

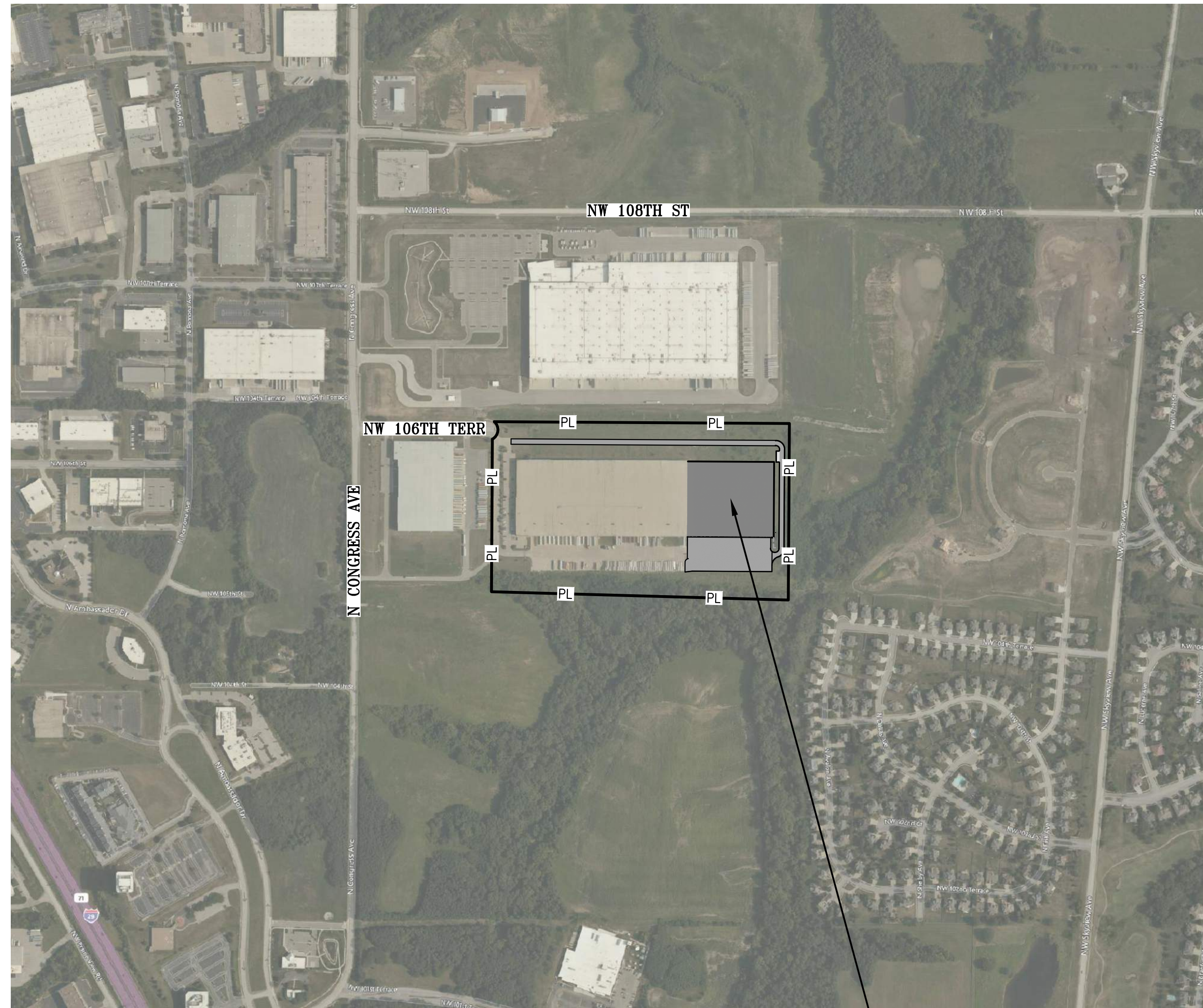
# SITE DEVELOPMENT PLANS FOR PRICE BROTHERS EXPANSION

ADDRESS: 7501 NW 106TH TERRACE  
IN THE CITY OF KANSAS CITY, PLATTE COUNTY, MISSOURI

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C3	UTILITY PLAN
LS-1	LANDSCAPE PLAN

**UTILITY COMPANIES:**

- |  |  |
|--|--|
| <p>SPIRE ENERGY<br/>BEVERLY PASSANTINO<br/>7500 E. 35TH TERRACE<br/>KANSAS CITY, MO. 64129<br/>EMAIL: beverly.passantino@spireenergy.com</p>   | (816) 472-3434                                     |
| <p>EVERGY<br/>MELISSA FELTES<br/>8325 N. PLATTE PURCHASE DRIVE<br/>KANSAS CITY, MO. 64118<br/>E-MAIL: Melissa.Feltes@kcpl.com</p>  | (816) 420-4721                                     |
| <p>AT&amp;T<br/>JILL SCHROEDER<br/>9556 N. MCGEE COURT<br/>KANSAS CITY, MO 64155<br/>EMAIL: jb0311@att.com</p>   | (816) 734-8700                                     |
| <p>CITY OF KANSAS CITY<br/>PUBLIC WORKS DEPARTMENT<br/>414 E. 12TH STREET<br/>KANSAS CITY, MO. 64106</p>   | (816) 513-2627                                     |
| <p>CITY OF KANSAS CITY (GENERAL NUMBER)<br/>CARLA HASKINS (WATER)<br/>EMAIL: carla.haskins@kcmo.org<br/>AMY BUNNELL (LAND DEVELOPMENT DIVISION)<br/>EMAIL: amy.bunnell@kcmo.org<br/>4800 E. 63RD STREET<br/>KANSAS CITY, MO. 64130</p> | (816) 513-1313<br>(816) 513-2133<br>(816) 513-2552 |
| <p>TIME WARNER CABLE<br/>15 NW BARRY ROAD<br/>KANSAS CITY, MO. 64155</p>   | (816) 358-8833                                     |

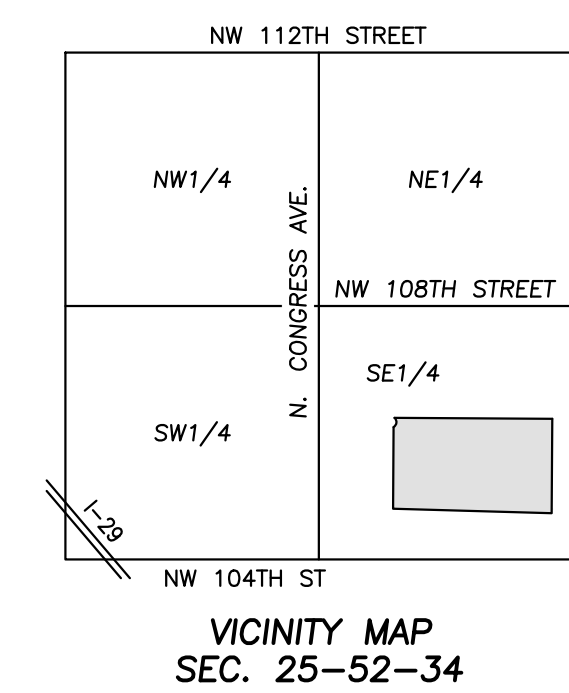


**PREPARED & SUBMITTED BY:**

PHELPS ENGINEERING, INC.  
1270 N. WINCHESTER  
OLATHE, KS 66061  
913-393-1155 OFFICE  
913-393-1166 FAX  
CONTACT: JUDD CLAUSSEN, P.E.

**OWNER:**

JCT WAREHOUSE PROPERTY LLC  
7611 STATE LINE RD STE 301  
KANSAS CITY, MO 64114  
ATT: JOHN WRIGHT



**LEGEND**

— PL —	PROPERTY LINE
— — —	LOT LINE
— R/W —	RIGHT-OF-WAY

**BENCHMARK:**

VERTICAL DATUM = NAVD88 BASED ON GPS OBSERVATION USING SMARTNET GPS NETWORK  
1. SET "L" CUT IN NE COR. CONC. STOOP ON E. SIDE OF EXISTING BLDG.  
ELEVATION = 1023.39

**LEGAL DESCRIPTION:**

LOT 1, SKYPORT 1ST PLAT, A SUBDIVISION IN KANSAS CITY, PLATTE COUNTY, MISSOURI.

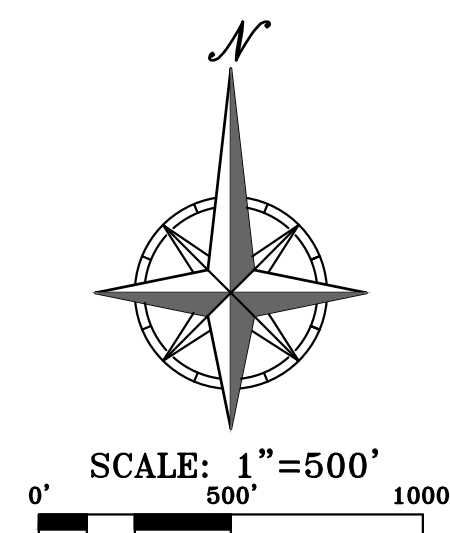
**FLOOD NOTE:**

THIS PROPERTY LIES WITHIN ZONE X, DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON THE FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR THE CITY OF KANSAS CITY, COMMUNITY NO. 290173, PLATTE COUNTY, MISSOURI, MAP NO. 29095C0041G, AND DATED JANUARY 20, 2017.



Know what's below.  
Call before you dig.

UTILITY NOTES:  
VISUAL INDICATIONS OF UTILITIES ARE AS SHOWN.  
UNDERGROUND LOCATIONS SHOWN, AS FURNISHED BY THEIR LESSORS, ARE APPROXIMATE AND SHOULD BE VERIFIED IN THE FIELD AT THE TIME OF CONSTRUCTION. FOR ACTUAL FIELD LOCATIONS OF UNDERGROUND UTILITIES CALL 811.



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1270 N. Winchester  
Olathe, Kansas 66061  
(913) 393-1155  
Fax (913) 393-1166  
www.phelpsengineering.com

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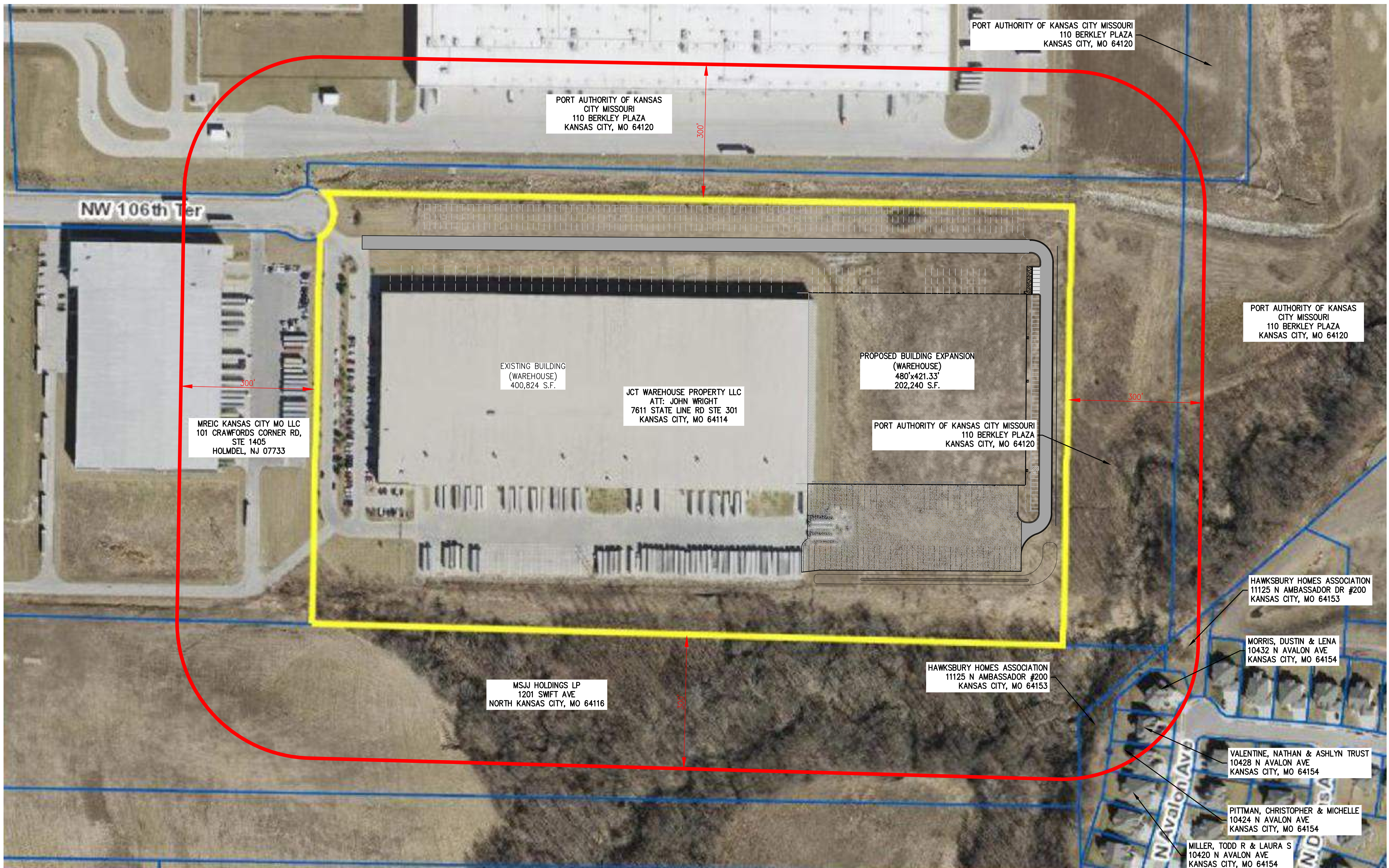
**COVER SHEET**  
PRICE BROTHERS EXPANSION  
SKYPORT, LOT 1, KANSAS CITY, PLATTE CO., MISSOURI  
7501 NW 106TH TERRACE

PROJECT NO.	DATE	NO.	DATE	REVISIONS	BY	APP.
220236	05-01-2022	1.	06-02-22	REVISED PER PLANNING COMMENTS	SNH	DAF
<p>CHECKED: DAF APPROVED: JJC CORPORATE DATE OF AUTHORIZATION LAND SURVEYING - LS-82 ENGINEERING - E-381 CREATED DATE OF AUTHORIZATION LAND SURVEYING-20070128 ENGINEERING-20080328</p>						

SHEET  
**C0**



\\PHELPS-SERVER\Projects\220226\26 Preliminary Development Plans\300 FT BOUNDARY.dwg Layout1 Jun 02, 2022 - 8:18pm Daniel Firm



PORT AUTHORITY OF KANSAS CITY MISSOURI  
110 BERKLEY PLAZA  
KANSAS CITY, MO 64120

PORT AUTHORITY OF KANSAS CITY MISSOURI  
110 BERKLEY PLAZA  
KANSAS CITY, MO 64120

NW 106th Ter

MREIC KANSAS CITY MO LLC  
101 CRAWFORDS CORNER RD,  
STE 1405  
HOLMDEL, NJ 07733

EXISTING BUILDING  
(WAREHOUSE)  
400,824 S.F.

JCT WAREHOUSE PROPERTY LLC  
ATT: JOHN WRIGHT  
7611 STATE LINE RD STE 301  
KANSAS CITY, MO 64114

PROPOSED BUILDING EXPANSION  
(WAREHOUSE)  
480' x 421.33'  
202,240 S.F.

PORT AUTHORITY OF KANSAS CITY MISSOURI  
110 BERKLEY PLAZA  
KANSAS CITY, MO 64120

PORT AUTHORITY OF KANSAS CITY MISSOURI  
110 BERKLEY PLAZA  
KANSAS CITY, MO 64120

HAWKSBURY HOMES ASSOCIATION  
11125 N AMBASSADOR DR #200  
KANSAS CITY, MO 64153

MORRIS, DUSTIN & LENA  
10432 N AVALON AVE  
KANSAS CITY, MO 64154

HAWKSBURY HOMES ASSOCIATION  
11125 N AMBASSADOR #200  
KANSAS CITY, MO 64153

MSJJ HOLDINGS LP  
1201 SWIFT AVE  
NORTH KANSAS CITY, MO 64116

VALENTINE, NATHAN & ASHLYN TRUST  
10428 N AVALON AVE  
KANSAS CITY, MO 64154

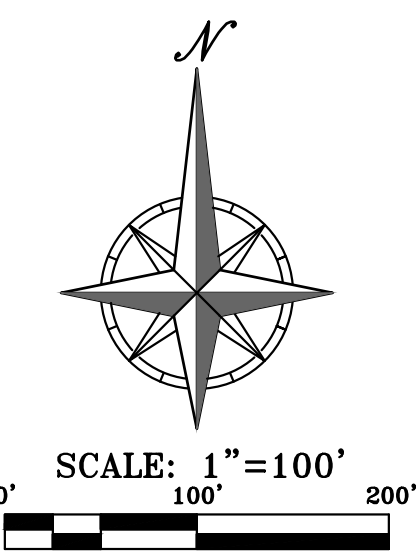
PITTMAN, CHRISTOPHER & MICHELLE  
10424 N AVALON AVE  
KANSAS CITY, MO 64154

MILLER, TODD R & LAURA S  
10420 N AVALON AVE  
KANSAS CITY, MO 64154



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**ADJACENT PROPERTIES**  
PRICE BROTHERS EXPANSION  
SKYPORT, LOT 1, KANSAS CITY, PLATTE CO., MISSOURI  
7501 NW 106TH TERRACE

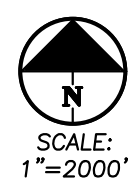
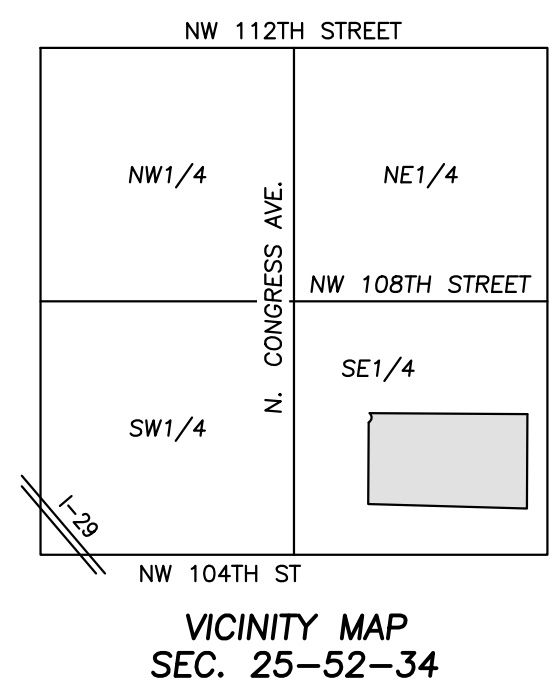
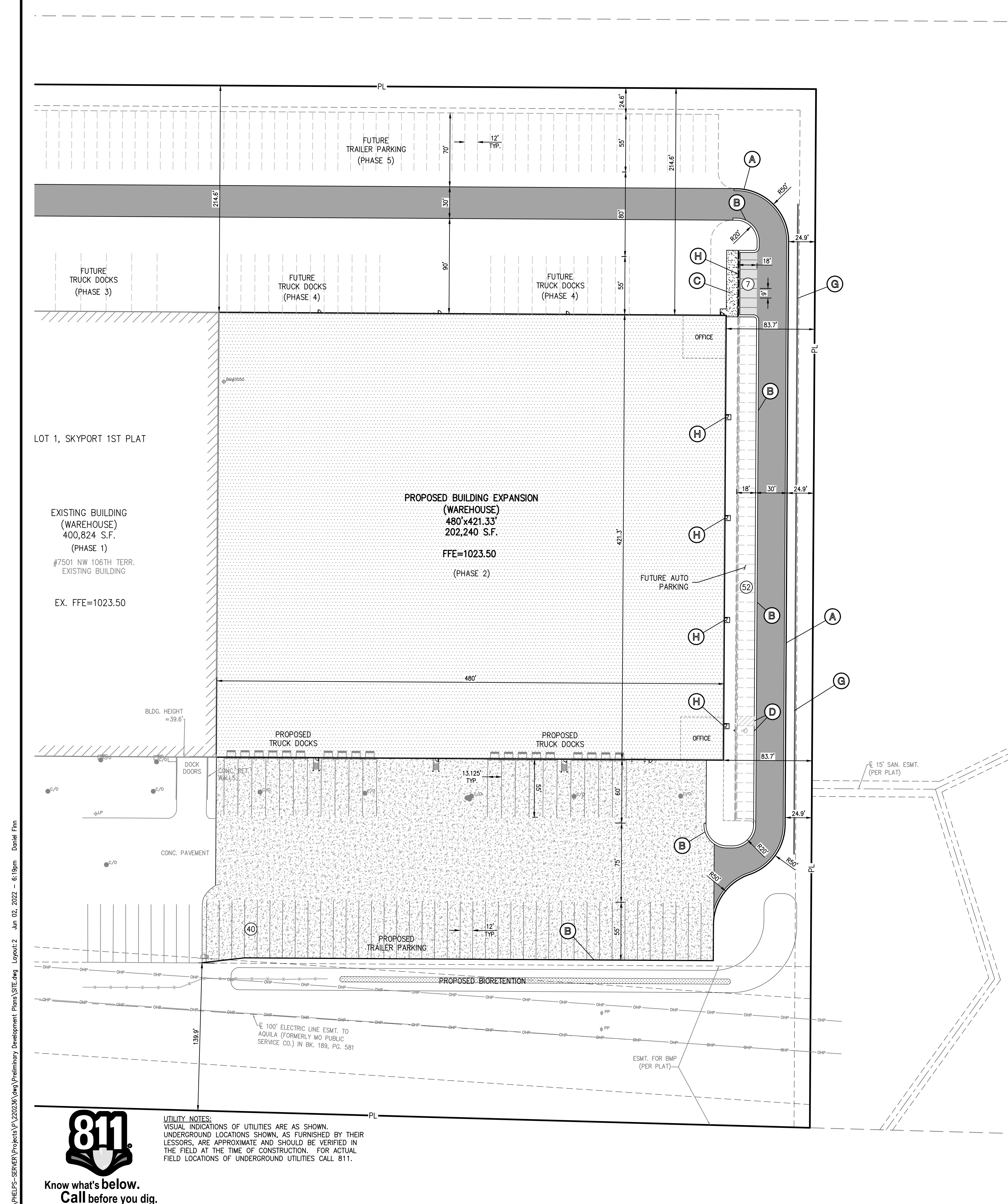
PROJECT NO.	No.	Date	Revisions:	By	App.
220226	1.	06-02-22	REVISED PER PLANNING COMMENTS	SNH	DAF
DATE: 05-01-2022	DRAWN: DDB	CHECKED: DAF	APPROVED: JCC		
CORPORATE AUTHORIZATION					
LAND SURVEYING - LS-82					
ENGINEERING - E-361					
CERTIFICATE OF AUTHORIZATION					
LAND SURVEYING: 2007001028					
ENGINEERING: 2007000038					

SHEET  
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**SITE PLAN NOTES:**

- All construction materials and procedures on this project shall conform to the latest revision of the following governing requirements, incorporated herein by reference:
  - City ordinances & O.S.H.A. Regulations.
  - The City of Kansas City, Missouri Technical Specifications and Municipal Code.
  - APWA Standard Specifications and Design Criteria, latest edition.
  - Project Specific Specifications.
- The contractor shall have one (1) signed copy of the plans (approved by the City) and one (1) copy of the appropriate Design and Construction Standards and Specifications at the job site at all times.
- The contractor will be responsible for securing all permits, bonds and insurance required by the contract documents, City of Kansas City, Missouri, and all other governing agencies (including local, county, state and federal authorities) having jurisdiction over the work proposed by these construction documents. The cost for all permits, bonds and insurance shall be the contractor's responsibility and shall be included in the bid for the work.
- The contractor is responsible for coordination of his and his sub-contractor's work. The contractor shall assume all responsibility for protecting and maintaining his work during the construction period and between the various trades/sub-contractors constructing the work.
- The demolition and removal (or relocation) of existing pavement, curbs, structures, utilities, and all other features necessary to construct the proposed improvements, shall be performed by the contractor. All waste material removed during construction shall be disposed off the project site. The contractor shall be responsible for all permits for hauling and disposing of waste material. The disposal of waste material shall be in accordance with all local, state and federal regulations.
- Contractor shall be responsible for all relocations, including but not limited to, all utilities, storm drainage, sanitary sewer services, signs, traffic signals & poles, etc. as required. All work shall be in accordance with governing authorities specifications and shall be approved by such. All cost shall be included in base bid.
- All existing utilities indicated on the drawings are according to the best information available to the Engineer; however, all utilities actually existing may not be shown. The contractor shall be responsible for contacting all utility companies for an exact field location of each utility prior to any construction. All utilities, shown and unshown, damaged through the negligence of the contractor shall be repaired or replaced by the contractor at his expense.
- The contractor will be responsible for all damage to existing utilities, pavement, fences, structures and other features not designated for removal. The contractor shall repair all damages at his expense.
- The contractor shall verify the flow lines of all existing storm or sanitary sewer connections and utility crossings prior to the start of construction. Notify the engineer of any discrepancies.
- SAFETY NOTICE TO CONTRACTOR:** In accordance with generally accepted construction practices, the contractor shall be solely and completely responsible for conditions of the job site, including safety of all persons and property during performance of the work. This requirement will apply continuously and not be limited to normal working hours. Any construction observation by the engineer of the contractor's performance is not intended to include review of the adequacy of the contractor's safety measures, in, on or near the construction site.
- WARRANTY/DISCLAIMER:** The designs represented in these plans are in accordance with established practices of civil engineering for the design functions and uses intended by the owner at this time. However, neither the Engineer nor its personnel can or do warrant these designs or plans as constructed except in the specific cases where the Engineer observes the physical construction on a continual basis at the site.
- No work is to be allowed within the public right-of-way or easements without a right of way work permit.
- All paving construction and earthwork grading/compaction shall conform to the requirements of the geotechnical engineering report prepared for this project.
- Within forty-eight hours prior to any asphalt or concrete paving, the subgrade shall be proof rolled with a fully loaded tandem wheeled dump truck and observed by the on-site geotechnical engineer. Areas of the subgrade with excessive rutting and or pumping shall be re-worked or removed in accordance with the project specifications. Flyash or granular material may be added by the contractor to stabilize the subgrade. See project specifications.
- All curb shall be sloped for positive drainage. Contractor shall use "dry curb and gutter" as needed in localized paved areas that drain away from the curb and gutter. See paving details.
- The Contractor is responsible for the protection all property corners and section corners. Any property corners and/or section corners disturbed or damaged by construction activities shall be reset by a Registered Land Surveyor licensed in the State of Kansas, at the contractor's expense.
- The contractor shall be responsible for the restoration of the right-of-way and for damaged improvements such as curbs, sidewalks, street light and traffic signal junction boxes, traffic signal loop lead ins, signal poles, etc. Damaged improvements shall be repaired in conformance with the latest city standards and to the City's satisfaction.
- The contractor is responsible for providing berms, silt fences, straw bales, or other means to prevent eroded materials from reaching the public right-of-way and adjacent properties. In the event the prevention measures are not effective, the contractor shall remove any debris, silt or mud and restore the right-of-way or adjacent property to original or better condition.
- All disturbed areas are to receive topsoil, sod and water until a healthy stand of grass is established. See the landscaping plans for requirements. Re-seeding shall be required (see project specifications).
- The contractor shall sod all disturbed areas within the public street right-of-way.
- Contractor shall refer to the architectural building plans for exact locations and dimensions of vestibules, slope paving, sidewalks, exit porches, truck docks, precise building dimensions and exact building utility entrance locations. All dimensions are to outside wall of building(s).
- Refer to building plans for site lighting electrical plan.
- Contractor to remove existing trees and vegetation, as necessary, for site construction unless specifically noted to remain.
- Refer to the building plans for site lighting electrical requirements, including conduits, pole bases, pull boxes, etc.

**SITE DIMENSION NOTES:**

- BUILDING TIES SHOWN ARE TO THE OUTSIDE FACE OF PROPOSED WALLS. THE SUBCONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR SPECIFIC DIMENSIONS AND LAYOUT INFORMATION FOR THE BUILDINGS.
- ALL DIMENSIONS SHOWN FOR THE PARKING LOT AND CURBS ARE MEASURED FORM BACK OF CURB TO BACK OF CURB.

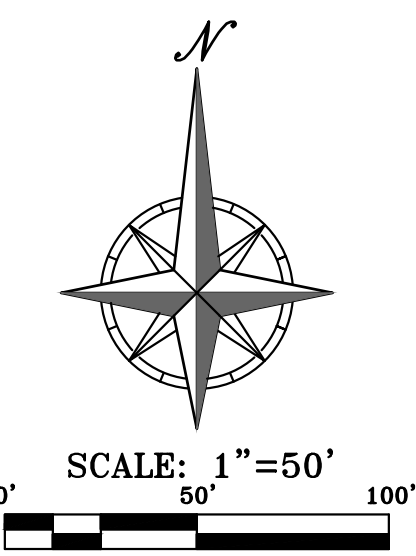
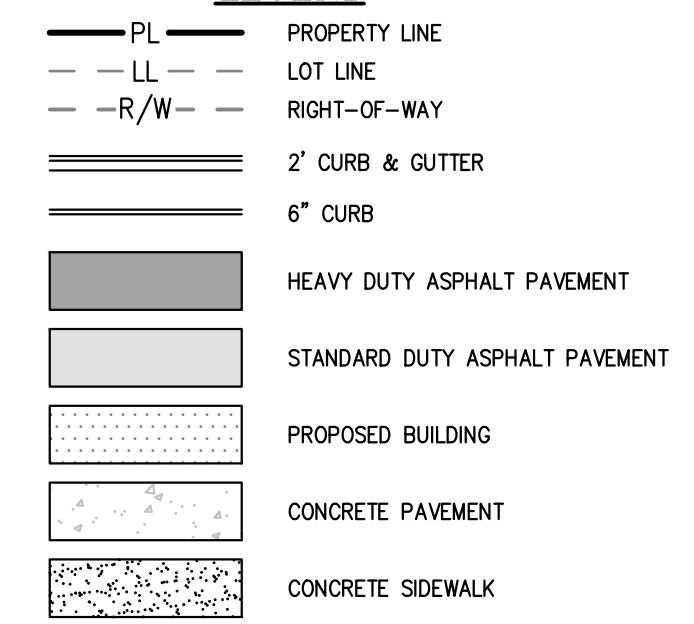
**PAVEMENT MARKING AND SIGNAGE NOTES:**

- PARKING STALL MARKING STRIPES SHALL BE FOUR INCH (4") WIDE WHITE STRIPES. DIRECTIONAL ARROW AND HANDICAP STALL MARKINGS SHALL BE FURNISHED AT LOCATIONS SHOWN ON PLANS.
- HANDICAP PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO ALL FEDERAL (AMERICANS WITH DISABILITIES ACT) AND STATE LAWS AND REGULATIONS.
- TRAFFIC CONTROL DEVICES AND PAVEMENT MARKINGS SHALL CONFORM TO THE REQUIREMENTS OF THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES".
- STOP SIGNS SHALL BE PROVIDED AT ALL LOCATIONS AS SHOWN ON PLANS AND SHALL CONFORM TO THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES". SIGNS SHALL BE 18" X 12", 18 GAUGE STEEL AND SHALL BE ENGINEER GRADE REFLECTIVE.
- TRAFFIC CONTROL AND PAVEMENT MARKINGS SHALL BE PAINTED WITH A WHITE SHERWIN WILLIAMS S-W TRAFFIC MARKING SERIES B-2972 OR APPROVED EQUAL. THE PAVEMENT MARKING SHALL BE APPLIED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. APPLY ON A CLEAN, DRY SURFACE AND AT A SURFACE TEMPERATURE OF NOT LESS THAN 70°F AND THE AMBIENT AIR TEMPERATURE SHALL NOT BE LESS THAN 60°F AND RISING. TWO COATS SHALL BE APPLIED.

**SITE KEY NOTES:**

- (A) CONSTRUCT 2' PRIVATE CONCRETE CURB & GUTTER (TYPICAL).
- (B) CONSTRUCT 2' PRIVATE CONCRETE RIBBON CURB (TYPICAL).
- (C) CONSTRUCT PRIVATE CONCRETE SIDEWALK (TYPICAL).
- (D) FUTURE ACCESSIBLE PARKING AISLE AND SPACE.
- (E) FUTURE VAN ACCESSIBLE PARKING SIGN.
- (F) INSTALL CONCRETE WHEEL STOP (TYPICAL).
- (G) CONSTRUCT RETAINING WALL (W/ HANDRAIL AT ANY LOCATION WALL EXCEEDS 30" IN HEIGHT).
- (H) CONSTRUCT 5'X5' PRIVATE CONCRETE SIDEWALK STOOP AT EXIT DOOR.

**LEGEND**



**UTILITY NOTES:**  
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 Olathe, Kansas 66061  
 (913) 993-1155  
 Fax: (913) 993-1165  
 www.philipsengineering.com

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**SITE PLAN**

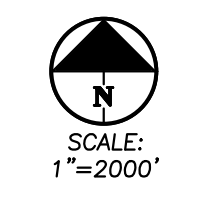
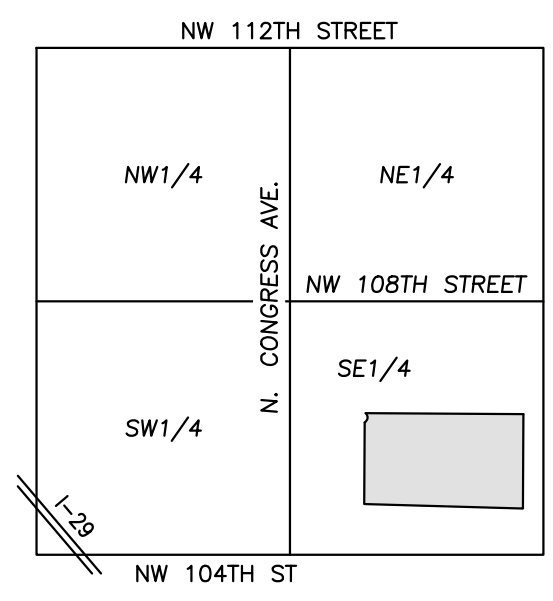
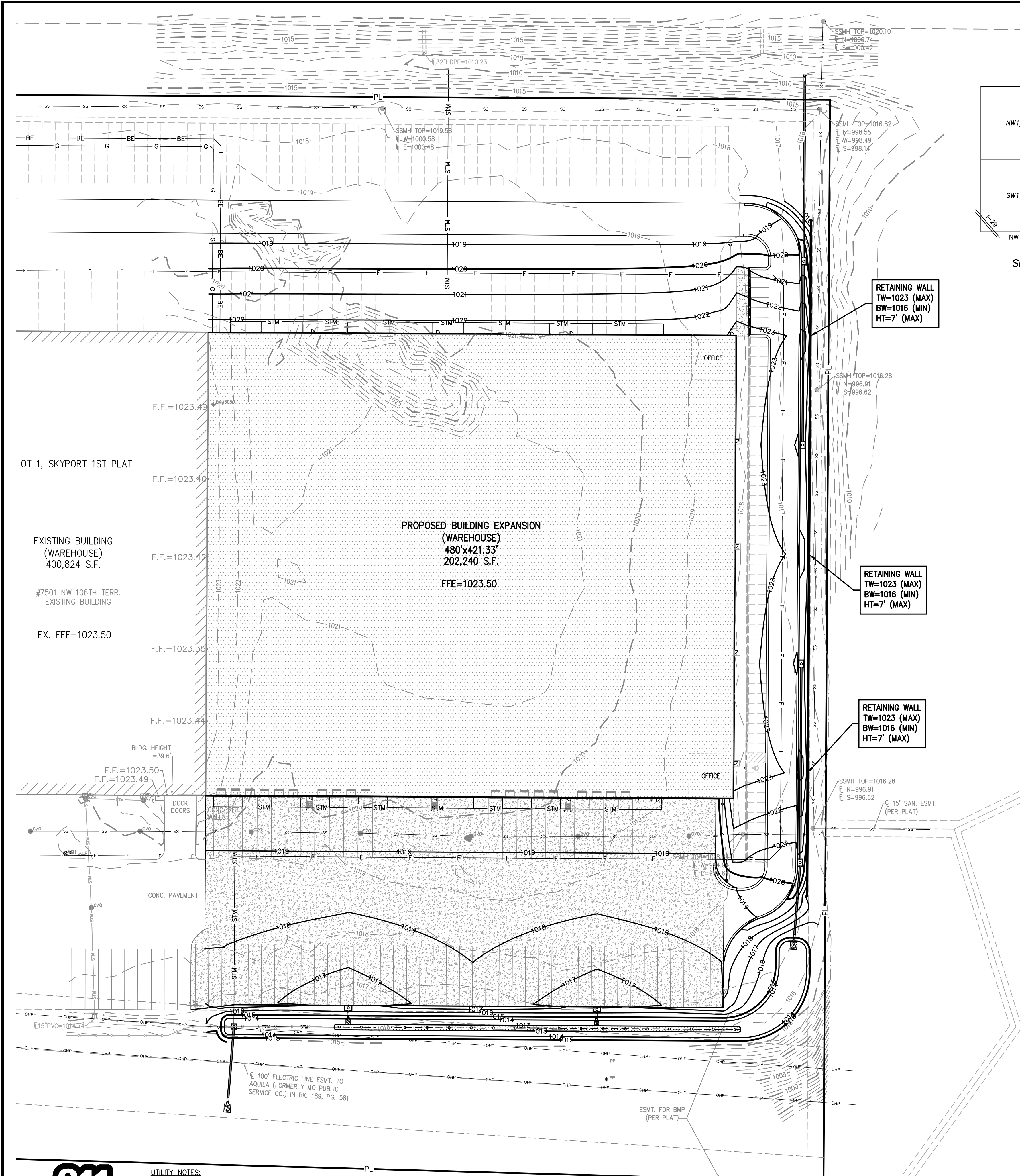
PRICE BROTHERS EXPANSION  
 SKYPORT, LOT 1, KANSAS CITY, PLATTE CO., MISSOURI  
 7501 NW 106TH TERRACE

PROJECT NO.	Date	By	App.	Revisions:
220236	06-02-22	SMH	DAF	REVISED PER PLANNING COMMENTS
DATE: 05-01-2022	DATE: 06-02-22	CHECKED: DAF	APPROVED: JDC	
CERTIFICATE OF AUTHORIZATION		LAND SURVEYING - LS-82		
ENGINEERING - E-361				
CERTIFICATE OF AUTHORIZATION		LAND SURVEYING - 20070128		
ENGINEERING - 20030038				

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**C1.1**

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**SITE GRADING NOTES:**

- CONTOURS AND ELEVATIONS: Existing and proposed contours are shown on plans at one foot (1') contour intervals, unless otherwise noted. Proposed contours and elevations shown represent approximate finish grade. Contractor shall hold down subgrades to allow for pavement and sub-base thicknesses.
- If the contractor does not accept existing topography as shown on the plans, without exception, he shall have made at his expense, a topographic survey by a registered land surveyor and submit it to the owner for review.
- CLEARING AND GRUBBING: Prior to beginning preparation of subgrade, all areas under pavements or building shall be stripped of all topsoil, vegetation, large rock fragments (greater than 6 inches in any dimension) and any other deleterious material. The actual stripping depth should be based on visual examination during construction and the results of proof-rolling operations. The root systems of all trees (not designated to remain) shall be removed in their entirety. Stripping materials shall not be incorporated into structural fills.
- TPOSSIL STRIPPING: Prior to the start of site grading, the contractor shall strip all topsoil from areas to be graded, and stockpiled at a location on or adjacent to the site as directed by the owner. At completion of grading operations and related construction, the contractor will be responsible for redistribution of topsoil over all areas disturbed by the construction activities. Topsoil shall be placed to a minimum depth of six inches (6") and in accordance with specifications for landscaping. At that time, and prior to the installation of landscaping or irrigation, all topsoil graded areas shall be visually inspected and accepted by the owner and ITL.
- Contractor shall adjust and/or cut existing pavement as necessary to assure a smooth fit and continuous grade. Contractor shall assure positive drainage away from buildings for all natural and paved areas.
- SUBGRADE PREPARATION: Prior to placement of new fill material, the existing subgrade shall be proofrolled and approved under the direction of the Geotechnical Engineer or his representative.
- PROOFROLLING: Subsequent to completion of stripping and over-excavation, all building and pavement areas to receive engineered fill should be systematically proof-rolled using a tandem axle dump truck loaded to approximately 20,000 pounds per axle. Also, any finished subgrade areas to receive paving shall be proof-rolled within 48 hours of paving. Unsuitable soils that are detected and that can not be recompacted should be over-excavated and replaced with controlled structural fill.
- EARTHWORK:
  - GEOTECHNICAL: All earthwork shall conform to the recommendations of the Geotechnical report. Said report and its recommendations are herein incorporated into the project requirements by reference. Prior to beginning construction, the contractor shall obtain a copy of and become familiar with the geotechnical report. Unless specifically noted on the plans, the recommendations in the geotechnical report are hereby incorporated into the project requirements and specifications.
  - SURFACE WATER: Surface water shall be intercepted and diverted during the placement of fill.
  - FILLS: All fills shall be considered controlled or structural fill and shall be free of vegetation, organic matter, topsoil and debris. In areas where the thickness of the engineered fill is greater than five feet building and pavement construction should not commence until so authorized by the on-site geotechnical engineer to allow for consolidation.
  - BUILDING SUBGRADE: As specified in the Geotechnical Engineering Report, the upper 24 inches of building subgrade shall consist of Low Volume Change (LVC) material defined as approved, compacted granular fill or low to moderate plasticity cohesive soil materials stabilized with Class C Flyash. Granular fill shall consist of compacted granular materials with a maximum particle size of two (2) inches or less, such as limestone screenings. Refer to geotechnical report for complete requirements.
  - EXISTING SLOPES: Where fill material is to be placed on existing slopes greater than 5:1 (horizontal to vertical), existing slope shall be benched providing a minimum vertical face of twelve inches (12"). The benches should be cut wide enough to accommodate the compaction equipment. Fill material shall be placed and compacted in horizontal lifts not exceeding nine inches (9") (loose lift measurement), unless otherwise approved by the Geotechnical Engineer.
  - COMPACTION REQUIREMENTS: The upper 9 inches of pavement subgrade areas shall be compacted to a minimum density of ninety five percent (95%) of the material's maximum dry density as determined by ASTM D698 (standard proctor compaction). The moisture content at the time of placement and compaction shall within a range of 0% below to 4% above optimum moisture content as defined by the standard proctor compaction procedure. The moisture contents shall be maintained within this range until completion of the work. Where compaction of earth fill by a large roller is impractical or undesirable, the earth fill shall be hand compacted with small vibrating rollers or mechanical tampers.
- All cut or fill slopes shall be 3:1 or flatter. All asphalt parking areas shall be a minimum of 1% slope but not more than 5% slope unless otherwise noted. All pavements within ADA parking areas shall not exceed 2% total slope. All grades around building shall be held down 6" from finish floor and slope away another 6" in 10 feet. Contractor shall notify engineer prior to final subgrade construction of any areas not within this slope requirement.
- TESTING AND INSPECTION: Owner's Independent Testing Laboratory (ITL) shall make tests of earthwork during construction and observe the placement of fills and other work performed on this project to verify that work has been completed in accordance with Geotechnical Engineering Report, Project Specifications and within industry standards. The ITL will be selected by the owner and the cost of testing will be the owner's responsibility.
- CLASSIFICATION: All excavation shall be considered unclassified. No separate or additional payments shall be made for rock excavation.
- RESTORATION: All disturbed areas not in building or pavements shall be sodded, unless shown otherwise by the landscaping plan or erosion control plan.
- UTILITIES: The contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies, and where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The contractor must call the appropriate utility companies at least 48 hours before any excavation to request exact field location of utilities. It shall be the responsibility of the contractor to relocate all existing utilities which conflict with the proposed improvements shown on the plans.
- LAND DISTURBANCE: The contractor shall adhere to all terms & conditions as outlined in the EPA or applicable state N.P.D.E.S. permit for storm water discharge associated with construction activities. Refer to project S.W.P.P. requirements.

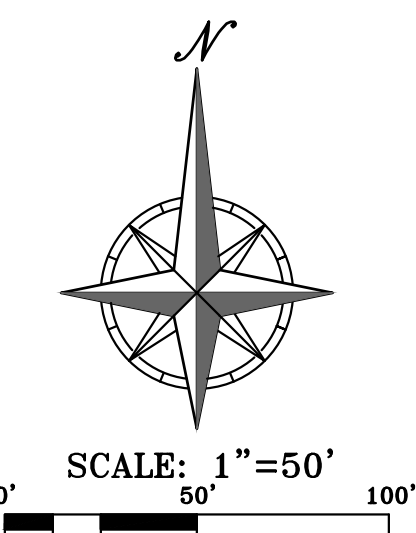
**Earthwork Summary  
Skyport Warehouse Expansion  
4/26/2022**

Raw Excavation	4,060 Cu. Yds.
In Place Compaction (+15%)	-35,139 Cu. Yds.
Building Adjustment	14,981 Cu. Yds. (assume 24" of additional excavation)
Pavement Adjustment	5,875 Cu. Yds. (assume 12" of additional excavation)
On Site Net	-10,224 Cu. Yds.

\* EARTHWORK COMPUTATIONS BY PHELPS ENGINEERING, INC. ARE PROVIDED FOR INFORMATIONAL PURPOSES ONLY AND SHALL BE VERIFIED BY CONTRACTORS BY THEIR CHOSEN METHOD PRIOR TO PLACING BID. ALL EARTHWORK SHALL BE CONSIDERED UNCLASSIFIED. 15% WAS ADDED INTO RAW FILL QUANTITY TO ACCOUNT FOR SHRINKAGE.

**LEGEND**

- PL — PROPERTY LINE
- LL — LOT LINE
- R/W — RIGHT-OF-WAY
- 2' CURB & GUTTER
- 920 — EXISTING CONTOURS
- 918 — PROPOSED CONTOURS
- XXX.XX — PROPOSED SPOT ELEVATION
- LG — LIP OF GUTTER
- TC — TOP OF CURB
- SW — SIDEWALK
- ME — MATCH EXISTING
- HP — HIGH POINT
- LP — LOW POINT
- P — TOP OF PAVEMENT
- TR — TOP OF STRUCTURE
- GE — GROUND ELEVATION
- BS — BOTTOM OF STEPS
- TS — TOP OF STEPS
- BW — BOTTOM OF WALL
- TW — TOP OF WALL
- — EXISTING STORM SEWER
- — PROPOSED STORM PIPE
- — PROPOSED WET CURB & GUTTER
- — PROPOSED DRY CURB & GUTTER
- — PROPOSED RETAINING WALL



**FLOOD NOTE:**

THIS PROPERTY LIES WITHIN ZONE X, DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON THE FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR THE CITY OF KANSAS CITY, COMMUNITY NO. 290173, PLATTE COUNTY, MISSOURI, MAP NO. 29095C0041G, AND DATED JANUARY 20, 2017.

**BENCHMARK:**

VERTICAL DATUM = NAVD88 BASED ON GPS OBSERVATION USING SMARTNET GPS NETWORK  
1. SET "1" OUT IN NE COR. CONC. STOOP ON E. SIDE OF EXISTING BLDG.  
ELEVATION = 1023.39



UTILITY NOTES:  
VISUAL INDICATIONS OF UTILITIES ARE AS SHOWN.  
UNDERGROUND LOCATIONS SHOWN, AS FURNISHED BY THEIR LESSORS, ARE APPROXIMATE AND SHOULD BE VERIFIED IN THE FIELD AT THE TIME OF CONSTRUCTION. FOR ACTUAL FIELD LOCATIONS OF UNDERGROUND UTILITIES CALL 811.

PHELPS ENGINEERING, INC.  
1370 N. Winchester  
Olathe, Kansas 66066  
(913) 993-1155  
Fax: (913) 993-1165  
www.phelpsengineering.com

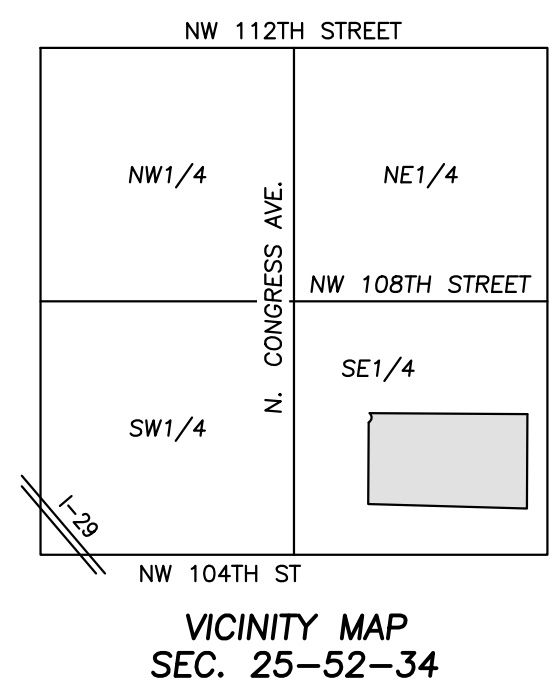
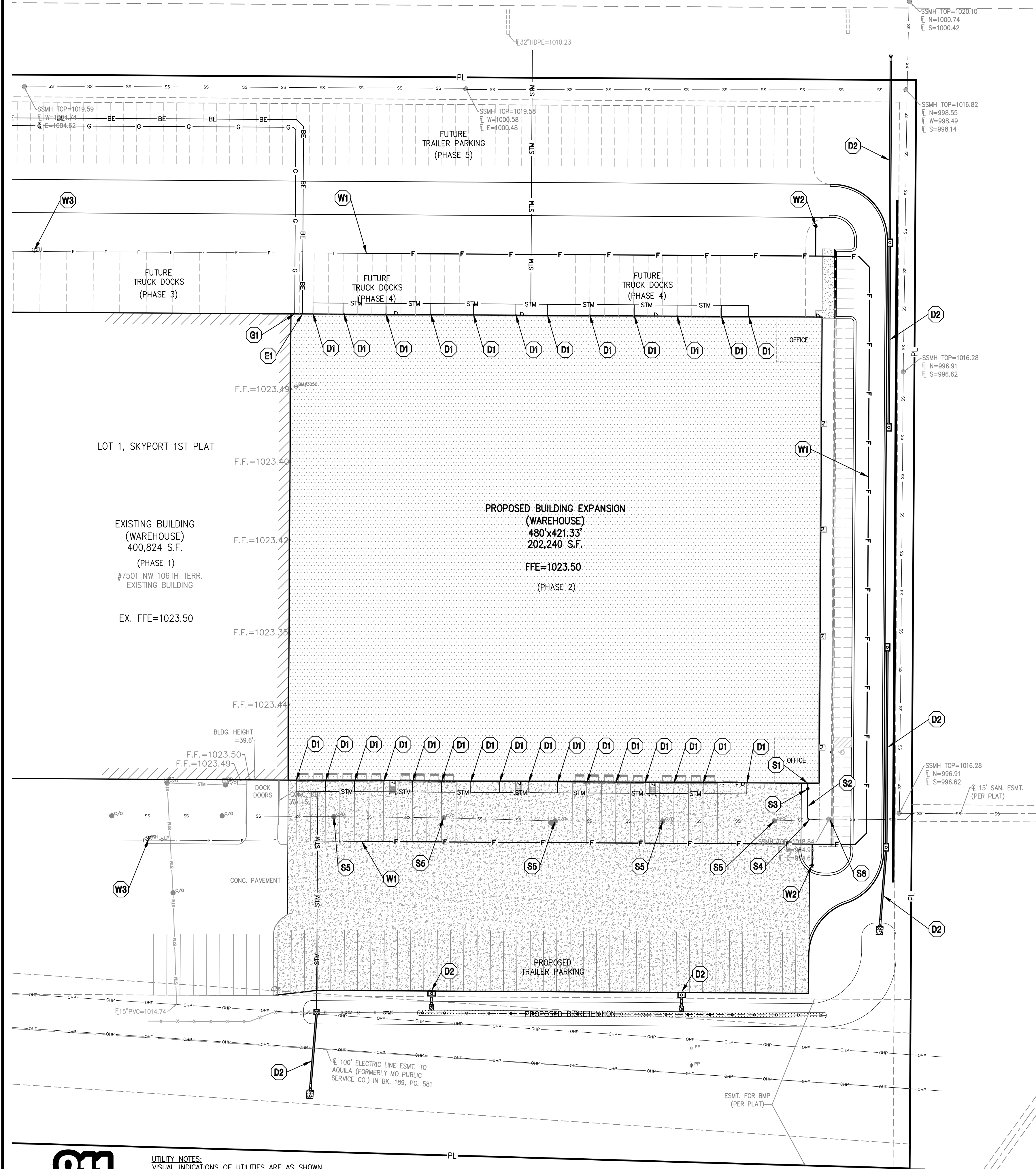


**GRADING PLAN**  
PRICE BROTHERS EXPANSION  
SKYPORT, LOT 1, KANSAS CITY, PLATTE CO., MISSOURI  
7501 NW 106TH TERRACE

PROJECT NO.	DATE	BY	APP.	REVISIONS
220236	06-02-22	SMH	DAF	REVISED PER PLANNING COMMENTS
DATE: 05-01-2022	DRAWN: DDB	CHECKED: DAF	APPROVED: JJC	CERTIFICATE OF AUTHORIZATION
DATE: 05-01-2022	DESIGNED: DDB	CHECKED: DAF	APPROVED: JJC	CERTIFICATE OF AUTHORIZATION
DATE: 05-01-2022	DESIGNED: DDB	CHECKED: DAF	APPROVED: JJC	CERTIFICATE OF AUTHORIZATION

SHEET  
C2





**UTILITY KEY NOTES:**

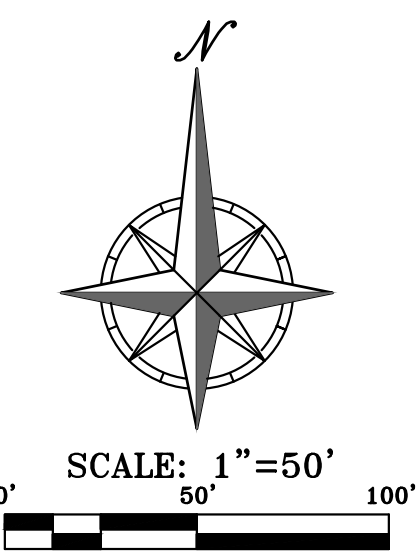
- D1** TYPICAL STORM WATER DRAIN LINE FROM ROOF OR FOUNDATION DRAIN. SEE ARCH. PLANS FOR BUILDING CONNECTION LOCATIONS. ROOF DRAIN LINES SHALL BE PVC SDR 35 OR HDPE (S.T.), MINIMUM SLOPE SHALL BE 1.0%.
- D2** INSTALL PRIVATE STORM SEWER (SEE PLAN/PROFILE SHEETS).
- S1** CONNECT TO BLDG. PLUMBING (RE: MEP PLANS). EXIST. 6" PVC FL=995.3± PROP. 6" PVC FL=995.3±
- S2** INSTALL 15 L.F. 6" PVC (SDR-26) SANITARY SEWER SERVICE LINE @ 3.0% SLOPE AND 28 L.F. 6" PVC RISER.
- S3** INSTALL 6" SANITARY SEWER CLEANOUT IN GRASSY AREA.
- S4** CONNECT TO EXISTING PRIVATE 6" PVC SANITARY SEWER SERVICE LINE W/ WYE CONNECTION. EXIST. 6" PVC FL=995.3± PROP. 6" PVC FL=995.3±
- S5** ADJUST EXISTING CLEANOUTS TO NEW FINISHED GRADE (RE: CLEANOUT IN PAVEMENT DETAIL).
- S6** ADJUST EXISTING PRIVATE SANITARY SEWER SAMPLING MANHOLE TO NEW FINISHED GRADE (RE: KCMO STANDARD DETAIL MH-1).
- W1** CONTRACTOR TO CONNECT TO AND EXTEND EXISTING 10" DIP PRIVATE FIRE PROTECTION LINE AROUND NEW BUILDING EXPANSION. SEE NOTES 13, 14, AND 15 FOR MATERIAL AND COVER REQUIREMENTS.
- W2** INSTALL PRIVATE FIRE HYDRANT. PRIVATE HYDRANTS SHALL BE PAINTED RED.
- W3** EXISTING PRIVATE FIRE HYDRANT TO REMAIN.
- G1** GAS ENTRY WITH GAS METER. CONTRACTOR SHALL COORDINATE WITH GAS COMPANY FOR INSTALLATION OF GAS METER. SIZE OF GAS MAIN SHALL BE AS DETERMINED BY UTILITY OR AS SHOWN ON BUILDING PLANS. CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH GAS COMPANY REGARDING THE SIZE AND INSTALLATION OF GAS SERVICE LINE.
- E1** ELECTRIC ENTRY INTO BUILDING. FOLLOW EVERY REQUIREMENTS (RE: BUILDING ELECTRIC PLAN).

**UTILITY COMPANIES:**

SPIRE ENERGY BEVERLY PASSANTINO 7500 E. 35TH TERRACE KANSAS CITY, MO. 64129 EMAIL: beverly.passantino@spireenergy.com	(816) 472-3434	CITY OF KANSAS CITY PUBLIC WORKS DEPARTMENT 414 E. 12TH STREET KANSAS CITY, MO. 64106	(816) 513-2627
EVERGY MELISSA FELTES 8325 N. PLATTE PURCHASE DRIVE KANSAS CITY, MO. 64118 E-MAIL: Melissa.Feltes@kcp.com	(816) 420-4721	CITY OF KANSAS CITY (GENERAL NUMBER) CARLA HASKINS (WATER) EMAIL: carla.haskins@cmo.org AMY BURNELL (LAND DEVELOPMENT DIVISION) EMAIL: amy.burnell@cmo.org 4800 E. 63RD STREET KANSAS CITY, MO. 64130	(816) 513-1313 (816) 513-2133 (816) 513-2552
AT&T JILL SCHROEDER 9556 N. MCGEE COURT KANSAS CITY, MO 64155 EMAIL: j0311@att.com	(816) 734-8700	TIME WARNER CABLE 15 NW BARRY ROAD KANSAS CITY, MO. 64155	(816) 358-8833

**LEGEND**

- PL PROPERTY LINE
- LL LOT LINE
- R/W RIGHT-OF-WAY
- CATV EXISTING CABLE TELEVISION LINE
- FO EXISTING FIBER OPTIC LINE
- G EXISTING GAS LINE
- BE EXISTING BURIED ELECTRIC LINE
- OHP EXISTING OVERHEAD POWER LINE
- OHT EXISTING OVERHEAD TELEPHONE LINE
- SS EXISTING SANITARY SEWER LINE
- BT EXISTING BURIED TELEPHONE LINE
- W-6" EXISTING WATER LINE (& SIZE)
- ST-6" EXISTING ROOF DRAIN (& SIZE)
- CATV PROPOSED CABLE TELEVISION LINE
- FO PROPOSED FIBER OPTIC LINE
- G PROPOSED GAS LINE
- BE PROPOSED BURIED ELECTRIC LINE
- SS PROPOSED SANITARY SEWER LINE
- OHP PROPOSED OVERHEAD POWER LINE
- OHT PROPOSED OVERHEAD TELEPHONE LINE
- BT PROPOSED BURIED TELEPHONE LINE
- W-6" PROPOSED WATER LINE (& SIZE)
- ST-6" PROPOSED ROOF DRAIN (& SIZE)



**NOTE: ALL WATER SERVICE INSTALLATIONS INCLUDING BACKFLOW DEVICES ARE SUBJECT TO FIELD VERIFICATION AND APPROVAL BY THE WATER DEPARTMENT INSPECTOR.**

**UTILITY NOTES:**

- The contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies, and where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The contractor must call the appropriate utility companies at least 48 hours before any excavation to request exact field location of utilities. It shall be the responsibility of the contractor to coordinate with and relocate &/or remove all existing utilities which conflict with the proposed improvements shown on the plans.
- The construction of storm sewers on this project shall conform to the requirements of the City of Kansas City, Missouri's Technical Specifications and Design Criteria.
- The contractor shall field verify the exact location and elevation of the existing storm sewer lines and the existing elevation at locations where the proposed storm sewer collects or releases to existing ground. If discrepancies are encountered from the information shown on the plans, the contractor shall contact the design engineer. No pipes shall be laid until direction is received from the design engineer.
- It will be the contractor's responsibility to field adjust the top of all manholes and boxes as necessary to match the grade of the adjacent area. Tops of existing manholes shall be raised as necessary to be flush with proposed ground elevations, and to be 6-inches above finished ground elevations in non-paved areas. No separate or additional compensation will be made to the contractor for making final adjustments to the manholes and boxes.
- Inlet locations, horizontal pipe information and vertical pipe information is shown to the center of the structure. Deflection angles shown for storm sewer pipes are measured from the center of curb inlets and manholes. The contractor shall adjust the horizontal location of the pipes to go to the face of the boxes. All roof drains shall be connected to storm sewer structures. Provide cleanouts on roof drain lines at 100' max. Spacing and at all bend points. Do not connect roof drains directly to storm sewer pipe.
- The contractor shall be responsible for furnishing and installing all fire and domestic water lines, meters, backflow devices, pits, valves and all other incidents required for a complete operable fire protection and domestic water system. All costs associated with the complete water system for the buildings shall be the responsibility of the contractor. All work shall conform to the requirements of the City of Kansas City, Missouri.
- The contractor shall be responsible for furnishing and installing all sanitary sewer service lines from the buildings to the public line. All work shall conform to the requirements of the City of Kansas City, Missouri.
- The contractor will be responsible for securing all permits, bonds and insurance required by the contract documents, the City of Kansas City, Missouri, and all other governing agencies (including local, county, state and federal authorities) having jurisdiction over the work proposed by these construction documents. The cost for all permits bonds and insurance shall be the contractors responsibility and shall be included in the bid for the work.
- By the use of these construction documents the contractor hereby agrees that he/she shall be solely responsible for the safety of the construction workers and the public. The contractor agrees to hold the engineer and owner harmless for any and all injuries, claims, losses or damages related to the project.
- The Contractor shall be responsible for furnishing all materials, tools and equipment and installation of electrical power, telephone and gas service from a point of connection from the public utility lines to the building structures. This will include all conduits, service lines, meters, concrete pads and all other incidents required for a complete and operational system as required by the owner and the public utilities. Refer to building plans for exact tie-in locations of all utilities. Contractor shall verify connection points prior to installation of utility line.
- All fill material is to be in place, compacted, and consolidated before installation of proposed utilities. On-site geotechnical engineer shall provide written confirmation that this requirement has been met and that utilities may proceed in the fill areas. All utilities are to be placed in trench conditions.
- Contractor shall notify the utility authorities inspectors 48 hours before connecting to any existing line.
- Branch service lines 2" and smaller shall conform to the latest federal specifications for Type K flexible copper tubing up to the water tee. Five feet after the meter to the building high density polyethylene (HDPE) pipe may be installed on service lines up to two inches. The HDPE piping shall be SDR 9 and meet AWWA C901 and copper tubing size (CTS) standards. Building grounding must meet current building codes.
- Branch service lines larger than 2" shall be ductile iron pipe, and in accordance with the water department's standards and specifications for water main extensions.
- Water mains and service lines shall have a cover of not less than 4 feet nor more than 5 feet unless obstructions require deeper excavation for clearance.
- Minimum trench width shall be 2 feet.
- All water line joints are to be mechanical joints with thrust blocking as called out in specifications and construction plans. Water mains and service lines shall be constructed in accordance to the City of Kansas City, Missouri's specifications for commercial services.
- All waterlines shall be kept min. ten (10') apart (parallel) from sanitary sewer lines or manholes. Or when crossing, on a 24" vertical clearance (outside edge of pipe to outside edge of pipe) of the water line above the sewer line is required.
- Sanitary conflicts will be resolved prior to permit issuance.
- All underground storm, sanitary, water and other utility lines shall be installed, inspected and approved before backfilling. Failure to have inspection approval prior to backfill will constitute rejection of work.
- All necessary inspections and/or certifications required by codes and/or utility service companies shall be performed prior to announced building possession and the final connection of service. Contractor shall coordinate with all utility companies for installation requirements and specifications.
- Refer to building plans for site lighting electrical plan, irrigation, parking lot security system and associated conduit requirements. Coordinate with Owner that all required conduits are in place & tested prior to paving.
- When a building utility connection from site utilities leading up to the building cannot be made immediately, temporarily mark all such site utility terminations.
- Refer to the building plans for site lighting electrical requirements, including conduits, pole bases, pull boxes, etc.

\\PHILIPS-SERVER\Projects\220236\Utility\Development Plans\UTILITY.dwg Layout:1 Jun 02, 2022 6:13pm Donnie Finn



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**PLANNING  
ENGINEERING  
IMPLEMENTATION**

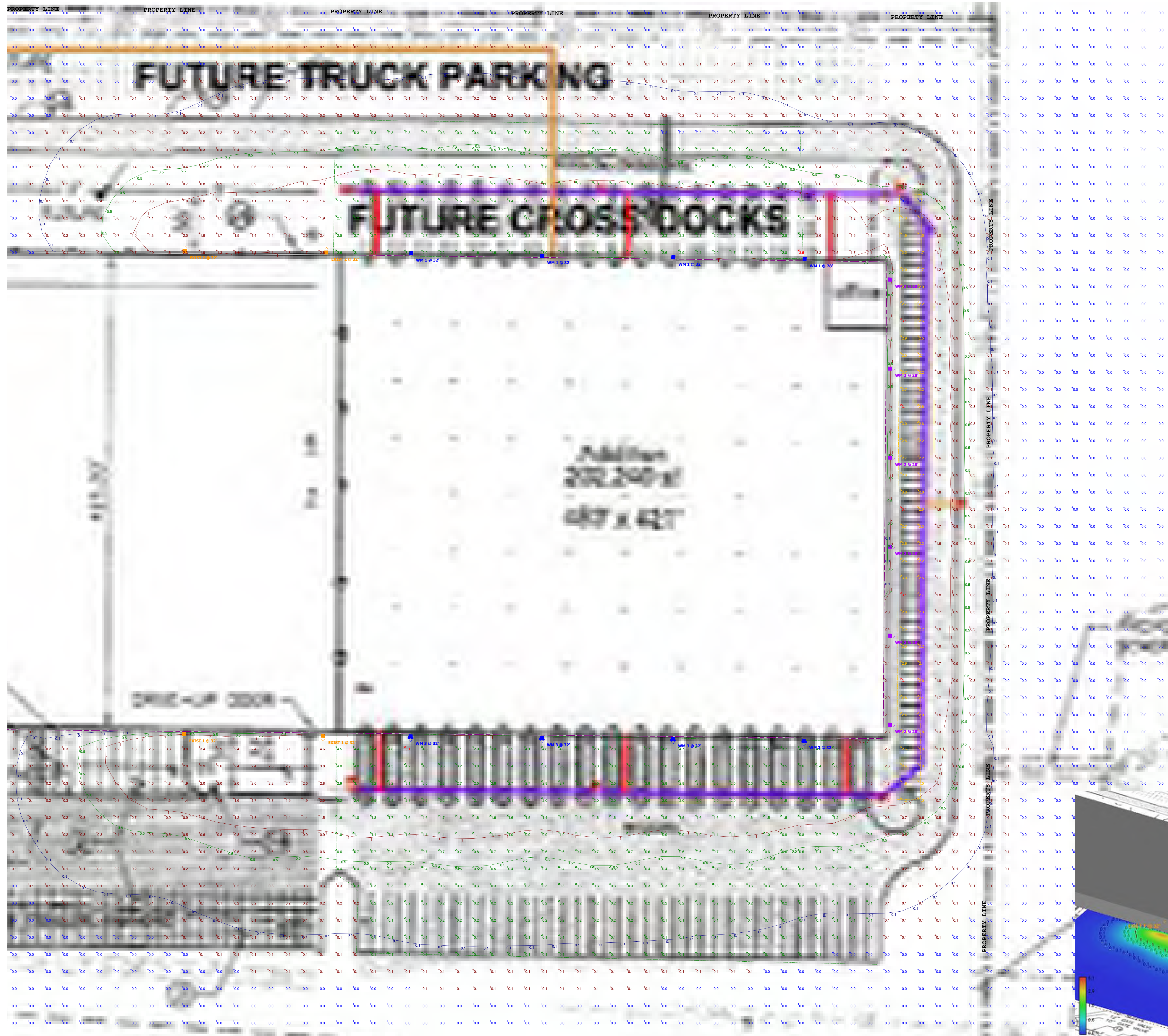
**UTILITY PLAN**  
PRICE BROTHERS EXPANSION  
SKYPORT, LOT 1, KANSAS CITY, PLATTE CO., MISSOURI  
7501 NW 106TH TERRACE

PROJECT NO.	DATE	NO.	DATE	REVISIONS
220236	05-01-2022	1	06-02-22	REVISED PER PLANNING COMMENTS

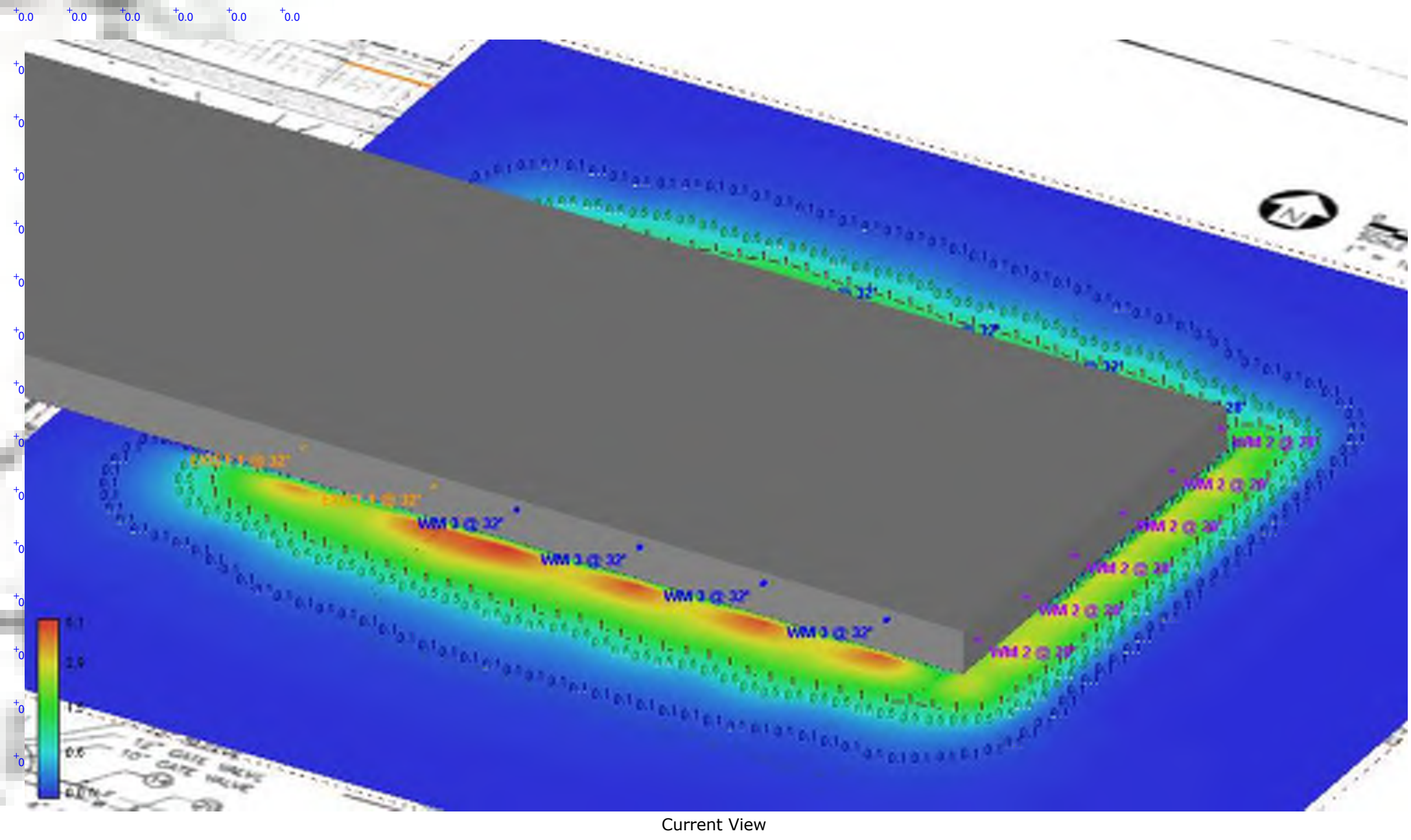
CHECKED: DAF APPROVED: JJC  
DATE OF AUTHORIZATION: 06-02-22  
LAND SURVEYING - LS-82  
ENGINEERING - E-361  
CREATED DATE OF AUTHORIZATION: 06-02-22  
LAND SURVEYING - 20070128  
DRAWING - 20070308

**SHEET**  
**C3**





Plan View



Current View

**LED AREA LIGHT** ILLUMADYNE

THE POWER OF LIGHT

**LED AREA LIGHT**

ILLUMADYNE

THE POWER OF LIGHT

LED AREA LIGHT

Page 1 of 5

**Statistics**

Description	Symbol	Avg	Min	Max/Min	Avg/Min	Max
North Truck Court	✕	1.3 fc	0.2 fc	17.5:1	6.5:1	3.5 fc
South Truck Court	✕	1.3 fc	0.0 fc	N/A	N/A	5.1 fc
East Auto Parking & Drive	✕	2.3 fc	0.7 fc	4.4:1	3.3:1	3.1 fc

**Schedule**

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Number Lumens	Light Lumens	Wattage	Foot
WM 1	WM 1	4	ILLUMADYNE	ISB-145W-AV-50-5070-14	145W Type 4 Wall Mount	1	2362	0.95	145
WM 2	WM 2	6	ILLUMADYNE	ISB-75W-AV-50-5070-11	75W Type 3 Wall Mount	1	1360	0.95	75
WM 3	WM 3	4	ILLUMADYNE	ISB-230W-AV-50-5070-14	230W Type 4 Wall Mount	1	3780	0.95	230
EXIST 1	EXIST 1	2	ILLUMADYNE	230 W Existing Luminaire		1	3310	0.95	200
EXIST 2	EXIST 2	2	Existing	115 W Existing Luminaire		1	1910	0.95	115

The Visual Simulation ("Lighting Design") provided here by Illumadyne, Inc. represents an anticipated prediction of lighting system performance based upon design parameters and information supplied by others. These design parameters and information provided by others has not been field verified and therefore actual measured results may vary from the actual field conditions.

Illumadyne, Inc. neither warrants, either implied or stated, the actual measured light levels or energy consumption as compared to those illustrated by the Lighting Design. Illumadyne, Inc. neither warrants, either implied or stated, nor represents the appropriateness, completeness, or suitability of the Lighting Design in compliance with any applicable regulatory code requirements except for those specifically stated on the drawings created and submitted by Illumadyne, Inc. The Lighting Design is issued, in whole or in part, as advisory documents for informational purposes and is not intended for construction.

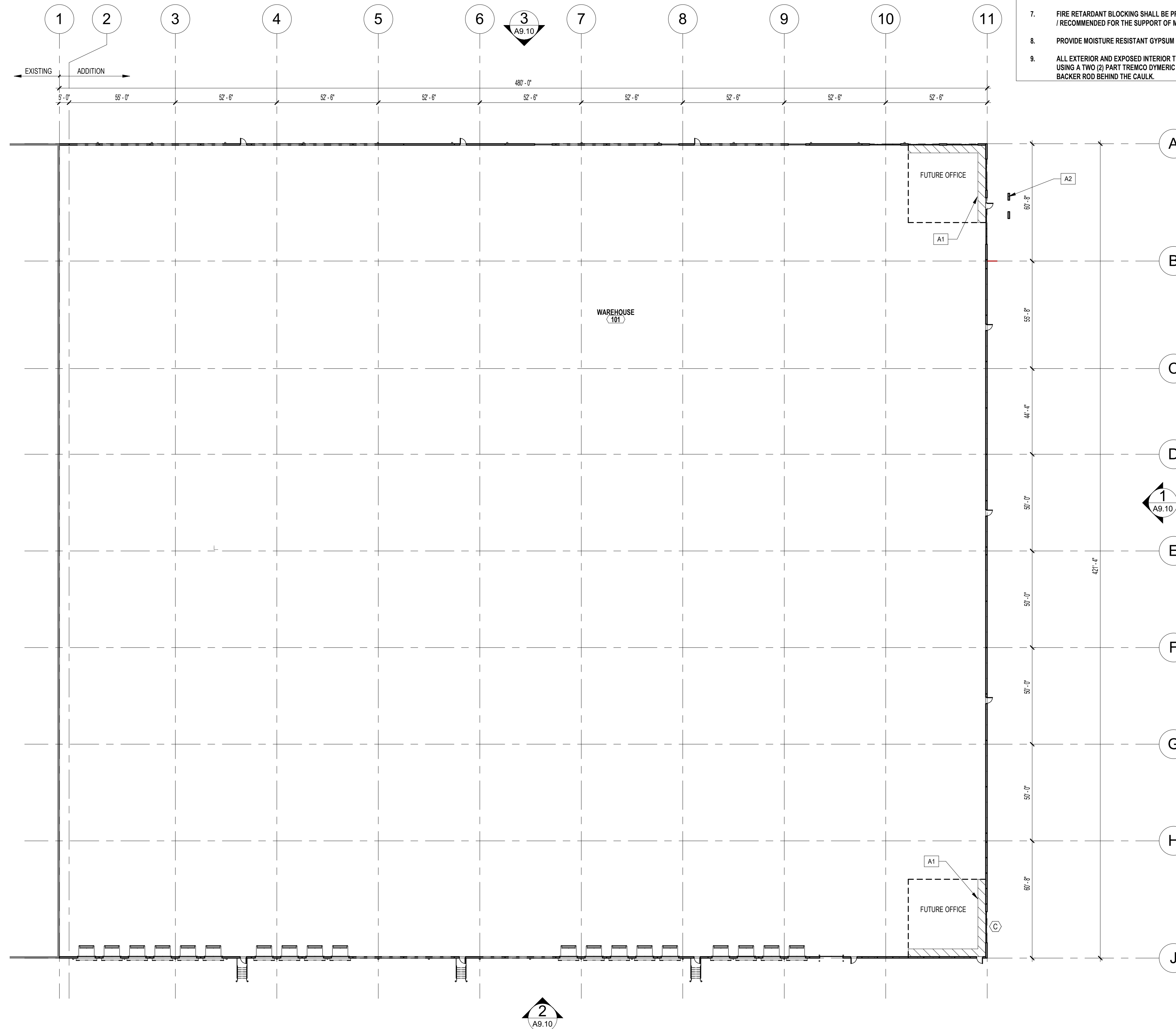


**FLOOR PLAN GENERAL NOTES**

- CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS AT THE JOB SITE AND NOTIFY ARCHITECT OF ANY OMISSIONS, DISCREPANCIES, AND/OR CONFLICTS BEFORE PROCEEDING WITH THE WORK.
- GLAZING, CASEWORK, MILLWORK AND EQUIPMENT SUPPLIERS SHALL FIELD VERIFY ALL DIMENSIONS PRIOR TO FABRICATION.
- USE TAPEABLE METAL CORNER BEADS AT ALL GYPSUM BOARD CORNERS.
- DOORS SHOWN ADJACENT TO WALLS ARE TYPICALLY 4" FROM WALL TO OUTER FACE OF DOOR FRAME UNLESS NOTED OTHERWISE.
- WHERE GYP. BD. IS PROVIDED AROUND EXTERIOR OPENINGS, THE GYP. BD. SHALL BE MOISTURE RESISTANT GYPSUM BOARD FOR 2'-0" INTO THE BUILDING.
- ALL DIMENSIONS ARE TO FACE OF PARTITIONS.
- FIRE RETARDANT BLOCKING SHALL BE PROVIDED IN ALL WALLS AS REQUIRED BY CODE AND AS REQUIRED / RECOMMENDED FOR THE SUPPORT OF MILLWORK, TOILET PARTITIONS AND ACCESSORIES, ETC.
- PROVIDE MOISTURE RESISTANT GYPSUM BOARD AT ALL WET WALLS.
- ALL EXTERIOR AND EXPOSED INTERIOR TILT CONCRETE AND MASONRY WALL JOINTS SHALL BE CAULKED USING A TWO (2) PART TREMCO DYMERIC POLYURETHANE OR EQUAL. THE JOINTS SHALL ALSO HAVE A BACKER ROD BEHIND THE CAULK.
- ALL CONCRETE FLOOR JOINTS SHALL BE FILLED WITH MM80 SEMI-RIGID JOINT SEALANT OR EQUAL. THE OFFICE AREA JOINTS WILL NOT BE CAULKED DUE TO THE SCHEDULE FLOOR COVERINGS.
- ALL WAREHOUSE COLUMNS SHALL BE PAINTED FROM FINISH FLOOR TO THE ROOF DECK.
- ALL INTERIOR STEEL GIRTS AND BRACING SHALL BE PAINTED.
- EXTERIOR PAINT SYSTEM FOR THE CONCRETE TILT-UP PANELS SHALL CONSIST OF (1) COAT OF A RESISTANT PRIMER AND (1) COAT OF A MEDIUM TEXTURE PAINT. SYSTEM TO CARRY A 10 YEAR WARRANTY.
- PROVIDE AN 18" WIDE RODENT RUN STRIPE IN FRONT OF EVERY INTERNAL WALL LOCATION IN COLD DOCK, DRY DOCK, DRY GOODS, COOLER AND FREEZER.
- PROVIDE FLOOR MATERIAL TRANSITIONAL STRIPS WHERE REQUIRED BY CHANGE IN MATERIAL.
- PROVIDE ACCESS PANELS AS REQUIRED, COORDINATE WITH M.E.P. & F.P.
- COORDINATE FIRE EXTINGUISHERS LOCATIONS WITH ARCHITECT AND LOCAL FIRE MARSHALL. LOCATIONS SHALL FOLLOW NFPA 472, FM STANDARDS, AND ADA GUIDELINES. SEE LIFE SAFETY SHEET.
- ALL PLAN BACKGROUND FEATURES SUCH AS RACKING, EQUIPMENT, FURNITURE, ETC. ARE LIGHTENED ON THE FLOOR PLANS AND ARE SHOWN FOR COORDINATION PURPOSES ONLY. THEY ARE NOT TO BE CONSIDERED A PART OF THIS PERMIT NOR SHALL THEY BE USED FOR FIELD DIMENSIONING (SCALING).

**KEY NOTES**

- A1 HATCHING INDICATES THE LOCATION OF 4" WIDE x 2" THICK RIGID INSULATION BELOW SLAB, 40'-0" LONG FROM CORNER
- A2 TILT-UP PANEL FOR ENTRY CANOPY



**1 OVERALL FLOOR PLAN - LEVEL 1**  
 1" = 30'-0"

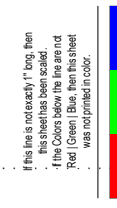
**NOT FOR CONSTRUCTION**  
 04.29.2022

JOB NO: SJ2713  
 PA: Author  
 ISSUE DATE: 2022.04.29

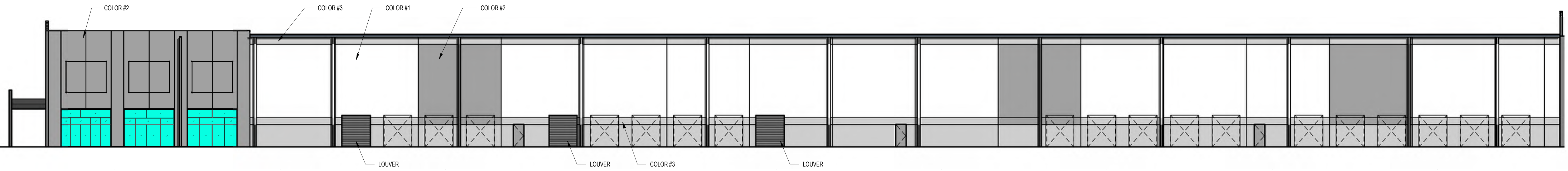
**REVISIONS:**

#	DESCRIPTION	DATE

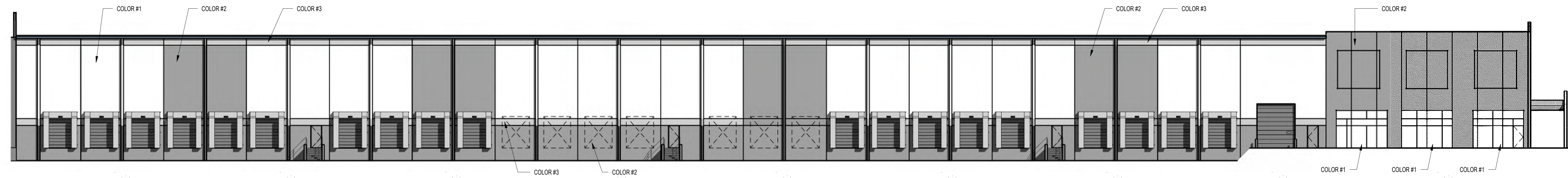




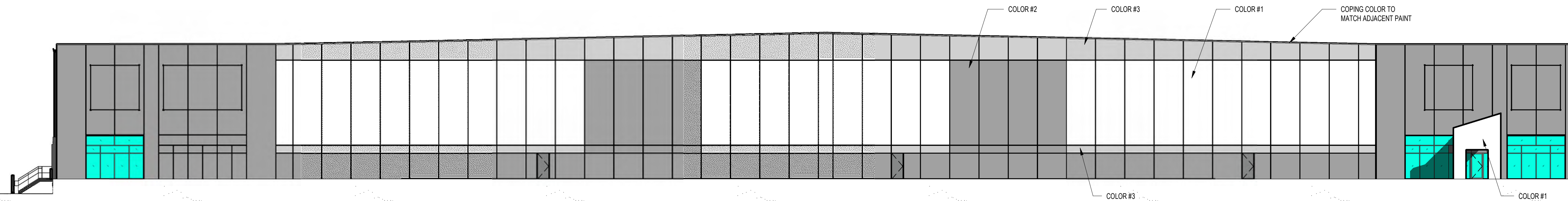
ALL PAINT COLORS ARE TO MATCH THE EXISTING BUILDING COLORS



**3 NORTH ELEVATION - COLOR**  
A9.10 1/16" = 1'-0"



**2 SOUTH ELEVATION - COLOR**  
A9.10 1/16" = 1'-0"



**1 EAST ELEVATION - COLOR**  
A9.10 1/16" = 1'-0"

PROJECT  
**PRICE BOTHER'S KCMO EXPANSION**  
7501 NW 106th TERRACE  
KANSAS CITY, MO 64153

NOT FOR  
CONSTRUCTION  
04.29.2022

JOB NO: SJ2713  
PA: Author  
ISSUE DATE: 2022.04.29

REVISIONS:

#	DESCRIPTION	DATE

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SHEET NUMBER  
**A9.10**  
COLORED ELEVATION