



CITY PLAN COMMISSION STAFF REPORT

City of Kansas City, Missouri
City Planning & Development Department
www.kcmo.gov/cpc

July 3, 2024

Project Name

Oak Ridge Practice Field

Docket # 8**Request**

CD-CPC-2024-00068
Development Plan – Non-Residential

Applicant

Jacob Dobbs
Kaw Valley Engineering

Owner

Charles Cuda

Location 5870 NE Oak Ridge Rd
Area About 24.7 Acres
Zoning B3-2
Council District 2nd
County Clay
School District North Kansas City 250

Surrounding Land Uses

North: Residential, zoned R-7.5
South: Commercial, zoned B3-2
East: Interstate 35
West: Undeveloped, zoned B3-2 & R-7.5

Land Use Plan

The Briarcliff/Winnwood Area Plan recommends open space buffer for this location.

Major Street Plan

NE Oak Ridge Drive is not identified on the City's Major Street Plan.

APPROVAL PROCESS**PROJECT TIMELINE**

The application for the subject request was filed on 5/1/2024. No scheduling deviations from 2024 Cycle 7.1 have occurred.

REQUIRED PUBLIC ENGAGEMENT

Public engagement as required by 88-505-12 does apply to this request. The applicant hosted a meeting on 6/24/2024. A summary of the meeting is attached to the staff report, see Attachment #3.

EXISTING CONDITIONS

The large site is generally located within a floodway and floodplain. The northern portion of the site once served as a golf driving range.

SUMMARY OF REQUEST + KEY POINTS

A request to approve a non-residential development plan in district B3-2 to allow for outdoor and indoor sports and recreation on about 24.7 acres generally located at Interstate 35 and NE Oak Ridge Drive.

CONTROLLING + RELATED CASES

Ord. No. 240344 - Approving a development plan on about 30 acres in District B3-2 generally located at N.E. Oak Ridge Drive and Interstate 35 to allow for outdoor sports and recreation uses. (CD-CPC-2024-00010)

PROFESSIONAL STAFF RECOMMENDATION

Docket # Recommendation

8 APPROVAL WITH CONDITIONS

PLAN REVIEW & ANALYSIS

The applicant is proposing a two phased development beginning with an outdoor practice field in phase one and a 24,000 square foot indoor training facility for phase two. The proposed plan triggers Council approval due to the overall development being more than 10 acres. No bleachers or lights are being proposed with this development as the facility will only be used by a private club.

Standards	Applicability	Meets	More Information
Lot and Building Standards (88-120)	Yes	Yes	
Tree Preservation and Protection (88-424)	Yes	Yes	
Parking and Loading Standards (88-420)	Yes	Yes, subject to conditions	The applicant is removing .46 acres of trees.
Landscape and Screening Standards (88-425)	Yes	Yes, subject to conditions	
Outdoor Lighting Standards (88-430)	Yes	Yes	No outdoor lights are being proposed. If lights are installed in the future, they will be subject to 88-430.
Sign Standards (88-445)	Yes	Yes, subject to conditions	
Pedestrian Standards (88-450)	Yes	Yes	

SPECIFIC REVIEW CRITERIA**Development Plans, Project Plan, or Site Plan (88-516-05)**

In order to be approved, a development plan, project plan, or site plan must comply with all of the following criteria:

A. The plan must comply with all standards of the Zoning and Development Code and all other applicable city ordinances and policies;

The proposed plan complies with all standards of the Zoning and Development Code.

B. The proposed use must be allowed in the district in which it is located;

The proposed use, sports and recreation participant (indoor/outdoor) is permitted in the B3-2 zoning district.

C. Vehicular ingress and egress to and from the site, and circulation within the site must provide for safe, efficient, and convenient movement of traffic not only within the site but on adjacent roadways;

The plan provides for safe vehicular ingress and egress to the site.

D. The plan must provide for safe, efficient, and convenient non-motorized travel opportunities, being pedestrian and bicycle movement, on the subject site;

The proposed two phased development of an outdoor and indoor field will only be used for private athletic clubs.

E. The plan must provide for adequate utilities based on City standards for the particular development proposed.

The plan does provide for adequate utilities based on City standards.

F. The location, orientation, and architectural features, including design and material, of buildings and other structures on the site must be designed to be compatible with adjacent properties.

The proposed structure is compatible with adjacent properties.

G. Landscaping, berms, fences, and/or walls must be provided to buffer the site from undesirable views, noises, lighting, or other off-site negative influences and to buffer adjacent properties from negative influences that may be created by the plan.

The site is buffered by existing vegetation and Interstate 35 which provides a buffer to adjacent properties.

H. The design of streets, drives, and parking areas within the project should result in a minimum of area devoted to asphalt or other impervious surfaces consistent with the needs of the project and city code requirements.

The applicant is proposing a minimum amount of devoted impervious surfaces.

I. The plan must identify trees to be removed and trees to be preserved during the development of the subject property with the goal of saving trees that are not required to be removed for the development of the property.

The applicant will be removing .46 acres of trees.

ATTACHMENTS

1. Conditions Report
2. Applicants Submittal
3. Public Engagement Materials

PROFESSIONAL STAFF RECOMMENDATION

City staff recommends **APPROVAL WITH CONDITIONS** as stated in the conditions report.

Respectfully Submitted,



Andrew Clarke, AICP
Planner



Plan Conditions

Report Date: June 27, 2024

Case Number: CD-CPC-2024-00068

Project: Oak Ridge Practice Field

Condition(s) by City Planning and Development Department. Contact Andrew Clarke at (816) 513-8821 / Andrew.Clarke@kcmo.org with questions.

1. All signage shall conform to 88-445 and shall require a sign permit prior to installation.
2. The developer shall submit an affidavit, prepared by an engineer licensed in the State of Missouri, verifying that all outdoor lighting has been installed in accordance with approved plans and that lighting levels do not exceed that shown on the approved lighting plan at the property lines prior to Certificate of Occupancy.
3. The developer shall screen all roof and/or ground mounted mechanical and utility equipment in compliance with 88-425-08.
4. The developer shall submit an affidavit, completed by a landscape architect licensed in the State of Missouri, verifying that all landscaping required of the approved plan has been installed in accordance with the plan and is healthy prior to Certificate of Occupancy.
5. The developer shall secure approval of a project plan from the City Plan Commission prior to the issuance of a building permit for phase II.
6. The following corrections shall be resolved prior to ordinance request:

Ensure that the storm water detention basin is not located within the floodway or 100 year floodplain.

Show how the proposed building will be served by sanitary sewer. Show the sanitary service line on the utility plans.

Show and label location and size of existing and proposed public water mains and private service lines and fire hydrants on utility plan.

Verify base flood elevation identified on plan as 870.00.

Evaluate the location for planned storm water detention basin relative to floodplain.

Condition(s) by Fire Department. Contact Michael Schroeder at (816) 513-4604 / michael.schroeder@kcmo.org with questions.

7. • The developer shall meet the fire flow requirements as set forth in Appendix B of the project International Fire Code 2018. (IFC-2018 § 507.1)
8. • Fire hydrants shall be installed and operable prior to the arrival of any combustible building materials onto the site. (IFC-2018 § 501.4 and 3312.1; NFPA 241-2013 § 8.7.2)
 - Fire hydrant distribution shall follow IFC-2018 Table C102.1
9. • A required fire department access roads shall be an all weather surface. (IFC-2012: § 503.2.3)
 - Fire Department access roads shall be provided prior to construction/demolition projects begin. (IFC-2018 § 501.4 and 3310.1; NFPA 241-2013 § 7.5.5)
 - Required fire department access roads shall designed to support a fire apparatus with gross axle weight of 85,000 pounds. (IFC-2018: § 503.2.3)
 -
 - Shall provide fire lane signage on fire access drives.
10. • Dead-end fire apparatus access roads in excess of 150 feet (45 720 mm) in length shall be provided with an approved area for turning around fire apparatus (i.e., cul-de-sac, hammerhead Appendix D). (IFC-2018: § 503.2.5)
 - The turning radius for fire department access roads shall be 30 feet inside and 50 feet outside radius. (IFC-2018: § 503.2.4)

Condition(s) by Public Works Department. Contact Terry Thomas at (816) 513-2510 / Terry.A.Thomas@kcmo.org with questions.

Condition(s) by Public Works Department. Contact Terry Thomas at (816) 513-2510 / Terry.A.Thomas@kcmo.org with questions.

11. The developer shall submit a Macro storm drainage study with the first Plat or Phase, from a Missouri-licensed civil engineer to the Land Development Division showing compliance with current adopted standards in effect at the time of submission, including Water Quality BMP's, to the Land Development Division for review and acceptance for the entire development area, and submit Micro storm drainage study with each subsequent Plat or Phase showing compliance with the approved Macro and adopted standards. The developer shall secure permits to construct any improvements as necessary to mitigate impacts from rate, volume, and quality of runoff from each proposed phase, prior to recording the plat or prior to issuance of a Building Permit, whichever occurs first as required by the Land Development Division.
12. The developer shall pay impact fees as required by Chapter 39 of the City's Code of ordinances as required by the Land Development Division.
13. The developer shall submit plans for grading, siltation, and erosion control to Land Development Division for review and acceptance, provide a copy of the Storm Water Pollution Prevention (SWPP) plan submitted to the Missouri Dept. of Natural Resources (MDNR) and secure a Site Disturbance permit for any proposed disturbance area equal to one acre or more prior to beginning any construction activities.
14. The developer shall submit a final stream buffer plan to the Land Development Division for approval prior to issuance of any building permits and obtain permits for the Stream Buffer prior to removal of any mature riparian species within the buffer zones due to construction activities on the site, in accordance with the Section 88-415 requirements.
15. The developer must obtain a floodplain certificate from Development Services prior to beginning any construction activities with the floodplain.

Condition(s) by Water Services Department. Contact Heather Massey at (816) 513-2111 / heather.massey@kcmo.org with questions.

16. Water/Sewer Service lines shall serve only one lot or tract and shall not cross a separate lot or tract.
17. No water service tap permits will be issued until the public water main is released for taps.
18. The developer shall ensure that water and fire service lines should meet current Water Services Department Rules and Regulations. Prior to C of O.
<https://www.kcwater.us/wp-content/uploads/2022/05/2022-Rules-and-Regulations-for-Water-Service-Lines-Final.pdf>
19. The developer shall have a water flow test done to ensure there is adequate water pressure to serve the development.
South of River contact - Patrick Lewis 816-513-0423
North of River contact - Todd Hawes 816-513-0296

Condition(s) by Water Services Department. Contact Kirk Rome at (816) 513-0368 / kirk.rome@kcmo.org with questions.

20. Should public water main extension plans be required, then please submit plans signed and sealed by a Missouri PE through CompassKC for review, approval and contracting. Public Water main plans shall follow the KC Water Rules and Regulations for Water Main Extensions.

Condition(s) by Water Services Department. Contact Lucas Kaspar at (816) 513-2131 / Lucas.Kaspar@kcmo.org with questions.

21. The developer must submit a Macro storm drainage study with the first Plat or Phase, from a Missouri-licensed civil engineer to KC Water showing compliance with current adopted standards in effect at the time of submission, including Water Quality BMP's, to KC Water for review and acceptance for the disturbed area, and submit Micro storm drainage study with each subsequent Plat or Phase showing compliance with the approved Macro and adopted standards. The developer shall secure permits to construct any improvements as necessary to mitigate impacts from rate, volume, and quality of runoff from each proposed phase, prior to recording the plat or prior to issuance of a Building Permit, whichever occurs first as required by KC Water.
22. The developer must obtain the executed and recorded city approved grading, temporary construction, drainage/sewer, or any other necessary easements from the abutting property owner(s) that may be required prior to submitting any public improvements crossing properties not controlled by the developer and include said document(s) within the public improvement applications submitted for permitting.
23. The owner/developer must submit plans for grading, siltation, and erosion control to KC Water for review and acceptance, and secure a Site Disturbance permit for any proposed disturbance area equal to one acre or more prior to beginning any construction activities.

Condition(s) by Water Services Department. Contact Lucas Kaspar at (816) 513-2131 / Lucas.Kaspar@kcmo.org with questions.

24. The developer shall submit an analysis to verify adequate capacity of the existing sewer system as required by KC Water prior to issuance of a building permit to connect private system to the public sewer main and depending on adequacy of the receiving system, make other improvements may be required.
25. The developer must secure permits to extend sanitary and storm water conveyance systems to serve the development and determine adequacy of receiving systems as required by KC Water, prior to recording the plat or issuance of a building permit whichever occurs first.
26. The developer must grant any BMP and/or Surface Drainage Easements to the City as required by KC Water, prior to recording the plat or issuance of any building permits.
27. The developer must obtain a Floodplain Development Permit from Development Services prior to beginning any construction activities with the floodplain.
28. The developer must show the limits of the 100-year floodplain on the final plat and show the Minimum Low Opening Elevation (MLOE) of any structure on each lot that abuts a 100-year flood prone area (including detention basins and engineered surface drainage conveyances) on any plat and plan, as required by KC Water.
29. The developer shall obtain approval and any necessary permits from the United States Army Corps of Engineers for proposed wetland fills or alteration of the vegetated stream buffers prior to issuance of any site disturbance, grading, or stream buffer permits or approval of the final plat whichever occurs first.
30. The developer shall provide hydraulic information for any changes to the floodway and floodplain.

5870 NE OAK RIDGE DRIVE DEVELOPMENT PLAN KANSAS CITY, CLAY COUNTY, MISSOURI SEC. 28, TWP 51 N, RNG 32 W

SHEET LIST TABLE	
SHEET NUMBER	SHEET TITLE
C001	COVER SHEET
C010	300' SURROUNDING PROPERTY
C100	DEMOLITION PLAN - PHASE 1
C200	SITE AND DIMENSION PLAN - PHASE 1
C300	GRADING PLAN - PHASE 1
C400	EROSION CONTROL PLAN - PHASE 1
C500	FINAL STREAM BUFFER PLAN
C600	TREE PRESERVATION AND PROTECTION PLAN
C1100	DEMOLITION PLAN - PHASE 2
C1200	SITE AND DIMENSION PLAN 1 - PHASE 2
C1201	SITE AND DIMENSION PLAN 2 - PHASE 2
C1300	GRADING PLAN - PHASE 2
C1400	EROSION CONTROL PLAN - PHASE 2
C1500	UTILITY PLAN 1 - PHASE 2
C1501	UTILITY PLAN 2 - PHASE 2
A-201	EXTERIOR ELEVATIONS
L1	LANDSCAPE PLANS 1
L2	LANDSCAPE PLANS 2

BASIS OF BEARINGS

SOUTH 31°51'14" WEST ALONG THE EAST LINE OF LOT 1, TIMBER RIDGE DRIVING RANGE AS DETERMINED BY GLOBAL POSITIONING SYSTEM OBSERVATIONS USING MODOT VRS, 2018 GEOD, AND REFERENCED TO THE MISSOURI STATE PLANE COORDINATE SYSTEM, WEST ZONE (NAD83).

DATUM BENCHMARK

DATUM IS U.S. SURVEY FEET AND REFERS TO NAVD88 DATUM DERIVED FROM CONNECTIONS TO MODOT VRS. ORTHOMETRIC HEIGHT WAS CALCULATED USING THE GEOID18 MODEL.

CONTROL POINTS

CP#104	CP#103
60D NAIL	MAG NAIL
N=1104010.75'	N=1103747.00'
E=2786041.92'	E=2785913.44'
ELEV=830.62'	ELEV=804.54'

UTILITY INFORMATION

THE INFORMATION CONCERNING THE EXISTENCE, LOCATION, SIZE OR TYPE OF MATERIALS OF UNDERGROUND UTILITIES SHOWN HEREON, WHICH ARE NOT VISIBLE FROM THE SURFACE, HAS BEEN COMPILED FROM THE RECORDS OF THE VARIOUS UTILITY COMPANIES OR OTHER SOURCES OF INFORMATION ALONG WITH FIELD LOCATIONS OF PAINTED MARKINGS BY MISSOURI ONE CALL, TICKET NUMBER 210981090. THIS INFORMATION IS NOT TO BE CONSTRUED AS ACCURATE, COMPLETE NOR EXACT. ANY INFORMATION CONCERNING UNDERGROUND UTILITIES SHOWN HEREON MUST BE CONFIRMED BY THE DESIGN PROFESSIONAL PRIOR TO DESIGNING ANY IMPROVEMENTS WHICH MAY BE AFFECTED BY THIS INFORMATION OR BY THE CONTRACTOR PRIOR TO ANY CONSTRUCTION ACTIVITY.

SAFETY NOTICE TO CONTRACTOR

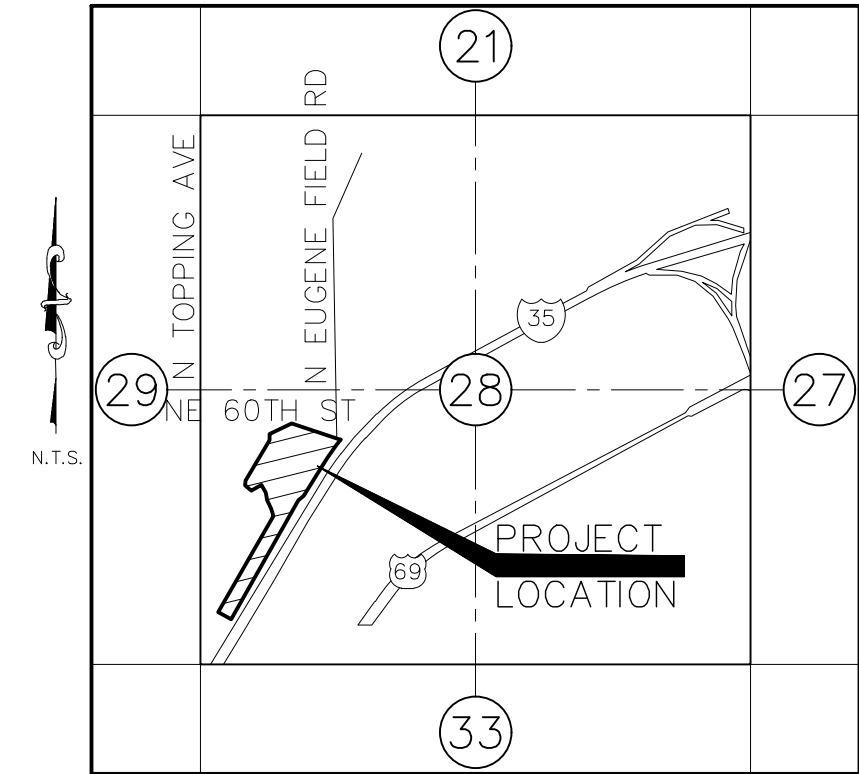
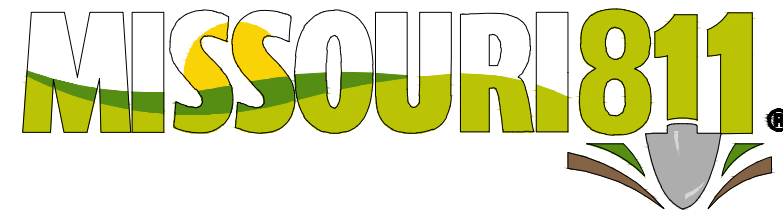
IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

WARRANTY / DISCLAIMER

THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER KAW VALLEY ENGINEERING, INC NOR ITS PERSONNEL CAN OR DO WARRANTY THESE DESIGNS OR PLANS AS CONSTRUCTED, EXCEPT IN THE SPECIFIC CASES WHERE KAW VALLEY ENGINEERING PERSONNEL INSPECT AND CONTROL THE PHYSICAL CONSTRUCTION ON A CONTEMPORARY BASIS AT THE SITE.

CAUTION - NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. THE CONTRACTOR SHALL EXPOSE EXISTING UTILITIES AT LOCATIONS OF POSSIBLE CONFLICTS PRIOR TO ANY CONSTRUCTION.



SECTION VICINITY MAP
SEC. 28 - TWP 51 N - RNG 32 W
CITY OF KANSAS CITY, MISSOURI

PROPERTY

OWNER/DEVELOPER:

5330 OAK RIDGE REALTY, LLC
1804 SWIFT AVE., STA 101
KANSAS CITY, MO 64116
CONTACT: CHUCK V. CUDA
PHONE: (816) 268-4493
EMAIL: cuda@opescre.com

PREPARED BY:

KAW VALLEY ENGINEERING
8040 N. OAK TRAFFICWAY
KANSAS CITY, MO. 64118
CONTACT: MATT CROSS, PE
PHONE: 816-468-5858
EMAIL: cross@kveng.com

PROPERTY ADDRESS:

5870 NE OAK RIDGE DRIVE
KANSAS CITY, MISSOURI, 64119

PROPERTY DESCRIPTION:

PART OF LOT 1, TIMBER RIDGE DRIVING RANGE, AS SUBDIVISION OF LAND IN KANSAS CITY, CLAY COUNTY, MISSOURI, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF LOT 1, TIMBER RIDGE DRIVING RANGE; THENCE SOUTH 0 DEGREES 09 MINUTES 46 SECONDS WEST 190.00 FEET (SOUTH 0 DEGREES 02 MINUTES 13 SECONDS WEST-PLAT) ALONG THE WEST LINE OF LOT 1, TO THE POINT OF BEGINNING OF THE TRACT OF LAND HEREINAFTER DESCRIBED; THENCE NORTH 64 DEGREES 45 MINUTES 45 SECONDS EAST 273.70 FEET; THENCE SOUTH 71 DEGREES 18 MINUTES 56 SECONDS EAST 570.50 FEET TO A POINT ON THE CENTERLINE OF EUGENE FIELD STREET, SAID POINT BEING ON THE NORTHWESTERLY RIGHT-OF-WAY LINE OF U.S. INTERSTATE HIGHWAY NO.35; THENCE SOUTHWESTERLY 330.12 FEET (BEING A 2939.79 FOOT RADIUS CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 6 DEGREES 26 MINUTES 02 SECONDS, AN ARC LENGTH OF 330.12 FEET AND AN INITIAL TANGENT BEARING OF SOUTH 38 DEGREES 17 MINUTES 18 SECONDS WEST) ALONG THE NORTHWESTERLY RIGHT-OF-WAY LINE OF U.S. INTERSTATE HIGHWAY NO.35; THENCE SOUTH 31 DEGREES 51 MINUTES 16 SECONDS WEST 418.40 FEET (SOUTH 31 DEGREES 51 MINUTES 14 SECONDS WEST-PLAT) ALONG THE NORTHWESTERLY RIGHT-OF-WAY LINE; THENCE SOUTH 51 DEGREES 30 MINUTES 30 SECONDS WEST 74.33 FEET (SOUTH 51 DEGREES 22 MINUTES 57 SECONDS WEST-PLAT) ALONG THE NORTHWESTERLY RIGHT-OF-WAY LINE; SOUTH 31 DEGREES 51 MINUTES 16 SECONDS WEST 297.16 FEET (SOUTH 31 DEGREES 51 MINUTES 14 SECONDS WEST-PLAT) ALONG THE NORTHWESTERLY RIGHT-OF-WAY LINE; THENCE NORTH 56 DEGREES 03 MINUTES 32 SECONDS WEST 142.08 FEET; THENCE NORTH 18 DEGREES 37 MINUTES 38 SECONDS WEST 39.10 FEET TO A POINT IN THE CENTERLINE OF AN EXISTING CREEK; THENCE NORTH 17 DEGREES 42 MINUTES 02 SECONDS WEST 49.34 FEET ALONG THE SAID CENTERLINE; THENCE NORTH 26 DEGREES 18 MINUTES 46 SECONDS WEST 101.52 FEET ALONG THE SAID CENTERLINE; THENCE NORTH 8 DEGREES 54 MINUTES 06 SECONDS WEST 84.02 FEET ALONG THE SAID CENTERLINE; THENCE NORTH 29 DEGREES 59 MINUTES 11 SECONDS WEST 100.34 FEET ALONG THE SAID CENTERLINE; THENCE SOUTH 61 DEGREES 27 MINUTES 36 SECONDS WEST 129.77 FEET ALONG THE SAID CENTERLINE; THENCE NORTH 51 DEGREES 33 MINUTES 40 SECONDS WEST 89.19 FEET ALONG THE SAID CENTERLINE TO A POINT ON THE WEST LINE OF LOT 1, TIMBER RIDGE DRIVING RANGE; THENCE NORTH 4 DEGREES 37 MINUTES 48 SECONDS EAST 59.25 FEET (NORTH 4 DEGREES 30 MINUTES 15 SECONDS EAST-PLAT) TO A WESTERLY CORNER OF LOT 1, THENCE NORTH 31 DEGREES 03 MINUTES 21 SECONDS EAST 522.99 FEET (NORTH 30 DEGREES 55 MINUTES 48 SECONDS EAST-PLAT) TO A WESTERLY CORNER OF LOT 1, SAID POINT BEING SOUTH 0 DEGREES 09 MINUTES 46 SECONDS WEST 255.32 FEET (SOUTH 0 DEGREES 02 MINUTES 13 SECONDS WEST 255.08 FEET-PLAT) FROM THE NORTHEAST CORNER OF LOT 1; THENCE 0 DEGREES 09 MINUTES 46 SECONDS EAST 65.32 FEET (NORTH 0 DEGREES 02 MINUTES 13 SECONDS EAST- PLAT) ALONG THE WEST LINE OF LOT 2 TO THE POINT OF BEGINNING, EXCEPT THAT PART IN STREETS, ROADS, OR HIGHWAYS.

DISTURBED AREA

PHASE 1 = 156,329 SQ.FT. / 3.59 ACRES
PHASE 2 = 49,226 SQ.FT. / 1.13 ACRES
TOTAL DISTURBED = 203,506 SQ.FT. / 4.67 ACRES

DEVELOPMENT SUMMARY

- A. EXISTING ZONING OF PROPERTY AND ANY PROPOSED ZONING, INCLUDING TYPE OF ANY PLANNED DISTRICT REQUESTED.
EXISTING: B3-2
PROPOSED: B3-2
TOTAL LAND AREA: 594,221 SQ.FT. / 13.64 ACRES
- B. LAND AREA OR ACRES FOR EXISTING AND PROPOSED STREET RIGHT OF WAY, 0 (ZERO)
NET LAND AREA: 594,221 SQ.FT. / 13.64 ACRES
- C. PROPOSED USE OR USES OF EACH BUILDING AND STRUCTURE.
OUTDOOR SPORTS AND RECREATION.
- D. HEIGHT ABOVE GRADE OF BUILDING AND STRUCTURES AND NUMBER OF FLOORS OF EACH BUILDING
HEIGHT OF MAIN BUILDING = 30'-5"
NUMBER OF FLOORS = 1 (ONE)
- E. GROSS FLOOR AREA PER FLOOR (MAIN BLDG). 24,000 SQ. FT.
- F. BUILDING COVERAGE AND FLOOR AREA RATIO.
24,000 / 594,221 = 0.040
- G. RESIDENTIAL DEVELOPMENT SHALL, IN ADDITION, IDENTIFY GROSS AND NET DENSITY. N/A
- H. RATIO OF REQUIRED NUMBER OF PARKING SPACES FOR EACH USE AND AMOUNT OF REQUIRED, PROPOSED PARKING SPACES.
SPORTS & REC: (THERE IS NO DEFINED PARKING REQUIREMENTS IN KCMO CODE.)
REQUIRED SPACES = 9
PROVIDED SPACES = 9
- I. RATIO OF REQUIRED NUMBER OF SHORT TERM AND LONG TERM BICYCLE PARKING SPACES FOR EACH USE AND AMOUNT OF REQUIRED, PROPOSED SHORT TERM AND LONG TERM BICYCLE PARKING SPACES.
SHORT TERM: 1 PER 10 OFF-STREET VEHICLE PARKING SPACES
REQUIRED SPACES=1
PROVIDED SPACES=1

Site Data	Existing	Proposed Phase 1	Proposed Phase 2
Zoning	83-2	83-2	83-3
Gross Land Area (sqft)	594221	594221	594221
Gross Land Area (ac)	13.64	13.64	13.64
Net Land Area (sqft)	594221	594221	594221
Net Land Area (ac)	13.64	13.64	13.64
Building Area (sqft)	0	0	24000
Floor Area Ratio	0.000	0.000	0.040
Total Impervious Area (sqft)	4,635	4,635	33,851
Total Impervious Area (ac)	0.11	0.11	0.78

Structure	Use	Square Footage
Proposed Indoor Sports Building	Sports & Rec Participation (Indoor/Outdoor)	24000

Building Data	Required	Proposed
Rear Setback	None	770ft.
Front Setback	None	124ft.
Side Setback	None	8ft.
Height	None	30ft.

Parking	Vehicle Spaces			Bike Spaces	
	Existing	Proposed	Total	Required	Proposed
Total	0	9	9	88-420-08-A	1

FLOOD STATEMENT:

THE ACCURACY OF ANY FLOOD HAZARD DATA SHOWN HEREON IS SUBJECT TO MAP SCALE UNCERTAINTY AND TO ANY OTHER UNCERTAINTY IN LOCATION OR ELEVATION ON THE REFERENCED FLOOD INSURANCE RATE MAP. THE SURVEYED PROPERTY LIES WITHIN FLOOD HAZARD ZONE "X, NON-SHADED, AREA OF MINIMAL FLOOD HAZARD" AS SAID PROPERTY PLOTS BY SCALE ON THE FLOOD INSURANCE RATE MAP FOR THE CITY OF KANSAS CITY, FLOOD MAP FOR THE SELECTED AREA IS NUMBER 29095C0134G, EFFECTIVE ON 01/20/2017.

REV	DATE	DESCRIPTION
0	05/01/24	INITIAL SUBMITTAL
MAC	JAD	DNW
MAC	JAD	CHK

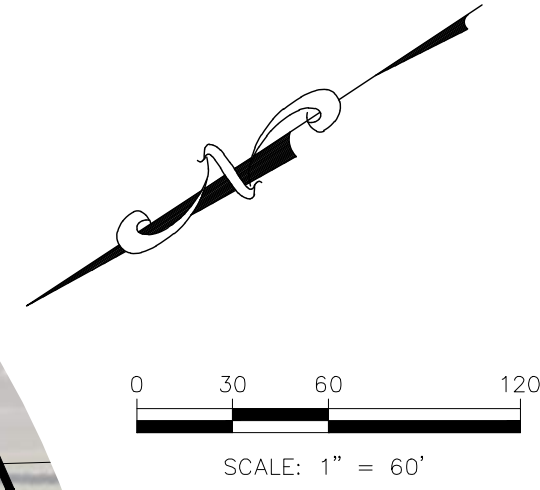
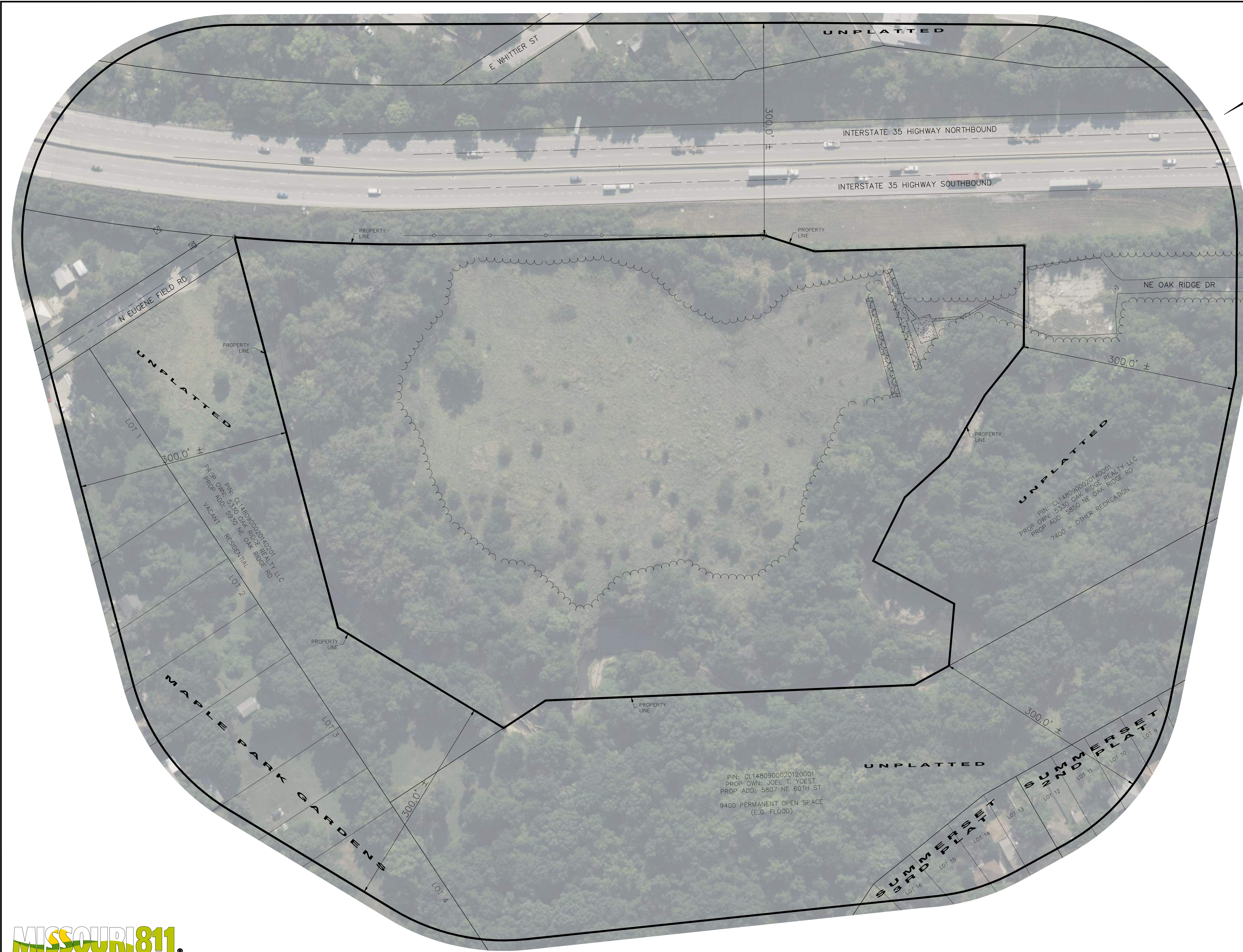


MATTHEW A. CROSS
ENGINEER
MO # 2020008364

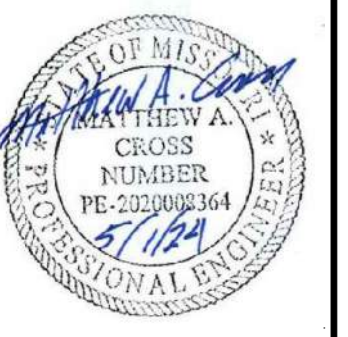


OAK RIDGE PRACTICE FIELD
5870 NE OAK RIDGE DR
KANSAS CITY, MO, 64119
DEVELOPMENT PLAN
TITLE SHEET

PROJ. NO.	B23D4618
DESIGNER	MAC
DRAWN BY	JED
CFN	4618CVR
SHEET	C001
REV	0



REV	DATE	DESCRIPTION
0	05/01/24	INITIAL SUBMITTAL
		MAC JAD
		MAC DSN
		MAC CHK

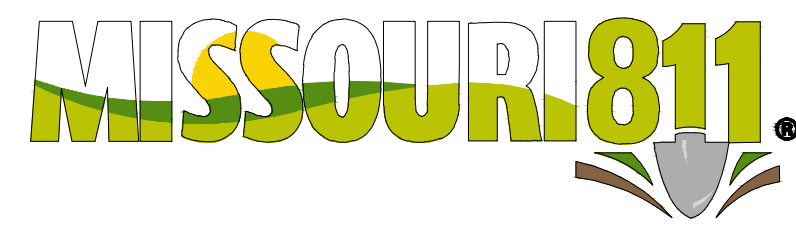


MATTHEW A. CROSS
ENGINEER
MO # 202008364

8040 N. OAK TRAFFICWAY
KANSAS CITY, MISSOURI 64118
kce@kvweng.com | www.kvweng.com

K&W VALLEY ENGINEERING
K&W VALLEY ENGINEERING, INC. IS AUTHORIZED TO OFFER ENGINEERING SERVICES BY MISSOURI STATE CERTIFICATE OF AUTHORITY # 000842. EXPIRES 12/31/25.

OAK RIDGE PRACTICE FIELD 5870 NE OAK RIDGE DR KANSAS CITY, MO, 64119	
DEVELOPMENT PLAN 300' SURROUNDING PROPERTY	
PROJ. NO.	B23D4618
DESIGNER	MAC
DRAWN BY	JED
CFN	4618-300
SHEET	C010
REV	0



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DEMOLITION NOTES:

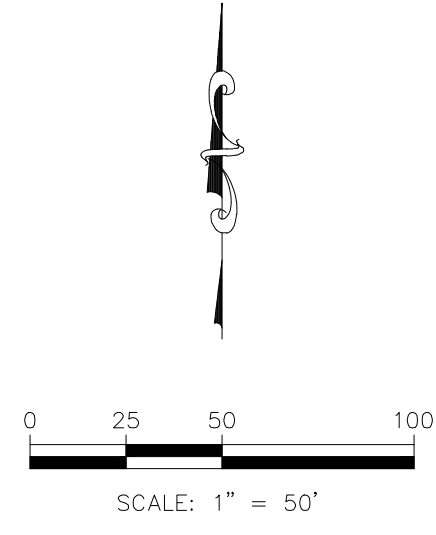
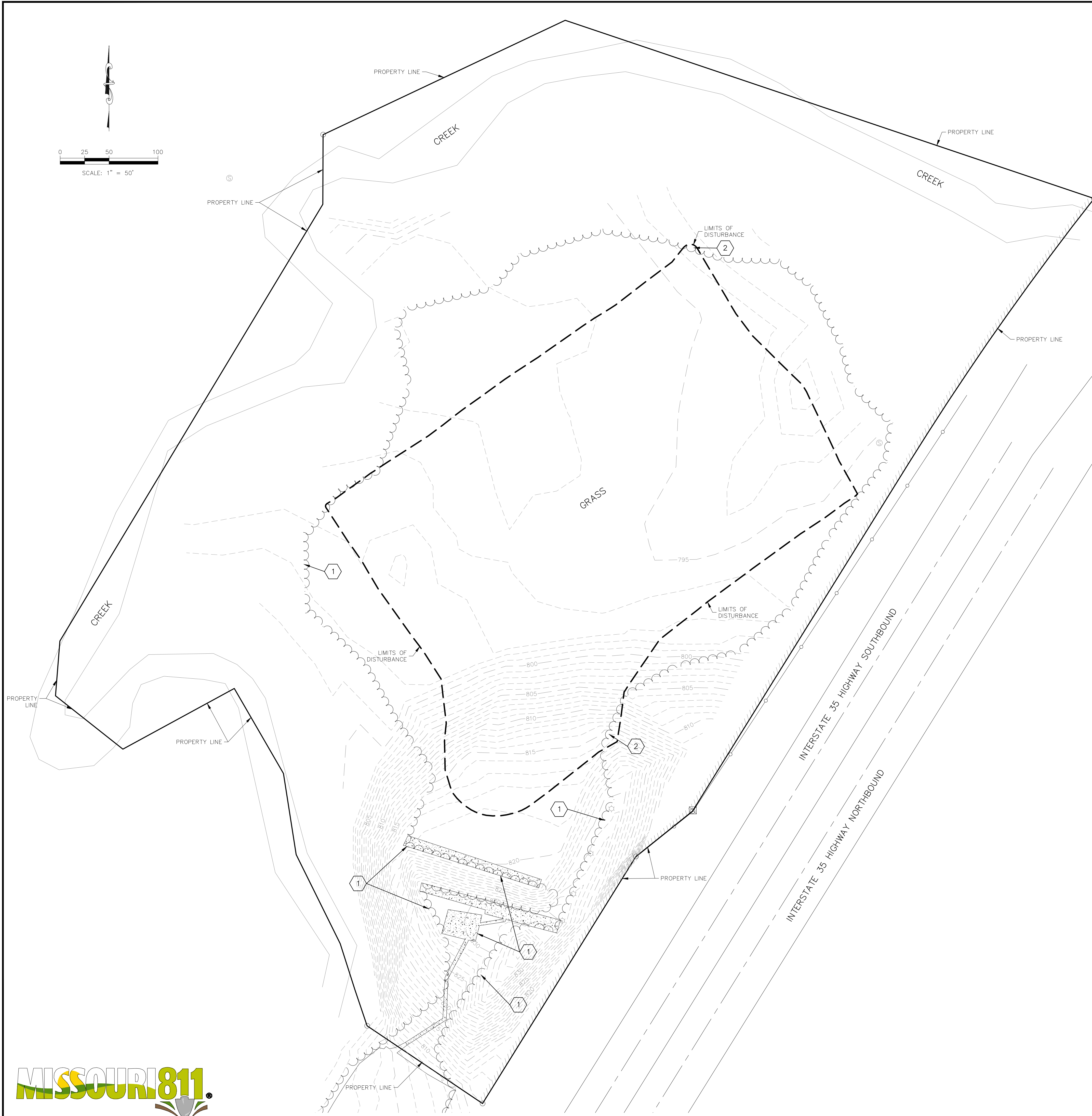
1. CONTRACTOR SHALL VERIFY SITE CONDITIONS PRIOR TO BIDDING. CONTRACTOR SHALL REMOVE AS SHOWN, IN ACCORDANCE WITH THE SPECIFICATIONS AND THE CITY OF KANSAS CITY AND STATE REGULATIONS.
2. CONTRACTOR SHALL SMOOTH GRADE THE SITE TO MATCH EXISTING CONTOURS OF THE SURROUNDING LAND TO ENSURE POSITIVE DRAINAGE.

DISTURBED AREA:

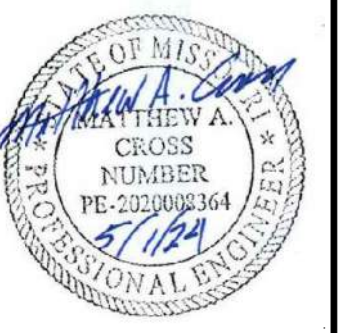
PHASE 1 = 156,329 SQ.FT. / 3.59 ACRES

NOTES:

1. TO REMAIN
2. REMOVE TREES



MAC	CHK
JAD	DWN
MAC	DSN
05/01/24	INITIAL SUBMITTAL
0	REV
05/01/24	DATE
	DESCRIPTION



MATTHEW A. CROSS
ENGINEER
MO # 2020008364

8040 N. OAK TRAFFICWAY
KANSAS CITY, MISSOURI 64118
kce@kvweng.com | www.kvweng.com

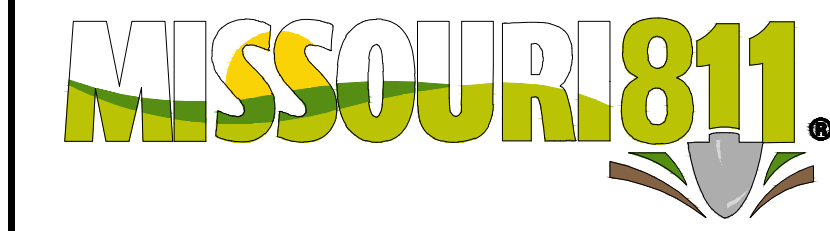
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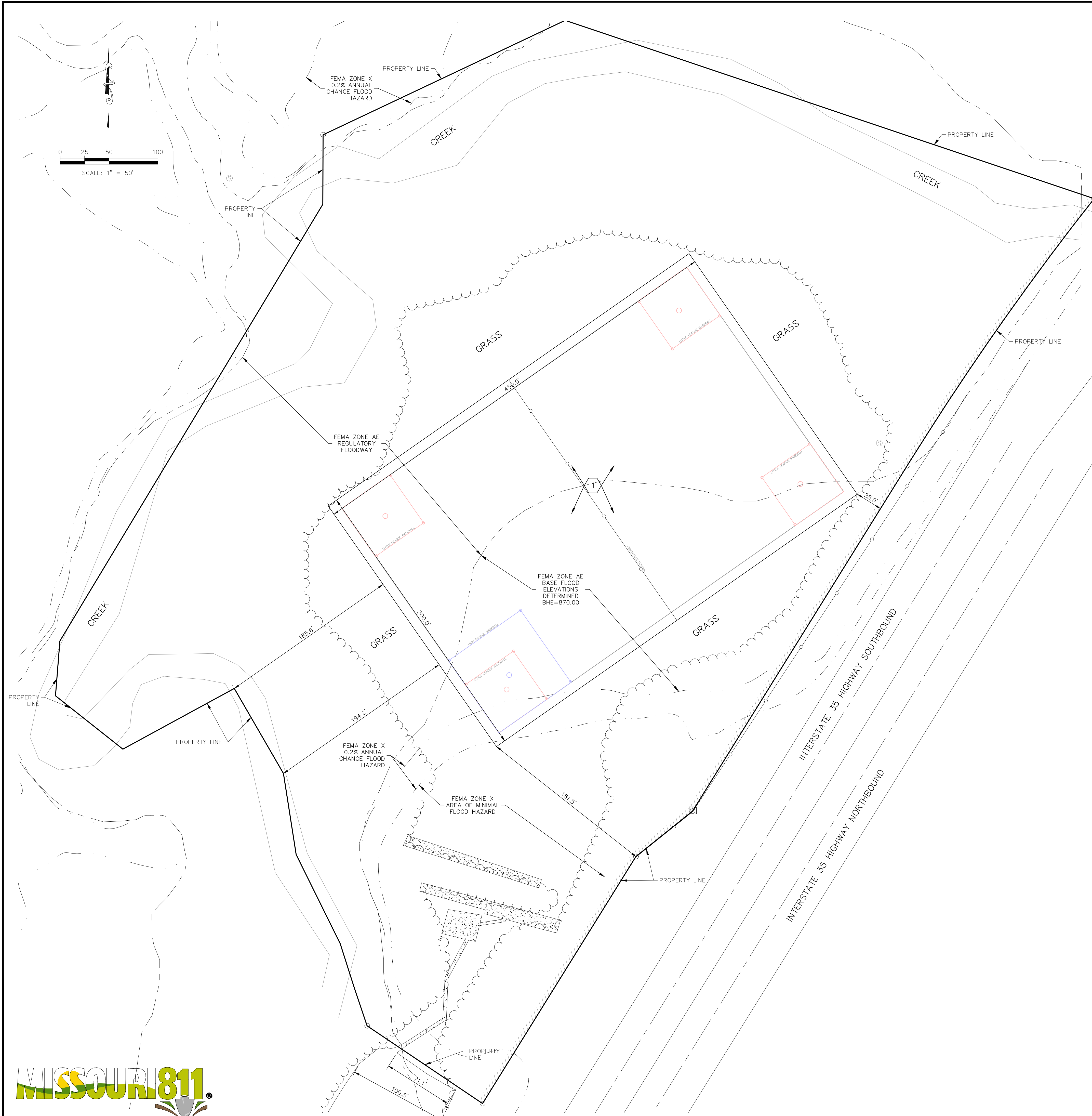
OAK RIDGE PRACTICE FIELD
5870 NE OAK RIDGE DR
KANSAS CITY, MO, 64119

DEVELOPMENT PLAN
DEMOLITION PLAN - PHASE 1

PROJ. NO.	B23D4618
DESIGNER	MAC
DRAWN BY	JED
CFN	4618DEMO
SHEET	C100
REV	0



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NOTE:
 1. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRANCE, SLOPED PAVING, EXIT PORCHES, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
 2. THESE PLANS HAVE NOT BEEN VERIFIED WITH FINAL ARCHITECTURAL CONTRACT DRAWINGS. CONTRACTOR SHALL VERIFY AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES. CONTRACTOR IS FULLY RESPONSIBLE FOR REVIEW AND COORDINATION OF ALL DRAWINGS AND CONTRACTOR DOCUMENTS.

CONSTRUCTION NOTES:
 1. COORDINATE START-UP AND ALL CONSTRUCTION ACTIVITIES WITH OWNER.
 2. CONSTRUCTION METHODS AND MATERIALS NOT SPECIFIED IN THESE PLANS ARE TO MEET OR EXCEED THE CITY OF KANSAS CITY, MISSOURI.
 3. ALL CONSTRUCTION WORK AND UTILITY WORK OUTSIDE OF PROPERTY BOUNDARIES SHALL BE PERFORMED IN COOPERATION, AND IN ACCORDANCE WITH, REGULATIONS OF THE AUTHORITIES CONCERNED.
 4. PUBLIC CONVENIENCE AND SAFETY: THE CONTRACTOR SHALL CONDUCT THE WORK IN A MANNER THAT WILL ENSURE, AS FAR AS PRACTICABLE, THE LEAST OBSTRUCTION TO TRAFFIC, AND SHALL PROVIDE FOR THE CONVENIENCE AND SAFETY OF THE GENERAL PUBLIC AND RESIDENTS ALONG, AND ADJACENT TO, HIGHWAYS IN THE CONSTRUCTION AREA.

NOTES:
 1. PROPOSED TURF SPORTS FIELD (LEGEND-87 SPORTS TURF)

MAC	CHK
JAD	DWN
MAC	DSN
0	05/01/24
INITIAL SUBMITTAL	DESCRIPTION
REV	DATE



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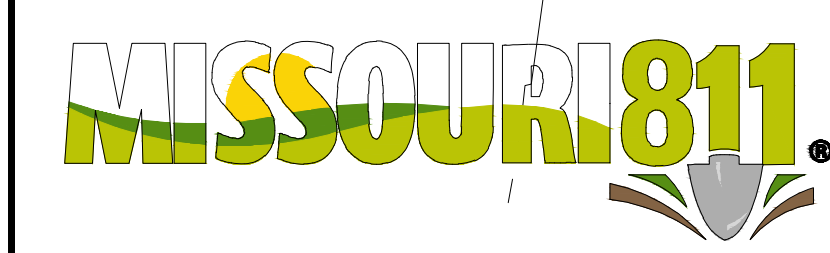
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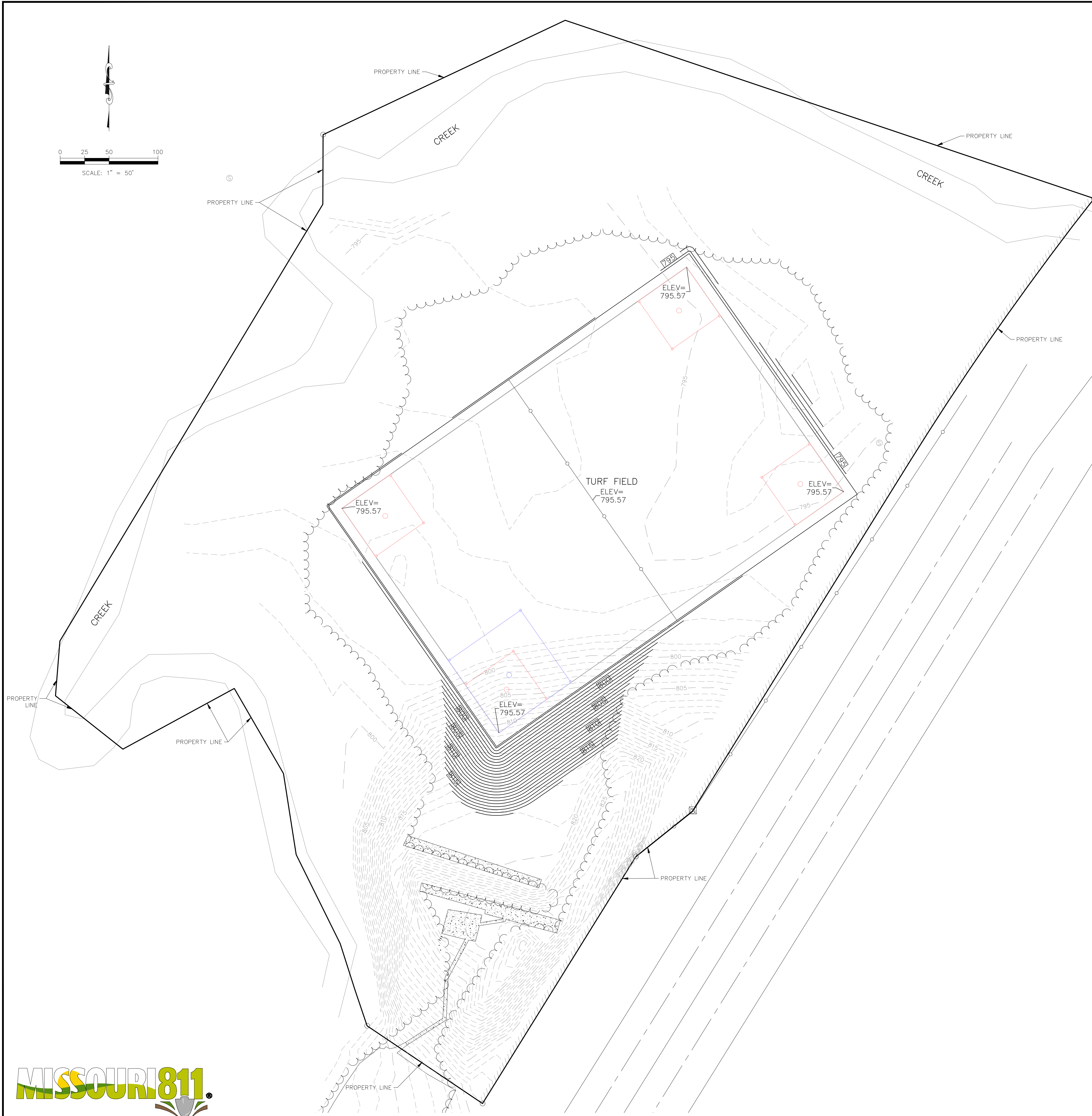
OAK RIDGE PRACTICE FIELD
 5870 NE OAK RIDGE DR
 KANSAS CITY, MO, 64119

DEVELOPMENT PLAN
SITE AND DIMENSION PLAN - PHASE 1

PROJ. NO. B23D4618
 DESIGNER MAC DRAWN BY JED
 CFN 4618SP
 SHEET C200 REV 0



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NOTE:
 1. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRANCE, SLOPED PAVING, EXIT PORCHES, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
 2. THESE PLANS HAVE NOT BEEN VERIFIED WITH FINAL ARCHITECTURAL CONTRACT DRAWINGS. CONTRACTOR SHALL VERIFY AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES. CONTRACTOR IS FULLY RESPONSIBLE FOR REVIEW AND COORDINATION OF ALL DRAWINGS AND CONTRACT DOCUMENTS.

- GRADING NOTES:**
1. THE CONSTRUCTION AREA SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL AND ORGANIC MATTER FROM ALL AREAS TO BE OCCUPIED BY BUILDING AND PAVING. TOPSOIL FOR REPLACEMENT ON SLOPES MAY BE STOCKPILED ON SITE. EXCESS TOPSOIL MAY BE WASTED IN FILL SLOPES PROVIDED THAT NO TOPSOIL WILL BE WASTED WITHIN 10 FEET OF THE EDGE OF THE BUILDING OR PARKING AREA. BURNING OF TIMBER WILL NOT BE PERMITTED UNLESS APPROVAL IS OBTAINED FROM GOVERNING OFFICIALS. STRIPPING EXISTING TOPSOIL AND ORGANIC MATTER SHALL BE TO A MINIMUM DEPTH OF 6 INCHES.
 2. AREAS TO RECEIVE FILL SHALL BE SCARIFIED AND THE TOP 8-INCH DEPTH COMPACTED TO 95% STANDARD PROCTOR DENSITY. ANY UNSUITABLE AREAS SHALL BE UNDERCUT AND REPLACED WITH SUITABLE MATERIAL BEFORE ANY FILL MATERIAL CAN BE APPLIED.
 3. OFF-SITE FILL MATERIAL SHALL HAVE A PLASTICITY INDEX OF 25 OR LESS, A LIQUID LIMIT OF 45 OR LESS AND CONTAIN NO ROCK LARGER THAN FOUR INCHES. OFF-SITE FILL MATERIAL SHALL BE APPROVED BY THE OWNER PRIOR TO BRINGING ON SITE.
 4. EARTHWORK UNDER THE BUILDING SHALL COMPLY WITH THE PROJECT ARCHITECTURAL PLANS. OTHER FILL MATERIAL SHALL BE MADE IN LIFTS NOT TO EXCEED EIGHT INCHES DEPTH COMPACTED TO 95% STANDARD PROCTOR DENSITY. FILL MATERIAL MAY INCLUDE ROCK FROM ON-SITE EXCAVATION IF CAREFULLY PLACED SO THAT LARGE STONES ARE WELL DISTRIBUTED AND VOIDS ARE COMPLETELY FILLED WITH SMALLER STONES, EARTH, SAND OR GRAVEL TO FURNISH A SOLID EMBANKMENT. NO ROCK LARGER THAN THREE INCHES IN ANY DIMENSION NOR ANY SHALE SHALL BE PLACED IN THE TOP 12 INCHES OF EMBANKMENT.
 5. AREAS THAT ARE TO BE CUT TO SUBGRADE LEVELS SHALL BE PROOF ROLLED WITH A MODERATELY HEAVY LOADED DUMP TRUCK OR SIMILAR APPROVED CONSTRUCTION EQUIPMENT TO DETECT UNSUITABLE SOIL CONDITIONS.
 6. IN ALL AREAS OF EXCAVATION, IF UNSUITABLE SOIL CONDITIONS ARE ENCOUNTERED, A QUALIFIED GEOTECHNICAL ENGINEER SHALL RECOMMEND TO THE OWNER THE METHODS OF UNDERCUTTING AND REPLACEMENT OF PROPERLY COMPACTED, APPROVED FILL MATERIAL. ALL PROOFROLLING AND UNDERCUTTING SHOULD BE PERFORMED DURING A PERIOD OF DRY WEATHER.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
 8. ALL SLOPES ARE TO BE 3:1 OR FLATTER UNLESS OTHERWISE INDICATED.
 9. ALL SLOPES EXCEEDING 3:1 SHALL BE PROTECTED BY RIP RAP, CONCRETE PAVING, OR OTHER METHODS INDICATED ON THESE PLANS, THAT WILL PREVENT EROSION AND PLACED SUCH THAT THE SURFACE IS FLUSH WITH SURROUNDING GROUND AND SHAPED TO CHANNEL WATER IN DIRECTIONS INDICATED.
 10. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND FOUR INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON-SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEEDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER PRIOR TO FINAL ACCEPTANCE OF THE PROJECT.
 11. CONTRACTOR SHALL USE SILT FENCE, BALES OF HAY OR OTHER MEANS OF CONTROLLING EROSION ALONG THE EDGE OF THE PROPERTY OR OTHER BOTTOM OF SLOPE LOCATIONS.
 12. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS.
 13. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
 14. IT IS NOT THE DUTY OF THE ENGINEER OR THE OWNER TO REVIEW THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE AT ANY TIME DURING CONSTRUCTION.

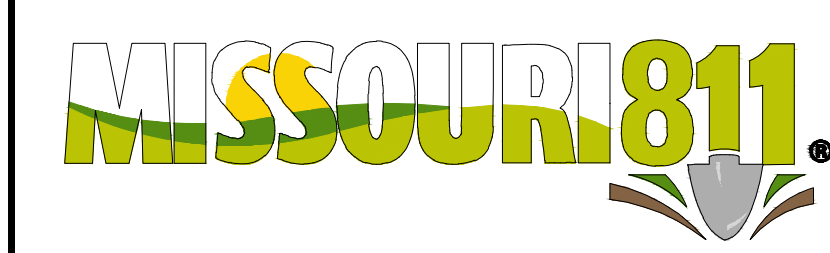
IF DISCREPANCIES EXIST BETWEEN THE GRADING NOTES HEREON, AND THE RECOMMENDATIONS OUTLINED IN THE PROJECT GEOTECHNICAL REPORT, THE RECOMMENDATIONS OUTLINED IN THE GEOTECHNICAL REPORT SHALL GOVERN.

THE COORDINATES PROVIDED ON THIS PLAN ARE FOR INFORMATION AND CHECKING PURPOSES ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CALCULATE CONSTRUCTION STAKING COORDINATES ACCORDING TO THE DIMENSIONS SHOWN ON THESE PLANS. CONTRACTOR SHALL VERIFY THE ACCURACY OF THE COORDINATES SHOWN HEREON BEFORE CONSTRUCTION.

LEGEND (PROPOSED)

(ME)	MATCH EXISTING
82.92	SPOT ELEVATION
800	FINISHED 1' CONTOUR INTERVALS
890	EXISTING 1' CONTOUR INTERVALS

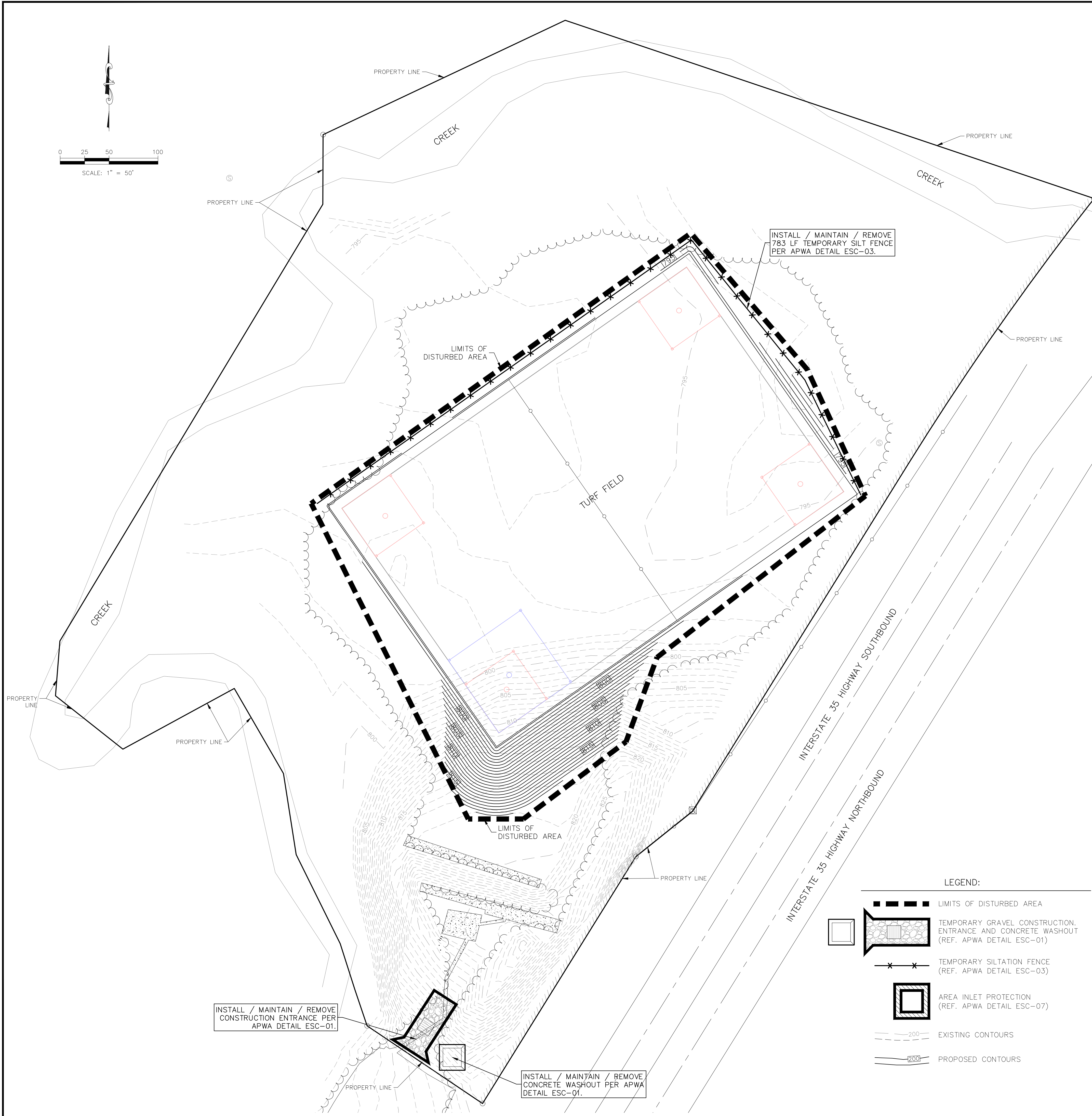
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				JAD	DWN
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				05/01/24	DATE
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				INITIAL	DESCRIPTION
MATTHEW A. CROSS ENGINEER MO # 2020008364					
OAK RIDGE PRACTICE FIELD 5870 NE OAK RIDGE DR KANSAS CITY, MO, 64119 DEVELOPMENT PLAN GRADING PLAN - PHASE 1					
PROJ. NO.		B23D4618			
DESIGNER	MAC	DRAWN BY		JED	
CFN	4618GP				
SHEET	C300	REV		0	



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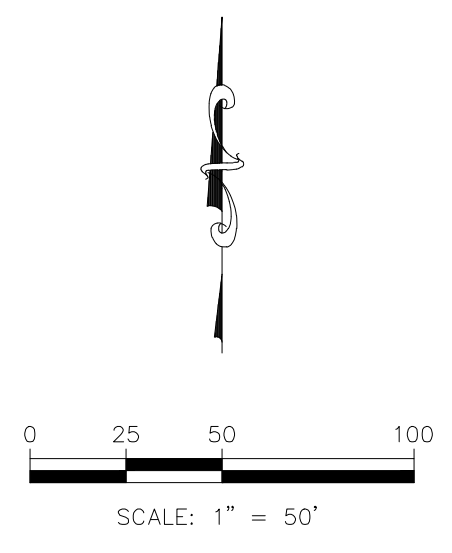
EROSION CONTROL NOTES:

1. PROPERTY LINE IS LIMITS OF CONSTRUCTION EXCEPT AS SHOWN.
2. THE CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE DRAWINGS PRIOR TO BEGINNING EARTHWORK OPERATIONS AND DURING APPROPRIATE PHASING AS CONSTRUCTION PROGRESSES.
3. THE CONTRACTOR SHALL MAINTAIN ALL SILT CONTROL MEASURES DURING CONSTRUCTION. BUILDERS AND OR DEVELOPER TO MAINTAIN EROSION CONTROL AND SILT CONTROL UPON COMPLETION OF THIS PROJECT.
4. ALL SILT SHALL REMAIN ON SITE AND SURROUNDING STREETS SHALL BE KEPT CLEAR OF ALL MUD AND DEBRIS.
5. SEDIMENTATION BARRIERS ARE TO BE INSTALLED AS SHOWN AND AT ANY ADDITIONAL AREAS OF CONCENTRATED FLOWS NOT SHOWN ON PLANS.
6. ACCUMULATED SEDIMENT SHALL BE REMOVED AND THE SEDIMENTATION BARRIERS MAINTAINED AS NEEDED TO PREVENT SEDIMENTATION BYPASS OF THE BARRIER.
7. SLOPES ARE TO BE LEFT IN A ROUGH CONDITION DURING GRADING.
8. CURB INLET SEDIMENTATION BARRIERS ARE TO BE INSTALLED AROUND INLETS AND WEIRS WHERE SEDIMENTATION IS A CONCERN. INLET BARRIERS SHALL BE FILTERS, OR SILT FENCE, OR STRAW BALES (PRIOR TO PAVING PLACEMENT). AFTER PAVEMENT IS IN PLACE, PROVIDE FILTER PROTECTION THAT CANNOT BE WASHED INTO INLETS OR WASHED AWAY. STRAW/HAY BALES WILL NOT BE ALLOWED ON CONCRETE OR ASPHALT PAVING.
9. SEDIMENT IS TO BE REMOVED FROM STORM WATER DRAINAGE SYSTEMS. ALL SEDIMENT CONTROL MEASURES TO BE INSPECTED AND REPAIRED IMMEDIATELY AND ON A REGULAR BASIS AFTER ALL RAIN STORMS.
10. RIPRAP IS TO BE INSTALLED AT AREAS OF CONCENTRATED FLOW (I.E. CULVERT OUTLETS).
11. CONTRACTOR IS RESPONSIBLE FOR INSTALLING ANY ADDITIONAL EROSION CONTROL AS HE/SHE DEEMS NECESSARY TO PREVENT SEDIMENT FROM ENTERING STORM DRAINS, STREETS, AND WATERWAYS.
12. THE CONTRACTOR SHALL PROVIDE ALL MATERIALS, TOOLS, EQUIPMENT AND LABOR AS NECESSARY TO INSTALL AND MAINTAIN ADEQUATE EROSION AND SILTATION CONTROLS REQUIRED TO PREVENT SOIL EROSION FROM LEAVING THE PROJECT SITE. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO ENSURE THAT METHODS UTILIZED ARE ADEQUATE AND COMPLY WITH REQUIREMENTS OF THE SPECIFICATIONS AND GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE WORK.
13. TEMPORARY SEDIMENT FENCE EROSION CONTROL MEASURES TO REMAIN UNTIL ADEQUATE VEGETATION IS ESTABLISHED. ON PROJECTS THAT ARE NOT EXPECTING IMMEDIATE DEVELOPMENT (I.E.- INTERCEPTOR SEWERS, OFFSITE IMPROVEMENTS, ETC.) EROSION CONTROL MEASURES ARE TO BE REMOVED BY CONTRACTOR AS SOON AS ADEQUATE VEGETATION IS ESTABLISHED.
14. MUD, SILT, AND DEBRIS SHALL BE CLEANED UP AT THE CONCLUSION OF EACH WORKING DAY, OR AFTER EACH RAINFALL.
15. INSPECTION, MAINTENANCE AND REPAIR OF EROSION CONTROL DEVICES SHALL BE ON GOING THROUGHOUT THE LIFE OF INFRASTRUCTURE AND BUILDING CONSTRUCTION TO KEEP THE DEVICES IN OPERABLE CONDITION AT ALL TIMES. ADDITIONAL MEASURES SHALL BE INSTALLED AS REQUIRED BY ACTUAL FIELD CONDITIONS AND/OR GOVERNING INSPECTION AGENCIES. NOTE: ALTHOUGH EXTENSIVE EFFORT IS PUT INTO THE DESIGN OF THE EROSION CONTROL PLAN BY THE ENGINEER, IT IS THE RESPONSIBILITY OF THE CONTRACTOR/DEVELOPER TO ENSURE THAT ANY ADDITIONAL REQUIRED EROSION CONTROL MEASURES ARE INSTALLED AND MAINTAINED AT NO ADDITIONAL COST TO THE OWNER.
16. INSTALL AND MAINTAIN CONSTRUCTION ENTRANCE(S) AT ANY POINT WHERE TRAFFIC WILL BE ENTERING OR LEAVING THE SITE AND AS SHOWN ON PLANS.
17. AT COMPLETION OF SITE GRADING AND OTHER RELATED CONSTRUCTION ACTIVITIES, ALL DISTURBED AREAS WITHIN THE PROJECT SITE SHALL BE SEEDED, SODDED, OR LANDSCAPED. FLAT LOTS WILL NOT REQUIRE SEEDING BUT ALL SLOPES, DISTURBED AREAS AND STREET RIGHT-OF-WAYS WILL BE SEEDED.
18. TOPSOIL IS TO BE PLACED IN AREAS UNSUITABLE FOR VEGETATIVE GROWTH.
19. STRIP TOPSOIL PRIOR TO EXCAVATION, STOCKPILE AND SPREAD ONTO DISKED SUBGRADE (4" MIN) A THICKNESS OF 4 INCHES.
20. ROCK LINING (RIPRAP) SHALL BE DURABLE STONE CONTAINING A COMBINED TOTAL OF NOT MORE THAN 10 PERCENT OF EARTH, SAND, SHALE AND NON-DURABLE ROCK. AT LEAST 60 PERCENT OF THE MASS SHALL BE OF PIECES HAVING A MINIMUM WEIGHT OF 150 POUNDS OR MORE PER CUBIC FOOT.
21. THE CONTRACTOR SHALL HAVE THE RESPONSIBILITY FOR RESOLVING COMPLAINTS IN THE EVENT THAT COMPLAINTS OR DAMAGE CLAIMS ARE FILED DUE TO DAMAGES OCCURRING, ADJACENT TO OR DOWNSTREAM FROM PROPERTY, BY SEDIMENT RESULTING FROM EROSION ON THE PROJECT SITE.
22. GOOD HOUSEKEEPING PRACTICES SHALL BE MAINTAINED ON SITE TO KEEP SOLID WASTE FROM ENTRY INTO WATERS.
23. ALL FUELING FACILITIES PRESENT ON SITE SHALL ADHERE TO APPLICABLE FEDERAL AND STATE REQUIREMENTS CONCERNING UNDERGROUND STORAGE, ABOVE GROUND STORAGE AND DISPENSERS, INCLUDING SPILL PREVENTION, CONTROL AND COUNTER MEASURES.
24. MINIMAL WASHING OF CONCRETE EQUIPMENT ALLOWED (CHUTE, TOOLS, ETC.) AT A CONTRACTOR DEFINED LOCATION. CONCRETE WASHOUT OF THE DRUM IS NOT ALLOWED. ANY PIT/WASHOUT AREA NEEDS TO BE MAINTAINED IN A NON-DISCHARGING MANNER AND ANY WASTE RESIDUE WILL NEED TO BE CLEANED OUT AND REMOVED AT THE END OF PROJECT.
25. DEVELOPER IS RESPONSIBLE FOR HAVING LOT BUILDERS FOLLOW THE GUIDELINES OF "CONTROLLING EROSION WHEN BUILDING YOUR HOME" PROVIDED BY MISSOURI DEPARTMENT OF HEALTH AND ENVIRONMENT.
26. EROSION CONTROL STRAW/FIBER WATTLES TO BE INSTALLED 1'-0" BEHIND CURB & GUTTER UPON COMPLETION OF BACKFILL OF CURB IN ALL AREAS WHERE SLOPES FROM LOT DRAIN TOWARDS CURB. UPON COMPLETION OF FINAL GRADING THE TOES OF ALL EMBANKMENTS IN EXCESS OF TWO FEET IN HEIGHT WILL HAVE EROSION CONTROL SEDIMENT FENCE INSTALLED.
27. EROSION CONTROL SEDIMENT FENCE OR OTHER STRUCTURE MUST BE PLACED TO CONTROL RUNOFF DURING LOT DEVELOPMENT (BY OTHERS).



LEGEND:

- LIMITS OF DISTURBED AREA
- TEMPORARY GRAVEL CONSTRUCTION ENTRANCE AND CONCRETE WASHOUT (REF. APWA DETAIL ESC-01)
- TEMPORARY SILTATION FENCE (REF. APWA DETAIL ESC-03)
- AREA INLET PROTECTION (REF. APWA DETAIL ESC-07)
- EXISTING CONTOURS
- PROPOSED CONTOURS



	MAC
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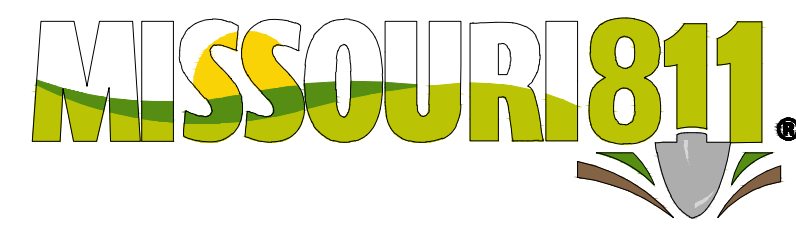
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OAK RIDGE PRACTICE FIELD
5870 NE OAK RIDGE DR
KANSAS CITY, MO, 64119

DEVELOPMENT PLAN
EROSION CONTROL PLAN - PHASE 1

PROJ. NO.	B23D4618
DESIGNER	DRAWN BY
MAC	JED
CFN	
4618ECP	
SHEET	REV
C400	0

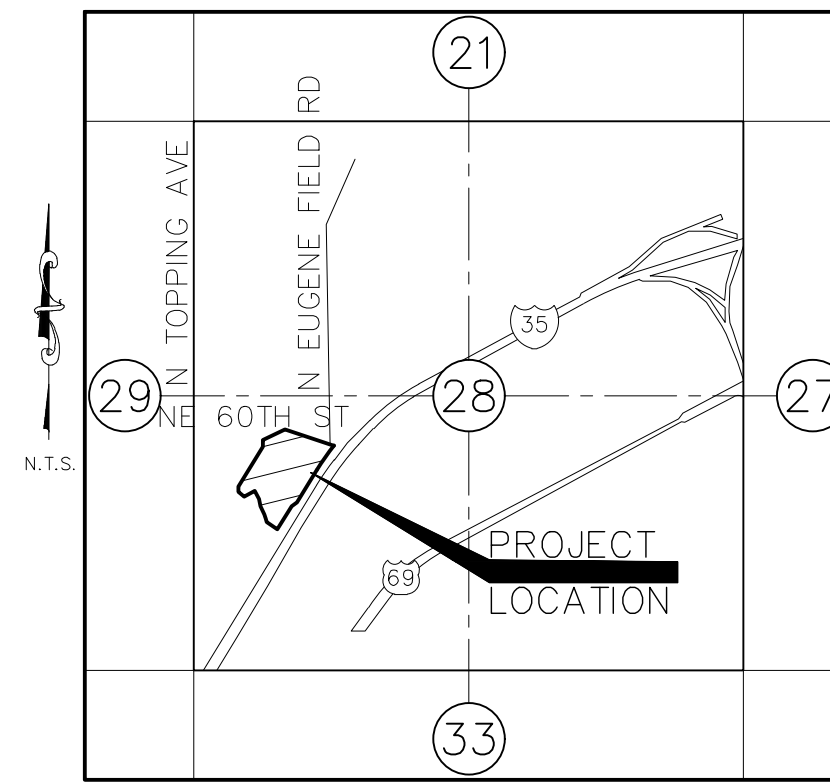


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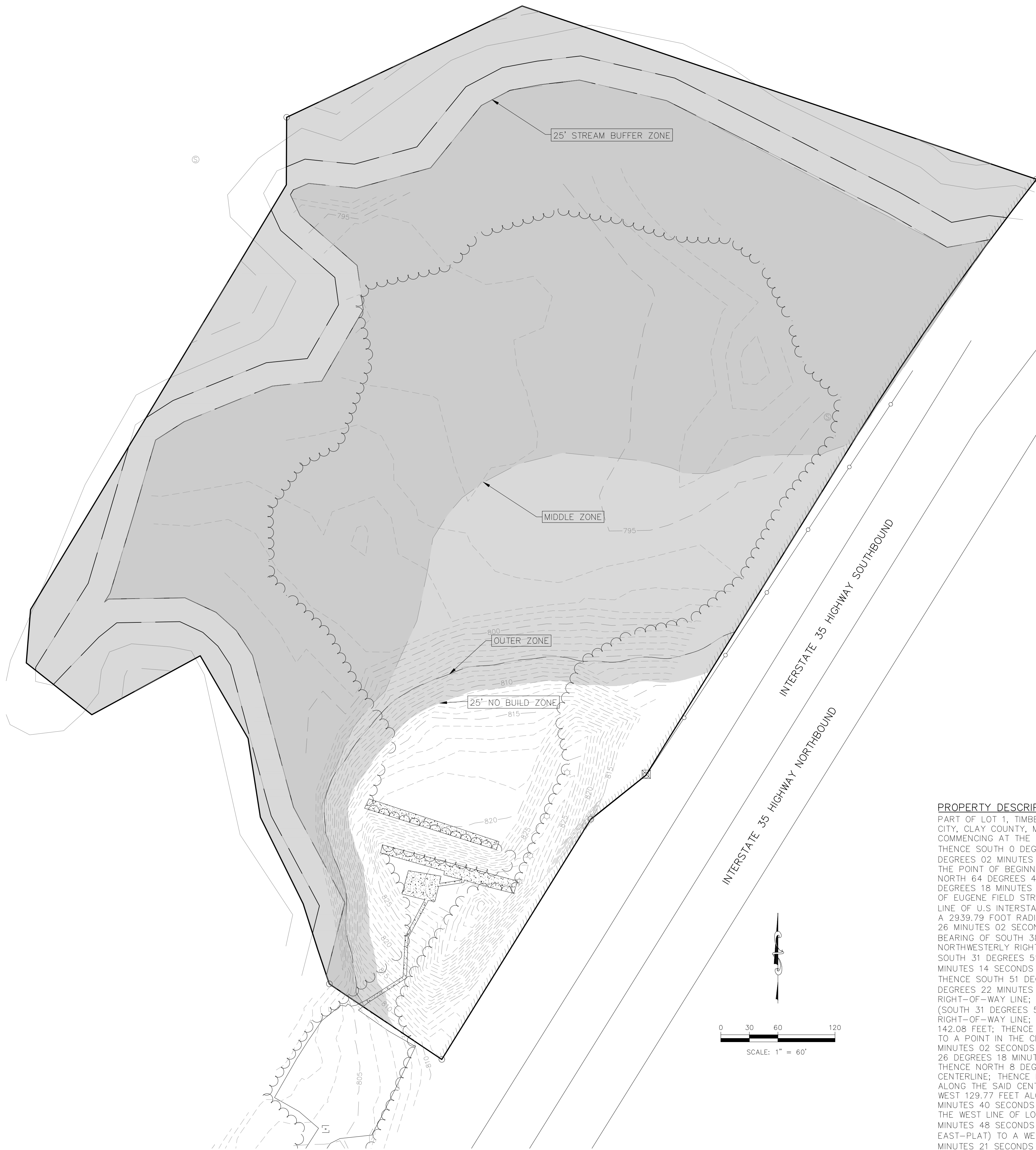
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FINAL STREAM BUFFER PLAN

SEC 28 – T51N – R32W
KANSAS CITY, PLATTE COUNTY, MISSOURI



SECTION VICINITY MAP
SEC. 28 – TWP 51N – RING 32W
CITY OF KANSAS CITY, MISSOURI



STREAM BUFFER DATA

STREAM SIDE ZONE	= 2.82 ACRES
MIDDLE ZONE	= 8.65 ACRES
OUTER ZONE	= 2.17 ACRES
OUTER ZONE USED FOR DEVELOPMENT	= 1.08 ACRES (49.8%)
AREA OF MATURE RIPARIAN VEGETATION AND STEEP SLOPES IN THE OUTER ZONE	= 0.46 ACRES
AREA OF PROPOSED CLEARING AND GRADING IN THE OUTER ZONE	= 1.08 ACRES
PERCENTAGE OF OUTER ZONE TO BE CLEARED	= 49.8%

OWNER:

5330 OAK RIDGE REALTY, LLC
1804 SWIFT AVE., STA 101
KANSAS CITY, MO 64116
CONTACT: CHUCK V. CUDA
PHONE: (816) 268-4493
EMAIL: cuda@opescre.com

PREPARED BY:

KAW VALLEY ENGINEERING
8040 N. OAK TRAFFICWAY
KANSAS CITY, MO. 64118
CONTACT: MATT CROSS, PE
PHONE: 816-468-5858
EMAIL: cross@kveng.com

PROPERTY DESCRIPTION:

PART OF LOT 1, TIMBER RIDGE DRIVING RANGE, AS SUBDIVISION OF LAND IN KANSAS CITY, CLAY COUNTY, MISSOURI, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF LOT 1, TIMBER RIDGE DRIVING RANGE; THENCE SOUTH 0 DEGREES 09 MINUTES 46 SECONDS WEST 190.00 FEET (SOUTH 0 DEGREES 02 MINUTES 13 SECONDS WEST-PLAT) ALONG THE WEST LINE OF LOT 1, TO THE POINT OF BEGINNING OF THE TRACT OF LAND HEREINAFTER DESCRIBED; THENCE NORTH 64 DEGREES 45 MINUTES 45 SECONDS EAST 273.70 FEET; THENCE SOUTH 71 DEGREES 18 MINUTES 56 SECONDS EAST 570.50 FEET TO A POINT ON THE CENTERLINE OF EUGENE FIELD STREET, SAID POINT BEING ON THE NORTHWESTERLY RIGHT-OF-WAY LINE OF U.S. INTERSTATE HIGHWAY NO.35; THENCE SOUTHWESTERLY 330.12 FEET (BEING A 2939.79 FOOT RADIUS CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 6 DEGREES 26 MINUTES 02 SECONDS, AN ARC LENGTH OF 330.12 FEET AND AN INITIAL TANGENT BEARING OF SOUTH 38 DEGREES 17 MINUTES 18 SECONDS WEST) ALONG THE NORTHWESTERLY RIGHT-OF-WAY LINE OF U.S. INTERSTATE HIGHWAY NO.35; THENCE SOUTH 31 DEGREES 51 MINUTES 16 SECONDS WEST 418.40 FEET (SOUTH 31 DEGREES 51 MINUTES 14 SECONDS WEST-PLAT) ALONG THE NORTHWESTERLY RIGHT-OF-WAY LINE; THENCE SOUTH 51 DEGREES 30 MINUTES 30 SECONDS WEST 74.33 FEET (SOUTH 51 DEGREES 22 MINUTES 57 SECONDS WEST-PLAT) ALONG THE NORTHWESTERLY RIGHT-OF-WAY LINE; SOUTH 31 DEGREES 51 MINUTES 16 SECONDS WEST 297.16 FEET (SOUTH 31 DEGREES 51 MINUTES 14 SECONDS WEST-PLAT) ALONG THE NORTHWESTERLY RIGHT-OF-WAY LINE; THENCE NORTH 56 DEGREES 03 MINUTES 32 SECONDS WEST 142.08 FEET; THENCE NORTH 18 DEGREES 37 MINUTES 38 SECONDS WEST 39.10 FEET TO A POINT IN THE CENTERLINE OF AN EXISTING CREEK; THENCE NORTH 17 DEGREES 42 MINUTES 02 SECONDS WEST 49.34 FEET ALONG THE SAID CENTERLINE; THENCE NORTH 26 DEGREES 18 MINUTES 46 SECONDS WEST 101.52 FEET ALONG THE SAID CENTERLINE; THENCE NORTH 8 DEGREES 54 MINUTES 06 SECONDS WEST 84.02 FEET ALONG THE SAID CENTERLINE; THENCE NORTH 29 DEGREES 59 MINUTES 11 SECONDS WEST 100.34 FEET ALONG THE SAID CENTERLINE; THENCE SOUTH 61 DEGREES 27 MINUTES 36 SECONDS WEST 129.77 FEET ALONG THE SAID CENTERLINE; THENCE NORTH 51 DEGREES 33 MINUTES 40 SECONDS WEST 89.19 FEET ALONG THE SAID CENTERLINE TO A POINT ON THE WEST LINE OF LOT 1, TIMBER RIDGE DRIVING RANGE; THENCE NORTH 4 DEGREES 37 MINUTES 48 SECONDS EAST 59.25 FEET (NORTH 4 DEGREES 30 MINUTES 15 SECONDS EAST-PLAT) TO A WESTERLY CORNER OF LOT 1, THENCE NORTH 31 DEGREES 03 MINUTES 21 SECONDS EAST 522.99 FEET (NORTH 30 DEGREES 55 MINUTES 48 SECONDS EAST-PLAT) TO A WESTERLY CORNER OF LOT 1, SAID POINT BEING SOUTH 0 DEGREES 09 MINUTES 46 SECONDS WEST 255.32 FEET (SOUTH 0 DEGREES 02 MINUTES 13 SECONDS WEST 255.08 FEET-PLAT) FROM THE NORTHEAST CORNER OF LOT 1; THENCE 0 DEGREES 09 MINUTES 46 SECONDS EAST 65.32 FEET (NORTH 0 DEGREES 02 MINUTES 13 SECONDS EAST- PLAT) ALONG THE WEST LINE OF LOT 2 TO THE POINT OF BEGINNING, EXPECT THAT PART IN STREETS, ROADS, OR HIGHWAYS.

LEGEND

	CREEK CENTERLINE
	ORDINARY HIGH WATER
	LIMITS OF SUB-DRAINAGE AREA
	LIMITS OF STREAMSIDE ZONE
	LIMITS OF OUTER ZONE
	LIMITS OF EXISTING SUB-DRAINAGE AREA
	EXISTING EASEMENT LINE
	CENTERLINE OF EXISTING EASEMENT LINE
	FIELD DELINEATED MATURE RIPARIAN VEGETATIVE LIMITS
	AREA WITH MATURE RIPARIAN VEGETATION OR SLOPES OF 15% OR GREATER
	AREA OF DISTURBANCE WITHIN OUTER ZONE

NOTES:

1. THERE IS BOTH A FLOODPLAIN AND FLOODWAY ASSOCIATED WITH THIS PROPERTY.

FLOOD STATEMENT:

THE ACCURACY OF ANY FLOOD HAZARD DATA SHOWN HEREON IS SUBJECT TO MAP SCALE UNCERTAINTY AND TO ANY OTHER UNCERTAINTY IN LOCATION OR ELEVATION OF THE REFERENCED FLOOD INSURANCE RATE MAP. THE SURVEYED PROPERTY LIES WITHIN FLOOD HAZARD ZONE "X, NON-SHADED, AREA OF MINIMAL FLOOD HAZARD" AS SAID PROPERTY PLOTS BY SCALE ON THE FLOOD INSURANCE RATE MAP FOR THE CITY OF KANSAS CITY, FLOOD MAP FOR THE SELECTED AREA IS NUMBER 29095C0134G, EFFECTIVE ON 01/20/2017.

SURVEY REFERENCE:

- TIMBER RIDGE DRIVING RANGE RECORDED WITH DOC NO. L82761 IN BK. D, PG. 23.
- MAPLE PARK GARDENS RECORDED WITH DOC NO. 00312.D IN BK. B AT PG 4.
- SURVEY PERFORMED BY KAW VALLEY ENGINEERING, WITH PROJECT NO. B21S4185, DATED MAY 6, 2021.

BASIS OF BEARINGS:

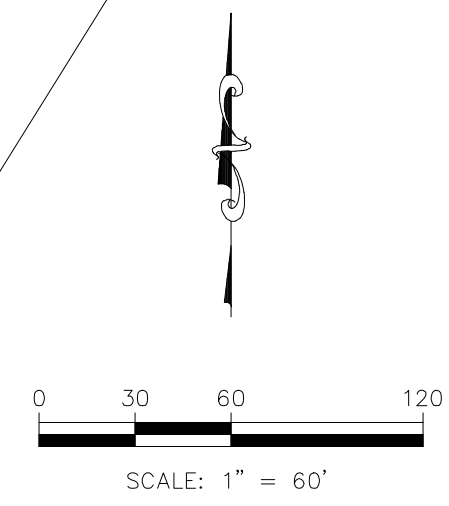
SOUTH 31°51'14" WEST ALONG THE EAST LINE OF LOT 1, TIMBER RIDGE DRIVING RANGE AS DETERMINED BY GLOBAL POSITIONING SYSTEM OBSERVATIONS USING MODOT VRS, 2018 GEOID, AND REFERENCED TO THE MISSOURI STATE PLANE COORDINATE SYSTEM, WEST ZONE (NAD83).

DATUM BENCHMARK:

DATUM IS U.S. SURVEY FEET AND REFERS TO NAVD88 DATUM DERIVED FROM CONNECTIONS TO NATIONAL CORNS NETWORK VIA GPS STATIC SESSIONS ON PROJECT CONTROL PROCESSED WITH THE NATIONAL GEODETIC SURVEY'S OPUS PROJECTS UTILITY. ORTHOMETRIC HEIGHT WAS CALCULATED USING THE GEOID12B MODEL.

CONTROL POINTS:

CP#104	CP#103
60D NAIL	MAG NAIL
N=1104010.75'	N=1103747.00'
E=2786041.92'	E=2785913.44'
ELEV=830.62'	ELEV=804.54'



MAC	CHK
JAD	DWN
MAC	DSN
05/01/24	INITIAL SUBMITTAL
0	REV
05/01/24	DATE
	DESCRIPTION



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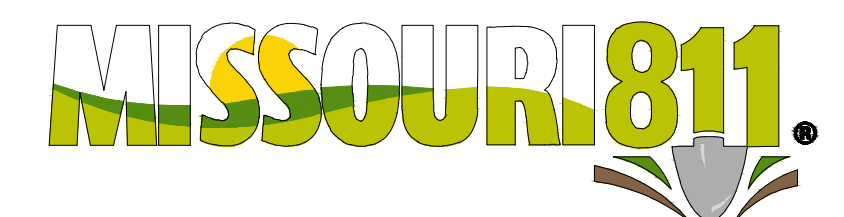
KAW VALLEY ENGINEERING

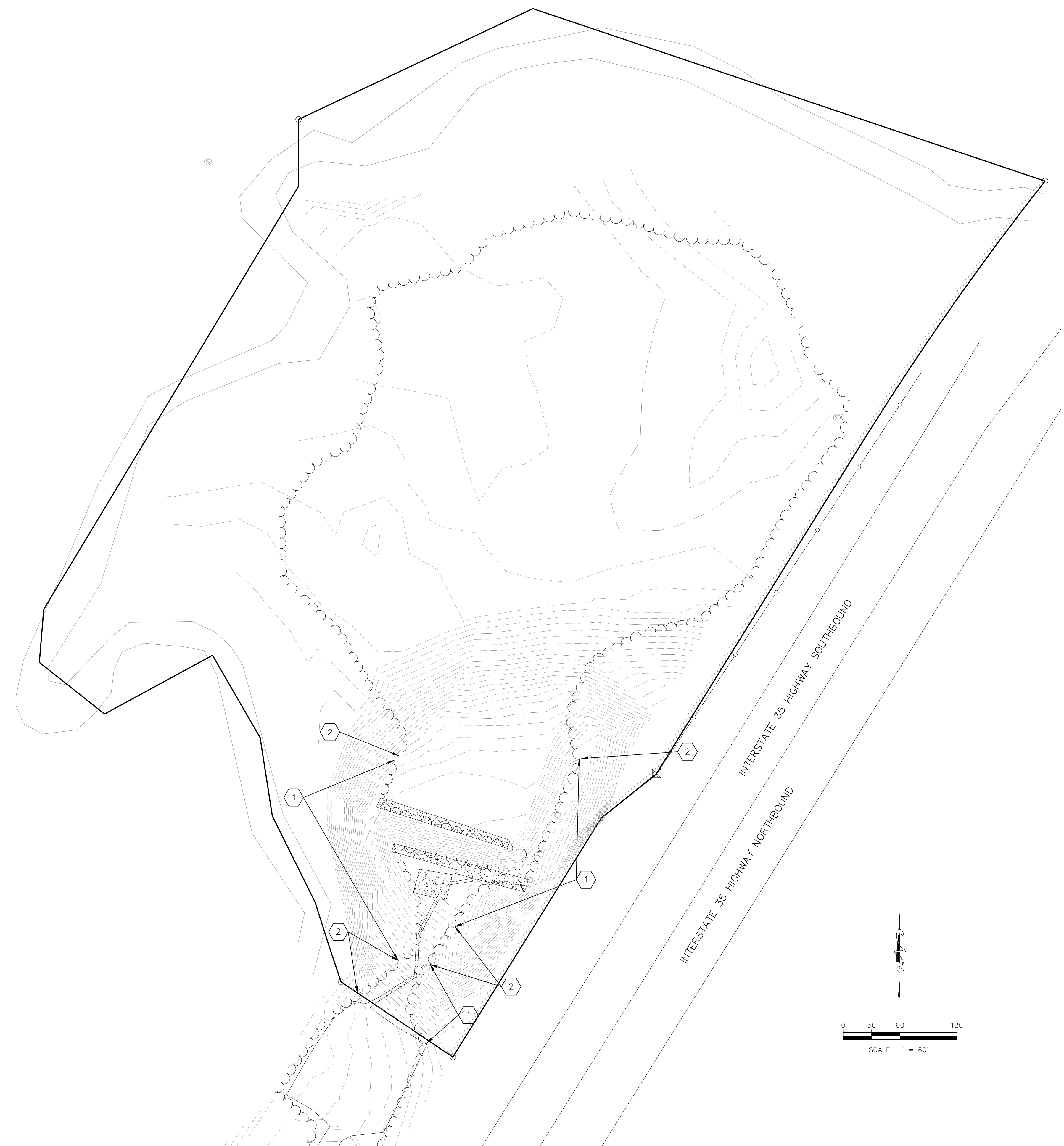
KAW VALLEY ENGINEERING, INC. IS AUTHORIZED TO OFFER ENGINEERING SERVICES BY MISSOURI STATE CERTIFICATE OF AUTHORITY # 000842. EXPIRES 12/31/25

OAK RIDGE PRACTICE FIELD
5870 NE OAK RIDGE DR
KANSAS CITY, MO, 64119

DEVELOPMENT PLAN
FINAL STREAM BUFFER PLAN

PROJ. NO.	B23D4618
DESIGNER	MAC
DRAWN BY	JED
CFN	4618ST.BU.PL
SHEET	REV
C500	0





Tree Preservation and Protection

	Tree Canopy (sqft)	Tree Canopy (ac)
Existing	255838	5.87
Removed	19831	0.46
Preserved	236007	5.42

GENERAL NOTES:

1. PROPERTY ADDRESS: 5870 NORTHEAST OAK RIDGE DRIVE, KANSAS CITY, MISSOURI 64119
2. GROSS LAND AREA: 13.64 ACRES, MORE OR LESS.
3. THE SURVEY WAS EXECUTED IN ACCORDANCE WITH LAWS AND STANDARDS FOR THE STATE OF MISSOURI.
4. THE PROPERTY HAS DIRECT ACCESS TO NORTHEAST OAK RIDGE DRIVE, A DEDICATED PUBLIC STREET.
5. NO MITIGATION SHALL BE REQUIRED IF CONTIGUOUS TREE CANOPY COVER IS LESS THAN ONE ACRE.

NOTES:

- 1 REMOVE TREES
- 2 TREES TO REMAIN

LEGEND

- TREE LINE
- FINISHED 1' CONTOUR INTERVALS
- EXISTING 1' CONTOUR INTERVALS



REV	DATE	DESCRIPTION	MAC	JAD	MAC	CHK
0	05/01/24	INITIAL SUBMITTAL				



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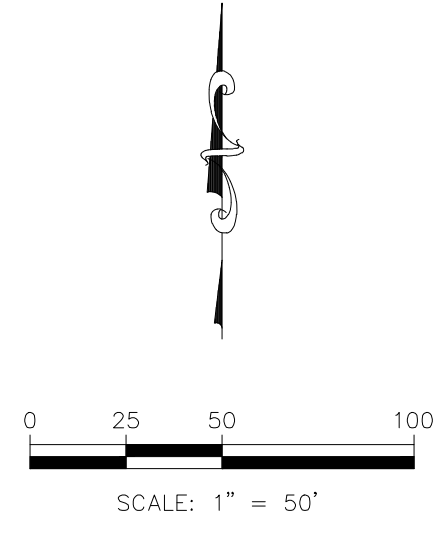
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OAK RIDGE PRACTICE FIELD
5870 NE OAK RIDGE DR
KANSAS CITY, MO, 64119

DEVELOPMENT PLAN
TREE PRESERVATION AND PROTECTION PLAN

PROJ. NO.	B23D4618
DESIGNER	MAC
DRAWN BY	JED
CFN	4618TREE
SHEET	C600
REV	0

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DEMOLITION NOTES:

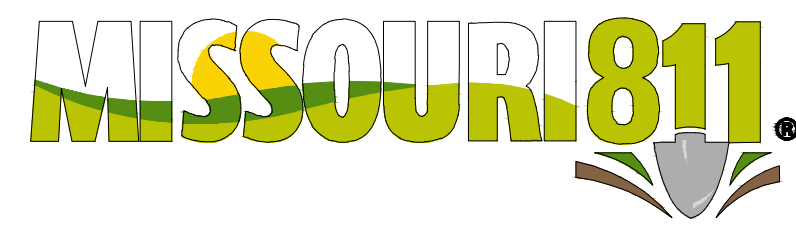
1. CONTRACTOR SHALL VERIFY SITE CONDITIONS PRIOR TO BIDDING. CONTRACTOR SHALL REMOVE AS SHOWN, IN ACCORDANCE WITH THE SPECIFICATIONS AND THE CITY OF KANSAS CITY AND STATE REGULATIONS.
2. CONTRACTOR SHALL SMOOTH GRADE THE SITE TO MATCH EXISTING CONTOURS OF THE SURROUNDING LAND TO ENSURE POSITIVE DRAINAGE.

DISTURBED AREA:

PHASE 2 = 49,226 SQ.FT. / 1.13 ACRES

NOTES:

1. TO REMAIN
2. REMOVE TREES
3. REMOVE CONCRETE
4. REMOVE EXISTING LIGHTING



0	05/01/24	INITIAL SUBMITTAL	MAC	JAD	MAC	CHK
		DESCRIPTION	DSN	DWN		



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KAW VALLEY ENGINEERING

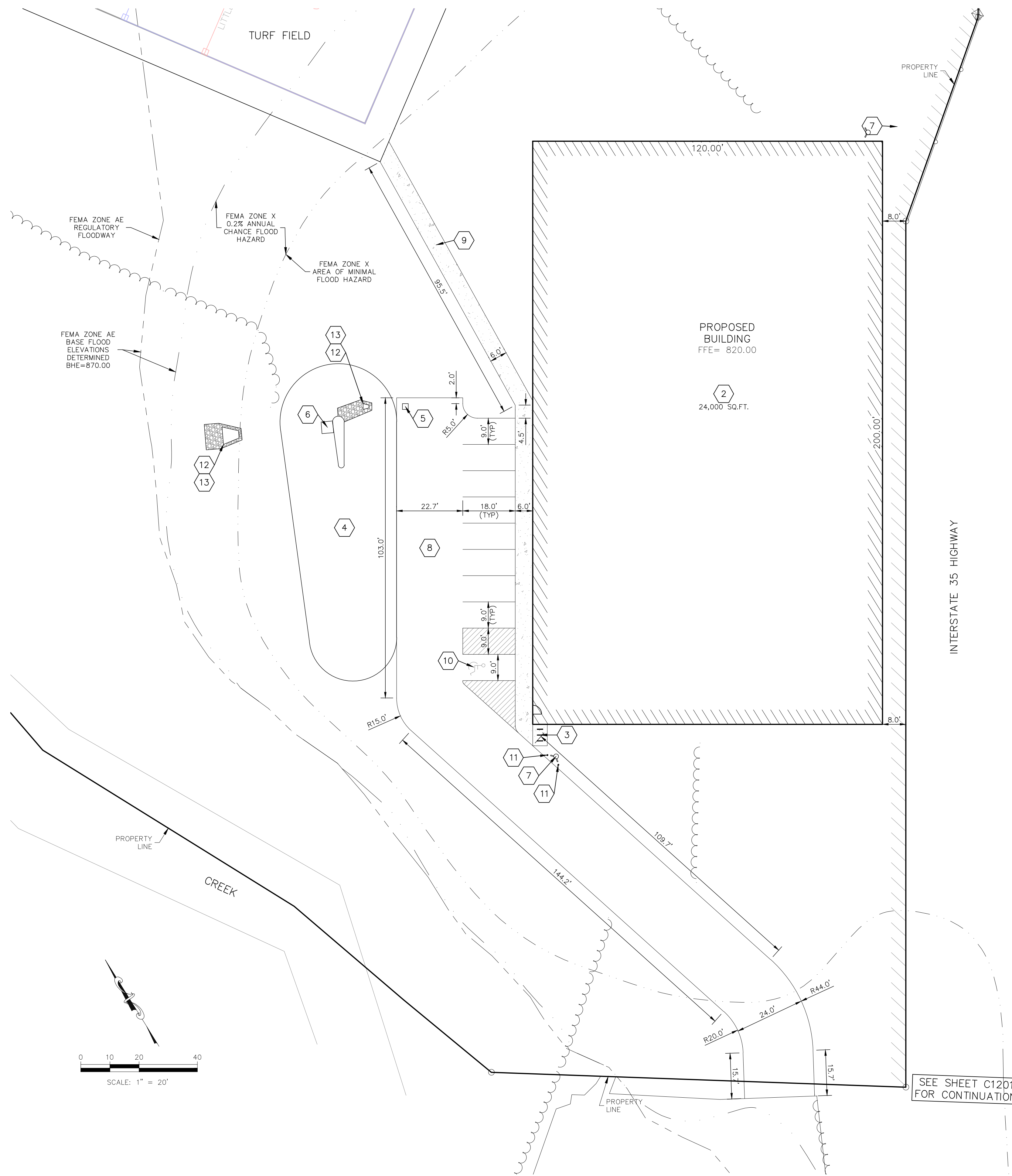
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OAK RIDGE PRACTICE FIELD
5870 NE OAK RIDGE DR
KANSAS CITY, MO, 64119

DEVELOPMENT PLAN
DEMOLITION PLAN - PHASE 2

PROJ. NO.	B23D4618
DESIGNER	MAC
DRAWN BY	JED
CFN	4618DEMO
SHEET	C1100
REV	0

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NOTE:

1. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRANCE, SLOPED PAVING, EXIT PORCHES, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
2. THESE PLANS HAVE NOT BEEN VERIFIED WITH FINAL ARCHITECTURAL CONTRACT DRAWINGS. CONTRACTOR SHALL VERIFY AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES. CONTRACTOR IS FULLY RESPONSIBLE FOR REVIEW AND COORDINATION OF ALL DRAWINGS AND CONTRACTOR DOCUMENTS.
3. ALL DIMENSIONS ARE TO BACK OF CURB UNLESS NOTED OTHERWISE.
4. ALL DIMENSIONS ARE PERPENDICULAR TO PROPERTY LINE.

CONSTRUCTION NOTES:

1. COORDINATE START-UP AND ALL CONSTRUCTION ACTIVITIES WITH OWNER.
2. CONSTRUCTION METHODS AND MATERIALS NOT SPECIFIED IN THESE PLANS ARE TO MEET OR EXCEED THE CITY OF KANSAS CITY, MISSOURI.
3. ALL CONSTRUCTION WORK AND UTILITY WORK OUTSIDE OF PROPERTY BOUNDARIES SHALL BE PERFORMED IN COOPERATION, AND IN ACCORDANCE WITH, REGULATIONS OF THE AUTHORITIES CONCERNED.
4. PUBLIC CONVENIENCE AND SAFETY: THE CONTRACTOR SHALL CONDUCT THE WORK IN A MANNER THAT WILL ENSURE, AS FAR AS PRACTICABLE, THE LEAST OBSTRUCTION TO TRAFFIC, AND SHALL PROVIDE FOR THE CONVENIENCE AND SAFETY OF THE GENERAL PUBLIC AND RESIDENTS ALONG, AND ADJACENT TO, HIGHWAYS IN THE CONSTRUCTION AREA.
5. ALL DIMENSIONS SHOWN ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
6. ACCESSIBLE STALLS SHOWN WITH A "V" SHALL BE 16'-0" MIN. AND SHALL HAVE A SIGN DESIGNATING "VAN-ACCESSIBLE". SEE DETAIL 10 AND 120.
7. CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL. ALL TRAFFIC CONTROL DEVICES, INSTALLATION, AND OPERATIONS, SHALL CONFORM WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
8. PAINT FOR STRIPING ON PUBLIC STREETS, HIGHWAYS, AND ENTRANCES, SHALL BE REFLECTORIZED PAINT CONFORMING TO THE SPECIFICATIONS OR REQUIREMENTS OF THE AUTHORITY GOVERNING THE STREET OR HIGHWAY.
9. ALL WATER SERVICE INSTALLATIONS INCLUDING BACKFLOW DEVICES ARE SUBJECT TO FIELD VERIFICATION AND APPROVAL BY THE WATER DEPARTMENT INSPECTOR.

- NOTES:**
1. EXISTING PRIVATE DRIVE
 2. PROPOSED BUILDING
 3. BICYCLE U-RACK
 4. DETENTION POND (CONTRACTOR TO MAINTAIN/CLEAN)
 5. 2'X2' ROAD & HIGHWAY GRATE INLET
 6. DETENTION RELEASE STRUCTURE
 7. PROPOSED FIRE HYDRANT (SEE UTILITY PLAN)
 8. REGULAR DUTY ASPHALT PAVEMENT
 9. CONCRETE SIDEWALK
 10. ADA ACCESSIBLE SPACE STRIPING
 11. BOLLARD
 12. RIP RAP AT FES
 13. FLARED END SECTION

MAC	JAD	MAC	JAD	MAC	JAD	MAC	JAD
DSN	DWN	DSN	DWN	DSN	DWN	DSN	DWN
0	05/01/24	INITIAL SUBMITTAL	DESCRIPTION	REV	DATE	DESCRIPTION	



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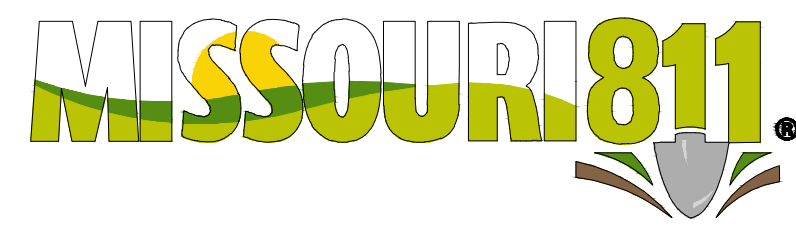
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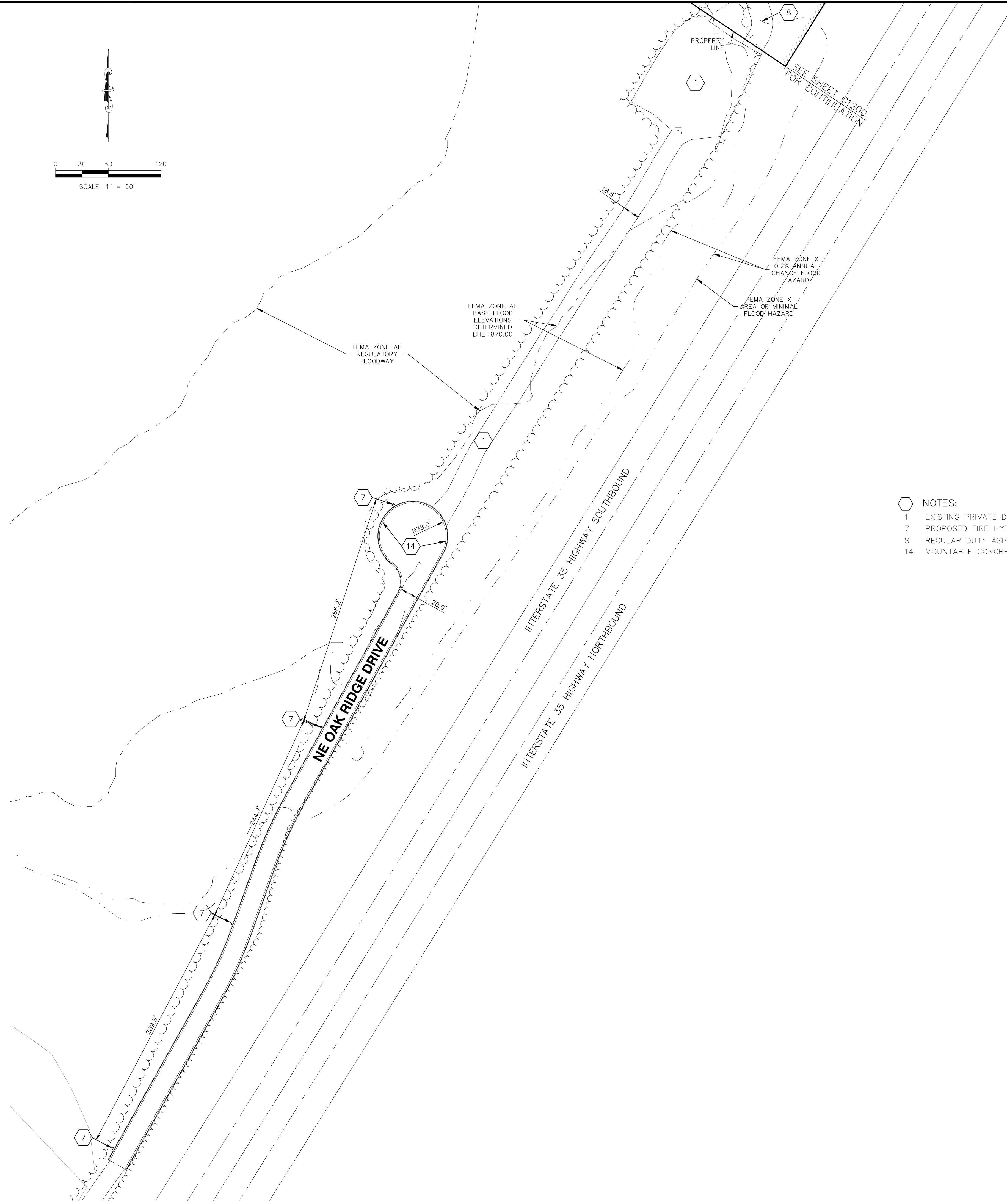
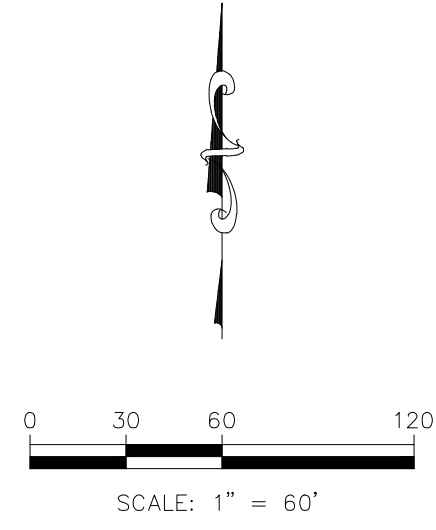
OAK RIDGE PRACTICE FIELD
5870 NE OAK RIDGE DR
KANSAS CITY, MO, 64119

DEVELOPMENT PLAN
SITE AND DIMENSION PLAN 1 - PHASE 2

PROJ. NO.	B23D4618
DESIGNER	MAC
DRAWN BY	JED
CFN	4618SP
SHEET	C1200
REV	0



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NOTE:

- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRANCE, SLOPED PAVING, EXIT PORCHES, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- THESE PLANS HAVE NOT BEEN VERIFIED WITH FINAL ARCHITECTURAL CONTRACT DRAWINGS. CONTRACTOR SHALL VERIFY AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES. CONTRACTOR IS FULLY RESPONSIBLE FOR REVIEW AND COORDINATION OF ALL DRAWINGS AND CONTRACTOR DOCUMENTS.
- ALL DIMENSIONS ARE TO BACK OF CURB UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS ARE PERPENDICULAR TO PROPERTY LINE.

CONSTRUCTION NOTES:

- COORDINATE START-UP AND ALL CONSTRUCTION ACTIVITIES WITH OWNER.
- CONSTRUCTION METHODS AND MATERIALS NOT SPECIFIED IN THESE PLANS ARE TO MEET OR EXCEED THE CITY OF KANSAS CITY, MISSOURI.
- ALL CONSTRUCTION WORK AND UTILITY WORK OUTSIDE OF PROPERTY BOUNDARIES SHALL BE PERFORMED IN COOPERATION, AND IN ACCORDANCE WITH, REGULATIONS OF THE AUTHORITIES CONCERNED.
- PUBLIC CONVENIENCE AND SAFETY: THE CONTRACTOR SHALL CONDUCT THE WORK IN A MANNER THAT WILL ENSURE, AS FAR AS PRACTICABLE, THE LEAST OBSTRUCTION TO TRAFFIC, AND SHALL PROVIDE FOR THE CONVENIENCE AND SAFETY OF THE GENERAL PUBLIC AND RESIDENTS ALONG, AND ADJACENT TO, HIGHWAYS IN THE CONSTRUCTION AREA.
- ALL DIMENSIONS SHOWN ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
- ACCESSIBLE STALLS SHOWN WITH A "V" SHALL BE 16'-0" MIN. AND SHALL HAVE A SIGN DESIGNATING "VAN-ACCESSIBLE". SEE DETAIL 102 AND 120.
- CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL. ALL TRAFFIC CONTROL DEVICES, INSTALLATION, AND OPERATIONS, SHALL CONFORM WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
- PAINT FOR STRIPING ON PUBLIC STREETS, HIGHWAYS, AND ENTRANCES, SHALL BE REFLECTORIZED PAINT CONFORMING TO THE SPECIFICATIONS OR REQUIREMENTS OF THE AUTHORITY GOVERNING THE STREET OR HIGHWAY.
- ALL WATER SERVICE INSTALLATIONS INCLUDING BACKFLOW DEVICES ARE SUBJECT TO FIELD VERIFICATION AND APPROVAL BY THE WATER DEPARTMENT INSPECTOR.

NOTES:

- EXISTING PRIVATE DRIVE
- PROPOSED FIRE HYDRANT (SEE UTILITY PLAN)
- REGULAR DUTY ASPHALT PAVEMENT
- MOUNTABLE CONCRETE CURB AND GUTTER

MAC	JAD	MAC	JAD	MAC	CHK
DSN	DWN	DSN	DWN	DSN	CHK
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REV	DATE	DESCRIPTION			



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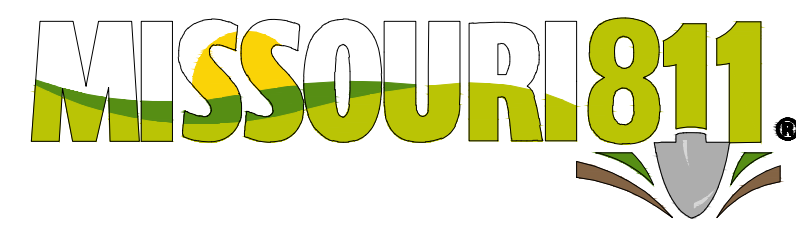
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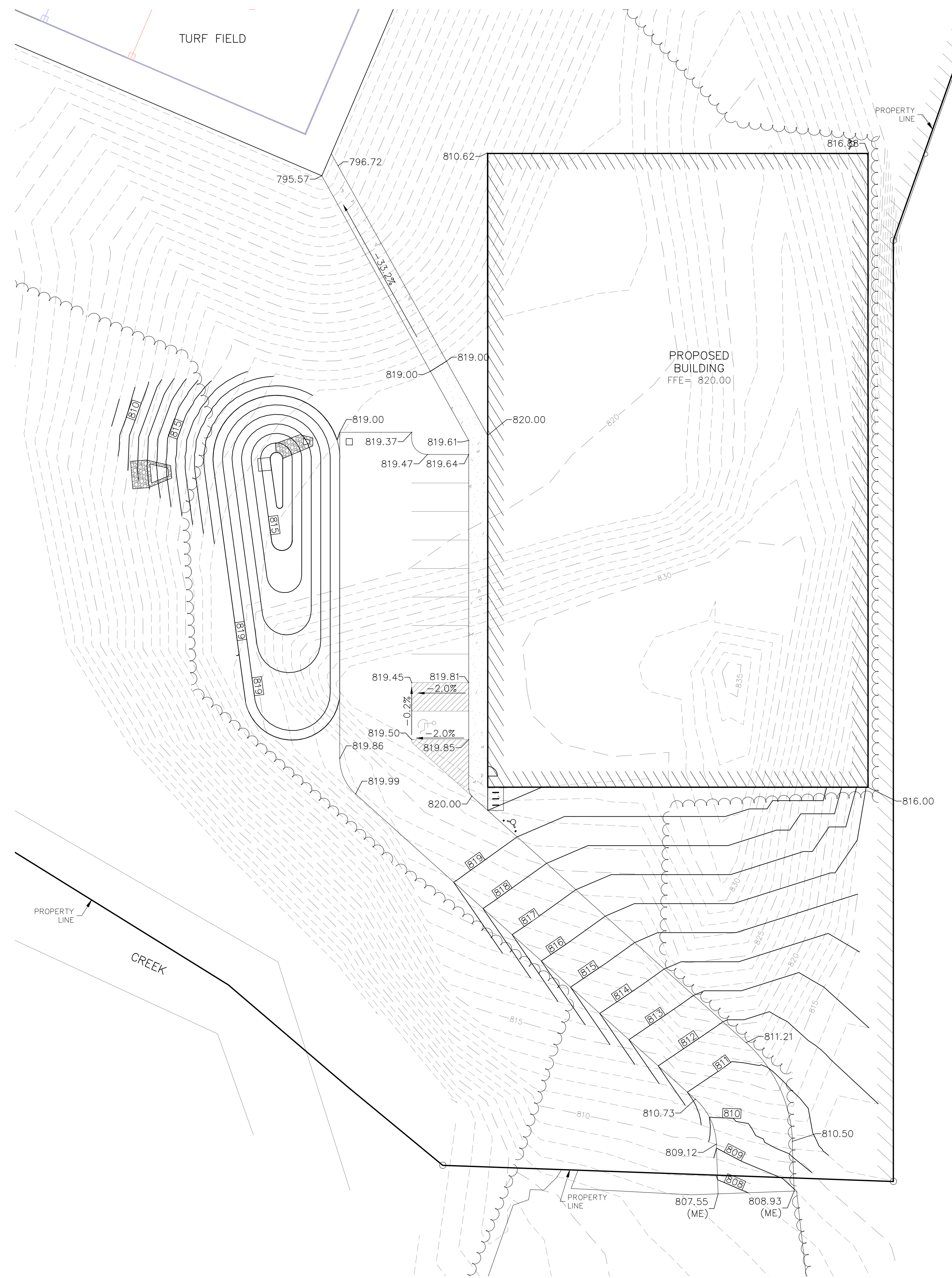
OAK RIDGE PRACTICE FIELD
5870 NE OAK RIDGE DR
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DEVELOPMENT PLAN
SITE AND DIMENSION PLAN 2 - PHASE 2

PROJ. NO.	B23D4618
DESIGNER	MAC
DRAWN BY	JED
CFN	4618SP
SHEET	C1201
REV	0



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GRADING NOTES:

1. THE CONSTRUCTION AREA SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL AND ORGANIC MATTER FROM ALL AREAS TO BE OCCUPIED BY BUILDING AND PAVING. TOPSOIL FOR REPLACEMENT ON SLOPES MAY BE STOCKPILED ON SITE. EXCESS TOPSOIL MAY BE WASTED IN FILL SLOPES PROVIDED THAT NO TOPSOIL WILL BE WASTED WITHIN 10 FEET OF THE EDGE OF THE BUILDING OR PARKING AREA. BURNING OF TIMBER WILL NOT BE PERMITTED UNLESS APPROVAL IS OBTAINED FROM GOVERNING OFFICIALS. STRIPPING EXISTING TOPSOIL AND ORGANIC MATTER SHALL BE TO A MINIMUM DEPTH OF 6 INCHES.
2. AREAS TO RECEIVE FILL SHALL BE SCARIFIED AND THE TOP 8-INCH DEPTH COMPACTED TO 95% STANDARD PROCTOR DENSITY. ANY UNSUITABLE AREAS SHALL BE UNDERCUT AND REPLACED WITH SUITABLE MATERIAL BEFORE ANY FILL MATERIAL CAN BE APPLIED.
3. OFF-SITE FILL MATERIAL SHALL HAVE A PLASTICITY INDEX OF 25 OR LESS, A LIQUID LIMIT OF 45 OR LESS AND CONTAIN NO ROCK LARGER THAN FOUR INCHES. OFF-SITE FILL MATERIAL SHALL BE APPROVED BY THE OWNER PRIOR TO BRINGING ON SITE.
4. EARTHWORK UNDER THE BUILDING SHALL COMPLY WITH THE PROJECT ARCHITECTURAL PLANS. OTHER FILL MATERIAL SHALL BE MADE IN LIFTS NOT TO EXCEED EIGHT INCHES DEPTH COMPACTED TO 95% STANDARD PROCTOR DENSITY. FILL MATERIAL MAY INCLUDE ROCK FROM ON-SITE EXCAVATION IF CAREFULLY PLACED SO THAT LARGE STONES ARE WELL DISTRIBUTED AND VOIDS ARE COMPLETELY FILLED WITH SMALLER STONES, EARTH, SAND OR GRAVEL TO FURNISH A SOLID EMBANKMENT. NO ROCK LARGER THAN THREE INCHES IN ANY DIMENSION NOR ANY SHALE SHALL BE PLACED IN THE TOP 12 INCHES OF EMBANKMENT.
5. AREAS THAT ARE TO BE CUT TO SUBGRADE LEVELS SHALL BE PROOF ROLLED WITH A MODERATELY HEAVY LOADED DUMP TRUCK OR SIMILAR APPROVED CONSTRUCTION EQUIPMENT TO DETECT UNSUITABLE SOIL CONDITIONS.
6. IN ALL AREAS OF EXCAVATION, IF UNSUITABLE SOIL CONDITIONS ARE ENCOUNTERED, A QUALIFIED GEOTECHNICAL ENGINEER SHALL RECOMMEND TO THE OWNER THE METHODS OF UNDERCUTTING AND REPLACEMENT OF PROPERLY COMPACTED, APPROVED FILL MATERIAL. ALL PROOFROLLING AND UNDERCUTTING SHOULD BE PERFORMED DURING A PERIOD OF DRY WEATHER.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
8. ALL SLOPES ARE TO BE 3:1 OR FLATTER UNLESS OTHERWISE INDICATED.
9. ALL SLOPES EXCEEDING 3:1 SHALL BE PROTECTED BY RIP RAP, CONCRETE PAVING, OR OTHER METHODS INDICATED ON THESE PLANS, THAT WILL PREVENT EROSION AND PLACED SUCH THAT THE SURFACE IS FLUSH WITH SURROUNDING GROUND AND SHAPED TO CHANNEL WATER IN DIRECTIONS INDICATED.
10. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND FOUR INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON-SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEEDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER PRIOR TO FINAL ACCEPTANCE OF THE PROJECT.
11. CONTRACTOR SHALL USE SILT FENCE, BALES OF HAY OR OTHER MEANS OF CONTROLLING EROSION ALONG THE EDGE OF THE PROPERTY OR OTHER BOTTOM OF SLOPE LOCATIONS.
12. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS.
13. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
14. IT IS NOT THE DUTY OF THE ENGINEER OR THE OWNER TO REVIEW THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE AT ANY TIME DURING CONSTRUCTION.

IF DISCREPANCIES EXIST BETWEEN THE GRADING NOTES HEREON, AND THE RECOMMENDATIONS OUTLINED IN THE PROJECT GEOTECHNICAL REPORT, THE RECOMMENDATIONS OUTLINED IN THE GEOTECHNICAL REPORT SHALL GOVERN.

LEGEND (PROPOSED)

(ME)	MATCH EXISTING
82.92	SPOT ELEVATION TOP OF PAVEMENT
800	FINISHED 1' CONTOUR INTERVALS
890	EXISTING 1' CONTOUR INTERVALS

MAC	JAD	CHK
MAC	DSN	DWN
0	05/01/24	INITIAL SUBMITTAL
0		REV
		DATE
		DESCRIPTION



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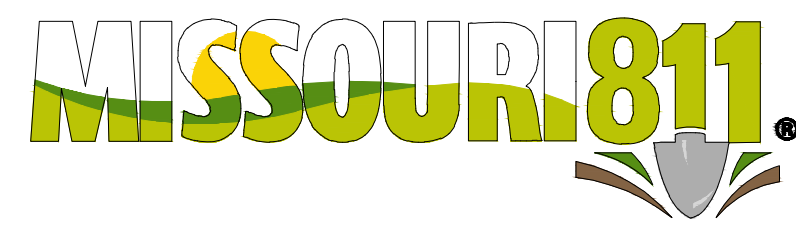
KAW VALLEY ENGINEERING

KAW VALLEY ENGINEERING, INC. IS AUTHORIZED TO OFFER ENGINEERING SERVICES BY MISSOURI STATE CERTIFICATE OF AUTHORITY # 000842. EXPIRES 12/31/25

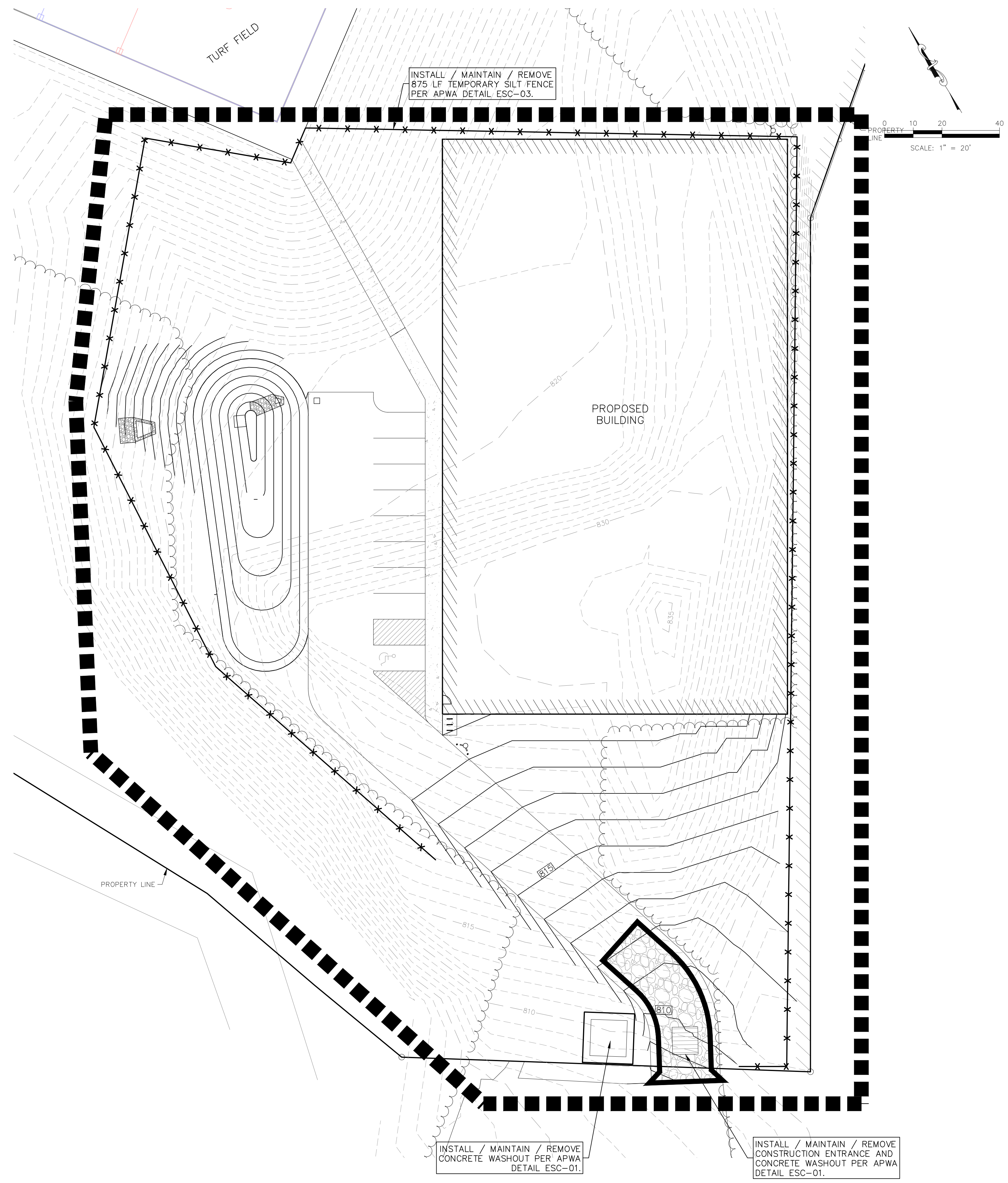
OAK RIDGE PRACTICE FIELD
5870 NE OAK RIDGE DR
KANSAS CITY, MO, 64119

DEVELOPMENT PLAN
GRADING PLAN - PHASE 2

PROJ. NO.	B23D4618
DESIGNER	MAC
DRAWN BY	JED
CFN	4618GP
SHEET	C1300
REV	0



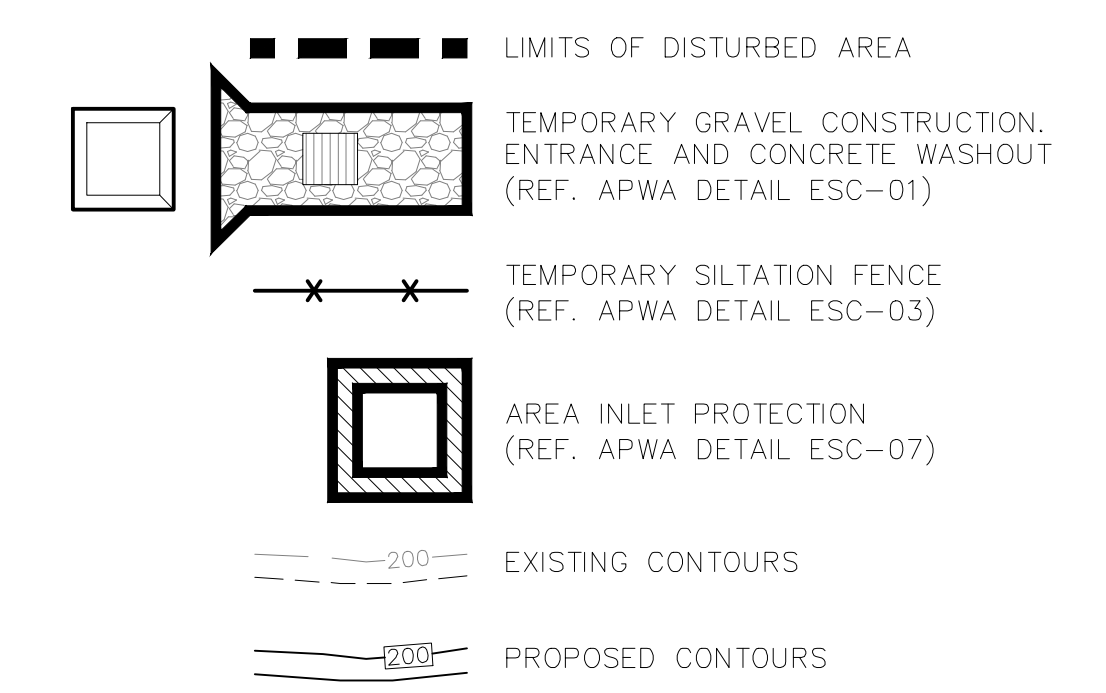
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EROSION CONTROL NOTES:

1. PROPERTY LINE IS LIMITS OF CONSTRUCTION EXCEPT AS SHOWN.
2. THE CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE DRAWINGS PRIOR TO BEGINNING EARTHWORK OPERATIONS AND DURING APPROPRIATE PHASING AS CONSTRUCTION PROGRESSES.
3. THE CONTRACTOR SHALL MAINTAIN ALL SILT CONTROL MEASURES DURING CONSTRUCTION. BUILDERS AND OR DEVELOPER TO MAINTAIN EROSION CONTROL AND SILT CONTROL UPON COMPLETION OF THIS PROJECT.
4. ALL SILT SHALL REMAIN ON SITE AND SURROUNDING STREETS SHALL BE KEPT CLEAR OF ALL MUD AND DEBRIS.
5. SEDIMENTATION BARRIERS ARE TO BE INSTALLED AS SHOWN AND AT ANY ADDITIONAL AREAS OF CONCENTRATED FLOWS NOT SHOWN ON PLANS.
6. ACCUMULATED SEDIMENT SHALL BE REMOVED AND THE SEDIMENTATION BARRIERS MAINTAINED AS NEEDED TO PREVENT SEDIMENTATION BYPASS OF THE BARRIER.
7. SLOPES ARE TO BE LEFT IN A ROUGH CONDITION DURING GRADING.
8. CURB INLET SEDIMENTATION BARRIERS ARE TO BE INSTALLED AROUND INLETS AND WEIRS WHERE SEDIMENTATION IS A CONCERN. INLET BARRIERS SHALL BE FILTERS, OR SILT FENCE, OR STRAW BALES (PRIOR TO PAVING PLACEMENT). AFTER PAVING IS IN PLACE, PROVIDE FILTER PROTECTION THAT CANNOT BE WASHED INTO INLETS OR WASHED AWAY. STRAW/HAY BALES WILL NOT BE ALLOWED ON CONCRETE OR ASPHALT PAVING.
9. SEDIMENT IS TO BE REMOVED FROM STORM WATER DRAINAGE SYSTEMS. ALL SEDIMENT CONTROL MEASURES TO BE INSPECTED AND REPAIRED IMMEDIATELY AND ON A REGULAR BASIS AFTER ALL RAIN STORMS.
10. RIPRAP IS TO BE INSTALLED AT AREAS OF CONCENTRATED FLOW (I.E. CULVERT OUTLETS).
11. CONTRACTOR IS RESPONSIBLE FOR INSTALLING ANY ADDITIONAL EROSION CONTROL AS HE/SHE DEEMS NECESSARY TO PREVENT SEDIMENT FROM ENTERING STORM DRAINS, STREETS, AND WATERWAYS.
12. THE CONTRACTOR SHALL PROVIDE ALL MATERIALS, TOOLS, EQUIPMENT AND LABOR AS NECESSARY TO INSTALL AND MAINTAIN ADEQUATE EROSION AND SILTATION CONTROLS REQUIRED TO PREVENT SOIL EROSION FROM LEAVING THE PROJECT SITE. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO ENSURE THAT METHODS UTILIZED ARE ADEQUATE AND COMPLY WITH REQUIREMENTS OF THE SPECIFICATIONS AND GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE WORK.
13. TEMPORARY SEDIMENT FENCE EROSION CONTROL MEASURES TO REMAIN UNTIL ADEQUATE VEGETATION IS ESTABLISHED. ON PROJECTS THAT ARE NOT EXPECTING IMMEDIATE DEVELOPMENT (I.E.- INTERCEPTOR SEWERS, OFFSITE IMPROVEMENTS, ETC.) EROSION CONTROL MEASURES ARE TO BE REMOVED BY CONTRACTOR AS SOON AS ADEQUATE VEGETATION IS ESTABLISHED.
14. MUD, SILT, AND DEBRIS SHALL BE CLEANED UP AT THE CONCLUSION OF EACH WORKING DAY, OR AFTER EACH RAINFALL.
15. INSPECTION, MAINTENANCE AND REPAIR OF EROSION CONTROL DEVICES SHALL BE ON GOING THROUGHOUT THE LIFE OF INFRASTRUCTURE AND BUILDING CONSTRUCTION TO KEEP THE DEVICES IN OPERABLE CONDITION AT ALL TIMES. ADDITIONAL MEASURES SHALL BE INSTALLED AS REQUIRED BY ACTUAL FIELD CONDITIONS AND/OR GOVERNING INSPECTION AGENCIES. NOTE: ALTHOUGH EXTENSIVE EFFORT IS PUT INTO THE DESIGN OF THE EROSION CONTROL PLAN BY THE ENGINEER, IT IS THE RESPONSIBILITY OF THE CONTRACTOR/DEVELOPER TO ENSURE THAT ANY ADDITIONAL REQUIRED EROSION CONTROL MEASURES ARE INSTALLED AND MAINTAINED AT NO ADDITIONAL COST TO THE OWNER.
16. INSTALL AND MAINTAIN CONSTRUCTION ENTRANCE(S) AT ANY POINT WHERE TRAFFIC WILL BE ENTERING OR LEAVING THE SITE AND AS SHOWN ON PLANS.
17. AT COMPLETION OF SITE GRADING AND OTHER RELATED CONSTRUCTION ACTIVITIES, ALL DISTURBED AREAS WITHIN THE PROJECT SITE SHALL BE SEEDED, SODDED, OR LANDSCAPED. FLAT LOTS WILL NOT REQUIRE SEEDING BUT ALL SLOPES, DISTURBED AREAS AND STREET RIGHT-OF-WAYS WILL BE SEEDED.
18. TOPSOIL IS TO BE PLACED IN AREAS UNSUITABLE FOR VEGETATIVE GROWTH.
19. STRIP TOPSOIL PRIOR TO EXCAVATION, STOCKPILE AND SPREAD ONTO DISKED SUBGRADE (4" MIN) A THICKNESS OF 4 INCHES.
20. ROCK LINING (RIPRAP) SHALL BE DURABLE STONE CONTAINING A COMBINED TOTAL OF NOT MORE THAN 10 PERCENT OF EARTH, SAND, SHALE AND NON-DURABLE ROCK. AT LEAST 60 PERCENT OF THE MASS SHALL BE OF PIECES HAVING A MINIMUM WEIGHT OF 150 POUNDS OR MORE PER CUBIC FOOT.
21. THE CONTRACTOR SHALL HAVE THE RESPONSIBILITY FOR RESOLVING COMPLAINTS IN THE EVENT THAT COMPLAINTS OR DAMAGE CLAIMS ARE FILED DUE TO DAMAGES OCCURRING, ADJACENT TO OR DOWNSTREAM FROM PROPERTY, BY SEDIMENT RESULTING FROM EROSION ON THE PROJECT SITE.
22. GOOD HOUSEKEEPING PRACTICES SHALL BE MAINTAINED ON SITE TO KEEP SOLID WASTE FROM ENTRY INTO WATERS.
23. ALL FUELING FACILITIES PRESENT ON SITE SHALL ADHERE TO APPLICABLE FEDERAL AND STATE REQUIREMENTS CONCERNING UNDERGROUND STORAGE, ABOVE GROUND STORAGE AND DISPENSERS, INCLUDING SPILL PREVENTION, CONTROL AND COUNTER MEASURES.
24. MINIMAL WASHING OF CONCRETE EQUIPMENT ALLOWED (CHUTE, TOOLS, ETC.) AT A CONTRACTOR DEFINED LOCATION. CONCRETE WASHOUT OF THE DRUM IS NOT ALLOWED. ANY PIT/WASHOUT AREA NEEDS TO BE MAINTAINED IN A NON-DISCHARGING MANNER AND ANY WASTE RESIDUE WILL NEED TO BE CLEANED OUT AND REMOVED AT THE END OF PROJECT.
25. DEVELOPER IS RESPONSIBLE FOR HAVING LOT BUILDERS FOLLOW THE GUIDELINES OF "CONTROLLING EROSION WHEN BUILDING YOUR HOME" PROVIDED BY MISSOURI DEPARTMENT OF HEALTH AND ENVIRONMENT.
26. EROSION CONTROL STRAW/FIBER WATTLES TO BE INSTALLED 1'-0" BEHIND CURB & GUTTER UPON COMPLETION OF BACKFILL OF CURB IN ALL AREAS WHERE SLOPES FROM LOT DRAIN TOWARDS CURB. UPON COMPLETION OF FINAL GRADING THE TOES OF ALL EMBANKMENTS IN EXCESS OF TWO FEET IN HEIGHT WILL HAVE EROSION CONTROL SEDIMENT FENCE INSTALLED.
27. EROSION CONTROL SEDIMENT FENCE OR OTHER STRUCTURE MUST BE PLACED TO CONTROL RUNOFF DURING LOT DEVELOPMENT (BY OTHERS).

LEGEND:



MAC	CHK
JAD	DWN
MAC	DSN
05/01/24	INITIAL SUBMITTAL
0	REV
05/01/24	DATE
	DESCRIPTION



MATTHEW A. CROSS
ENGINEER
MO # 202008364

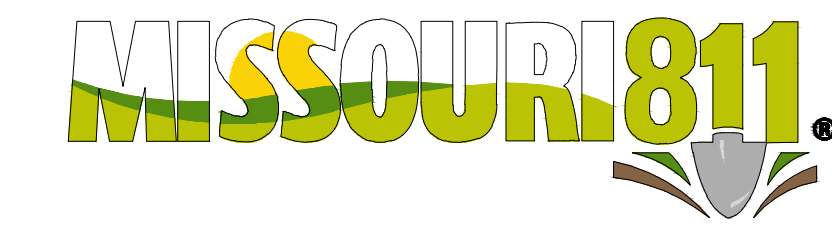
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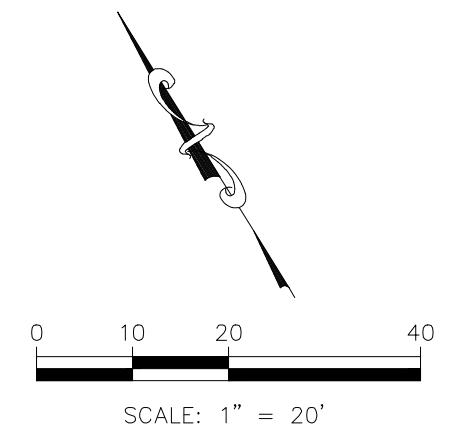
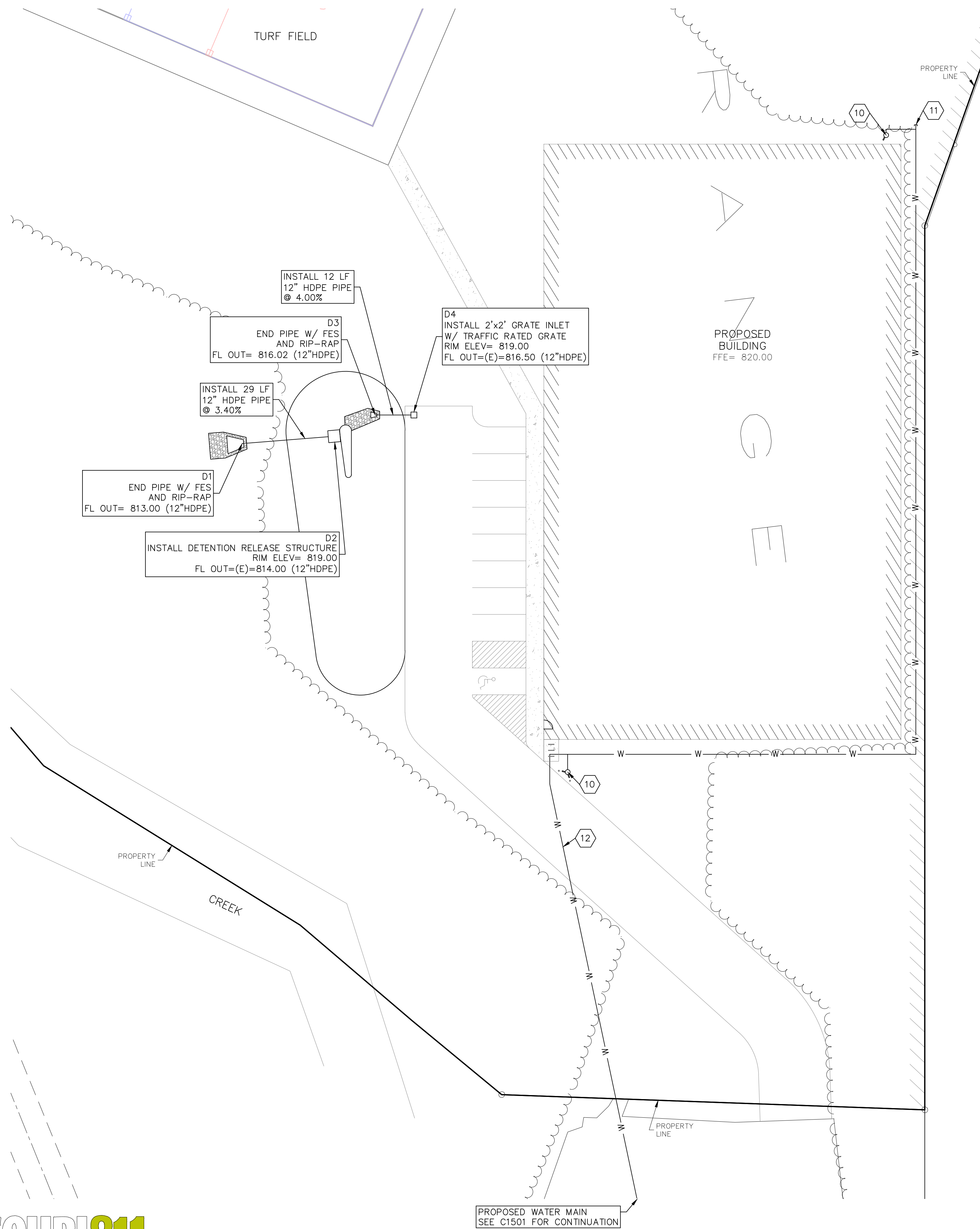
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5870 NE OAK RIDGE DR
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DEVELOPMENT PLAN
EROSION CONTROL PLAN - PHASE 2

PROJ. NO.	B23D4618
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SHEET	C1400
REV	0



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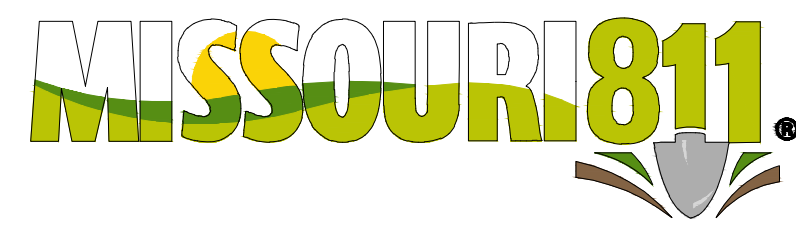


NOTE:
 1. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRANCE, SLOPED PAVING, EXIT PORCHES, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
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- UTILITY NOTES:**
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 - ALL UTILITY AND STORM SEWER TRENCHES CONSTRUCTED OUTSIDE OF THE RIGHT-OF-WAY UNDER AREAS THAT RECEIVE PAVING SHALL BE BACKFILLED TO 18 INCHES ABOVE THE TOP OF THE PIPE WITH CRUSHED STONE BASE MATERIAL PLACED ON EIGHT-INCH LIFTS, AND COMPACTED TO 95% MODIFIED PROCTOR DENSITY.
 - CONTRACTOR SHALL NOT OPEN, TURN OFF, INTERFERE WITH, OR ATTACH ANY PIPE OR HOSE TO OR TAP ANY WATER MAIN BELONGING TO THE CITY UNLESS DULY AUTHORIZED TO DO SO BY THE CITY. ANY ADVERSE CONSEQUENCE OF ANY SCHEDULED OR UNSCHEDULED DISRUPTIONS OF SERVICE TO THE PUBLIC ARE TO BE THE LIABILITY OF THE CONTRACTOR. **KAW VALLEY ENGINEERING AND OWNER ARE TO BE HELD HARMLESS.**
 - DISINFECTION AND PRESSURE TESTING OF WATER LINES SHALL BE PERFORMED AND PAID FOR BY THE CONTRACTOR UNDER SUPERVISION OF A REPRESENTATIVE OF THE CITY WATER DEPARTMENT. CONTRACTOR SHALL NOTIFY THE CITY OF KANSAS CITY WATER SERVICE DEPARTMENT 24 HOURS MINIMUM, PRIOR TO ANY TESTING.
 - ALL WATER AND SANITARY SEWER SYSTEMS THAT ARE TO BE PUBLIC LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH SPECIFICATIONS PREVIOUSLY APPROVED BY THE CITY OF KANSAS CITY WATER SERVICE DEPARTMENT AND THE STATE OF MISSOURI AND SHALL BE INSPECTED BY THE CITY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ASSURE THAT THIS INSPECTION OCCURS.
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 - SERVICE LINES SHALL HAVE A COVER OF NOT LESS THAN FOUR (4) FEET NOR MORE THAN FIVE (5) FEET, UNLESS OBSTRUCTIONS REQUIRE DEEPER EXCAVATION FOR DEEPER EXCAVATION FOR CLEARANCE THAT IS APPROVED BY KC WATER.
 - ALL VALVES ON MAINS AND FIRE HYDRANT LEADS SHALL BE WITH VALVE BOX ASSEMBLIES. THE SIZE OF VALVE BOX ASSEMBLY TO BE INSTALLED IS DETERMINED BY THE TYPE AND SIZE OF VALVE. VALVE BOX CAPS SHALL HAVE THE WORD "WATER".
 - A MINIMUM HORIZONTAL DISTANCE OF 10 FEET SHALL BE MAINTAINED BETWEEN PARALLEL WATER AND SANITARY SEWER LINES. WHEN IT IS NECESSARY FOR ANY WATER LINE TO CROSS A SANITARY SEWER LINE, THE SEWER LINE SHALL BE ENCASED IN CONCRETE OR CONSTRUCTED OF DUCTILE IRON PIPE OR PVC PIPE WITH NO JOINTS WITHIN 10 FEET OF THE CROSSING UNLESS THE WATER LINE IS AT LEAST 2 FEET CLEAR DISTANCE ABOVE THE SANITARY SEWER LINE.
 - WHERE SERVICE LINES MUST CROSS OVER SEWERS, STORM DRAINS, WATER, OR GAS LINES, THE SERVICE LINE MUST BE LAID AT SUCH AN ELEVATION THAT THE BOTTOM OF THE SERVICE LINE IS AT LEAST EIGHTEEN (18) INCHES ABOVE THE TOP OF THE SEWER OR OTHER PIPE. THIS VERTICAL SEPARATION MUST BE MAINTAINED FOR THAT PORTION OF THE SERVICE LINE WITHIN TEN FEET HORIZONTALLY OF ANY SEWER LINE THAT IS CROSSES SAID TEN FEET TO BE MEASURED AS THE CLEARANCE FROM THE SERVICE LINE TO THE SEWER.
 - ALL WATER SERVICE INSTALLATIONS, INCLUDING BACKFLOW DEVICES, ARE SUBJECT TO FIELD VERIFICATION AND APPROVAL BY THE WATER DEPARTMENT INSPECTOR.
 - EXCAVATION SHALL BE A MINIMUM OF 3½ FEET BY 4½ FEET AND THE MAIN MUST BE UNCOVERED ENTIRELY AROUND. TUNNELING TO PROVIDE ACCESS FOR TAP IS UNACCEPTABLE.

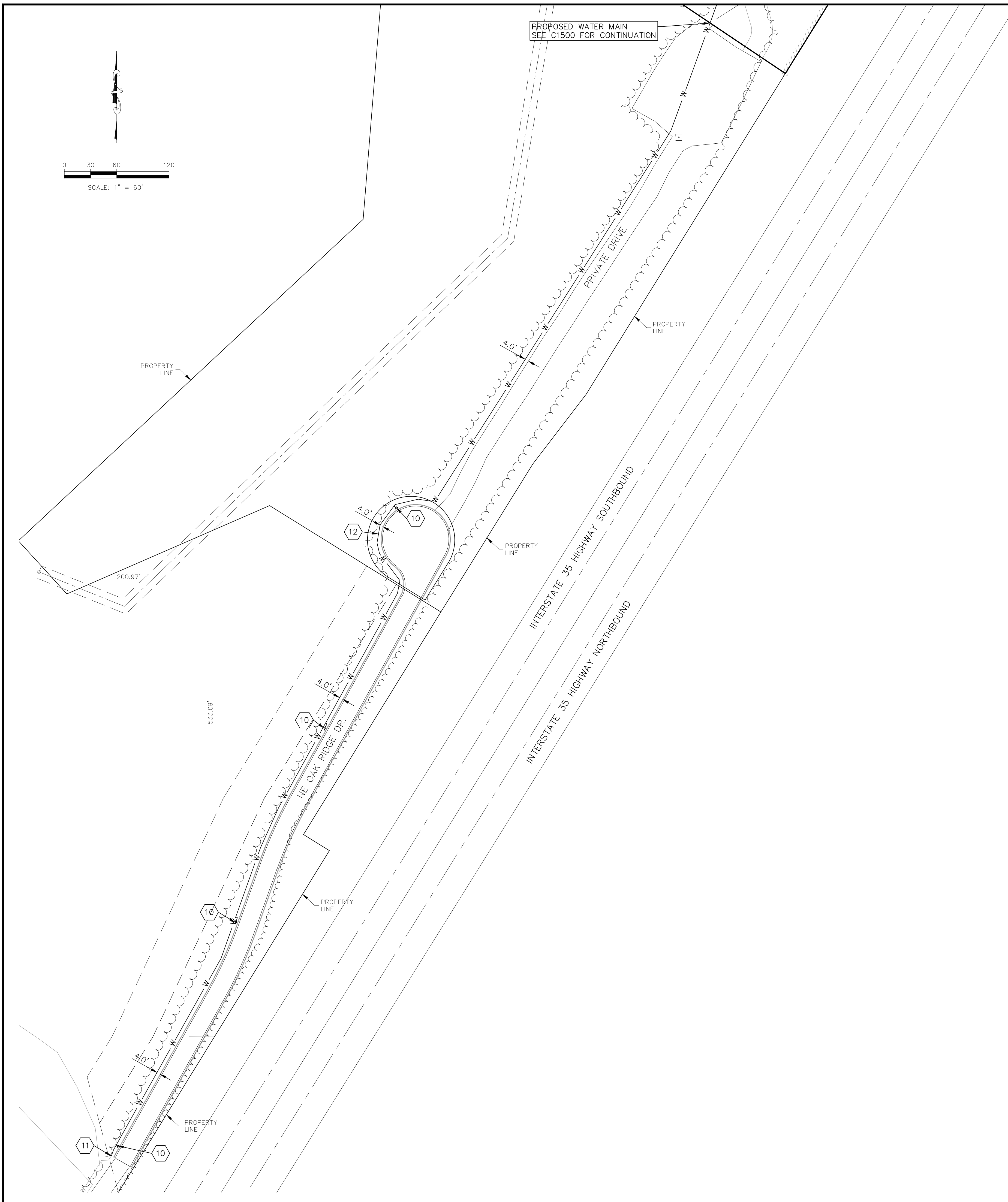
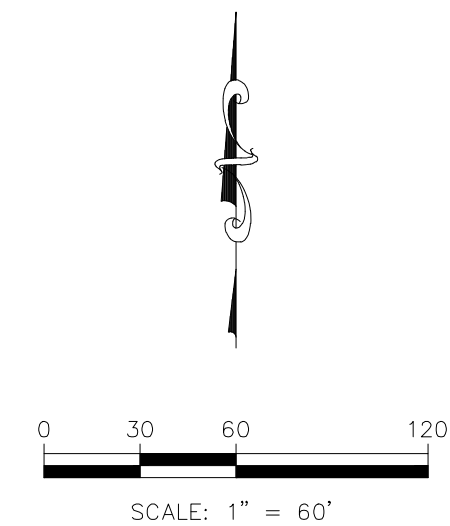
- NOTES:**
- INSTALL FIRE HYDRANT ASSEMBLY
 - INSTALL CAP AND PLUG
 - PROPOSED 1,960 LF 8" DIP PRIVATE WATER MAIN TO BUILDING

MAC	CHK
JAD	DWN
MAC	DSN
05/01/24	INITIAL SUBMITTAL
0	REV
DATE	DESCRIPTION
MATTHEW A. CROSS ENGINEER MO # 202008364	
8040 N. OAK TRAFFICWAY KANSAS CITY, MISSOURI 64118 kce@kveeng.com www.kveeng.com	
KAW VALLEY ENGINEERING KAW VALLEY ENGINEERING, INC. IS AUTHORIZED TO OFFER ENGINEERING SERVICES BY MISSOURI STATE CERTIFICATE OF AUTHORITY # 000842. EXPIRES 12/31/25	
OAK RIDGE PRACTICE FIELD 5870 NE OAK RIDGE DR KANSAS CITY, MO, 64119 DEVELOPMENT PLAN UTILITY PLAN - PHASE 2	
PROJ. NO.	B23D4618
DESIGNER	MAC
DRAWN BY	JED
CFN	4618UP
SHEET	C1500
REV	0



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PROPOSED WATER MAIN
SEE C1500 FOR CONTINUATION



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- NOTES:**
- 10 INSTALL FIRE HYDRANT ASSEMBLY
 - 11 REPLACE 6" WATER MAIN WITH 8" DIP
 - 12 PROPOSED PRIVATE WATER MAIN TO BUILDING

CHK	MAC
DWN	JAD
DSN	MAC
DATE	05/01/24
DESCRIPTION	INITIAL SUBMITTAL
REV	0

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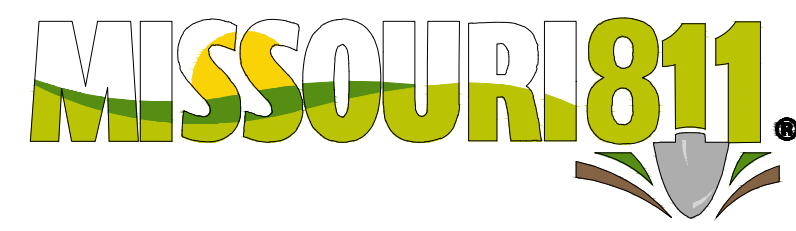
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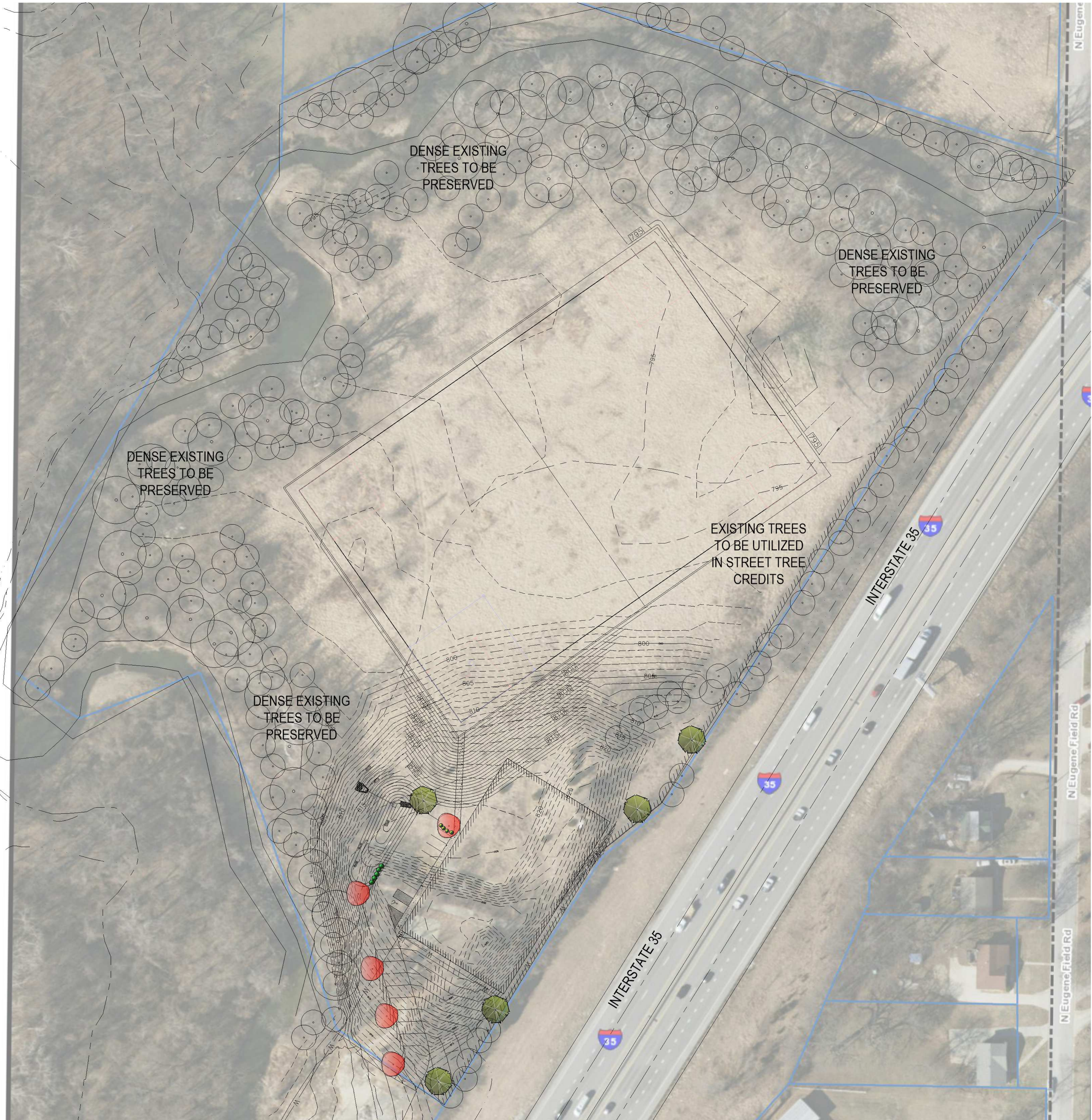
OAK RIDGE PRACTICE FIELD
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DEVELOPMENT PLAN
UTILITY PLAN - PHASE 2

PROJ. NO.	B23D4618
DESIGNER	MAC
DRAWN BY	JED
CFN	4618UP
SHEET	C1501
REV	0

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1 LANDSCAPE PLAN (OVERALL SITE)
SCALE: 1"=50'-0"

Planting Notes

1. Location of all existing utilities needs to be done before commencing work.
2. The planting plan graphically illustrates overall plant massings. Each plant species massing shall be placed in the field to utilize the greatest coverage of ground plane. The following applies for individual plantings:
 - a. Creeping groundcover shall be a minimum of 6" from paving edge.
 - b. All trees shall be a minimum of 3' from paving edge.
 - c. All plants of the same species shall be equally spaced apart and placed for best aesthetic viewing.
 - d. All shrubs shall be a minimum of 2' from paved edge.
 - e. Mulch all planting bed areas to a minimum depth of 3". Mulch individual trees to a minimum depth of 4".
4. Note: If plants are not labeled - they are existing and shall remain.
5. In the event of work in or on a JCW sanitary main, any trees or plantings placed within the sewer easement may be removed without replacement or compensation there-of and shall be replaced by the property owner as required by the City
6. All landscaped areas in ROW shall be sodded and irrigated unless otherwise specified.

Materials:

1. Plant material shall be healthy, vigorous, and free of disease and insects as per AAN standards.
2. Shredded bark mulch installed at trees shall be finely chipped and shredded hardwood chips, consisting of pure wood products and free of all other foreign substances. Pine bark compost mulch installed at planting bed areas shall be free of all other foreign substances.

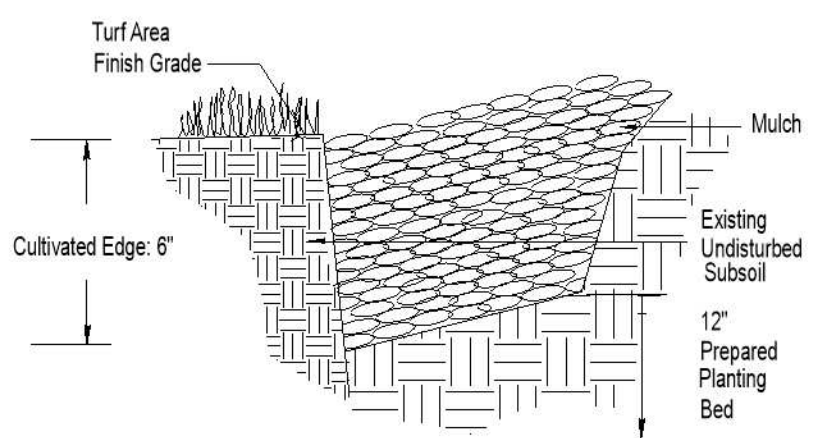
Installation:

1. All planting beds shall be amended with 1 cubic yard of peat moss per 1,000 square feet. Till peat moss into soil to a 6" depth. A 10-10-10 fertilizer shall be spread over all planting areas prior to planting, at a rate of 50 pounds per 2,000 square feet.
2. After plants have been installed, all planting beds shall be treated with Dacthal pre-emergent herbicide prior to mulch application.
3. Plant pit backfill for trees and shrubs shall be 50% peat or well composted manure and 50% topsoil.
4. Plant material shall be maintained and guaranteed for a period of one year after Owner's acceptance of finished job. All dead or damaged plant material shall be replaced at Landscape Contractor's expense.
6. Landscape contractor shall maintain all plant material until final acceptance, at which point the one year guarantee begins.

Landscape Requirements/Calculations

One street tree is required for each 30 feet of street frontage. Requirement Met.

88-425-LANDSCAPE SCHEDULE	Required	Proposed	Alt. Requested	Approved
88-425-03 Street Trees	30' o.c.	30' o.c.		
88-425-04 General (24,030 sf bldg)	1 Tree/5000sf	5 Provided		
88-425-05 Perimeter Vehicular Use Area	n/a			
Adjacent to streets				
Buffer Width	10' min.	n/a		
Trees	30' o.c.	n/a		
Shrub/Wall/Berm	Cont.	n/a		
Evergreen				
Adjacent to Residential Zones	n/a			
Buffer Width	n/a			
Shrub/Wall/Berm	n/a			
88-425-06 Interior Vehicular Use Area (9 TOTAL PARKING STALLS)	35sf per Pkg Stall	Provided		
Buffer Width	n/a			
Trees	1 Per 5 Stalls	2 Provided		
Shrubs	1 Per Stall	9 Provided		
88-425-07 Parking Garage Screening	n/a			
88-425-08 Mech./Utility Equip. Screening	Provided			
88-425-09 Outdoor Use Screening	n/a			



2 CULTIVATED EDGE DETAIL
SCALE: NTS

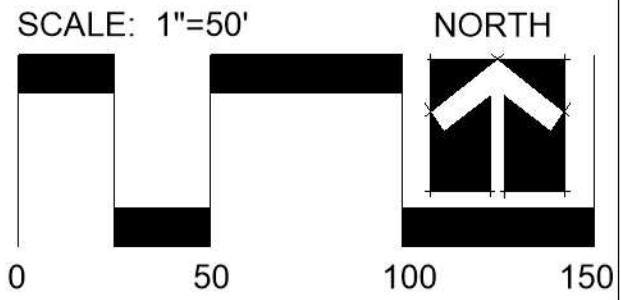
Landscape Schedule

Symbol	Qty.	Botanical Name	Common Name	Min.Root	Min.Size	Caliper	Remarks
OVERSTORY TREES							
	5	Gleditsia triacanthos "Shademaster"	Shademaster Honeylocust		2"	6" min. clear, ground to canopy	
	5	Acer x franoletum "Warrenred"	Pacific Sunset Maple		2"	6" min. clear, ground to canopy	
EVERGREEN SHRUBS							
	5	Juniperus chinensis "Sea Green"	Sea Green Juniper		3 gal.		Plant @ 4' O.C.
	4	Juniperus chinensis "Gold Coast"	Gold Coast Juniper		3 gal.		Plant @ 4' O.C.
EXISTING TREES TO BE REMOVED				EXISTING TREES/SHRUBS TO BE PRESERVED			



CLIENT
OAK RIDGE PRACTICE FIELD
5870 NE Oak Ridge Drive
Kansas City Missouri
64119

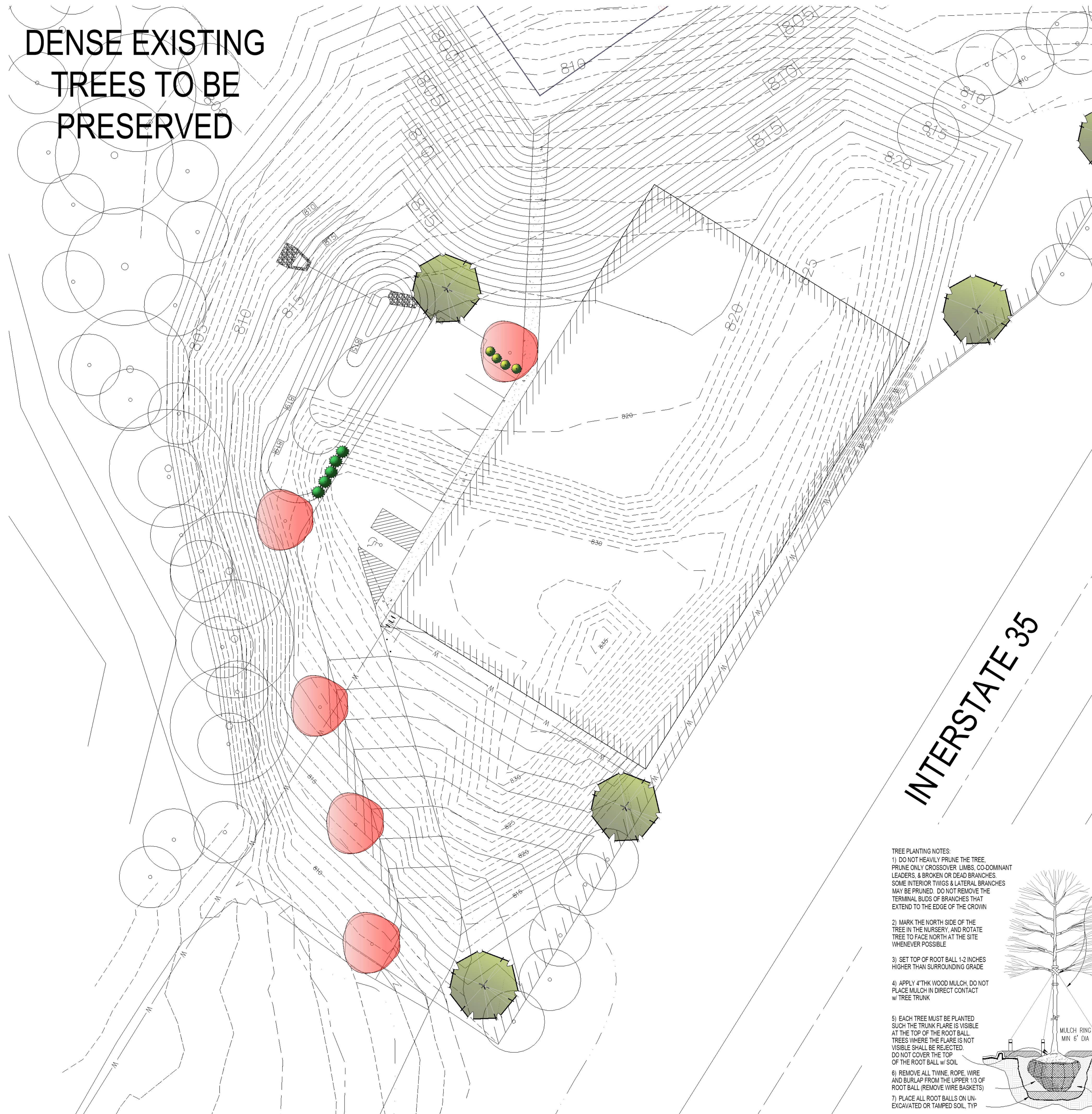
PROJECT
OAK RIDGE PRACTICE FIELD
5870 NE Oak Ridge Drive
Kansas City Missouri
64119



Date: 4.26.2024
Project #: 1138
Landscape Plan



DENSE EXISTING
TREES TO BE
PRESERVED



Landscape Schedule

Symbol	Qty.	Botanical Name	Common Name	Min. Root	Min. Size	Caliper	Remarks
OVERSTORY TREES							
	5	<i>Gleditsia triacanthos</i> 'Shademaster'	Shademaster Honeylocust		2"	6"	min. clear., ground to canopy
	5	<i>Acer x truncatum</i> 'Warrenred'	Pacific Sunset Maple		2"	6"	min. clear., ground to canopy
EVERGREEN SHRUBS							
	5	<i>Juniperus chinensis</i> 'Sea Green'	Sea Green Juniper	3 gal.			Plant @ 4' O.C.
	4	<i>Juniperus chinensis</i> 'Gold Coast'	Gold Coast Juniper	3 gal.			Plant @ 4' O.C.
EXISTING TREES TO BE REMOVED				EXISTING TREES/SHRUBS TO BE PRESERVED			

MEIER
LANDSCAPE
ARCHITECTURE
15245 Metcalf Ave.
Overland Park, KS 66223
913.787.2817



CLIENT
Client Name Here
Address Here
City Here

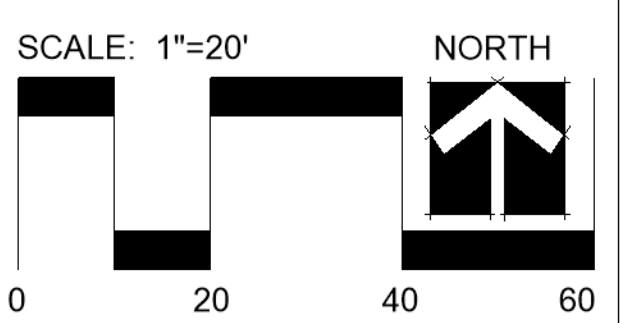
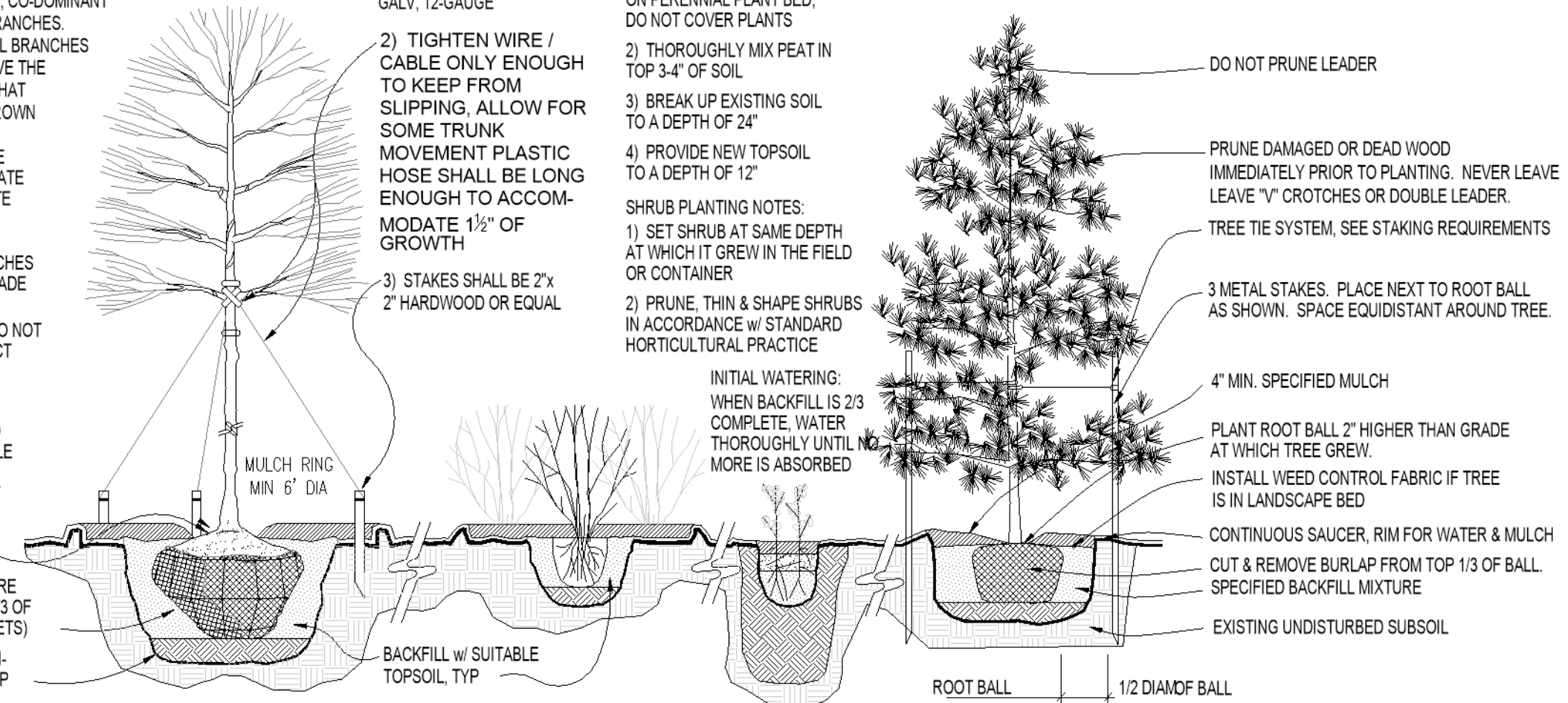
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Client Project Name
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INTERSTATE 35

- TREE PLANTING NOTES:**
- DO NOT HEAVILY PRUNE THE TREE. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, & BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS & LATERAL BRANCHES MAY BE PRUNED. DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
 - MARK THE NORTH SIDE OF THE TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHENEVER POSSIBLE.
 - SET TOP OF ROOT BALL 1-2 INCHES HIGHER THAN SURROUNDING GRADE.
 - APPLY 4" THK WOOD MULCH. DO NOT PLACE MULCH IN DIRECT CONTACT W/ TREE TRUNK.
 - EACH TREE MUST BE PLANTED SUCH THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. TREES WHERE THE FLARE IS NOT VISIBLE SHALL BE REJECTED. DO NOT COVER THE TOP OF THE ROOT BALL W/ SOIL.
 - REMOVE ALL TWINE, ROPE, WIRE AND BURLAP FROM THE UPPER 1/3 OF ROOT BALL (REMOVE WIRE BASKETS).
 - PLACE ALL ROOT BALLS ON UN-EXCAVATED OR TAMPED SOIL, TYP.

- STAKING REQUIREMENTS:**
- WIRE / CABLE SHALL BE GALV. 12-GAUGE.
 - TIGHTEN WIRE / CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. PLASTIC HOSE SHALL BE LONG ENOUGH TO ACCOMMODATE 1/2" OF GROWTH.
 - STAKES SHALL BE 2" X 2" HARDWOOD OR EQUAL.

- PERENNIAL PLANTING NOTES:**
- APPLY 2" THK BED OF MULCH ON PERENNIAL PLANT BED. DO NOT COVER PLANTS.
 - THOROUGHLY MIX PEAT IN TOP 3-4" OF SOIL.
 - BREAK UP EXISTING SOIL TO A DEPTH OF 24".
 - PROVIDE NEW TOPSOIL TO A DEPTH OF 12".
- SHRUB PLANTING NOTES:**
- SET SHRUB AT SAME DEPTH AT WHICH IT GREW IN THE FIELD OR CONTAINER.
 - PRUNE THIN & SHAPE SHRUBS IN ACCORDANCE W/ STANDARD HORTICULTURAL PRACTICE.



Public Meeting Notice

Please join _____

for a meeting about _____

case number _____

proposed for the following address:

Meeting Date:

Meeting Time:

Meeting Location:

Project Description:

If you have any questions, please contact:

Name:

Phone:

Email:

You are receiving this notice in accordance with city code that requires a public meeting with neighborhoods for certain types of development projects. You can read more about the process requirements at kcmo.gov/publicengagement



If you would like further information on this proposed project, please visit the city's planning and permitting system, Compass KC, at Compasskc.kcmo.org. You may search by project type and address/case number to find project details.

Sincerely,



CITY PLANNING & DEVELOPMENT

Public Meeting Summary Form

Project Case #

Meeting Date:

Meeting Location:

Meeting Time (include start and end time):

Additional Comments (optional):

CASE NUMBER CD-CPC-2024-00068

ADDRESS OR LOCATION 5870 NE Oak Ridge Dr

AFFIDAVIT OF SIGN POSTING

STATE OF Missouri

COUNTY OF Clay

I, Zemen workneh being duly sworn upon my oath and being of sound mind and legal age state:

That I am the agent (agent, owner, attorney) of the lot, tract or parcel of land for which the application was filed and did not later than fifteen (15) days prior to the date of first hearing scheduled for the above-referenced case at the above-referenced location, place a sign upon said lot, tract or parcel of land in compliance with the applicable Notice of Hearing procedures in the Zoning and Development Code.

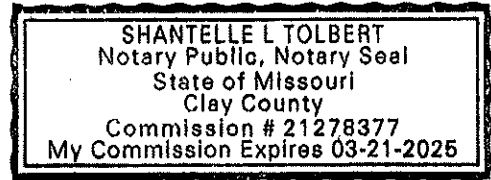
Zemen workneh
(Print Name)

[Signature]
(Signature)

Subscribed and sworn to before me this 14th day of June, 2024.

[Signature]
Notary Public

My Commission Expires 03-21-2025



Said sign shall be furnished by the City to the applicant and the applicant shall firmly affix and attach the sign to a wood or metal backing or frame. The sign shall be posted in a fashion visible from a public right-of-way or public place, shall not be further than ten (10) feet from the property line exclusive of the public right-of-way and shall be posted in a manner that the bottom portion of the sign is no further than eighteen (18) inches from the ground. The applicant shall file an affidavit prior to the public hearing stating that said sign has been posted according to these regulations.