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disclaimer:

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project description:

A new single story office/warehouse building.

vicinity map:



code review:

governing municipality: Kansas City, Missouri
governing code: 2018 International Building Code
2018 International Fire Code
2018 NFPA 101 Life Safety
2018 International Mechanical Code
2018 Uniform Plumbing Code
2017 National Electric Code
2018 International Fuel & Gas Code
2012 International Energy Conservation Code

zoning: KCIA
site area: 331,219 s.f. (7.604 acres +/-)
impervious area: 151,802 s.f. (46%)
green space: 179,417 s.f. (54%)

building area: 54,080 s.f.
floor area ratio: 0.163
of employees: 140

construction type: IIB
stories: one
height: 44'-0" +/- to of parapet
clear height: 32'
fire suppression: yes (NFPA 13)

parking spaces: 83 spaces
future parking: 43 spaces
dock positions: up to 23
drive-in doors: 2

short term bike: 10% of parking spaces @ 83 = 8 required
long term bike: 1 per 20 employees @ 140 = 7 required
(interior closet proposed)

sheet index:

A0.0 cover sheet

CIVIL
C1.1 civil site plan
C1.2 utility plan
C2.1 grading plan

LANDSCAPE
L1.1 landscape plan
L1.2 tree preservation and protection plan

ARCHITECTURAL
A1.1 site plan
A2.1 overall floor plan
A3.1 exterior elevations
A3.2 color elevations

PHOTOMETRIC
PAGE1 site lighting photometrics

client:

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a new development for
Project Maartin
10220 N Everton Avenue
Kansas City, Missouri 64153

Construction Legend

- concrete pavement
- standard asphalt
- heavy duty asphalt
- concrete sidewalk
- standard curb & gutter
- standard dry curb & gutter
- temporary asphalt curb retaining wall
- detention basin

Property Legend

- right of way
- property lines
- easements
- setbacks

Grading Legend

- existing minor contour
- existing major contour
- proposed minor contour
- proposed major contour

Utility Legend

- existing
- proposed

Linetypes

- sanitary main
- sanitary service
- storm sewer (existing)
- storm sewer (solid wall, proposed)
- storm sewer (solid wall, proposed)
- storm sewer (perforated, proposed)
- water main
- water service (fire)
- water service (domestic)
- water service (irrigation)
- natural gas main
- natural gas service schematic
- underground primary electric
- underground secondary electric
- overhead electric
- underground cable/phone/data
- underground cable/phone/data service
- fence-chainlink
- fence-wood
- fence-barbed wire
- treetline

Symbols

- sanitary manhole
- service cleanout
- force main release valve
- rectangular structure
- circular structure
- fire hydrant
- water valve
- water meter
- backflow preventer
- natural gas meter
- service transformer (pad mount)
- primary switch gear
- light pole
- cable/phone/data junction box
- street light
- pedestrian street light
- electric pole
- guy wire
- end section

Local Benchmarks: BM-#

BM-1: (Square cut on curb inlet)
Elevation: 1007.06'
N: 1133587.344
E: 2738394.742

Floodplain Note:

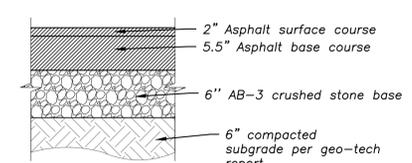
According to "Flood Insurance Rate Map" community Panel No. 29095C0043G, map revised January 20, 2017, as published by the Federal Emergency Management Agency, this property lies with flood zone "X" (areas of minimal flooding).

Site Plan Notes:

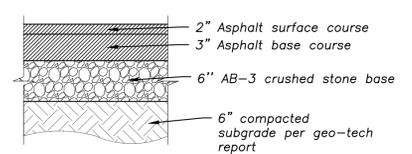
1. Construct type 'CG-1 dry' curb & gutter where indicated (see legend).
2. Construct type 'CG-1 wet' curb & gutter where indicated (see legend).
3. Construct concrete sidewalk per KCMO standard details.
4. Construct concrete commercial entrance per KCMO standard details.
5. Standard asphalt pavement.
6. Heavy duty asphalt pavement.
7. Standard concrete pavement.
8. Heavy duty concrete pavement.
9. Proposed ADA ramp.
10. Proposed modular block retaining wall, design by others.
11. Proposed dry detention basin.
12. 103rd St. ROW to be vacated by separate application.
13. Proposed bike rack. Re: A1.1.
14. Proposed fence. Re: A1.1.
15. Proposed trash enclosure. Re: A1.1.

Pavement Sections*

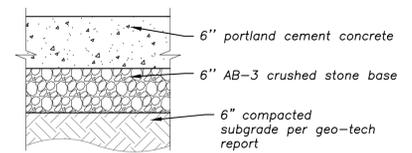
*All Pavement Recommendations taken from "Geotechnical Engineering Report" by Rone Engineering, dated May 10, 2024.



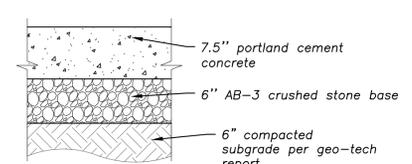
Heavy Duty (Entries & Drives) Asphalt Pavement



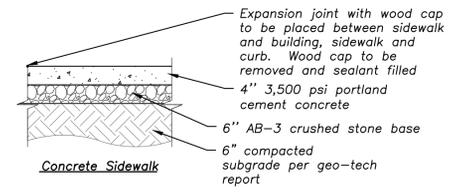
Standard Duty (Parking Stalls) Asphalt Pavement



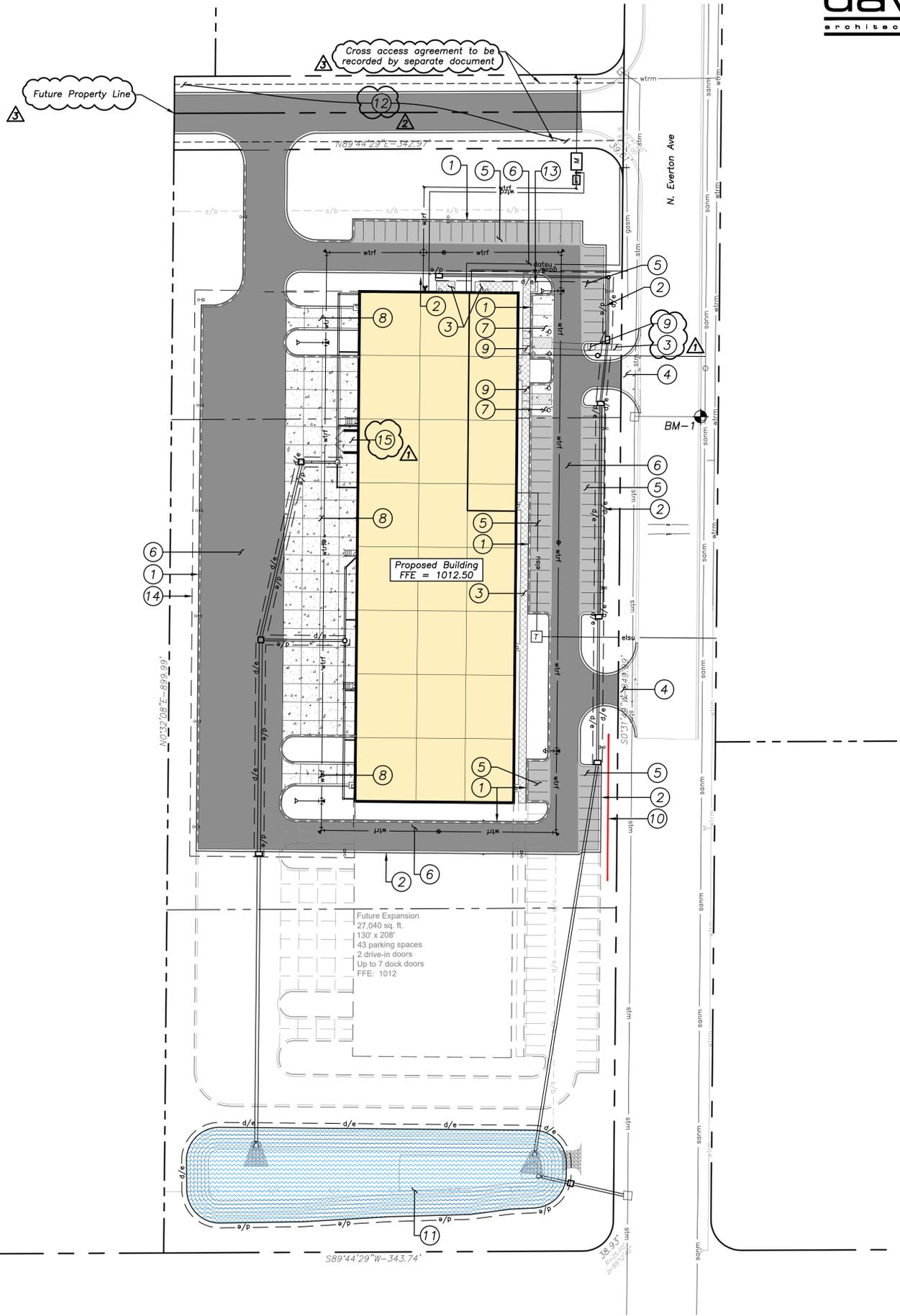
Standard Duty (ADA Parking Stalls) Concrete Pavement



Heavy Duty (Loading Dock Area) Concrete Pavement

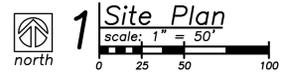


Concrete Sidewalk



City Plan Commission
Recommends Approval with Conditions
of Case No CD-CPC-2024-00107 on 11/20/2024

Sara Gabriel
Sara Gabriel, FAICP
Secretary of the City Plan Commission



a new development for
Project Maartin
10220 N Everton Avenue
Kansas City, Missouri 64153

date: 07.26.2024
drawn by: DJL
checked by: DAE
revisions:

09.16.2024	1
09.25.2024	2
11.07.2024	3

sheet number
C1.1
drawing type: permit
project number: 23239

Construction Legend

- retaining wall
- detention basin

Property Legend

- right of way
- property lines
- u/e easements
- s/b setbacks

Utility Legend

- existing sanitary main
- existing water main
- existing storm sewer
- existing gas main
- existing underground electric
- existing overhead electric
- existing underground data
- proposed sanitary main
- proposed sanitary service
- proposed water main
- proposed fire line
- proposed water service
- proposed storm sewer
- proposed gas main
- proposed gas service
- proposed underground primary electric
- proposed underground secondary electric
- proposed overhead electric
- proposed underground data

Symbols

- sanitary manhole
- service cleanout
- force main release valve
- rectangular structure
- circular structure
- fire hydrant
- water valve
- water meter
- backflow preventer
- natural gas meter
- service transformer (pad mount)
- primary switch gear
- light pole
- cable/phone/data junction box
- street light
- pedestrian street light
- electric pole
- guy wire
- end section

Local Benchmarks: BM-#

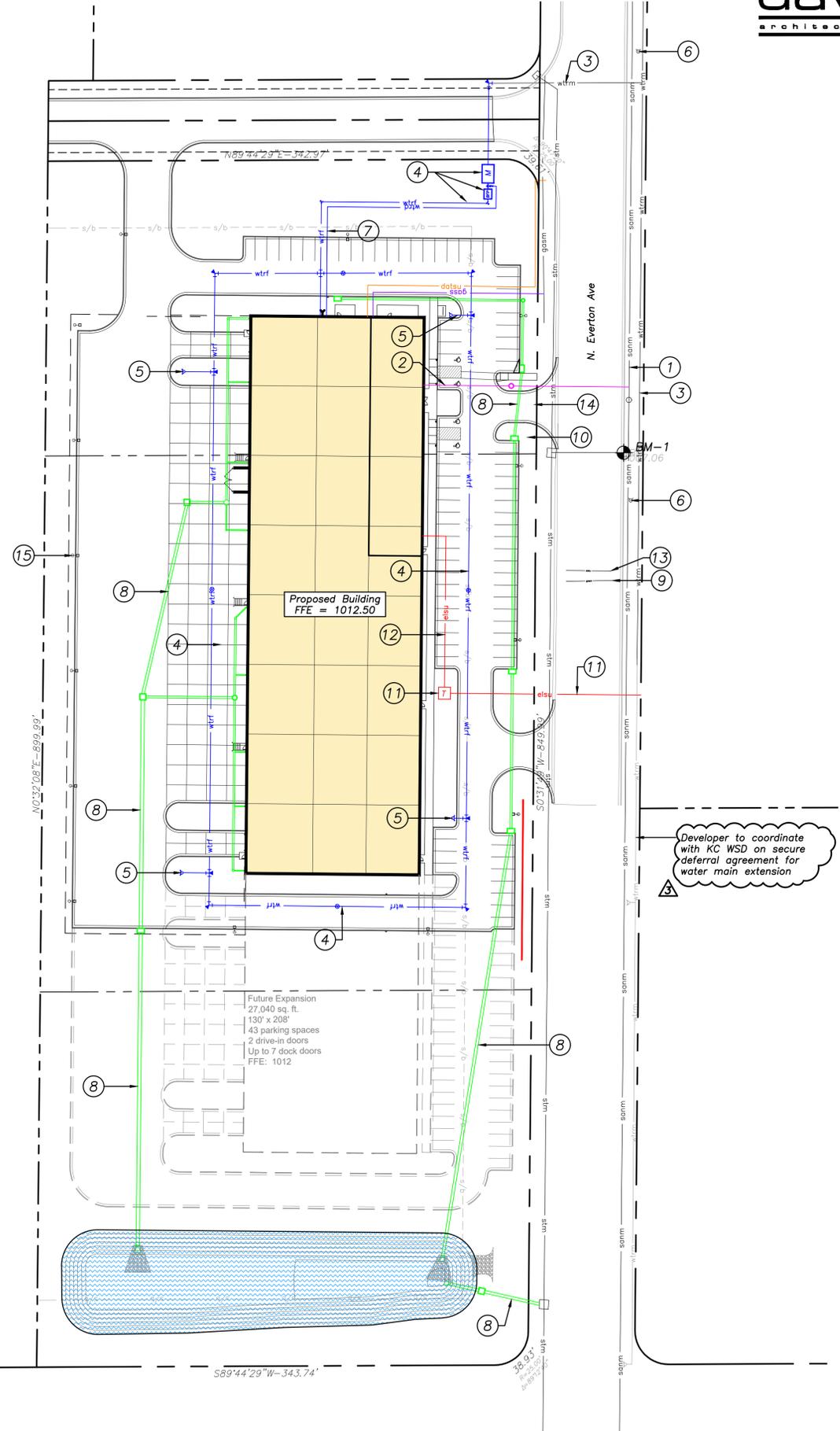
BM-1: (Square cut on curb inlet)
Elevation: 1007.06'
N: 1133587.344
E: 2738394.742

Floodplain Note:

According to "Flood Insurance Rate Map" community Panel No. 29095C0043G, map revised January 20, 2017, as published by the Federal Emergency Management Agency, this property lies with flood zone "X" (areas of minimal flooding).

Utility Plan Notes:

1. Existing Sanitary sewer main.
2. Proposed Sanitary sewer service line and 4' KCMO sampling MH.
3. Existing Water main.
4. Proposed Fire service line & loop, Full flow fire meter, and BFP.
5. Proposed Private fire hydrant.
6. Existing Public fire hydrant.
7. Proposed Domestic service line. RPZ inside building.
8. Proposed Private storm sewer system.
9. Existing Gas main.
10. Proposed Gas Service. Final location to be coordinated with provider.
11. Primary underground electrical service and pad mounted transformer. Final location to be coordinated with Evergy.
12. Secondary underground electrical service.
13. Existing data line.
14. Proposed data service line. Final location to be coordinated with provider.
15. Site lighting. Re: Photometric Plan.



Developer to coordinate with KC WSD on secure deferral agreement for water main extension

Future Expansion
27,040 sq. ft.
130' x 208'
43 parking spaces
2 drive-in doors
Up to 7 dock doors
FFE: 1012

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Sara Cooper, FAICP
Secretary of the City Plan Commission

1 Utility Plan
scale: 1" = 50'
north

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date 07.26.2024
drawn by DJL
checked by DAE
revisions

09.16.2024	1
09.25.2024	2
11.07.2024	3

sheet number
C1.2
drawing type permit
project number 23239

- Property Legend**
- right of way
 - - - property lines
 - u/e - easements
 - s/b - setbacks

- Grading Legend**
- - - existing minor contour
 - - - existing major contour
 - - - proposed minor contour
 - - - proposed major contour

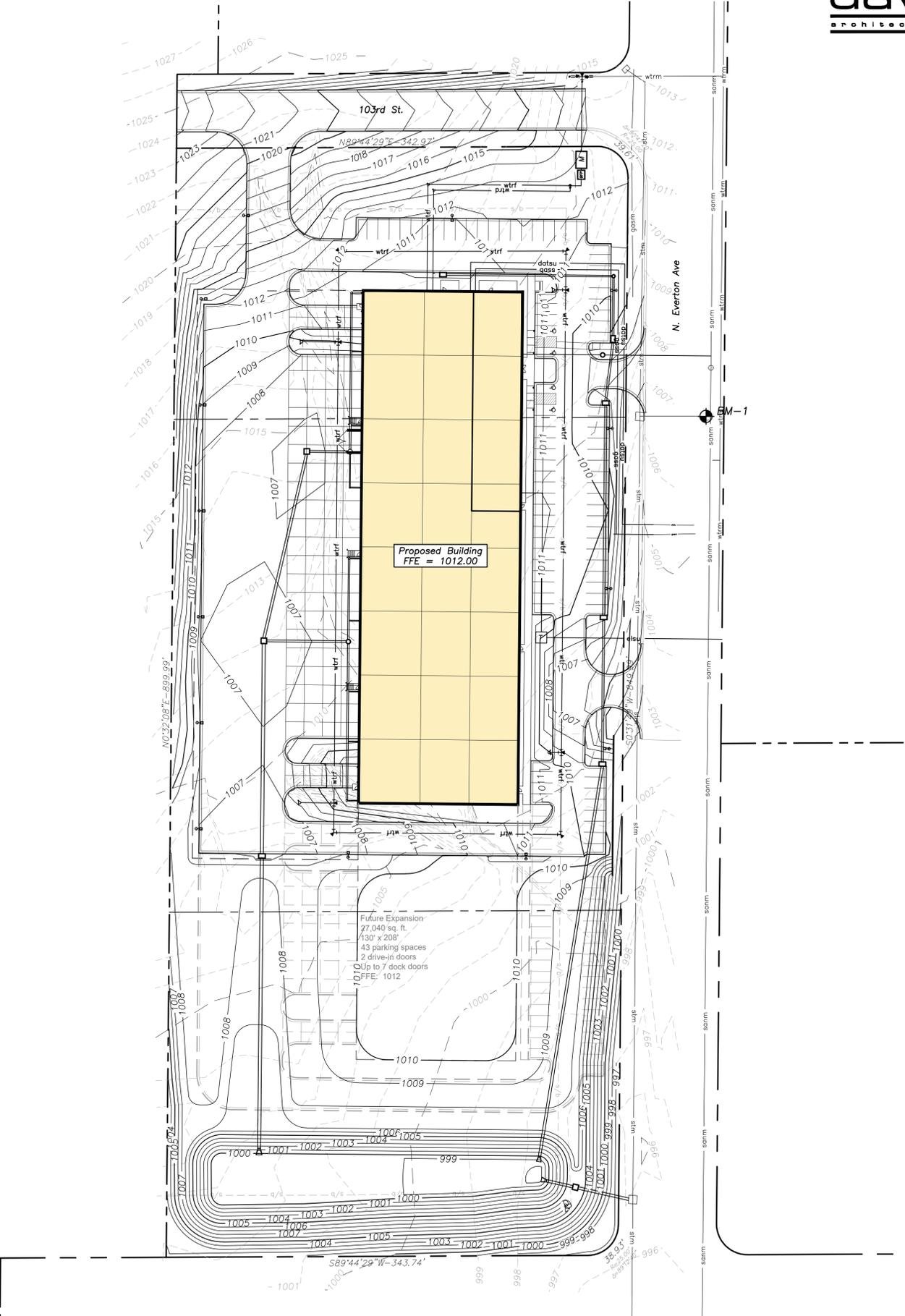
- Utility Legend**
- - - existing
 - - - proposed

- Linetypes**
- sanm sanitary main
 - sans sanitary service
 - ssm storm sewer (existing)
 - ssms storm sewer (solid wall, proposed)
 - ssms storm sewer (solid wall, proposed)
 - ssms storm sewer (perforated, proposed)
 - wtrm water main
 - wtrf water service (fire)
 - wtrd water service (domestic)
 - wtri water service (irrigation)
 - gasm natural gas main
 - gass natural gas service schematic
 - elpu underground primary electric
 - elsu underground secondary electric
 - elpo overhead electric
 - datu underground cable/phone/data
 - datasu underground cable/phone/data service
 - fence-chainlink
 - fence-wood
 - fence-barbed wire
 - treeline

- Symbols**
- ⊙ sanitary manhole
 - ⊙ service cleanout
 - ⊙ fmv force main release valve
 - rectangular structure
 - circular structure
 - ⊕ fire hydrant
 - ⊙ wv water valve
 - ⊙ M water meter
 - ⊙ BFP backflow preventer
 - ⊙ natural gas meter
 - ⊙ T service transformer (pad mount)
 - ⊙ S primary switch gear
 - ⊙ LP light pole
 - ⊙ C cable/phone/data junction box
 - ⊙ street light
 - ⊙ pedestrian street light
 - ⊙ electric pole
 - ⊙ guy wire
 - ⊙ end section

Local Benchmarks: BM-#
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date: 07.26.2024
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09.16.2024

1 Grading Plan
scale: 1" = 50'
0 25 50 100

sheet number
C2.1
drawing type: preliminary
project number: 23239

PLANT SCHEDULE

SHADE / EVERGREEN TREES					
KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
UA	16	<i>Ulmus americana</i> 'New Harmony'	New Harmony Elm	2" cal. b & b	per plan
SM	12	<i>Acer saccharum</i>	Sugar Maple	2" cal. b & b	per plan
GB	12	<i>Ginkgo biloba</i>	Ginkgo	2" cal. b & b	per plan
PM	9	<i>Acer griseum</i>	Paperbark Maple	2" cal. b & b	per plan
CC	8	<i>Cercis canadensis</i>	Redbud	2" cal. b & b	per plan
SHRUBS / GRASSES					
SS	15	<i>Panicum virgatum</i> 'Shenandoah'	Shenandoah Switchgrass	3 gal.	per plan
IB	8	<i>Ilex glabra</i>	Inkberry	3 gal.	per plan

*NOTE: ALL PLANTS TO COMPLY WITH ANSI Z60.1; AMERICAN STANDARD FOR NURSERY STOCK

LANDSCAPE CALCULATIONS:

PER SECTION 88-425 - LANDSCAPING AND SCREENING, THE FOLLOWING LANDSCAPE IS REQUIRED:

LANDSCAPE ITEM	CODE REQUIREMENT	AS IT APPLIES TO THIS SITE	PROVIDED ITEMS
88-425-03 Street Trees	1 Tree per 30'	Everton Ave. 920 L.F. / 30 = 31 Street trees req.	31 Provided
88-425-06-B Min. Interior landscape area	35 S.F. of landscape area per parking space	83 (parking spaces) X 35 S.F. req. = 2,905	3,879 S.F. Provided
88-425-06-E Interior parking plant material	1 Tree for every 5 parking spaces	83 / 5 = 17 Trees req.	17 Trees Provided
88-425-06-E Interior parking plant material	1 Shrub for every parking space	83 Shrubs req.	83 Shrubs Provided
88-425-06-E Interior parking plant material	Ground cover to cover all landscape areas	Covered	Covered
88-425-08-B Screening of mechanical equipment and utility cabinets	Any cabinet visible from the right-of-way must be screened from public view with landscaping	Continuous screen	Covered
88-425-05-C Perimeter landscaping of parking	Continuous evergreen screen to be 4' in ht. after the first growing season	Continuous evergreen screen	9 Shrubs Provided

LANDSCAPE NOTES:

- LANDSCAPE NOTES SHALL APPLY TO ALL LANDSCAPE DRAWINGS.
- LOCATION OF ALL UTILITIES ARE APPROXIMATE, THE CONTRACTOR SHALL FIELD VERIFY LOCATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION OPERATIONS.
- LIMITS OF CONSTRUCTION ARE THE PROPERTY LINES, UNLESS OTHERWISE NOTED ON THE PLANS, EXCEPT WHERE ACCESS BEYOND IS REQUIRED FOR CONSTRUCTION RELATED TO UTILITY INSTALLATION AND EQUIPMENT ACCESS TO THE SITE.
- REFER TO CIVIL DRAWINGS FOR ALL GRADING AND BERMING, EROSION CONTROL, STORM DRAINAGE, UTILITIES AND SITE LAYOUT.
- THE CONTRACTOR SHALL ARRANGE AND CONDUCT A PRE-CONSTRUCTION MEETING ONSITE WITH LANDSCAPE ARCHITECT PRIOR TO ALL WORK.
- PLANT QUANTITIES ARE FOR INFORMATION ONLY. DRAWING SHALL PREVAIL IF CONFLICT OCCURS. CONTRACTOR IS RESPONSIBLE FOR CALCULATING OWN QUANTITIES AND BID ACCORDINGLY.
- THE CONTRACTOR IS TO NOTIFY LANDSCAPE ARCHITECT AFTER STAKING IS COMPLETED AND BEFORE PLANT PITS ARE EXCAVATED.
- THE CONTRACTOR SHALL PLACE SHREDDED HARDWOOD BARK MULCH AROUND ALL TREES TO A DEPTH OF 2" AND IN ALL PLANTING BEDS TO A DEPTH OF 2". WALNUT PRODUCTS ARE PROHIBITED.
- TREE LOCATIONS IN AREAS ADJACENT TO DRIVES, WALKS, WALLS AND LIGHT FIXTURES MAY BE FIELD ADJUSTED AS APPROVED BY THE LANDSCAPE ARCHITECT.
- KIND, SIZE AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO AMERICAN STANDARD FOR NURSERY STOCK, ANSI-Z60-2004, OR MOST RECENT EDITION.
- THE CONTRACTOR SHALL REPORT SUBSURFACE SOIL OR DRAINAGE PROBLEMS TO THE LANDSCAPE ARCHITECT.
- THE PLAN IS SUBJECT TO CHANGES BASED ON PLANT SIZE AND MATERIAL AVAILABILITY. ALL CHANGES OR SUBSTITUTIONS MUST BE APPROVED BY THE CITY OF OVERLAND PARK, KANSAS AND THE LANDSCAPE ARCHITECT.
- PLANTING OF TREES, SHRUBS, SODDED AND SEEDED TURFGRASS SHALL BE COMMENCED DURING EITHER THE SPRING (APRIL 15-JUNE 15) OR FALL (SEPTEMBER 1-NOVEMBER 15) PLANTING SEASON AND WITH WATER AVAILABLE FOR IRRIGATION PURPOSES.
- STEEL EDGING TO BE USED ON ALL LANDSCAPE BEDS ADJUTING SODDED AREAS.
- LANDSCAPE CONTRACTOR IS TO BE RESPONSIBLE FOR WATERING ALL PLANT MATERIALS UNTIL THE TIME THE PERMANENT IRRIGATION SYSTEM IS FULLY FUNCTIONAL AND ACCEPTANCE OF THE PROJECT HAS TAKEN PLACE. ANY MATERIAL WHICH DIES, DEFOLIATES (PRIOR TO ACCEPTANCE OF THE WORK) WILL BE PROMPTLY REMOVED AND REPLACE.
- THE CONTRACTOR SHALL SHOW PROOF OF PROCUREMENT, SOURCES, QUANTITIES AND VARIETIES FOR ALL SHRUBS, PERENNIALS, ORNAMENTAL GRASSES AND ANNUALS WITHIN 21 DAYS FOLLOWING THE AWARD OF THE CONTRACT.
- ALL TREES SHALL BE CALLIPERED AND UNDERSIZED TREES SHALL BE REJECTED. ALL PLANT MATERIAL SHALL BE NURSERY GROWN, SOUND, HEALTHY, VIGOROUS AND FREE FROM INSECTS, DISEASE AND INJURIES, WITH HABIT OF GROWTH THAT IS NORMAL FOR THE SPECIES. SIZES SHALL BE EQUAL TO OR EXCEEDING SIZES INDICATED ON THE PLANT LIST. THE CONTRACTOR SHALL SUPPLY PLANTS IN QUANTITY AS SHOWN ON THE DRAWINGS.
- STAKE OR PLACE ALL PLANTS IN FIELD AS INDICATED ON THE DRAWINGS OR AS DIRECTED BY THE LANDSCAPE ARCHITECT FOR APPROVAL BY THE OWNER PRIOR TO PLANTING.
- ALL DISTURBED AREAS, INCLUDING RIGHTS OF WAY, NOT OTHERWISE COVERED BY BUILDING, PAVEMENT AND LANDSCAPE BEDS SHALL BE SODDED WITH TURF TYPE TALL FESCUE AND IRRIGATED UNLESS OTHERWISE INDICATED BY THE OWNER.
- ALL EXTERIOR GROUND OR BUILDING MOUNTED EQUIPMENT, INCLUDING BUT NOT LIMITED TO MECHANICAL EQUIPMENT AND UTILITY METER BANKS SHALL BE SCREENED FROM PUBLIC VIEW WITH EVERGREEN LANDSCAPING THAT IS 6' TALLER THAN THE EQUIPMENT BEING SCREENED AT THE TIME OF PLANTING.
- PREPARE PLANTING BEDS BY INCORPORATING AN APPROVED COMPOSTED ORGANIC SOIL INTO EXISTING SOIL FOR ALL SHRUB, PERENNIAL AND ANNUAL PLANTING BEDS AT A MINIMUM DEPTH OF 6". THOROUGHLY MIX ORGANIC MATERIAL INTO THE EXISTING SOIL BY ROTOTILLING OR OTHER APPROVED METHOD TO A MINIMUM DEPTH OF 12".
- APPLY A COMMERCIAL ROOT STIMULATOR (APPROVED BY LANDSCAPE ARCHITECT PRIOR TO USE) TO ALL SHRUBS AND GROUND COVERS AT RATES RECOMMENDED BY MANUFACTURER DURING FIRST PLANT WATERING FOLLOWING INSTALLATION.
- ALL LANDSCAPE AREAS SHALL BE IRRIGATED WITH A HIGH EFFICIENCY AUTOMATIC IRRIGATION SYSTEM ACHIEVING 100% EVEN COVERAGE OF ALL LANDSCAPE AREAS. IRRIGATION SYSTEM SHALL BE DESIGN-BUILT TO MEET ALL CITY REQUIREMENTS.
- TREE PROTECTION FENCING SHALL BE INSTALLED AND APPROVED BY THE CITY FORESTER PRIOR TO ANY LAND DISTURBANCE. TREE PROTECTION FENCING SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION IS COMPLETE ON THE PROJECT. NO PARKING OF VEHICLES, MATERIAL STORAGE, WASHOUTS OR GRADING ARE ALLOWED WITHIN THE FENCING. IF THE FENCING MUST BE REMOVED OR RELOCATED, THE CITY FORESTER SHALL BE CONTACTED FOR PRIOR APPROVAL.
- A CERTIFIED ARBORIST SHALL PRUNE ALL EXISTING TREES TO REMAIN. TREES CONFLICTING WITH BUILDING OR OVERLAPPING LANDSCAPE BEDS SHALL BE PRUNED UP TO ALLOW FOR 12' OF CLEARANCE UNDER CANOPY.
- ALL LAWN AREAS SHALL RECEIVE A MINIMUM OF 6-INCH DEPTH TOPSOIL COMPACTED TO 85% MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT.
- THE ENTIRE SURFACE TO BE SODDED SHALL BE REASONABLY SMOOTH AND FREE FROM STONES, ROOTS, OR OTHER DEBRIS.
- SOD SHALL BE MACHINE STRIPPED AT A UNIFORM SOIL THICKNESS OF APPROXIMATELY ONE INCH (PLUS OR MINUS 1/4 INCH). THE MEASUREMENT FOR THICKNESS SHALL EXCLUDE TOP GROWTH AND THATCH, AND SHALL BE DETERMINED AT THE TIME OF CUTTING IN THE FIELD. PRECAUTIONS SHALL BE TAKEN TO PREVENT DRYING AND HEATING. SOD DAMAGED BY HEAT AND DRY CONDITIONS, SOD CUT MORE THAN 18 HOURS BEFORE BEING INCORPORATED INTO THE WORK SHALL NOT BE USED.
- HANDLING OF SOD SHALL BE DONE IN A MANNER THAT WILL PREVENT TEARING, BREAKING, DRYING AND OTHER DAMAGE. PROTECT EXPOSED ROOTS FROM DEHYDRATION. DO NOT DELIVER MORE SOD THAN CAN BE LAID WITHIN 24 HOURS.
- MOISTEN PREPARED SURFACE IMMEDIATELY PRIOR TO LAYING SOD. WATER THOROUGHLY AND ALLOW SURFACE TO DRY BEFORE INSTALLING SOD. FERTILIZE, HARROW OR RAKE FERTILIZER INTO TOP 1-2 INCHES OF TOPSOIL, AT A UNIFORM RATE OF ONE POUND OF NITROGEN PER 100 SF.
- SOD SHALL BE CAREFULLY PLACED IN THE DIRECTION PARALLEL WITH THE SLOPE OF THE AREA TO BE SODDED. SOD STRIPS SHALL BE BUTTED TOGETHER BUT NOT OVERLAPPED WITH THE SEAMS STAGGERED ON EACH ROW.
- FERTILIZER SHALL BE 10-10-5 COMMERCIAL FERTILIZER OF THE GRADE, TYPE AND FORM SPECIFIED AND SHALL COMPLY WITH THE RULES OF THE STATE OF KANSAS DEPARTMENT OF AGRICULTURE. FERTILIZER SHALL BE IDENTIFIED ACCORDING TO THE PERCENT N, P, K, IN THAT ORDER.
- SATURATE SOD WITH FINE WATER SPRAY WITHIN TWO HOURS OF PLANTING. DURING FIRST WEEK AFTER PLANTING, WATER DAILY OR MORE FREQUENTLY AS NECESSARY TO MAINTAIN MOIST SOIL TO A MINIMUM DEPTH OF FOUR INCHES BELOW SOD.
- CONTRACTOR SHALL PROVIDE FULL MAINTENANCE FOR SODDED TURF GRASS FOR A PERIOD OF 30 DAYS AFTER THE DATE OF FINAL ACCEPTANCE. AT THE END OF THE MAINTENANCE PERIOD, A HEALTHY, WELL-ROOTED, EVEN-COLORED, VIABLE TURF MUST BE ESTABLISHED. THE TURF GRASS SHALL BE FREE OF WEEDS, OPEN JOINTS, BARE AREAS AND SURFACE IRREGULARITIES.
- IN THE EVENT OF WORK IN OR ON THE JCW SANITARY MAIN, ANY TREES OR PLANTINGS PLACED WITHIN THE SEWER EASEMENT MAY BE REMOVED WITHOUT REPLACEMENT OR COMPENSATION THEREOF AND SHALL BE REPLACED BY THE PROPERTY OWNER AS REQUIRED BY THE CITY.
- LANDSCAPE ADJACENT TO THE FIRE DEPARTMENT CONNECTION AND FIRE HYDRANT SHALL ALLOW FOR UNOBSTRUCTED VISIBILITY AND ACCESS, WITH NO SHRUBS OR TREES WITH IN A 3' RADIUS OF THE FIRE DEPARTMENT CONNECTION OR FIRE HYDRANT.

TREES SPACED APPROPRIATELY AS TO NOT IMPACT OR LESSEN THE FOOT-CANDLES APPROVED IN THE PHOTOMETRIC PLAN

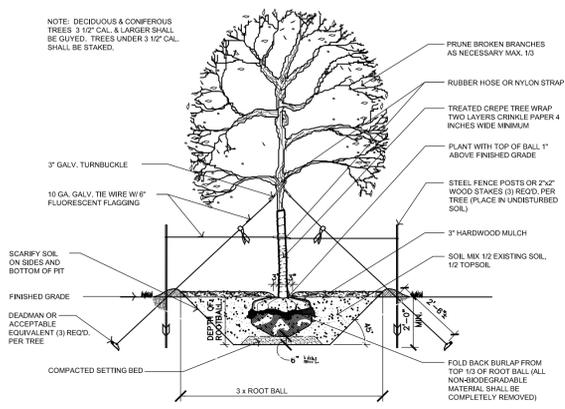
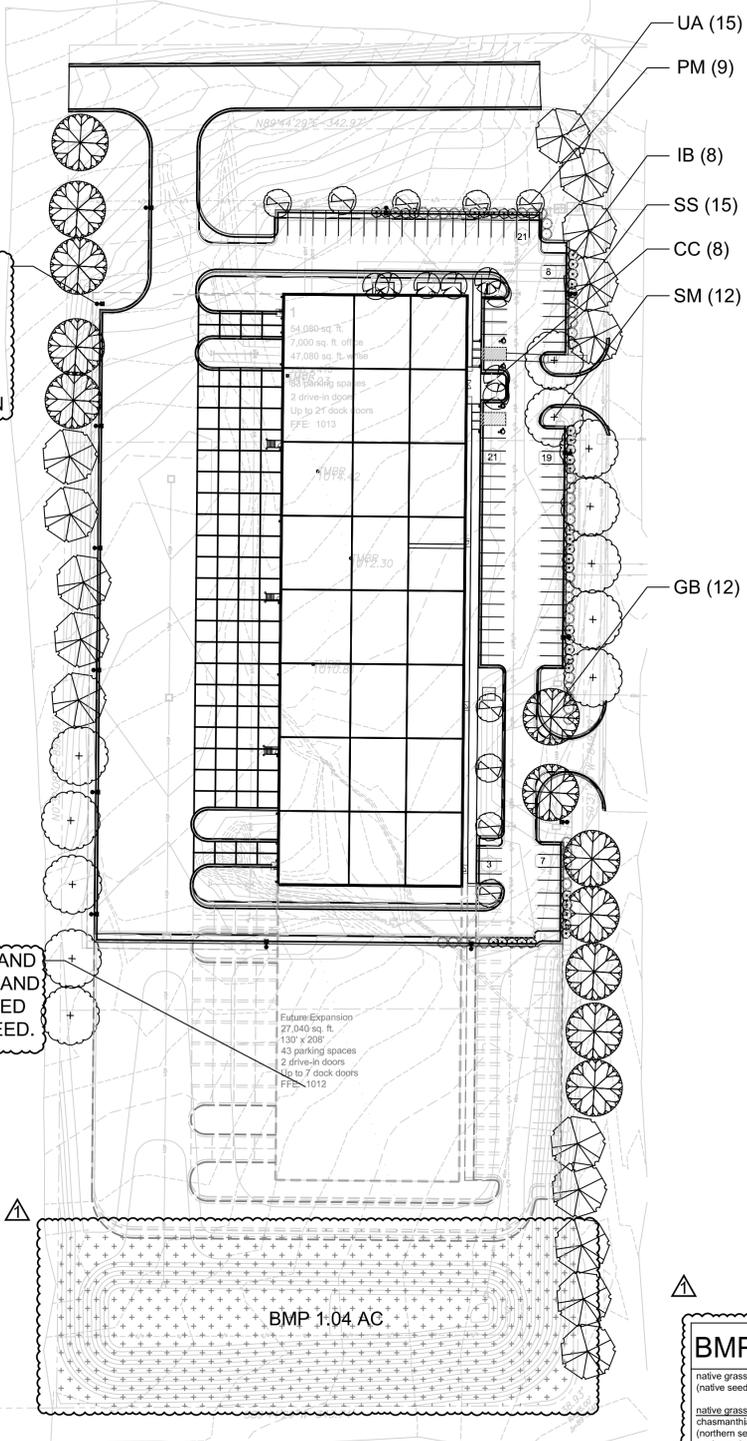
ALL DISTURBED AND UNDEVELOPED LAND SHALL BE FINISHED WITH FESCUE SEED.

1 Landscape Plan
scale: 1" = 60'-0"

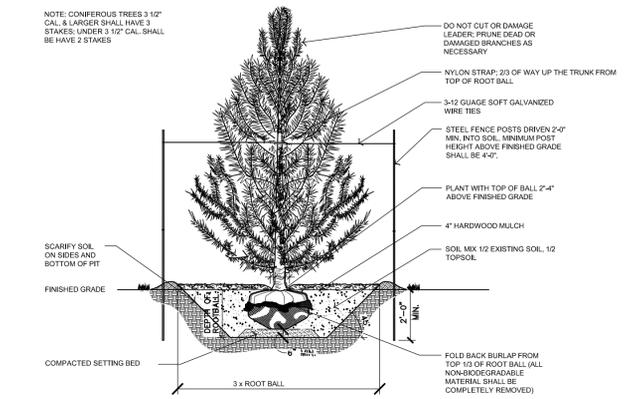
KANSAS CITY MISSOURI

City Plan Commission
Recommends Approval with Conditions
of Case No. **CPD-CPC-2024-00107** on **11/20/2024**

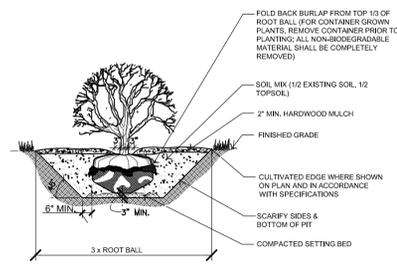
Sara Gabriel
Sara Gabriel, Mayor
Secretary of the City Plan Commission



4 Deciduous Tree Detail
scale: 3/16" = 1'-0"



3 Evergreen Tree Detail
scale: 3/16" = 1'-0"



2 Shrub Detail
scale: 3/16" = 1'-0"

BMP SCHEDULE & MAINTENANCE

native grasses and forbes: 45,104 S.F. or 1.04 AC
(native seed drill or hydroseeding to be used to distribute all seed)

ACTIVITY	FREQUENCY
NATIVE VEGETATION MAINTENANCE ESTABLISHMENT PERIOD (1-3 YEARS)	
water plants (seeded areas up to 8 weeks, plugs in drought)	1" weekly
weed control (fall mow, string trim, selective/pre-emergent herbicides)	monthly
remove litter and debris (trash, leaves, sand etc.)	monthly
monitor and repair erosion (stabilize soil, replace plants etc.)	monthly
check for standing water and saturated soils	monthly
inspect drainage area (parking lot sweeping, open dumpsters etc)	annually (spring)
repair bare spots (use design mix; maintain density)	monthly (spring or fall as needed)
NATIVE VEGETATION MAINTENANCE LONG TERM (3+ YEARS)	
vegetation clean up (string trim, spot spray, prescribed burn)	annually (sp. or fl.)
evaluate plant composition (invasives, grass/forbes ratio)	annually (sp. or fl.)
sediment removal	annually (sp. or fl.)
address animal damage (canada geese, deer, etc.)	annually sp.
inspect for erosion	annually (sp. or fl.)

a new development for
Project Maartin
10220 N Everton Avenue
Kansas City, Missouri 64153

date 08.02.2024
drawn by KLV
checked by VSM
revisions 09.16.2024 1

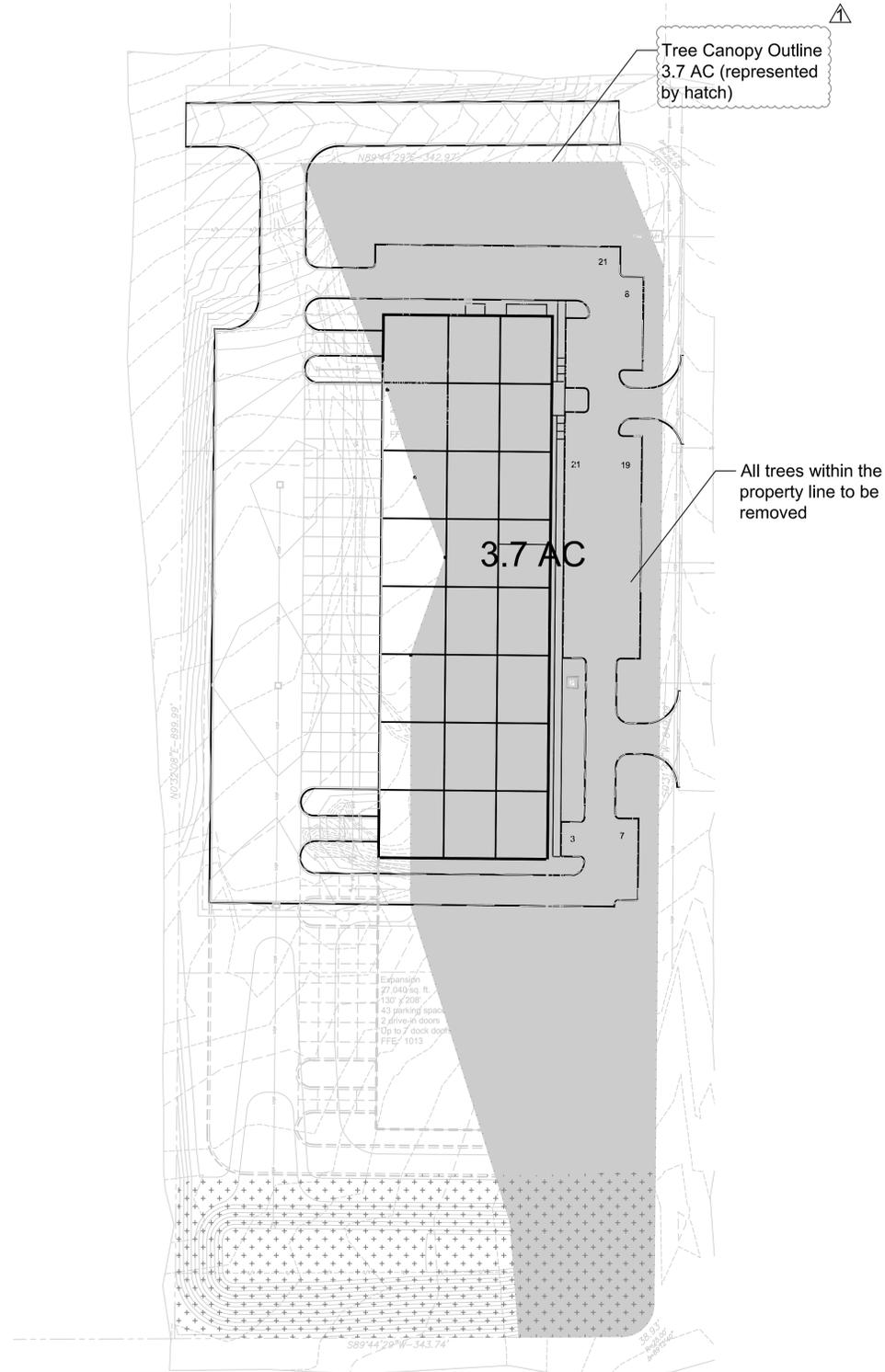
sheet number
L1.1
drawing type
planning
project number
23239

*NOTE: ALL PLANTS TO COMPLY WITH ANSI Z60.1: AMERICAN STANDARD FOR NURSERY STOCK

TREE MITIGATION CALCULATIONS:
PER SECTION 88-424: TREE PRESERVATION AND PROTECTION, THE FOLLOWING LANDSCAPE IS REQUIRED:

LANDSCAPE ITEM			
88-424-07 Mitigation Rate	3.7 AC Tree Canopy	x 0.35	= 1.295
		x 150	= 194.25
		- proposed trees (56 x 2" = 112)	= 82.25

TOTAL: 56 Trees (112 caliper inches) proposed plantings to satisfy mitigation requirements per sheet L1.1
41 trees (82 caliper inches) x \$185 = \$15,170 payment in lieu of planting



KANSAS CITY MISSOURI

City Plan Commission
Recommends Approval with Conditions
of Case No **CD-CPC-2024-00107** on **11/20/2024**

Sara Copeland
Sara Copeland, FAICP
Secretary of the City Plan Commission

1 Tree Preservation and Protection Plan
scale: 1" = 60'-0"



a new development for
Project Maartin
10220 N Everton Avenue
Kansas City, Missouri 64153

date 08.02.2024
drawn by KLV
checked by VSM
revisions
09.16.2024

sheet number
L1.2
drawing type
planning
project number
23239

project synopsis:

governing municipality: Kansas City, Missouri
governing code: 2018 International Building Code

project manager/
responsible party: Johnathon R Phillips, AIA
Davidson Architecture & Engineering
4301 Indian Creek Parkway
Overland Park, Kansas 66207
p: 913.451.9390
e: johnathon@davidsonae.com

legal description: All of Lots 1, 2 & 3, KCI INDUSTRIAL PARK, a subdivision of land in the City of Kansas City, Platte County, Missouri.

zoning: KCIA
site area: 331,219 s.f. (7.604 acres +/-)
impervious area: 151,802 s.f. (46%)
green space: 179,417 s.f. (54%)

building area: 54,080 s.f.
floor area ratio: 0.163
proposed use: office/warehouse
construction type: IIB
fire suppression: yes (NFPA 13)
stories: one
height: 44'-0" +/- top of parapet
of employees: 140

parking spaces: 86 spaces provided
future parking: 43 spaces
dock positions: up to 23
drive-in doors: 2

short term bike: 10% of parking spaces @ 83 = 8 required & provided
long term bike: 1 per 20 employees @ 140 = 7 required (interior closet proposed)

setbacks: north 30' min. required, 118'-9" provided
east 30' min. required, 85' provided
south 30' min. required, 365'-3" provided
west 30' min. required, 153'-4" provided

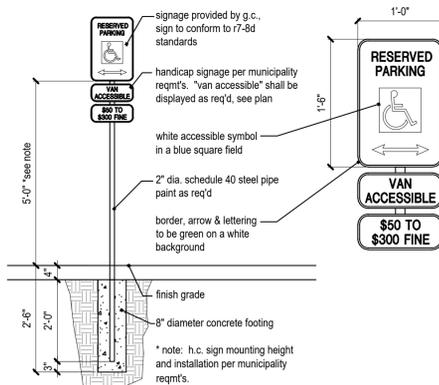
vacation: NW 103rd Street will be vacated under a separate application.

site general notes:

- All construction shall conform to the standards and specifications of the city of Kansas City, Missouri.
- The general contractor shall contact all utility companies prior to the start of construction and verify the location and depth of any utilities that may be encountered during construction.
- The contractor shall field verify existing surface & subsurface ground conditions prior to start of construction
- Slopes shall maintain a maximum 3:1 slope. Refer to Civil Engineering drawings for grading plans.
- The contractor shall be responsible for obtaining all required permits, paying all fees, and otherwise complying with all applicable regulations governing the project.
- Place silt fence for erosion control per Civil Engineering drawings and as required.
- Provide a temporary gravel access drive to prevent mud from being deposited onto the adjacent road.
- Prior to installing any structure on a public storm sewer, the contractor shall submit shop drawings for the structure(s). Installation shall not occur until drawings have been approved by public works.
- Prior to installing, constructing, or performing any work on the public storm sewer line (including connecting private drainage to the storm system) contact the city for inspection of the work. contact must be made at least 48 hours prior to the start of work.
- Connections to the public storm sewer between structures will not be permitted.
- All above ground utility termination points shall be screened from view with appropriate landscaping and shall be painted to match the primary adjacent wall color. All roof equipment shall be screened from view.
- Prior to final inspection, the General Contractor shall meet with the Fire Department to designate fire lane and fire lane sign locations to be installed per Fire Department direction and requirements.
- A Knox Box shall be installed on the building and location shall be coordinated with the Fire Department.

site construction notes: #

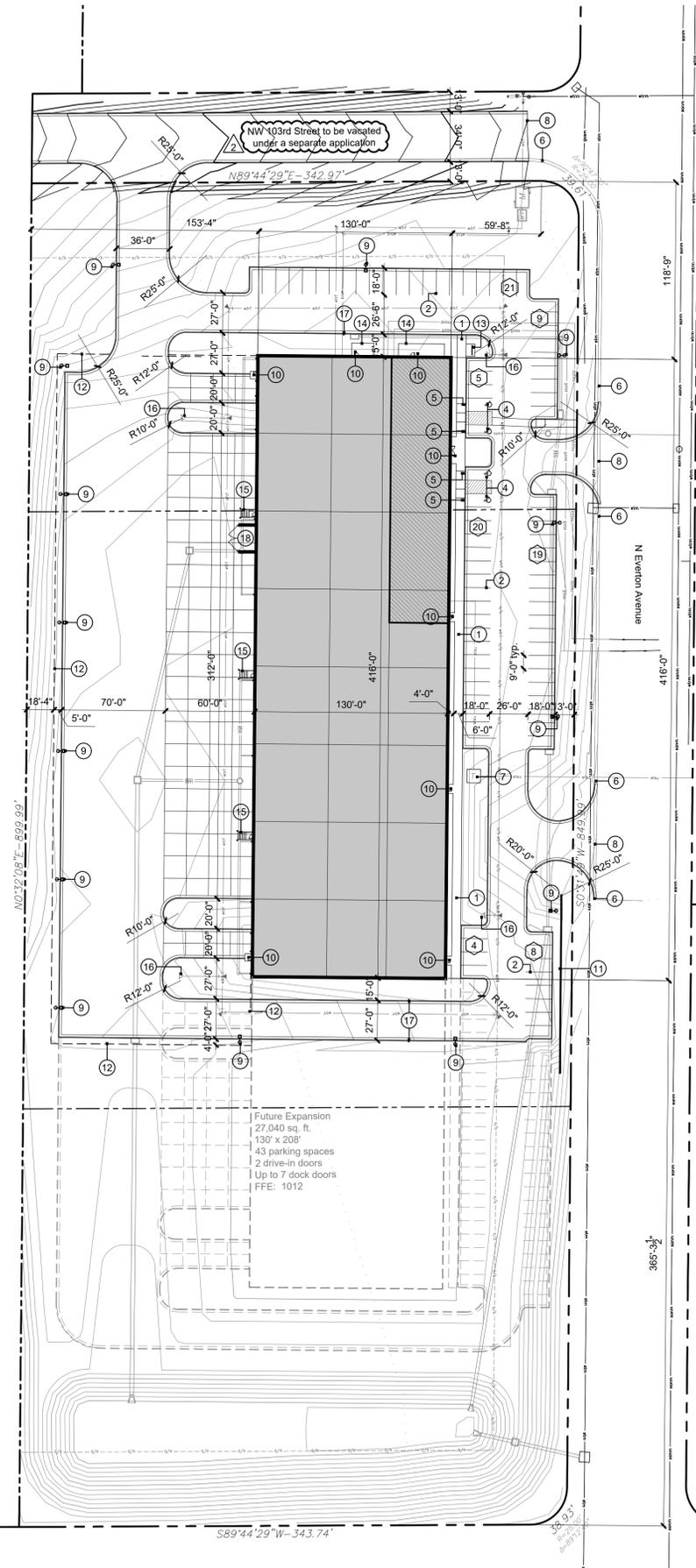
- Concrete sidewalk - 4" thick with 6x6 10/10 WWF steel mesh. Control joints at 6'-0" o.c. Broom finish for non-slip surface.
- Parking lot striping to be painted white with 4" stroke.
- Furnish and install ADA accessible ramp and sidewalk per Civil drawings.
- ADA parking space design per Civil drawings with universal symbol painted white with 4" stroke.
- ADA parking signage per detail. Mount sign at not more than 60" a.f.g. to bottom. Sign to contain the universal handicap symbol and "van accessible" as required per ADA and be installed within 5' of stall.
- Existing concrete curb to remain.
- Furnish and install concrete pad for pad-mounted transformer per Civil drawings.
- Coordinate access drive with existing paving conditions and match existing elevations per Civil drawings.
- Furnish and install exterior LED parking lot lighting, pole and base per Photometric drawing with full cut-off and non-adjustable fixture head. Lighting to meet City of Kansas City standards.
- Furnish and install concrete frost depth stoop per Structural Engineer.
- Furnish and install modular retaining wall. Maintain grade change per Civil drawings with 42" high painted galvanized guardrail (modular wall and guardrail design by supplier).
- Furnish and install 6'-0" high security chain link fence with auto-slide gates.
- Furnish and install inverted U bike racks to hold 8 bikes minimum - color red.
- Furnish and install concrete patio off break room. Slope patio maximum 2% to drain water away from building per Civil drawings.
- Furnish and install galvanized steel stair and railing, painted per elevations. With 6" galvanized steel bollards 4'-0" high each side, painted safety yellow.
- New fire hydrant (looped system) per Civil drawings.
- Furnish and install permanent sign stating NO PARKING - FIRE LANE per 2018 IFC D103.6. Verify final sign locations with Fire Marshal.
- Tilt-up trash enclosure with metal gates to hold minimum (2) 8-yard dumpsters. Paint to match building standards.



2 ADA sign detail
scale: 1" = 1'-0"

City Plan Commission
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Sara Cooperland
Sara Cooperland, F.A.I.C.E.
Secretary of the City Plan Commission



1 site plan
scale: 1" = 50'-0"

a new development for
Project Maartin
10220 N Everton Avenue
Kansas City, Missouri 64153

date: 07.26.2024
drawn by: DAE
checked by: DAE
revisions: 1 09.16.2024
2 09.25.2024

sheet number:
A1.1
drawing type: preliminary
project number: 23239

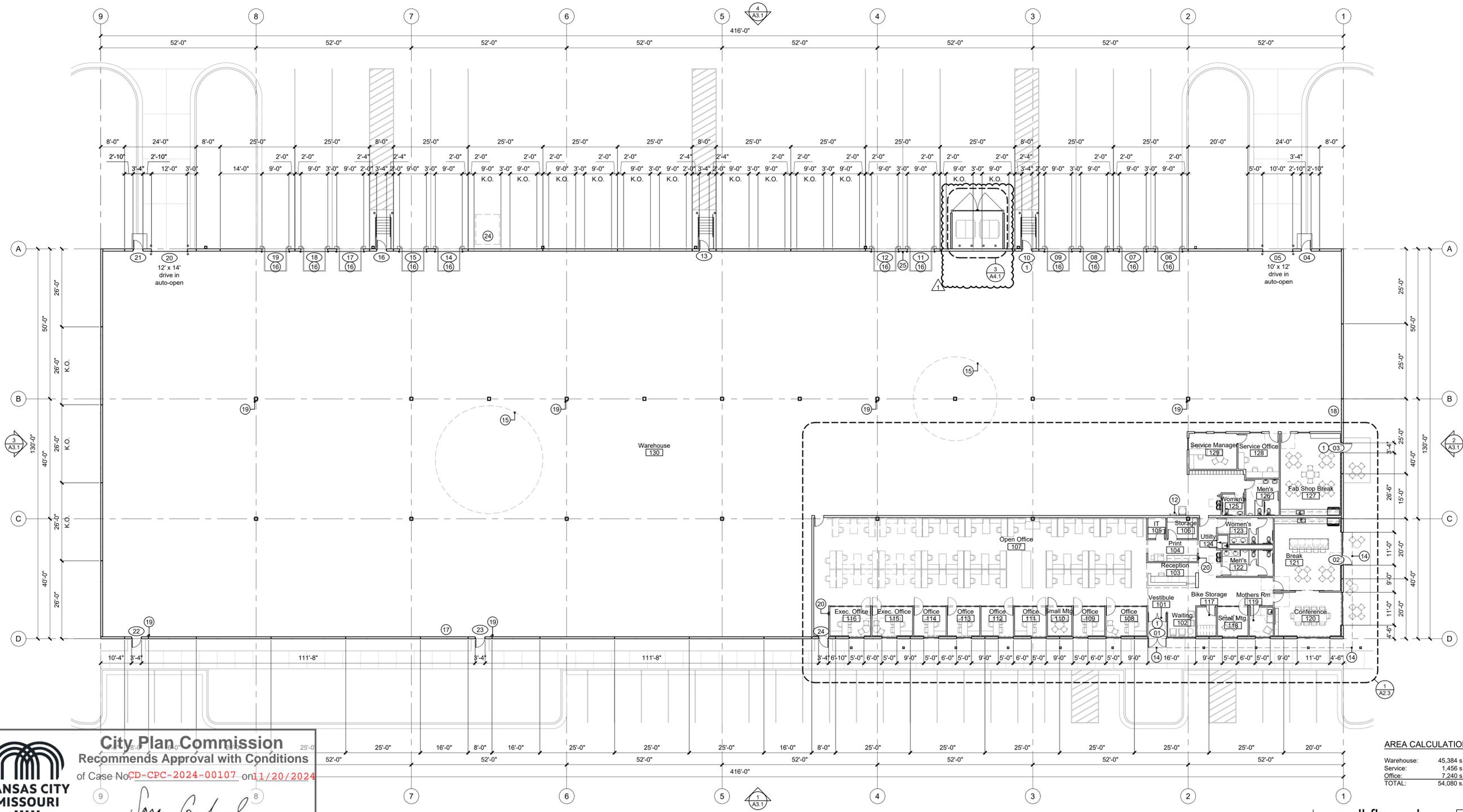


general notes:

- Double keyed locks are not permitted on any required or marked exit.
- Exit/emergency lighting are subject to an on site inspection.
- Furnish and install fire sprinkler protection per NFPA 13.
- Install address numbers on the front & rear of building per governing jurisdiction.
- Monitoring (with lockbox) of the fire sprinklers by an approved central station & audio/visual alarms in restrooms & general usage areas will be required if more than 100 heads are provided throughout building.
- Building construction must fully comply with all requirements of ADA accessibility guidelines.
- Provide 3-1/2" batt insulation between conditioned & unconditioned spaces.
- Exit doors shall be openable from the inside without the use of a key or any special knowledge or effort.
- Provide electrical outlets @ 15' a.f.f. to the lowest outlet per ADA.
- Areas with drive-in doors require ventilation of at least 1.5 CFM per gross square foot of floor area with an equal amount of make-up air.
- Egress illumination shall be provided at an intensity of not less than 1 foot candle at floor level & at the exterior of the building.
- Provide 44" min. clear in all exit passageways.
- All new exterior utility service equipment shall be painted to match the building standard color(s).
- Furnish and install horns and strobes as required. Fire alarm design to be non-proprietary system by design-build contractor. Contractor to submit fire alarm design/drawings to governing jurisdiction, for review/approval.
- All electrical outlets within 6' of any sink or water source to be GFCI protected.
- Construction materials exposed within plenums shall be noncombustible or shall have a flame spread rating of not more than 25 and a smoke developed rating of not more than 50.
- All low voltage wire and cable, optical fiber, pneumatic tubing, and all ducts and duct coverings, linings and connectors install within plenum areas must be rated for plenum use.
- Install approved Knox Box per Fire Department requirements.

construction notes: #

1. Furnish and install access control at exterior doors.
2. Furnish and install casework reception desk, transaction top at 42" a.f.f. and work surface / accessible top at 30" a.f.f.
3. Furnish and install lower 15" deep plastic laminate casework with plastic laminate top.
4. Furnish and install lower plastic laminate casework and plastic laminate top with 4" backsplash per details.
5. Furnish and install upper and lower plastic laminate casework with solid surface top, under mount sink, garbage disposal, dishwasher, refrigerator with ice maker, power and water for coffee maker, and power for 2 microwaves.
6. Furnish and install upper and lower plastic laminate casework and plastic laminate top with 4" backsplash per details, drop-in sink, garbage disposal, industrial refrigerator with ice maker, and power and water for coffee maker.
7. Furnish and install lower plastic laminate casework island with solid surface countertop. Include trash and recycling bins in casework cabinet.
8. Furnish and install plastic laminate counter with 4" backsplash and metal bracket supports at 48" o.c. max per details. Top of counter mounted at 34" o.c.
9. Furnish and install bike hooks on wall to accommodate 7 bikes.
10. Furnish and install ADA compliant restroom with 67" turning radius with 10" maximum overlap at knee and toe clearance per ADA. Install plastic laminate base cabinet with drop-in sinks, automatic faucets, automatic soap dispensers, 30" x 48" mirrors, HDPE toilet partitions, grab bars, toilet tissue dispensers, recessed paper towel dispensers, and sanitary napkin disposal in women's restroom.
11. Furnish and install ADA compliant restroom with 67" turning radius with 10" maximum overlap at knee and toe clearance per ADA. Install plastic laminate base cabinet, automatic soap dispensers, 30" x 48" mirrors, HDPE toilet partitions, grab bars, toilet tissue dispensers, recessed paper towel dispensers, and sanitary napkin disposal in women's restroom.
12. Furnish and install 30" x 36" roof hatch and ladder with cage and intermediate landing. Coordinate final location with roof joist layout. Provide fall arrest system to meet OSHA requirements.
13. Furnish and install in-floor data and electrical for open office work stations and conference room table. Coordinate final location with Owner prior to install.
14. Line of canopy above. Metal stud framing with DensGlass, STO Guard Gold Coat, and direct applied EIFS, slope top to drain water with TPO.
15. Furnish and install B.A. Fan, size: TBD, verify final location with supplier.
16. 9' x 10' power operated, insulated sectional overhead dock door with 45,000 lb. hydraulic leveler, dock restraint, dock scale and bumpers. Coordinate structural and electrical requirements for leveler size capacity, dimensions and depth.
17. Approximate location of electrical service entrance.
18. Approximate location of water service entrance and fire riser.
19. Furnish and install 10 lb. 4A-70BC rated F.E. (surface mounted) with approved mounting - verify quantity and location with Fire Marshal.
20. Furnish and install semi-recessed fire extinguisher cabinet with stainless steel finish and vision panel in door, with 3A-40BC (5 lb. min.) fire extinguisher, bottom at 36" a.f.f. Coordinate final location with Fire Marshal.
21. Exterior bollard lights per photometric drawing.
22. Furnish and install lower plastic laminate casework and plastic laminate countertop with 4" backsplash per details, drop-in sink, and under counter refrigerator in Mother Room.
23. Furnish and install pinned faced 2" rigid insulation (R-11 min.) from 10'-0" a.f.f. to deck on east and north walls adjacent to finished office space. Extend rigid insulation board to next sill panel joint.
24. Proposed generator location. Verify final location and size with Owner.
25. Furnish and install 18" deep plastic laminate shelving on KV standards to 8'-0" a.f.f. (minimum 5 shelves)
26. Install 3/4" 4'x7' fire rated / treated plywood on wall, painted. Verify final size and location with electrical, phone, data and IT equipment. Install ground bar and bond to building steel per electrical drawings.
27. Furnish and install hallow drinking fountain with bottle filler per MEP drawings and per ADA/ANSI.
28. Furnish and install (18) 12" X 18", single height metal lockers with 4" metal base and sloped metal top.
29. Furnish and install manual roller shade for each exterior window (SHDS-1). Openness factor 3%.
30. Furnish and install un-faced sound attenuation insulation in ceiling above rooms 108-116, 127, 128, & 129.
31. Furnish and install shatter proof film on all glazing in warehouse area.
32. Furnish and install emergency eyewash station including plumbing supply and waste lines.
33. Install floor drain per plumbing drawings.
34. Furnish and install epoxy flooring at forklift parking area.
35. Furniture shown for reference only, will be provided by Owner.
36. Furnish and install adequate power for Owner supplied printer/copy equipment.
37. Furnish and install janitor mop basin with hose extension, mop rack, and FRP to 8'-0" a.f.f. on all walls.



AREA CALCULATIONS:

Warehouse:	45,384 s.f.
Service:	1,456 s.f.
Office:	7,240 s.f.
TOTAL:	54,080 s.f.

City Plan Commission
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Sara Gabriel
Secretary of the City Plan Commission

1 overall floor plan
scale: 1/16" = 1'-0"

a new development for
Project Maartin
10220 N Everton Avenue
Kansas City, Missouri 64153

date 07.26.2024
drawn by DAE
checked by DAE
revisions 1
09.16.2024

sheet number
A2.1
drawing type preliminary
project number 23239



City Plan Commission
 Recommends Approval with Conditions
 of Case No **CD-CPC-2024-00107** on **11/20/2024**

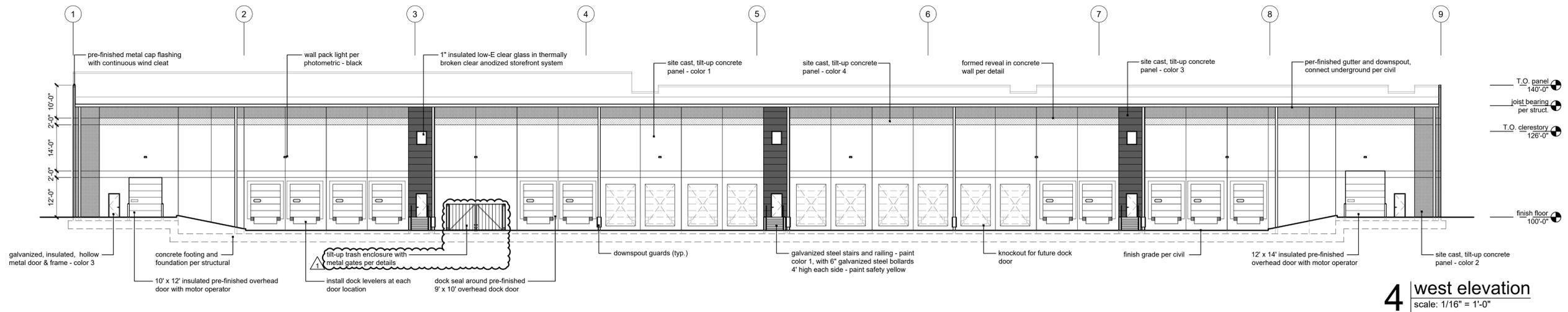
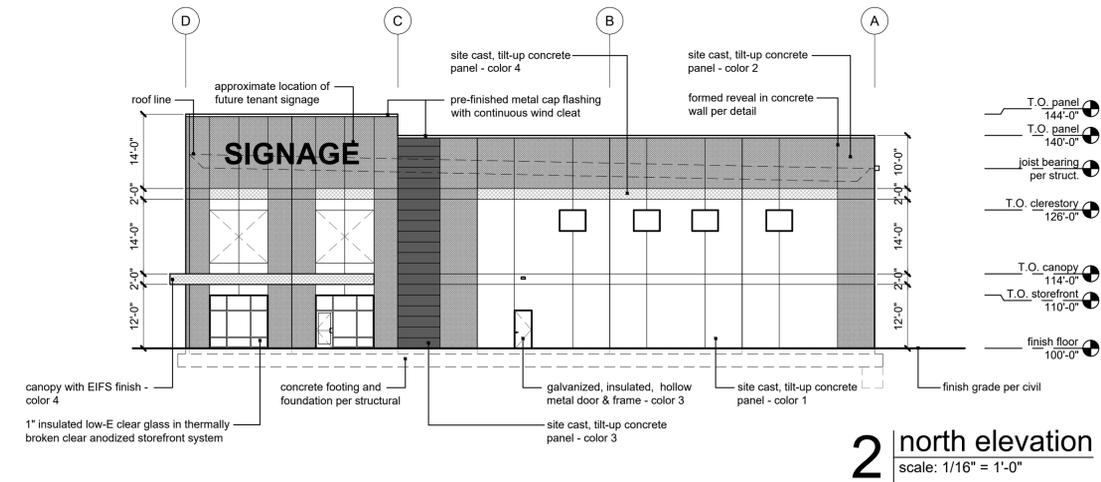
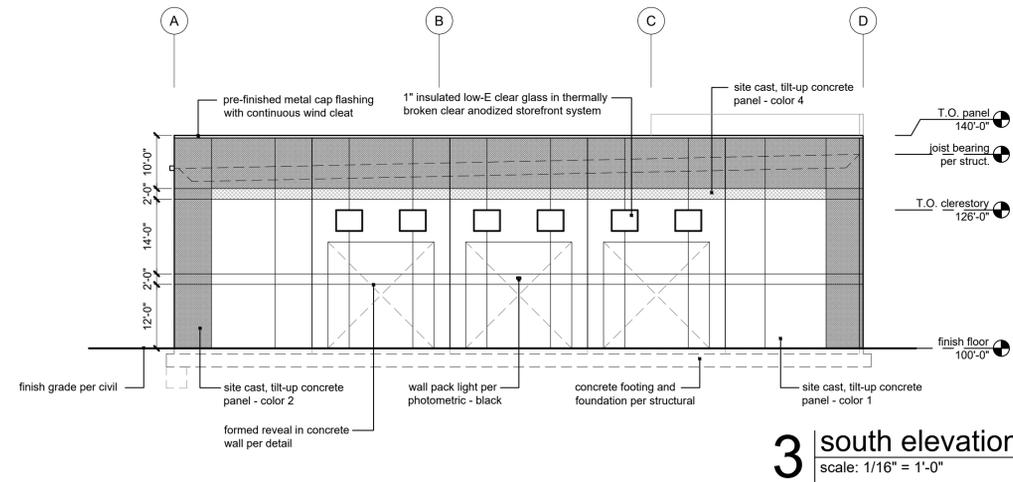
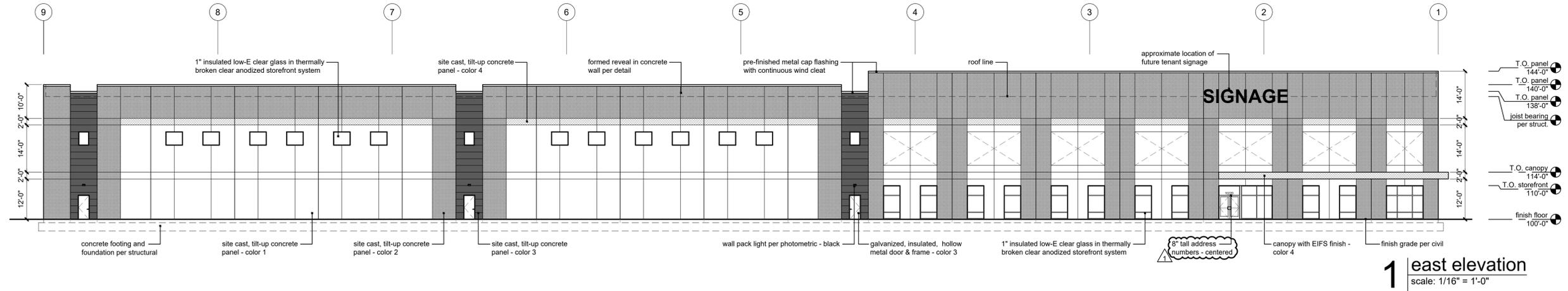
Sara Gabriel
 Sara Gabriel, FAICP
 Secretary of the City Plan Commission

exterior materials and finishes:

- concrete tilt up panels:**
- P1 - color: Sherwin Williams SW7063 "Nebulous White", Ultracrete Fine Texture, Low Sheen Egg-Shell, apply per manufacturer's recommendations
 - P2 - color: Sherwin Williams SW6255 "Morning Fog", Ultracrete Fine Texture, Low Sheen Egg-Shell, apply per manufacturer's recommendations
 - P3 - color: Sherwin Williams SW7076 "Cyberspace", Ultracrete Fine Texture, Low Sheen Egg-Shell, apply per manufacturer's recommendations
 - P4 - color: Sherwin Williams custom match to Owner's logo red, Ultracrete Fine Texture, Low Sheen Egg-Shell, apply per manufacturer's recommendations

- caulk:** caulking colors selected to match adjacent walls
- storefront:** anodized aluminum frame, color: clear
- EIFS canopies:** direct applied EIFS system, fine finish, color: to match P-4
- glass:** 1" insulated low-E glass with argon fill
 *use SOLARBAN 60 as basis (to meet U-value .29)
- pre-finished metal cap flashing, gutters, downspouts, and scuppers:** Holcim Elevate, color: "Cityscape"
- exterior hollow metal doors and frames:** Paint to match adjacent wall color
 Pro Industrial High Performance Epoxy, semi-gloss, (1 coat primer, 2 coats paint to cover)

- bollards:** galvanized, paint safety yellow
- overhead doors:** manufacturer's pre-finished color: white
- dock seals:** dark gray
- signage:** all signage shall conform to the City of Kansas City, Missouri Zoning & Development Code 88-445 and shall require a sign permit prior to installation - (permit by sign vendor)



a new development for
Project Maartin
 10220 N Everton Avenue
 Kansas City, Missouri 64153

date 08.28.2024
drawn by DAE
checked by DAE
revisions

09.16.2024	1
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sheet number
A3.1
drawing type preliminary
project number 23239



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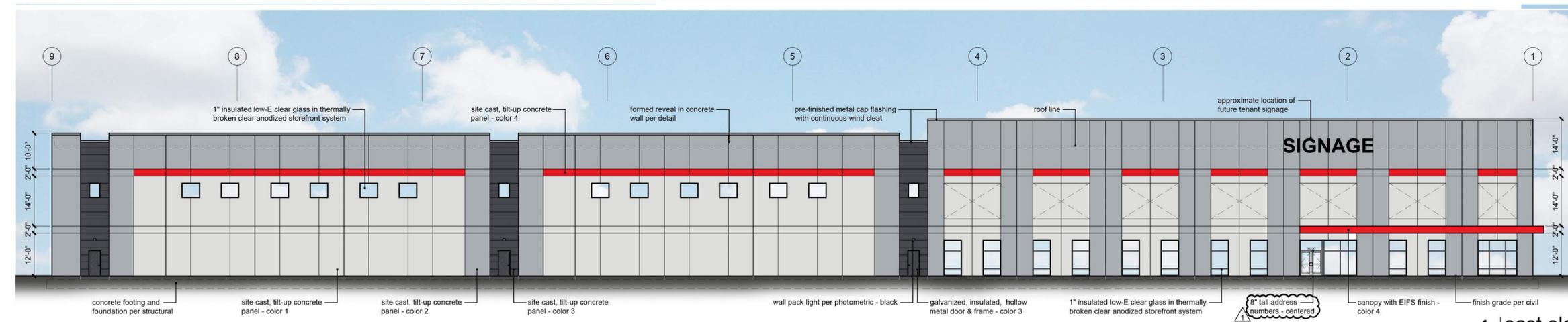
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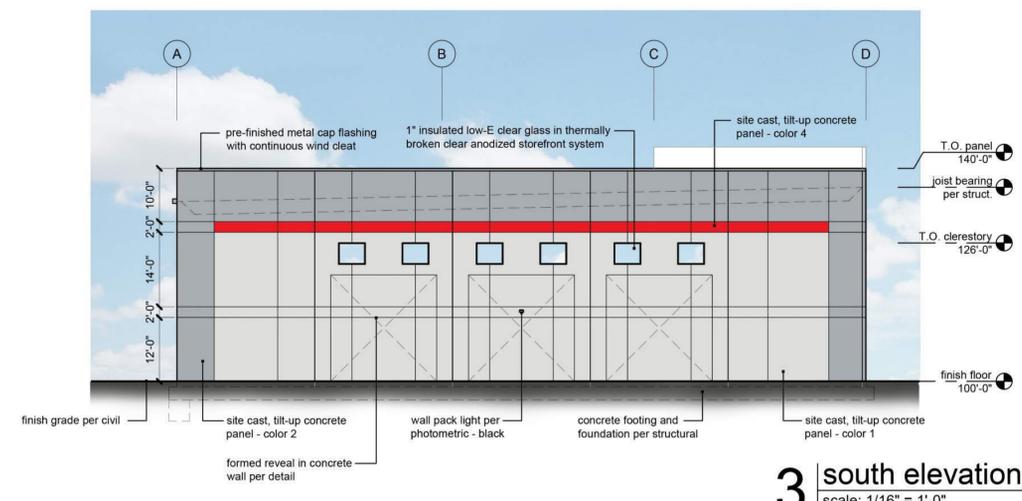
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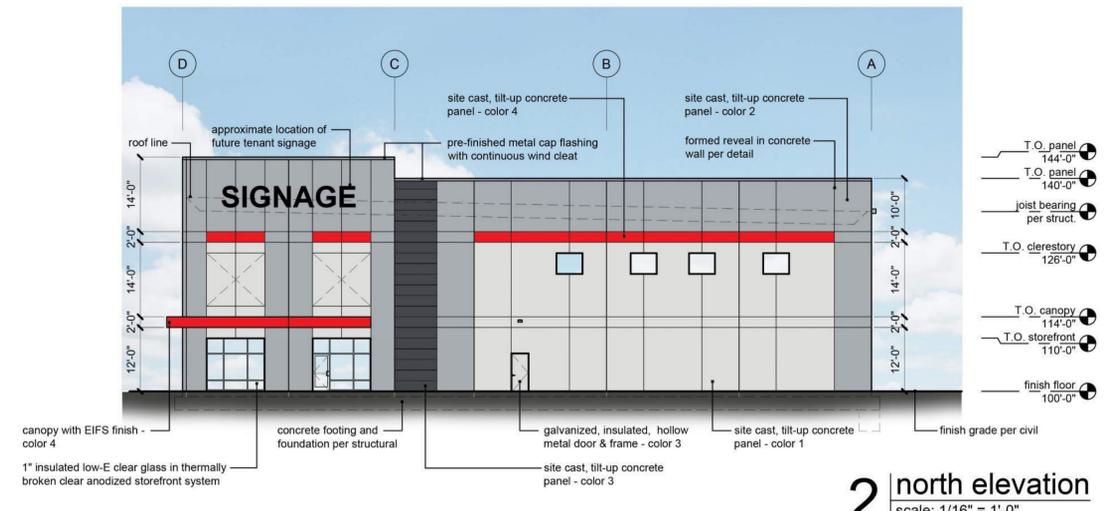


- T.O. panel 144'-0"
- T.O. panel 140'-0"
- T.O. panel 138'-0"
- joist bearing per struct.
- T.O. canopy 114'-0"
- T.O. storefront 110'-0"
- finish floor 100'-0"

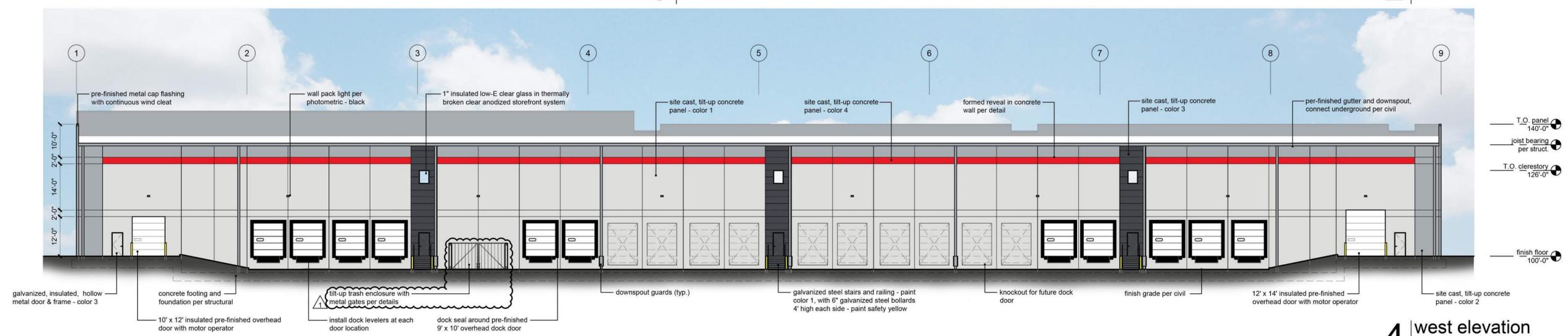
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 scale: 1/16" = 1'-0"



3 south elevation
 scale: 1/16" = 1'-0"



2 north elevation
 scale: 1/16" = 1'-0"



4 west elevation
 scale: 1/16" = 1'-0"

a new development for
Project Maartin
 10220 N Everton Avenue
 Kansas City, Missouri 64153

date 07.10.2024
 drawn by DAE
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 revisions

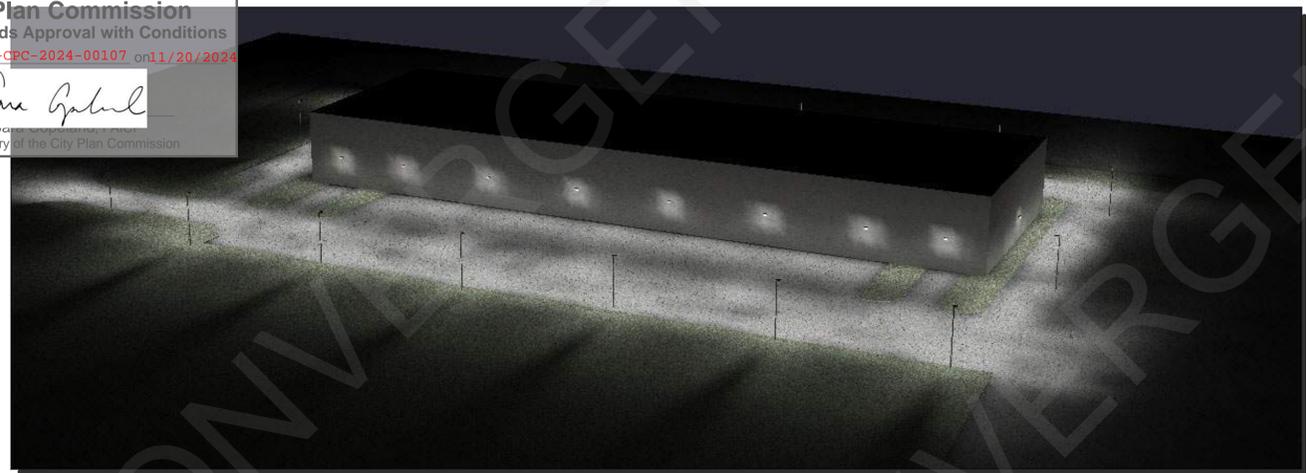
sheet number
A3.2
 drawing type
 planning
 project number
 23239

LIGHTING FIXTURE SCHEDULE

SYB.	TAG	QTY.	MODEL	DISCRIPTION	LLF	WATTS	LUMENS
	A-S2	4	(1) RAR2-480L-255-3K7-2-BC	BEACON-RATIO-3000°K-TYPE II-BC-SINGLE MT	0.900	257	20251
	B-S3	4	(1) RAR2-480L-295-3K7-3-BC	BEACON-RATIO-3000°K-TYPE III-BC-SINGLE MT	0.900	294	27338
	C-4F	6	(1) RAR2-480L-255-3K-4F-BC	BEACON-RATIO-3000°K-TYPE IV F-BC-SINGLE MT	0.900	255	29429
	D1	8	NU4-RD-SW-30K-LOPRO	ALPHABET-BRUCK-4 IN RD-3000°K-LOW PROFILE	0.900	26.72	2234
	L1	10	RBD-42L-23-3K7-270	BEACON RATIO BOLLARD-SQUARE-42 IN H-3000°K	0.900	27.5	2162
	WP1	8	RWL1-48L-45-3K7-3	BEACON -RATIO-WALL PK-3000°K-TYPE III DIST.	0.900	46.5	5561
	WP2	5	RWL1-48L-20-3K7-4W	BEACON RATIO WALL PK-TYPE IV DIST-3000°K	0.900	19.9	2569

City Plan Commission
 Recommends Approval with Conditions
 of Case No CD-CPC-2024-00107 on 11/20/2024

Sara Gabriel
 Secretary of the City Plan Commission



VIEW OF DOCK DOORS



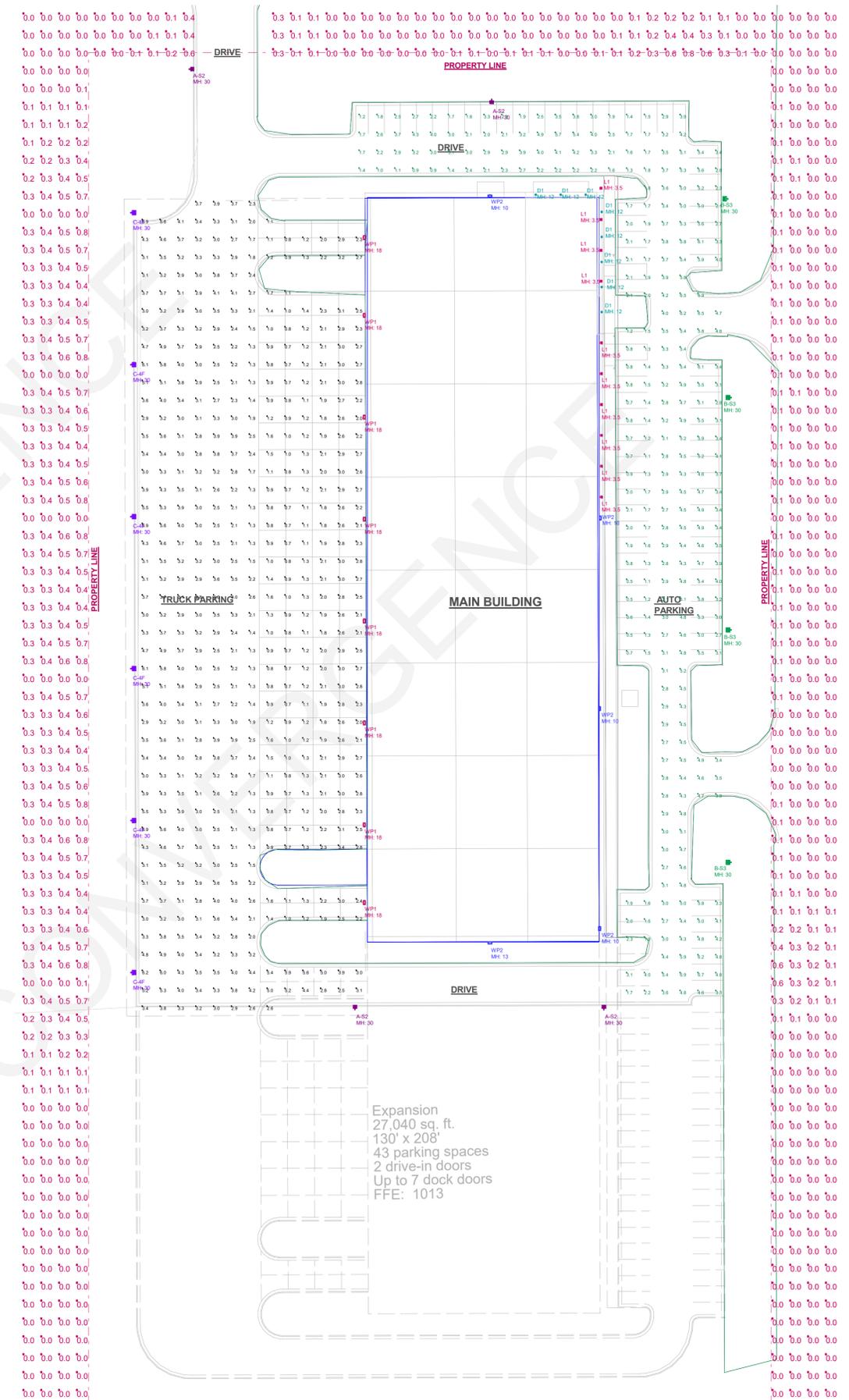
REVISED ENTRANCE

INFORMATION CONTAINED IN THIS DOCUMENT IS FOR REVIEW PURPOSES ONLY. REFERENCES, RECOMMENDED PRACTICES, AND INDUSTRY STANDARDS ARE FOR LIGHT LEVEL & CALCULATION PURPOSES. THE USE OF THIS DOCUMENT FOR FINAL CONSTRUCTION DOCUMENTS IS STRICTLY PROHIBITED.

CALCULATION SUMMARY IN FOOT-CANDLES

AREA	Avg	Max	Min	Max/Min
AUTO PARKING	3.3	6.9	0.5	13.8
PROP LINE-EASEMENT	0.1	0.8	0.0	N.A.
TRUCK PARKING	2.7	6.2	0.7	8.9

ASSUMPTIONS:
 Goal Illuminance:
 Parking: Avg. 2.5-3.5 FCs
 Min. FCs: 0.5 FCs
 Less than 15:1 Max to Min
 Fixtures Mounting Height:
 30'-0" Poles
 10 & 18'-0" Wall Mounted
 Building Height:
 Tallest Parapet: 44'*0"
 Reflectance's:
 Asphalt: 37%
 Stone/Stucco Bld: 50%
 Calculation Plane: @ 0'-0"



SITE LIGHTING PHOTOMETRICS
 Scale: 1 inch= 40 Ft. (printed on an ANSI D Paper Size)

THIS DRAWING AND DESIGNS THEREON SHALL NOT BE DUPLICATED, USED OR DISCLOSED TO OTHERS FOR PROCUREMENT OR OTHER PURPOSES, EXCEPT AS OTHERWISE AUTHORIZED BY CONTRACT, WITHOUT EXPRESS WRITTEN CONSENT OF CONVERGENCE PARTNERS, INC. ALL REPRODUCTIONS SHALL BEAR THIS NOTICE



103 E 18th Avenue
 North Kansas City, MO 64116
 Phone: (816) 581-6300

Project Maartin
 10220 N Everton Avenue
 Kansas City, Missouri 64153

CALC-0195-MAARTIN EXTERIOR SITE LTG-KCMO-REV-02

DESIGNED BY: DJT

REVISIONS

REV-01: PER ARCH REDLINES
 REV-02: Add Prop Ln

DATE: 8/30/2024

PROPERTY LINE