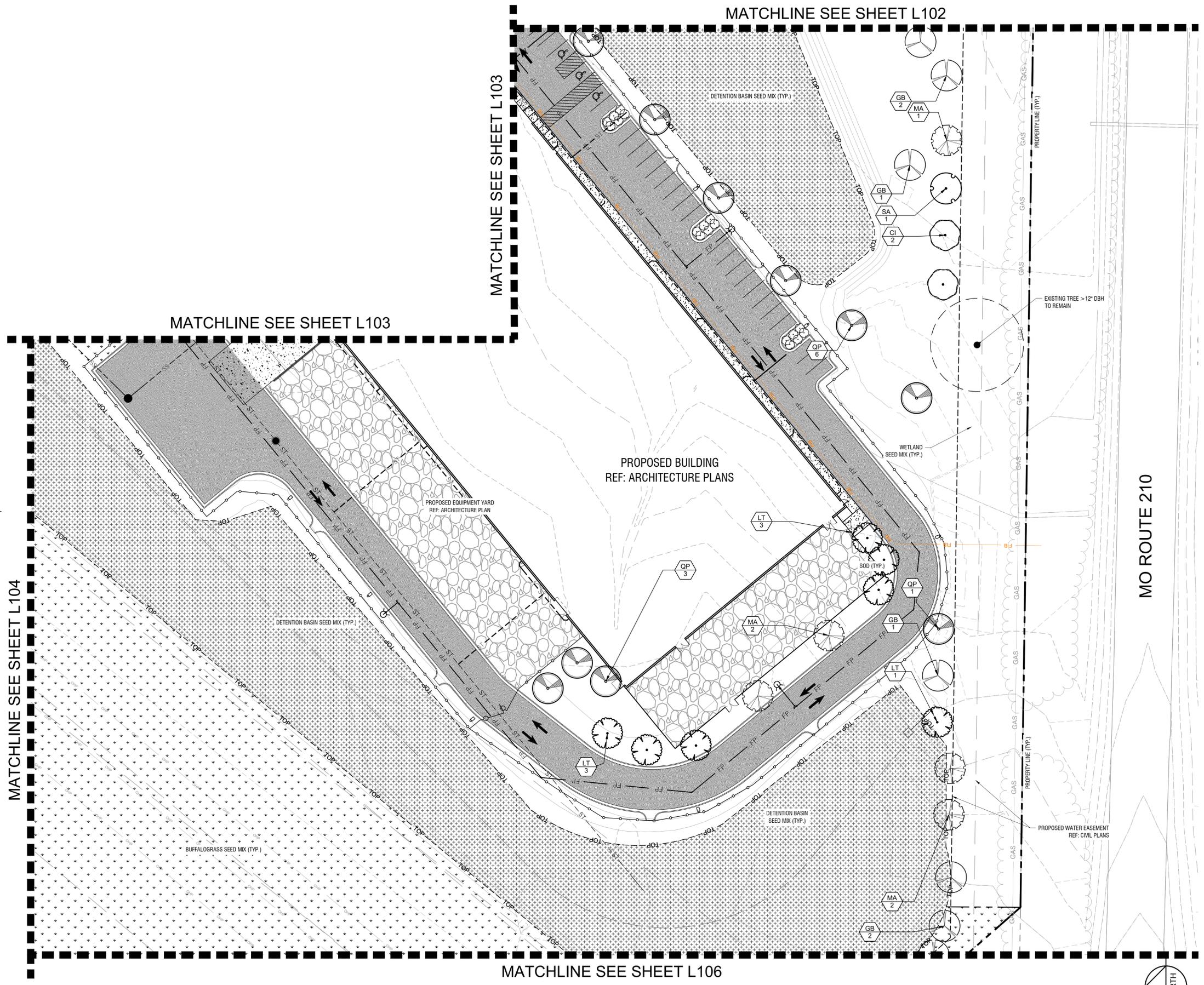
KEY MAP



PLANT SCHEDULE

TREES	
CODE	BOTANICAL / COMMON NAME
QP	QUERCUS PAGODA / CHERRYBARK OAK
MA	MAGNOLIA ACUMINATA / CUCUMBERTREE
GB	GINKGO BILOBA / MAIDENHAIR TREE
CI	CARYA ILLINOINENSIS / PECAN HICKORY
SA	SASSAFRAS ALBIDUM / SASSAFRAS
TD	TAXODIUM DISTICHUM 'MICKELSON' / SHAWNEE BRAVE BALDCYPRESS
PO	PLATANUS OCCIDENTALIS 'GRENNICKEL' / SILVERWOOD™ AMERICAN SYCAMORE
LT	LIRIODENDRON TULPIFERA / TULIPTREE
SHRUBS	
CODE	BOTANICAL / COMMON NAME
ST	SEDUM TELEPHIUM 'LAJOS' / AUTUMN CHARM™ STONECROP
PP	PICEA PUNGENS 'GLOBOSA' / DWARF GLOBE BLUE SPRUCE

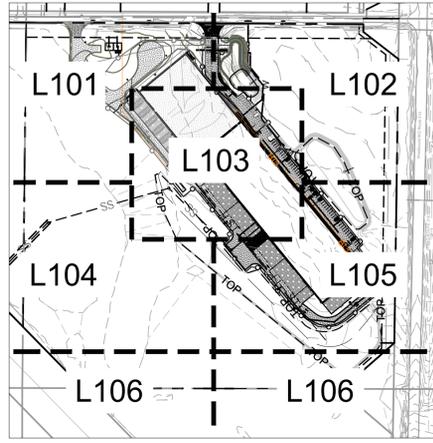
NOTE: SEE SHEET L100 FOR FULL PLANT SCHEDULE.



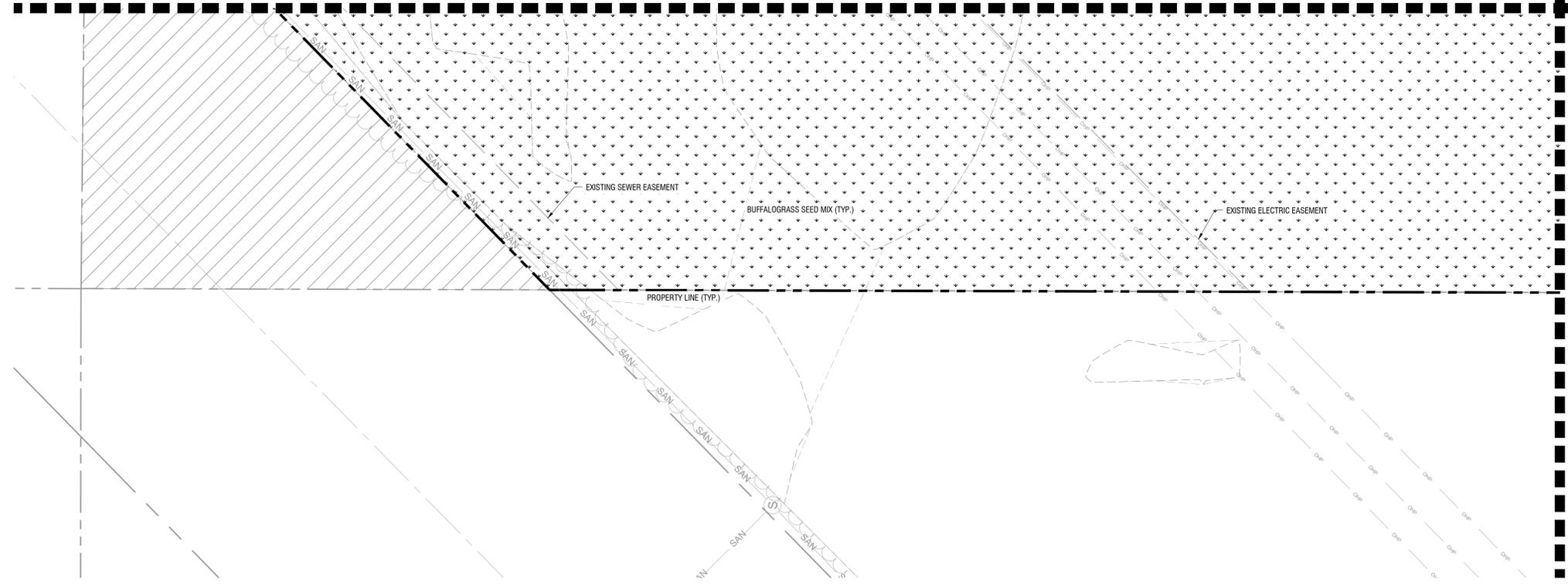
	805 PENNSYLVANIA AVE. SUITE 150, KANSAS CITY, MO 64105 PHONE: 816-652-0333 WWW.KIMLEY-HORN.COM © 2023 KIMLEY-HORN AND ASSOCIATES, INC.
	No. _____ DATE _____ REVISIONS _____
KHA PROJECT 268302000	DATE 01/30/2023
SCALE AS SHOWN	DESIGNED BY AMS DRAWN BY CMS CHECKED BY JDK
LANDSCAPE PLAN	MO
MCI06 EDGEENERGY	KANSAS CITY
SHEET NUMBER L105	

Plotted By: Long, Luke Sheet Set: MCI06 Layout: L106 April 16, 2023 08:25:20pm K:\KINC_LDEV\268302000\MCI06 Design\CAD\PlanSheets\Site Development Plans\SD-LANDSCAPING PLANS.dwg
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc. © 2023 KIMLEY-HORN AND ASSOCIATES, INC.

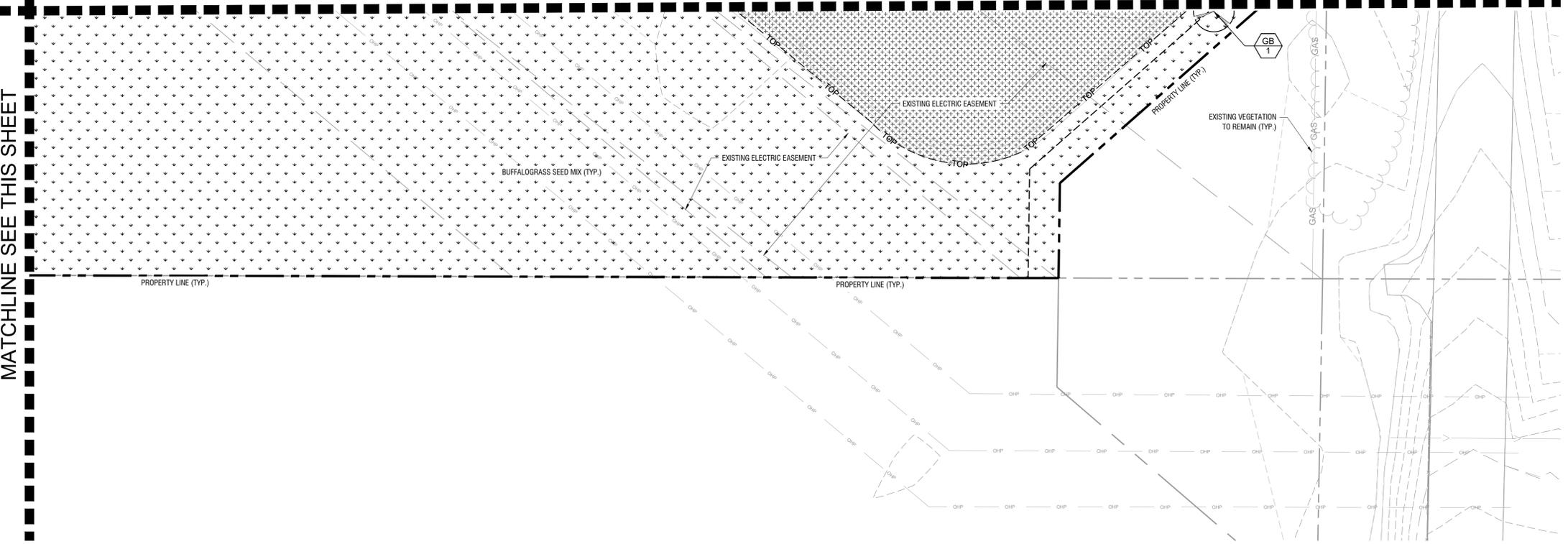
KEY MAP



MATCHLINE SEE SHEET L104



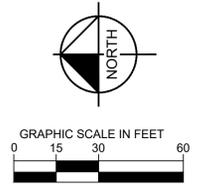
MATCHLINE SEE SHEET L105



PLANT SCHEDULE

TREES	
CODE	BOTANICAL / COMMON NAME
QP	QUERCUS FAGODA / CHERRYBARK OAK
MA	MAGNOLIA ACUMINATA / CUCUMBERTREE
GB	GINKGO BILOBA / MAIDENHAIR TREE
CI	CARYA ILLINOINENSIS / PECAN HICKORY
SA	SASSAFRAS ALBIDUM / SASSAFRAS
TD	TAXODIUM DISTICHUM 'MICKELSON' / SHAWNEE BRAVE BALDCYPRESS
PO	PLATANUS OCCIDENTALIS 'GREENICKEL' / SILVERWOOD™ AMERICAN SYCAMORE
LT	LIRIODENDRON TULPIPERA / TULIPTREE
SHRUBS	
CODE	BOTANICAL / COMMON NAME
ST	SEDUM TELEPHUM 'LAJOS' / AUTUMN CHARM™ STONECROP
PP	PICEA PUNGENS 'GLOBOSA' / DWARF GLOBE BLUE SPRUCE

NOTE: SEE SHEET L100 FOR FULL PLANT SCHEDULE.

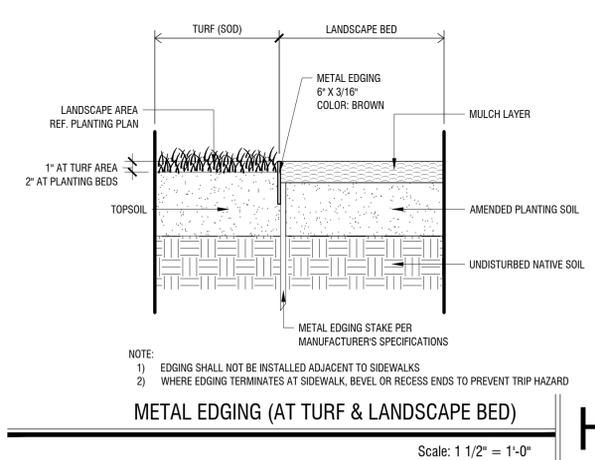


MATCHLINE SEE THIS SHEET

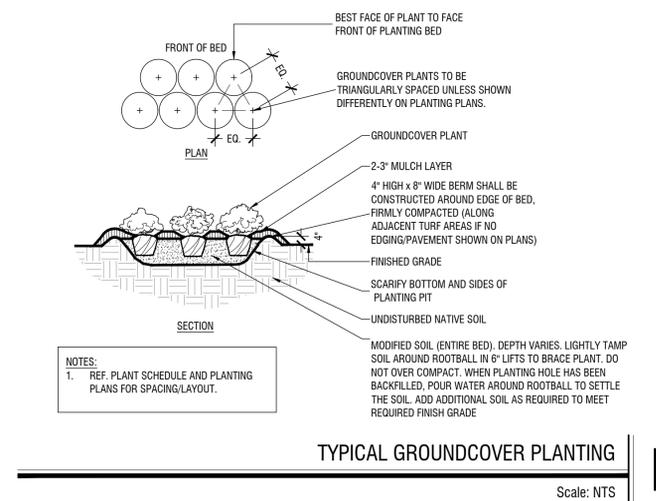
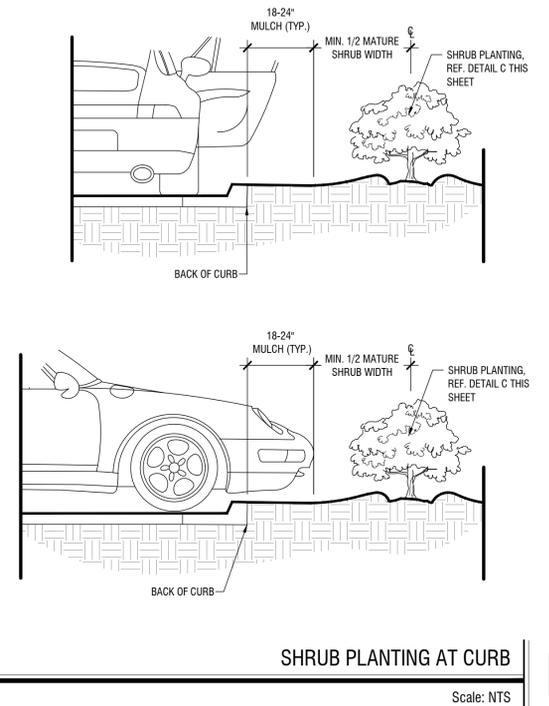
MATCHLINE SEE THIS SHEET

	805 PENNSYLVANIA AVE. SUITE 150, KANSAS CITY, MO 64105 PHONE: 816-652-0333 WWW.KIMLEY-HORN.COM	
	© 2023 KIMLEY-HORN AND ASSOCIATES, INC.	
KHA PROJECT 268302000	DATE 01/30/2023	REVISIONS No. _____ DATE _____
LANDSCAPE PLAN		
MCI06 EDGEENERGY KANSAS CITY	MO	REVISIONS No. _____ DATE _____
SHEET NUMBER L106		DESIGNED BY AMS DRAWN BY CMS CHECKED BY JDK

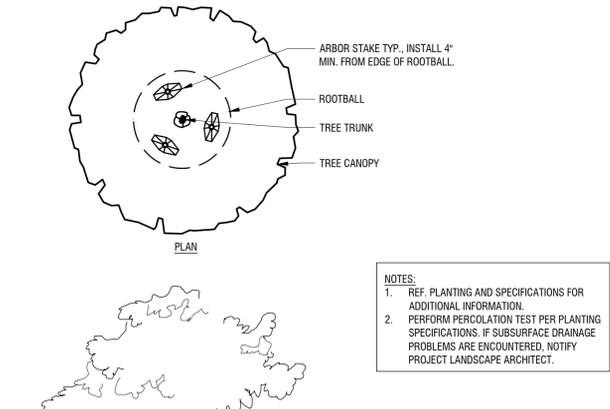
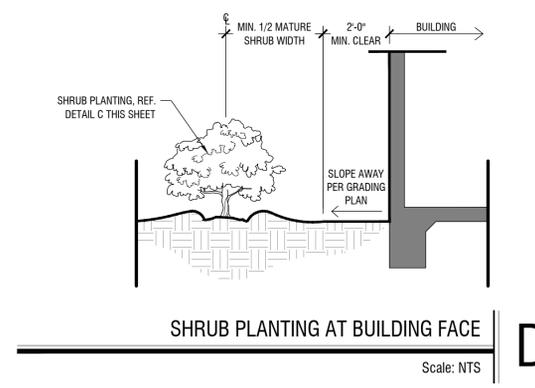
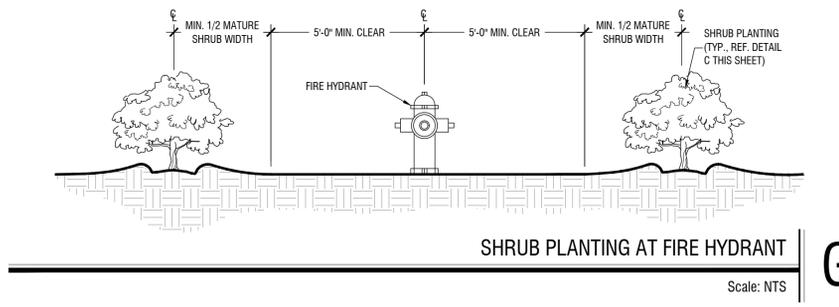
Plotted By: Long, Luke Sheet MCI06 Date: 08/25/2023 08:25:27pm K:\KNC LDEV\268302000 MCI06 Design\CAD\PlanSheets\Site Development\Plans\SD-LANDSCAPING PLAN.rvt
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



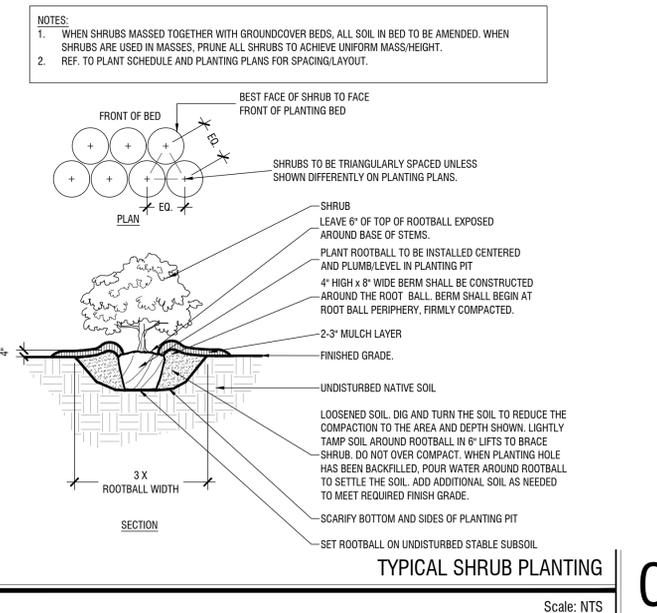
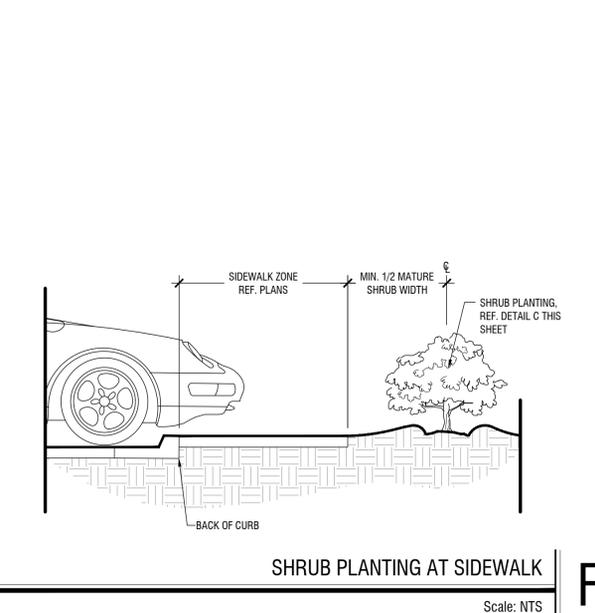
NOTE:
 1) EDGING SHALL NOT BE INSTALLED ADJACENT TO SIDEWALKS
 2) WHERE EDGING TERMINATES AT SIDEWALK, BEVEL OR RECESS ENDS TO PREVENT TRIP HAZARD



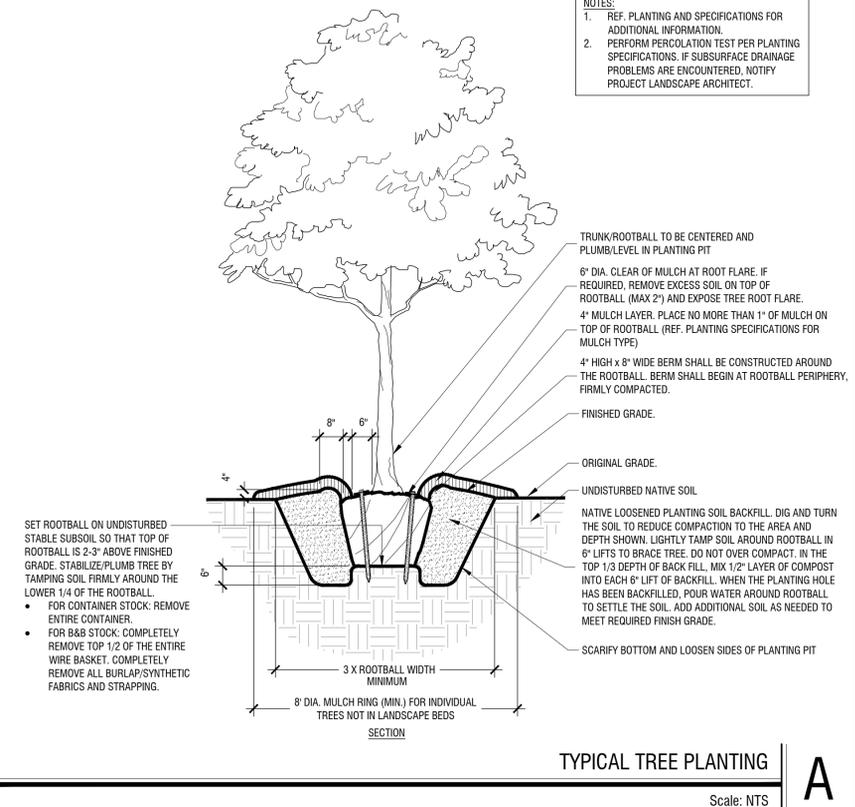
NOTES:
 1. REF. PLANT SCHEDULE AND PLANTING PLANS FOR SPACING/LAYOUT.



NOTES:
 1. REF. PLANTING AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
 2. PERFORM PERCOLATION TEST PER PLANTING SPECIFICATIONS. IF SUBSURFACE DRAINAGE PROBLEMS ARE ENCOUNTERED, NOTIFY PROJECT LANDSCAPE ARCHITECT.



NOTES:
 1. WHEN SHRUBS MASSES TOGETHER WITH GROUNDCOVER BEDS, ALL SOIL IN BED TO BE AMENDED. WHEN SHRUBS ARE USED IN MASSES, PRUNE ALL SHRUBS TO ACHIEVE UNIFORM MASS/HEIGHT.
 2. REF. TO PLANT SCHEDULE AND PLANTING PLANS FOR SPACING/LAYOUT.



SET ROOTBALL ON UNDISTURBED STABLE SUBSOIL SO THAT TOP OF ROOTBALL IS 2-3" ABOVE FINISHED GRADE. STABILIZE/PLUMB TREE BY TAMPING SOIL FIRMLY AROUND THE LOWER 1/4 OF THE ROOTBALL.

- FOR CONTAINER STOCK: REMOVE ENTIRE CONTAINER.
- FOR B&B STOCK: COMPLETELY REMOVE TOP 1/2 OF THE ENTIRE WIRE BASKET. COMPLETELY REMOVE ALL BURLAP/SYNTHETIC FABRICS AND STRAPPING.

No.	REVISIONS	DATE	BY

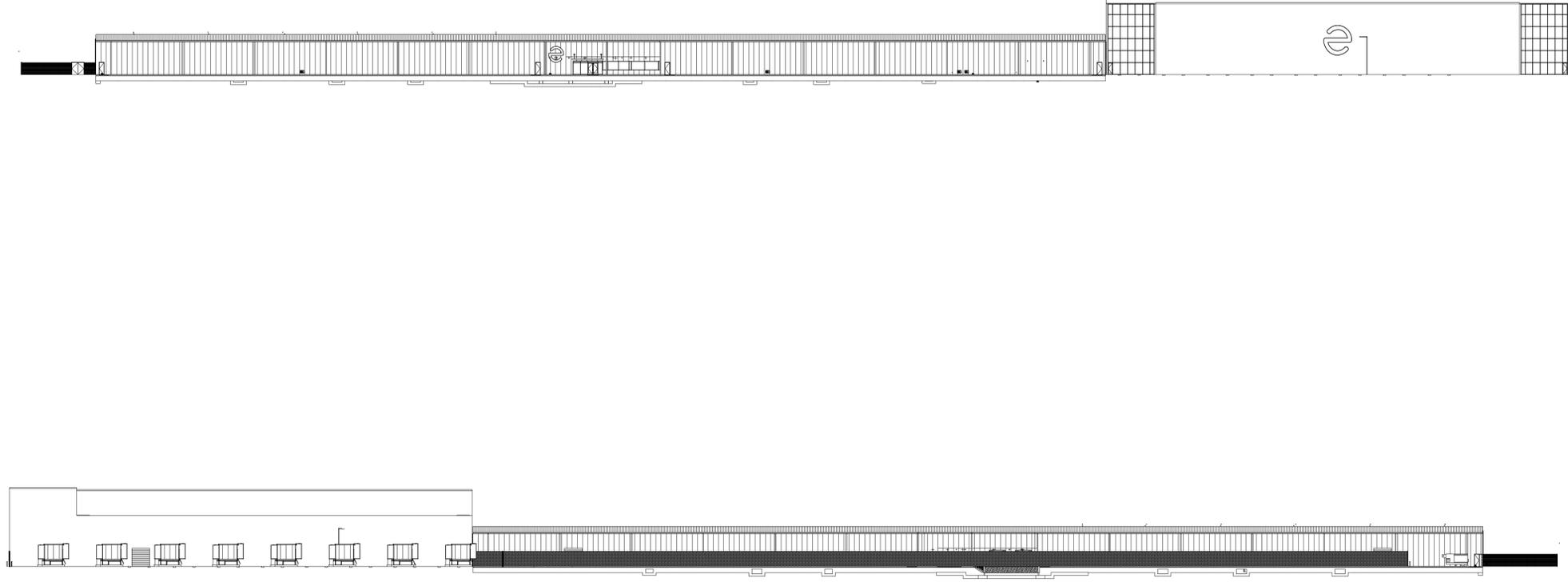
Kimley»Horn
 805 PENNSYLVANIA AVE. SUITE 150, KANSAS CITY, MO 64105
 PHONE: 816-652-0333
 WWW.KIMLEY-HORN.COM
 © 2023 KIMLEY-HORN AND ASSOCIATES, INC.

KHA PROJECT	268302000
DATE	01/30/2023
SCALE	AS SHOWN
DESIGNED BY	AMS
DRAWN BY	CMS
CHECKED BY	JDK

LANDSCAPE DETAILS

SHEET NUMBER
L200
 MCI06
 EDGEDENERGY
 KANSAS CITY
 MO

This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



SHEET NUMBER
SD-1A

MCI06
EDGEENERGY

KANSAS CITY

MO

**ELEVATIONS AND
PERSPECTIVE**

KHA PROJECT
268302000
DATE
01/30/2023
SCALE AS SHOWN
DESIGNED BY LCL
DRAWN BY LCL
CHECKED BY JC

Kimley»Horn

865 PENNSYLVANIA AVE. SUITE 400 KANSAS CITY, MO 64105
PHONE: 816-852-0300
WWW.KIMLEY-HORN.COM
© 2022 KIMLEY-HORN AND ASSOCIATES, INC.

No. REVISIONS

DATE BY

Public Meeting Notice

Please join Edged Kansas City, LLC for a meeting about the proposed development of a 130,000-square-foot data center.

Case number CD-CPC-2023-00016 proposed for the following address: 3420 N. Arlington Ave., Kansas City, Mo.

Meeting Date: April 21, 2023

Meeting Time: 5 p.m. – 7 p.m.

Meeting Location:

The Holiday Inn Kansas City Northeast, Milan Room
4101 N. Corrington Ave, Kansas City. MO 64117

Project Description:

Edged Energy is developing a 130,000-square-foot co-location data center on about 38 acres near the intersection of Missouri 210 Highway and N. Arlington Ave., in Kansas City, Mo. This project is proposed to be built in two phases, with two entrances along further north on Arlington Avenue and a 2-story data center building in phase 2, which will be connected to the original building.

If you have any questions, please contact:

Name: John Pepitone

Phone: 816-282-0230

Email: jpepitone@burnsmcd.com

You are receiving this notice in accordance with a city ordinance that requires a public meeting with neighbors for certain types of development projects. You can read more about the process requirements at kcMO.gov/publicengagement



If you would like further information on this proposed project, please visit the city's planning and permitting system, Compass KC, at Compasskc.kcMO.org. You may search by project type and add find project details.

Sincerely,

Chad Sanderson

Meeting Notes



Meeting Subject: Stakeholder Meeting
Meeting Date: 4/19/2023
Start Time: 3:00 PM

Project Name: Edged Energy – KCMO Data Center

<u>Attendees</u>	<u>Organization</u>
John Pepitone	BMcD
Chad Sanderson	BMcD
Kate Turnage	BMcD
Polina Tymoshenko	Edged Energy
Sonya Hailey	Landowner

Click on first field under Attendees to begin. To add an additional Attendee, press tab key (not enter key) after entering previous Attendee's Title. *(When list completed, highlight name tab of this field and delete this note)*

* Indicates meeting organizer

Notes Prepared By: Kate Turnage
Date Notes Issued: 4/20/2023

Meeting Notes:

Landowner Questions/Concerns

1. The landowner was concerned that there are no sewers or drainage within the landscaping near her property.

Response: There will be drainage and retention ponds built within the landscaping. The project planners will be alleviating problems for runoff on the property.

2. The landowner was concerned about the amount of traffic the data center might bring and 300 parking spots for the building.

Response: There are about 40 parking spaces planned for the building. Additionally, only about 5 workers will be driving in and out.

3. Why is the building now going to be two stories instead of one?

Response: It is going to be of great economic benefit to the city. They see larger opportunities for this data center.

4. How will the two-story building be hidden?

4/20/2023

Page 2

Response: The project team is discussing a berm to cover the building. They would anticipate it to be about 5 feet tall. They will build one if it does not negatively impact the wetlands on the parcel.

5. What will the development do about the mosquitos populating amongst all of the standing water?

Response: We do not have an immediate solution for that, as we do not know if it is a problem yet.

6. Why is there a circle drive by the building?

Response: The city mandates having a circle drive so firetrucks can access the building and turn around.

7. How many docks are there for large semi trucks? Will there be a lot of semis?

Response: There is only one loading dock on the building. We do not anticipate many semi trucks coming to the property, only for occasional deliveries.

8. How is the building being built?

Response: It is going to mostly be a PEMB Pre-Engineered Made Building. Meaning many parts will be pre-built and brought to the site to be put together. Phase 2 is still in the works, but it will likely be the same method.

9. Why are they not putting a stoplight at the corner?

Response: That is something the city must determine. We are not responsible for that decision.

Memorandum



Date: 4/24/2023

To: Chad Sanderson, Project Manager

From: John Pepitone, Senior Public Involvement Specialist

Subject: Edged Energy Public Engagement Meeting

As required by Kansas City, Mo., ordinance, a public engagement meeting for the proposed development of a data center at 3420 N. Arlington Ave., took place on April 21, 2023, from 5 p.m. until 7 p.m. at the Holiday Inn, 4101 N. Corrington Ave., Kansas City, Mo.

Two stakeholders who live near the proposed development site attended the meeting.

The meeting room had five displays showing those who attended renderings of what the data center would look like on the property after construction is completed. Interested parties also received a fact sheet containing details of the development, including environmental impact, traffic projections and technology used.

Specialists staffing the meeting to provide project details included: Joab Ortiz, Associate Public Involvement Specialist, John Pepitone, Senior Project Involvement Specialist, and Polina Tymoshenko, Edged Energy Project Manager.

The following is a summary of questions and concerns addressed at the meeting:

1. Doug Carter, 3527 N. Arlington Avenue. Lives across the street from the proposed development. Carter asked about plans to widen or improve N. Arlington Avenue as part of the project. Tymoshenko disclosed that Edged Energy has agreed to grant Kansas City, Mo., a 50-foot easement along its property for the purpose of expanding or improving N. Arlington Avenue in the next five years.
2. Norman Van Booven, President of Vrooman Acres Neighborhood Assn. This neighborhood group is not listed on the Kansas City, Mo., parcel viewer webpage as being the registered homes association for the development site. Van Booven said he had received inquiries about the project from neighbors and wanted to get facts about the project. He took several fact sheets to distribute to neighbors. After listening to a presentation from project specialists, Van Booven said he believed this development would be good for the neighborhood, as he preferred a data center over a warehouse. He also said he believes the project will help boost neighboring property values.

No others attended the meeting. Public meeting notifications to property owners within 300 feet of the development site were mailed on April 11. One mailed notification was returned to Burns & McDonnell on April 21. The U.S. Postal Service marked the letter to Birmingham Energy Storage LLC as “No such number. Unable to forward.” Kansas City’s parcel viewer webpage confirmed the address for Birmingham Energy Storage LLC as 3701 N. Arlington Ave. A separate letter to the same property owner also had been sent to an address listed in Florida.

JP

cc: Joab Ortiz

