



CITY PLAN COMMISSION STAFF REPORT

City of Kansas City, Missouri
City Planning & Development Department
www.kcmo.gov/cpc

November 15, 2022

Project Name
Viva Bene Residential Community

Docket #10

Request
CD-CPC-2022-00162
Development Plan - Residential

Applicant
Lindsey Diekemper
Cole & Associates Inc.
1520 5th St, Saint Charles, MO 63303

Owner
Platte Purchase Plaza LLC
PO Box 11332 Overland Park, KS 66207

Location 1801 NW Barry Rd
Area About 6.63 acres
Zoning B3-2
Council District 2nd
County Platte
School District Platte County R-III

Surrounding Land Uses
North: Undeveloped, residential uses, zoned B3-3, B1-1
South: Public/civic uses, zoned UR
East: Commercial, industrial uses, zoned M2-2, B3-1, R-80
West: Commercial uses, zoned B3-2

Major Street Plan
N Platte Purchase and NW Barry Road are identified on the City's Major Street Plan as a Local Link and Thoroughfare, respectively.

Land Use Plan
The Line Creek Valley Area Plan recommends Commercial for this location.

APPROVAL PROCESS



PROJECT TIMELINE

The application for the subject request was filed on 8/29/2022. Scheduling deviations from 2022 Cycle T have occurred.

- The applicant requested a continuance to allow time to review geotechnical reports from the site.

NEIGHBORHOOD AND CIVIC ORGANIZATIONS NOTIFIED

There are no registered neighborhood or homes associations tied to the subject site.

REQUIRED PUBLIC ENGAGEMENT

Public engagement as required by 88-505-12 does apply to this request. Applicant hosted a meeting on 8/30/2022. A summary of the meeting is attached to the staff report.

EXISTING CONDITIONS

The subject site is currently undeveloped. Parcel Viewer shows a regulated stream crossing the site; however, it is clear when looking at the land itself that there is no longer a stream on the site, nor has there been for at least 15 years. There are existing sidewalks along the rights of way abutting the site, but currently no curb cuts to access the site.

SUMMARY OF REQUEST + KEY POINTS

The applicant is seeking approval of Development Plan in District B3-2 to allow for the construction of multi-unit building containing 162 units for age-restricted housing on about 6.4 acres generally located at the southwest corner of NW Barry Rd and N Platte Purchase Dr.

CONTROLLING + RELATED CASES

None

PROFESSIONAL STAFF RECOMMENDATION

Docket #10 Approval with Conditions

PLAN REVIEW

The proposed residential Development Plan consists of a three-story building with 162 units and 1,149 square feet of accessory medical office space. The developer plans to market the units to individuals who are 55 years or older and does not include any assisted living aspects; therefore, staff reviewed this project as a standard multi-unit residential project. There are two points of access shown on the plans, one from N Platte Purchase Dr on the east side of the site and one from a private drive off of NW Barry Rd on the west side of the site. All vehicular use area will be located to the rear of the building and not visible from NW Barry Rd. This area includes 205 parking spaces, 29 of which are covered spaces. Short-term bicycle parking is provided around multiple entrances to the building and long-term bicycle parking is provided within the covered parking area and inside the building.

The proposed plan shows pedestrian connection around the entire site. Pedestrian connection is provided on the north side of the building to access NW Barry Rd, as well as on the east side of the site to N Platte Purchase Dr. Striped crossings are provided across the vehicular use areas.

A variety of landscaping is shown on the plans. Street tree species include red Maple, Red Oak, American Linden, and Serviceberry. Shrub and ground cover species include Boxwood, Yew, Arborvitae, Sumac, Little Bluestem, and Indiangrass.

Proposed building materials include stone veneer, fiber cement siding, brick, and board and batten siding. Architectural articulation is provided through the variety of materials, balcony placement, and varied roofline and shapes.

PLAN ANALYSIS

Commercial Lot and Building (88-100), Use- Specific (88-300), and Development Standards (88-400)

Standards	Applicability	Meets	More Information
Lot and Building Standards (88-120)	Yes	Yes	
Accessory or Use- Specific Standards (88-305 – 385)	No	N/A	
Boulevard and Parkway Standards (88-323)	No	N/A	
Parkland Dedication (88-408)	Yes	Yes	Subject to conditions
Parking and Loading Standards (88-420)	Yes	Yes	
Landscape and Screening Standards (88-425)	Yes	Yes	
Outdoor Lighting Standards (88-430)	Yes	Yes	Subject to conditions
Sign Standards (88-445)	Yes	Yes	Subject to conditions
Pedestrian Standards (88-450)	Yes	Yes	

SPECIFIC REVIEW CRITERIA**Development Plans, Project Plan, or Site Plan (88-516-05)**

In order to be approved, a development plan, project plan, or site plan must comply with all of the following criteria:

A. The plan must comply with all standards of the Zoning and Development Code and all other applicable city ordinances and policies;

The proposed plan complies with all applicable standards in the Zoning and Development Code. Although the Area Plan recommends "Commercial" as the future land use, the proposed use is less intense than many commercial uses and doesn't warrant amending the area plan. Residential uses are permitted in commercial areas and districts.

B. The proposed use must be allowed in the district in which it is located;

The proposed residential use is permitted in the B3-2 zoning district. The small amount of medical office, which is accessory to the residential use is also permitted in the B3-2 district.

C. Vehicular ingress and egress to and from the site, and circulation within the site must provide for safe, efficient, and convenient movement of traffic not only within the site but on adjacent roadways;

The site will have two access points, one on the east side of the site from N Platte Purchase Dr, and another on the west side from a private drive that connects to NW Barry Rd. Circulation around the site is adequate and not expected to have major conflict points. All vehicular use areas provide enough space for two-way drive aisles.

D. The plan must provide for safe, efficient, and convenient non-motorized travel opportunities, being pedestrian and bicycle movement, on the subject site;

Sidewalks and bike racks are provided for non-motorized modes of transportation. The southern portion of the site provides an outdoor pedestrian walking area and dog park. There is a pedestrian connection from the building to the north to access NW Barry Rd. Sidewalks and striped crossings are provided throughout the site and provide adequate circulation internally, and to reach N Platte Purchase Dr as well.

E. The plan must provide for adequate utilities based on City standards for the particular development proposed.

Adequate utilities are available at the subject site to serve the building and its use, unless otherwise conditioned by Water Services or Land Development Division.

F. The location, orientation, and architectural features, including design and material, of buildings and other structures on the site must be designed to be compatible with adjacent properties.

Proposed building materials and building design are consistent with some similar uses in the surrounding area, particularly the Ignite Medical Resort and recently approved assisted living project at NW Barry Rd and N Marston to the west of the subject site.

G. Landscaping, berms, fences, and/or walls must be provided to buffer the site from undesirable views, noises, lighting, or other off-site negative influences and to buffer adjacent properties from negative influences that may be created by the plan.

Landscaping requirements have been met, as shown on the plans. Per staff's request, additional shrubs were added to help buffer light from headlights in the parking lot shining into the windows of units.

- H. The design of streets, drives, and parking areas within the project should result in a minimum of area devoted to asphalt or other impervious surfaces consistent with the needs of the project and city code requirements.**

The total amount of impervious surface was not provided, but the building will cover 28 percent of the site. Based on the amount of parking and vehicular use area needed for the number of units proposed, it is common for the majority of the site to be impervious.

- I. The plan must identify trees to be removed and trees to be preserved during the development of the subject property with the goal of saving trees that are not required to be removed for the development of the property.**

There are no existing trees on the subject site.

ATTACHMENTS

1. Conditions Report
2. Applicants Submittal
3. Public Engagement Materials
4. Additional documents, if applicable

PROFESSIONAL STAFF RECOMMENDATION

City staff recommends **Approval with Conditions** as stated in the conditions report.

Respectfully Submitted,



Genevieve Kohn
Planner



Plan Conditions

Report Date: November 10, 2022

Case Number: CD-CPC-2022-00162

Project: Viva Bene Residential Community

Condition(s) by City Planning and Development Department. Contact Genevieve Kohn at (816) 513-8808 / Genevieve.Kohn@kcmo.org with questions.

1. That all signage shall conform to 88-445 and shall require a sign permit prior to installation.
2. The developer shall submit an affidavit, completed by a landscape architect licensed in the State of Missouri, verifying that street trees have been installed in accordance with the approved street tree planting plan and are healthy prior to Certificate of Occupancy.
3. That the developer shall submit an affidavit, prepared by an engineer licensed in the State of Missouri, verifying that all outdoor lighting has been installed in accordance with approved plans and that lighting levels do not exceed that shown on the approved lighting plan at the property lines prior to Certificate of Occupancy.
4. The developer shall submit an affidavit, completed by a landscape architect licensed in the State of Missouri, verifying that all landscaping required of the approved plan has been installed in accordance with the plan and is healthy prior to Certificate of Occupancy.
5. Screen all roof and/or ground mounted mechanical and utility equipment in compliance with 88-425-08.

Condition(s) by City Planning and Development Department. Contact Terry Thomas at / Terry.A.Thomas@kcmo.org with questions.

6. The developer must dedicate additional right of way for as required by the adopted Major Street Plan and/or Chapter 88 so as to provide the minimum required right of way as measured from the centerline, and ensure right of way dedication is adequate for any proposed road improvements as required by Public Works Department adjacent to this project.
7. The developer shall submit a detailed Micro storm drainage analysis from a Missouri-licensed civil engineer to the Land Development Division showing compliance with the current, approved Macro study on file with the City and with current adopted standards in effect at the time of submission, including Water Quality BMP's, prior to approval and issuance of any building permits to construct improvements on the site or prior to recording the plat, whichever occurs first. The developer shall verify and/or improve downstream conveyance systems or address solutions for impacted properties due to flow contributions from the site; and that the developer construct any other improvements as required by Land Development Division as necessary to mitigate impacts from rate, volume, and quality of runoff from each proposed phase.
8. The developer shall cause the area to be platted and processed in accordance with Chapter 88, Code of Ordinances of the City of Kansas City, Missouri, as amended, commonly known as the Development Regulations.
9. The developer shall submit verification of vertical and horizontal sight distance for the drive connection to public right-of-way to the Land Development Division and make improvements to ensure local jurisdiction and/or minimum AASHTO adequate sight distance standards are met, prior to issuance of any certificate of occupancy.
10. The developer shall submit construction plans in compliance with adopted standards for all improvements required by the traffic study approved by the Public Works Department, and shall secure permits for those improvements as required by the Land Development Division, prior to recording the plat.
11. The developer shall submit a letter to the Land Development Division from a Licensed Civil Engineer, Licensed Architect, or Licensed Landscape Architect, who is registered in the State of Missouri, that identifies sidewalks, curbs, and gutters in disrepair as defined by Public Works Department's "OUT OF REPAIR CRITERIA FOR SIDEWALK, DRIVEWAY AND CURB revised 11/5/2013" and based on compliance with Chapters 56 and 64 of the Code of Ordinances for the sidewalks, curbs, and gutters where said letter shall identify the quantity and location of sidewalks, curbs, gutters that need to be constructed, repaired, or reconstructed to remedy deficiencies and/or to remove existing approaches no longer needed by this project. The developer shall secure permits to repair or reconstruct the identified sidewalks, curbs, and gutters as necessary along all development street frontages as required by the Land Development Division and prior to issuance of any certificate of occupancy permits including temporary certificate occupancy permits.

Condition(s) by City Planning and Development Department. Contact Terry Thomas at / Terry.A.Thomas@kcmo.org with questions.

12. The developer must pay impact fees as required by Chapter 39 of the City's Code of ordinances as required by the Land Development Division.
13. The developer shall provide acceptable easements for any deep sewers where proposed fill is added or where the sewer will be further obstructed by surface improvements and that a structural analysis be provided to confirm adequate structural integrity for the proposed loading conditions of this plan, and secure permits and provide City approved executed and recorded easement prior to adding fill or constructing surface obstructions as required by Land Development Division.
14. The developer shall submit an analysis to verify adequate capacity of the existing sewer system as required by the Land Development Division prior to issuance of a building permit to connect private system to the public sewer main and depending on adequacy of the receiving system, make other improvements may be required.
15. The owner/developer must submit plans for grading, siltation, and erosion control to Land Development Division for review and acceptance, and secure a Site Disturbance permit for any proposed disturbance area equal to one acre or more prior to beginning any construction activities.
16. The developer must submit a plan for approval and permitting by the Land Development Division prior to beginning construction of the improvements in the public right of way, and construct ADA compliant ramps at all required locations where new private drives are being added, or where existing sidewalks are modified or repaired.
17. The developer must obtain the executed and recorded city approved grading, temporary construction, drainage/sewer, or any other necessary easements from the abutting property owner(s) that may be required prior to submitting any public improvements crossing properties not controlled by the developer and include said document(s) within the public improvement applications submitted for permitting

Condition(s) by Fire Department. Contact Michael Schroeder at (816) 513-4604 / michael.schroeder@kcmo.org with questions.

18. • The project shall meet the fire flow requirements as set forth in Appendix B of the International Fire Code 2018. (IFC-2018 § 507.1)
19. New buildings shall have approved radio coverage for emergency responders within the building based on the existing coverage levels of the public safety communication systems utilized by the jurisdiction, measured at the exterior of the building. This section shall not require improvement of the existing public safety communication systems. (IFC 2018 510.1) and (NFPA1221)
20. • A required fire department access roads shall be an all weather surface. (IFC-2012: § 503.2.3)
 - Fire Department access roads shall be provided prior to construction/demolition projects begin. (IFC-2018 § 501.4 and 3310.1; NFPA 241-2013 § 7.5.5)
 - Required fire department access roads shall designed to support a fire apparatus with gross axle weight of 85,000 pounds. (IFC-2018: § 503.2.3)
21. • The turning radius for fire department access roads shall be 30 feet inside and 50 feet outside radius. (IFC-2018: § 503.2.4)

Condition(s) by Parks & Recreation. Contact Justin Peterson at (816) 513-7599 / Justin.Peterson@kcmo.org with questions.

22. The developer is responsible for dedication of parkland, private open space in lieu of parkland, or payment of cash-in-lieu of either form of dedication, or any combination thereof in accordance with 88-408. Should the developer choose to pay cash-in-lieu of dedicating all or a portion of the required area, the amount due shall be based upon the (2022) acquisition rate of (\$64,220.18) per acre. This requirement shall be satisfied prior to recording the final plat or certificate of occupancy, whichever occurs first.
23. The developer shall submit a streetscape plan with street tree planting plan per 88-425-03 for approval by the Parks & Recreation Department's Forestry Division prior to beginning work in the public right-of-way.

Condition(s) by Public Works Department. Contact Jeffrey Bryan at (816) 513-9865 / Jeffrey.Bryan@kcmo.org with questions.

24. Make sure the street trees shown along Platte Purchase do not cause issues with sight distance at the proposed driveway.

Condition(s) by Water Services Department. Contact Heather Massey at (816) 513-2111 / heather.massey@kcmo.org with questions.

25. Water/Sewer Service lines shall serve only one lot or tract and shall not cross a separate lot or tract.

Condition(s) by Water Services Department. Contact Heather Massey at (816) 513-2111 / heather.massey@kcmo.org with questions.

26. A full flow fire meter will be required when the fire protection service line serves more than one building, or combination service lines 6 inches and larger, or that have private fire hydrants connected to them.
27. The developer shall have a water flow test done to ensure there is adequate water pressure to serve the development.
South of River contact – Sean Allen - 816-513-0318
North of River contact - Todd Hawes – 816-513-0296
28. The developer shall ensure that water and fire service lines should meet current Water Services Department Rules and Regulations. Prior to C of O.
<https://www.kcwater.us/wp-content/uploads/2022/05/2022-Rules-and-Regulations-for-Water-Service-Lines-Final.pdf>

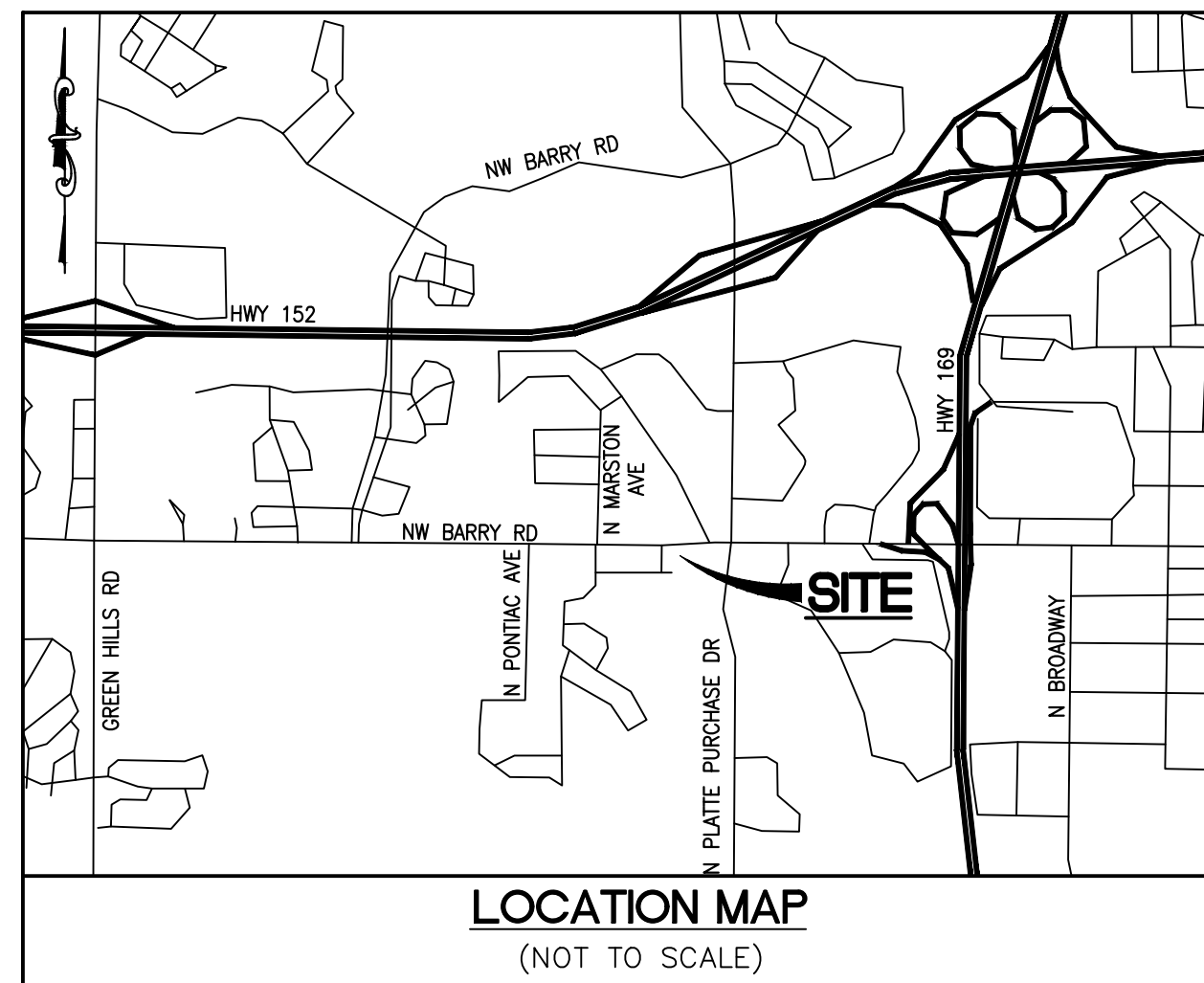
Condition(s) by Water Services Department. Contact Jerald Windsor at (816) 513-0413 / Jerald.Windsor@kcmo.org with questions.

29. Submit WME plans for the new FH's along NE Barry Road and N Platte Purchase Drive to meet 300' max. spacing.

VIVA BENE - AVENUE

A TRACT OF LAND IN THE FRACTIONAL SOUTHWEST QUARTER
OF SECTION 10, TOWNSHIP 51 NORTH, RANGE 33 WEST
CITY OF KANSAS CITY, PLATTE COUNTY, MISSOURI

DEVELOPMENT PLAN



PERTINENT DATA

SITE ADDRESS = 1801 NW BARRY ROAD
KANSAS CITY, MO 64151
PARCEL ID = 231808
FIRE DISTRICT = KANSAS CITY FIRE DEPARTMENT
FEMA MAP PANEL = 29095C0126G, DATE: JAN 20, 2017
GROSS SITE AREA = 6.394 AC.

UTILITIES

SEWER SERVICE CITY OF KANSAS CITY SEWER
4800 E 63RD STREET
KANSAS CITY, MO 64130
CONTACT: ---
PH. 816.513.1313 OR 311

FIRE DISTRICT FIRE DEPARTMENT
CITY OF KANSAS CITY, MO.
635 WOODLAND AVE. SUITE 2103
KANSAS CITY, MO 64106
CONTACT: MIKE SCHROEDER
PH. 816.513.4604

WATER SERVICE CITY OF KANSAS CITY SEWER
4800 E 63RD STREET
KANSAS CITY, MO 64130
CONTACT: ---
PH. 816.513.1313 OR 311

ELECTRIC SERVICE EVERGY
1200 MAIN ST
KANSAS CITY, MO 64105
CONTACT: ---
PH. 888.471.5275

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DEVELOPMENT NOTES

- SITE ACREAGE = 6.394 AC.
EXISTING ZONING = B3-2
PROPOSED ZONING = B3-2
EXISTING USE = VACANT/AGRICULTURAL
PROPOSED USE = ELDERLY HOUSING/MEDICAL OFFICES
CURRENT OWNERS = PLATTE PURCHASE PLAZA LLC
DEVELOPER = AVENUE DEVELOPMENT, LLC
- SILTATION CONTROL SHALL BE INSTALLED AND PLACED PER CITY OF KANSAS CITY STANDARDS.
 - AS DETERMINED THROUGH GRAPHIC PLOTTING ONLY, SUBJECT TRACT FALLS IN ZONE X, AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN PER THE FEDERAL EMERGENCY MANAGEMENT AGENCY AND FLOOD INSURANCE RATE MAP FOR PLATTE COUNTY, MISSOURI AND INCORPORATED AREAS, PANEL 126 OF 625, MAP NUMBER 29095C0126G, EFFECTIVE DATE OF JANUARY 20, 2017.
 - UNDERGROUND UTILITIES AND FACILITIES HAVE BEEN SHOWN BASED ON RECORD DRAWINGS AND VISIBLE EVIDENCE FOUND. NO WARRANTY IS MADE REGARDING THE COMPLETENESS OR ACCURACY OF SUCH INFORMATION. TO DETERMINE THE EXACT LOCATION OF UNDERGROUND FACILITIES AND UTILITIES, AND PRESERVE THEM FROM DAMAGE, CALL MISSOURI ONE CALL (1-800-DIG-RITE) FOR UTILITY LOCATIONS. CONTRACTORS TO PROVIDE THREE DAYS NOTICE. THE CONTRACTOR MUST COMPLY WITH ALL UTILITY LAWS AND PAY ANY AND ALL DAMAGES ASSOCIATED WITH HIS FAILURE TO EXACTLY LOCATE AND PRESERVE UNDERGROUND FACILITIES AND UTILITIES.
 - ALL UTILITIES SHALL BE INSTALLED UNDERGROUND.
 - THE DEVELOPER WILL BE REQUIRED TO INSTALL THE NECESSARY SEWER LINES, WATER LINES, FIRE HYDRANTS AND DOMESTIC WATER LINES.
 - DETENTION APPEARS TO BE PROVIDED PER THE PLATTE PURCHASE PLAZA MACRO DRAINAGE STUDY IN THE EXISTING BASIN TO THE SOUTH WEST OF THE SITE. THE EXISTING BASIN WILL BE ANALYZED FOR REMAINING CAPACITY AND IF REQUIRED, MODIFICATIONS WILL BE PERFORMED ACCORDINGLY. STORM WATER QUALITY WILL BE PROVIDED VIA AN ONSITE BIORETENTION BASIN, PERVIOUS PAVEMENT, PROPRIETARY DEVICE OR COMBINATION THEREOF AND SPECIFIED IN A MICRO DRAINAGE REPORT PER CITY CODE.
 - BACKFILL PER GEOTECHNICAL ENGINEER RECOMMENDATIONS.
 - SETBACKS: FRONT YARD BUILDING SETBACK: NONE
SIDE YARD BUILDING SETBACK: NONE
REAR YARD BUILDING SETBACK: NONE
 - ALL SIGNAGE SHALL BE BY A SEPARATE REVIEW AND PERMIT PROCESS.
 - ALL NATURAL FEATURES AND WATER COURSES SHALL BE LEFT UNDISTURBED.
 - LIGHTING SHALL BE IN ACCORDANCE WITH THE CITY OF KANSAS CITY.
 - REFER TO PHOTO METRIC PLAN FOR LOCATION OF PARKING LOT LIGHTS.
 - AN AUTOMATIC PERMANENT IRRIGATION SYSTEM SHALL BE INSTALLED TO COVER ALL LANDSCAPED AREAS OF SIGNIFICANT SIZE.
 - THE SITE ADDRESS IS 1801 NW BARRY ROAD, KANSAS CITY, MO.

UTILITY INFORMATION:

UTILITIES SHOWN HAVE BEEN TAKEN FROM AVAILABLE SURVEYS, UTILITY COMPANY MAPS AND PHYSICAL PROPERTY INSPECTION. THE LOCATIONS AND FACILITIES SHALL BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE ADDITIONAL UTILITIES THAT HAVE NOT BEEN SHOWN ON THIS SURVEY. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE LOCATIONS OF ALL UTILITIES PRIOR TO EXCAVATION OR CONSTRUCTION.



CALL 1-800-DIG-RITE (MISSOURI ONE CALL) TO HAVE LOCATIONS MARKED IN THE FIELD (SUBSCRIBING UTILITIES REQUIRE 48 HOURS NOTICE PRIOR TO CONSTRUCTION).

LEGEND

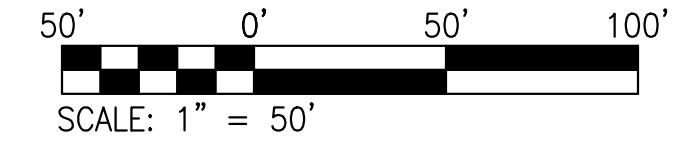
EXISTING		PROPOSED
460 459 +620.15	CONTOURS	460 459 621.25 (TOP OF CURB) (FINISH PAVEMENT)
8	SPOT GRADE	
	TREE LINE	
	TREE	
	BUSH	
	STORM MANHOLE	
	AREA INLET	
	CURB INLET	
	GRATED INLET	
	FLARED END SECTION	
12" RCP	STORM SEWER	
	GRATED MANHOLE	
	STORM DESIGNATOR	
	DOWNSPOUT	
	DRAINAGE PIPE	
	SWALE/SLOPE INDICATOR	
8" VCP	SANITARY MANHOLE	
	SANITARY SEWER	
	CLEAN OUT	
	SANITARY DESIGNATOR	
	UTILITY POLE	
	GUY WIRE	
UE	OVERHEAD UTILITY	
UE	UNDERGROUND ELECTRIC	
	ELECTRIC MARKER	
	ELECTRIC METER	
	ELECTRIC BOX	
	ELECTRIC PULL BOX	
EPB	ELECTRIC TRANSFORMER	
	ELECTRIC MANHOLE	
	UNDERGROUND TELEPHONE	
	FIBER OPTIC MARKER	
	CABLE MARKER	
	GAS LINE	
	GAS VALVE	
	GAS METER	
	GAS MARKER	
	WATER LINE	
	WATER VALVE	
	WATER METER	
	FIRE HYDRANT	
	SIGN	
	MAIL BOX	
	TEST HOLE	
	LIGHT STANDARD	
	FENCE	
	BOLLARD	
	RETAINING WALL	
	CONCRETE PAVEMENT	
	SILTATION FENCE	
	AIR CONDITIONER	
	FLAG POLE	
	MONITORING WELL	
	PARKING METER	
	PLANTER	
	SPRINKLER CONTROL BOX	
	SPRINKLER	
	SPRINKLER VALVE	
	TRAFFIC CONTROL BOX	
	TRAFFIC POLE	
	YARD LIGHT	
	GUARD RAIL	
	PROPERTY LINE	
	EASEMENT	
	SETBACK	
	INLET PROTECTION	
	WATTLE	
	CHECK DAM	
	USE IN PLACE	(UIP)
	TO BE REMOVED	(TBR)
	ADJUST TO GRADE	(ATG)
	TO BE REMOVED & RELOCATED	(TBR&R)
	TYPICAL	(TYP)
	NOT TO SCALE	N.T.S.
	HIGH POINT IN GRADE	HP
	LOW POINT IN GRADE	LP
	TOP OF WALL	TW
	BOTTOM OF WALL	BW
	NOT IN CONTRACT	(NIC)

SITE BENCHMARK INFORMATION

PROJECT: CL-05 MISSOURI DNR GRS ALUMINUM DISK SET IN A 12" DIAMETER CONCRETE BASE.
NAVD88 ELEV = 919.58

SITE BENCHMARK #1: "0" IN OPEN ATOP A FIRE HYDRANT ON THE SOUTH SIDE OF NW BARRY ROAD AS SHOWN ON THE SURVEY.
NAVD88 ELEV = 1012.48

SITE BENCHMARK #2: CUT SQUARE ON SOUTHWEST CORNER OF A CURB INLET ON THE WEST SIDE OF NORTH PLATTE PURCHASE DRIVE AS SHOWN ON THE SURVEY.
NAVD88 ELEV = 991.02



NMKS REAL ESTATE INVESTMENTS INC
2829 TOWNSGATE RD, STE 350
WESTLAKE VILLAGE, CA 91361

RISING SUN MASONIC TEMPLE
2000 NW BARRY RD
KANSAS CITY, MO 64154

BATEMAN, DONNA M
7805 NW BRIDLE PARC LANE
PARKVILLE, MO 64152

BATEMAN, ROBERT L
209 NW 73RD ST
GLADSTONE, MO 64118

M-T INVESTMENTS COMPANY
PO BOX 11332
OVERLAND PARK, KS 66207

BT APARTMENT LLC
PO BOX 11332
OVERLAND PARK, KS 66207

PLATTE PURCHASE PLAZA LLC
PO BOX 11332
OVERLAND PARK, KS 66207

PLATTE PURCHASE PLAZA LLC
PO BOX 11332
OVERLAND PARK, KS 66207

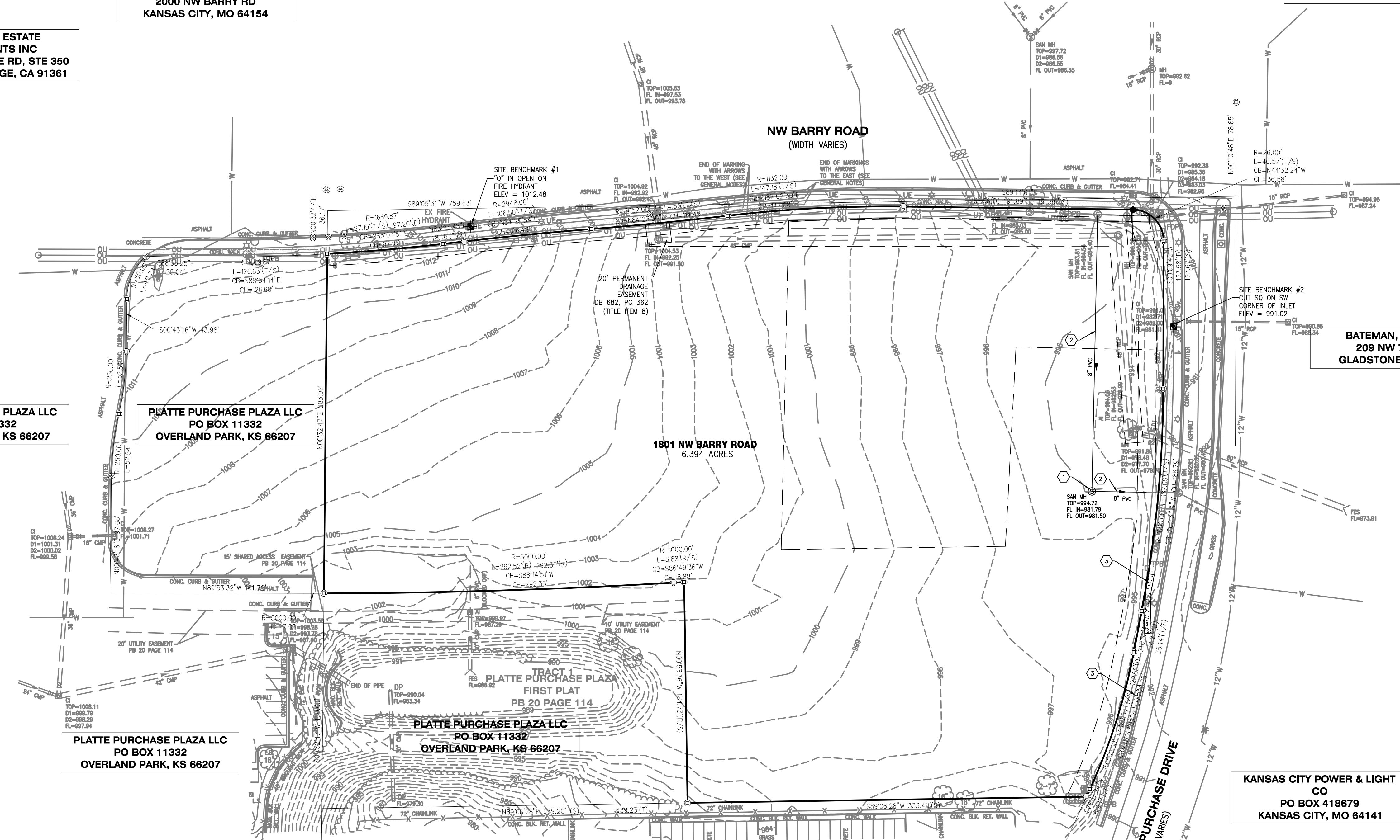
PLATTE PURCHASE PLAZA LLC
PO BOX 11332
OVERLAND PARK, KS 66207

PLATTE PURCHASE PLAZA LLC
PO BOX 11332
OVERLAND PARK, KS 66207

UNITED STATES POSTAL SERVICE
6800 W 64TH ST SUITE 100
OVERLAND PARK, KS 66202

KANSAS CITY POWER & LIGHT CO
PO BOX 418679
KANSAS CITY, MO 64141

EVERGY METRO INC
PO BOX 418679
KANSAS CITY, MO 64141



DEMOLITION KEYED NOTES

- EXISTING SANITARY MANHOLE TO BE REMOVED.
- EXISTING 8" PVC SANITARY SEWER TO BE REMOVED.
- EXISTING SIDEWALK TO BE REMOVED.

SURVEY LAND DESCRIPTION :

ZONING LAND DESCRIPTION :
A TRACT OF LAND IN THE FRACTIONAL SOUTHWEST QUARTER OF SECTION 10, BEING IN TOWNSHIP 51, RANGE 33, KANSAS CITY, PLATTE COUNTY, MISSOURI, BEING BOUNDED AND DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID FRACTIONAL SOUTHWEST QUARTER;
THENCE SOUTH 00 DEGREES 32 MINUTES 47 SECONDS WEST, ALONG THE WEST LINE OF SAID FRACTIONAL SOUTHWEST QUARTER, 36.17 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF NW BARRY ROAD, AS NOW ESTABLISHED, SAID POINT BEING THE TRUE POINT OF BEGINNING OF THE TRACT TO BE HERIN DESCRIBED;

THENCE EASTERLY, ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, ALONG A CURVE TO THE LEFT, HAVING AN INITIAL TANGENT BEARING OF NORTH 86 DEGREES 44 MINUTES 05 SECONDS EAST, A RADIUS OF 1,669.87 FEET AND A CENTRAL ANGLE OF 03 DEGREES 20 MINUTES 05 SECONDS WHICH CHORD BEARS NORTH 85 DEGREES 03 MINUTES 51 SECONDS EAST, A CHORD DISTANCE OF 97.18 FEET, THROUGH AN ARC DISTANCE OF 97.19 FEET (DEED-97.20');

THENCE NORTH 83 DEGREES 23 MINUTES 48 SECONDS EAST, ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, 18.16 FEET;
THENCE EASTERLY, ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, ALONG A CURVE TO THE RIGHT, TANGENT TO THE LAST DESCRIBED COURSE, HAVING A RADIUS OF 2,948.00 FEET AND A CENTRAL ANGLE OF 02 DEGREES 04 MINUTES 12 SECONDS, WHICH CHORD BEARS NORTH 84 DEGREES 25 MINUTES 54 SECONDS EAST, A CHORD DISTANCE OF 106.49 FEET, THROUGH AN ARC DISTANCE OF 106.50 FEET;

THENCE EASTERLY, ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, ALONG A CURVE TO THE LEFT, HAVING A COMMON TANGENT WITH THE LAST DESCRIBED COURSE, A RADIUS OF 3,052.00 FEET AND A CENTRAL ANGLE OF 02 DEGREES 08 MINUTES 58 SECONDS, WHICH CHORD BEARS NORTH 84 DEGREES 23 MINUTES 30 SECONDS EAST, A CHORD DISTANCE OF 114.49 FEET, THROUGH AN ARC DISTANCE OF 114.50 FEET;

THENCE EASTERLY, ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, ALONG A CURVE TO THE RIGHT, HAVING A COMMON TANGENT WITH THE LAST DESCRIBED COURSE, A RADIUS OF 1,132.00 FEET AND A CENTRAL ANGLE OF 07 DEGREES 28 MINUTES 58 SECONDS, WHICH CHORD BEARS NORTH 87 DEGREES 02 MINUTES 30 SECONDS EAST, A CHORD DISTANCE OF 147.08 FEET, THROUGH AN ARC DISTANCE OF 147.18 FEET;

THENCE SOUTH 89 DEGREES 14 MINUTES 01 SECONDS EAST, ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, 191.96 FEET (DEED-191.66') TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF N. PLATTE PURCHASE DRIVE, AS NOW ESTABLISHED;

THENCE SOUTHEASTERLY, ALONG SAID WESTERLY RIGHT-OF-WAY LINE, ALONG A CURVE TO THE RIGHT, TANGENT TO THE LAST DESCRIBED COURSE, HAVING A RADIUS OF 26.00 FEET AND A CENTRAL ANGLE OF 89 DEGREES 24 MINUTES 12 SECONDS, WHICH CHORD BEARS SOUTH 44 DEGREES 32 MINUTES 24 SECONDS EAST, A CHORD DISTANCE OF 36.58 FEET, THROUGH AN ARC DISTANCE OF 40.57 FEET (DEED-40.72');

THENCE SOUTH 00 DEGREES 09 MINUTES 42 SECONDS WEST, ALONG SAID WESTERLY RIGHT-OF-WAY LINE, 123.67 FEET;
THENCE SOUTHERLY, ALONG SAID WESTERLY RIGHT-OF-WAY LINE, ALONG A CURVE TO THE RIGHT, TANGENT TO THE LAST DESCRIBED COURSE, HAVING A RADIUS OF 1,000.00 FEET AND A CENTRAL ANGLE OF 10 DEGREES 43 MINUTES 04 SECONDS, WHICH CHORD BEARS SOUTH 05 DEGREES 31 MINUTES 14 SECONDS WEST, A CHORD DISTANCE OF 186.79 FEET, THROUGH AN ARC DISTANCE OF 187.06 FEET;

THENCE SOUTH 10 DEGREES 52 MINUTES 46 SECONDS WEST, ALONG SAID WESTERLY RIGHT-OF-WAY LINE, 35.14 FEET (DEED-34.23)';
THENCE SOUTHERLY, ALONG SAID WESTERLY RIGHT-OF-WAY LINE, ALONG A CURVE TO THE RIGHT, TANGENT TO THE LAST DESCRIBED COURSE, HAVING A RADIUS OF 500.00 FEET AND A CENTRAL ANGLE OF 13 DEGREES 48 MINUTES 46 SECONDS, WHICH CHORD BEARS SOUTH 17 DEGREES 47 MINUTES 09 SECONDS WEST, A CHORD DISTANCE OF 120.25 FEET, THROUGH AN ARC DISTANCE OF 120.54 FEET (DEED-120.55)';

THENCE SOUTH 24 DEGREES 41 MINUTES 24 SECONDS WEST, ALONG SAID WESTERLY RIGHT-OF-WAY LINE, 6.33 FEET TO THE NORTHEAST CORNER OF LOT 1, BARRY WOODS STATION, A SUBDIVISION IN KANSAS CITY, PLATTE COUNTY, MISSOURI;

THENCE SOUTH 89 DEGREES 06 MINUTES 34 SECONDS WEST, ALONG THE NORTH LINE OF SAID LOT 1, 333.48 FEET TO THE SOUTHEAST CORNER OF TRACT 1 OF PLATTE PURCHASE PLAZA FIRST PLAT AS SHOWN IN PLAT BOOK 20 PAGE 14.

THENCE ALONG THE EASTERN AND NORTH LINES OF SAID TRACT 1 THE FOLLOWING COURSES AND DISTANCES: NORTH 00 DEGREES 53 MINUTES 36 SECONDS WEST, A DISTANCE OF 184.72 FEET; ALONG A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 1,000.00 FEET, WITH A CENTRAL ANGLE 00 DEGREES 30 MINUTES 32 SECONDS, WHICH CHORD BEARS SOUTH 86 DEGREES 49 MINUTES 36 SECONDS WEST, A CHORD DISTANCE OF 6.88 FEET, THROUGH AN ARC DISTANCE OF 6.88 FEET; AND ALONG A REVERSE CURVE TO THE RIGHT HAVING A RADIUS OF 5,000.00 FEET, WITH A CENTRAL ANGLE OF 03 DEGREES 21 MINUTES 02 SECONDS, WHICH CHORD BEARS SOUTH 88 DEGREES 14 MINUTES 51 SECONDS WEST, A CHORD DISTANCE OF 292.35 FEET, THROUGH AN ARC DISTANCE OF 292.39 FEET TO THE EASTERN LINE OF SECTION 9;

THENCE ALONG SAID EASTERN LINE, NORTH 00 DEGREES 32 MINUTES 47 SECONDS EAST, A DISTANCE OF 283.92 FEET TO THE POINT BEGINNING
THE ABOVE DESCRIBED TRACT OF LAND CONTAINING 6.394 ACRES IS BASED UPON AN ACTUAL BOUNDARY SURVEY EXECUTED BY COLE AND ASSOCIATES, INC. DURING THE MONTH OF JUNE, 2022, AND IS SUBJECT TO ALL EASEMENTS, RESTRICTIONS, RESERVATIONS AND CONDITIONS OF RECORD, IF ANY.

DEVELOPER/OWNER:
AVENUE DEVELOPMENT, LLC
8485 KEYSTONE CROSSING BLVD, STE. 140
INDIANAPOLIS, IN 46240
PHONE: 414-688-8565

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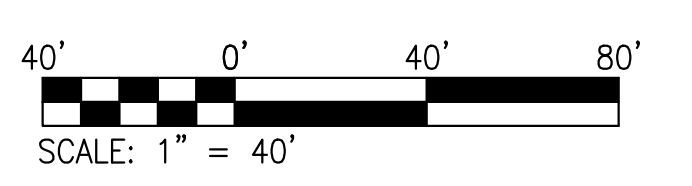
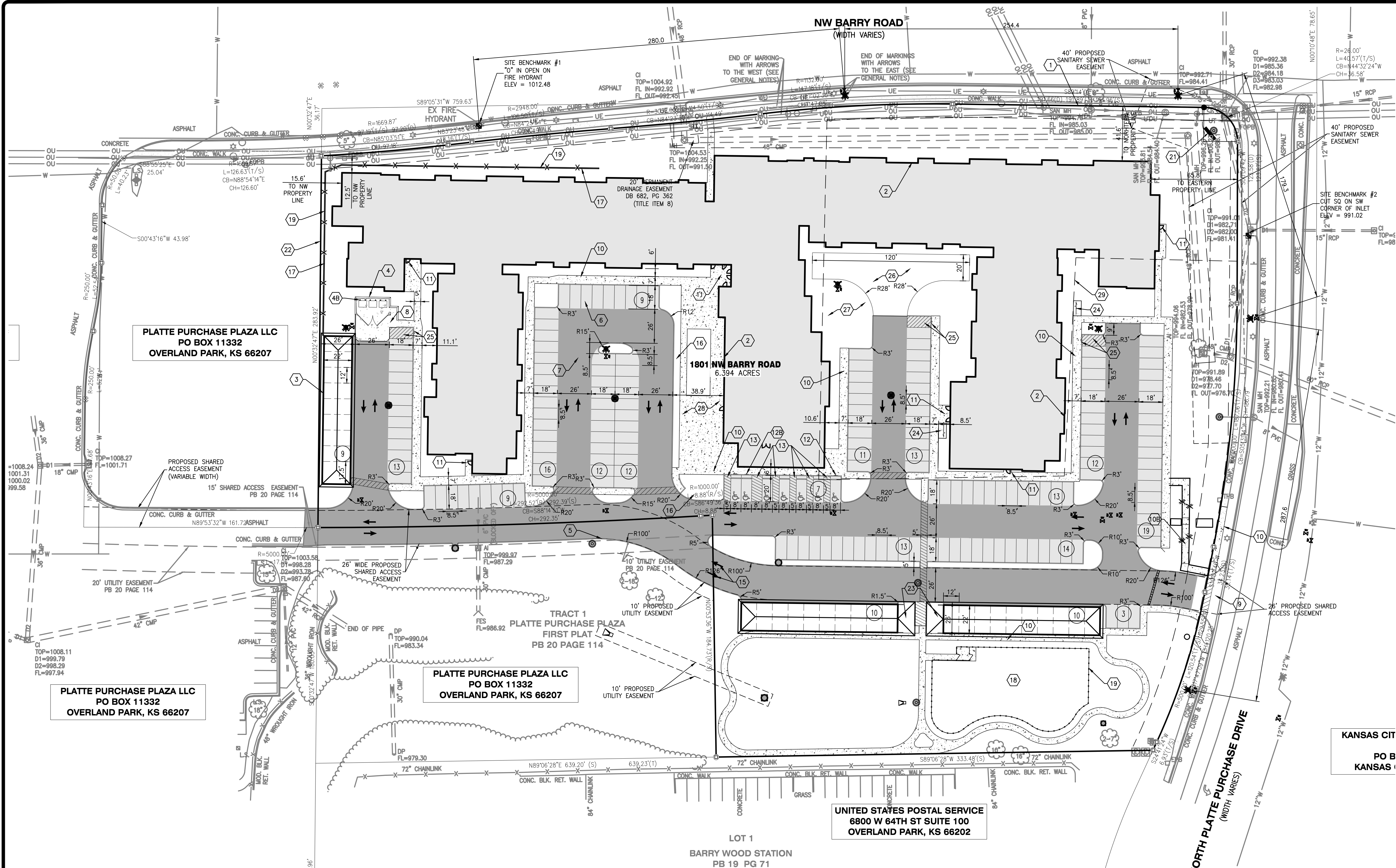
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CHECKED BY: KAK
DRAWING SCALE: AS SHOWN
DATE: 8/26/2022

Job Number
22-0119
Sheet Number
P2.0

USER: Kurt Kuller TAB: P2.0 EXISTING CONDITIONS
DATE: October 1, 2022 - 4:28:34 PM
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SUMMARY TABLE		
ZONING		
A	EXISTING PROPOSED	B3-2 B3-2
TOTAL LAND AREA		
B	EXISTING	6.394 ACRES
NET LAND AREA		
C	EXISTING PROPOSED	6.394 ACRES 6.394 ACRES
PROPOSED USES		
D	AGE RESTRICTED HOUSING	
STRUCTURE HEIGHT & # OF FLOORS		
E	NUMBER OF FLOORS	3
	STRUCTURE HEIGHT	0'-0"
GROSS FLOOR AREA & # OF FLOORS		
F	TOTAL BUILDING COUNT (INCLUDES GARAGES)	4
	MEDICAL OFFICE (SF)	1,149
	AGE RESTRICTED HOUSING (SF)	
	GARAGE FLOOR (SF)	7,716
	TOTAL GROSS FLOOR AREA (SF)	78,853
	TOTAL DWELLING UNIT COUNT	162
BUILDING COVERAGE & FAR		
G	COVERAGE	28.3%
	FAR	0.72
DENSITY		
H	GROSS DENSITY (LOTS/LAND AREA)	25.34
	NET DENSITY (LOTS/NET LAND AREA)	25.34
PARKING		
I	VEHICLE STALLS REQUIRED	59
	VEHICLE STALLS PROVIDED	205
	SHORT-TERM BIKE STALLS REQUIRED	21
	SHORT-TERM BIKE STALLS PROVIDED	22
	LONG-TERM BIKE STALLS REQUIRED	56
	LONG-TERM BIKE STALLS PROVIDED	*30
TIMELINE		
J	ESTIMATED START DATE	04/01/23
	ESTIMATED COMPLETION DATE	10/01/24
BUILDING SETBACK REQUIREMENTS		
K	REAR SETBACK (FT)	NA
	FRONT SETBACK (FT)	NA
	SIDE SETBACK (FT)	NA
	SIDE SETBACK (ABUTTING STREET) (FT)	NA
	MAXIMUM HEIGHT (FT)	45'
PARKLAND DEDICATION		
L	CALCULATED BASE ON 2 PEOPLE PER DWELLING UNIT	
	# OF DWELLING UNITS	162
	TOTAL PEOPLE	324
	ACRES PER PERSON	0.006
	ACRES REQUIRED	1.94
	ACRES PROVIDED	0.0
	DIFFERENCE	1.94
	PARKLAND FEES	\$124,587.15

CODE COMPLIANCE NOTES:

- TRASH RECEPTACLE WILL CONFORM TO KCMO DEVELOPMENT CODE 88-425-08.
- ANY ROOF MOUNTED MECHANICAL EQUIPMENT WILL COMPLY WITH THE KCMO DEVELOPMENT CODE 88-425-08-B.
- ANY SIGNAGE WILL COMPLY WITH THE KCMO DEVELOPMENT CODE 88-445.

NOTE:

REQUEST FOR REDUCTION IN COUNT FOR LONG TERM BIKE REQUIREMENTS FROM 56 TO 30.

30 LONG TERM BIKE STORAGE RACKS NEAR GARAGES AND DOG PARK AREA ARE PROPOSED.

IN ADDITION TO THE 30 LONG TERM STORAGE AREA THE FOLLOWING ARE ADDITIONAL STORAGE OPTIONS:

- GARAGE STORAGE - 29 PRIVATE GARAGE SPACES
- PERSONAL STORAGE AVAILABLE ON 2ND OR 3RD FLOOR.
- INSIDE UNIT ON GROUND FLOOR - 52 UNITS TOTAL

SITE KEYED NOTES

- ALL IMPROVEMENTS ARE PARALLEL AND PERPENDICULAR TO THE NORTHERN PROPERTY LINE (S89°14'01"E) UNLESS DIMENSIONED OTHERWISE.
- NEW BUILDING. REFER TO ARCHITECTURAL PLANS.
- NEW GARAGE. REFER TO ARCHITECTURAL PLANS.
- NEW DUMPSTER ENCLOSURE. REFER TO ARCHITECTURAL PLANS.
- NEW BOLLARDS.
- NEW CURBS
- NEW 6" VERTICAL CONCRETE CURB. REFER TO DETAIL ON SHEET P5.0.
- NEW PAVEMENTS
- NEW ASPHALT PAVEMENT (LIGHT DUTY). REFER TO DETAIL ON SHEET P5.0.
- NEW ASPHALT PAVEMENT (HEAVY DUTY). REFER TO DETAIL ON SHEET P5.0.
- NEW CONCRETE PAVEMENT (HEAVY DUTY). REFER TO DETAIL ON SHEET P5.0.
- NEW CONCRETE APPROACH. PER CITY OF KANSAS CITY STANDARDS.
- NEW SIDEWALKS
- NEW CONCRETE SIDEWALK. REFER TO DETAIL ON SHEET P5.0.
- NEW ACCESSIBLE RAMP AND HANDRAILS. REFER TO ARCHITECTURAL.
- PROPOSED BUILDING POINT OF ENTRY.

- NEW SIGNS**
- NEW ACCESSIBLE PARKING SIGN (TYPICAL OF 7). REFER TO DETAIL ON SHEET P5.0.
 - NEW VAN ACCESSIBLE PARKING SIGN. REFER TO DETAIL ON SHEET P5.0.
- NEW PAVEMENT MARKINGS**
- NEW ACCESSIBLE PARKING STRIPING (BLUE). REFER TO DETAIL ON SHEET P5.0.
 - NEW PARKING LOT STRIPING (WHITE).
 - NEW TRAFFIC FLOW ARROWS.
- NEW MISCELLANEOUS ITEMS**
- NEW LANDSCAPE AREA. REFER TO LANDSCAPING PLAN.
 - NEW RETAINING WALL. REFER TO DETAIL ON SHEET P5.0.
 - NEW DOG PARK.
 - NEW BLACK METAL FENCE. REFER TO DETAIL ON P6.0.
 - NEW LIGHT. REFER TO PHOTOMETRIC PLANS.
 - NEW MONUMENT SIGN BY SEPARATE PERMIT.
 - EXISTING PROPERTY LINE.
 - NEW COVERED BIKE RACK (30 SPACES). REFER TO ARCHITECTURAL PLANS.
 - NEW BIKE RACK. REFER TO DETAIL ON P6.0.
 - NEW STRIPED TURN AROUND WITH "NO PARKING" SIGN.
 - BOCHE BALL COURT AND PERMEABLE GRASS PAVERS. (PAVERS SHALL SUPPORT KANSAS CITY FIRE APARATUS WITH GROSS AXLE WEIGHT OF 85,000 LBS) (REFER TO LANDSCAPING).
 - PICKLEBALL COURT (REFER TO LANDSCAPING).
 - NEW POOL (REFER TO LANDSCAPING).
 - EXISTING UTILITY EASEMENT (TO BE VACATED)

VEHICLE PARKING CALCULATIONS

MINIMUM PARKING REQUIREMENTS	CALCULATION	SPACES PROVIDED (STANDARD)	SPACES PROVIDED (ACCESSIBLE)	SPACES PROVIDED (TOTAL)
ELDERLY HOUSING	1 SPACE PER 1 DWELLING UNITS	162 SPACES	3 SPACES (1 VAN ACCESSIBLE)	165 SPACES
MEDICAL OFFICES	4 SPACES PER 1,000 SQUARE FEET OF GROSS FLOOR AREA	1,149 S.F./1,000 S.F. * 4 SPACES = 5 SPACES	3 SPACES (1 VAN ACCESSIBLE)	167 SPACES
ELDERLY HOUSING	1 SPACE PER 3 DWELLING UNITS	56 SPACES	3 SPACES (1 VAN ACCESSIBLE)	59 SPACES
MEDICAL OFFICES	1 + 1 SPACE PER 10,000 SQUARE FEET OF GROSS FLOOR AREA	29 SPACES	7 SPACES (1 VAN ACCESSIBLE)	205 SPACES

BIKE PARKING CALCULATIONS

MINIMUM SHORT TERM PARKING REQUIREMENTS	CALCULATION	SPACES PROVIDED (STANDARD)	SPACES PROVIDED (ACCESSIBLE)	SPACES PROVIDED (TOTAL)
BUILDINGS CONTAINING 12 DWELLING UNITS OR MORE MUST PROVIDE AT LEAST 3 SPACES OR AT LEAST 10% OF ACTUAL OFF-STREET VEHICLE PARKING PROVIDED, WHICHEVER IS GREATER	205 VEHICLE SPACES * 10% = 21 SPACES	21 SPACES	22	43
ELDERLY HOUSING	1 SPACE PER 3 DWELLING UNITS	56 SPACES	3 SPACES (1 VAN ACCESSIBLE)	59 SPACES
MEDICAL OFFICES	1 + 1 SPACE PER 10,000 SQUARE FEET OF GROSS FLOOR AREA	29 SPACES	7 SPACES (1 VAN ACCESSIBLE)	205 SPACES

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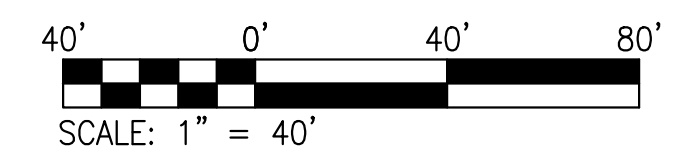
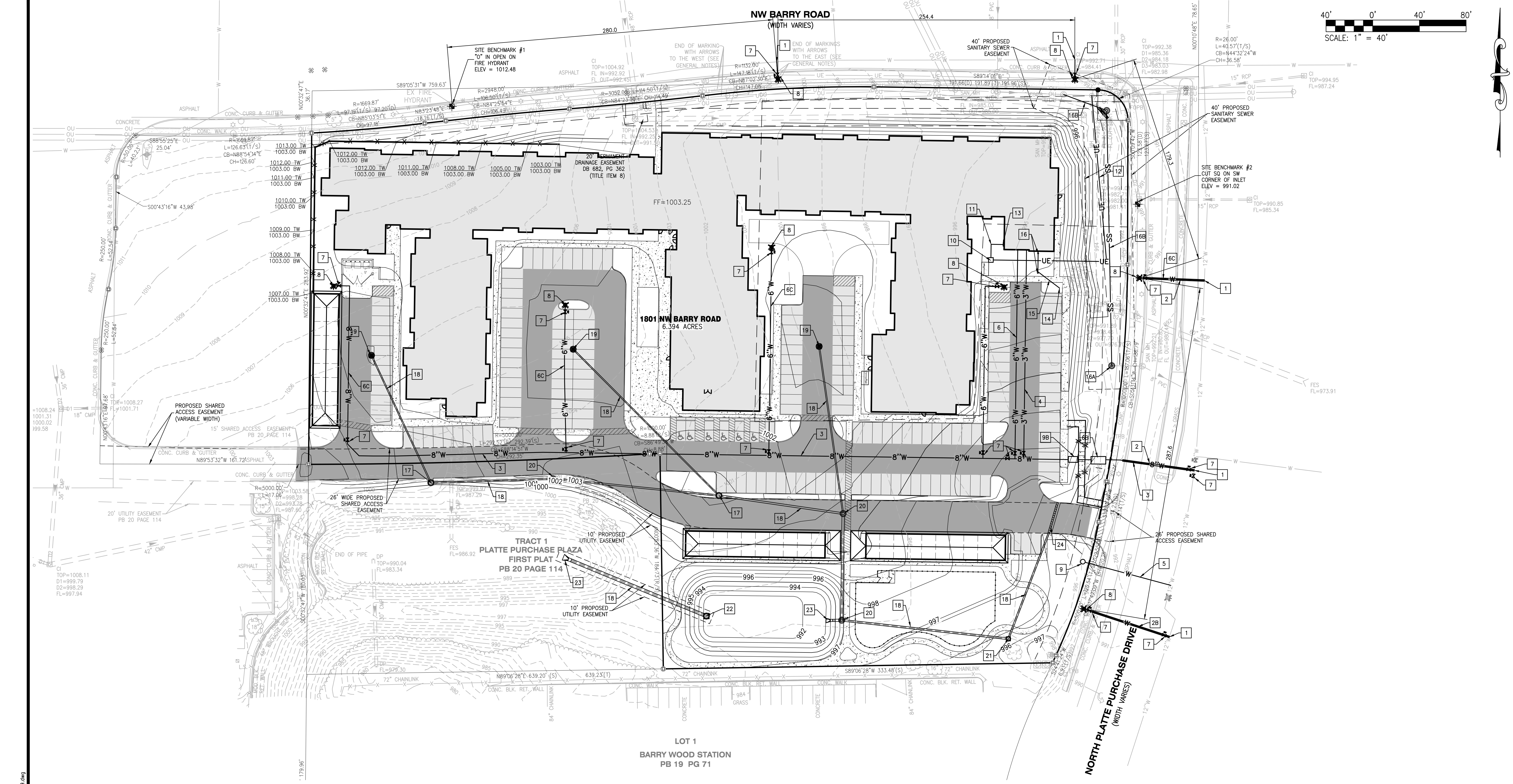
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DESIGN/CALC BY: LFD
 DRAWN BY: MAB
 CHECKED BY: KAK
 DRAWING SCALE: AS SHOWN
 DATE: 8/26/2022
 Job Number: 22-0119
 Sheet Number: P3.0

USER: Kurt Kuller TAB: P3.0 PRELIMINARY SITE PLAN
 DATE: October 1, 2022 - 4:28:45 PM
 DRAWING: S:\085\Job\2022\22-0119\CADD\C-Plan\PoolSheets\Site Plan_Submittal\01_P3.0_Prelim_Site_Plan_22-0119.dwg



NOTE:
 DETENTION APPEARS TO BE PROVIDED PER THE PLATTE PURCHASE PLAZA MACRO DRAINAGE STUDY IN THE EXISTING BASIN TO THE SOUTH WEST OF THE SITE. THE EXISTING BASIN WILL BE ANALYZED FOR REMAINING CAPACITY AND IF REQUIRED, MODIFICATIONS WILL BE PERFORMED ACCORDINGLY. STORM WATER QUALITY WILL BE PROVIDED VIA AN ONSITE BIORETENTION BASIN, PERVIOUS PAVEMENT, PROPRIETARY DEVICE OR COMBINATION THEREOF AND SPECIFIED IN A MICRO DRAINAGE REPORT PER CITY CODE.

UTILITY KEYED NOTES

- WATER SERVICE**
- NEW WATER SERVICE POINT OF CONNECTION TO EXISTING WATER MAIN.
 - NEW 8" WATER BORE AND PIPE ENCASUREMENT PER CITY OF KANSAS CITY STANDARDS.
 - NEW 6" WATER BORE AND PIPE ENCASUREMENT PER CITY OF KANSAS CITY STANDARDS.
 - NEW PRIVATE 8" WATER MAIN.
 - NEW PRIVATE 3" DOMESTIC WATER SERVICE.
 - NEW 1" WATER BORE PER CITY OF KANSAS CITY STDS.
 - NEW PRIVATE 6" FIRE SERVICE.
 - NEW 8" WATER METER AND BACKFLOW IN HEATED ENCLOSURE PIT PER CITY OF KANSAS CITY STANDARDS.
 - NEW PRIVATE 6" WATER MAIN.
 - NEW GATE VALVE.
 - NEW PUBLIC FIRE HYDRANT PER CITY OF KANSAS CITY STANDARDS.
 - NEW PRIVATE FIRE HYDRANT PER CITY OF KANSAS CITY STANDARDS.
 - NEW 1" TAP AND IRRIGATION METER PER CITY OF KANSAS CITY STANDARDS.
 - NEW DOUBLE CHECK VALVE AND BACKFLOW PREVENTER ENCLOSURE.
- ELECTRIC SERVICE**
- NEW TRANSFORMER AND PAD.
 - NEW SECONDARY ELECTRIC SERVICE.
 - NEW PRIMARY ELECTRIC SERVICE.
 - NEW ELECTRIC METERS.
- SANITARY SEWER SERVICE**
- NEW WYE CONNECTION TO EXISTING SANITARY MAIN.
 - NEW 6" SDR35 SANITARY SEWER LATERAL AT 2.0% MIN SLOPE.
 - NEW SANITARY CLEANOUT, TYP.
 - NEW SANITARY MANHOLE.
 - NEW 8" SDR 26 SANITARY SEWER.
- STORM SEWER SERVICE**
- NEW STORM SEWER CURB INLET.
 - NEW STORM SEWER.
 - NEW STORM SEWER GRATED INLET.
 - NEW STORM SEWER MANHOLE.
 - NEW NYLOPLAST YARD DRAIN.
 - NEW OUTFALL STRUCTURE.
 - NEW FLARED END SECTION.
 - NEW TRENCH DRAIN.
- NOTE:**
- ALL PROPOSED WATER AND FIRE SERVICE LINES SHOULD MEET CURRENT WATER SERVICES DEPARTMENT RULES AND REGULATIONS.
 - ALL PROPOSED WATER LINES SHALL HAVE A COVER OF NOT LESS THAN 4 FEET NOR MORE THAN 5 FEET.

USER: Kurt Kutter TAB: P4.0 PRELIMINARY GRADING AND UTILITY
 DATE: October 1, 2022 - 4:28:53 PM
 DRAWING: S:\JOBS\Job2022\22-0119\CADD\Civil\Plan\Sheet3.dwg PlotSheet3.dwg Plan Submittal\OU_Plan_Site_Plan_22-0119.dwg

NO	REVISION DESCRIPTION	DATE
1	PER CITY COMMENTS	09/30/2022

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 8435 KEYSTONE CROSSING BLVD, STE. 140
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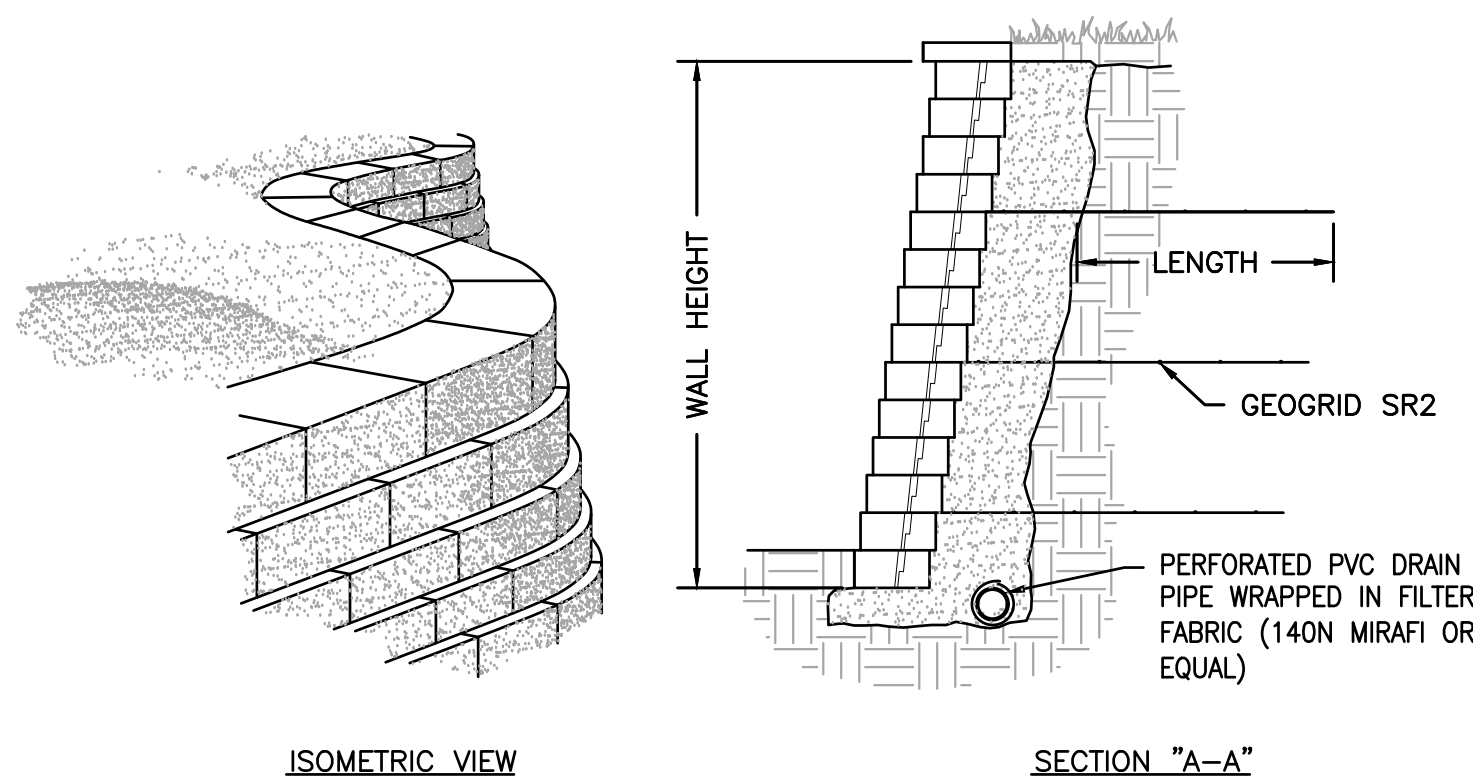
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PRELIM GRADING & UTILITY PLAN

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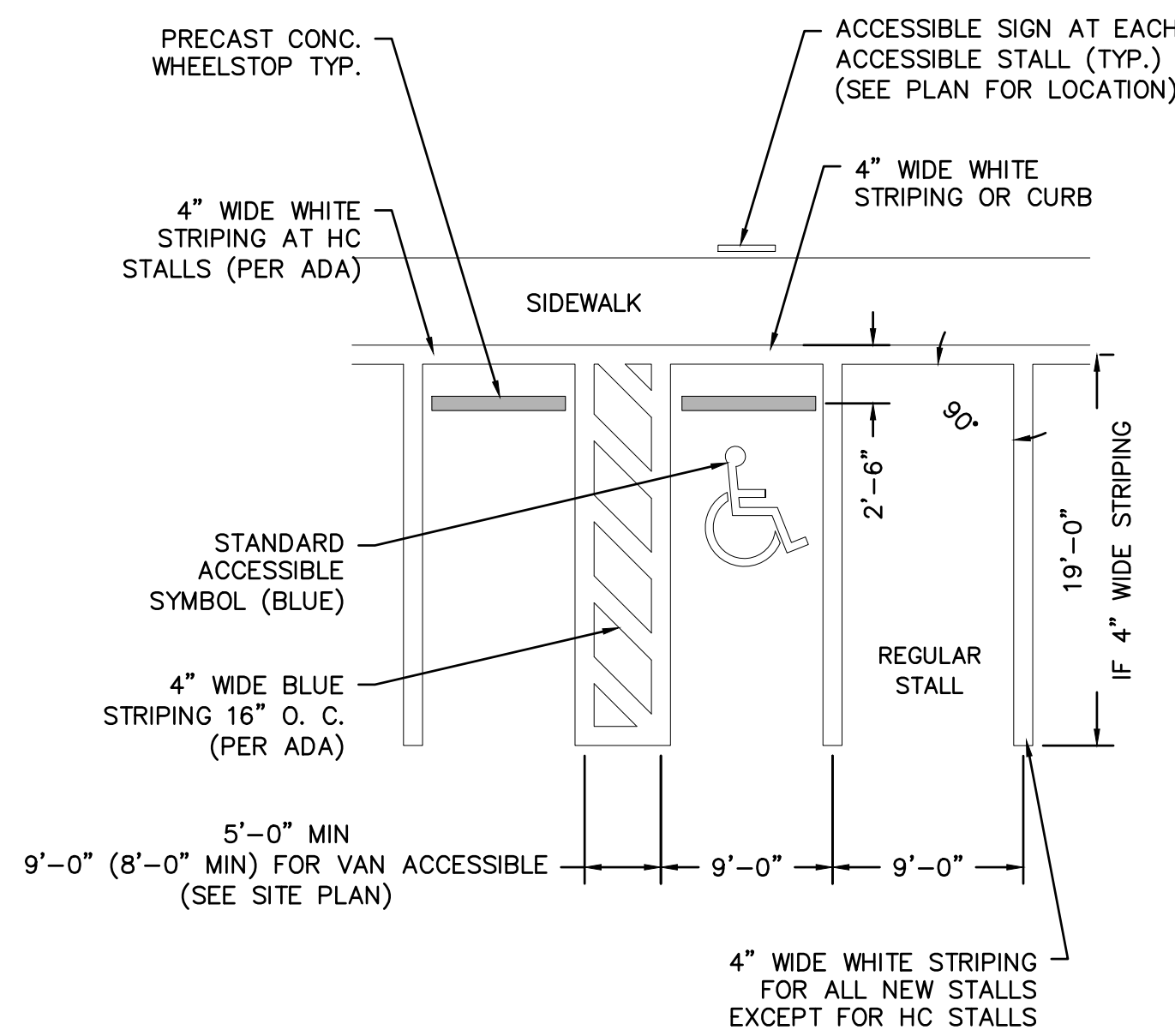
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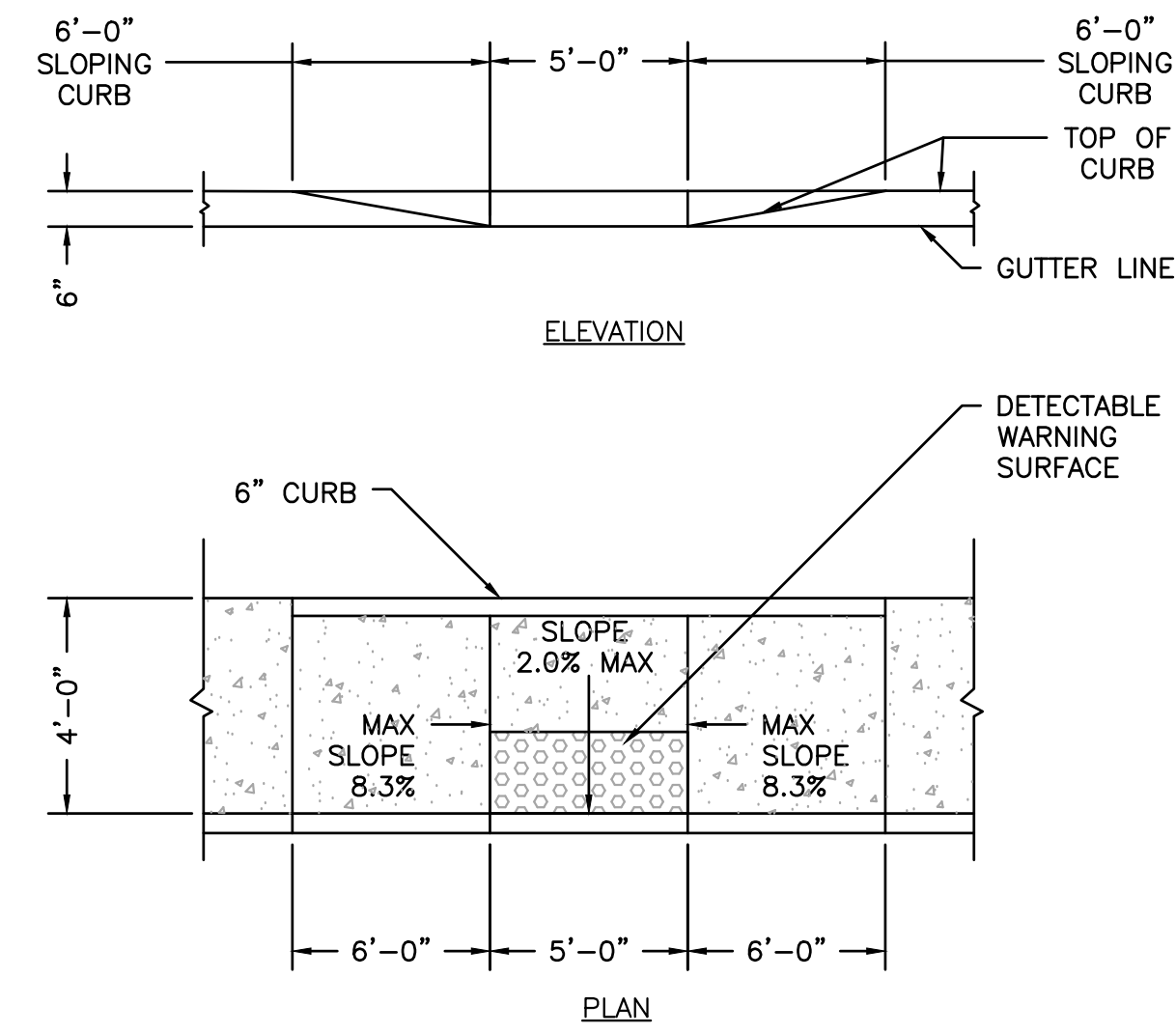


- NOTES:**
- 1.) ALL CONSTRUCTION SHALL BE PER THE MANUFACTURERS RECOMMENDATION.
 - 2.) SHOP DRAWINGS BEARING THE SEAL OF A REGISTERED ENGINEER TO BE SUPPLIED TO THIS ENGINEER FOR APPROVAL.
 - 3.) ACCEPTED ALTERNATE WALL SYSTEM: KEYSTONE OR HERCULES
 - 4.) TW= TOP OF RETAINING WALL, BW= GRADE AT BASE OF WALL.
 - 5.) FENCING SHALL BE PROVIDED ON ALL RETAINING WALLS TALLER THAN 4 FEET.

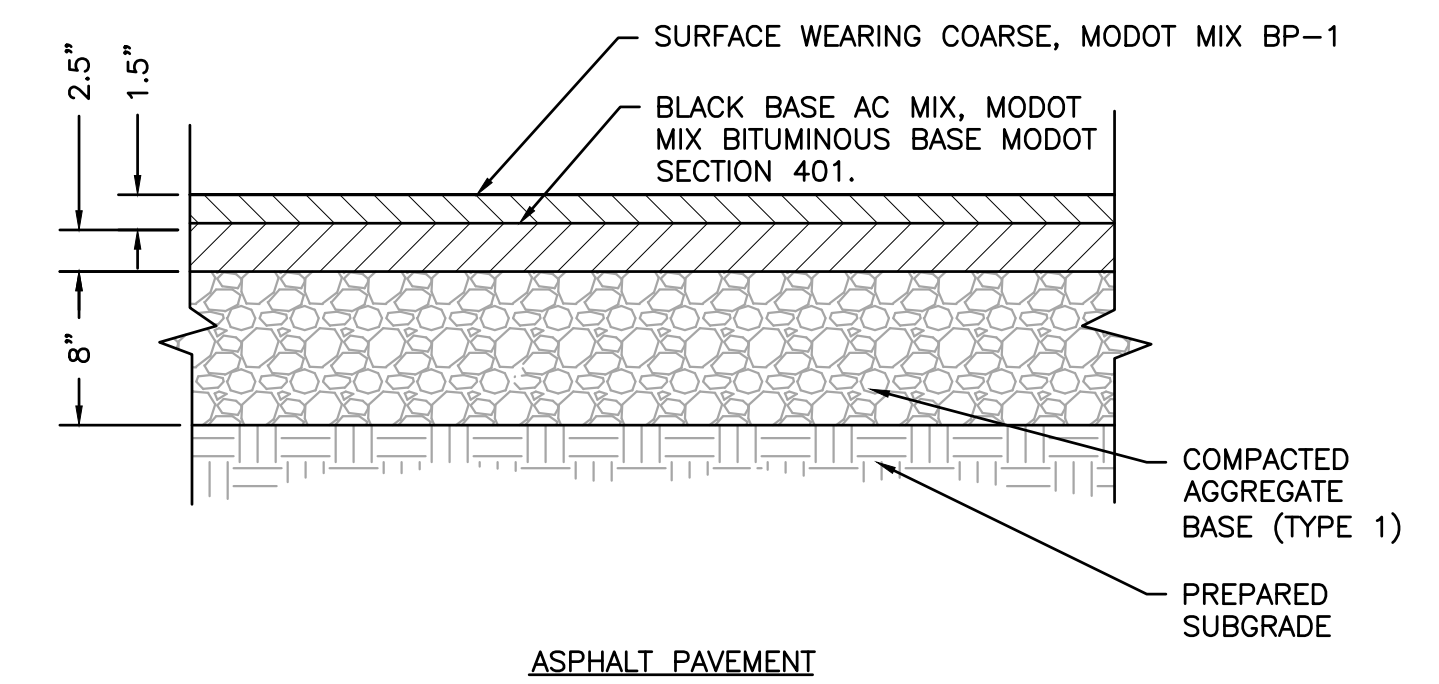
12 RETAINING WALL DETAIL
SCALE: N.T.S. REF. DWG. P3.0



9 90 DEGREE ACCESSIBLE PARKING DETAIL
SCALE: N.T.S. REF. DWG. P3.0

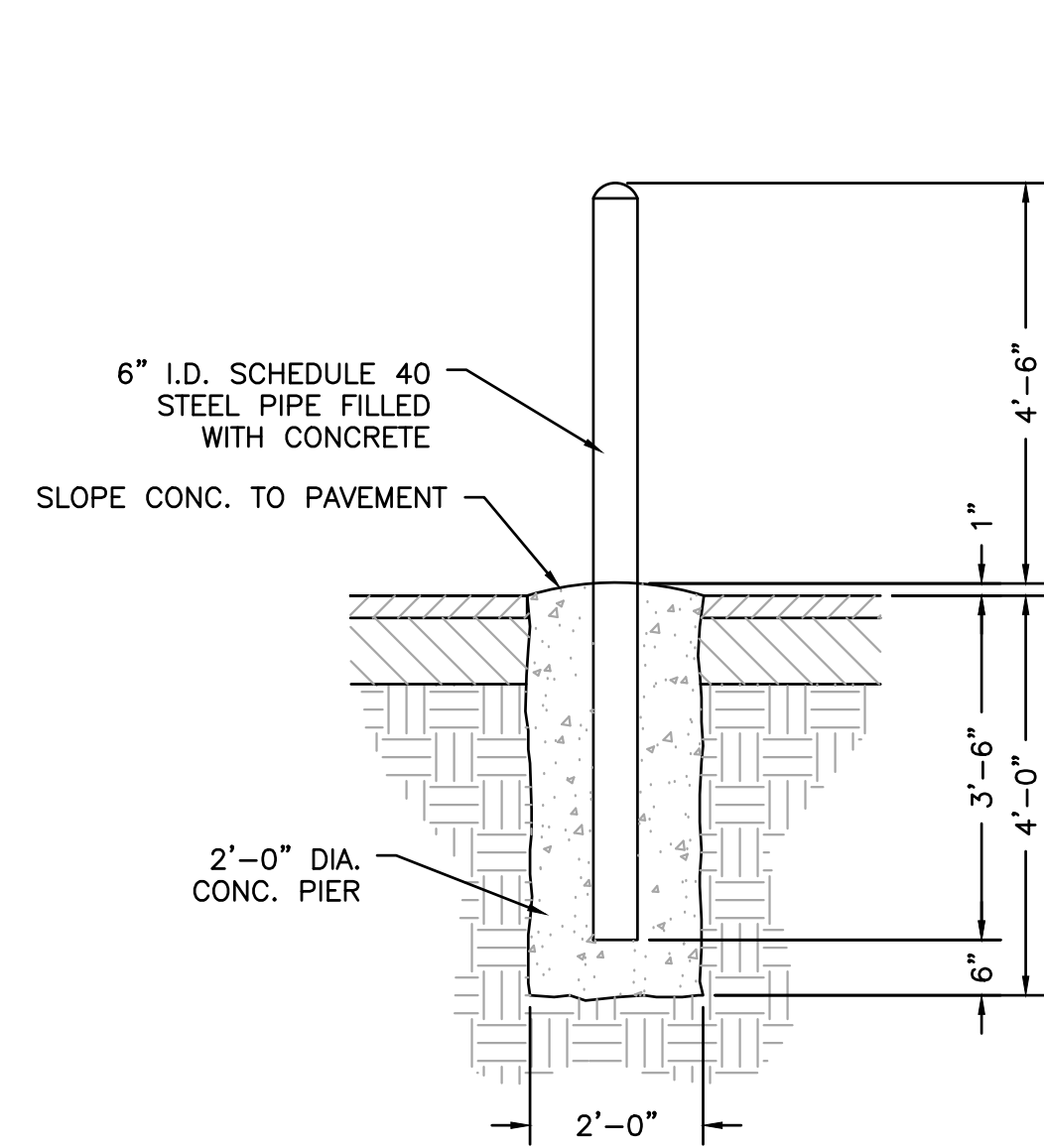


6 PARALLEL ACCESSIBLE RAMP DETAIL
SCALE: N.T.S. REF. DWG. P3.0

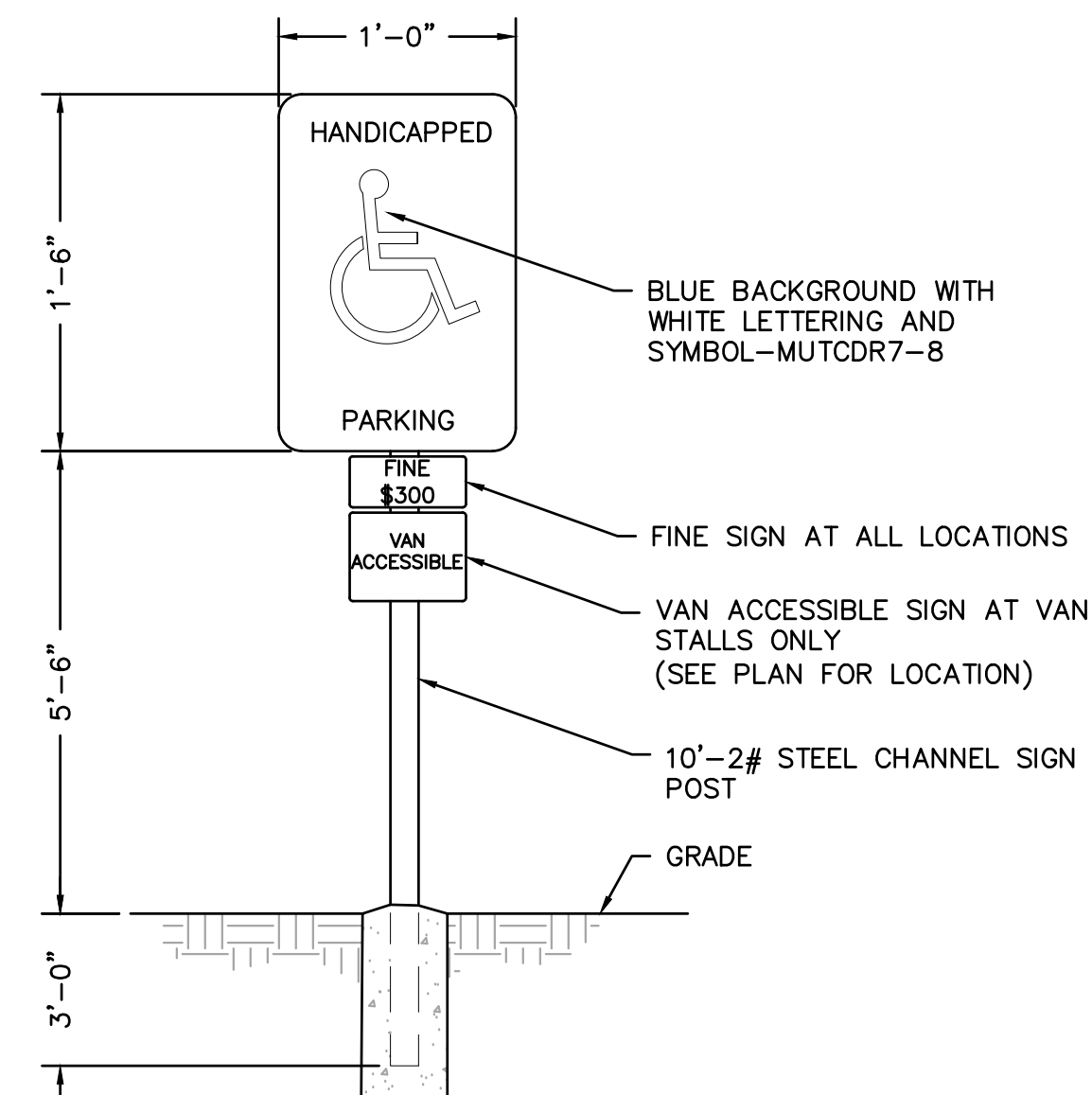


NOTE:
PAVEMENT DETAILS SHOWN FOR REFERENCE ONLY. CONTRACTOR TO VERIFY FINAL PAVEMENT REQUIREMENTS WITH GEOTECH REPORT AND/OR OWNER.

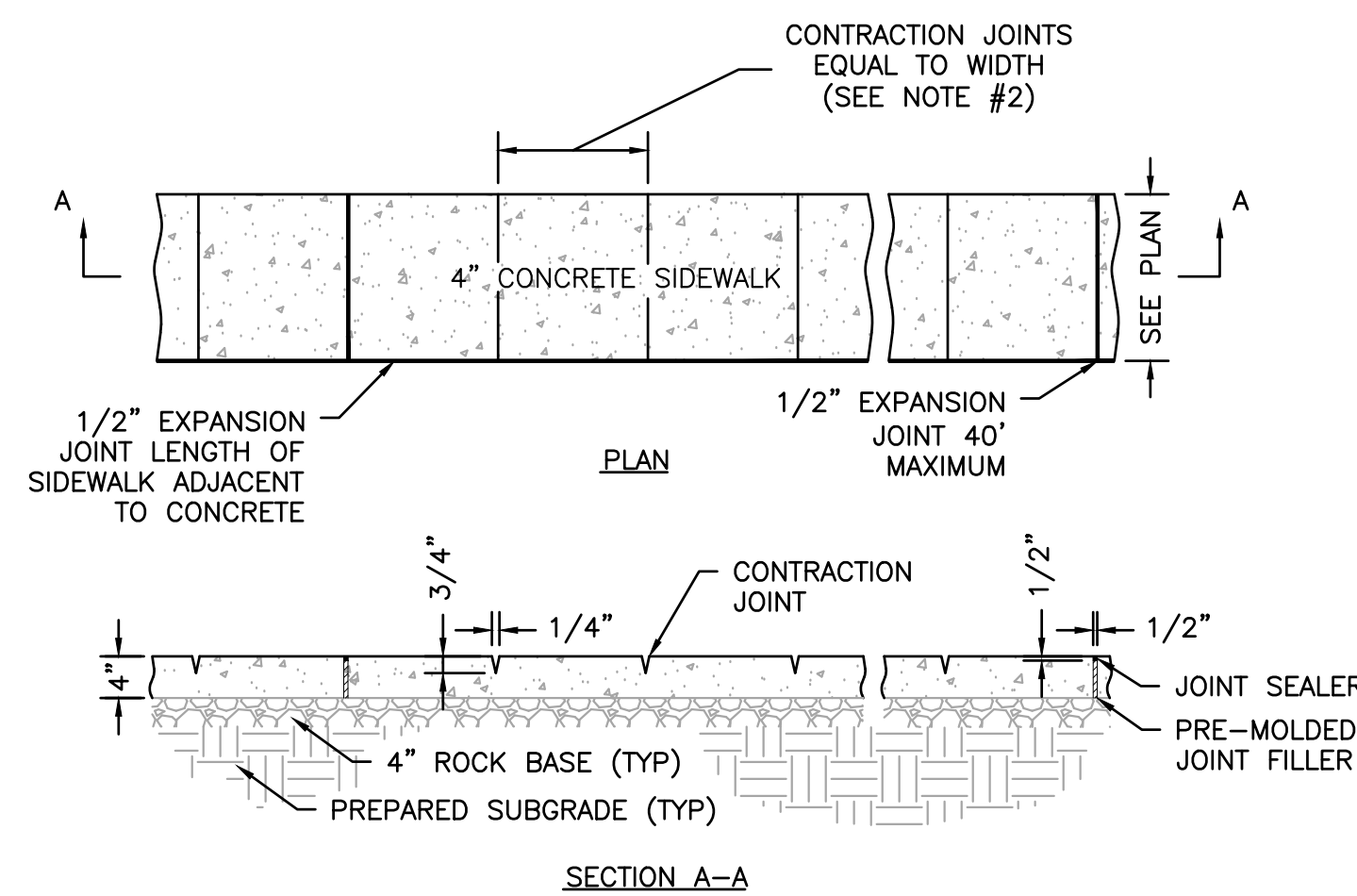
3 ASPHALT PAVEMENT DETAIL (HEAVY DUTY)
SCALE: N.T.S. REF. DWG. P3.0



11 BOLLARD DETAIL
SCALE: N.T.S. REF. DWG. P3.0

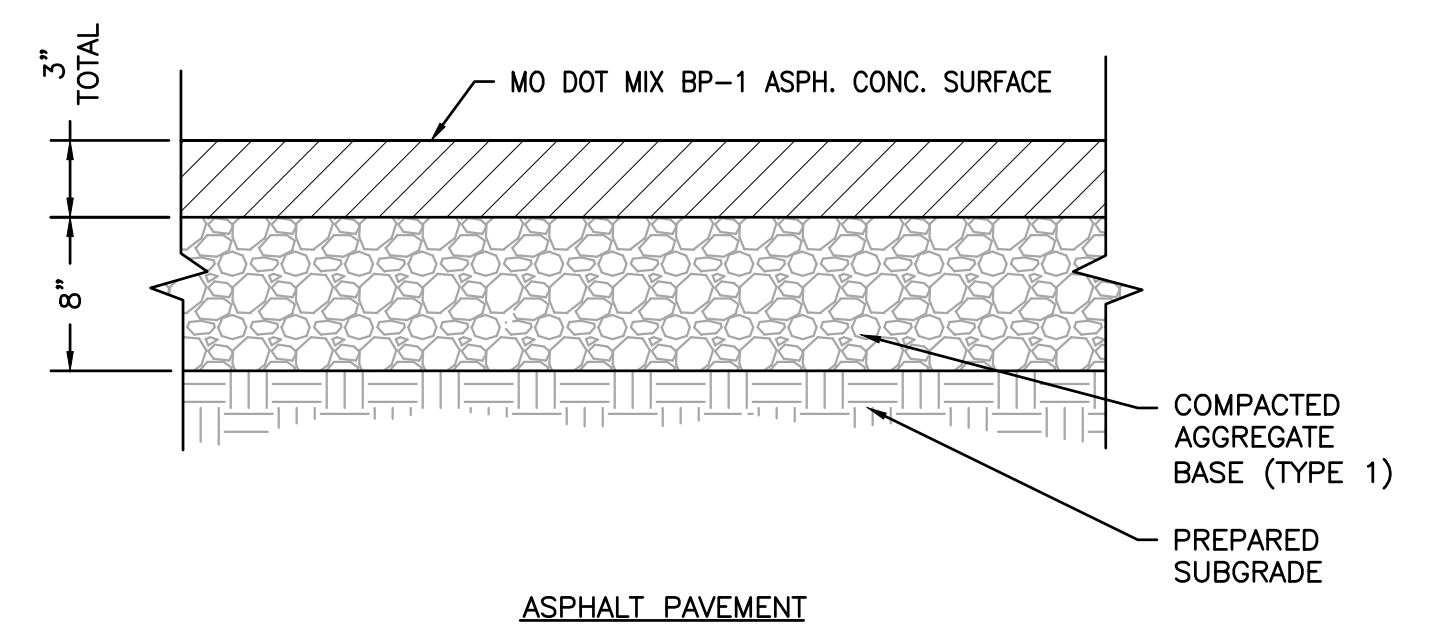


8 ACCESSIBLE PARKING SIGN DETAIL
SCALE: N.T.S. REF. DWG. P3.0



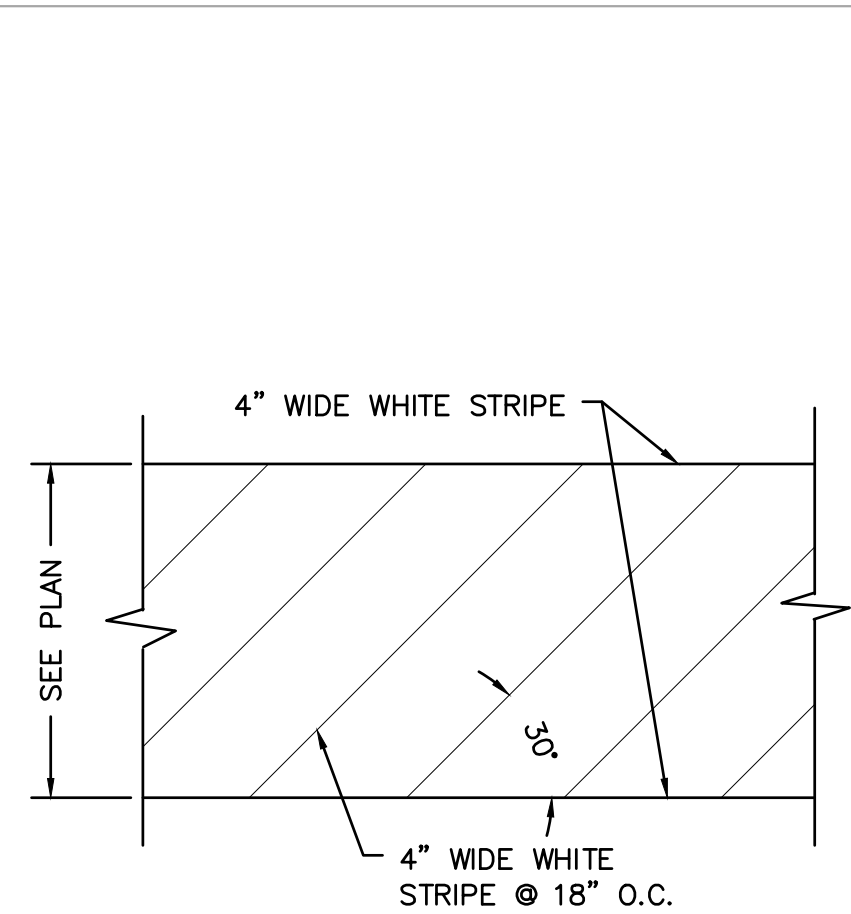
- NOTES:**
1. CONTRACTOR TO COORDINATE WITH ARCHITECTURAL SITE PLANS FOR DETAILS OF ALL INTERIOR WALKS AND HARDSCAPE AREAS.
 2. DETAIL IS INTENDED FOR SIDEWALK WIDTHS OF 4 TO 6 FEET. CONTRACTOR SHALL COORDINATE WITH ARCHITECT OR ENGINEER FOR ANY SIDEWALK WIDTHS THAT EXCEED 6 FEET.

5 CONCRETE SIDEWALK DETAIL
SCALE: N.T.S. REF. DWG. P3.0

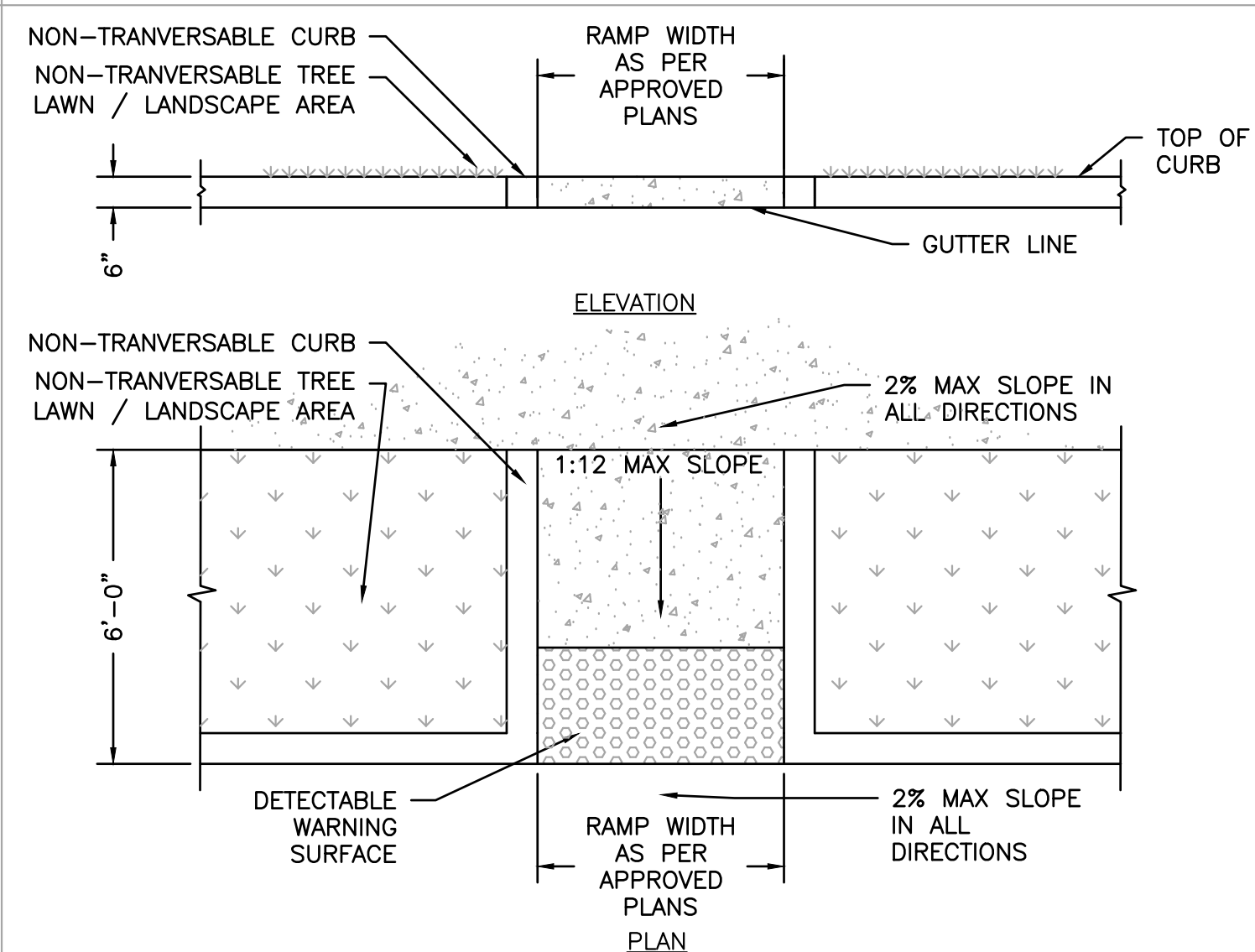


NOTE:
PAVEMENT DETAILS SHOWN FOR REFERENCE ONLY. CONTRACTOR TO VERIFY FINAL PAVEMENT REQUIREMENTS WITH GEOTECH REPORT AND/OR OWNER.

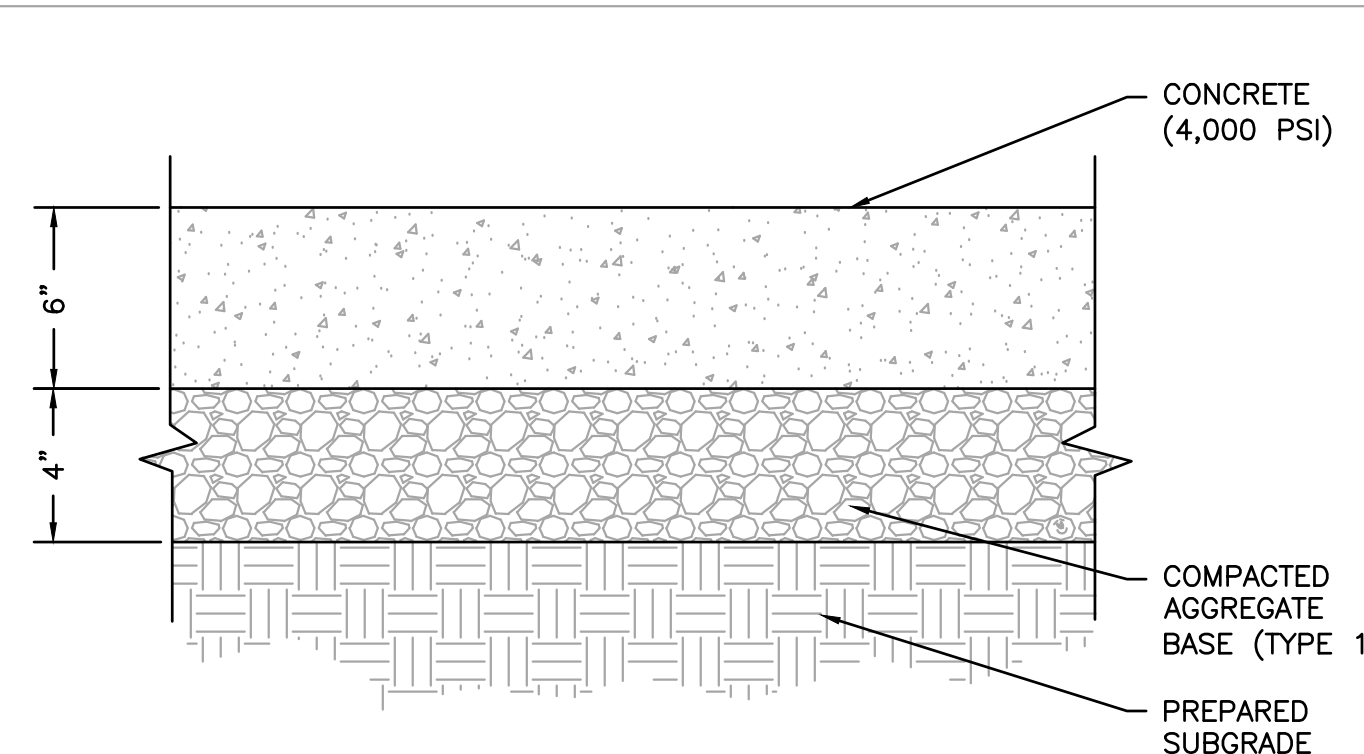
2 ASPHALT PAVEMENT (LIGHT DUTY)
SCALE: N.T.S. REF. DWG. P3.0



10 CROSS WALK DETAIL
SCALE: N.T.S. REF. DWG. P3.0

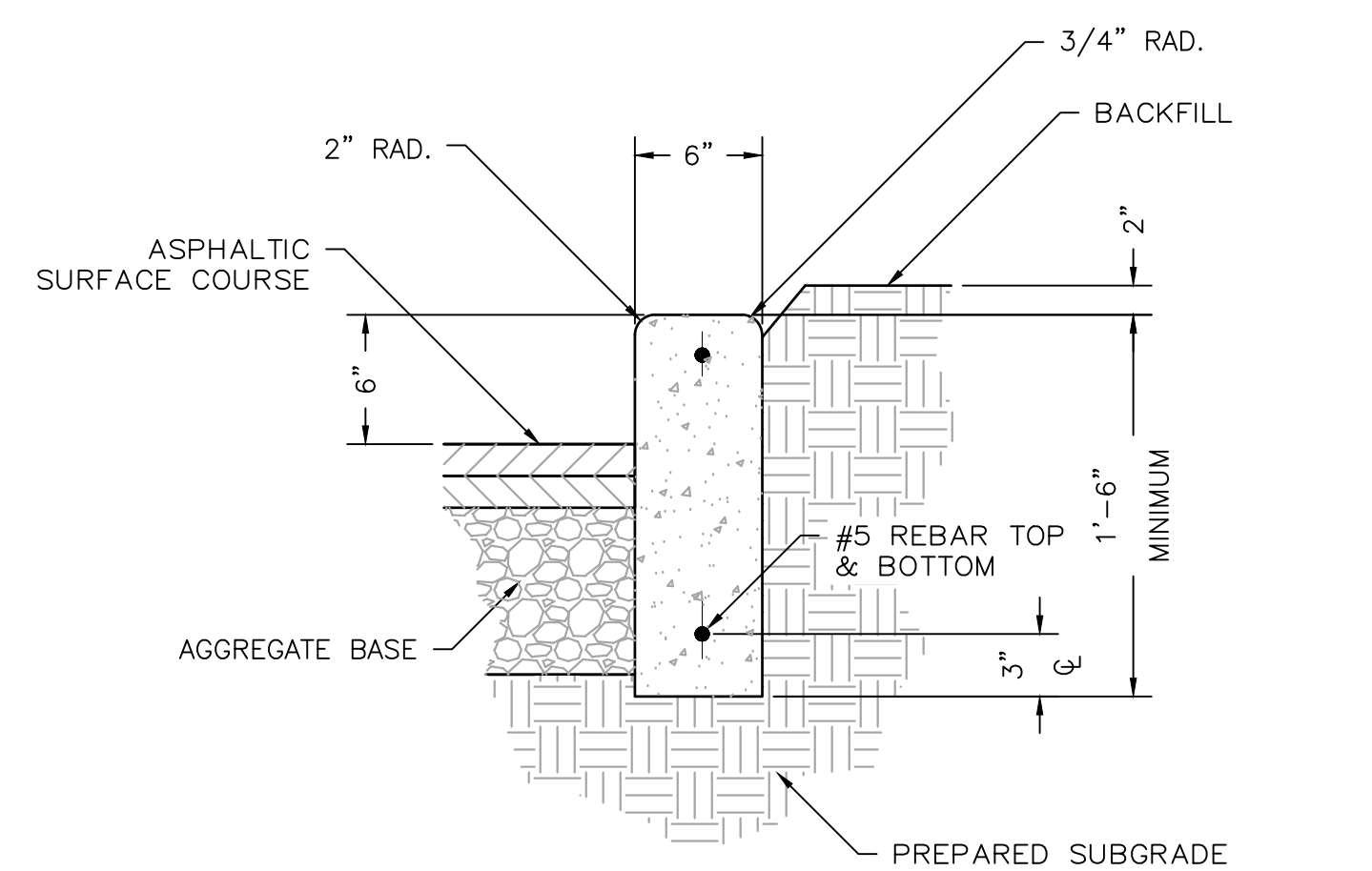


NOTE: MAINTAIN 4" SIDEWALK THICKNESS IN DEPRESSED AREA.
7 ACCESSIBLE RAMP WITH NON-TRAVERSABLE CURBS DETAIL
SCALE: N.T.S. REF. DWG. P3.0



- NOTES:**
1. PAVEMENT DETAILS SHOWN FOR REFERENCE ONLY. CONTRACTOR TO VERIFY FINAL PAVEMENT REQUIREMENTS WITH GEOTECH REPORT AND/OR OWNER.
 2. CONTRACTOR TO INSTALL CONCRETE PAVEMENT JOINTS PER THE AMERICAN CONCRETE INSTITUTES "GUIDE FOR DESIGN AND CONSTRUCTION OF CONCRETE PARKING LOTS"

4 CONCRETE PAVEMENT DETAIL
SCALE: N.T.S. REF. DWG. P3.0



1 VERTICAL CONCRETE CURB DETAIL
SCALE: N.T.S. REF. DWG. P3.0

USER: Kurt Kuller TAB: P3.0 DETAIL SHEET
DATE: October 1, 2022 - 4:28:00 PM
DRAWING: S:\085\0852022\22-0119\CADD\CD\Plan_Site\Plan_Site_Plan_22-0119.dwg

DEVELOPER/OWNER:
AVENUE DEVELOPMENT, LLC
8435 KEYSTONE CROSSING BLVD, STE. 140
INDIANAPOLIS, IN 46240
PHONE: 414-688-8565

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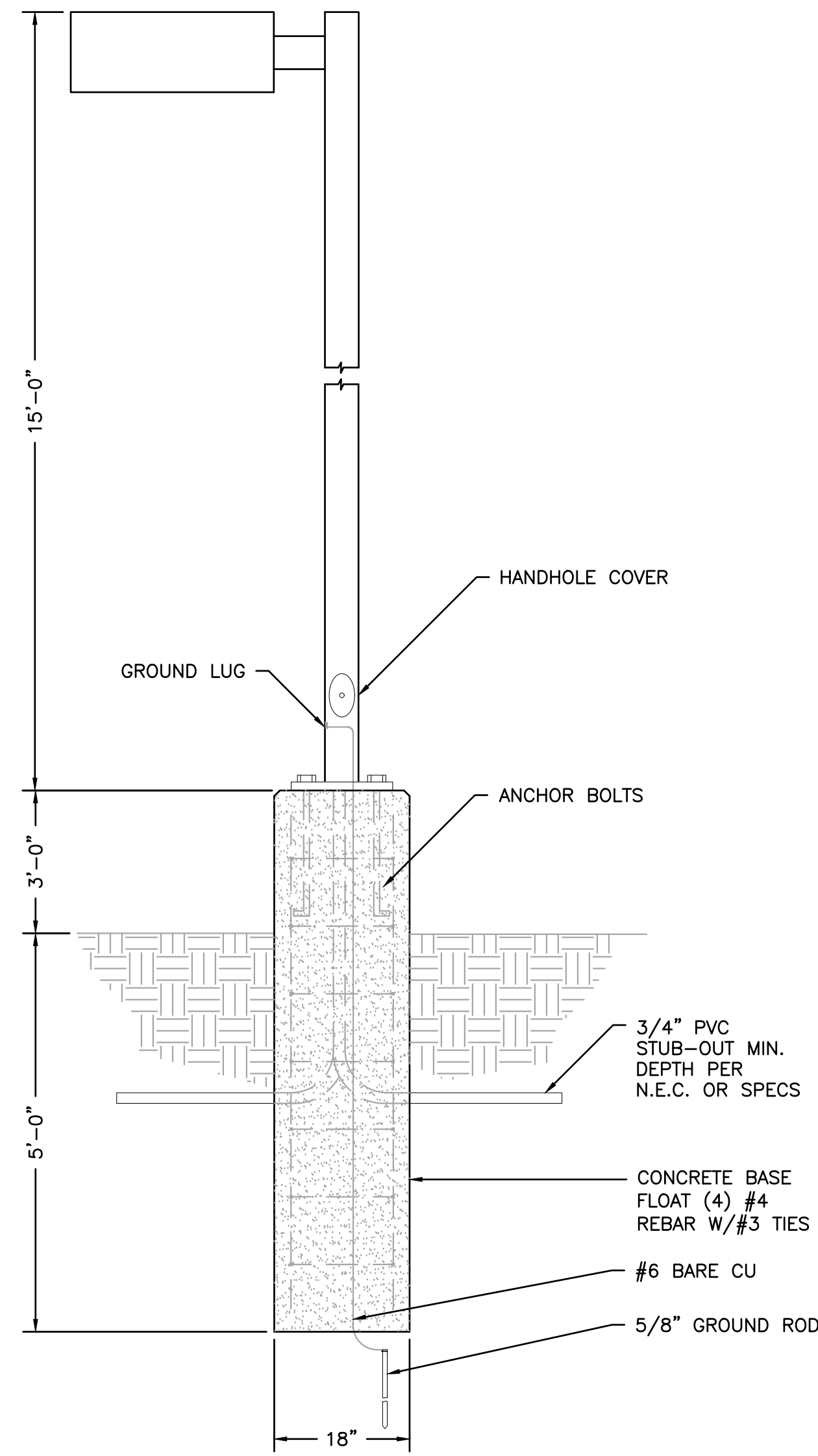
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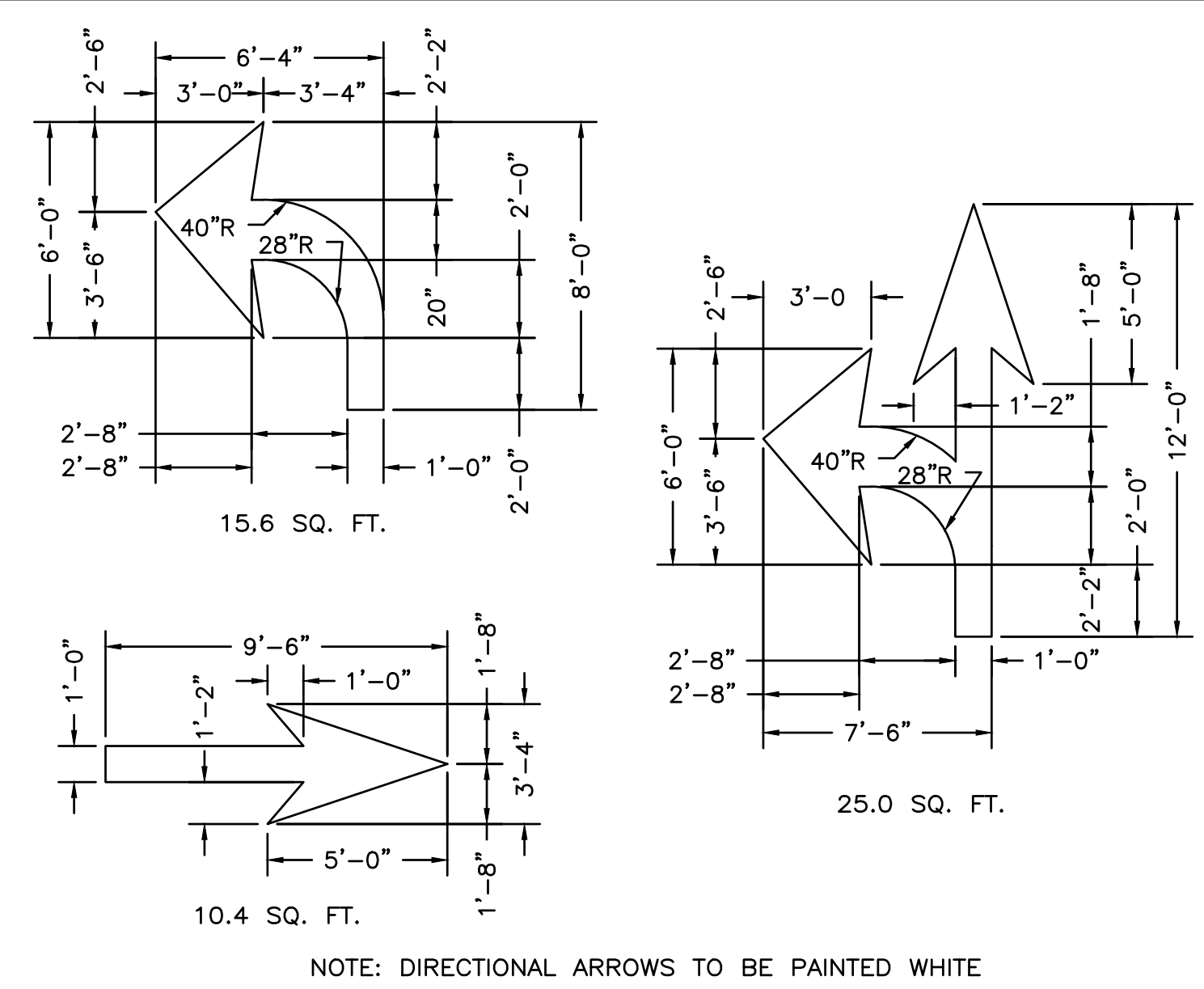
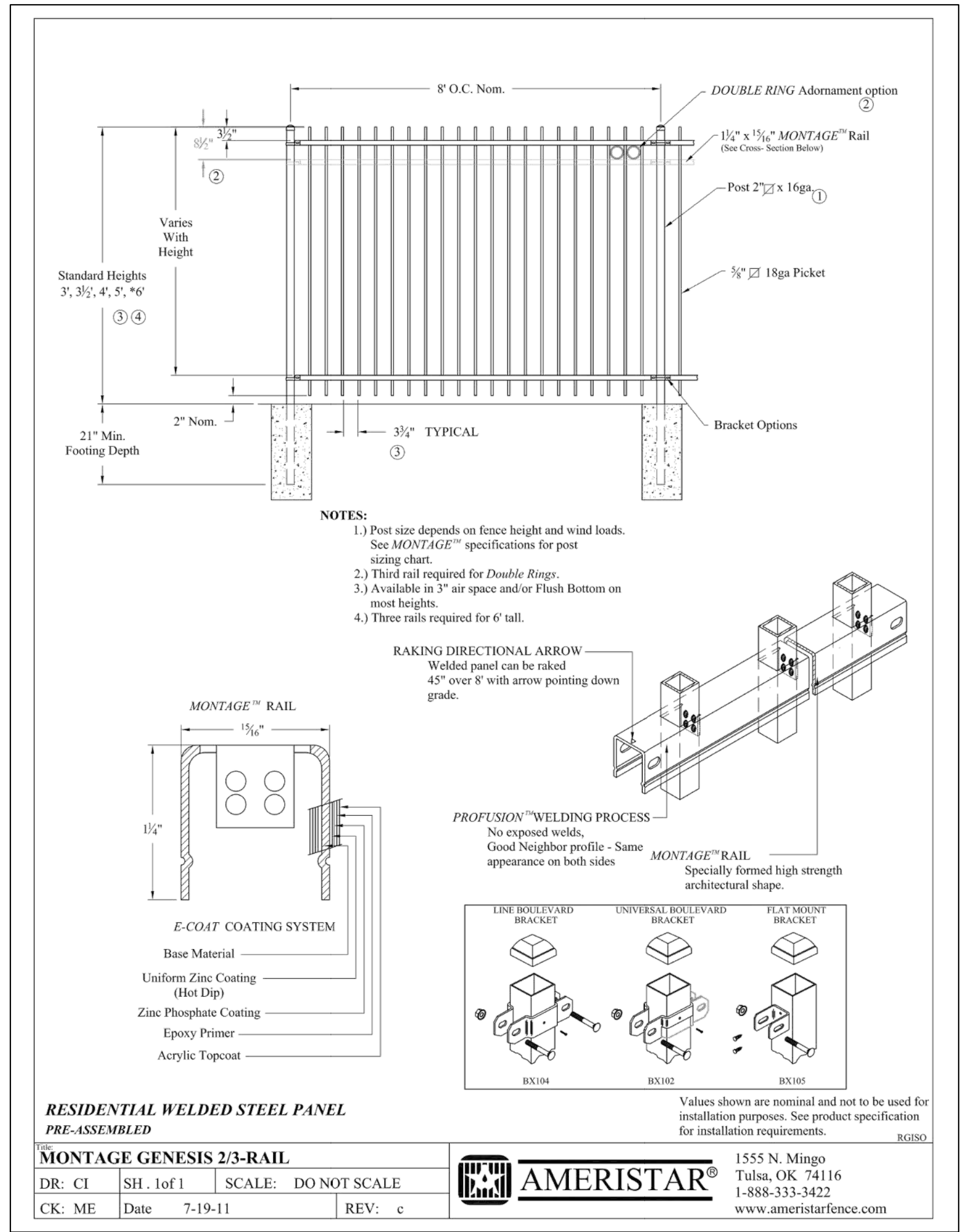
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22-0119
Sheet Number

P5.0

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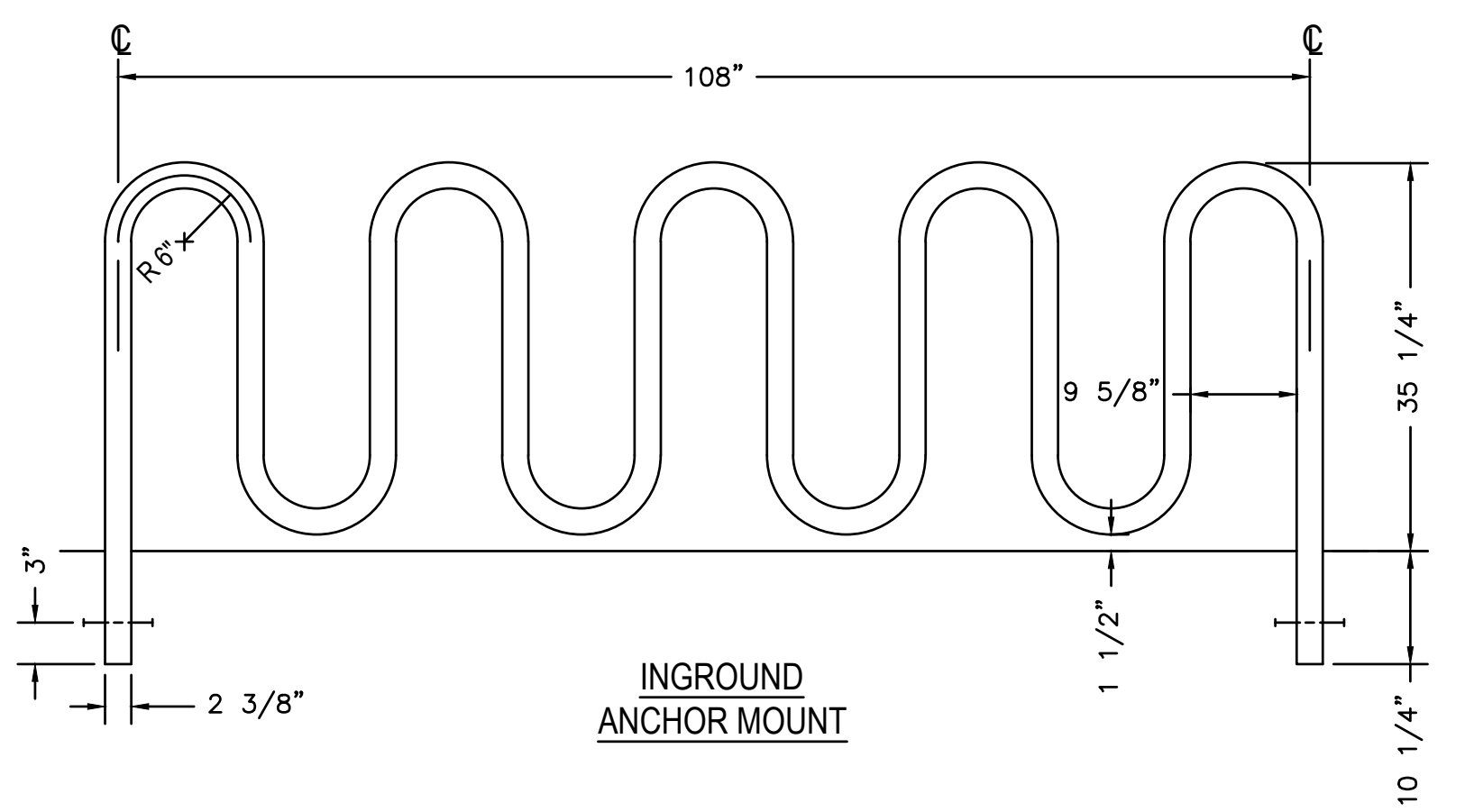


NOTE: LIGHT POLE BASE SHOWN FOR REFERENCE ONLY. SIZE, EMBEDMENT DEPTH AND REINFORCEMENT SHALL BE PER STRUCTURAL ENGINEER.



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 3. DO NOT SCALE DRAWING.
 4. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADdetails.com/info REFERENCE NUMBER 4349-013.

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 11 CAPACITY, INGROUND ANCHOR MOUNT, GALVANIZED BIKE RACK

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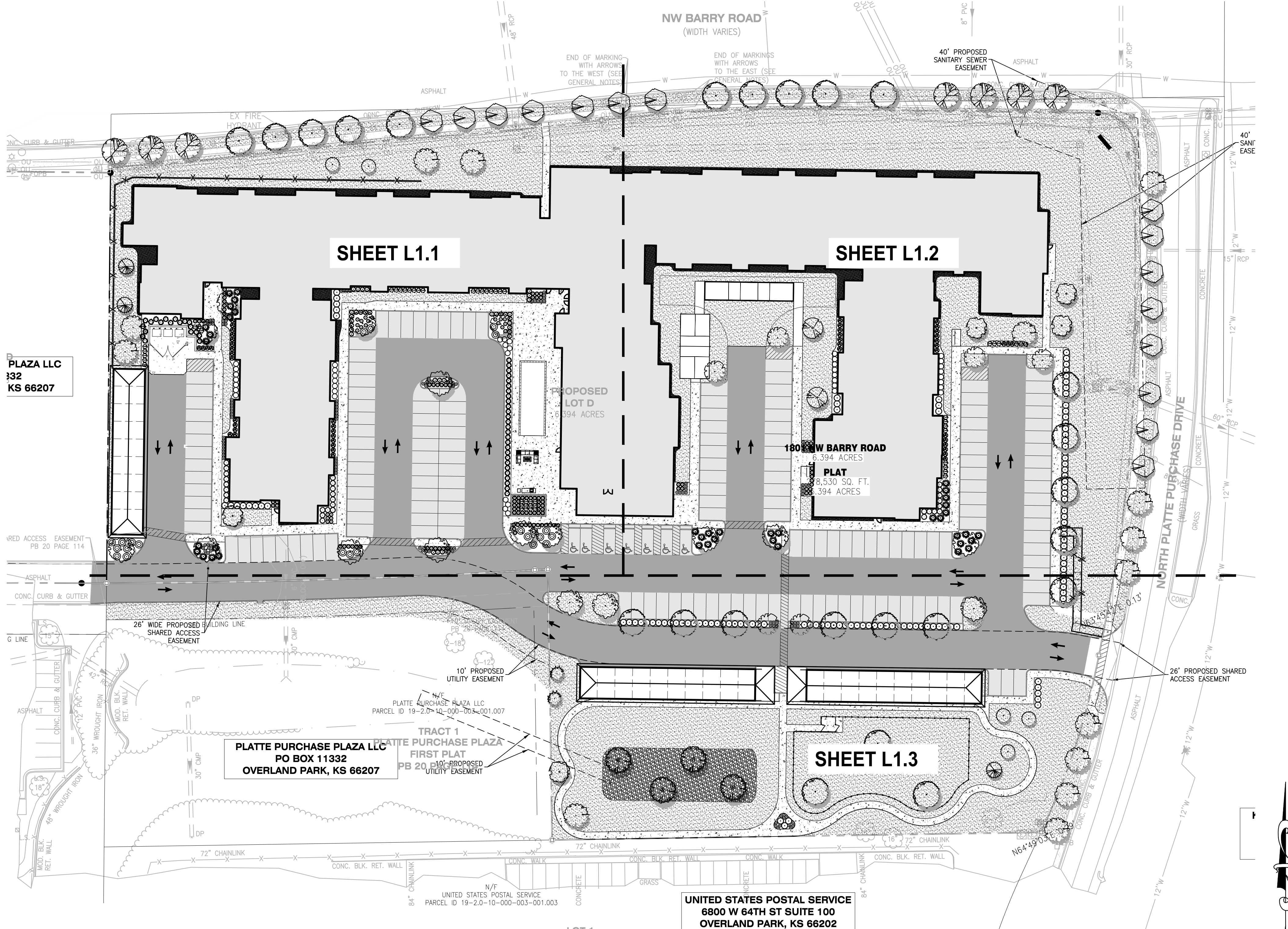
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DATE: 09/30/2022

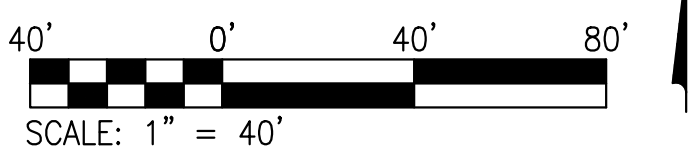
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 Job Number: 22-0119
 Sheet Number: P6.0



1 OVERALL LANDSCAPE PLAN
 SCALE: 1" = 40'
 REF. DWG.



PLANT SCHEDULE		
LARGE & MEDIUM DECIDUOUS TREES	BOTANICAL NAME	COMMON NAME
	Acer rubrum 'red sunset'	Rd Maple
	Quercus rubra	Red Oak
	Zelkova serrata 'JFS-KW1'	City Sprite zelkova
	Tilia americana	American Linden
	Betula nigra 'BNMT'	Dura Heat®River Birch
EVERGREEN TREES	BOTANICAL NAME	COMMON NAME
	Pinus echinata	Short-Leaf Pine
	Juniperus virginiana	Red Cedar
	Thuja 'Green Giant'	Arborvitae
SMALL DECIDUOUS TREES	BOTANICAL NAME	COMMON NAME
	Cornus florida	Flowering Dogwood
	Cercis canadensis	Red Bud
	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance®Apple Serviceberry
	Carpinus caroliniana	American Hornbeam
SHRUBS	BOTANICAL NAME	COMMON NAME
	Buxus x 'Green Velvet'	Green Velvet Boxwood
	Taxus x'media	Yew
	Physocarpus opulifolius	Tiny Wine Ninebark
	Juniperus x'pfitzeriana 'Sea Green'	Chinese Juniper
	ITEA VIRGINICA 'LITTLE HENRY'	'LITTLE HENRY' SWEET SPIRE
	Ceanothus americanus	New Jersey Tea
	Thuja occidentalis 'Smaragd'	Emerald Green Arborvitae
	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac
	Spiraea japonica	Japanese spirea
ORNAMENTAL GRASS & GROUND COVER	BOTANICAL NAME	COMMON NAME
	Schizachyrium scoparium	Little Bluestem
	Sorghastrum nutans	Indiangrass
	Juniperus procumbens 'Green Mound'	Green Mound Juniper
		AREA TO BE TURF
		DECORATIVE GRAVEL

* SEE SHEET L1.4 FOR LANDSCAPE NOTES, CALCULATIONS AND FULL PLANT SCHEDULE WITH QUANTITIES

VEHICLE PARKING CALCULATIONS

MINIMUM PARKING REQUIREMENTS	REQUIREMENT
ELDERLY HOUSING	1 SPACE PER 3 DWELLING UNITS
MEDICAL OFFICES	4 SPACES PER 1,000 SQUARE FEET OF GROSS FLOOR AREA
CALCULATION	162 DWELLING UNITS * 0.33 SPACES = 54 SPACES 1,149 S.F./1,000 S.F. * 4 SPACES = 5 SPACES TOTAL = 59 SPACES
PARKING DATA (REQUIRED)	REQUIREMENT
SPACES REQUIRED (STANDARD)	56 SPACES
SPACES REQUIRED (ACCESSIBLE)	3 SPACES (1 VAN ACCESSIBLE) (3 REQ PER 51 - 75 TOTAL SPACES)
SPACES REQUIRED (TOTAL)	59 SPACES
PARKING DATA (PROVIDED)	REQUIREMENT
SPACES PROVIDED (STANDARD)	169 SPACES
SPACES PROVIDED (COVERED)	29 SPACES
SPACES PROVIDED (ACCESSIBLE)	7 SPACES (1 VAN ACCESSIBLE) (7 REQ PER 151 - 200 TOTAL SPACES)
SPACES PROVIDED (TOTAL)	205 SPACES

PERTINENT DATA

SITE ADDRESS	= 1801 NW BARRY ROAD
PARCEL ID	= KANSAS CITY, MO 64151
FIRE DISTRICT	= 231808
FEMA MAP PANEL	= KANSAS CITY FIRE DEPARTMENT
GROSS SITE AREA	= 29095C0126G, DATE: JAN 20, 2017
	= 6.394 AC.

DATE	NO	REVISION DESCRIPTION
09/30/2022	1	FEE CITY COMMENTS

DEVELOPER/OWNER:
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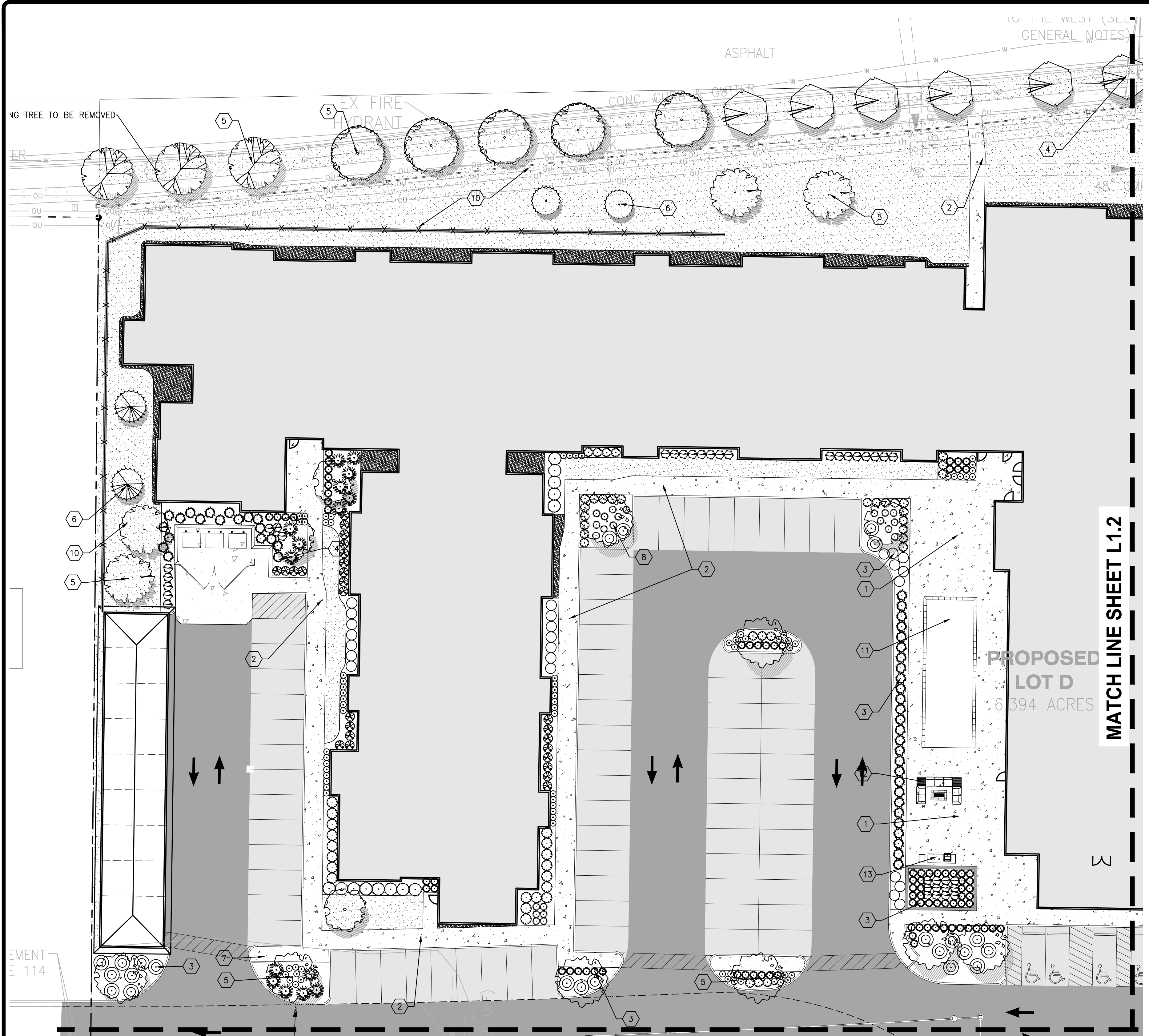
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DATE	8/26/2022
Job Number	22-0119
Sheet Number	L1.0

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1 LANDSCAPE ENLARGEMENT - WEST
 SCALE: 1" = 20' REF. DWG. L1.0

KEY	FURNISHING	DETAIL
1	PATIO STANDARD CONCRETE WITH BROOM FINISH, SCORED PER PLAN HAND TOOLED OR MACHINE CUT	SEE CIVIL DRAWINGS
2	CONCRETE SIDEWALK STANDARD CONCRETE WITH BROOM FINISH, SCORED PER PLAN, HAND TOOLED OR MACHINE CUT	SEE CIVIL DRAWINGS
3	TYPICAL SHRUB PLANTING	-
4	TYPICAL FLOWERING/ORNAMENTAL TREE PLANTING	-
5	TYPICAL LARGE DECIDUOUS TREE PLANTING	-
6	TYPICAL EVERGREEN TREE PLANTING	-
7	TYPICAL GROUND COVER PLANTING	-
8	TYPICAL ORNAMENTAL GRAS PLANTING	-

9	METAL EDGE	-
10	TURF	-
11	POOL	-
12	FIRE PIT	-
13	OUTDOOR KITCHEN	-
14	PICKLE BALL COURT	-
15	BOCCE BALL COURT	-
16	DOG PARK	-

PLANT SCHEDULE		
LARGE & MEDIUM DECIDUOUS TREES	BOTANICAL NAME	COMMON NAME
	<i>Acer rubrum</i> 'red sunset'	Rd Maple
	<i>Quercus rubra</i>	Red Oak
	<i>Zelkova serrata</i> 'JFS-KW1'	City Sprite zelkova
	<i>Tilia americana</i>	American Linden
	<i>Betula nigra</i> 'BNMTF'	Dura Heat@River Birch
EVERGREEN TREES	BOTANICAL NAME	COMMON NAME
	<i>Pinus echinata</i>	Short-Leaf Pine
	<i>Juniperus virginiana</i>	Red Cedar
	<i>Thuja</i> 'Green Giant'	Arborvitae
SMALL DECIDUOUS TREES	BOTANICAL NAME	COMMON NAME
	<i>Cornus florida</i>	Flowering Dogwood
	<i>Cercis canadensis</i>	Red Bud
	<i>Amelanchier x grandiflora</i> 'Autumn Brilliance'	Autumn Brilliance@Apple Serviceberry
	<i>Carpinus caroliniana</i>	American Hornbeam
SHRUBS	BOTANICAL NAME	COMMON NAME
	<i>Buxus x 'Green Velvet'</i>	Green Velvet Boxwood
	<i>Taxus x media</i>	Yew
	<i>Physocarpus opulifolius</i>	Tiny Wine Ninebark
	<i>Juniperus x pfitzeriana</i> 'Sea Green'	Chinese Juniper
	<i>ITEA VIRGINICA</i> 'LITTLE HENRY'	'LITTLE HENRY' SWEET SPIRE
	<i>Ceanothus americanus</i>	New Jersey Tea
	<i>Thuja occidentalis</i> 'Smaragd'	Emerald Green Arborvitae
	<i>Rhus aromatica</i> 'Gro-Low'	Gro-Low Fragrant Sumac
	<i>Spiraea japonica</i>	Japanese spirea
ORNAMENTAL GRASS & GROUND COVER	BOTANICAL NAME	COMMON NAME
	<i>Schizachyrium scoparium</i>	Little Bluestem
	<i>Sorghastrum nutans</i>	Indiangrass
	<i>Juniperus procumbens</i> 'Green Mound'	Green Mound Juniper
		AREA TO BE TURF
		DECORATIVE GRAVEL

* SEE SHEET L1.4 FOR LANDSCAPE NOTES, CALCULATIONS AND FULL PLANT SCHEDULE WITH QUANTITIES

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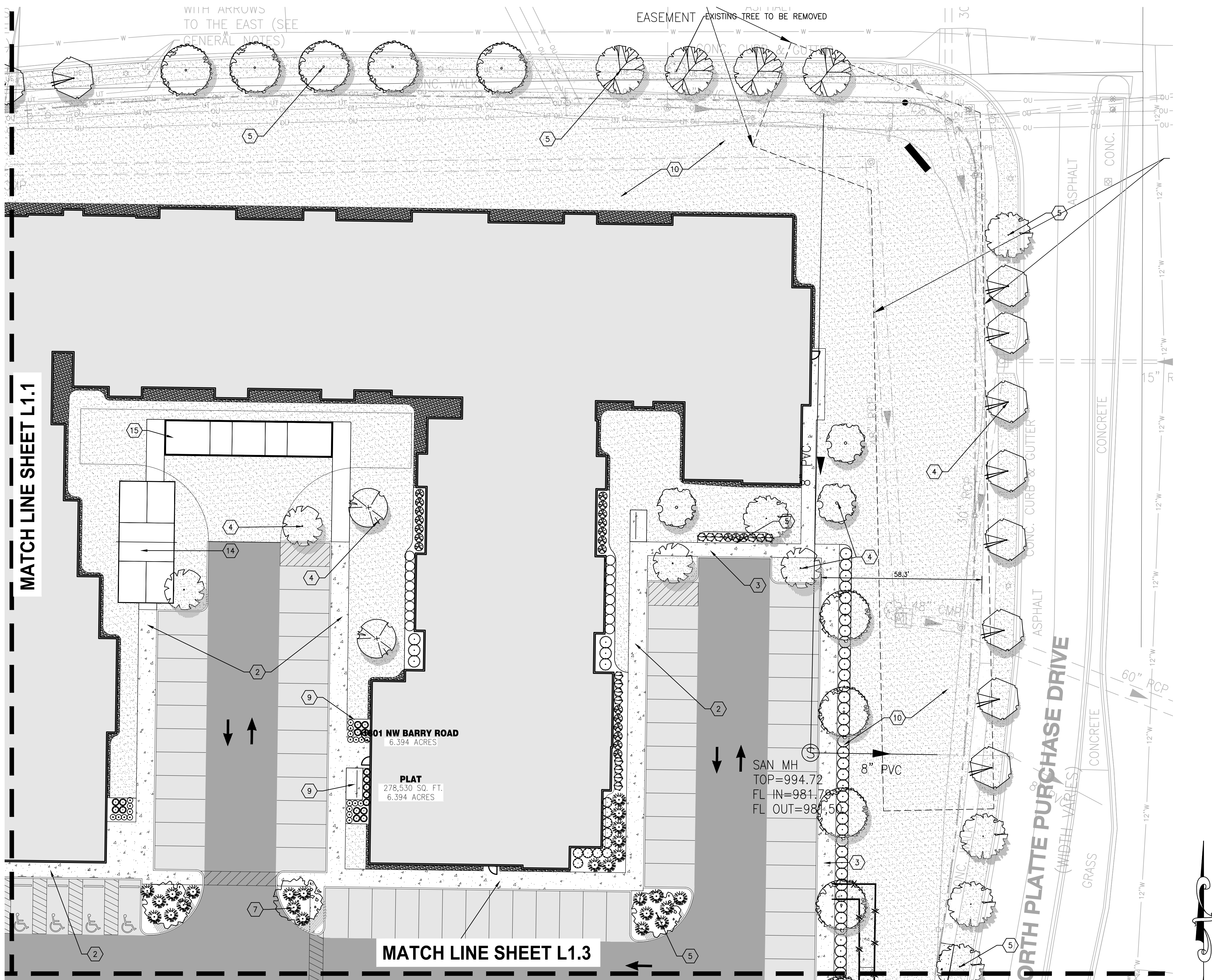
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 Job Number: 22-0119
 Sheet Number: L1.1



1 LANDSCAPE ENLARGEMENT - EAST
 SCALE: 1" = 20' REF. DWG. L1.0

KEYED NOTES		
KEY	FURNISHING	DETAIL
1	PATIO STANDARD CONCRETE WITH BROOM FINISH, SCORED PER PLAN HAND TOOLED OR MACHINE CUT	SEE CIVIL DRAWINGS
2	CONCRETE SIDEWALK STANDARD CONCRETE WITH BROOM FINISH, SCORED PER PLAN, HAND TOOLED OR MACHINE CUT	SEE CIVIL DRAWINGS
3	TYPICAL SHRUB PLANTING	-
4	TYPICAL FLOWERING/ORNAMENTAL TREE PLANTING	-
5	TYPICAL LARGE DECIDUOUS TREE PLANTING	-
6	TYPICAL EVERGREEN TREE PLANTING	-
7	TYPICAL GROUND COVER PLANTING	-
8	TYPICAL ORNAMENTAL GRAS PLANTING	-

9	METAL EDGE	-
10	TURF	-
11	POOL	-
12	FIRE PIT	-
13	OUTDOOR KITCHEN	-
14	PICKLE BALL COURT	-
15	BOCCIE BALL COURT	-
16	DOG PARK	-

PLANT SCHEDULE		
LARGE & MEDIUM DECIDUOUS TREES	BOTANICAL NAME	COMMON NAME
	<i>Acer rubrum</i> 'red sunset'	Rd Maple
	<i>Quercus rubra</i>	Red Oak
	<i>Zelkova serrata</i> 'JFS-KW1'	City Sprite zelkova
	<i>Tilia americana</i>	American Linden
	<i>Betula nigra</i> 'BNMT'	Dura Heat@River Birch
EVERGREEN TREES	BOTANICAL NAME	COMMON NAME
	<i>Pinus echinata</i>	Short-Leaf Pine
	<i>Juniperus virginiana</i>	Red Cedar
	<i>Thuja</i> 'Green Giant'	Arborvitae
SMALL DECIDUOUS TREES	BOTANICAL NAME	COMMON NAME
	<i>Cornus florida</i>	Flowering Dogwood
	<i>Cercis canadensis</i>	Red Bud
	<i>Amelanchier x grandiflora</i> 'Autumn Brilliance'	Autumn Brilliance@Apple Serviceberry
	<i>Carpinus caroliniana</i>	American Hornbeam
SHRUBS	BOTANICAL NAME	COMMON NAME
	<i>Buxus x</i> 'Green Velvet'	Green Velvet Boxwood
	<i>Taxus x media</i>	Yew
	<i>Physocarpus opulifolius</i>	Tiny Wine Ninebark
	<i>Juniperus x pfitzeriana</i> 'Sea Green'	Chinese Juniper
	<i>ITEA VIRGINICA</i> 'LITTLE HENRY'	'LITTLE HENRY' SWEET SPIRE
	<i>Ceanothus americanus</i>	New Jersey Tea
	<i>Thuja occidentalis</i> 'Smaragd'	Emerald Green Arborvitae
	<i>Rhus aromatica</i> 'Gro-Low'	Gro-Low Fragrant Sumac
	<i>Spiraea japonica</i>	Japanese spirea
ORNAMENTAL GRASS & GROUND COVER	BOTANICAL NAME	COMMON NAME
	<i>Schizachyrium scoparium</i>	Little Bluestem
	<i>Sorghastrum nutans</i>	Indiangrass
	<i>Juniperus procumbens</i> 'Green Mound'	Green Mound Juniper
		AREA TO BE TURF
		DECORATIVE GRAVEL

* SEE SHEET L1.4 FOR LANDSCAPE NOTES, CALCULATIONS AND FULL PLANT SCHEDULE WITH QUANTITIES

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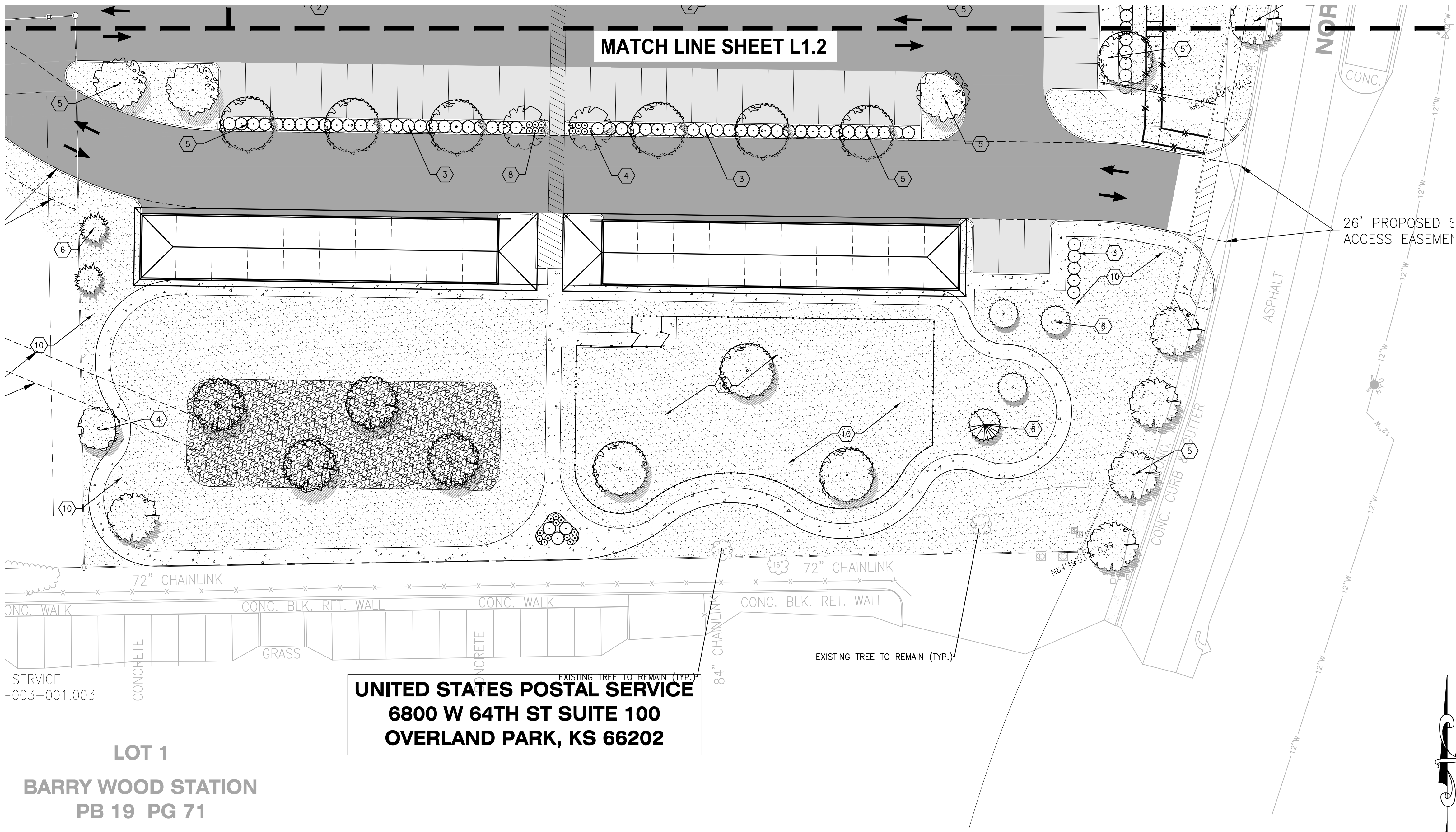
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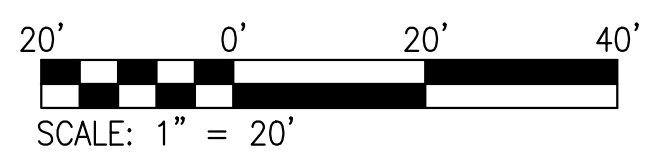
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 DRAWING SCALE: AS SHOWN
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 Sheet Number: L1.2



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1 LANDSCAPE ENLARGEMENT - SOUTH
 SCALE: 1"=20' REF. DWG. L1.0



KEYED NOTES

KEY	FURNISHING	DETAIL
1	PATIO STANDARD CONCRETE WITH BROOM FINISH, SCORED PER PLAN HAND TOOLED OR MACHINE CUT	SEE CIVIL DRAWINGS
2	CONCRETE SIDEWALK STANDARD CONCRETE WITH BROOM FINISH, SCORED PER PLAN, HAND TOOLED OR MACHINE CUT	SEE CIVIL DRAWINGS
3	TYPICAL SHRUB PLANTING	-
4	TYPICAL FLOWERING/ORNAMENTAL TREE PLANTING	-
5	TYPICAL LARGE DECIDUOUS TREE PLANTING	-
6	TYPICAL EVERGREEN TREE PLANTING	-
7	TYPICAL GROUND COVER PLANTING	-
8	TYPICAL ORNAMENTAL GRAS PLANTING	-

9	METAL EDGE	-
10	TURF	-
11	POOL	-
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14	PICKLE BALL COURT	-
15	BOCCE BALL COURT	-
16	DOG PARK	-

PLANT SCHEDULE		
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	Betula nigra 'BNMTF'	Dura Heat@River Birch
EVERGREEN TREES	BOTANICAL NAME	COMMON NAME
	Pinus echinata	Short-Leaf Pine
	Juniperus virginiana	Red Cedar
	Thuja 'Green Giant'	Arborvitae
SMALL DECIDUOUS TREES	BOTANICAL NAME	COMMON NAME
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	Sorghastrum nutans	Indiangrass
	Juniperus procumbens 'Green Mound'	Green Mound Juniper
		AREA TO BE TURF
		DECORATIVE GRAVEL

* SEE SHEET L1.4 FOR LANDSCAPE NOTES, CALCULATIONS AND FULL PLANT SCHEDULE WITH QUANTITIES

DEVELOPER/OWNER:
AVENUE DEVELOPMENT, LLC
8435 KEYSTONE CROSSING BLVD, STE. 140
INDIANAPOLIS, IN 46240
PHONE: 414-688-8565

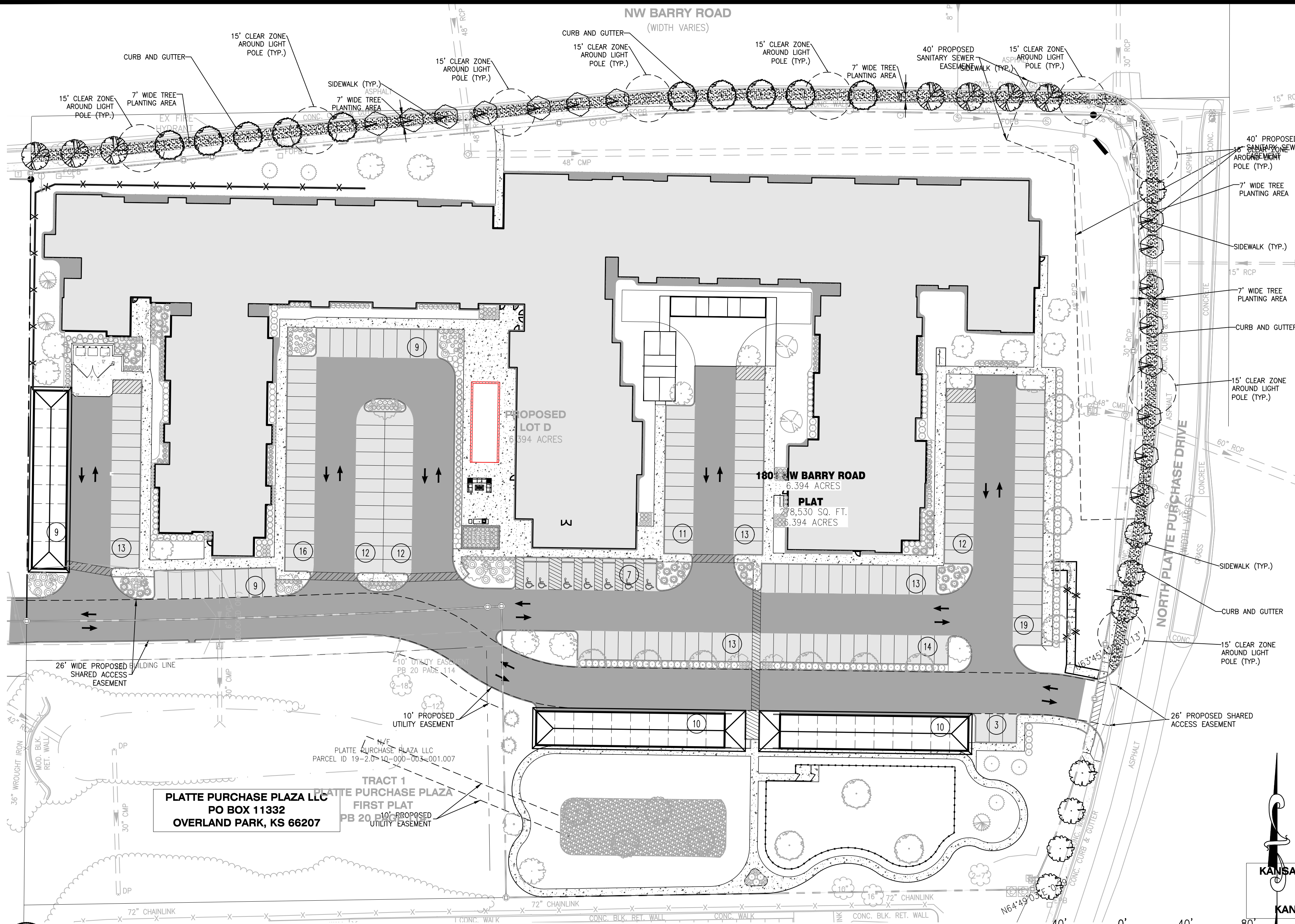
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LANDSCAPE ENLARGEMENT

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 CIVIL ENGINEERING / SURVEYING / PLANNING / LANDSCAPE ARCHITECTURE
 Cole & Associates, Inc. is a Missouri Corporation. All data subject to change. See address & phone number referred to as "Cole".

DESIGN/CALC BY: LFD
 DRAWN BY: MAB
 CHECKED BY: KAK
 DRAWING SCALE: AS SHOWN
 DATE: 8/26/2022

Job Number: **22-0119**
 Sheet Number: **L1.3**



1 OVERALL STREET TREE PLAN
SCALE: 1" = 40'

LANDSCAPE AND TREE REQUIREMENTS

CODE SEC. 88-425-03-C TREE PLANTING REQUIREMENTS - STREET TREES	REQUIREMENT	AREA / MEASUREMENT	REQ'D	PROVD
1 STREET TREE FOR EACH 30' OF STREET FRONTAGE	NW BARRY RD. +/- 700 L.F.	700/30=23.3	24 TREES	24 TREES
NO MORE THAN 50% ONE TREE SPECIES	N PLATTE PURCHASE RD +/- 500 L.F.	500-26LF ENTRY DRIVE = 474 474/30=15.8	16 TREES	16 TREES

SIZE OF TREE & WIDTH OF R.O.W.

R.O.W.	R.O.W. WIDTH	MAX. DBH ALLOWED	PROPOSED TREES AND THEIR MATURE DBH
N PLATTE PURCHASE RD	7' PLANTING AREA	42"	SERVICEBERRY 16 DBH ZELKOVA 24 DBH PLANTING AREA 5X5 PLANTING AREA 5X5
NW BARRY RD.	7' PLANTING AREA	42"	RED SUNSET MAPLE 36 DBH SERVICEBERRY 16 DBH RED OAK 36 DBH PLANTING AREA 7X7 PLANTING AREA 5X5 PLANTING AREA 7X7

TREE PLANTING SPECIFICATIONS:

NOTE: THE REPRESENTATIVE FROM THE CITY FORESTER'S OFFICE MAY INSPECT ANY PHASE OF THIS OPERATION AND MAY REJECT ANY PLANT MATERIAL IMPROPERLY HANDLED DURING ANY PHASE OF THIS OPERATION. NOTHING IN THIS SECTION SHALL BE INTERPRETED AS RELIEVING THE DEVELOPER OF THE RESPONSIBILITY OF PROVIDING HEALTHY, VIABLE PLANTS, NOR SHALL IT HAVE ANY EFFECT UPON THE TERMS OF THE WARRANTY SPECIFIED.

- PROTECTION OF EXISTING PLANTS: DO NOT STORE MATERIALS OR EQUIPMENT, OR OPERATE EQUIPMENT UNDER BRANCHES OF ANY PLANTING TREES, EXCEPT AS ACTUALLY REQUIRED FOR PLANTING IN THOSE AREAS. IF EXISTING PLANTS ARE DAMAGED DURING PLANTING, DEVELOPER SHALL REPLACE SUCH PLANTS WITH THE SAME SPECIES AND SIZE AS THOSE DAMAGED AT NO COST TO PARKS AND RECREATION. DETERMINATION OF THE EXTENT OF DAMAGE AND VALUE OF DAMAGED PLANT SHALL REST SOLELY WITH THE REPRESENTATIVE OF THE CITY FORESTER. (SEE FIGURE 5 FOR TREE PROTECTION GUIDELINES).
- ALL BROADLEAF TREES SHALL BE 2" MINIMUM CALIPER AND EVERGREEN TREES MUST HAVE A MINIMUM PLANTED HEIGHT OF FIVE (5) FEET, SMALLER SIZES REQUIRE PRIOR APPROVAL FROM THE CITY FORESTER.
- ALL PLANTS SHALL BE SYMMETRICAL IN GROWTH WITH BALANCED ROOT AND TOP GROWTH AND SHALL BE NO. 1 IN GRADE OR TYPE, CONFORMING TO THE LATEST EDITION OF "AMERICAN STANDARD OF NURSERY STOCK", ANSI Z60.1 (2014) REFERENCED HEREIN. TREES SHALL HAVE A SINGLE STRAIGHT TRUNK, SINGLE DOMINANT CENTRAL LEADER (WHEN CHARACTERISTIC OF THE SPECIES), AND A WELL-BALANCED BRANCH STRUCTURE.
- DURING TRANSPORTATION OF PLANT MATERIAL, CARE WILL BE TAKEN TO PREVENT INJURY OR DRYING OUT OF THE TREES. TREES WILL BE REJECTED IF THE ROOTS ARE DRIED OUT OR IF THE TREE HAS BEEN DAMAGED DURING TRANSPORT. PLANTS MUST BE PROTECTED AT ALL TIMES FROM SUN OR DRYING WINDS. PLANTS SHALL BE LIFTED AND HANDLED WITH SUITABLE SUPPORT OF THE SOIL BALL TO AVOID DAMAGE TO THE TRUNK OF THE TREE.
- PLANT MATERIAL SPECIFIED AS BALLED AND BURLAPPED (B&B) MUST HAVE A BALL OF FIRM EARTH FROM THE ORIGINAL SOIL IN WHICH THE PLANT GREW. THE BALL SHALL BE WRAPPED WITH NON-SYNTHETIC, ROTTABLE BURLAP AND TIGHTLY TIED WITH NON-SYNTHETIC, ROTTABLE TWINE TO HOLD IT FIRM AND INTACT. ANY PLANTS WITH LOOSE OR BROKEN BALLS OR MANUFACTURED BALLS WILL BE REJECTED. WIRE BASKETS SHALL BE USED WHERE NECESSARY TO PROTECT THE BALLS.
- PLANTS SHALL BE NURSERY GROWN AND SHALL HAVE RECEIVED THE PROPER FERTILIZING, WATERING, ROOT

PRUNING, AND OTHER CARE AS IS NORMALLY USED IN NURSERY PRACTICE. COLLECTED STOCK WILL BE REJECTED. TREES LARGER THAN 1-1/2" CALIPER SHALL HAVE BEEN TRANSPLANTED OR ROOT PRUNED AT LEAST ONCE IN THE PAST 3 YEARS. STOCK SHALL CONSIST OF PLANTS GROWN UNDER NATURAL CONDITIONS IN SOILS AND CLIMATE COMPATIBLE WITH THE CITY OF KANSAS CITY. PLANTS SHALL HAVE BEEN GROWN AT A LATITUDE NOT MORE THAN 200 MILES NORTH OR SOUTH OF THE PLANTING LOCATION UNLESS THE PROVENANCE OF THE PLANT CAN BE DOCUMENTED TO BE COMPATIBLE WITH THE LATITUDE AND COLD HARDINESS ZONE OF THE PLANTING LOCATION.

- PLANTS SHALL BE FREE FROM DEFECTS, DISEASE, INSECTS, EGGS OR LARVAE AND INJURIES OR OTHER CONDITIONS THAT WOULD PREVENT VIGOROUS GROWTH. THE CITY RESERVES THE RIGHT TO REJECT ANY AND ALL PLANTS THAT IN ITS OPINION ARE POOR IN QUALITY, HEALTH, AND/OR FORM. ALL FIELD GROWN TREES SHALL BE MARKED TO INDICATE THE TREE'S NORTH ORIENTATION IN THE NURSERY. ALL SHIPMENTS OF PLANT STOCK SHALL COMPLY WITH EXISTING STATE AND FEDERAL LAWS AND REGULATIONS GOVERNING PLANT DISEASE AND INFECTION, AND INTERSTATE MOVEMENT OF NURSERY STOCK.
- FERTILIZER: FERTILIZE TREES AFTER PLANTING WITH A "PLANT STARTER/ROOT STIMULATOR" LIQUID SOLUTION APPLIED ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS.
- MULCH: WOOD MULCH SHALL CONSIST OF BAGGED OR BULK AGED WOOD CHIPS, OR SHREDDED HARDWOOD BARK. WALNUT BARK OR CHIPS ARE NOT ACCEPTABLE.
- TREE GUARDS: EACH TREE SHALL BE PROTECTED AFTER PLANTING WITH A PLASTIC PROTECTOR, 9" NOMINAL HEIGHT, 4" MINIMUM DIAMETER. MATERIAL SHALL BE VENTED POLYETHYLENE OR EQUIVALENT LIGHT IN COLOR NOT BLACK.
- EXCAVATION FOR PLANTING: PLANTING HOLES SHALL BE A MINIMUM OF 10" LARGER IN DIAMETER THAN THE SPREAD OF ROOTS OR SIZE OF ROOT BALL. THE BOTTOM OF THE HOLE SHALL BE NO DEEPER THAN THE HEIGHT OF THE ROOT BALL SO THAT THE TREE BALL IS PLACED ON SOLID EARTH. PLANTING HOLES SHALL HAVE APPROXIMATELY 45 DEGREE VERTICAL SIDES AND FLAT BOTTOMS. ALL UNDERGROUND UTILITY LOCATIONS ARE TO BE LOCATED IN THE PLANTING AREAS. MISSOURI LAW REQUIRES THAT A LOCATE REQUEST BE PLACED BEFORE BEGINNING ANY EXCAVATION.
- WHERE TURF AREAS ARE DAMAGED BY PLANTING OPERATIONS, THEY SHALL BE RESTORED AND REPLACED WITH EQUAL QUALITY TURF.

- SETTING AND BACKFILLING: SET BALLED AND BURLAPPED TREES IN THE HOLE WITH THE NORTH MARKER FACING NORTH UNLESS OTHERWISE APPROVED BY THE CITY FORESTER OR HIS DESIGNEE. SET ALL TREES PLUMB AND STRAIGHT. SET AT SUCH A LEVEL THAT THE TOP OF THE ROOT FLARE, THE FIRST MAJOR ROOT, IS AT OR SLIGHTLY ABOVE GROUND LEVEL. IF THE GROWER HAS PLACED EXCESS SOIL ON THE TOP OF THE ROOT BALL COVERING THE ROOT FLARE THEN THE EXCESS SOIL SHALL BE REMOVED.
- CUT AND REMOVE ALL TIES FROM THE BALL. REMOVE THE WIRE BASKET OR CUT AND REMOVE THE TOP 2/3 OF THE BASKET. CUT AND REMOVE THE TOP 2/3 OF THE BURLAP. DO NOT TURN UNDER AND BURY PORTIONS OF BURLAP AT TOP OF BALL. IN NO CASE SHOULD THE BURLAP BE PULLED OUT FROM UNDER THE BALLS. DO NOT PLANT TREES WHOSE BALLS HAVE BEEN BROKEN DURING THE PLANTING PROCESS.
- PLANTS GROWN IN CONTAINERS SHALL BE OF APPROPRIATE SIZE FOR THE CONTAINER AS SPECIFIED IN THE LATEST EDITION OF "AMERICAN STANDARD OF NURSERY STOCK", ANSI Z60.1 (2014) REFERENCED HEREIN AND SHALL BE FREE OF CIRCLING ROOTS ON THE EXTERIOR AND INTERIOR OF THE ROOT BALL.
- SOIL USED FOR BACKFILLING ALL PLANTS SHALL CONSIST OF THE SOIL EXCAVATED AT THE TIME OF PLANTING. BACKFILL EACH HOLE ABOUT 2/3. FLOOD THE PLANT WITH WATER AND ALLOW SOIL TO SETTLE. ROOT STIMULATOR SHALL BE APPLIED AT THE TIME OF WATERING. BACKFILL THE REMAINING 1/3 OF THE HOLE NOT EXCEEDING THE ROOT COLLAR OR THE TOP OF THE ROOT BALL. ALL EXCESS EXCAVATED SOIL SHALL BE REMOVED FROM THE PLANTING SITE.
- IN AREAS WHERE COMPACTED SOIL EXISTS LOOSEN SOIL BEYOND THE PLANTING HOLE APPROXIMATELY 3 FEET IN DIAMETER FROM THE BASE OF THE TREE.
- APPLICATION OF MULCH: PLACE 2 TO 4 INCHES OF MULCH AROUND ALL TREES TO COVER AN AREA APPROXIMATELY 3 FEET IN DIAMETER. DO NOT MOUND MULCH AGAINST THE TREE TRUNK.
- FINAL OPERATIONS: REMOVE ALL REMAINING TAGS, TIES, TREE WRAP AND TRANSIT PROTECTORS FROM TREES. INSTALL TREE GUARD AS SPECIFIED. STAKES AND GUYS ARE NOT REQUIRED BUT MAY BE NEEDED WHERE TREES ARE LOCATED IN EXTREMELY WINDY CONDITIONS OR REQUIRED BY THE CITY FORESTER OR HIS DESIGNEE. IN NO CASE SHALL TREES THAT HAVE SETTLED OUT OF PLUMB BE PULLED UPRIGHT USING GUY WIRES. STAKING AND GUYING METHOD SHOULD BE APPROVED BY THE CITY FORESTER BEFORE INSTALLING.
- REMOVE ALL EXCESS AND WASTE MATERIALS FROM THE SITE PROMPTLY. EXISTING TURF OR ANY OTHER CONDITIONS DAMAGED DURING PLANTING SHALL BE REPAIRED. WHEN COMPLETED, THE AREA SHALL BE NEAT AND CLEAN.

EXISTING LEGEND

*NOTE: NOT ALL SYMBOLS MAY BE APPLICABLE TO THIS PLAN

SYMBOL	DESCRIPTION
EMT	ELECTRIC METER
GA	GUY ANCHOR
LP	LIGHT POLE
PP	POWER POLE
STORM	
ES	END SECTION
CI	CURB INLET
FOM	FIBER OPTIC MARKER
TPD	TELEPHONE PEDESTAL
TRAFFIC	
TSP	TRAFFIC SIGNAL POLE
TSV	TRAFFIC SIGNAL VAULT
SURVEY MARKERS	
□	FOUND SECTION CORNER (MONUMENTATION AS NOTED)
○	FOUND PROPERTY CORNER (MONUMENTATION AS NOTED)
◆	BENCHMARK - CONTROL POINT
MISCELLANEOUS	
—	FENCE; CHAIN LINK, STEEL OR ALUMINUM
—	VINYL OR PLASTIC
—	FENCE; STOCKADE, WOOD,
MB	MAILBOX
SW	EXISTING TREELINE
—	SIDEWALK
●	TREE
●	TREE, EVERGREEN

PROPOSED LEGEND

*NOTE: NOT ALL SYMBOLS MAY BE APPLICABLE TO THIS PLAN

SYMBOL	DESCRIPTION
—	CONTOURS 460
—	CONTOURS 459
—	TREE
—	BUSH
—	STORM MANHOLE
—	AREA INLET
—	CURB INLET
—	GRATED INLET
—	FLARED END SECTION
—	STORM SEWER
—	GRATED MANHOLE
—	STORM DESIGNATOR
—	DRAINAGE PIPE
—	SANITARY MANHOLE
—	SANITARY SEWER
—	CLEAN OUT
—	SANITARY DESIGNATOR
—	LIGHT POLE
—	POWER POLE
—	OVERHEAD UTILITY
—	UNDERGROUND ELECTRIC
—	UNDERGROUND TELEPHONE
—	GAS LINE
—	GAS VALVE
—	GAS METER
—	GAS MARKER
—	WATER LINE
—	WATER VALVE
—	WATER METER
—	FIRE HYDRANT
—	SIGN
—	LIGHT STANDARD
—	FENCE
—	BOLLARD
—	RETAINING WALL
—	CONCRETE PAVEMENT
—	GUARD RAIL
—	PROPERTY LINE
—	EASEMENT
—	SETBACK

SPECIES DIVERSITY - NW BARRY RD

* IF LESS THAN 50 TREES, THEN NOT MORE THAN 50% MAY BE OF A SINGLE GENUS.

RED MAPLE - 10 PROPOSED = 42%
SERVICEBERRY - 7 PROPOSED = 29%
RED OAK - 7 PROPOSED = 29%

TOTAL - 24 PROPOSED STREET TREES

SPECIES DIVERSITY - NORTH PLATTE PURCHASE DR.

* IF LESS THAN 50 TREES, THEN NOT MORE THAN 50% MAY BE OF A SINGLE GENUS.

ZELKOVA - 8 PROPOSED = 50%
SERVICEBERRY - 8 PROPOSED = 50%

TOTAL - 16 PROPOSED STREET TREES

DATE OF PLANTING

THE DATE OF TREE PLANTING IS TO BE DETERMINED.

** CONTRACTOR SHALL FIELD VERIFY LOCATIONS OF ALL UTILITIES BEFORE STARTING WORK AND INFORM CIVIL ENGINEER OR LANDSCAPE ARCHITECT OF POSSIBLE UTILITY CONFLICTS WITH PROPOSED LANDSCAPE BEFORE BEGINNING WORK.

STREET R.O.W. PLANT SCHEDULE ONLY

LARGE & MEDIUM DECIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME	SPACING	SIZE	COMMENTS
	10	Acer rubrum 'red sunset'	Rd Maple	As Shown	2" Cal. Min.	B&B
	7	Quercus rubra	Red Oak	As Shown	2" Cal. Min.	B&B
	8	Zelkova serrata 'JFS-KWI'	City Sprite zelkova	As Shown	2" Cal. Min.	B&B
SMALL DECIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME	SPACING	SIZE	COMMENTS
	15	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance® Apple Serviceberry	As Shown	1.5" Cal. Min.	B&B SINGLE STEM
GROUND COVER	QTY	BOTANICAL NAME	COMMON NAME	SPACING	SIZE	COMMENTS
	TBD		AREA TO BE TURF			

** PLANT SCHEDULE ON THIS SHEET SHOWS TREES WITHIN THE RIGHT-OF-WAY ONLY. SEE SHEET L1.0 FOR ON-SITE LANDSCAPE.

PLANT GUARANTEE & MAINTENANCE REQUIREMENTS

- THE CITY FORESTER OR HIS DESIGNEE SHALL HAVE THE RIGHT TO INSPECT ALL TREES PLANTED IN THE CITY RIGHT-OF-WAY PRIOR TO PLANTING.
- REJECTED TREES SHALL BE PROMPTLY REMOVED AND REPLACED.
- MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER EACH PLANT IS PLANTED AND CONTINUE UNTIL ITS ACCEPTANCE HAS BEEN CONFIRMED BY THE CITY FORESTER OR HIS DESIGNEE.
- ALL TREES SHALL BE GUARANTEED BY THE DEVELOPER TO BE IN VIGOROUS GROWING CONDITION AT THE TIME OF PLANTING. ACCEPTANCE OF PLANT MATERIAL SHALL BE FOR GENERAL CONFORMANCE TO SPECIFIED SIZE, CHARACTER, AND QUALITY AND SHALL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR FULL CONFORMANCE TO THE CONTRACT DOCUMENTS, INCLUDING CORRECT SPECIES AND/OR CULTIVAR.
- DEVELOPER SHALL PROMPTLY RAISE AND STRAIGHTEN TREES THAT SETTLE OR LEAN, FOR A PERIOD OF 18 MONTHS.
- DEVELOPER WILL TREAT FOR ANY DISEASE, OR INSECT PROBLEM THAT COULD CAUSE SIGNIFICANT HARM TO THE TREE.
- DEVELOPER WILL GUARANTEE AND REPLACE ANY TREE THAT DIES FOR A PERIOD OF 18 MONTHS. THE CITY FORESTER OR HIS DESIGNEE SHALL HAVE THE RIGHT TO INSPECT TREES FOR GROWING CONDITION, AND REQUIRE REPLACEMENT IF NECESSARY. TO BE CONSIDERED ACCEPTABLE, PLANTS SHALL BE FREE OF DEAD OR DYING BRANCHES AND BRANCH TIPS AND SHALL BEAR FOLIAGE OF NORMAL DENSITY, SIZE, AND COLOR. REPLACEMENTS SHALL BE SUBJECT TO ALL REQUIREMENTS STATED IN THIS SPECIFICATION. REPLACEMENT TREES WILL ALSO BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE THAT THEY WERE PLANTED.
- DEVELOPER WILL NOT BE HELD RESPONSIBLE FOR TREES THAT ARE VANDALIZED, OR OTHERWISE DAMAGED DUE TO CIRCUMSTANCES BEYOND THE CONTRACTOR'S CONTROL. ANY TREES IDENTIFIED AS DYING DUE TO CIRCUMSTANCES BEYOND THE CONTROL OF THE DEVELOPER, MUST BE INSPECTED AND VERIFIED BY A REPRESENTATIVE FROM THE CITY FORESTER'S OFFICE.

USER: Kurt Kutter TAB: L2.0
DATE: October 1, 2022 - 4:30:08 PM
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DEVELOPER/OWNER:
AVENUE DEVELOPMENT, LLC
8485 KEYSTONE CROSSING BLVD, STE. 140
INDIANAPOLIS, IN 46240
PHONE: 414-688-8565

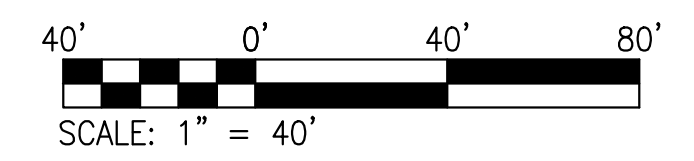
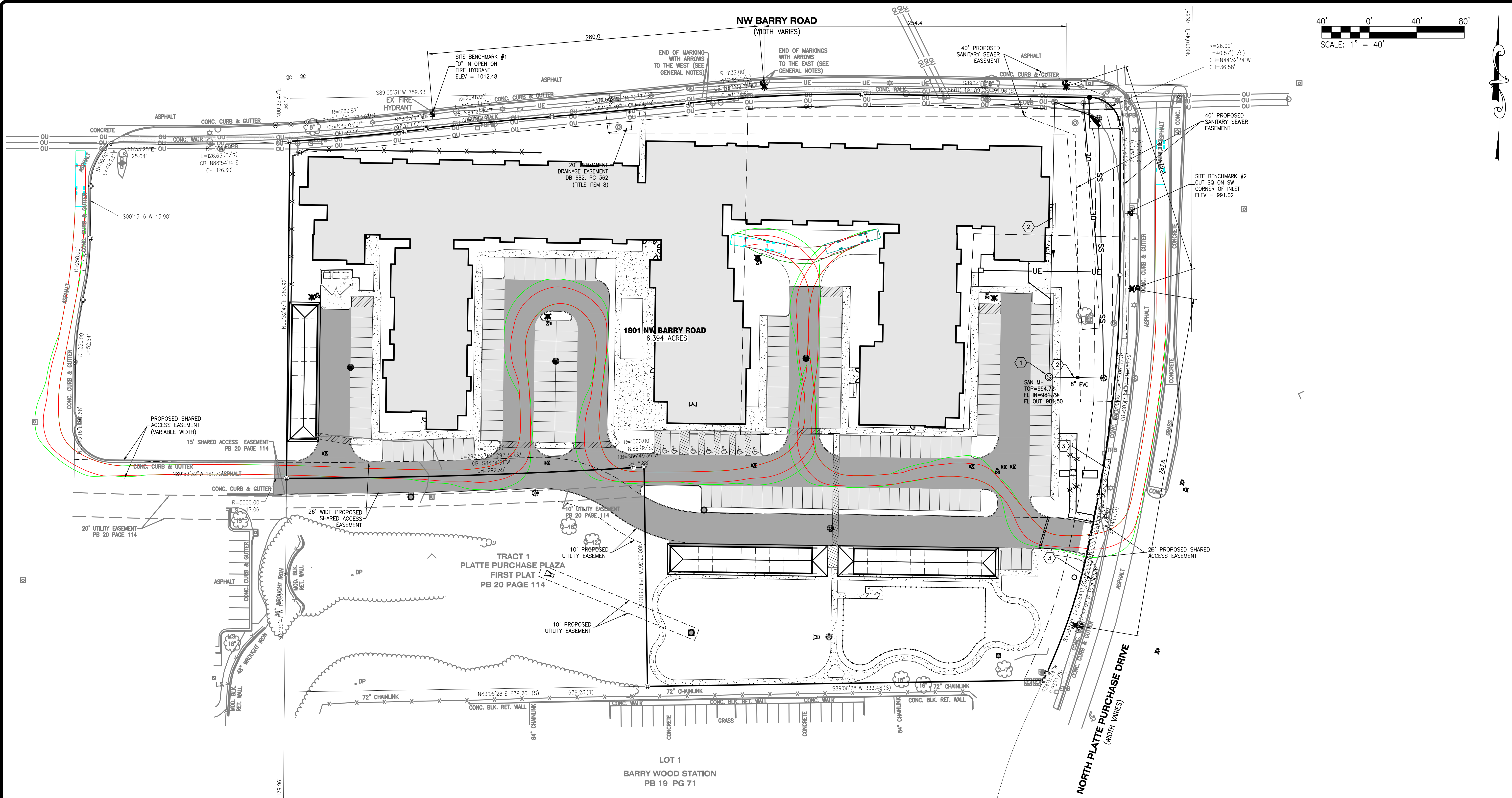
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P.E., #2018021213
on 09/30/2022.
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DATE: 09/30/2022

VIVA BENE - AVENUE
1801 NW BARRY ROAD
KANSAS CITY, MO 64151
STREET TREE PLAN

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636.970.0366
CIVIL ENGINEERING / SURVEYING / PLANNING / LANDSCAPE ARCHITECTURE
1001 N. Main Street, Suite 100, St. Louis, MO 63102

DESIGN/CALC BY: LFD
DRAWN BY: MAB
CHECKED BY: KAK
DRAWING SCALE: AS SHOWN
DATE: 8/26/2022
Job Number: 22-0119
Sheet Number: L2.0

USER: Kurt Kutter TAB: fire truck exhibit
 DATE: October 1, 2022 - 4:37:34 PM
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DATE	NO	REVISION DESCRIPTION
09/30/2022	1	PER CITY COMMENTS

DEVELOPER/OWNER:
AVENUE DEVELOPMENT, LLC
 8435 KEYSTONE CROSSING BLVD, STE. 140
 INDIANAPOLIS, IN 46240
 PHONE: 414-688-8565

THE PROFESSIONAL, WHOSE SIGNATURE AND PERSONAL SEAL APPEAR HEREON, HAS PREPARED THIS PLAN FOR THE DEVELOPER/OWNER AND HAS NOT CONDUCTED A VISUAL SURVEY OF THE PROPERTY TO WHICH THIS PLAN REFERS. THE PROFESSIONAL'S SIGNATURE, REPORTS, OR OTHER DOCUMENTS OR INSTRUMENTS NOT SPECIFICALLY REFERRED TO IN THIS PLAN SHALL BE USED TO DETERMINE THE EXACT LOCATION OF THE PROPERTY TO WHICH THIS PLAN REFERS.

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DATE: 09/30/2022

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 KANSAS CITY, MO 64151

TURNING EXHIBIT

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cole
 CIVIL ENGINEERING / SURVEYING / PLANNING / LANDSCAPE ARCHITECTURE
COLE & ASSOCIATES, INC. IS AN EQUAL OPPORTUNITY A.E.C. FIRM EMPLOYING WOMEN AND MINORITIES

DESIGN/CALC BY	LFD
DRAWN BY	MAB
CHECKED BY	KAK
DRAWING SCALE	AS SHOWN
DATE	8/26/2022
Job Number	22-0119
Sheet Number	1 OF 1


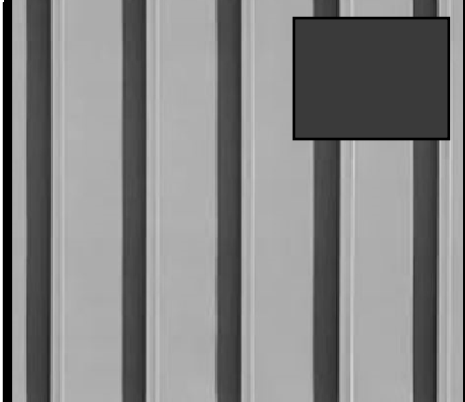

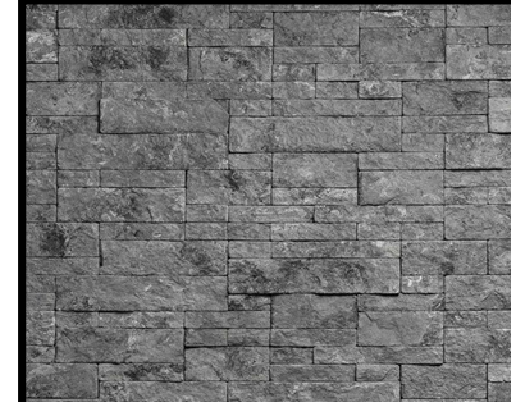
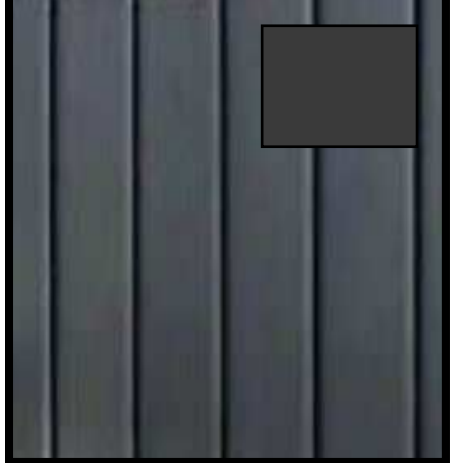
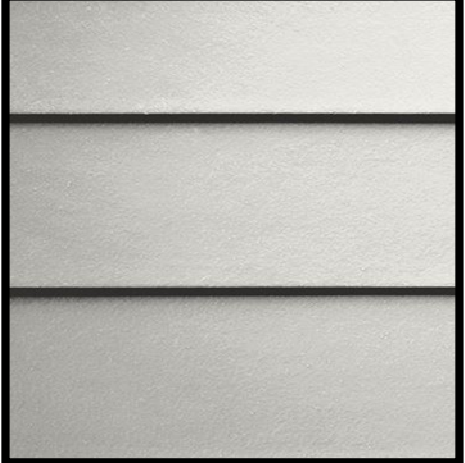
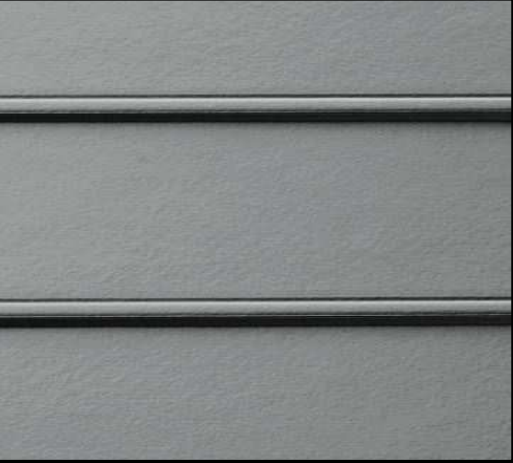

RENDERING A - OVERALL SOUTH VIEW



RENDERING B - FRONT ENTRY



MATERIAL LEGEND

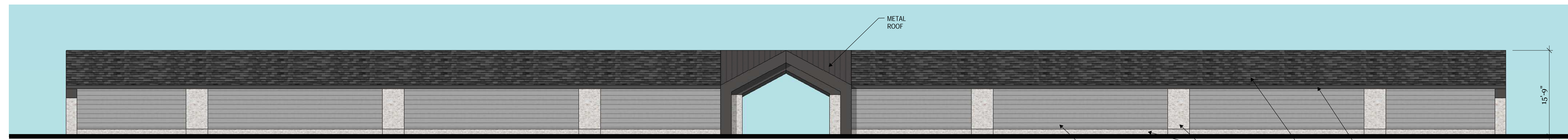
 ASPHALT SHINGLE PEWTER	 METAL ROOFING CHARCOAL	 BRICK MASONRY VENEER WHITE WASHED - RED BRICK	 STONE MASONRY VENEER GRAY COLORED STONE
 FIBER CEMENT PANEL WITH BOARD AND BATTEN CHARCOAL	 FIBER CEMENT SIDING 1	 FIBER CEMENT SIDING 2 STABLE GRAY OR SIMILAR	 FIBER CEMENT TRIM BOARDS CHARCOAL
 ALUMINUM STOREFRONT / HANDRAILS BLACK	 METAL FASCIAS CHARCOAL		

REVISIONS

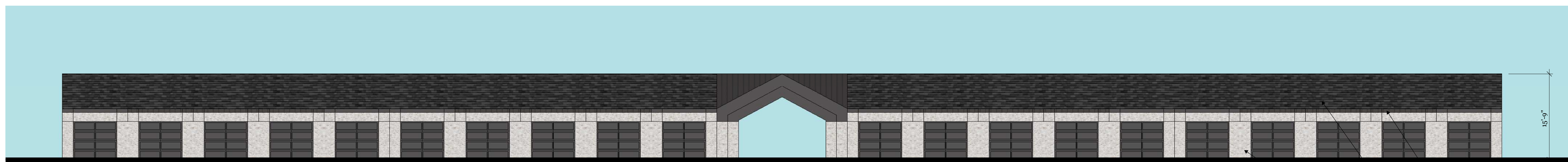
SHEET TITLE
**RENDERING /ACCESSORY
BUILDING ELEVATIONS**

SEAL

PROJECT NO. 05-2022-001-MO
PHASE PRELIMINARY
DATE 9/23/2022
SCALE 1" = 10'



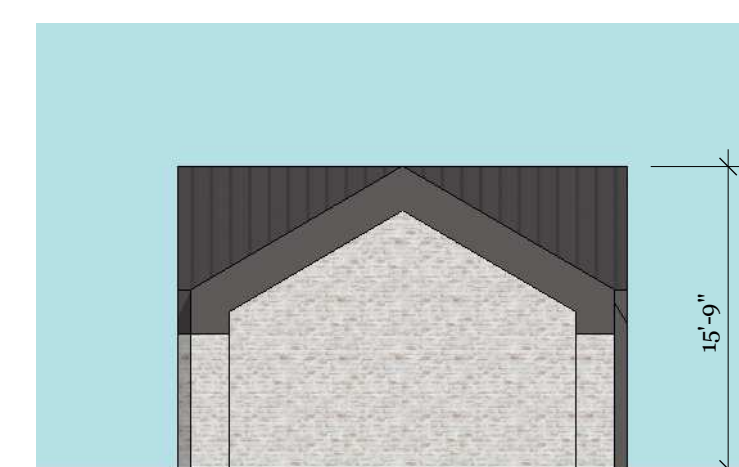
A PRELIMINARY GARAGE SOUTH ELEVATION - COLOR
SCALE: 1" = 10'



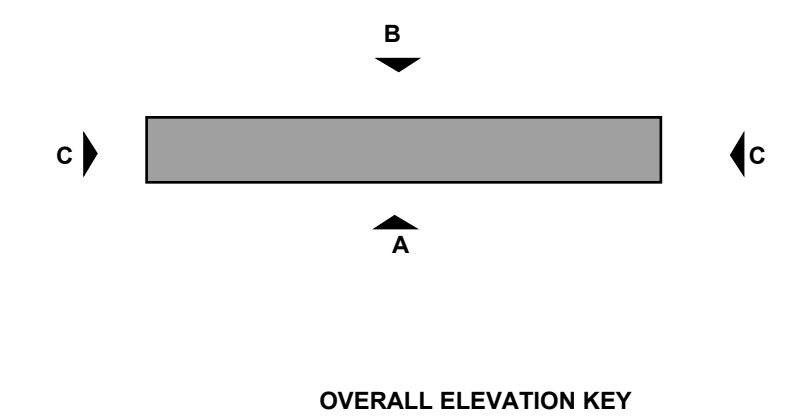
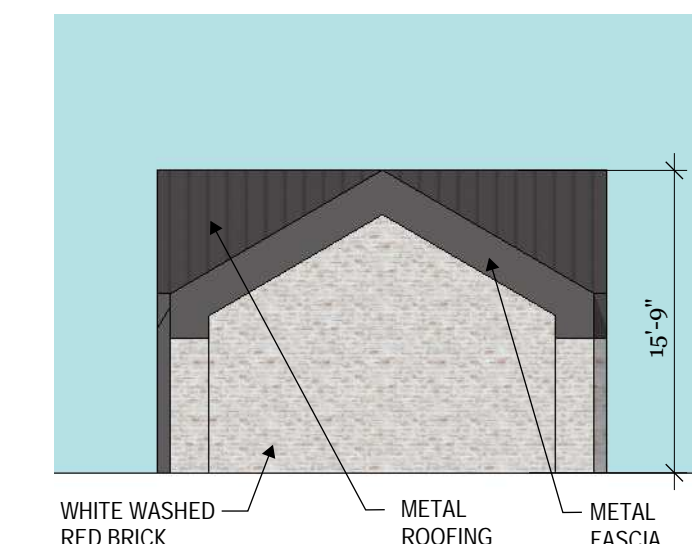
B PRELIMINARY GARAGE NORTH ELEVATION - COLOR
SCALE: 1" = 10'



D PRELIMINARY DUMPSTER FRONT
SCALE: 1" = 10'



C PRELIMINARY EAST AND WEST ELEVATION - COLOR
SCALE: 1" = 10'

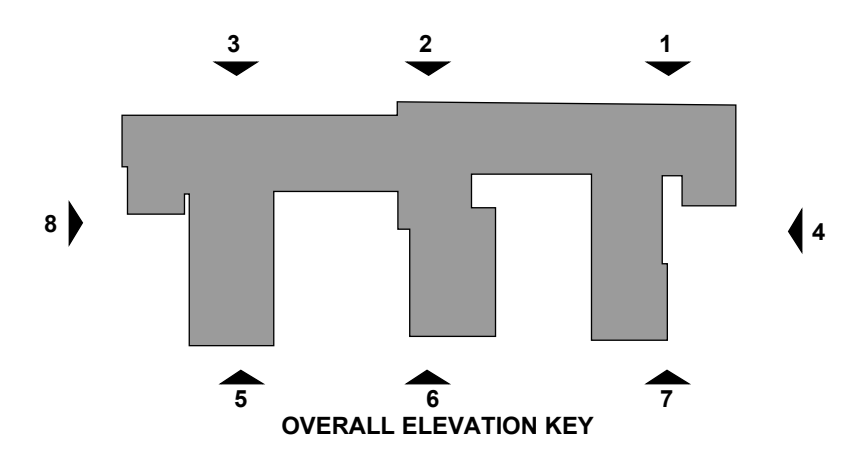




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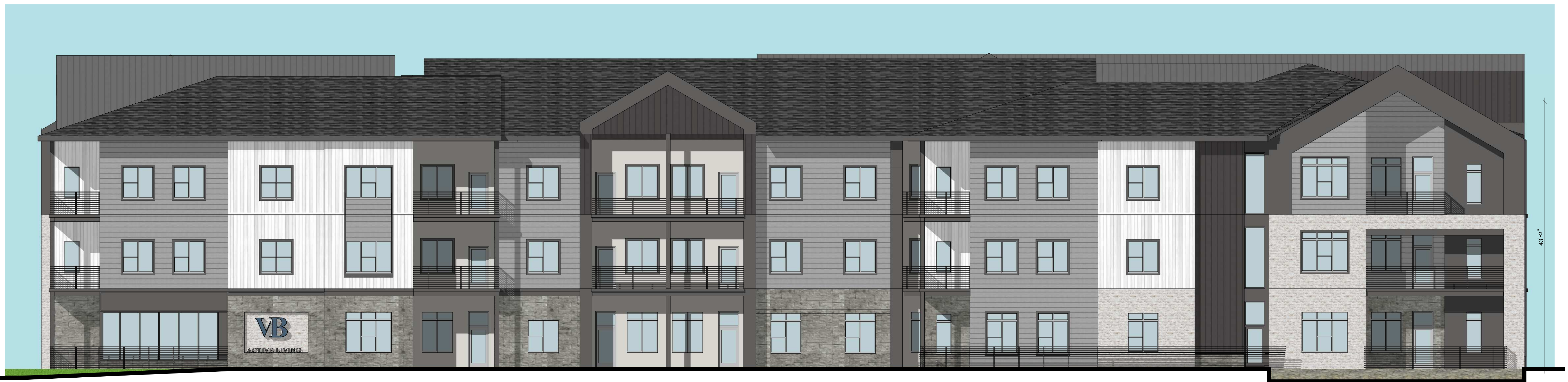


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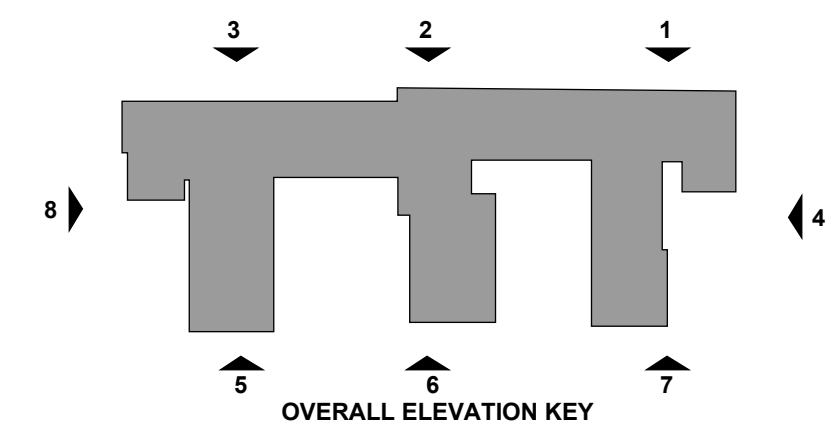




3 PRELIMINARY NORTH ELEVATION - COLOR
SCALE: 1/8" = 1'-0"

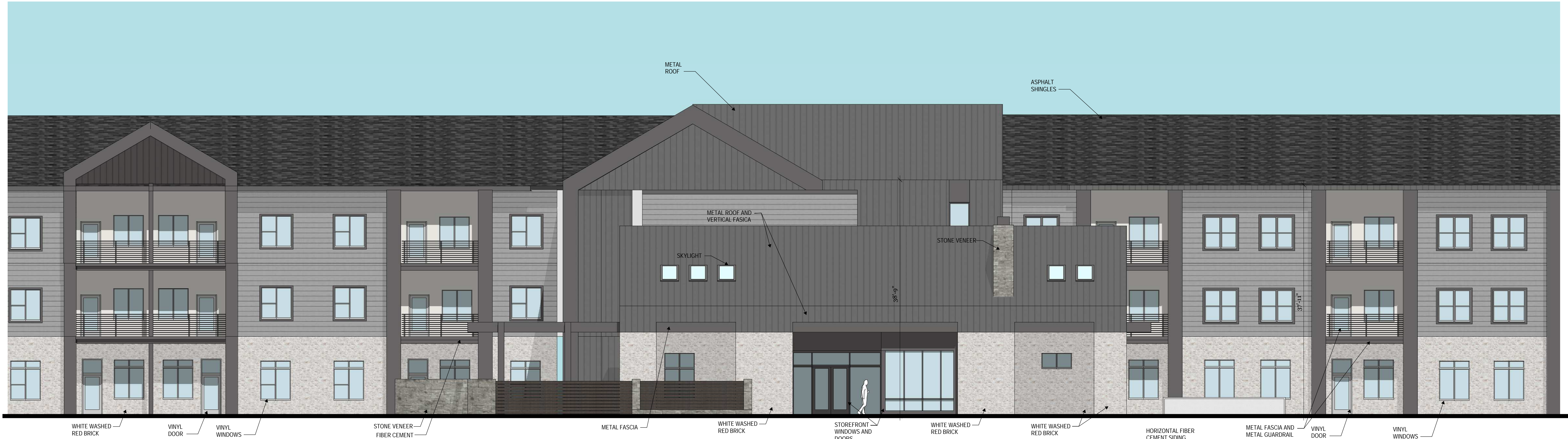


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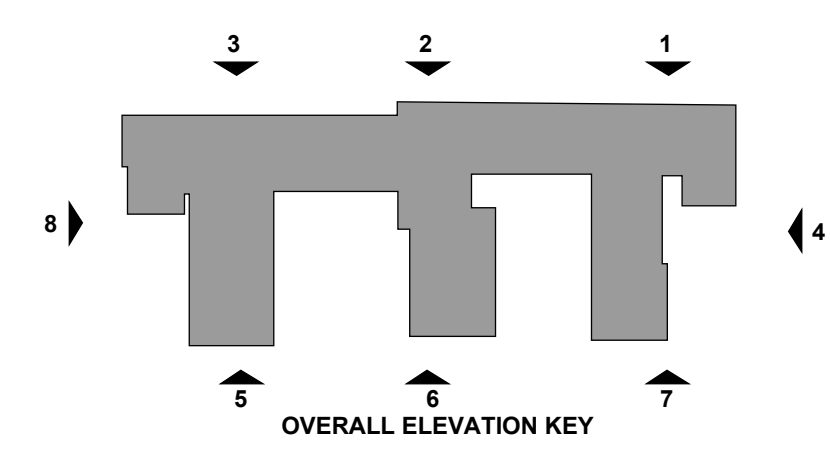




5 PRELIMINARY SOUTH ELEVATION - COLOR
SCALE: 1/8" = 1'-0"



6 PRELIMINARY SOUTH ELEVATION - COLOR
SCALE: 1/8" = 1'-0"



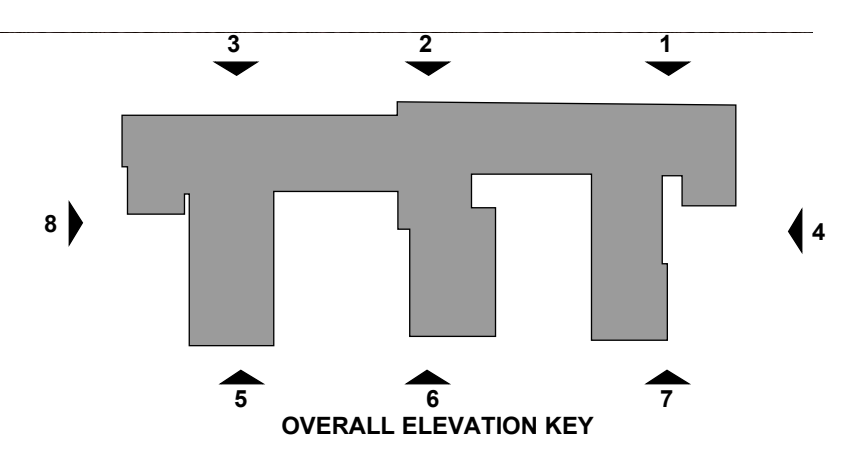


7 PRELIMINARY SOUTH ELEVATION - COLOR
SCALE: 1/8" = 1'-0"



8 PRELIMINARY WEST ELEVATION - COLOR
SCALE: 1/8" = 1'-0"

GRADE/RETAINING
WALL IN FRONT OF
ELEVATION



PROJECT TITLE
**KCMO - VIVA BENE
ACTIVE ADULT COMMUNITY**

LOCATION
SOUTHEAST CORNER
NW BARRY ROAD AND N PLATTE PURCHASE DR

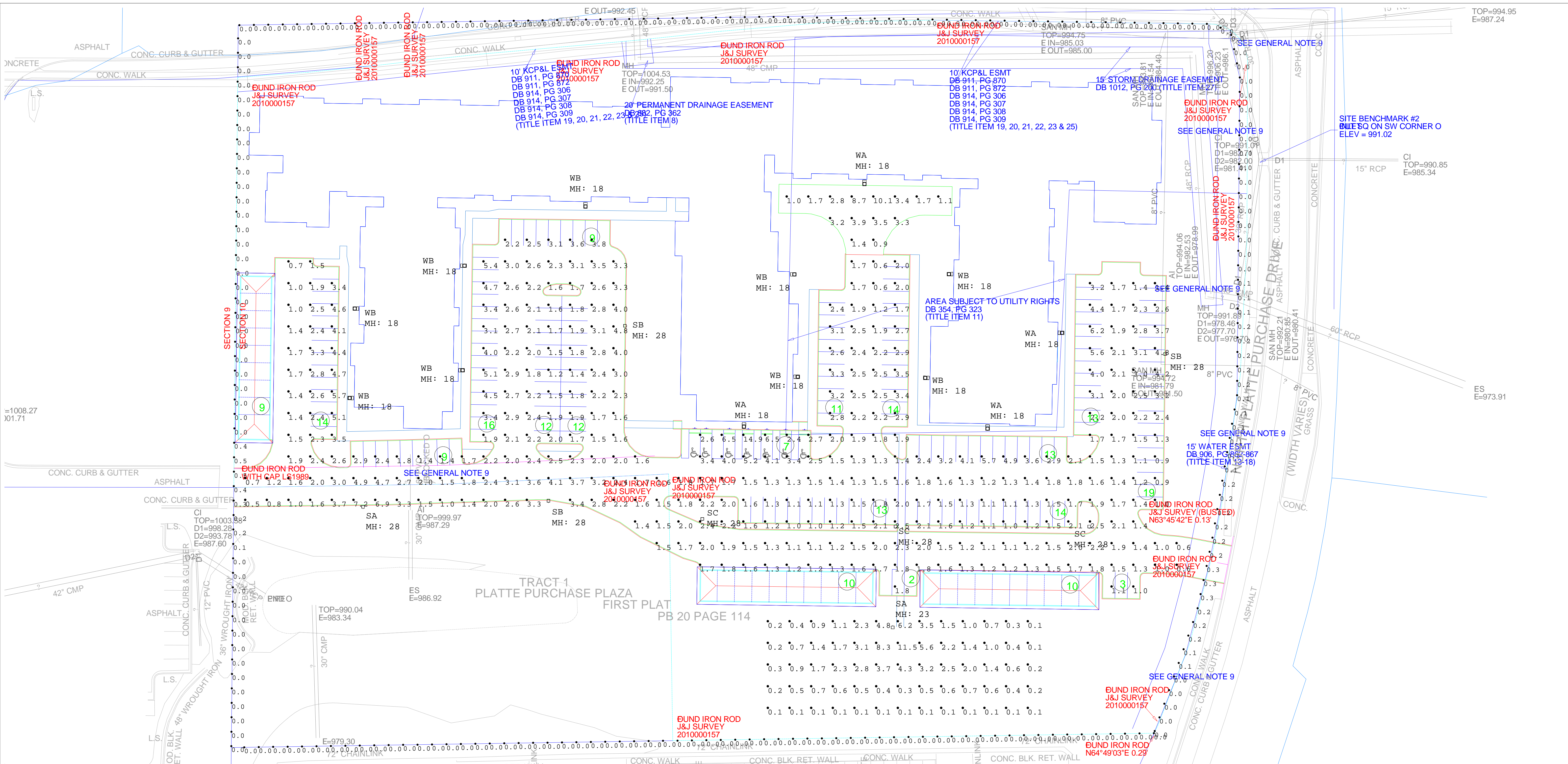
REVISIONS

SHEET TITLE
BUILDING ELEVATIONS

SEAL

PROJECT NO. 05-2022-001-MO
PHASE PRELIMINARY
DATE 9/23/2022
SCALE 1/8" = 1'-0"

A204



Symbol	Label	Qty	LLF	Description	Lum. Watts
□	SA	2	0.900	NLS NV-1-T3-64L-1-40K8-UNV-DPS3-XX / POLE: NLS SSSP-25-4S-11G-12BC-SGL-XX-136	205
□	SB	3	0.900	NLS NV-1-T4-64L-1-40K8-UNV-DPS3-XX / POLE: NLS SSSP-25-4S-11G-12BC-SGL-XX-136	205
□	SC	3	0.900	NLS NV-1-T5-64L-1-40K8-UNV-DPS3-XX / POLE: NLS SSSP-25-4S-11G-12BC-SGL-XX-136	205
□	WA	4	0.900	NLS NV-1-T3-64L-7-40K8-UNV-WM-XX	136
□	WB	9	0.900	NLS NV-1-T4-64L-7-40K8-UNV-WM-XX	136

Calculation Summary					
Label	Avg	Max	Min	Avg/Min	Max/Min
DOG PARK AREA (0'AFF)	1.45	11.5	0.1	14.50	115.00
PARKING LOT (0'AFF)	2.31	14.9	0.5	4.62	29.80
PROPERTY LINE (0'AFF)	0.03	0.5	0.0	N.A.	N.A.

1. Parking Lot Calculation Points Set at 0'-0" AFF, 10'x10' spacing at property line, 15'x15' spacing at parking lot
 2. Area Fixture Mounting Height: 28' AFF / 25' Pole Height / 3' Concrete Base
 -Building Wall Mounts: 18'AFF
 -Area Fixture Dog Park: 23'AFF / 20' Pole Height / 3' Concrete Base

THE LIGHTING CALCULATIONS PROVIDED IN THIS REPORT APPROXIMATE THE LIGHT LEVELS EXPECTED WITHIN THE SPACE BASED ON AN OPEN ENVIRONMENT AND BASED ON INFORMATION PROVIDED TO MEGLIO AND ASSOCIATES. PLEASE VERIFY THE DATA LISTED TO ENSURE ACCURACY. ANY VARIANCE IN COLOR/COMPOSITION OF WALLS CCT, SPACING, AND ANY OTHER SUBSTANTIAL FACTORS OR CHANGES PROVIDED IN DRAWINGS WILL VOID THIS CALCULATION AND A NEW CALCULATION WILL NEED TO BE MADE. THIS LAYOUT IS MEANT TO SHOW FIXTURE QUANTITY AND PERFORMANCE.

PROJECT NAME:	VIVE BENE PARKING LOT
PROJECT LOCATION:	KANSAS CITY, MO
DATE:	8/25/2022
COMPANY:	MEGLIO & ASSOCIATES (JML)

Public Meeting Notice

Please join _____

for a meeting about _____

case number _____

proposed for the following address:

Meeting Date:

Meeting Time:

Meeting Location:

Project Description:

If you have any questions, please contact:

Name:

Phone:

Email:

You are receiving this notice in accordance with city code that requires a public meeting with neighborhoods for certain types of development projects. You can read more about the process requirements at kcmo.gov/publicengagement



If you would like further information on this proposed project, please visit the city's planning and permitting system, Compass KC, at Compasskc.kcmo.org. You may search by project type and address/case number to find project details.

Sincerely,



CITY PLANNING & DEVELOPMENT

Public Meeting Summary Form

Project Case #

Meeting Date:

Meeting Location:

Meeting Time (include start and end time):

Additional Comments (optional):