

LEGEND

- R/W — RIGHT-OF-WAY
- P — PROPERTY LINE
- X REMOVE TREE
- (DND) DO NOT DISTURB TREE



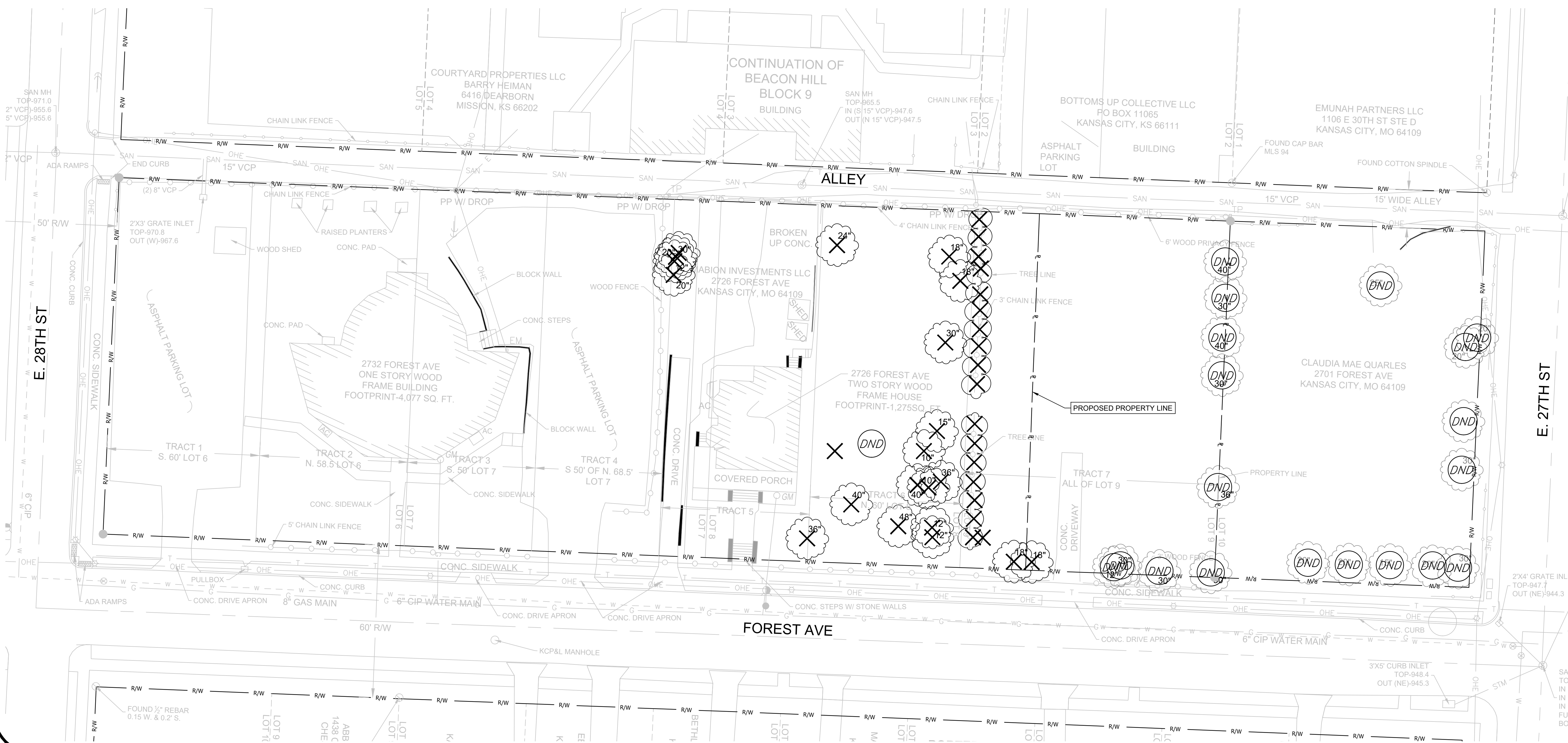
City Plan Commission
Approved Subject to Conditions
 of Case No. CD-CPC-2022-00165 On 11-1-2022

Joseph Rexwinkle
 Joseph Rexwinkle, AICP
 Secretary of the Commission



HORIZONTAL
 0 20' 40'
 SCALE IN FEET SCALE: 1" = 20'

Oct 14, 2022 - 8:52am Plotted By: cweeth_lar-inc G:\Shared drives\VC10 - Land Development\Projects\2022\22KCI0021 The Mabion\01_Civil\03-DWG\Sheet\Development Plan\22KCI0021 - SPTS-TREE.dwg Layout: TREE PLAN



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CHECK BY:	TAF
LICENSE NO.:	1014/2022
DATE:	10/14/2022
ISSUED FOR:	CITY REVIEW
JOB NUMBER:	22KCI0021

THE MABION
TREE PLAN
 2732 FOREST AVE KANSAS CITY, MO 64109

PRELIMINARY NOT FOR CONSTRUCTION

SHEET NUMBER
C1.0
 4 OF 8

LEGEND

- RIGHT-OF-WAY
- PROPERTY LINE
- BUILDING SETBACK LINE
- 5" ASPHALTIC CONCRETE PAVEMENT
- 2" ASPHALT OVERLAY
- 4" CONCRETE SIDEWALK
- 8" KCMMB 4K CONCRETE DUMPSTER PAD SECTION
- 8" MCIB PCC PAVEMENT SECTION PER APWA SECTION 2300
- PROPOSED SEED OR SOD
- 2" CONCRETE CURB AND GUTTER - TYPE CG-1
- 2" CONCRETE CURB AND GUTTER - TYPE CG-1 (DRY)
- 6" CONCRETE CURB - TYPE C-1

SITE DATA TABLE		
ITEM	QUANTITY	
EXISTING ZONING	R-1.5	
PROPOSED ZONING	R-1.5	
PROPOSED USE	MULTI-UNIT BUILDING	
SITE AREA	1.16 AC	
BUILDING COVERAGE	0.35 AC	
FLOOR AREA RATIO	0.30	
NET DENSITY	49.1 UNITS/AC	
EXISTING IMPERVIOUS AREA	22,601 SF (0.52 AC)	
PROPOSED IMPERVIOUS AREA	29,352 SF (0.67 AC)	
NET INCREASE IN IMPERVIOUS AREA	6751 SF (0.15 AC)	
REQUIRED PARKING RATIO (PER 88-420-04-M)	29 STALLS	
PROPOSED PARKING	29 STALLS	
REQUIRED ADA PARKING	2 STALLS (1 VAN)	
PROPOSED ADA PARKING	2 STALLS (1 VAN)	
REQUIRED SHORT-TERM BICYCLE PARKING	3	
PROPOSED SHORT-TERM BICYCLE PARKING	3	
REQUIRED LONG-TERM BICYCLE PARKING	19	
PROPOSED LONG-TERM BICYCLE PARKING	19	

BUILDING USE			
BUILDING NO.	BUILDING HEIGHT	NO. OF FLOORS	F
BUILDING A	45'-0"	4	



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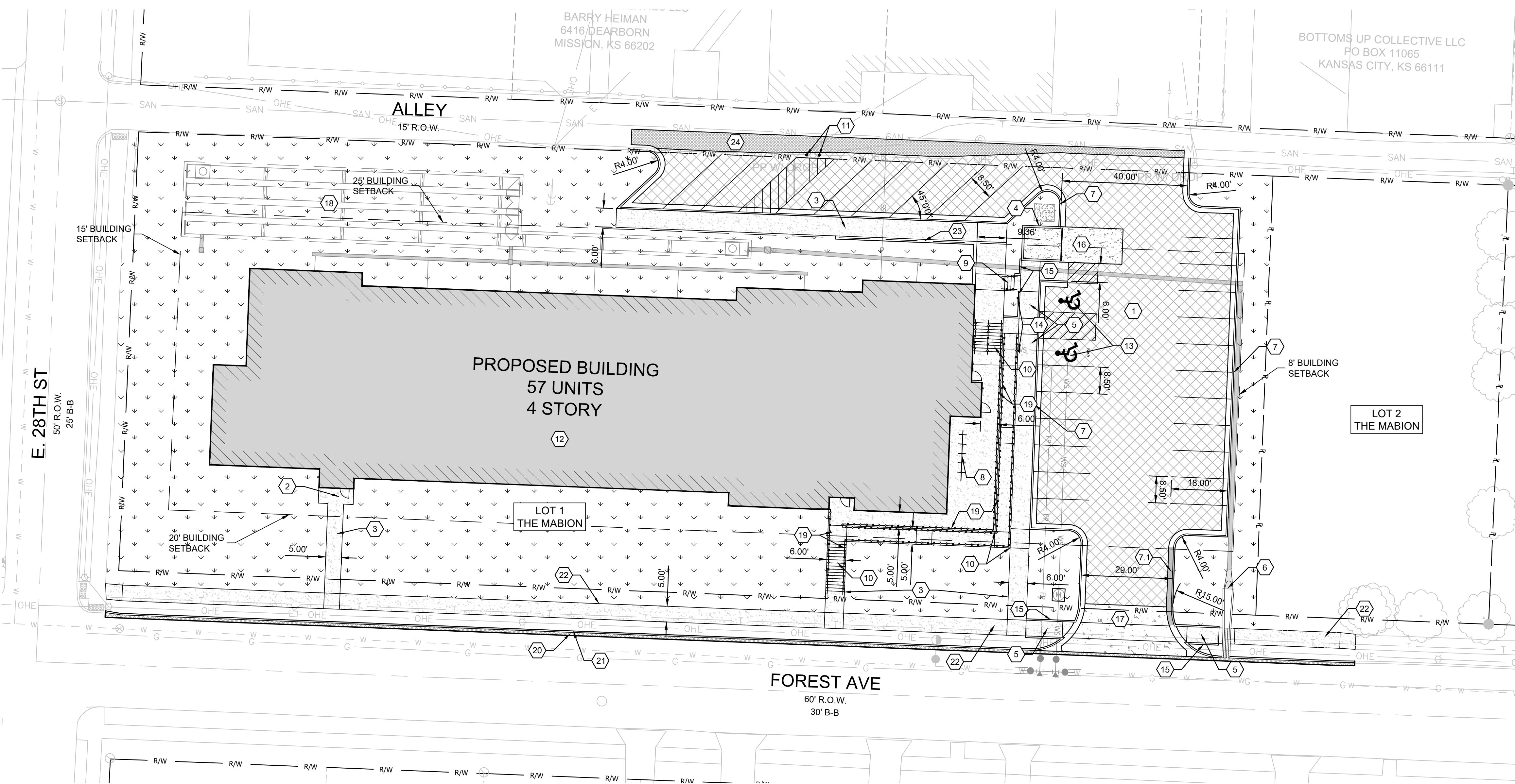
Joseph Rexwinkle, AICP
 Secretary of the Commission

CONSTRUCTION NOTES

1. CONSTRUCT ASPHALTIC CONCRETE PAVEMENT SECTION. RE: DETAIL ON SHEET C600. (9217 SF)
2. CONSTRUCT CONCRETE STOOP. RE: DETAIL ON SHEET C601
3. CONSTRUCT 4" PORTLAND CEMENT CONCRETE SIDEWALK. RE: DETAIL ON SHEET C601. (1915 SF)
4. CONSTRUCT DUMPSTER ENCLOSURE. RE: ARCH PLANS.
5. CONSTRUCT ADA RAMP. RE: SHEETS C400-C401.
6. CONTRACTOR TO INSTALL EVERGRATE T-06C CONTINUUM TRENCH DRAIN WITH C-646T CURB OPENING AND APRON WITH WING WALLS. RE: SHEET C602
7. 2" CURB AND GUTTER (TYPE CG-1 DRY). RE: DETAIL ON SHEET C600. (471 LF)
- 7.1 2" CURB AND GUTTER (TYPE CG-1). RE: DETAIL ON SHEET C600. (25 LF)
8. BICYCLE PARKING AREA.
9. CONSTRUCT STAIRS. RE: SHEET C600
10. CONCRETE STEM WALL AND STAIRS. RE: STRUCTURAL PLANS
11. CONSTRUCT BOLLARD PROTECTION AROUND EXISTING UTILITY POLE. RE: SHEET C601. CONTRACTOR TO STABILIZE UTILITY POLE DURING CONSTRUCTION
12. PROPOSED BUILDING. RE: ARCH PLANS
13. STRIPE ADA PARKING STALL AND CROSSWALK PER DETAIL ON SHEET C601.
14. INSTALL ADA PARKING SIGNS PER DETAIL ON SHEET C601.
15. CONSTRUCT 6" CONCRETE CURB WALL
16. CONSTRUCT KCMMB 4K PORTLAND CEMENT CONCRETE PAVEMENT SECTION RE: DETAIL ON SHEET C600. (340 SF)
17. CONSTRUCT MCIB PORTLAND CEMENT CONCRETE PAVEMENT SECTION PER DETAIL ON SHEET C600. (485 SF)
18. PROPOSED UNDERGROUND DETENTION. RE SHEET C520 FOR MORE DETAIL.
19. CONSTRUCT HANDRAIL (485 LF). RE: ARCHITECTURE PLANS FOR HANDRAIL DETAIL.
20. ASPHALT PATCH PER KCMO DETAIL SR-1 (400 SF)
21. PROPOSED TYPE C-1 CURB. RE: KCMO TYPE C-1 CURB DETAIL. (335 LF)
22. CONSTRUCT PUBLIC CONCRETE SIDEWALK PER KCMO DETAIL SW-1. (1816 SF)
23. 2.5' LANDSCAPE WALL. RE: SHEET C401 FOR WALL ELEVATIONS
24. OVERLAY EXISTING ASPHALT WITH 2" APWA TYPE 3 ASPHALT PER DETAIL ON SHEET C600 (758 SF)

GENERAL NOTES

1. REFER TO C.F.S ENGINEERS GEOTECHNICAL REPORT NO. 22-5210, DATED APRIL 4, 2022 FOR SUBGRADE PREPARATION.
2. ALL BUILDINGS ARE SHOWN AS A REFERENCE ONLY. ALL BUILDINGS SHALL BE LOCATED AND CONSTRUCTED PER THE ARCHITECTURAL DRAWINGS PREPARED BY OTHERS.
3. ALL SIGNAGE SHALL COMPLY WITH SECTION 88-445 OF THE KANSAS CITY, MISSOURI ZONING AND DEVELOPMENT CODE. THE OWNER SHALL RECEIVE APPROVAL OF A SIGN PERMIT PRIOR TO INSTALLATION.
4. ALL STRIPING SHALL BE PAINTED LINES OR SYMBOLS.



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THE MABION
SITE PLAN
 2732 FOREST AVE KANSAS CITY, MO 64109

PRELIMINARY NOT FOR CONSTRUCTION

SHEET NUMBER
C2.0
 5 OF 8

Oct 14, 2022 8:52am Plotted By: cveerth_ar-inc G:\Shared drives\VC10 - Land Development\Projects\2022\22KCI0021 The Mabion\01_Civil\03-DWG\Sheet\Development Plan\22KCI0021-SPTS-SITE.dwg Layout: SITE PLAN

LEGEND

- 850 — FINISH GRADE 5' CONTOUR
- 849 — FINISH GRADE 1' CONTOUR
- - - 850 - - - EXISTING GRADE 5' CONTOUR
- - - 849 - - - EXISTING GRADE 1' CONTOUR

GENERAL NOTES

REFERENCED STANDARDS:

THE FOLLOWING STANDARDS ARE REFERENCED DIRECTLY IN THIS SECTION. THE LATEST VERSION OF THESE STANDARDS SHALL BE USED.

ASTM D698 -TEST METHOD FOR LABORATORY COMPACTION CHARACTERISTICS OF SOIL USING STANDARD EFFORT (12,400 FT-LB/FT³)

2201.1 SUMMARY:

THIS SECTION INCLUDES SUBGRADE PREPARATION AT LOCATIONS WHICH HAVE BEEN PREVIOUSLY GRADED IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 2100 "GRADING AND SITE PREPARATION"

2201.2 DEFINITIONS:

- A. **SUBGRADE:** SUBGRADE IS DEFINED AS A WELL GRADED AND COMPACTED LAYER ON WHICH BASE AND SUBSEQUENT COURSES ARE PLACED.
- B. **SUBGRADE PREPARATION:** SUBGRADE PREPARATION IS THE REPEATED OPERATION OF FINE-GRADING AND COMPACTING THE SUBGRADE UNTIL THE SPECIFIED LINES, GRADES, AND CROSS-SECTION, AS INDICATED ON THE PLANS ARE OBTAINED AND THE MATERIALS ARE COMPACTED TO THE SPECIFIED DEPTH AND DENSITY.

CONSTRUCTION:

- A. **GENERAL:** THE SUBGRADE SURFACE SHALL BE BROUGHT TO THE SPECIFIED LINES, GRADES AND CROSS-SECTION BY ADDING OR REMOVING MATERIAL AND COMPACTING TO THE SPECIFIED DENSITY. TOLERANCE ALLOWED ON ALL LINES, GRADES AND CROSS-SECTIONS SHALL BE NO MORE THAN 1/4 INCH.
- B. **COMPACTING THE SUBGRADE:** UNLESS OTHERWISE SPECIFIED, THE TOP 6 INCHES OF SUBGRADE FOR PAVEMENTS SHALL BE COMPACTED TO 95% OF THE STANDARD PROCTOR MAXIMUM DENSITY

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of Case No. **CD-CPC-2022-00165** On **11-1-2022**

Joseph Rexwinkle
Joseph Rexwinkle, AICP
Secretary of the Commission

CITY PLANNING AND DEVELOPMENT

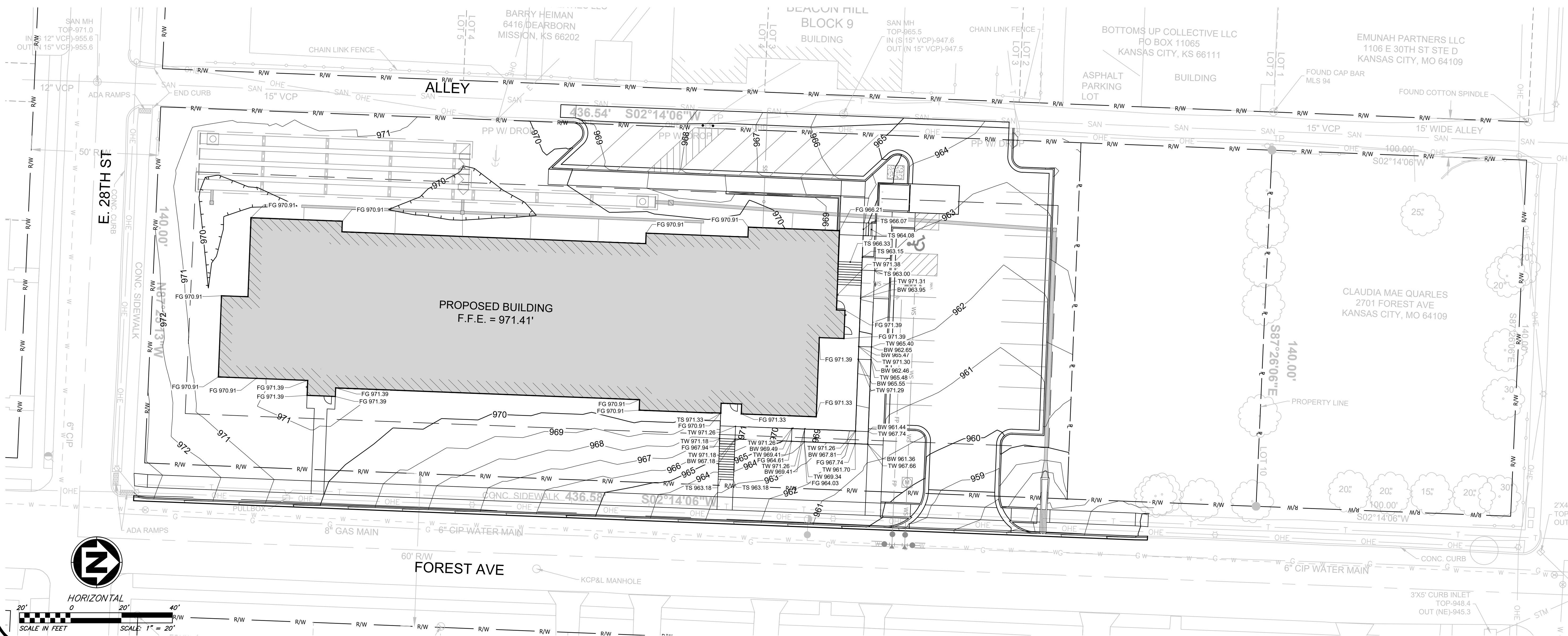
D. **CLEANUP:** SUBGRADE CLEANUP SHALL FOLLOW THE WORK PROGRESSIVELY. THE CONTRACTOR SHALL REMOVE FROM THE PROJECT SITE ALL RUBBISH, SURPLUS OR DISCARDED MATERIAL, UNSUITABLE MATERIAL, AND ANY EQUIPMENT, TOOLS AND TEMPORARY CONSTRUCTION ITEMS USED FOR THE PREPARATION OF THE SUBGRADE.

E. **ROLL TESTING:** ONCE THE SUBGRADE HAS BEEN BROUGHT TO THE FINAL PLAN ELEVATION, BUT PRIOR TO APPROVAL OF THE SUBGRADE FOR PAVING, ALL LANES SHALL BE ROLL TESTED IN THEIR ENTIRE LENGTH. THE SUBGRADE WILL NOT BE ACCEPTABLE IF RUTTING, PUMPING, OR DEFORMATION OF THE SUBGRADE RESULTS FROM THE ROLL TEST. THIS TESTING WILL BE DONE BY THE CONTRACTOR, AND WILL BE IN ADDITION TO THE APPLICABLE MOISTURE AND DENSITY TESTING.

EQUIPMENT FOR ROLL TESTING SHALL BE A TANDEM DUMP TRUCK (ONE FRONT AND TWO REAR AXLES) CARRYING A MINIMUM LOAD OF TWENTY (20) TONS.

THE TRUCK SHALL PROCEED SLOWLY ALONG EACH TRAFFIC LANE, ALLOWING THE ENGINEER TO WALK ALONGSIDE AND OBSERVE THE RESULTS. AREAS FAILING THE ROLL TEST WILL BE REWORKED AND RETESTED PRIOR TO APPROVAL OF THE SUBGRADE FOR PAVING.

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THE MABION
GRADING PLAN

PRELIMINARY NOT FOR CONSTRUCTION

SHEET NUMBER
C3.0
6 OF 8

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LEGEND

- R/W — RIGHT-OF-WAY
- P — PROPERTY LINE
- B — BUILDING SETBACK LINE
- W — 6" CIP WATER MAIN
- WS — WATER SERVICE LINE
- FP — 6" FIRE PROTECTION LINE
- SAN — 15" VCP SANITARY SEWER MAIN
- SS — 6" SANITARY SEWER SERVICE LINE
- — STORM SEWER

UTILITY PLAN KEY NOTES

1. OVERSIZED PIPE DETENTION SYSTEM. RE: SHEET C520
2. NYLOPLAST STORM SEWER STRUCTURE.
3. 24" OUTLET CONTROL STRUCTURE. RE: SHEET C510
4. EXISTING GUY ANCHORS TO BE STABILIZED DURING CONSTRUCTION
5. PROPOSED TRANSFORMER PAD PER EVERGY STANDARD DRAWING 700-103. RE: EVERGY FINAL ELECTRICAL DESIGN
6. PROPOSED FDC. RE: MEP PLANS

SANITARY SEWER KEY NOTES

- S1 6" PVC SANITARY SEWER SERVICE LINE. INSTALL 46 LF OF 6" SDR-26 PCV @ 1.00% MIN. FL @ MAIN = 948.42. INSTALL 6" WYE OR TEE AT MAIN
- S2 6" (STRAIGHT TEE) SANITARY SEWER CLEANOUT INSPECTION TEE PER DETAIL ON SHEET C602 - STORM AND SANITARY DETAILS

WATERLINE KEY NOTES

- W1 WATER SERVICE LINE. INSTALL 2" TO 3" REDUCER AND 106 LF OF 3" D.I.P. WATER SERVICE LINE FROM WATER METER PIT TO BUILDING WITH 48" OF COVER (MIN) AND 60" OF COVER (MAX) UNLESS OBSTRUCTIONS REQUIRE DEEPER EXCAVATION FOR CLEARANCE.
- W2 FIRE PROTECTION LINE. INSTALL 121 LF OF 6" CLASS 52 D.I.P. PROTECTION LINE FROM MAIN TO BUILDING WITH 48" OF COVER (MIN) AND 60" OF COVER (MAX) UNLESS OBSTRUCTIONS REQUIRE DEEPER EXCAVATION FOR CLEARANCE. BACKFLOW PREVENTER LOCATED IN MECHANICAL ROOM.
- W3 WATER METER AND METER PIT. INSTALL 2" WATER METER. PER KCMO STANDARDS
- W4 EXISTING FIRE HYDRANT.
- W5 WATER SERVICE CONNECTION. RE: DOMESTIC WATER/FIRE PROTECTION SERVICE LINE CONNECTION DETAIL

GENERAL NOTES

1. ALL FILL MATERIAL IS TO BE IN PLACE, COMPACTED, AND CONSOLIDATED BEFORE INSTALLATION OF PROPOSED UTILITIES. ALL UTILITIES ARE TO BE PLACED IN TRENCH CONDITIONS.
2. CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
3. ALL UNDERGROUND STORM AND OTHER UTILITY LINES SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING. FAILURE TO HAVE INSPECTION APPROVAL PRIOR TO BACKFILL WILL CONSTITUTE REJECTION OF WORK.
4. TOPS OF EXISTING MANHOLES SHALL BE RAISED AS NECESSARY TO BE FLUSH WITH PROPOSED PAVEMENT ELEVATIONS OR FINISH GRADE ELEVATIONS IN NON-PAVED AREAS.
5. DRAWINGS DO NOT PURPORT TO SHOW ALL EXISTING UTILITIES. EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
6. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH AND RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
7. CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES.

City Plan Commission
Approved Subject to Conditions

FOR COORDINATING THE RELOCATION OR RELOCATION OF EXISTING UTILITIES WITHIN THE CITY OF KANSAS CITY, MO. CASE NO. 2022-00165 ON 11-1-2022

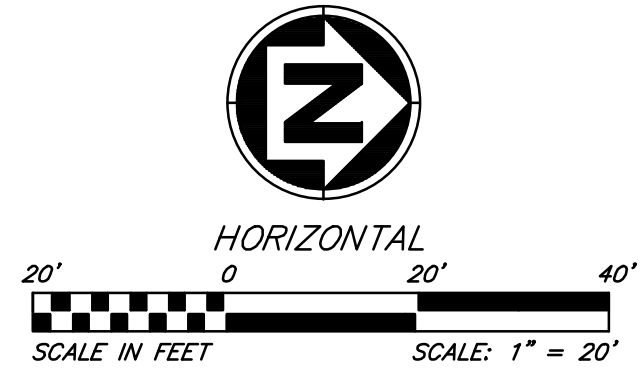
3. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY SERVICE COMPANIES AND THE CITY PLANNING AND DEVELOPMENT DEPARTMENT PRIOR TO CONSTRUCTION.

Y THE EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL EXISTING AND ADJACENT STORM SEWERS IN GOOD WORKING ORDER UNTIL SUBSTANTIAL COMPLETION.

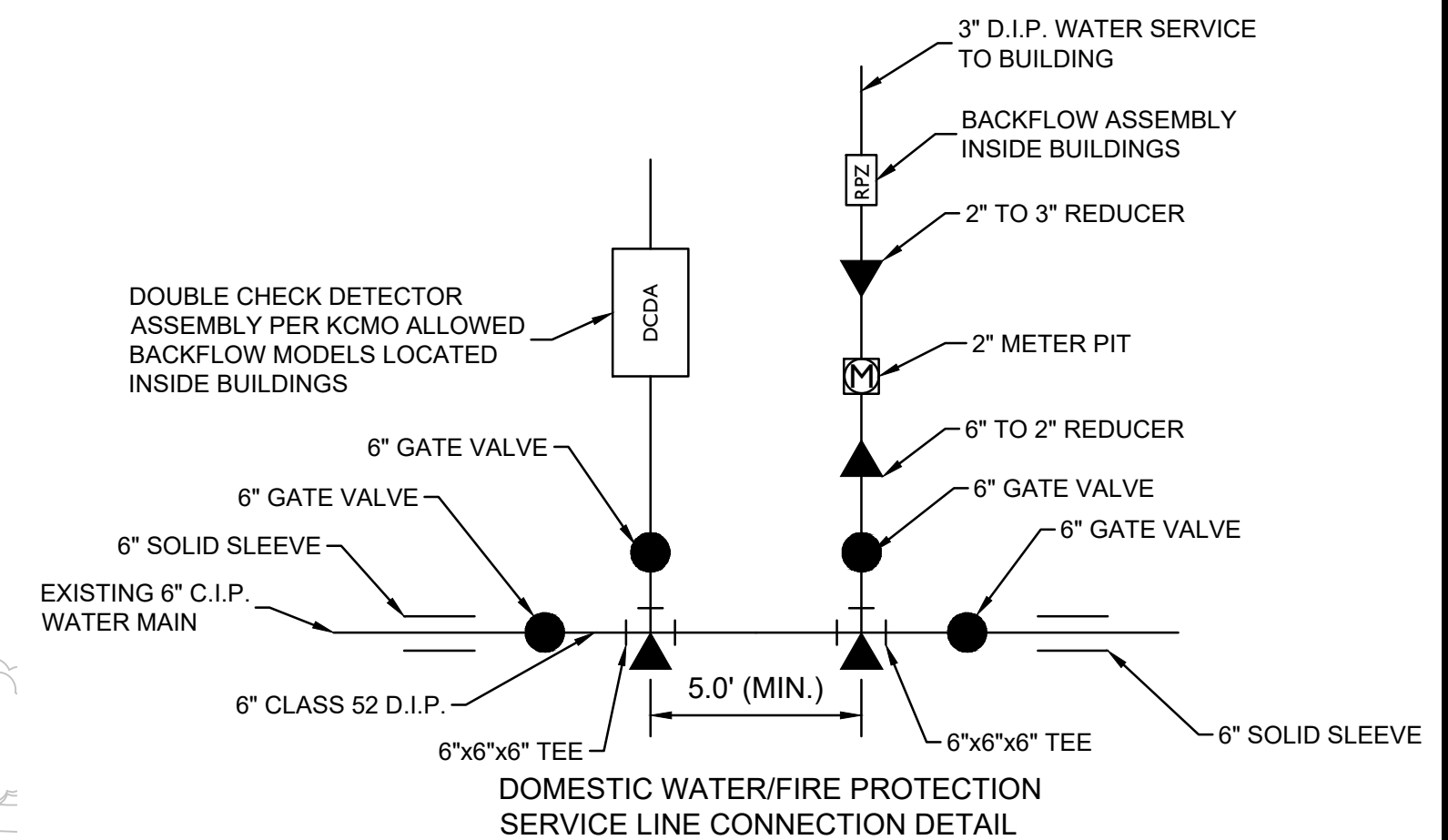
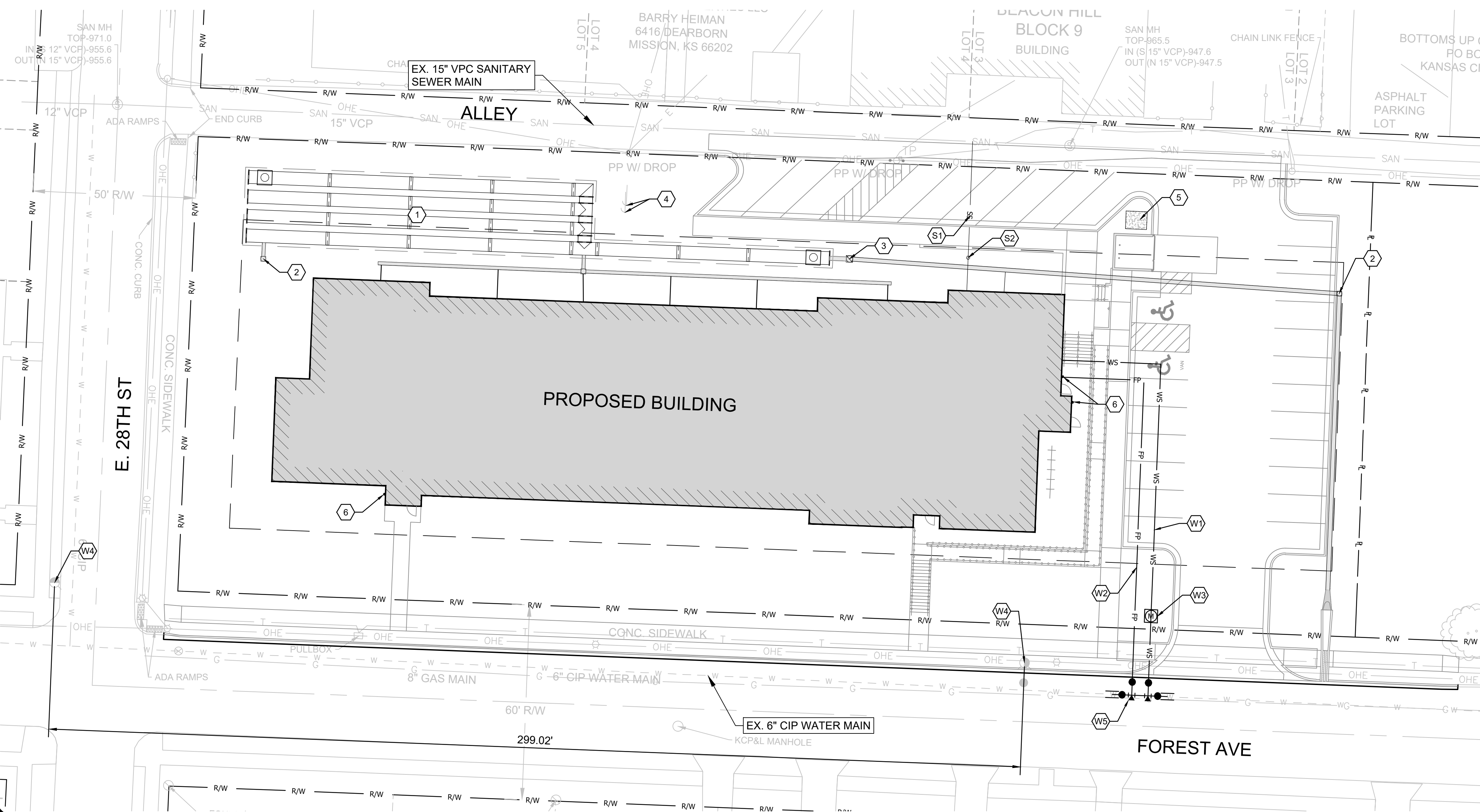
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL EXISTING AND ADJACENT STORM SEWERS IN GOOD WORKING ORDER UNTIL SUBSTANTIAL COMPLETION.

10. ALL WATER SERVICE INSTALLATIONS INCLUDING BACKFLOW DEVICES ARE SUBJECT TO FIELD VERIFICATION AND APPROVAL BY THE WATER DEPARTMENT INSPECTOR.

Joseph Rexwinkle, AICP
Secretary of the Commission



MAINTAIN MIN. 18" VERTICAL CROSSING WITH ALL UTILITIES



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THE MABION

UTILITY PLAN

2732 FOREST AVE KANSAS CITY, MO 64109

PRELIMINARY NOT FOR CONSTRUCTION

SHEET NUMBER
C4.0
7 OF 8

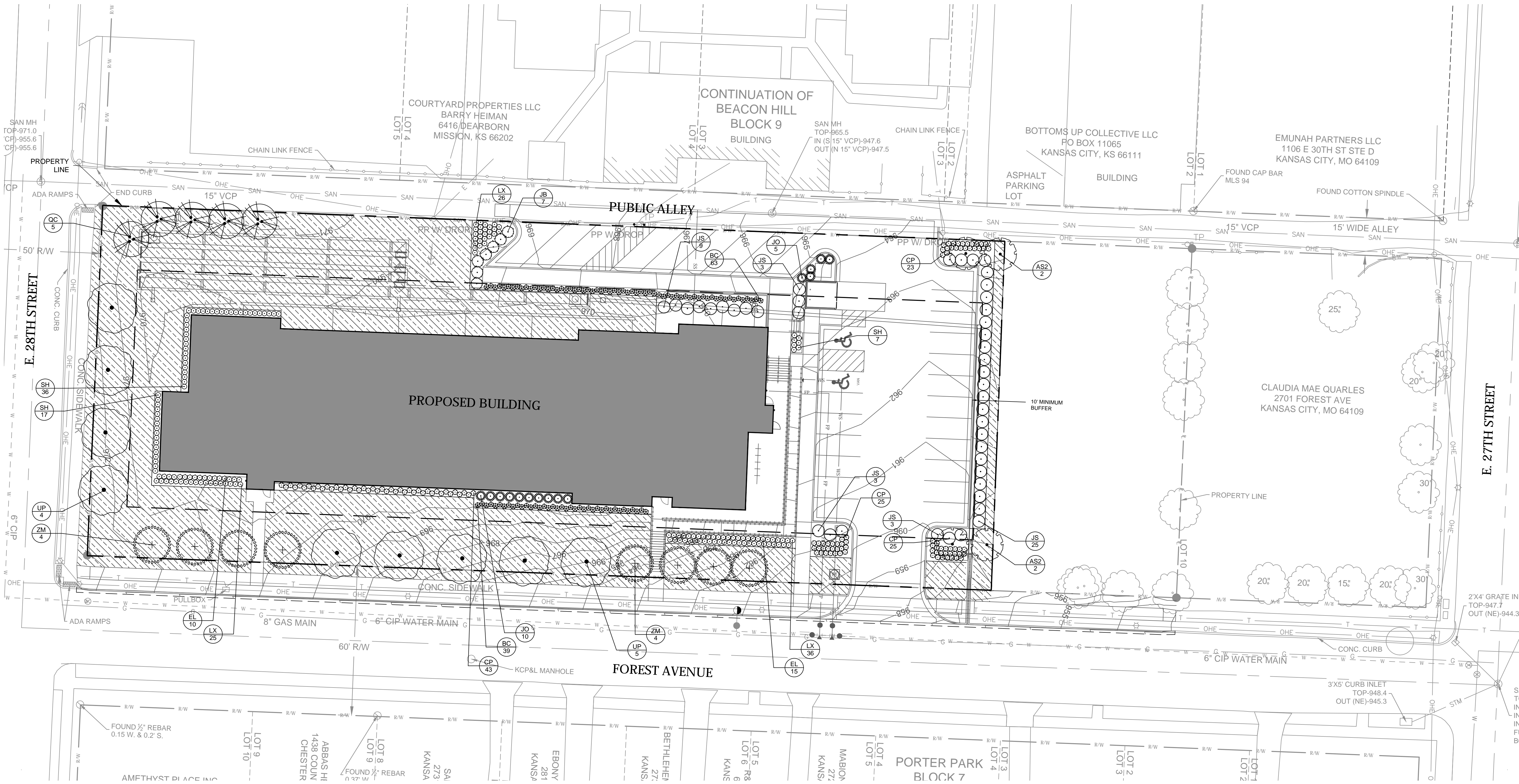
88-425 Landscape Requirements				
Landscape and Screening (Section 88-425, Kansas City, Missouri Zoning and Development Code)				
	Required	Proposed	Alternative Requested	Approved
88-425-03 Street Trees	17	17		
88-425-04 General Landscape Trees	3	5		
88-425-05 Perimeter Vehicular Use Area Adjacent to Residential				
Buffer Width Minimum	10'	10'		
Trees	N/A	N/A		
Evergreen Shrubs	Form a continuous visual screen at least 4' in height after first growing season.	Form a continuous visual screen at least 4' in height after first growing season.		
88-425-06 Interior Vehicular Use Area				
Interior Area	1015	1015		
Trees	6	4		
Shrubs	29	29		
88-425-07 Parking Garage Screening	N/A			
88-425-08 Mechanical/Utility Equipment Screening	Evergreen shrubs to be used to screen utilities.			
88-425-09 Outdoor Use Screening	N/A			

PLANT SCHEDULE					
DECIDUOUS TREES	CODE	QTY	COMMON / BOTANICAL NAME	CONT	GAL
	AS2	4	SUGAR CONE SUGAR MAPLE / ACER SACCHARUM 'SUGAR CONE'	B & B	2" CAL
	OC	5	CRIMSON SPIRE™ OAK / QUERCUS ROBUR X ALBA 'CRIMSHMDT'	B & B	2" CAL
	UP	9	EMERALD SUNSHINE ELM / ULMUS PROPINQUA 'JFS-BIEBERCH'	B & B	2" CAL
	ZM	8	MUSASHINO SAWLEAF ZELKOVA / ZELKOVA SERRATA 'MUSASHINO'	B & B	2" CAL
SHRUBS	CODE	QTY	COMMON / BOTANICAL NAME	CONT	
	CP	87	PETIT BLEU BLUEBEARD / CARYOPTERIS X CLANDONENSIS 'MINBLEU' TM	2 GAL	
	JB	7	BLUE RUG JUNIPER / JUNIPERUS HORIZONTALIS 'BLUE RUG'	5 GAL	
	JO	26	GREY OWL EASTERN REDCEDAR / JUNIPERUS VIRGINIANA 'GREY OWL'	5 GAL	
	JS	33	SEA GREEN JUNIPER / JUNIPERUS X PFITZERIANA 'SEA GREEN'	5 GAL	
GRASSES & PERENNIALS	CODE	QTY	COMMON / BOTANICAL NAME	CONT	
	BC	102	SIDE OATS GRAMA / BOULTELLOIA CURTIPENDULA	1 GAL	
	EL	25	PURPLE CONEFLOWER / ECHINACEA PURPUREA 'MAGNUS'	1 GAL	
	LX	87	PHENOMENAL LAVENDER / LAVANDULA X INTERMEDIA 'PHENOMENAL'	1 GAL	
	SH	60	PRAIRIE DROPSPEED / SPOROBOLUS HETEROLEPIS	1 GAL	
GROUND COVERS	CODE	QTY	COMMON / BOTANICAL NAME	CONT	
	TF	19,632 SF	TALL FESCUE / TURF TYPE TALL FESCUE BLEND	SEED	

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Joseph Rexwinkle
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THE MABION
KANSAS CITY, MO

2732 FOREST AVENUE
KANSAS CITY, MISSOURI 64109

current submittal

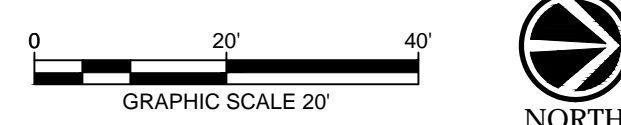
issued: _____

revisions

Date	No.

professional seal

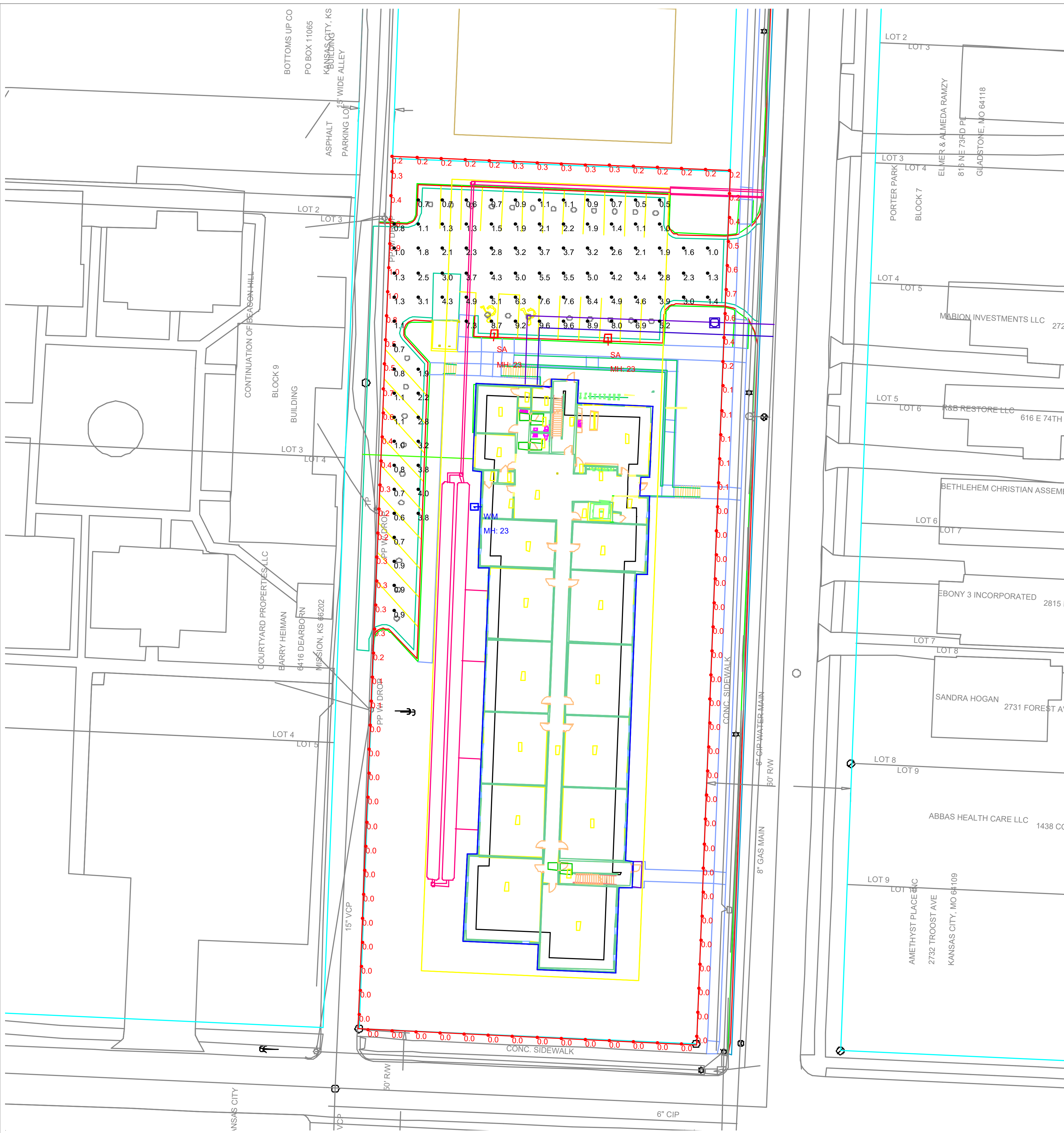
1 LANDSCAPE PLAN
SCALE = 1" = 1'-20"



LANDSCAPE PLAN
L100

IF THIS DRAWING IS PRINTED LESS THAN 24" X 36" IN SIZE, IT IS A REDUCED SIZE DRAWING. ADJUST SCALES ACCORDINGLY.

PLOTTED ON: Thursday, October 13, 2022 8:38:45 AM
FILE NAME: 22-088_L100_MABION_CURRENT.DWG
PLOT BY: ERICA FLAD
FILE PATH: p:\22-088\mabion - kansas city - m022-088 - cad\current\22-088_L100_mabion_current.dwg



Luminaire Schedule			
Symbol	Qty	Label	Arrangement
	2	SA	Single
	1	WM	Single

Calculation Summary	
Label	Parking Lot
SPILL LIGHT	



City Plan Commission
Approved Subject to Conditions

of Case No. **cd-cpc-2022-00165** On **11-1-2022**

Min
0.5
0.0

Joseph Rexwinkle
 Joseph Rexwinkle, AICP
 Secretary of the Commission

1. Parking Lot Calculation Points Set at 0'-0" AFF, 10'x10' spacing
2. Fixture Mounting Height: 23' AFF/ 20' Pole/ 3' Concrete Base

THE LIGHTING CALCULATIONS PROVIDED IN THIS REPORT APPROXIMATE THE LIGHT LEVELS EXPECTED WITHIN THE SPACE BASED ON AN OPEN ENVIRONMENT AND BASED ON INFORMATION PROVIDED TO MEGLIO AND ASSOCIATES. PLEASE VERIFY THE DATA LISTED TO ENSURE ACCURACY. ANY VARIANCE IN COLOR/COMPOSITION OF WALLS CCT, SPACING, AND ANY OTHER SUBSTANTIAL FACTORS OR CHANGES PROVIDED IN DRAWINGS WILL VOID THIS CALCULATION AND A NEW CALCULATION WILL NEED TO BE MADE. THIS LAYOUT IS MEANT TO SHOW FIXTURE QUANTITY AND PERFORMANCE.

PROJECT NAME:	22259-The Mabion Site KC, MO r2.AGI
PROJECT LOCATION:	Kansas City, MO
DATE:	10/12/2022
COMPANY:	MEGLIO & ASSOCIATES (SLA)



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CONTACT: MATT MCLAUGHLIN

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CONTACT: PATRICK JOYCE

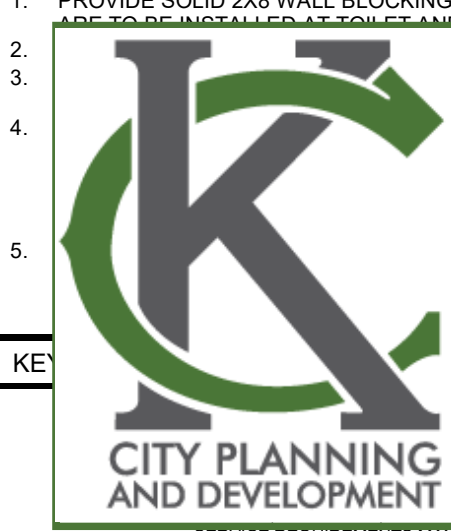
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MEP ENGINEERING
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SPRINGFIELD, MO 65803
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CONTACT: NAOMI FISHER

GENERAL NOTES

1. PROVIDE SOLID 2X8 WALL BLOCKING / REINFORCING AT TOILETS AND SHOWERS IN ALL UNITS PER SHEETS G-002 AND G-003. GRAB BARS TO BE INSTALLED AT TOILET AND SHOWER LOCATIONS IN ALL UNITS ONLY.
2. 1" AIR UNIT SHALL BE PROVIDED IN ALL UNITS.
3. PROVIDE INSULATION IN AREAS DESIGNATED FOR INSULATION.
4. PROVIDE 1" AIR UNIT IN ALL UNITS.
5. PROVIDE 1" AIR UNIT IN ALL UNITS.

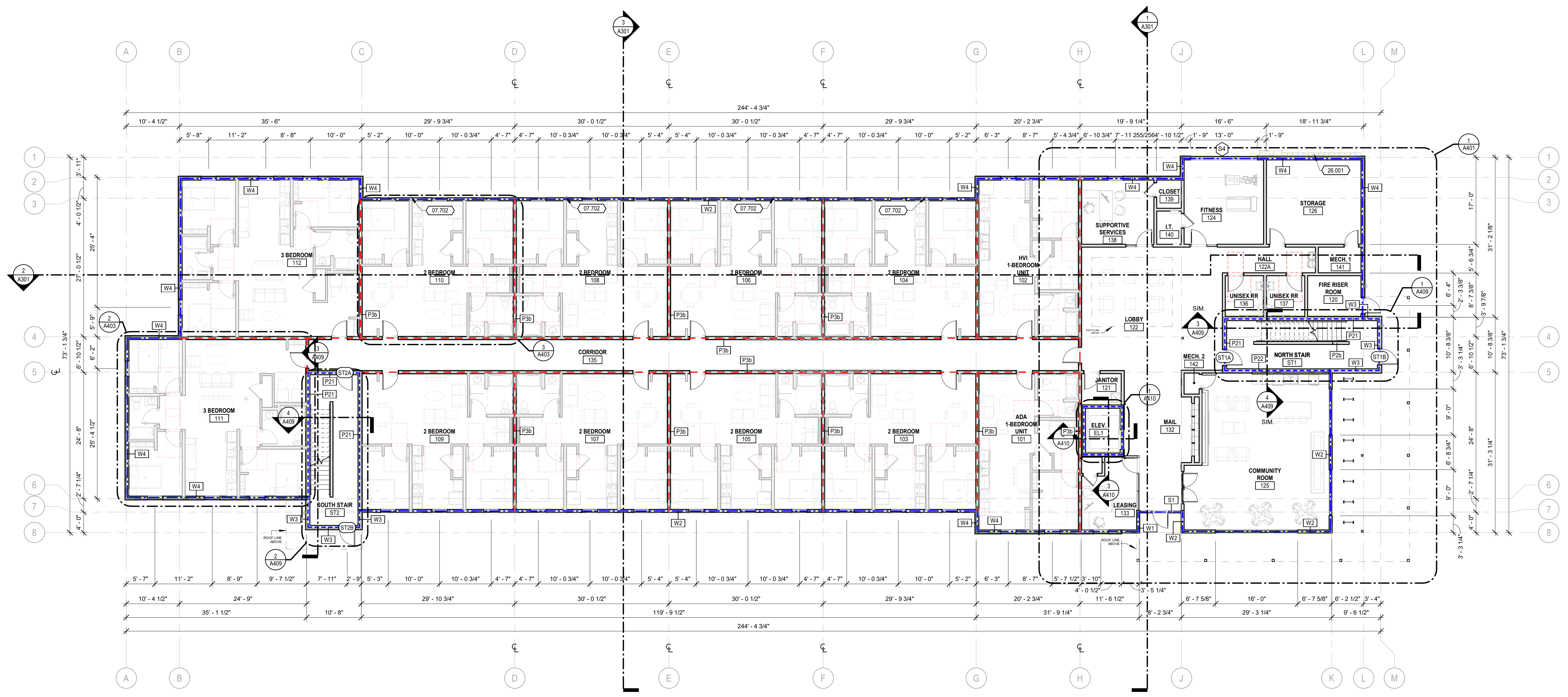


City Plan Commission
Approved Subject to Conditions
of Case No. CD-CPC-2022-00165 On 11-3-2022

Joseph Rexwinkle, AICP
Secretary of the Commission

FIRE RATING / EGRESS LEGEND

- EGRESS ROUTE
- ACCESSIBILITY ROUTE
- 1 HOUR FIRE RATED PARTITION: NOTE, ALL UNIT DEMISING WALLS ARE RATED TO 1 HOUR
- 1 HOUR FIRE RATED BARRIER
- 2 HOUR FIRE RATED WALL



5 1ST FLOOR PLAN
3/32" = 1'-0"

THE MABION - KC MO
FOREST AVE. AND E 28TH ST.
KANSAS CITY, MO, 64109

REV	DESCRIPTION	DATE

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OVERALL 1ST FLOOR

A101

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THE MABION - KCMO
FOREST AVE. AND E 28TH ST.
KANSAS CITY, MO, 64109

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OVERALL 2ND FLOOR

A102

GENERAL NOTES

1. PROVIDE LOWER LOCATIONS IN TYPE 'K' UNITS ONLY.
2. REFER TO THE ENERGY STAR CERTIFICATION FOR THE APARTMENT.
3. PROVIDE INSULATION IN AREAS DESIGNATED FOR INSPECTIONS.
4. PROVIDE INSULATION IN AREAS DESIGNATED FOR INSPECTIONS.
5. PROVIDE INSULATION IN AREAS DESIGNATED FOR INSPECTIONS.



City Plan Commission
Approved Subject to Conditions
Case No. CD-CPC-2022-00165, On 11-17-2022

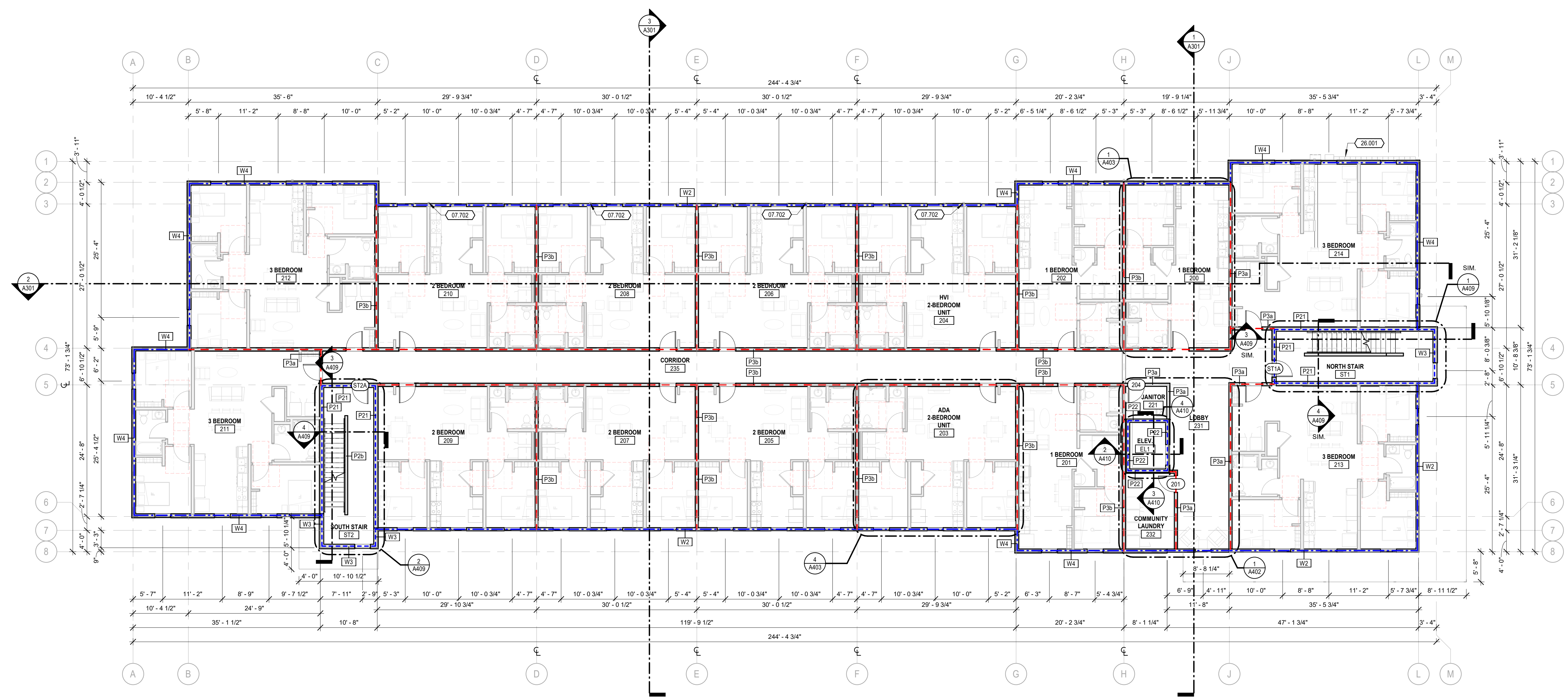
Joseph Rexwinkle, AICP
Secretary of the Commission

KEYNOTE

- 07.702 ALUMINUM DOWNSPOUTS. SEE ROOF PLAN FOR LOCATIONS AND SIZES. COLOR TO MATCH ADJACENT WALL SURFACE COLOR.
- 26.001 ELECTRIC METER BANK, DISCONNECT, AND PULL BOX. CONTRACTOR TO COORDINATE ELECTRIC SERVICE, LOCATIONS AND INSTALLATION. REFER TO ELECTRICAL DRAWINGS AND LOCAL ELECTRIC SERVICE REQUIREMENTS MANUAL FOR ADDITIONAL INFORMATION.

FIRE RATING / EGRESS LEGEND

- EGRESS ROUTE
- ACCESSIBILITY ROUTE
- 1 HOUR FIRE RATED PARTITION: NOTE, ALL UNIT DEMISING WALLS ARE RATED TO 1 HOUR
- 1 HOUR FIRE RATED BARRIER
- 2 HOUR FIRE RATED WALL



1 2ND FLOOR PLAN
3/32" = 1'-0"

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GENERAL NOTES

1. PROVIDE LOWER LOCATIONS IN TYPE 'K' UNITS ONLY.
2. REFER TO THE ENERGY STAR CERTIFICATION FOR THE APARTMENT TYPE.
3. PROVIDE INSULATION IN AREAS DESIGNATED FOR INSPECTIONS.
4. PROVIDE INSULATION IN AREAS DESIGNATED FOR INSPECTIONS.
5. PROVIDE INSULATION IN AREAS DESIGNATED FOR INSPECTIONS.



City Plan Commission
Approved Subject to Conditions
Case No. CD-CPC-2022-00165, On File # 1171-2022

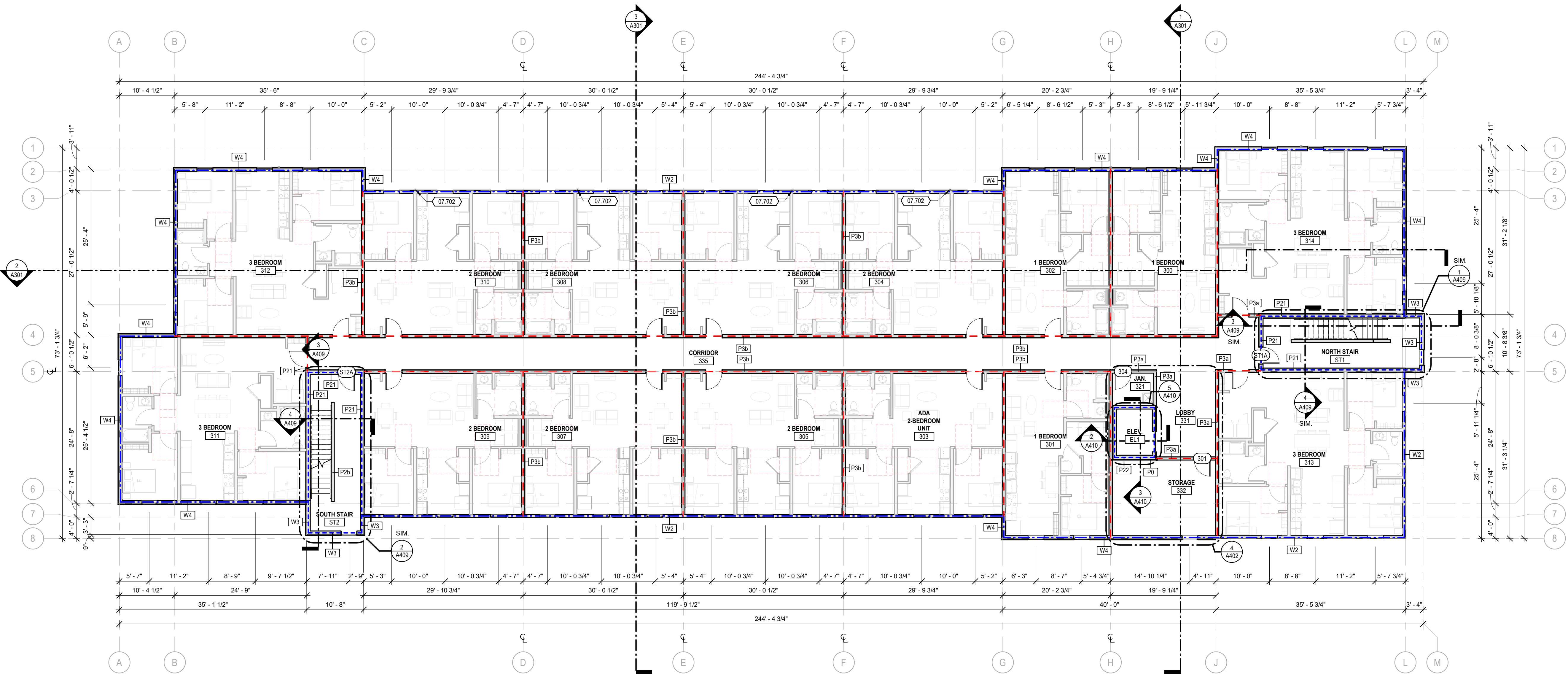
Joseph Rexwinkle, AICP
Secretary of the Commission

KEYNOTE

07.702 ALUMINUM DOWNSPOUTS. SEE ROOF PLAN FOR LOCATIONS AND SIZES. COLOR TO MATCH ADJACENT WALL SURFACE COLOR.

FIRE RATING / EGRESS LEGEND

- EGRESS ROUTE
- ACCESSIBILITY ROUTE
- 1 HOUR FIRE RATED PARTITION; NOTE, ALL UNIT DEMISING WALLS ARE RATED TO 1 HOUR
- 1 HOUR FIRE RATED BARRIER
- 2 HOUR FIRE RATED WALL



1 3RD FLOOR PLAN
3/32" = 1'-0"

THE MABION - KCMO
FOREST AVE. AND E 28TH ST.
KANSAS CITY, MO, 64109

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OVERALL 3RD FLOOR

A103

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GENERAL NOTES

1. PROVIDE LOWER LOCATIONS IN TYPE K UNITS ONLY.
2. REFER TO THE ENERGY STAR CERTIFICATION FOR THE APARTMENT.
3. PROVIDE 3/4" ALUMINUM DOWNSPOUTS. SEE ROOF PLAN FOR LOCATIONS AND SIZES. COLOR TO MATCH ADJACENT WALL SURFACE COLOR.
4. PROVIDE 30" WIDE BY 36" LONG ROOF ACCESS HATCH EQUAL TO TYPE S-20 ROOF HATCH BY THE BILCO COMPANY COMPLETE WITH BIL-GUARD FIXED HATCH RAILING SYSTEM AND LADDER UP SAFETY POST. TOP OF RAILING SYSTEM TO BE SET 42" MINIMUM ABOVE FINISHED ROOF SURFACE. CENTER ACCESS HATCH BETWEEN TRUSSES. CONTRACTOR TO COORDINATE ROOF TRUSS PLACEMENT AND CROSS SECTIONS RELATED.
5. MULTIPLE CONFIDENTIAL ELEVATIONS.

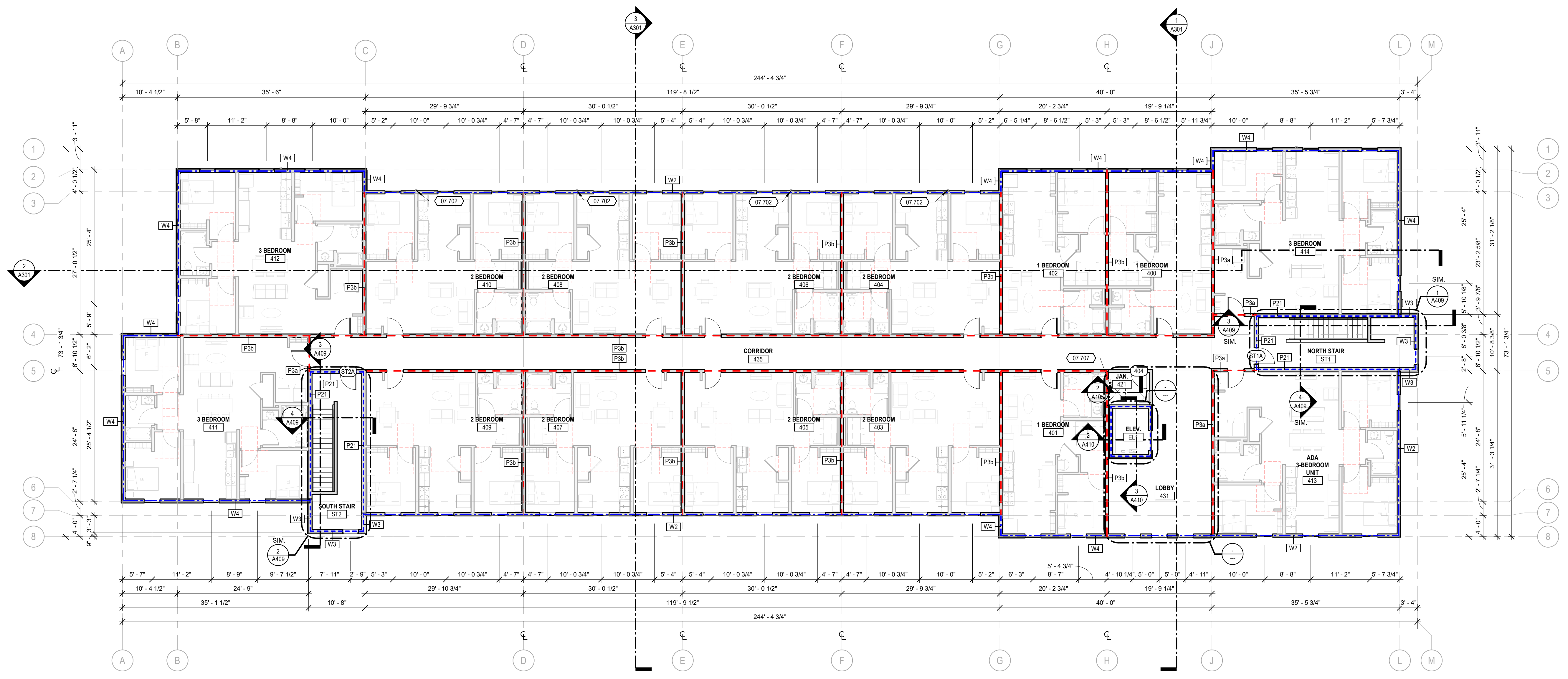
City Plan Commission
Approved Subject to Conditions
OF CASE NO. CD-CPC-2022-00165, ON 11/17/2022



Joseph Rexwinkle, AICP
Secretary of the Commission

KEYNOTE

- 07.702 ALUMINUM DOWNSPOUTS. SEE ROOF PLAN FOR LOCATIONS AND SIZES. COLOR TO MATCH ADJACENT WALL SURFACE COLOR.
 - 07.707 30" WIDE BY 36" LONG ROOF ACCESS HATCH EQUAL TO TYPE S-20 ROOF HATCH BY THE BILCO COMPANY COMPLETE WITH BIL-GUARD FIXED HATCH RAILING SYSTEM AND LADDER UP SAFETY POST. TOP OF RAILING SYSTEM TO BE SET 42" MINIMUM ABOVE FINISHED ROOF SURFACE. CENTER ACCESS HATCH BETWEEN TRUSSES. CONTRACTOR TO COORDINATE ROOF TRUSS PLACEMENT AND CROSS SECTIONS RELATED.
- FIRE RATING / ACCESSIBILITY**
- EGRESS ROUTE
 - - - - - ACCESSIBILITY ROUTE
 - - - - - 1 HOUR FIRE RATED PARTITION. NOTE, ALL UNIT DEMISING WALLS ARE RATED TO 1 HOUR
 - - - - - 1 HOUR FIRE RATED BARRIER
 - - - - - 2 HOUR FIRE RATED WALL



1 4TH FLOOR PLAN
3/32" = 1'-0"

THE MABION - KCMO
FOREST AVE. AND E 28TH ST.
KANSAS CITY, MO, 64109

REVISION	DESCRIPTION	DATE

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OVERALL 4TH FLOOR

A104

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THE MABION - KCMO
 FOREST AVE. AND E 28TH ST.
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OVERALL ROOF PLAN

A105

GENERAL NOTES

- PROVIDE LOWER LOCATIONS IN TYPE 'K' UNITS ONLY.
- REFER TO THE ENERGY STAR CERTIFICATION REPORT FOR THE APARTMENT FOR THE ENERGY STAR REQUIREMENTS.
- ALLOW FOR INSULATION IN AREAS DESIGNATED FOR INSPECTIONS.
- THE DESIGNER SHALL BE RESPONSIBLE FOR VERIFYING THE ENERGY STAR REQUIREMENTS FOR THE APARTMENT.
- MULTI-FAMILY CONSTRUCTION SHALL BE AS PER THE ENERGY STAR REQUIREMENTS.

KEYNOTE

CITY PLANNING AND DEVELOPMENT

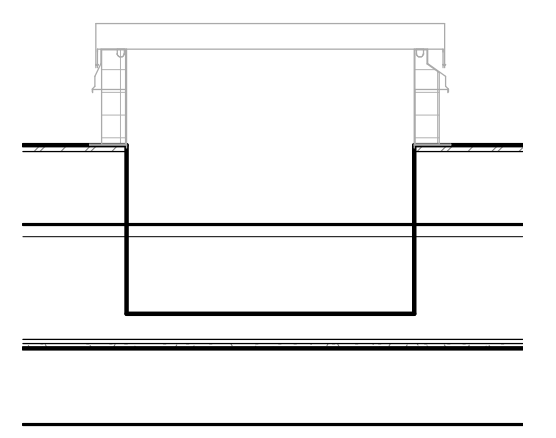
City Plan Commission
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 Case No. CD-CRC-2022-00165, On 11/17/2022

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 Secretary of the Commission

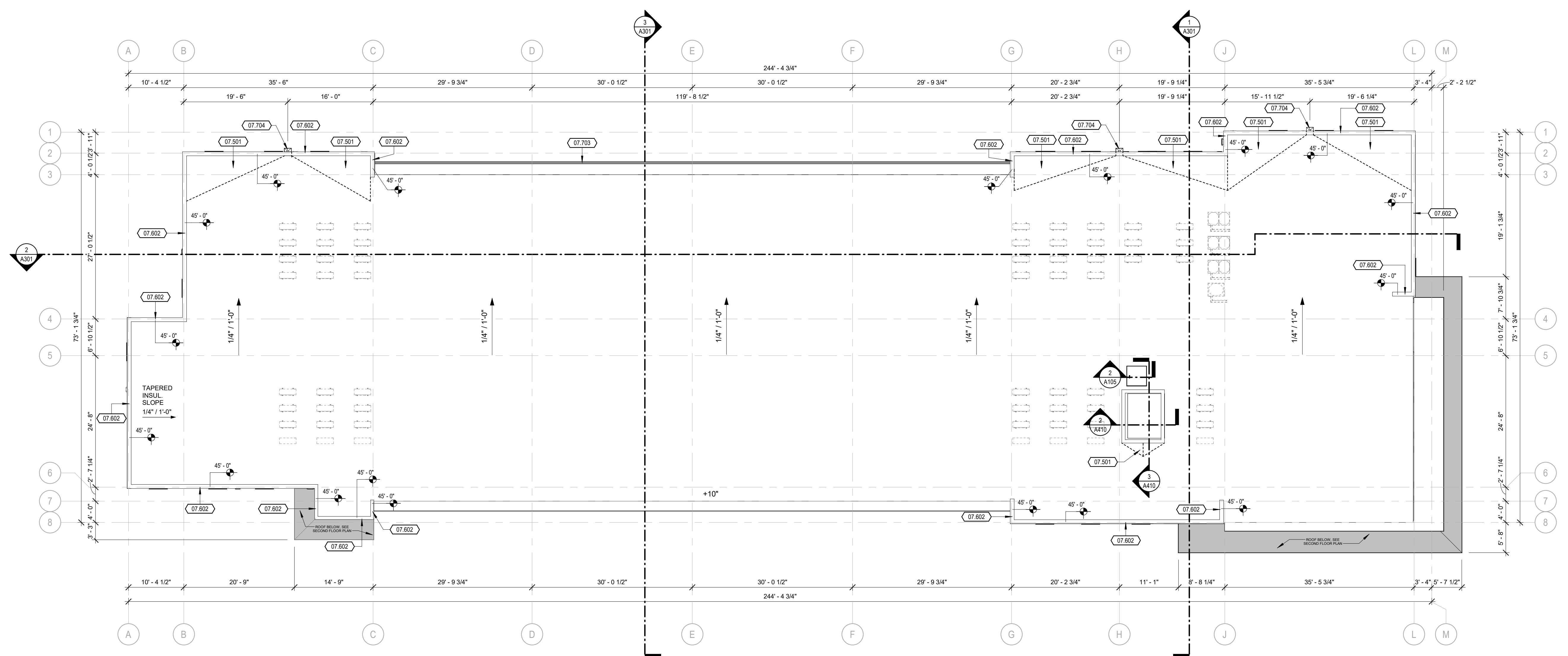
- 07.501 ROOF CRICKET, SLOPE 1/4" MINIMUM. REFER TO ROOF PLAN FOR CRICKET LOCATIONS.
 07.602 PREFINISHED METAL COPING CAP FASTENED OVER CLEAT ON EXTERIOR SIDE AND NAILED PER MANUFACTURER ON INTERIOR SIDE.
 07.703 INSTALL 4" PRE-FINISHED METAL GUTTER WITH BOX STYLE PROFILE. CONNECT GUTTER TO WALL DOWNSPOUT AT BUILDING. GUTTER AND DOWNSPOUT FINISH TO MATCH FACE.
 07.704 PREFINISHED METAL THROUGH WALL SCUPPER CONNECTED TO PREFINISHED METAL CONDUCTOR HEAD AND DOWNSPOUT.

FIRE RATING / EGRESS LEGEND

- EGRESS ROUTE
- ACCESSIBILITY ROUTE
- 1 HOUR FIRE RATED PARTITION; NOTE, ALL UNIT DEMISING WALLS ARE RATED TO 1 HOUR
- 1 HOUR FIRE RATED BARRIER
- 2 HOUR FIRE RATED WALL



2 ROOF ACCESS LADDER / HATCH SECTION
 1/2" = 1'-0"



1 ROOF PLAN
 3/32" = 1'-0"

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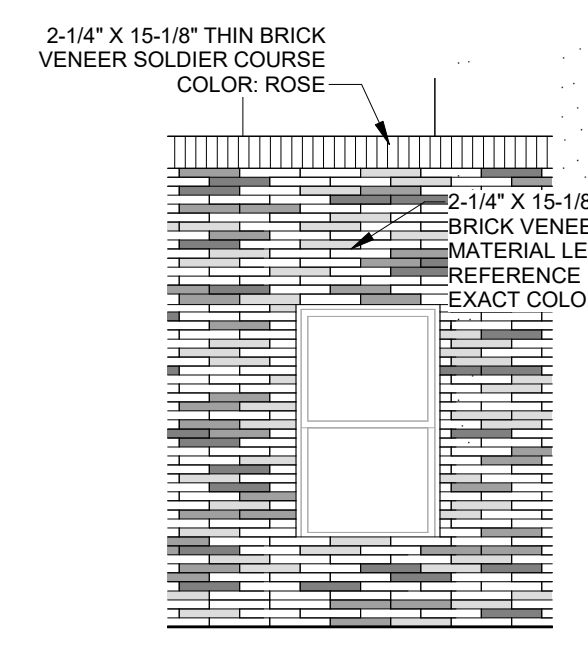
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GENERAL NOTES

- 1. PROVIDE SOLID 2X8 WALL BLOCKING / REINFORCING AT TOILETS AND SHOWERS IN ALL UNITS PER SHEETS G-002 AND G-003. GRAB BARS PER TOILET AND SHOWER SCHEDULE AND PLUMBING SCHEDULES. ALL UNITS ONLY.
- 2. FINISH FLOORING TO BE DETERMINED BY THE OWNER. FINISH FLOORING TO BE INSTALLED OVER CONCRETE SLAB.
- 3. FINISH WALLS TO BE DETERMINED BY THE OWNER. FINISH WALLS TO BE INSTALLED OVER CONCRETE WALLS.
- 4. FINISH CEILING TO BE DETERMINED BY THE OWNER. FINISH CEILING TO BE INSTALLED OVER CONCRETE CEILING.
- 5. FINISH EXTERIOR WALLS TO BE DETERMINED BY THE OWNER. FINISH EXTERIOR WALLS TO BE INSTALLED OVER CONCRETE WALLS.

City Plan Commission
Approved Subject to Conditions
of Case No. CD-CPC-2022-00165 On 11-15-2022

Joseph Rexwinkle, AtCP
Secretary of the Commission

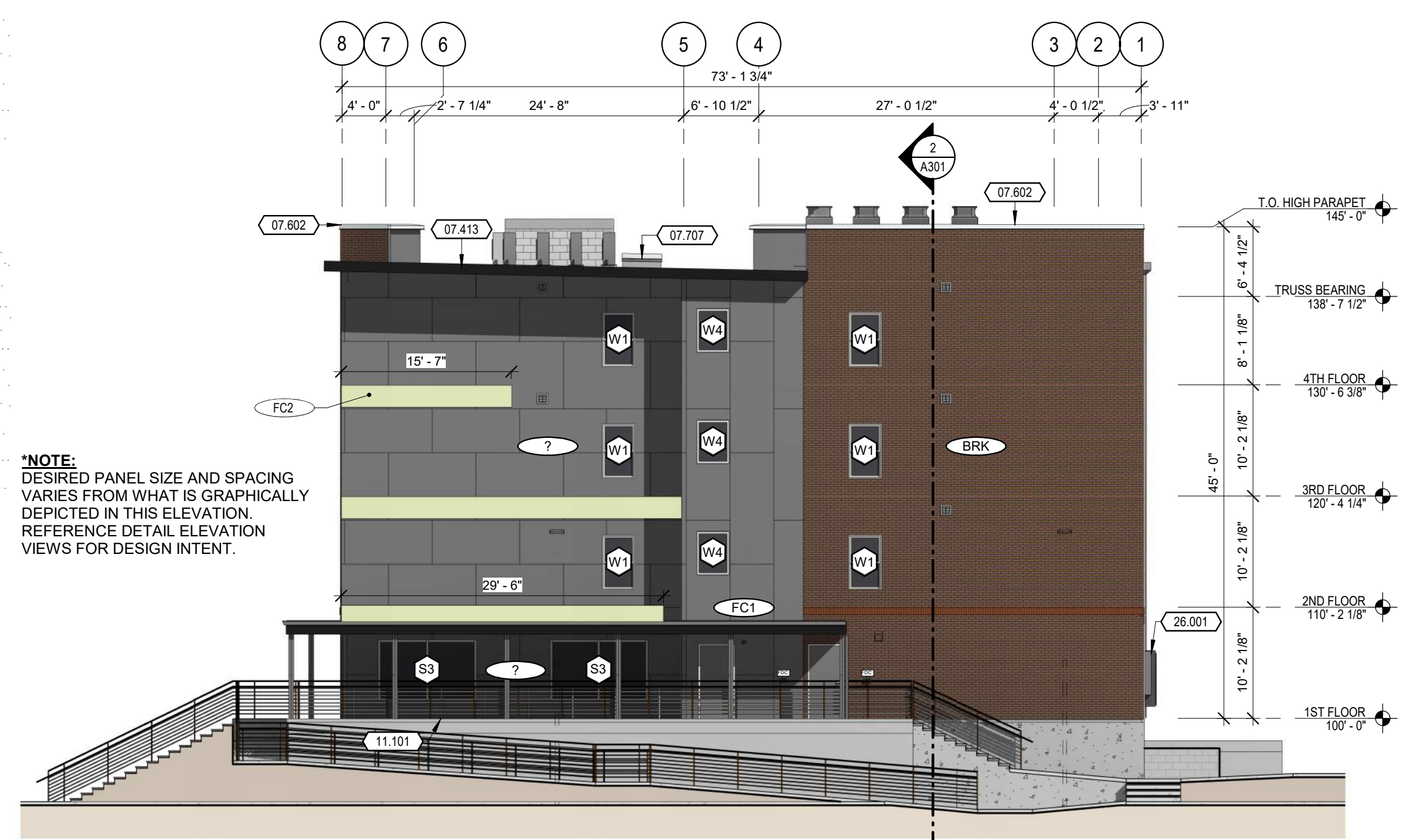


5 ENLARGED BRICK DETAIL
1/4" = 1'-0"

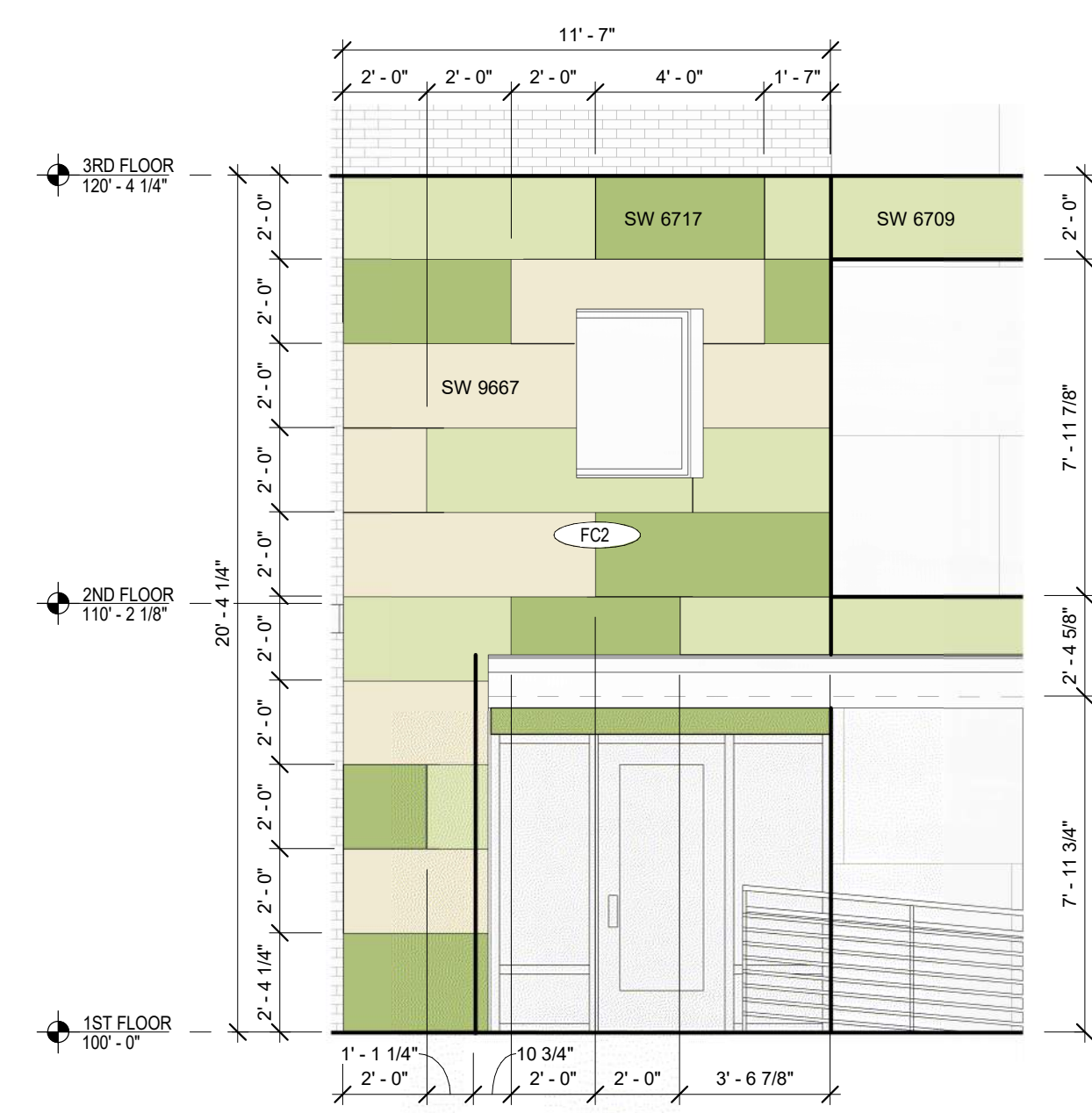
MATERIAL LEGEND

- FIBER CEMENT PANEL - VERTICAL**
MFR: ALLURA FIBER CEMENT PANEL OR APPROVED EQUAL
COLOR: KNIGHTS ARMOR
- FIBER CEMENT PANEL**
MFR: ALLURA FIBER CEMENT PANEL OR APPROVED EQUAL
COLORS: SW 9667, SW 6709, & SW 6717
- FIBER CEMENT PANEL - HORIZONTAL**
MFR: ALLURA FIBER CEMENT PANEL OR APPROVED EQUAL
COLOR: KNIGHTS ARMOR
- THIN BRICK VENEER - RUNNING BOND**
MFR: ENDICOTT BRICK - MERIDIAN, OR APPROVED EQUAL
COLOR: BLEND - BURGUNDY, RED, ROSE, RUBY
SIZE: 2-1/4" X 15-1/8"
- COLORED PARGE COAT OVER CAST IN PLACE CONCRETE**

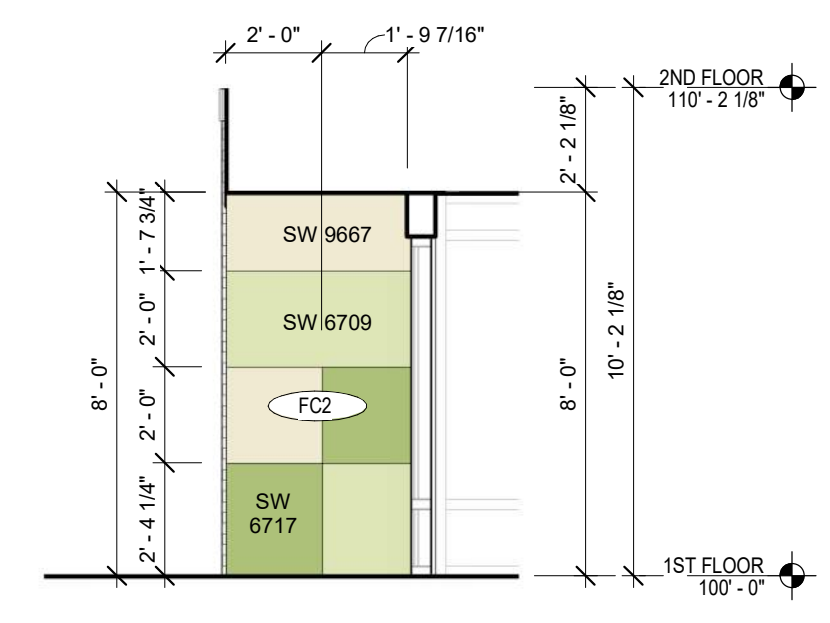
EXAMPLE IMAGE OF THIN BRICK VENEER BLEND:



1 NORTH ELEVATION
3/32" = 1'-0"

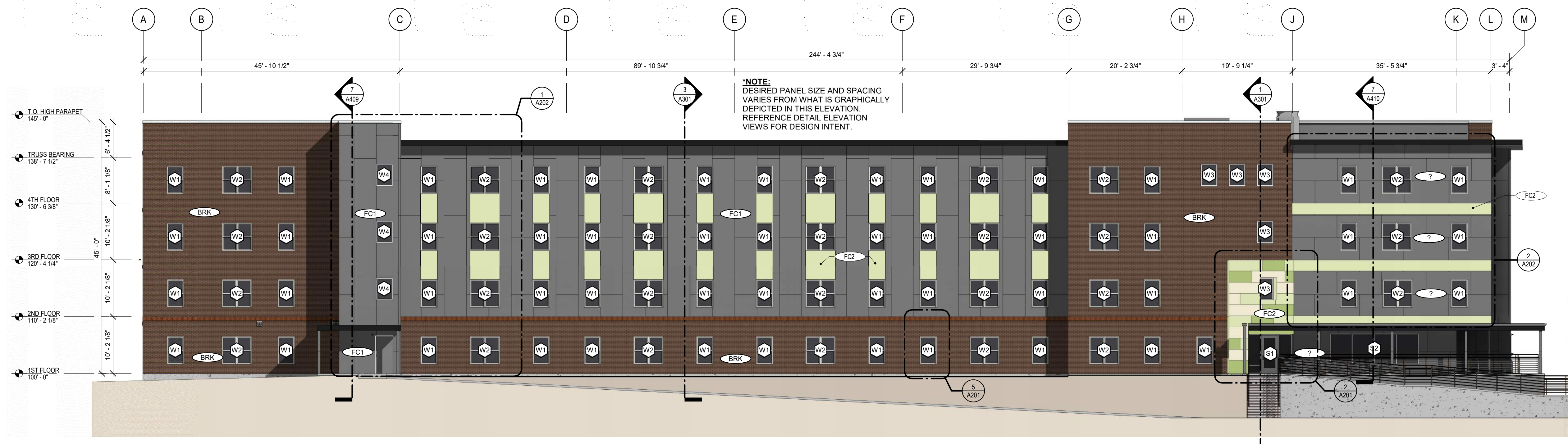


2 ENLARGED MAIN ENTRY - EAST
1/4" = 1'-0"



3 ENLARGED MAIN ENTRY - NORTH
1/4" = 1'-0"

NOTE: DESIRED PANEL SIZE AND SPACING VARIES FROM WHAT IS GRAPHICALLY DEPICTED IN THIS ELEVATION. REFERENCE DETAIL ELEVATION VIEWS FOR DESIGN INTENT.



4 EAST ELEVATION
3/32" = 1'-0"

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PROJECT NUMBER: 21190
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BUILDING ELEVATIONS
A201

THE MABION - KCMO
2732 FOREST AVE.
KANSAS CITY, MO 64109

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THE MABION - KCMO
2732 FOREST AVE.
KANSAS CITY, MO 64109

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PROJECT NUMBER: 21190
DRAWN BY: CM
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BUILDING ELEVATIONS
A202

GENERAL NOTES

1. PROVIDE WINDOW AND DOOR SIZES PER SHEET 100 AND 101. GRAB BARS TO BE PROVIDED AT ALL DOOR AND WINDOW THRESHOLDS.
2. ALLOW FOR 1/2" CLEARANCE AT ALL DOOR AND WINDOW THRESHOLDS.
3. ALLOW FOR 1/2" CLEARANCE AT ALL DOOR AND WINDOW THRESHOLDS.
4. THE DESIGNER SHALL VERIFY THE AIR LEAKAGE RATE OF LESS THAN 0.3 CFM PER SQUARE FOOT OF WINDOW AREA AS SHOWN ON SHEET 100 AND 101.
5. THE DESIGNER SHALL VERIFY THE AIR LEAKAGE RATE OF LESS THAN 0.3 CFM PER SQUARE FOOT OF WINDOW AREA AS SHOWN ON SHEET 100 AND 101.
6. THE DESIGNER SHALL VERIFY THE AIR LEAKAGE RATE OF LESS THAN 0.3 CFM PER SQUARE FOOT OF WINDOW AREA AS SHOWN ON SHEET 100 AND 101.
7. THE DESIGNER SHALL VERIFY THE AIR LEAKAGE RATE OF LESS THAN 0.3 CFM PER SQUARE FOOT OF WINDOW AREA AS SHOWN ON SHEET 100 AND 101.
8. THE DESIGNER SHALL VERIFY THE AIR LEAKAGE RATE OF LESS THAN 0.3 CFM PER SQUARE FOOT OF WINDOW AREA AS SHOWN ON SHEET 100 AND 101.
9. THE DESIGNER SHALL VERIFY THE AIR LEAKAGE RATE OF LESS THAN 0.3 CFM PER SQUARE FOOT OF WINDOW AREA AS SHOWN ON SHEET 100 AND 101.
10. THE DESIGNER SHALL VERIFY THE AIR LEAKAGE RATE OF LESS THAN 0.3 CFM PER SQUARE FOOT OF WINDOW AREA AS SHOWN ON SHEET 100 AND 101.

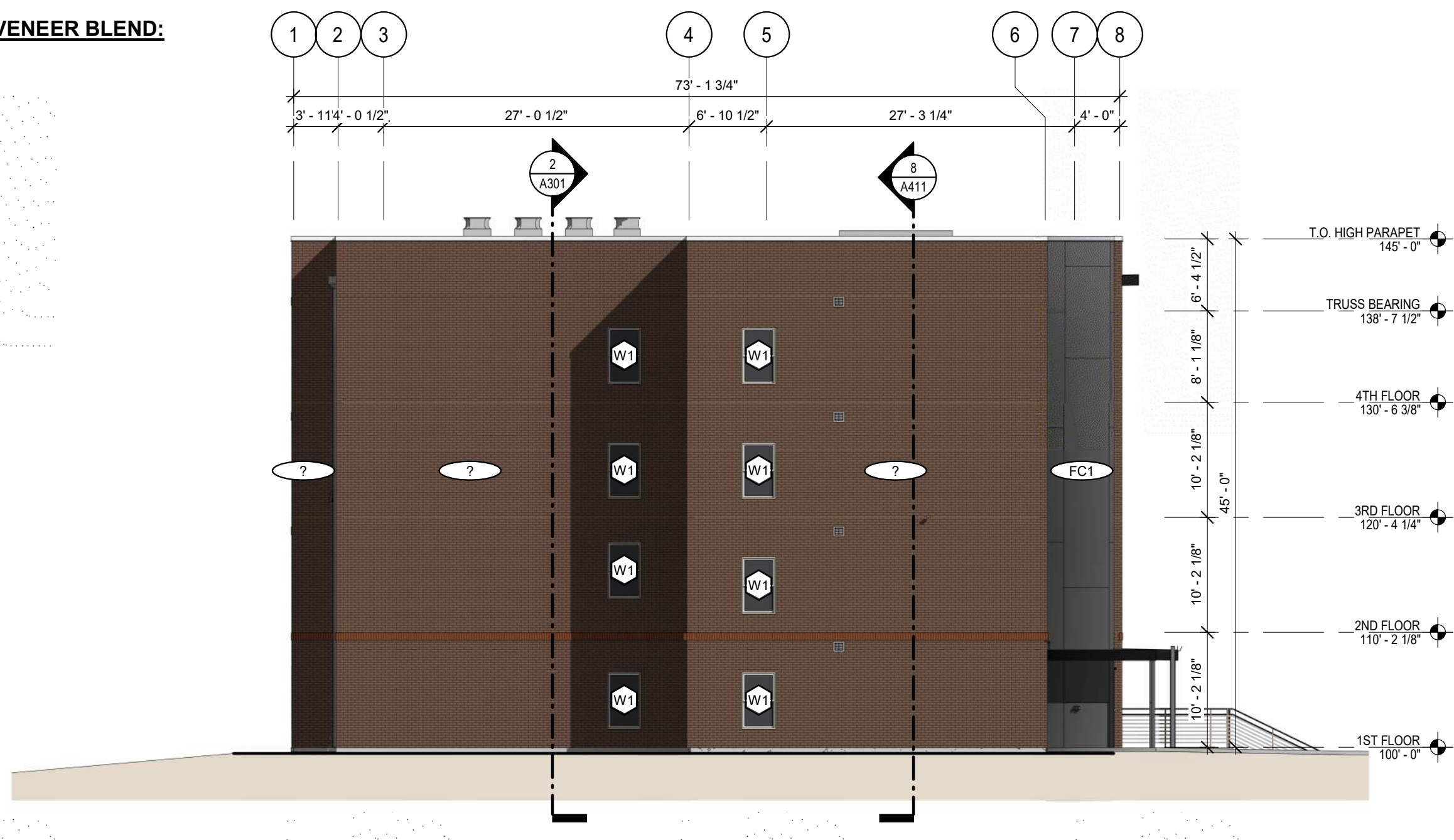
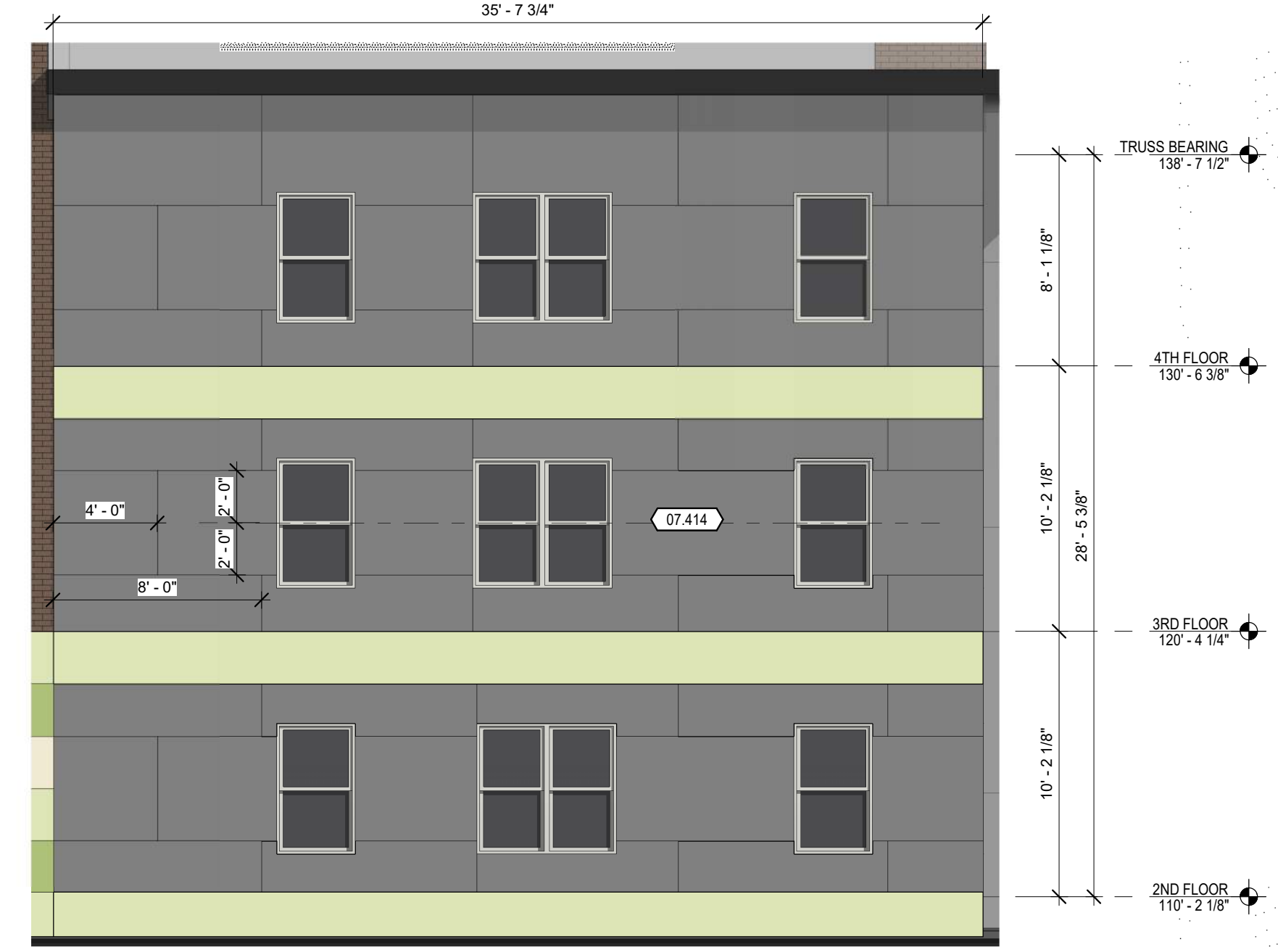
City Planning Commission
Approved Subject to Conditions
of Case No. CD-CPC-2022-00165, On 11/17/2022

Joseph Rexwinkle, AtCP
Secretary of the Commission

MATERIAL LEGEND

- FC1 FIBER CEMENT PANEL - VERTICAL**
MFR: ALLURA FIBER CEMENT PANEL OR APPROVED EQUAL
COLOR: KNIGHTS ARMOR
- FC2 FIBER CEMENT PANEL**
MFR: ALLURA FIBER CEMENT PANEL OR APPROVED EQUAL
COLORS: SW 9667, SW 6709, & SW 6717
- FC3 FIBER CEMENT PANEL - HORIZONTAL**
MFR: ALLURA FIBER CEMENT PANEL OR APPROVED EQUAL
COLOR: KNIGHTS ARMOR
- BRK THIN BRICK VENEER - RUNNING BOND**
MFR: ENDICOTT BRICK - MERIDIAN, OR APPROVED EQUAL
COLOR: BLEND - BURGUNDY, RED, ROSE, RUBY
SIZE: 2-1/4" X 15-1/8"
- CP COLORED PARGE COAT OVER CAST IN PLACE CONCRETE**

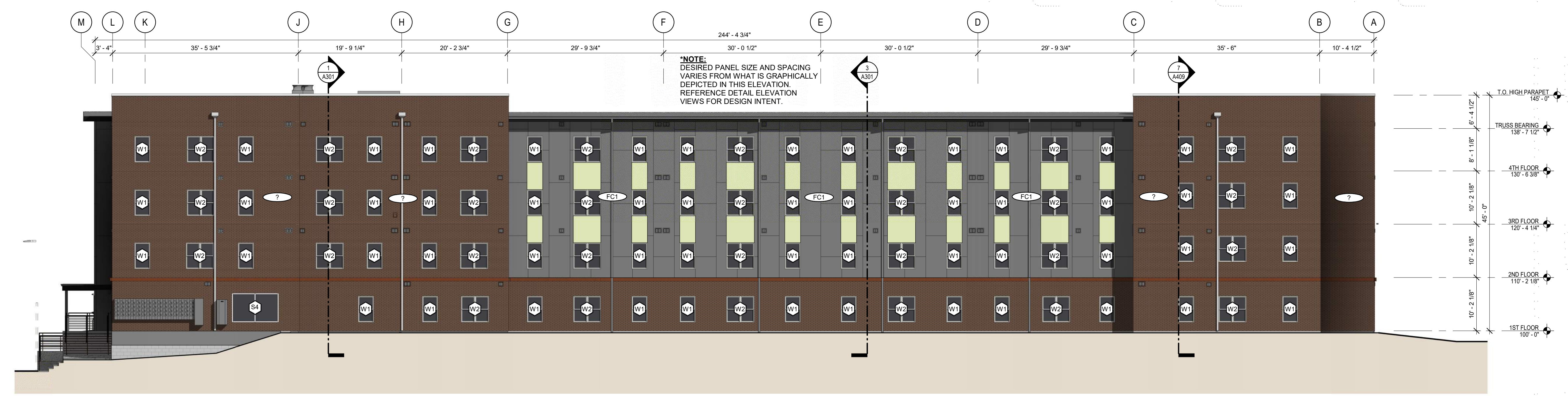
EXAMPLE IMAGE OF THIN BRICK VENEER BLEND:



1 EAST ELEVATION - ENLARGED TYPICAL FIBER CEMENT LAYOUT
3/16" = 1'-0"

2 EAST ELEVATION - ENLARGED FIBER CEMENT LAYOUT MAIN ENTRY
3/16" = 1'-0"

3 SOUTH ELEVATION
3/32" = 1'-0"



4 WEST ELEVATION
3/32" = 1'-0"

THE MABION EXTERIOR SIGNAGE

MAIN ENTRY SIGN

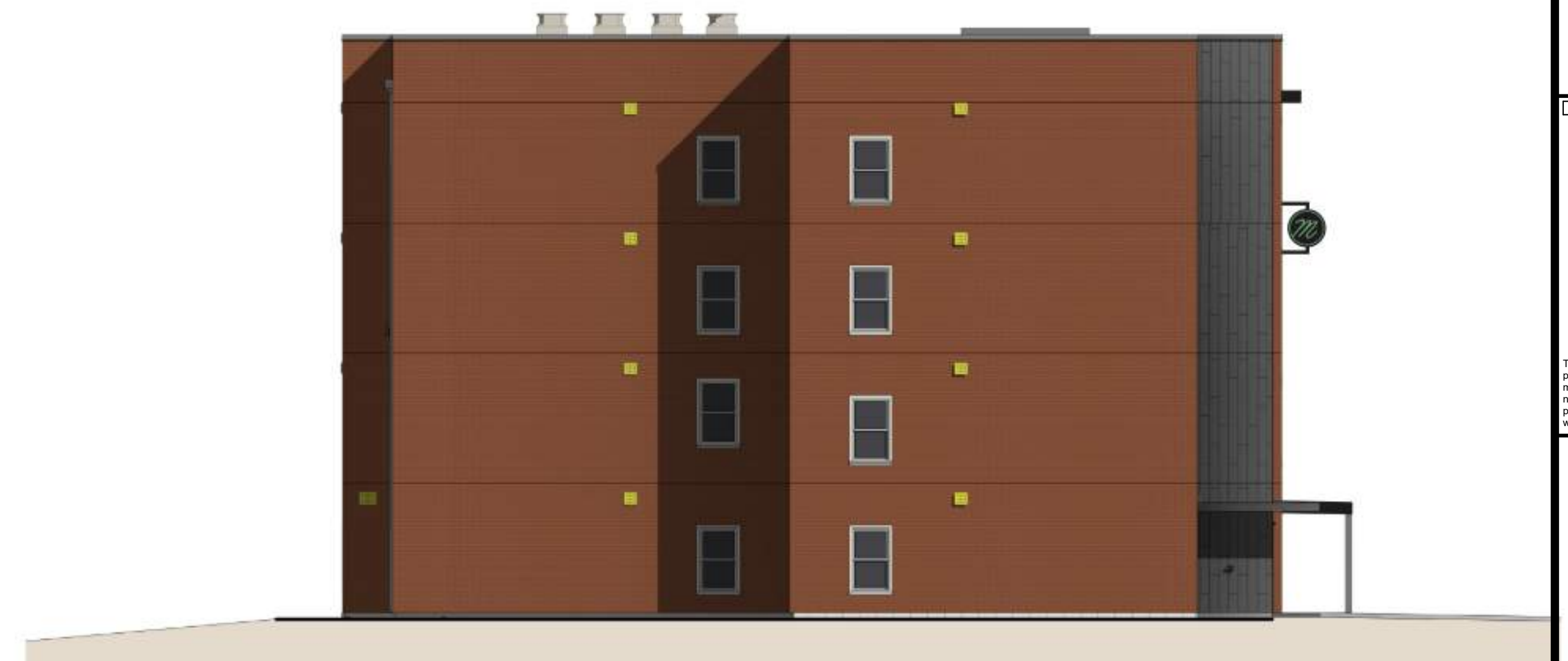
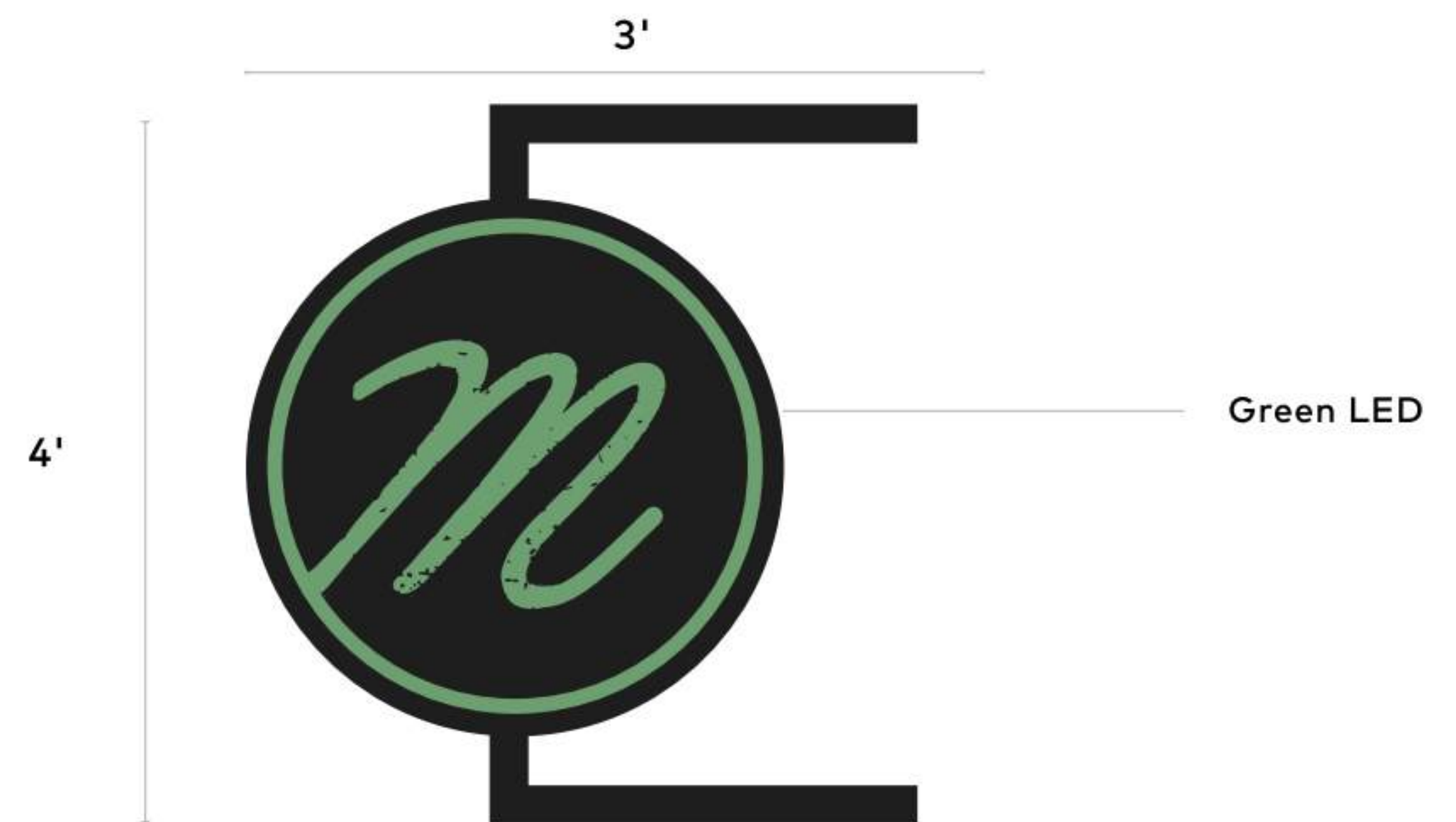


EAST ELEVATION



EXECUTION EXAMPLE

PROJECTION SIGN



SOUTH ELEVATION

City Plan Commission
Approved Subject to Conditions
of Case No. **CD-CPC-2022-00165** On **11-1-2022**

Joseph Rexwinkle
Joseph Rexwinkle, AICP
Secretary of the Commission

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REV	DESCRIPTION	DATE

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DATE: 10/07/22
PROJECT NUMBER: 21190
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EXTERIOR BUILDING SIGNAGE
G011



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