

GENERAL INFORMATION

1.	BUILDING NO.1: AREA (2 'A' UNITS and 3 'B' UNITS):	
	7,856 GROSS SQUARE FOOTAGE	
	6,704 NET SQUARE FOOTAGE	
2.	UNIT 'A' AREA:	
	982 G.S.F.	844 NET S.F.
	TOTAL:	844 NET S.F.
3.	UNIT 'B' AREA:	
	982 G.S.F.	848 NET S.F.
	SECOND FLOOR:	824 NET S.F.
	TOTAL:	1,964 G.S.F. 1,672 NET S.F.

ARCHITECTURAL LEGEND

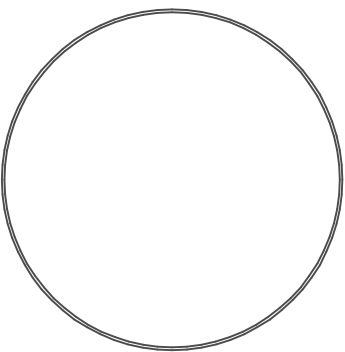
CRAIG T.
WATSON
ARCHITECT

ARCHITECTURE
INTERIORS
PLANNING
MANAGEMENT

2525 MAIN STREET, SUITE 107
KANSAS CITY, MISSOURI 64108
tel: 816.861.4900
email: timlisark@aol.com

Project 20484

DISTRICT ROW LLC
WESTERN BAPTIST BIBLE COLLEGE
35 UNIT TOWNHOUSE DEVELOPMENT
2119 TRACY AVENUE
KANSAS CITY, MISSOURI 64108

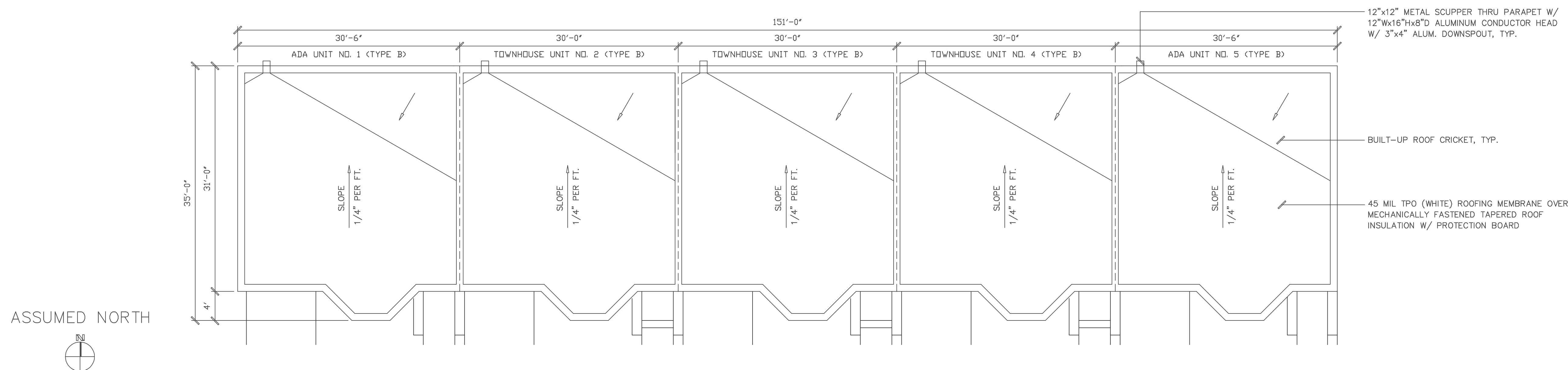
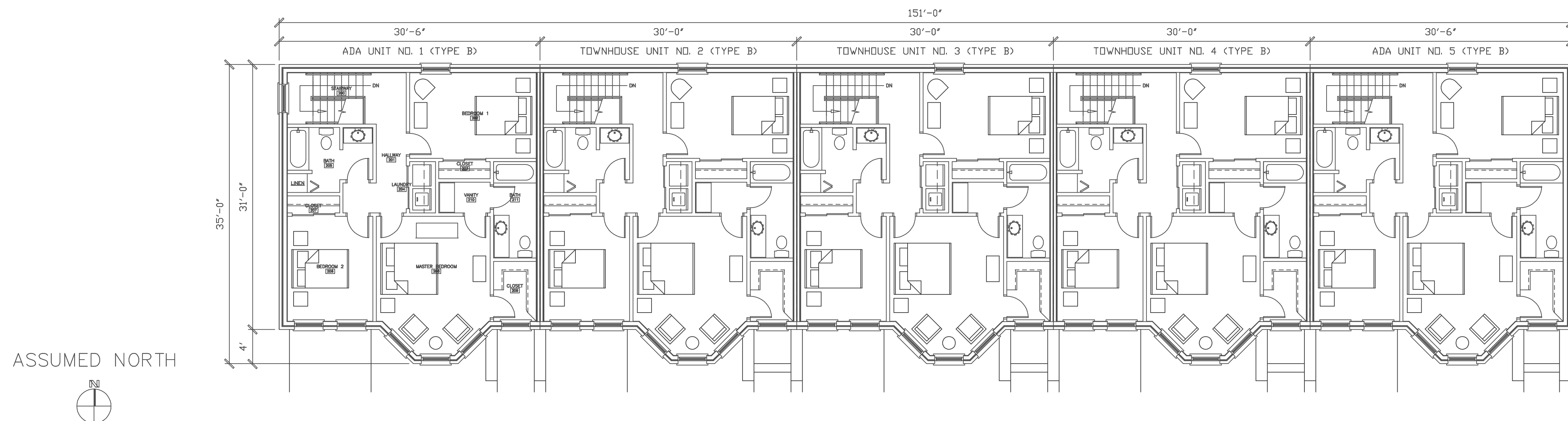
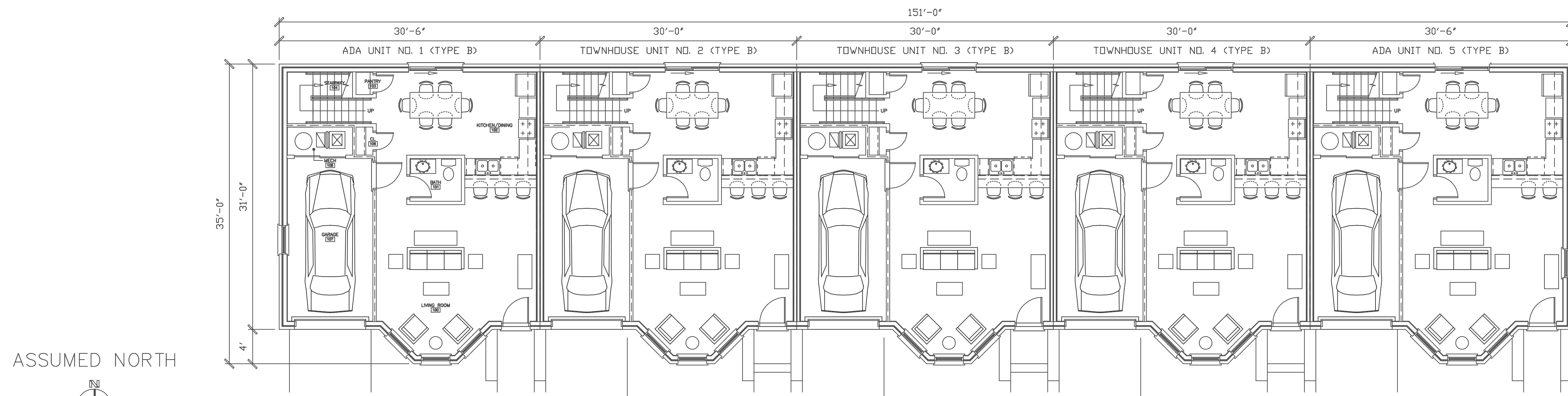
[illegible]

Bldg. No. 1
First Floor,
Second Floor
& Roof Plans

A

1.0

CRAIG T. WATSON, AIA EXPRESSLY RESERVES ITS
 COMMON LAW COPYRIGHT AND OTHER APPLICABLE
 PROPERTY RIGHTS IN THESE PLANS. THESE PLANS
 ARE NOT TO BE REPRODUCED, CHANGED OR COPIED
 IN ANY MANNER OR FORM WHATSOEVER, NOR ARE
 THEY TO BE ASSIGNED TO A THIRD PARTY WITHOUT
 FIRST OBTAINING THE WRITTEN PERMISSION AND
 CONSENT OF CRAIG T. WATSON, AIA. IN THE EVENT
 OF UNAUTHORIZED REUSE OR MODIFICATION OF
 THESE PLANS BY A THIRD PARTY, THE THIRD
 PARTY SHALL HOLD CRAIG T. WATSON, AIA
 HARMLESS AND BEAR ALL COSTS INCLUDING LEGAL
 FEES ASSOCIATED WITH CRAIG T. WATSON, AIA,
 DEFENDING AND ENFORCING THESE RIGHTS.



GENERAL INFORMATION		
1.	BUILDING NO. 2-7: AREA (5 'B' UNITS): 9,820 GROSS SQUARE FOOTAGE 8,360 NET SQUARE FOOTAGE	
2.	UNIT 'B' AREA: FIRST FLOOR: 982 G.S.F. 848 NET S.F. SECOND FLOOR: 982 G.S.F. 824 NET S.F. TOTAL: 1,964 G.S.F. 1,672 NET S.F.	

ARCHITECTURAL LEGEND

CRAIG T.
WATSON
ARCHITECT

ARCHITECTURE
INTERIORS
PLANNING
MANAGEMENT

2525 MAIN STREET, SUITE 107
KANSAS CITY, MISSOURI 64108
tel: 816.861.4900
email: timlisark@aol.com

Project 20484

DISTRICT ROW LLC
WESTERN BAPTIST BIBLE COLLEGE
35 UNIT TOWNHOUSE DEVELOPMENT
2119 TRACY AVENUE
KANSAS CITY, MISSOURI 64108

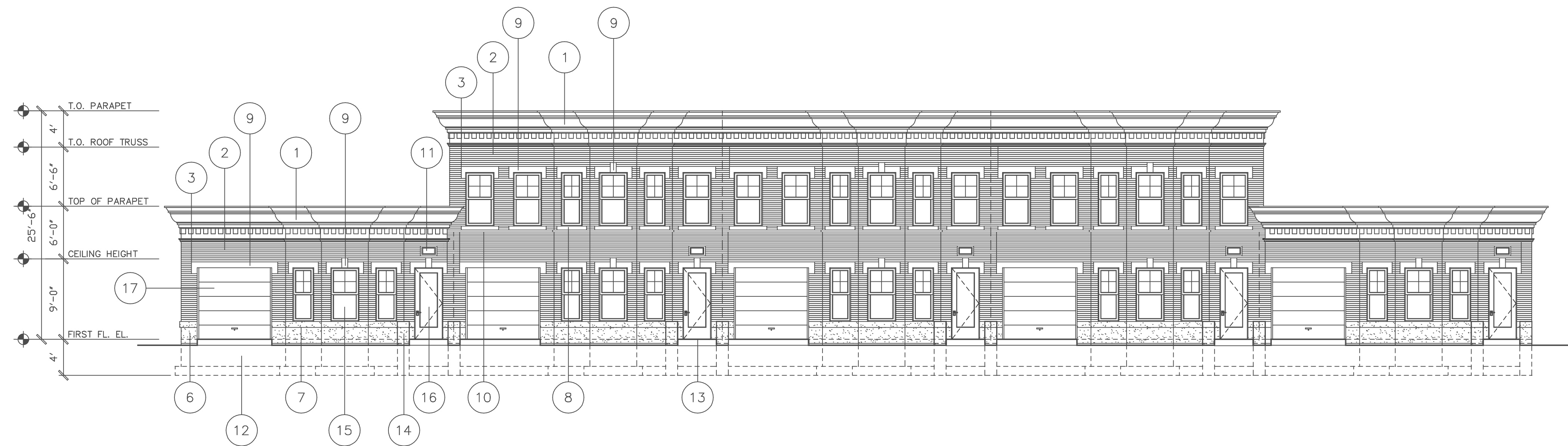
[illegible]

Bldg. No. 2-7
First Floor,
Second Floor
& Roof Plans

A

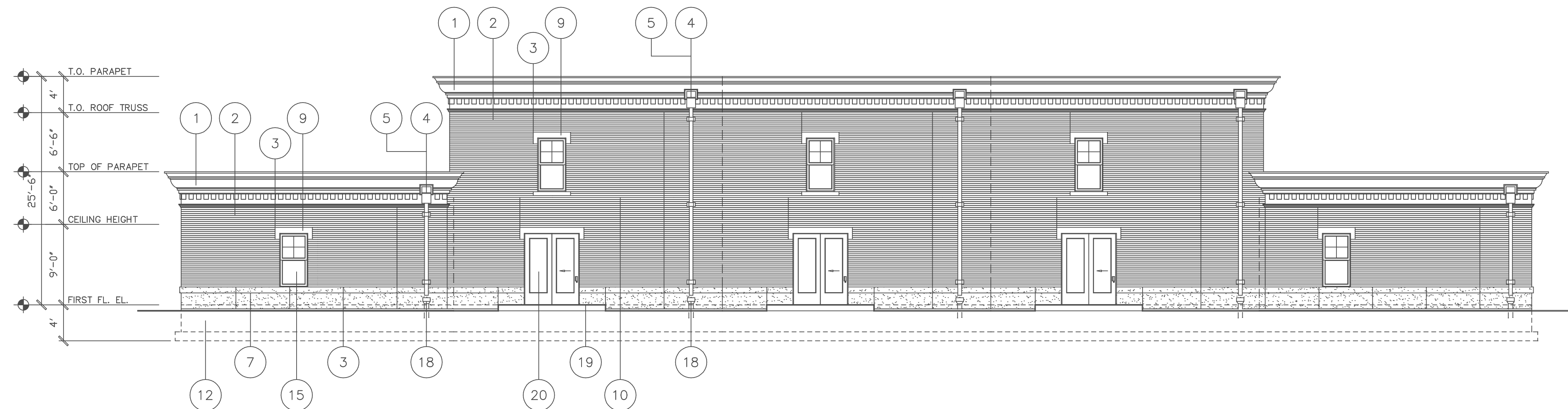
2.0

CRAIG T. WATSON, AIA EXPRESSLY RESERVES ITS
 COMMON LAW AND EYRIGHT IN THEIR APPLICABLE
 PROPERT RIGHTS IN THESE PLANS. THESE PLANS
 ARE NOT TO BE REPRODUCED, CHANGED OR COPIED
 IN ANY MANNER OR FORM WHATSOEVER, NOR ARE
 THEY TO BE ASSIGNED TO A THIRD PARTY WITHOUT
 FIRST OBTAINING THE WRITTEN PERMISSION AND
 CONSENT OF CRAIG T. WATSON, AIA. IN THE EVENT
 OF UNAUTHORIZED REUSE OR MODIFICATION OF
 THESE PLANS BY A THIRD PARTY, THE THIRD
 PARTY SHALL HOLD CRAIG T. WATSON, AIA
 HARMLESS AND BEAR ALL COSTS INCLUDING LEGAL
 FEES ASSOCIATED WITH CRAIG T. WATSON, AIA,
 DEFENDING AND ENFORCING THESE RIGHTS.



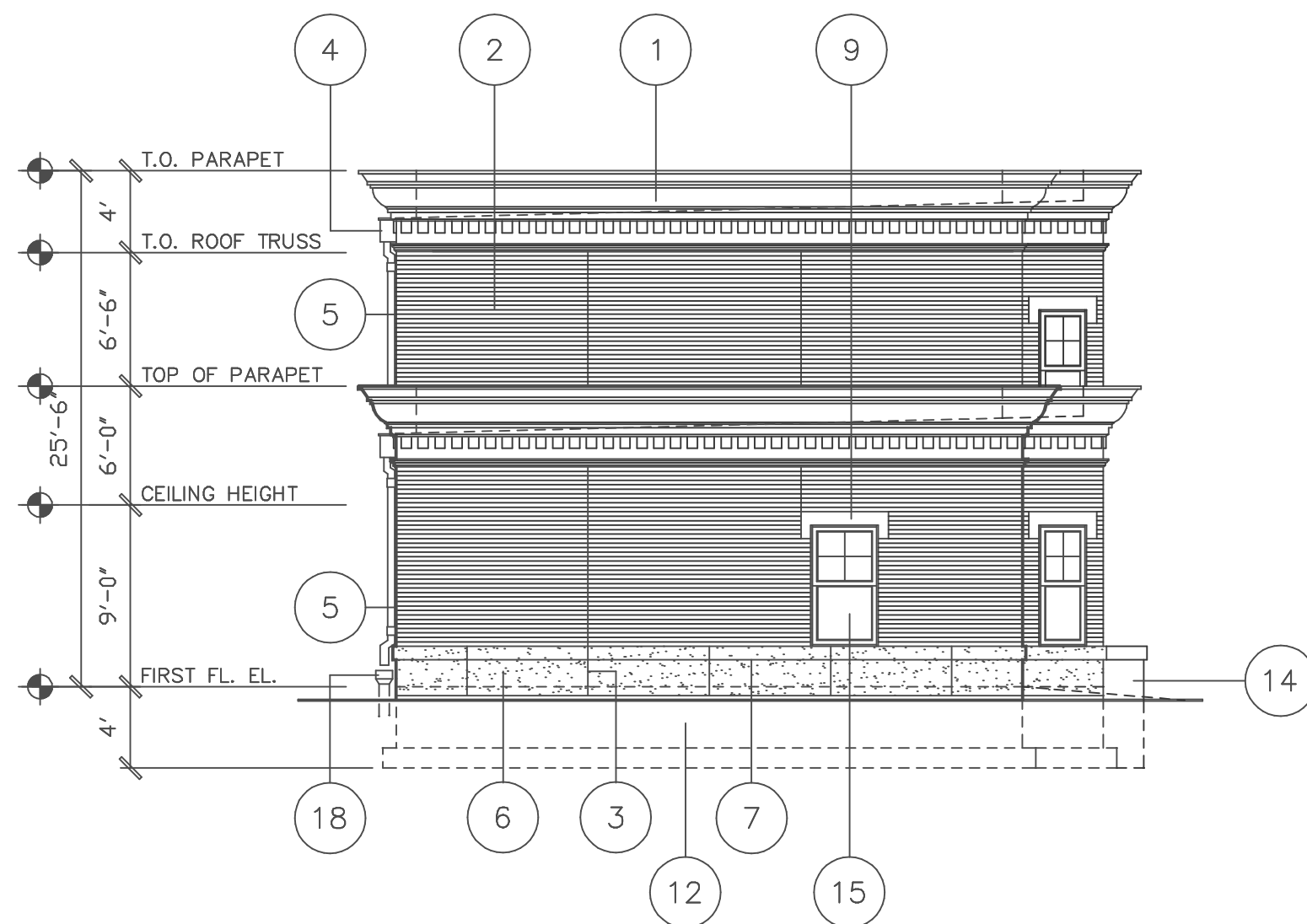
1	FRONT ELEVATION
---	-----------------

SCALE: $1/8"=1'-0"$



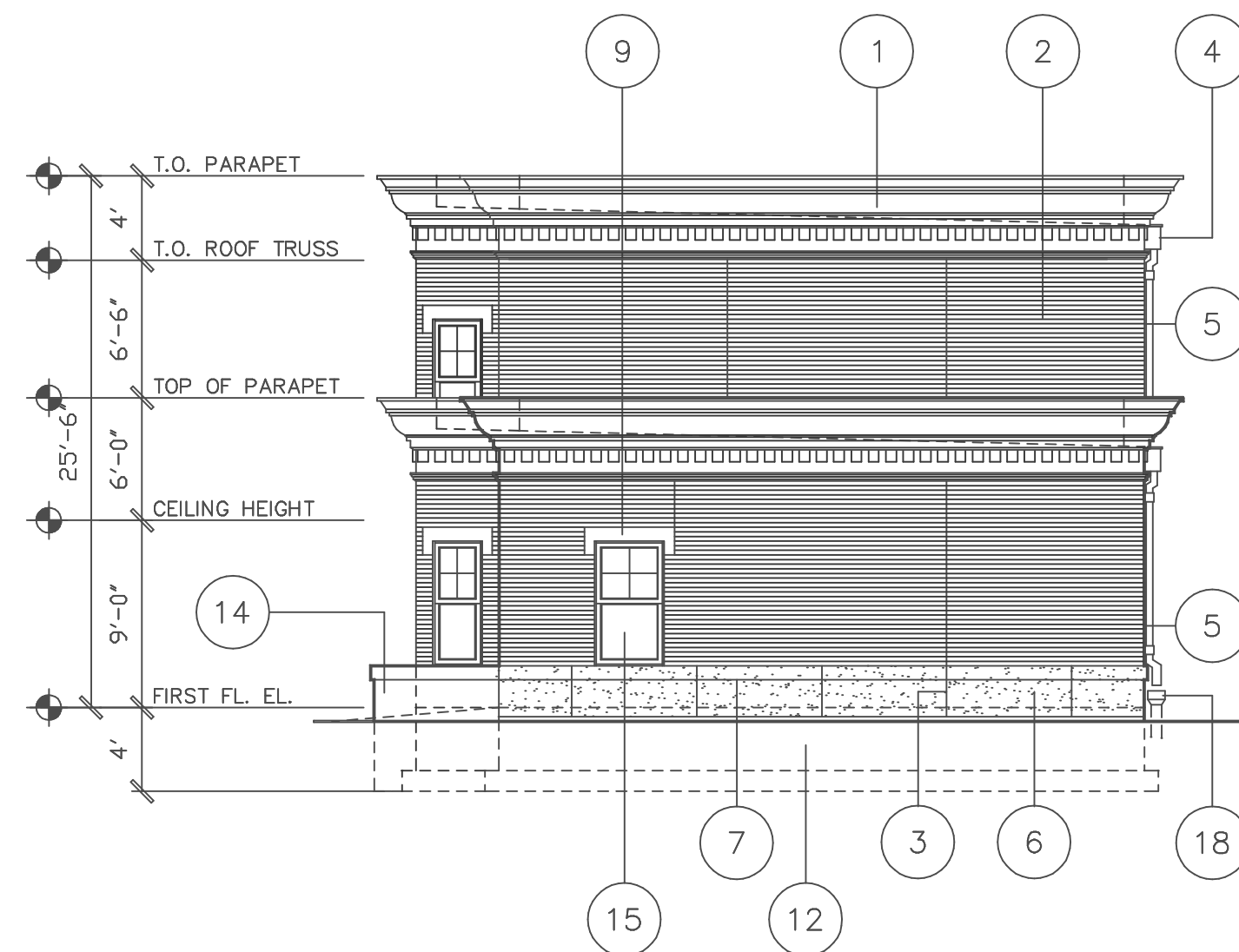
2 REAR ELEVATION

SCALE: 1/8"=1'-0"



3	LEFT ELEVATION
---	----------------

SCALE: $1/8"=1'-0"$



4	RIGHT ELEVATION
---	-----------------

SCALE: $1/8"=1'-0"$

MATERIAL LEGEND

- 1 4" HIGH PRE-MOLDED FIBERGLASS ENTABLATURE WITH METAL PARAPET CAP
- 2 4" BRICK VENEER, MATCH EXISTING MASONRY ON WESTERN BAPTIST COLLEGE BUILDING (FORMERLY THE GILLIS ORPHAN HOUSE)
- 3 CAST CONCRETE PANEL/BRICK VENEER CONTROL JOINT WITH BACKER ROD AND SEALANT, COLOR SELECTED BY ARCHITECT
- 4 12"x12" METAL SCUPPER THRU PARAPET W/ 12"Wx16"Hx10"D ALUMINUM CONDUCTOR HEAD, COLOR SELECTED BY ARCHITECT
- 5 4"x5" ALUM. DOWNSPOUT W/ HANGERS TOP AND BOTTOM, PLUS ONE AT MID-SPAN, COLOR SELECTED BY ARCHITECT
- 6 4" THICK CAST CONCRETE SILL PANEL WITH SAND TEXTURED FINISH, COLOR SELECTED BY ARCHITECT
- 7 1"x1" RECESSED ACCENT IN CONCRETE SILL PANEL AND CAST CONCRETE WING WALL
- 8 4"Dx5 5/16"H CAST STONE SILL WITH MINIMUM 4" BEARING EACH SIDE OF OPENING
- 9 4"Dx8"H CAST STONE LINTEL WITH MINIMUM 6" BEARING EACH SIDE OF OPENING
- 10 4"Dx5 5/16"H CAST STONE HORIZONTAL BAND
- 11 CAST BRONZE ADDRESS SIGNAGE RECESSED IN BRICK VENEER FACING
- 12 CAST-IN-PLACE CONCRETE FOUNDATION WALL AND FOOTINGS, REFERENCE STRUCTURAL DRAWINGS
- 13 CONCRETE STEPS AND WALKWAYS WITH HEAVY-DUTY BROOM FINISH, REFERENCE CIVIL DRAWINGS
- 14 CAST-IN-PLACE CONCRETE WING WALL, INTEGRAL COLOR FINISH TO BE SELECTED BY ARCHITECT
- 15 SINGLE HUNG VINYL CLAD WOOD WINDOW WITH INSUL. LOW 'E' GLASS
- 16 METAL CLAD WOOD ENTRY DOOR WITH FULL LITE, CLEAR TEMPERED INSULATED GLASS, COLOR SELECTED BY ARCHITECT
- 17 STEEL INSULATED OVERHEAD GARAGE DOOR WITH DOOR OPENER AND KEYPAD
- 18 DOWNSPOUTS ROUTED TO UNDERGROUND STORM DRAINAGE SYSTEM
- 19 16'Lx10'D CONCRETE PATIO W/ HEAVY BROOM FINISH
- 20 METAL CLAD WOOD SLIDING PATIO DOOR W/ SLIDING SCREEN DOOR, FULL LITE, CLEAR TEMPERED INSULATED GLASS

CRAIG T. WATSON, AIA EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER APPLICABLE PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY MANNER OR FORM WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO A THIRD PARTY WITHOUT FIRST OBTAINING THE WRITTEN PERMISSION AND CONSENT OF CRAIG T. WATSON, AIA. IN THE EVENT OF UNAUTHORIZED REUSE OR MODIFICATION OF THESE PLANS BY A THIRD PARTY, THE THIRD PARTY SHALL HOLD CRAIG T. WATSON, AIA HARMLESS AND BEAR ALL COSTS INCLUDING LEGAL FEES ASSOCIATED WITH CRAIG T. WATSON, AIA, DEFENDING AND ENFORCING THESE RIGHTS.


GILLIS / WESTERN BAPTIST BIBLE COLLEGE

DESIGN DEVELOPMENT

2119 TRACY AVENUE, KANSAS CITY, MO 64108
AUGUST 25, 2017

OWNER: DISTRICT ROW, LLC 1601 E. 18TH STREET, SUITE 120 KANSAS CITY, MO 64108 T: CONTACT: KAREN CURIS	ARCHITECT OF RECORD: STRATA ARCHITECTURE INC. 1701 OAK STREET, SUITE 100 KANSAS CITY, MISSOURI 64108 T: 816.474.0900 CONTACT: ANGIE GAEBLER, AIA - PROJECT ARCHITECT	CIVIL ENGINEER: DUBOIS CONSULTANTS 5737 SWOPE PARKWAY KANSAS CITY, MO 64130 T: 816.333.7700 CONTACT:	STRUCTURAL ENGINEER: DUBOIS CONSULTANTS 5737 SWOPE PARKWAY KANSAS CITY, MO 64130 T: 816.333.7700 CONTACT: ADIEL W. TAUHEED	MEP: CUSTOM ENGINEERING, INC. 12760 EAST HIGHWAY 40 INDEPENDENT, MO 64055 T: 816.350.1473 CONTACT: ANDREW DAILEY
--	---	--	---	---





STRATA
ARCHITECTURE + PRESERVATION
— 1701 Oak Street, Suite 100, Kansas City, Missouri 64108 —
816.474.0900 — www.strata-arch.com

Missouri State Certificate of Authority #2009024884

WESTERN BAPTIST BIBLE COLLEGE
BUILDING REHABILITATION
2119 TRACY AVE.
KANSAS CITY, MO 64108

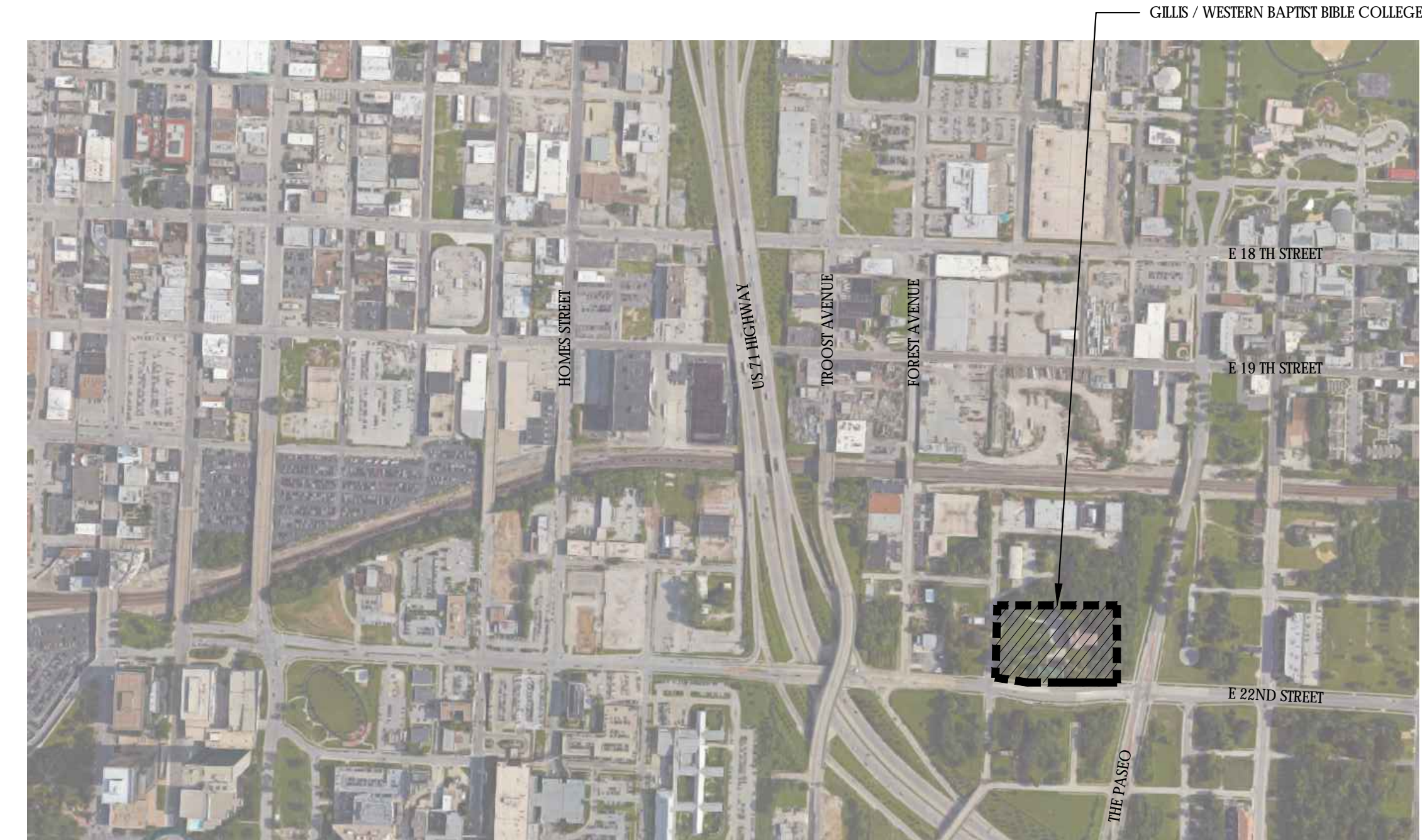
DESIGN DEVELOPMENT
NOT FOR CONSTRUCTION

All drawings and written information
appearing herein shall not be
duplicated, disclosed or otherwise
used without the written consent of
the architect.

DATE: AUGUST 25, 2017
REVISION & DATE:

DESIGN DEVELOPMENT
COVER
SHEET NUMBER:

G000



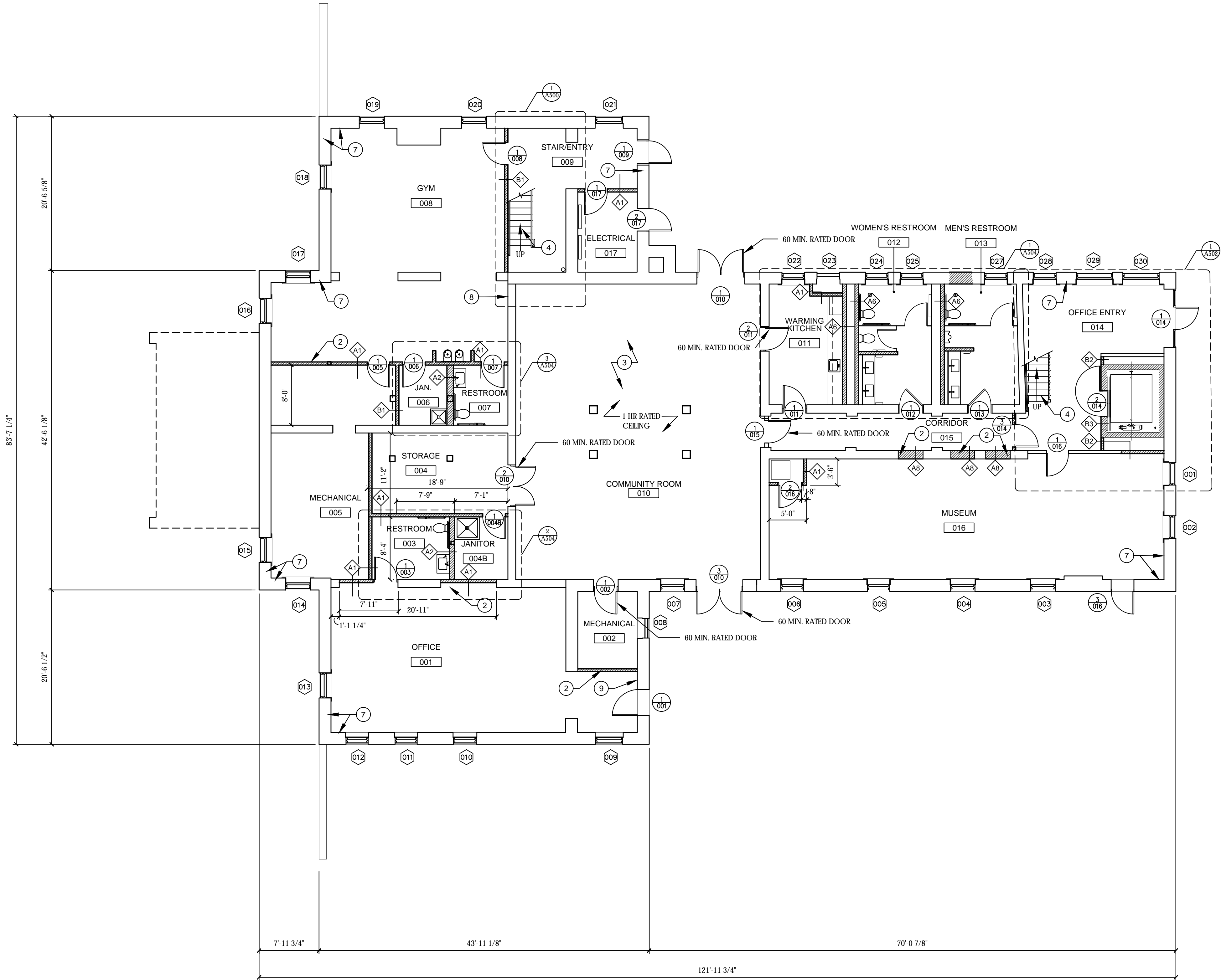
SITE VICINITY MAP



SHEET INDEX:

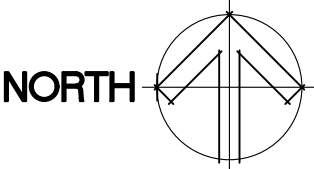
G000	COVER	
CIVIL DRAWINGS:		
C100	SITE PLAN AND DETAILS	
C101	SITE DETAILS	
ARCHITECTURAL DRAWINGS:		
A001	GENERAL INFORMATION	
A002	WINDOW SCHEDULE	
A003	WINDOW SCHEDULE	
AD100	DEMOLITION GROUND FLOOR PLAN	
AD101	DEMOLITION FIRST FLOOR PLAN	
AD102	DEMOLITION SECOND FLOOR PLAN	
AD103	DEMOLITION THIRD FLOOR PLAN	
AD104	DEMOLITION ROOF PLAN	
A100	GROUND FLOOR PLAN	
A101	FIRST FLOOR PLAN	
A102	SECOND FLOOR PLAN	
A103	THIRD FLOOR PLAN	
A104	ROOF PLAN	
A150	GROUND FLOOR REFLECTED CEILING PLAN	
A151	FIRST FLOOR REFLECTED CEILING PLAN	
A152	SECOND FLOOR REFLECTED CEILING PLAN	
A153	THIRD FLOOR REFLECTED CEILING PLAN	
A201	SOUTH ELEVATION LEGEND	
A202	EAST ELEVATION LEGEND	
A203	EAST ELEVATION LEGEND	
A204	NORTH ELEVATION LEGEND	
A205	NORTH ELEVATION LEGEND	
A206	WEST ELEVATION LEGEND	
A207	WEST ELEVATION LEGEND	
A208	SOUTH ELEVATION ENLARGED ELEVATIONS	
A209	SOUTH ELEVATION ENLARGED ELEVATIONS	
A210	SOUTH ELEVATION ENLARGED ELEVATIONS	
A211	SOUTH ELEVATION ENLARGED ELEVATIONS	
A212	SOUTH AND EAST ELEVATION ENLARGED ELEVATIONS	
A213	EAST ELEVATION ENLARGED ELEVATIONS	
A214	EAST ELEVATION ENLARGED ELEVATIONS	
A215	EAST AND NORTH ELEVATIONS ENLARGED ELEVATIONS	
A216	NORTH ELEVATION ENLARGED ELEVATIONS	
A217	NORTH ELEVATION ENLARGED ELEVATIONS	
A218	NORTH ELEVATION ENLARGED ELEVATIONS	
A219	NORTH AND WEST ELEVATIONS ENLARGED ELEVATIONS	
A220	WEST ELEVATION ENLARGED ELEVATIONS	
A221	WEST ELEVATION ENLARGED ELEVATIONS	
A222	WEST ELEVATION ENLARGED ELEVATIONS	
A500	ENLARGED PLANS - STAIRS	
A501	ENLARGED PLANS - STAIRS	
A502	ENLARGED PLANS - STAIRS	
A503	ENLARGED PLANS - STAIRS	
A504	ENLARGED PLANS - BATHROOMS	
A505	ENLARGED PLANS - BATHROOMS	
A600	INTERIOR ELEVATIONS	
A601	INTERIOR ELEVATIONS	
A602	INTERIOR ELEVATIONS	
A603	INTERIOR ELEVATIONS	
A700	GROUND FLOOR FINISH PLAN (NOT ISSUED)	
A701	FIRST FLOOR FINISH PLAN (NOT ISSUED)	
A702	SECOND FLOOR FINISH PLAN (NOT ISSUED)	
A703	THIRD FLOOR FINISH PLAN (NOT ISSUED)	
STRUCTURAL DRAWINGS:		
S001	STRUCTURAL GENERAL INFORMATION	
S002	LEGENDS & ABBREVIATIONS	
S003	STANDARD CONCRETE DETAILS	
DX100	DEMOLITION GROUND FLOOR PLAN	
DX101	DEMOLITION FIRST FLOOR PLAN	
DX102	DEMOLITION SECOND FLOOR PLAN	
DX103	DEMOLITION THIRD FLOOR PLAN	
S100	GROUND FLOOR PLAN	
S101	FIRST FLOOR PLAN	
S102	SECOND FLOOR PLAN	
S103	THIRD FLOOR PLAN	
S104	ROOF PLAN & SECTIONS	
ELECTRICAL DRAWINGS:		
E000	ELECTRICAL LEGEND	
E001	ELECTRICAL SITE PLAN	
E100	POWER GROUND FLOOR PLAN	
E101	POWER FIRST FLOOR PLAN	
E102	POWER SECOND FLOOR PLAN	
E103	POWER THIRD FLOOR PLAN	
E104	POWER ROOF FLOOR PLAN	
E105	POWER ATTIC FLOOR PLAN	
E200	LIGHTING GROUND FLOOR PLAN	
E201	LIGHTING FIRST FLOOR PLAN	
E202	LIGHTING SECOND FLOOR PLAN	
E203	LIGHTING THIRD FLOOR PLAN	
E204	LIGHTING ATTIC	
E300	ELECTRICAL ONE-LINE	
E400	ELECTRICAL DETAILS	
E401	LIGHT FIXTURE SCHEDULE	
FIRE ALARM PLAN:		
FA100	FIRE ALARM GROUND PLAN	
FA101	FIRE ALARM FIRST FLOOR PLAN	
FA102	FIRE ALARM SECOND FLOOR PLAN	
FA103	FIRE ALARM THIRD FLOOR PLAN	
FS100	FIRE SPRINKLER GROUND FLOOR PLAN	
FS101	FIRE SPRINKLER FIRST FLOOR PLAN	
FS102	FIRE SPRINKLER SECOND FLOOR PLAN	
FS103	FIRE SPRINKLER THIRD FLOOR PLAN	
FS104	FIRE SPRINKLER ATTIC FLOOR PLAN	
FS105	FIRE SPRINKLER SYSTEM RISER	
MECHANICAL DRAWINGS:		
M000	MECHANICAL LEGEND	
M100	MECHANICAL BASEMENT FLOOR PLAN	
M101	MECHANICAL FIRST FLOOR PLAN	
M102	MECHANICAL SECOND FLOOR PLAN	
M103	MECHANICAL THIRD FLOOR PLAN	
M104	MECHANICAL ROOF FLOOR PLAN	
PLUMBING DRAWINGS:		
P000	PLUMBING LEGEND	
P001	PLUMBING SCHEDULES	
P100	PLUMBING GROUND FLOOR PLAN	
P101	PLUMBING FIRST FLOOR PLAN	
P102	PLUMBING SECOND FLOOR PLAN	
P103	PLUMBING THIRD FLOOR PLAN	
P104	PLUMBING ROOF FLOOR PLAN	
P201	PLUMBING DETAILS	

STRUCTURAL DRAWINGS:	
S001	STRUCTURAL GENERAL INFORMATION
S002	LEGENDS & ABBREVIATIONS
S003	STANDARD CONCRETE DETAILS
DX100	DEMOLITION GROUND FLOOR PLAN
DX101	DEMOLITION FIRST FLOOR PLAN
DX102	DEMOLITION SECOND FLOOR PLAN
DX103	DEMOLITION THIRD FLOOR PLAN
S100	GROUND FLOOR PLAN
S101	FIRST FLOOR PLAN
S102	SECOND FLOOR PLAN
S103	THIRD FLOOR PLAN
S104	ROOF PLAN & SECTIONS



1 NEW GROUND FLOOR PLAN

Scale: 1/8" = 1'-0"



GENERAL FLOOR PLAN NOTES:

- A. THE WORK IN THESE DOCUMENTS IS BEING DONE TO AN EXISTING STRUCTURE. THE CONTRACTOR WILL BE SOLELY RESPONSIBLE FOR FIELD VERIFICATION OF ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK. ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES DETRIMENTAL TO THE PROPER EXECUTION OF NEW CONSTRUCTION.
- B. ALL DIMENSIONS ARE TO FACE OF FINISH MATERIAL OR CENTERLINE OF STRUCTURAL COMPONENTS, UNLESS NOTED OTHERWISE.
- C. PREPARE EXISTING SURFACE AS NECESSARY TO RECEIVE NEW CONSTRUCTION OR FINISHES.
- D. CONTRACTOR TO PATCH / REPAIR ALL EXISTING EXPOSED EXTERIOR AND INTERIOR SURFACES WITH MATCHING MATERIAL AND FINISH AS PART OF THE WORK IN THESE DOCUMENTS.
- E. AN ENVIRONMENTAL AUDIT IS AVAILABLE FOR GENERAL INFORMATION. HAZARDOUS MATERIALS ARE ANTICIPATED. IF ANY HAZARDOUS MATERIAL IS ENCOUNTERED, WORK SHALL NOT PROCEED UNTIL THE HAZARDOUS MATERIAL HAS BEEN REMOVED FROM THE BUILDING AND/OR SITE AS PART OF THE WORK IN THESE DOCUMENTS.
- F. ALL WORK TO COMPLY WITH CITY, STATE AND FEDERAL REGULATORY REQUIREMENTS.
- G. ALL EXISTING WOOD FLOORS ARE TO REMAIN AND BE REFINISHED, UNLESS OTHERWISE NOTES. FLOORS TO BE LIGHTLY SANDED AND REFINISHED. INSTALL NEW SATIN FINISH FOR EASE OF MAINTENANCE.
- H. ALL PLASTER THAT IS IN GOOD CONDION ON EXISTING WALLS SHALL REMAIN. AREAS OF DELAMINATING AND FLAKING PLASTER SHALL BE PATCHED AND REPAIRED. WHERE APPLIED TO MASONRY, A BONDING PRIMARY S TO BE UTILIZED PRIOR TO INSTALLATION OF NEW PLASTER. USE OF ALTERNATE MATERIALS, I.E. BLUE BOARD SKIM COATED, IS ACCEPTABLE AT WOOD LATH PARTITIONS.
- I. WHERE NEW MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS ARE INSTALLED AT THE CEILING, IT IS ACCEPTABLE FOR REMOVAL OF PLASTER AND INSTALLATION OF NEW GYPSUM BOARD WITH A SKIM COATING OF VENEER PLASTER.
- J. ALL WINDOWS ARE TO BE REPLACED WITH AN ALUMINUM DOUBLE HUNG WINDOW, UNLESS OTHERWISE NOTED. BASIS OF DESIGN IS XXX. CONTRACTOR TO PROVIDE ALTERNATE PRICING FOR ALUMINUM DOUBLE HUNG WINDOW. BASIS OF DESIGN IS QUAKER HISTORICAL SERIES.
- K. EXISTING PLASTER INTERIOR WALLS THAT REMAIN SHALL BE COATED WITH PINK BOUNDING AGENT AND THEN SKIM COATED WITH A TOP PLASTER COAT.

KEYED NOTES - FLOOR PLANS:

- 1. INFILL EXISTING OPENING. INSTALL NEW BLUE BOARD WITH TWO SKIM COATS TO EMULATE HISTORIC PLASTER. FUR BOARD TO MATCH EXSTING HISTORIC LATH AND PLASTER THICKNESS. PLASTER FINISH TO MATCH FINISH ADJACENT TO NEW VENEER PLASTER.
- 2. NEW GYPSUM BOARD WALL. REFERENCE WALL TYPES.
- 3. EXISTING RECESSED FLOOR TO BE INFILLED TO BE LEVEL WITH TYPICAL GROUND FLOOR LEVEL. INSTALL FLOOR DRAIN AND SUMP PUMP BELOW NEW FLOOR TO INSURE WATER DOES NOT SETTLE BELOW NEW FLOOR. ACCESS TO DRAIN AND SUMP PUMP MUST BE PROVIDED.
- 4. LIGHTLY SAND, WOOD NEWELS, RAILINGS AND BALUSTERS OF HISTORIC WOOD STAIRS. INSTALL REPLICATED BALUSTERS WHERE REQUIRED. INSTALL NEW HANDRAIL. EXTENSION FOR ACCESSIBILITY AND CODE COMPLIANCE. INSTALL STRUCTURAL REINFORCING WHERE REQUIRED. RE: STRUCTURAL DRAWINGS.
- 5. EXISTING BALCONY REQUIRES REFRAMING. RE: STRUCTURAL DRAWINGS. CAREFULLY REMOVE EXISTING RAIL TO REFINISHED. A NEW REPRODUCTION RAIL SHOULD BE MADE TO MATCH THE EXSTING.
- 6. INFILL PORCH OPENINGS WITH NEW WALLS AND WINDOWS. REFERENCE WINDOW SCHEDULE AND ELEVATION DETAILS FOR MORE INFORMATION.
- 7. STONE FOUNDATION WALL IS TO REMAIN EXPOSED. STONE TO BE CLEANED OF ALL BIOLOGICAL MATERIAL AND WALL IS TO BE REPOINTED. MORTAR TO MATCH ORIGINAL IN TEXTURE, TOOLING, COLOR AND COMPRESSIVE STRENGTH.
- 8. EXISTING OPENING IN CONCRETE FLOOR AND MASONRY WALL TO BE INFILLED WITH IN KIND MATERIAL. SLAB AND WALL CONDITIONS TO BE REVIEWED BY STRUCTURAL ENGINEER PRIOR TO INFILL.
- 9. LOCATION OF DETERIORATED MASONRY WALL. REFERENCE STRUCTURAL DRAWINGS AND EXTERIOR ELEVATIONS.
- 10. NEW GYPSUM AND WOOD WALL INFILL. EXTERIOR WALL TO BE FRAMED TO REFERENCE HISTORIC PORCH. REFERENCE WALL TYPES AND DETAILS.
- 11. NEW OPERABLE WALL THAT INCLUDES AN EXIT DOOR WHEN WALL IS FULLY OPEN.
- 12. THROUGHOUT FIRST FLOOR WEST CORRIDOR INSTALL VENEER PLASTER COATING OVER EXISTING WALL FOR SMOOTH FINISH.
- 13. INSTALL DOOR AND TRIM THAT REPLICATES THE HISTORIC DOOR AND TRIM. REPLICATION SHALL MATCH HISTORIC IN SIZE, PROFILES, AND MATERIAL.
- 14. FLOOR OPENING FROM THE REMOVAL OF EXISTING STAIR IS TO BE INFILLED. REFERENCE STRUCTURAL DRAWINGS. FINISH FLOOR TO BE WOOD FLOORING THAT MATCHES HISTORIC FLOOR IN SPECIES, WIDTH, AND FINISH. NEW WOOD FLOORING TO BE INSTALLED IN A SEAMLESS MANOR WITH EXISTING HISTORIC WOOD FLOOR.
- 15. INSTALL WINDOW TRIM THAT REPLICATES THE HISTORIC WINDOW TRIM. REPLICATION SHALL MATCH HISTORIC IN SIZE, PROFILES, AND MATERIAL.
- 16. INSTALL NEW ARCHITECTURAL 50 YEAR ASPHALT SHINGLES. REMOVE EXISTING DETERIORATED SHEATHING AND REPLACE WITH EXTERIOR RATED OSB SHEATHING TO MATCH THE EXISTING SHEATHING THICKNESS. REPLACE FULL SECTIONS BETWEEN RAFTERS TO INSURE STRUCTURAL UNIFORMITY. INSTALL SELF-ADHERING WATER AND ICE BARRIER FROM EDGE OF ROOF TO WITHIN 36-INCHES OF INTERIOR FACE OF EXTERIOR WALL. ASSUMING 40% REQUIRED SHEATHING REPLACEMENT.
- 17. INSTALL 7" K-STYLE GUTTERS AND DOWNSPOUTS. PROVIDE ALL REQUIRED GUTTER HANGERS, END CAPS, DOWNSPOUT. PROVIDE ALL REQUIRED GUTTER HANGERS, END CAPS, DOWNSPOUT ELBOWS AND ANY OTHER REQUIRED ACCESSORIES FOR COMPLETE INSTALLATION. SLOPE GUTTERS TO DRAIN PROPERLY.

WESTERN BAPTIST BIBLE COLLEGE
BUILDING REHABILITATION
2119 TRACY AVE.
KANSAS CITY, MO 64108

DESIGN DEVELOPMENT
NOT FOR CONSTRUCTION

All drawings and written information appearing herein shall not be duplicated, disclosed or otherwise used without the written consent of the architect.

DATE: AUGUST 25, 2017

REVISION & DATE:

DESIGN DEVELOPMENT

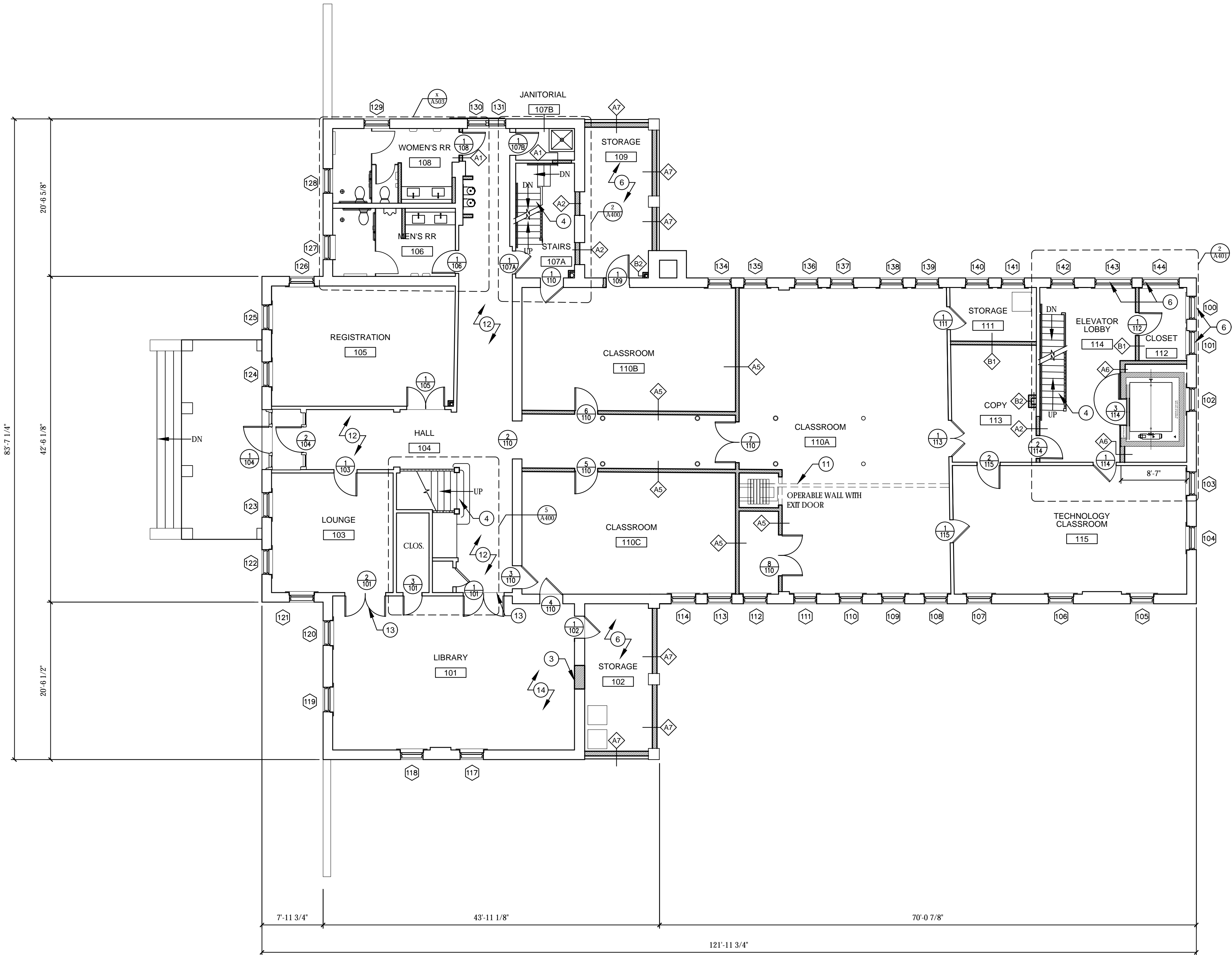
GROUND FLOOR PLAN

SHEET NUMBER:

A100

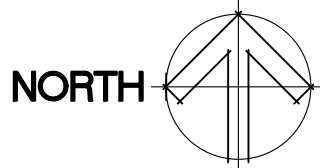
STRATA
ARCHITECTURE + PRESERVATION
1701 Oak Street, Suite 100 Kansas City, Missouri 64108
816.474.0900 — www.strataarch.com

Missouri State Certificate of Authority #2009024884



1 FIRST FLOOR PLAN

Scale: 1/8" = 1'-0"

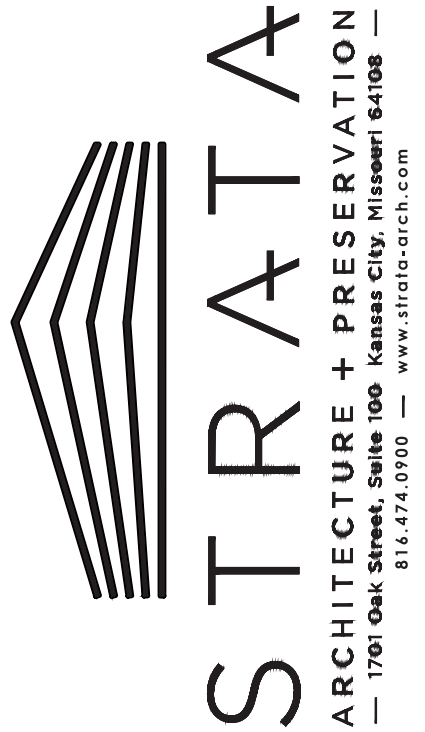


GENERAL FLOOR PLAN NOTES:

- THE WORK IN THESE DOCUMENTS IS BEING DONE TO AN EXISTING STRUCTURE. THE CONTRACTOR WILL BE SOLELY RESPONSIBLE FOR FIELD VERIFICATION OF ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK. ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES DETRIMENTAL TO THE PROPER EXECUTION OF NEW CONSTRUCTION.
- ALL DIMENSIONS ARE TO FACE OF FINISH MATERIAL OR CENTERLINE OF STRUCTURAL COMPONENTS, UNLESS NOTED OTHERWISE.
- PREPARE EXISTING SURFACE AS NECESSARY TO RECEIVE NEW CONSTRUCTION OR FINISHES.
- CONTRACTOR TO PATCH / REPAIR ALL EXISTING EXPOSED EXTERIOR AND INTERIOR SURFACES WITH MATCHING MATERIAL AND FINISH AS PART OF THE WORK IN THESE DOCUMENTS.
- AN ENVIRONMENTAL AUDIT IS AVAILABLE FOR GENERAL INFORMATION. HAZARDOUS MATERIALS ARE ANTICIPATED. IF ANY HAZARDOUS MATERIAL IS ENCOUNTERED, WORK SHALL NOT PROCEED UNTIL THE HAZARDOUS MATERIAL HAS BEEN REMOVED FROM THE BUILDING AND/OR SITE AS PART OF THE WORK IN THESE DOCUMENTS.
- ALL WORK TO COMPLY WITH CITY, STATE AND FEDERAL REGULATORY REQUIREMENTS.
- ALL EXISTING WOOD FLOORS ARE TO REMAIN AND BE REFINISHED, UNLESS OTHERWISE NOTES. FLOORS TO BE LIGHTLY SANDED AND REFINISHED. INSTALL NEW SATIN FINISH FOR EASE OF MAINTENANCE.
- ALL PLASTER THAT IS IN GOOD CONDITION ON EXISTING WALLS SHALL REMAIN. AREAS OF DELAMINATING AND FLAKING PLASTER SHALL BE PATCHED AND REPAIRED. WHERE APPLIED TO MASONRY, A BONDING PRIMARY IS TO BE UTILIZED PRIOR TO INSTALLATION OF NEW PLASTER. USE OF ALTERNATE MATERIALS, I.E. BLUE BOARD SKIM COATED, IS ACCEPTABLE AT WOOD LATH PARTITIONS.
- WHERE NEW MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS ARE INSTALLED AT THE CEILING, IT IS ACCEPTABLE FOR REMOVAL OF PLASTER AND INSTALLATION OF NEW GYPSUM BOARD WITH A SKIM COATING OF VENEER PLASTER.
- ALL WINDOWS ARE TO BE REPLACED WITH AN ALUMINUM DOUBLE HUNG WINDOW, UNLESS OTHERWISE NOTED. BASIS OF DESIGN IS XXX. CONTRACTOR TO PROVIDE ALTERNATE PRICING FOR ALUMINUM DOUBLE HUNG WINDOW. BASIS OF DESIGN IS QUAKER HISTORICAL SERIES.
- EXISTING PLASTER INTERIOR WALLS THAT REMAIN SHALL BE COATED WITH PINK BOUNDING AGENT AND THEN SKIM COATED WITH A TOP PLASTER COAT.

KEYED NOTES - FLOOR PLANS:

- INFILL EXISTING OPENING. INSTALL NEW BLUE BOARD WITH TWO SKIM COATS TO EMULATE HISTORIC PLASTER. FUR BOARD TO MATCH EXISTING HISTORIC LATH AND PLASTER THICKNESS. PLASTER FINISH TO MATCH FINISH ADJACENT TO NEW VENEER PLASTER.
- NEW GYPSUM BOARD WALL. REFERENCE WALL TYPES.
- EXISTING RECESSED FLOOR TO BE INFILLED TO BE LEVEL WITH TYPICAL GROUND FLOOR LEVEL. INSTALL FLOOR DRAIN AND SUMP PUMP BELOW NEW FLOOR TO INSURE WATER DOES NOT SETTLE BELOW NEW FLOOR. ACCESS TO DRAIN AND SUMP PUMP MUST BE PROVIDED.
- LIGHTLY SAND, WOOD NEWELS, RAILINGS AND BALUSTERS OF HISTORIC WOOD STAIRS. INSTALL REPLICATED BALUSTERS WHERE REQUIRED. INSTALL NEW HANDRAIL EXTENSION FOR ACCESSIBILITY AND CODE COMPLIANCE. INSTALL STRUCTURAL REINFORCING WHERE REQUIRED. RE. STRUCTURAL DRAWINGS.
- EXISTING BALCONY REQUIRES REFRAMING, RE. STRUCTURAL DRAWINGS. CAREFULLY REMOVE EXISTING RAIL TO REFINISHED. A NEW REPRODUCTION RAIL SHOULD BE MADE TO MATCH THE EXISTING.
- INFILL PORCH OPENINGS WITH NEW WALLS AND WINDOWS. REFERENCE WINDOW SCHEDULE AND ELEVATION DETAILS FOR MORE INFORMATION.
- STONE FOUNDATION WALL IS TO REMAIN EXPOSED. STONE TO BE CLEANED OF ALL BIOLOGICAL MATERIAL AND WALL IS TO BE REPOINTED. MORTAR TO MATCH ORIGINAL IN TEXTURE, TOOLING, COLOR AND COMPRESSIVE STRENGTH.
- EXISTING OPENING IN CONCRETE FLOOR AND MASONRY WALL TO BE INFILLED WITH IN KIND MATERIAL. SLAB AND WALL CONDITIONS TO BE REVIEWED BY STRUCTURAL ENGINEER PRIOR TO INFILL.
- LOCATION OF DETERIORATED MASONRY WALL. REFERENCE STRUCTURAL DRAWINGS AND EXTERIOR ELEVATIONS.
- NEW GYPSUM AND WOOD WALL INFILL. EXTERIOR WALL TO BE FRAMED TO REFERENCE HISTORIC PORCH. REFERENCE WALL TYPES AND DETAILS.
- NEW OPERABLE WALL THAT INCLUDES AN EXIT DOOR WHEN WALL IS FULLY OPEN.
- THROUGHOUT FIRST FLOOR WEST CORRIDOR INSTALL VENEER PLASTER COATING OVER EXISTING WALL FOR SMOOTH FINISH.
- INSTALL DOOR AND TRIM THAT REPLICATES THE HISTORIC DOOR AND TRIM. REPLICATION SHALL MATCH HISTORIC IN SIZE, PROFILES, AND MATERIAL.
- FLOOR OPENING FROM THE REMOVAL OF EXISTING STAIR IS TO BE INFILLED. REFERENCE STRUCTURAL DRAWINGS. FINISH FLOOR TO BE WOOD FLOORING THAT MATCHES HISTORIC FLOOR IN SPECIES, WIDTH, AND FINISH. NEW WOOD FLOORING TO BE INSTALLED IN A SEAMLESS MANNER WITH EXISTING HISTORIC WOOD FLOOR.
- INSTALL WINDOW TRIM THAT REPLICATES THE HISTORIC WINDOW TRIM. REPLICATION SHALL MATCH HISTORIC IN SIZE, PROFILES, AND MATERIAL.
- INSTALL NEW ARCHITECTURAL 50 YEAR ASPHALT SHINGLES. REMOVE EXISTING DETERIORATED SHEATHING AND REPLACE WITH EXTERIOR RATED OSB SHEATHING TO MATCH THE EXISTING SHEATHING THICKNESS. REPLACE FULL SECTIONS BETWEEN RAFTERS TO ENSURE STRUCTURAL UNIFORMITY. INSTALL SELF-ADHERING WATER AND ICE BARRIER FROM EDGE OF ROOF TO WITHIN 36-INCHES OF INTERIOR FACE OF EXTERIOR WALL. ASSUMING 40% REQUIRED SHEATHING REPLACEMENT.
- INSTALL 7" K-STYLE GUTTERS AND DOWNSPOUTS. PROVIDE ALL REQUIRED GUTTER HANGERS, END CAPS, DOWNSPOUT. PROVIDE ALL REQUIRED GUTTER HANGERS, END CAPS, DOWNSPOUT ELBOWS AND ANY OTHER REQUIRED ACCESSORIES FOR COMPLETE INSTALLATION. SLOPE GUTTERS TO DRAIN PROPERLY.



Missouri State Certificate of Authority #20090024884

WESTERN BAPTIST BIBLE COLLEGE
BUILDING REHABILITATION
2119 TRACY AVE.
KANSAS CITY, MO 64108

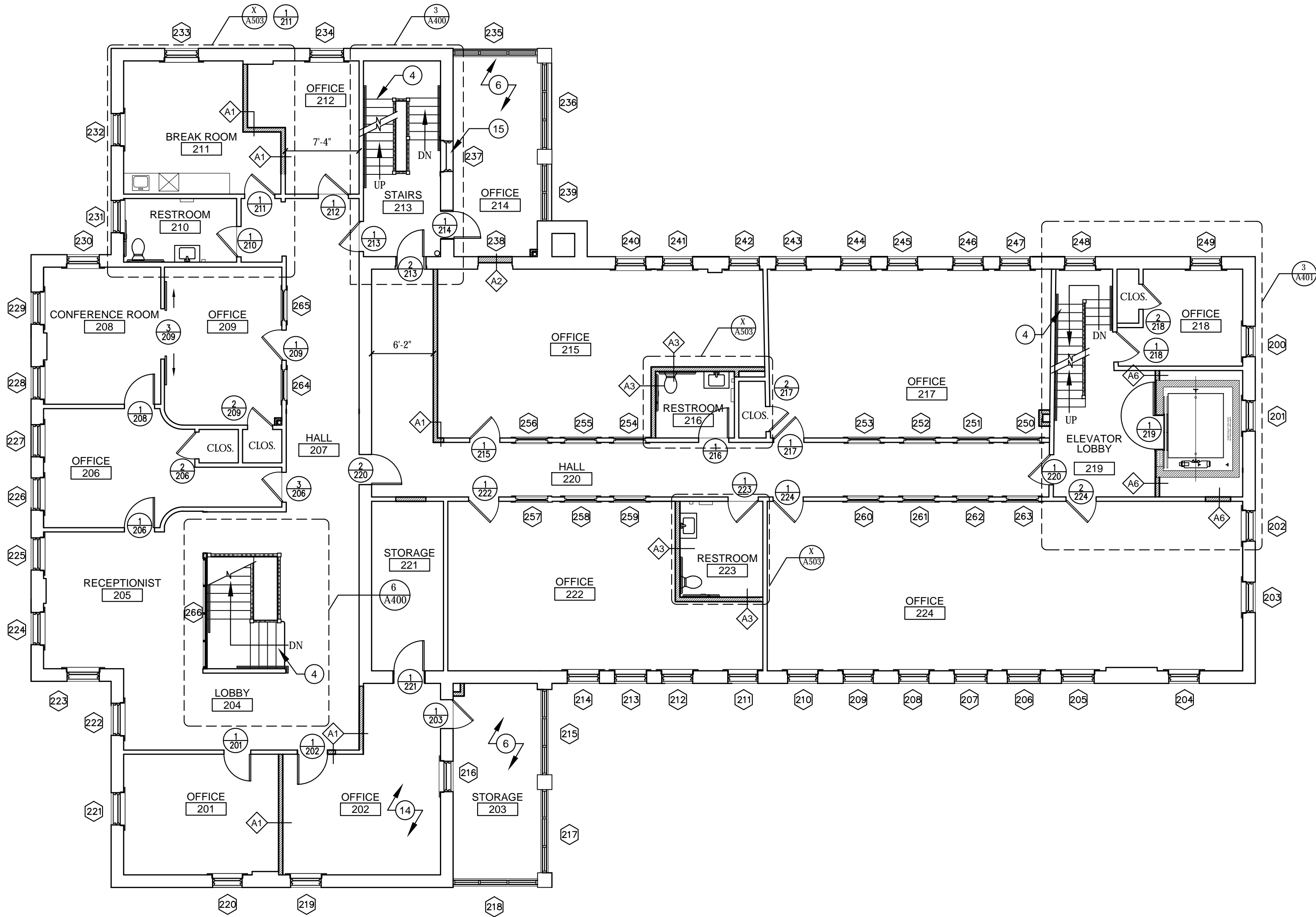
DESIGN DEVELOPMENT
NOT FOR CONSTRUCTION

All drawings and written information appearing herein shall not be duplicated, disclosed or otherwise used without the written consent of the architect.

DATE: AUGUST 25, 2017
REVISION & DATE:

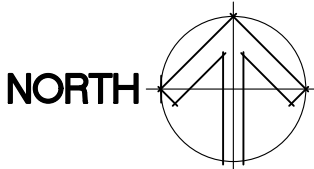
DESIGN DEVELOPMENT
FIRST FLOOR PLAN
SHEET NUMBER:

A101



1 SECOND FLOOR PLAN

Scale: 1/8" = 1'-0"



GENERAL FLOOR PLAN NOTES:

- A. THE WORK IN THESE DOCUMENTS IS BEING DONE TO AN EXISTING STRUCTURE. THE CONTRACTOR WILL BE SOLELY RESPONSIBLE FOR FIELD VERIFICATION OF ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK. ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES DETRIMENTAL TO THE PROPER EXECUTION OF NEW CONSTRUCTION.
- B. ALL DIMENSIONS ARE TO FACE OF FINISH MATERIAL OR CENTERLINE OF STRUCTURAL COMPONENTS, UNLESS NOTED OTHERWISE.
- C. PREPARE EXISTING SURFACE AS NECESSARY TO RECEIVE NEW CONSTRUCTION OR FINISHES.
- D. CONTRACTOR TO PATCH / REPAIR ALL EXISTING EXPOSED EXTERIOR AND INTERIOR SURFACES WITH MATCHING MATERIAL AND FINISH AS PART OF THE WORK IN THESE DOCUMENTS.
- E. AN ENVIRONMENTAL AUDIT IS AVAILABLE FOR GENERAL INFORMATION. HAZARDOUS MATERIALS ARE ANTICIPATED, IF ANY HAZARDOUS MATERIAL IS ENCOUNTERED, WORK SHALL NOT PROCEED UNTIL THE HAZARDOUS MATERIAL HAS BEEN REMOVED FROM THE BUILDING AND/OR SITE AS PART OF THE WORK IN THESE DOCUMENTS.
- F. ALL WORK TO COMPLY WITH CITY, STATE AND FEDERAL REGULATORY REQUIREMENTS.
- G. ALL EXISTING WOOD FLOORS ARE TO REMAIN AND BE REFINISHED, UNLESS OTHERWISE NOTED. FLOORS TO BE LIGHTLY SANDED AND REFINISHED. INSTALL NEW SATIN FINISH FOR EASE OF MAINTENANCE.
- H. ALL PLASTER THAT IS IN GOOD CONDITION ON EXISTING WALLS SHALL REMAIN. AREAS OF DELAMINATING AND FLAKING PLASTER SHALL BE PATCHED AND REPAIRED. WHERE APPLIED TO MASONRY, A BONDING PRIMARY IS TO BE UTILIZED PRIOR TO INSTALLATION OF NEW PLASTER. USE OF ALTERNATE MATERIALS, I.E. BLUE BOARD SKIM COATED, IS ACCEPTABLE AT WOOD LATH PARTITIONS.
- I. WHERE NEW MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS ARE INSTALLED AT THE CEILING, IT IS ACCEPTABLE FOR REMOVAL OF PLASTER AND INSTALLATION OF NEW GYPSUM BOARD WITH A SKIM COATING OF VENEER PLASTER.
- J. ALL WINDOWS ARE TO BE REPLACED WITH AN ALUMINUM DOUBLE HUNG WINDOW, UNLESS OTHERWISE NOTED. BASE OF DESIGN IS XXX. CONTRACTOR TO PROVIDE ALTERNATE PRICING FOR ALUMINUM DOUBLE HUNG WINDOW. BASE OF DESIGN IS QUAKER HISTORICAL SERIES.
- K. EXISTING PLASTER INTERIOR WALLS THAT REMAIN SHALL BE COATED WITH PINK BOUNDING AGENT AND THEN SKIM COATED WITH A TOP PLASTER COAT.

KEYED NOTES - FLOOR PLANS:

- 1. INFILL EXISTING OPENING. INSTALL NEW BLUE BOARD WITH TWO SKIM COATS TO EMULATE HISTORIC PLASTER. FUR BOARD TO MATCH EXISTING HISTORIC LATH AND PLASTER THICKNESS. PLASTER FINISH TO MATCH FINISH ADJACENT TO NEW VENEER PLASTER.
- 2. NEW GYPSUM BOARD WALL. REFERENCE WALL TYPES.
- 3. EXISTING RECESSED FLOOR TO BE INFILLED TO BE LEVEL WITH TYPICAL GROUND FLOOR LEVEL. INSTALL FLOOR DRAIN AND SUMP PUMP BELOW NEW FLOOR TO INSURE WATER DOES NOT SETTLE BELOW NEW FLOOR. ACCESS TO DRAIN AND SUMP PUMP MUST BE PROVIDED.
- 4. LIGHTLY SAND, WOOD NEWELS, RAILINGS AND BALUSTERS OF HISTORIC WOOD STAIRS. INSTALL REPLICATED BALUSTERS WHERE REQUIRED. INSTALL NEW HANDRAIL EXTENSION FOR ACCESSIBILITY AND CODE COMPLIANCE. INSTALL STRUCTURAL REINFORCING WHERE REQUIRED. RE: STRUCTURAL DRAWINGS.
- 5. EXISTING BALCONY REQUIRES REFRAMING. RE: STRUCTURAL DRAWINGS. CAREFULLY REMOVE EXISTING RAIL TO REFINISHED. A NEW REPRODUCTION RAIL SHOULD BE MADE TO MATCH THE EXISTING.
- 6. INFILL PORCH OPENINGS WITH NEW WALLS AND WINDOWS. REFERENCE WINDOW SCHEDULE AND ELEVATION DETAILS FOR MORE INFORMATION.
- 7. STONE FOUNDATION WALL IS TO REMAIN EXPOSED. STONE TO BE CLEANED OF ALL BIOLOGICAL MATERIAL AND WALL IS TO BE REPOINTED. MORTAR TO MATCH ORIGINAL IN TEXTURE, TOOLING, COLOR AND COMPRESSIVE STRENGTH.
- 8. EXISTING OPENING IN CONCRETE FLOOR AND MASONRY WALL TO BE INFILLED WITH IN KIND MATERIAL. SLAB AND WALL CONDITIONS TO BE REVIEWED BY STRUCTURAL ENGINEER PRIOR TO INFILL.
- 9. LOCATION OF DETERIORATED MASONRY WALL. REFERENCE STRUCTURAL DRAWINGS AND EXTERIOR ELEVATIONS.
- 10. NEW GYPSUM AND WOOD WALL INFILL. EXTERIOR WALL TO BE FRAMED TO REFERENCE HISTORIC PORCH. REFERENCE WALL TYPES AND DETAILS.
- 11. NEW OPERABLE WALL THAT INCLUDES AN EXIT DOOR WHEN WALL IS FULLY OPEN.
- 12. THROUGHOUT FIRST FLOOR WEST CORRIDOR INSTALL VENEER PLASTER COATING OVER EXISTING WALL FOR SMOOTH FINISH.
- 13. INSTALL DOOR AND TRIM THAT REPLICATES THE HISTORIC DOOR AND TRIM. REPLICATION SHALL MATCH HISTORIC IN SIZE, PROFILES, AND MATERIAL.
- 14. FLOOR OPENING FROM THE REMOVAL OF EXISTING STAIR IS TO BE INFILLED. REFERENCE STRUCTURAL DRAWINGS. FINISH FLOOR TO BE WOOD FLOORING THAT MATCHES HISTORIC FLOOR IN SPECIES, WIDTH, AND FINISH. NEW WOOD FLOORING TO BE INSTALLED IN A SEAMLESS MANNER WITH EXISTING HISTORIC WOOD FLOOR.
- 15. INSTALL WINDOW TRIM THAT REPLICATES THE HISTORIC WINDOW TRIM. REPLICATION SHALL MATCH HISTORIC IN SIZE, PROFILES, AND MATERIAL.
- 16. INSTALL NEW ARCHITECTURAL 50 YEAR ASPHALT SHINGLES. REMOVE EXISTING DETERIORATED SHEATHING AND REPLACE WITH EXTERIOR RATED OSB SHEATHING TO MATCH THE EXISTING SHEATHING THICKNESS. REPLACE FULL SECTIONS BETWEEN RAPTERS TO ENSURE STRUCTURAL UNIFORMITY. INSTALL SELF-ADHERING WATER AND ICE BARRIER FROM EDGE OF FOOT TO WITHIN 36 INCHES OF INTERIOR FACE OF EXTERIOR WALL ASSUMING 40% REQUIRED SHEATHING REPLACEMENT.
- 17. INSTALL 7" K-STYLE GUTTERS AND DOWNSPOUTS. PROVIDE ALL REQUIRED CUTTER HANGERS, END CAPS, DOWNSPOUT PROVIDE ALL REQUIRED GUTTER HANGERS, END CAPS, DOWNSPOUT ELBOWS AND ANY OTHER REQUIRED ACCESSORIES FOR COMPLETE INSTALLATION. SLOPE GUTTERS TO DRAIN PROPERLY.

WESTERN BAPTIST BIBLE COLLEGE
BUILDING REHABILITATION
2119 TRACY AVE.
KANSAS CITY, MO 64108

DESIGN DEVELOPMENT
NOT FOR CONSTRUCTION

All drawings and written information appearing herein shall not be duplicated, disclosed or otherwise used without the written consent of the architect.

DATE: AUGUST 25, 2017
REVISION & DATE:

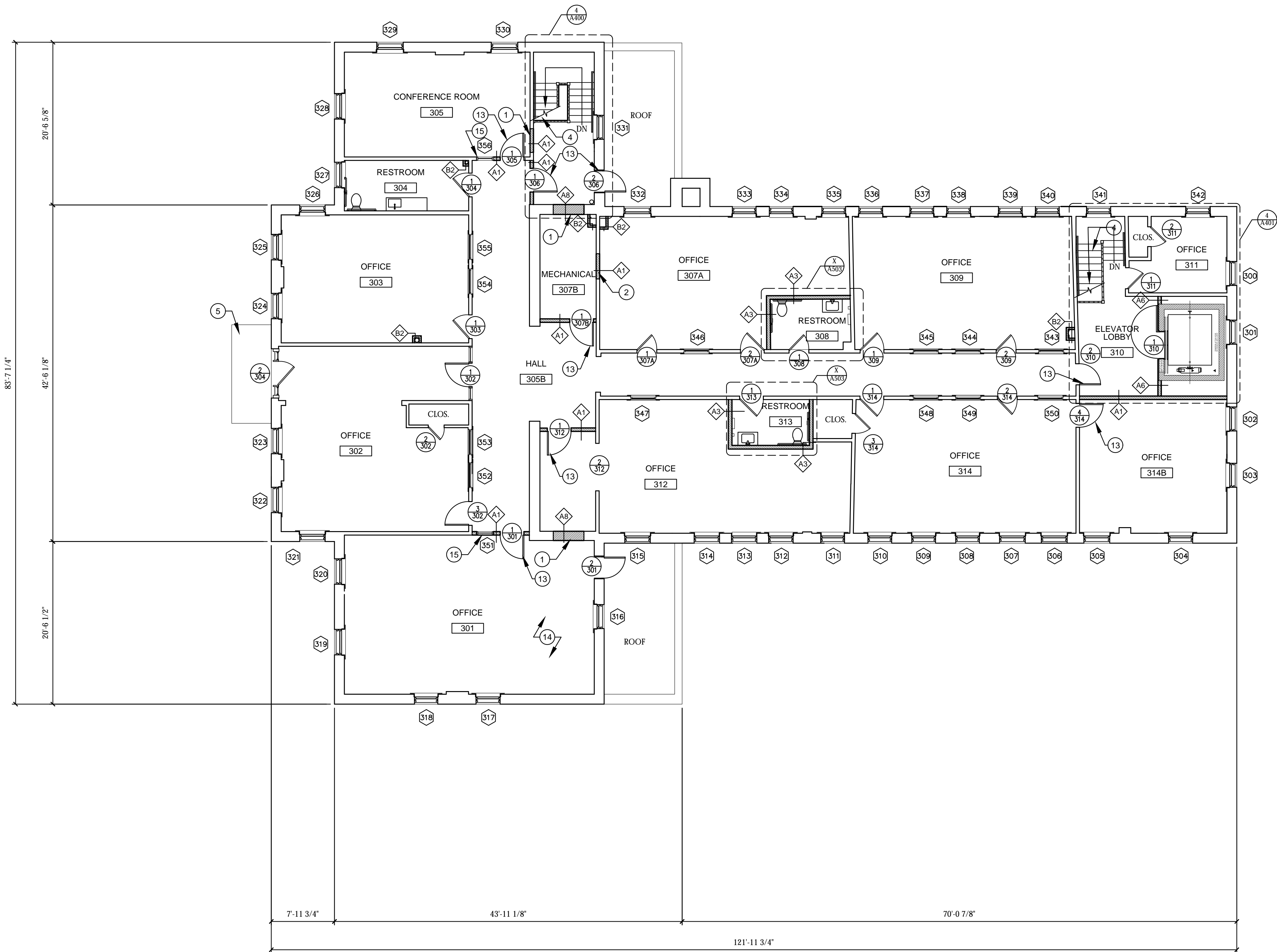
DESIGN DEVELOPMENT
SECOND FLOOR PLAN
SHEET NUMBER:

A102

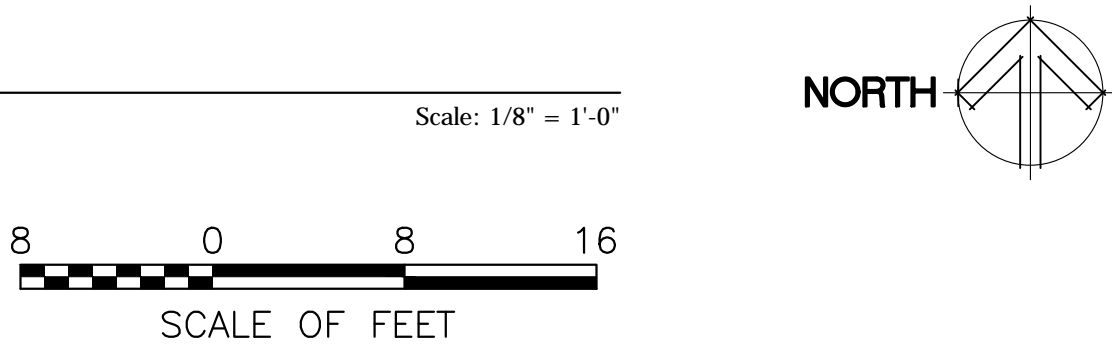


STRATA
ARCHITECTURE + PRESERVATION
1701 Oak Street, Suite 100 Kansas City, Missouri 64108
816.472.0700 — www.strata-arch.com

Missouri State Certificate of Authority #2009024884



1 THIRD FLOOR PLAN



GENERAL FLOOR PLAN NOTES:

- A. THE WORK IN THESE DOCUMENTS IS BEING DONE TO AN EXISTING STRUCTURE. THE CONTRACTOR WILL BE SOLELY RESPONSIBLE FOR FIELD VERIFICATION OF ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK. ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES DETRIMENTAL TO THE PROPER EXECUTION OF NEW CONSTRUCTION.
- B. ALL DIMENSIONS ARE TO FACE OF FINISH MATERIAL OR CENTERLINE OF STRUCTURAL COMPONENTS, UNLESS NOTED OTHERWISE.
- C. PREPARE EXISTING SURFACE AS NECESSARY TO RECEIVE NEW CONSTRUCTION OR FINISHES.
- D. CONTRACTOR TO PATCH / REPAIR ALL EXISTING EXPOSED EXTERIOR AND INTERIOR SURFACES WITH MATCHING MATERIAL AND FINISH AS PART OF THE WORK IN THESE DOCUMENTS.
- E. AN ENVIRONMENTAL AUDIT IS AVAILABLE FOR GENERAL INFORMATION. HAZARDOUS MATERIALS ARE ANTICIPATED. IF ANY HAZARDOUS MATERIAL IS ENCOUNTERED, WORK SHALL NOT PROCEED UNTIL THE HAZARDOUS MATERIAL HAS BEEN REMOVED FROM THE BUILDING AND/OR SITE AS PART OF THE WORK IN THESE DOCUMENTS.
- F. ALL WORK TO COMPLY WITH CITY, STATE AND FEDERAL REGULATORY REQUIREMENTS.
- G. ALL EXISTING WOOD FLOORS ARE TO REMAIN AND BE REFINISHED, UNLESS OTHERWISE NOTED. FLOORS TO BE LIGHTLY SANDED AND REFINISHED. INSTALL NEW SATIN FINISH FOR EASE OF MAINTENANCE.
- H. ALL PLASTER THAT IS IN GOOD CONDITION ON EXISTING WALLS SHALL REMAIN. AREAS OF DELAMINATING AND FLAKING PLASTER SHALL BE PATCHED AND REPAIRED. WHERE APPLIED TO MASONRY, A BONDING PRIMARY IS TO BE UTILIZED PRIOR TO INSTALLATION OF NEW PLASTER. USE OF ALTERNATE MATERIALS, I.E. BLUE BOARD SKIM COATED, IS ACCEPTABLE AT WOOD LATH PARTITIONS.
- I. WHERE NEW MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS ARE INSTALLED AT THE CEILING, IT IS ACCEPTABLE FOR REMOVAL OF PLASTER AND INSTALLATION OF NEW GYPSUM BOARD WITH A SKIM COATING OF VENEER PLASTER.
- J. ALL WINDOWS ARE TO BE REPLACED WITH AN ALUMINUM DOUBLE HUNG WINDOW, UNLESS OTHERWISE NOTED. BASIS OF DESIGN IS XXX. CONTRACTOR TO PROVIDE ALTERNATE PRICING FOR ALUMINUM DOUBLE HUNG WINDOW. BASIS OF DESIGN IS QUAKER HISTORICAL SERIES.
- K. EXISTING PLASTER INTERIOR WALLS THAT REMAIN SHALL BE COATED WITH PINK BOUNDING AGENT AND THEN SKIM COATED WITH A TOP PLASTER COAT.

KEYED NOTES - FLOOR PLANS:

- 1. INFILL EXISTING OPENING. INSTALL NEW BLUE BOARD WITH TWO SKIM COATS TO EMULATE HISTORIC PLASTER. FUR BOARD TO MATCH EXISTING HISTORIC LATH AND PLASTER THICKNESS. PLASTER FINISH TO MATCH FINISH ADJACENT TO NEW VENEER PLASTER.
- 2. NEW GYPSUM BOARD WALL. REFERENCE WALL TYPES.
- 3. EXISTING RECESSED FLOOR TO BE INFILLED TO BE LEVEL WITH TYPICAL GROUND FLOOR LEVEL. INSTALL FLOOR DRAIN AND SUMP PUMP BELOW NEW FLOOR TO INSURE WATER DOES NOT SETTLE BELOW NEW FLOOR. ACCESS TO DRAIN AND SUMP PUMP MUST BE PROVIDED.
- 4. LIGHTLY SAND, WOOD NEWELS, RAILINGS AND BALUSTERS OF HISTORIC WOOD STAIRS. INSTALL REPLICATED BALUSTERS WHERE REQUIRED. INSTALL NEW HANDRAIL EXTENSION FOR ACCESSIBILITY AND CODE COMPLIANCE. INSTALL STRUCTURAL REINFORCING WHERE REQUIRED. RE: STRUCTURAL DRAWINGS.
- 5. EXISTING BALCONY REQUIRES REFRAMING, RE: STRUCTURAL DRAWINGS. CAREFULLY REMOVE EXISTING RAIL TO REFINISHED. A NEW REPRODUCTION RAIL SHOULD BE MADE TO MATCH THE EXISTING.
- 6. INFILL PORCH OPENINGS WITH NEW WALLS AND WINDOWS. REFERENCE WINDOW SCHEDULE AND ELEVATION DETAILS FOR MORE INFORMATION.
- 7. STONE FOUNDATION WALL IS TO REMAIN EXPOSED. STONE TO BE CLEANED OF ALL BIOLOGICAL MATERIAL AND WALL IS TO BE REPOINTED. MORTAR TO MATCH ORIGINAL IN TEXTURE, TOOLING, COLOR AND COMPRESSIVE STRENGTH.
- 8. EXISTING OPENING IN CONCRETE FLOOR AND MASONRY WALL TO BE INFILLED WITH IN KIND MATERIAL. SLAB AND WALL CONDITIONS TO BE REVIEWED BY STRUCTURAL ENGINEER PRIOR TO INFILL.
- 9. LOCATION OF DETERIORATED MASONRY WALL. REFERENCE STRUCTURAL DRAWINGS AND EXTERIOR ELEVATIONS.
- 10. NEW GYPSUM AND WOOD WALL INFILL EXTERIOR WALL TO BE FRAMED TO REFERENCE HISTORIC PORCH. REFERENCE WALL TYPES AND DETAILS.
- 11. NEW OPERABLE WALL THAT INCLUDES AN EXIT DOOR WHEN WALL IS FULLY OPEN.
- 12. THROUGHOUT FIRST FLOOR WEST CORRIDOR INSTALL VENEER PLASTER COATING OVER EXISTING WALL FOR SMOOTH FINISH.
- 13. INSTALL DOOR AND TRIM THAT REPLICATES THE HISTORIC DOOR AND TRIM. REPLICATION SHALL MATCH HISTORIC IN SIZE, PROFILES, AND MATERIAL.
- 14. FLOOR OPENING FROM THE REMOVAL OF EXISTING STAIR IS TO BE INFILLED. REFERENCE STRUCTURAL DRAWINGS. FINISH FLOOR TO BE WOOD FLOORING THAT MATCHES HISTORIC FLOOR IN SPECIES, WIDTH AND FINISH. NEW WOOD FLOORING TO BE INSTALLED IN A SEAMLESS MANNER WITH EXISTING HISTORIC WOOD FLOOR.
- 15. INSTALL WINDOW TRIM THAT REPLICATES THE HISTORIC WINDOW TRIM. REPLICATION SHALL MATCH HISTORIC IN SIZE, PROFILES, AND MATERIAL.
- 16. INSTALL NEW ARCHITECTURAL 50 YEAR ASPHALT SHINGLES. REMOVE EXISTING DETERIORATED SHEATHING AND REPLACE WITH EXTERIOR RATED OSB SHEATHING TO MATCH THE EXISTING SHEATHING THICKNESS. REPLACE FULL SECTIONS BETWEEN RAPTERS TO ENSURE STRUCTURAL UNIFORMITY. INSTALL SELF-ADHERING WATER AND ICE BARRIER FROM EDGE OF ROOF TO WITHIN 36-INCHES OF INTERIOR FACE OF EXTERIOR WALL. ASSUMING 40% REQUIRED SHEATHING REPLACEMENT.
- 17. INSTALL 7" K-STYLE GUTTERS AND DOWNSPOUTS. PROVIDE ALL REQUIRED GUTTER HANGERS, END CAPS, DOWNSPOUT. PROVIDE ALL REQUIRED GUTTER HANGERS, END CAPS, DOWNSPOUT ELBOWS AND ANY OTHER REQUIRED ACCESSORIES FOR COMPLETE INSTALLATION. SLOPE GUTTERS TO DRAIN PROPERLY.

WESTERN BAPTIST BIBLE COLLEGE
BUILDING REHABILITATION
2119 TRACY AVE.
KANSAS CITY, MO 64108

DESIGN DEVELOPMENT
NOT FOR CONSTRUCTION

All drawings and written information appearing herein shall not be duplicated, disclosed or otherwise used without the written consent of the architect.

DATE: AUGUST 25, 2017
REVISION & DATE:

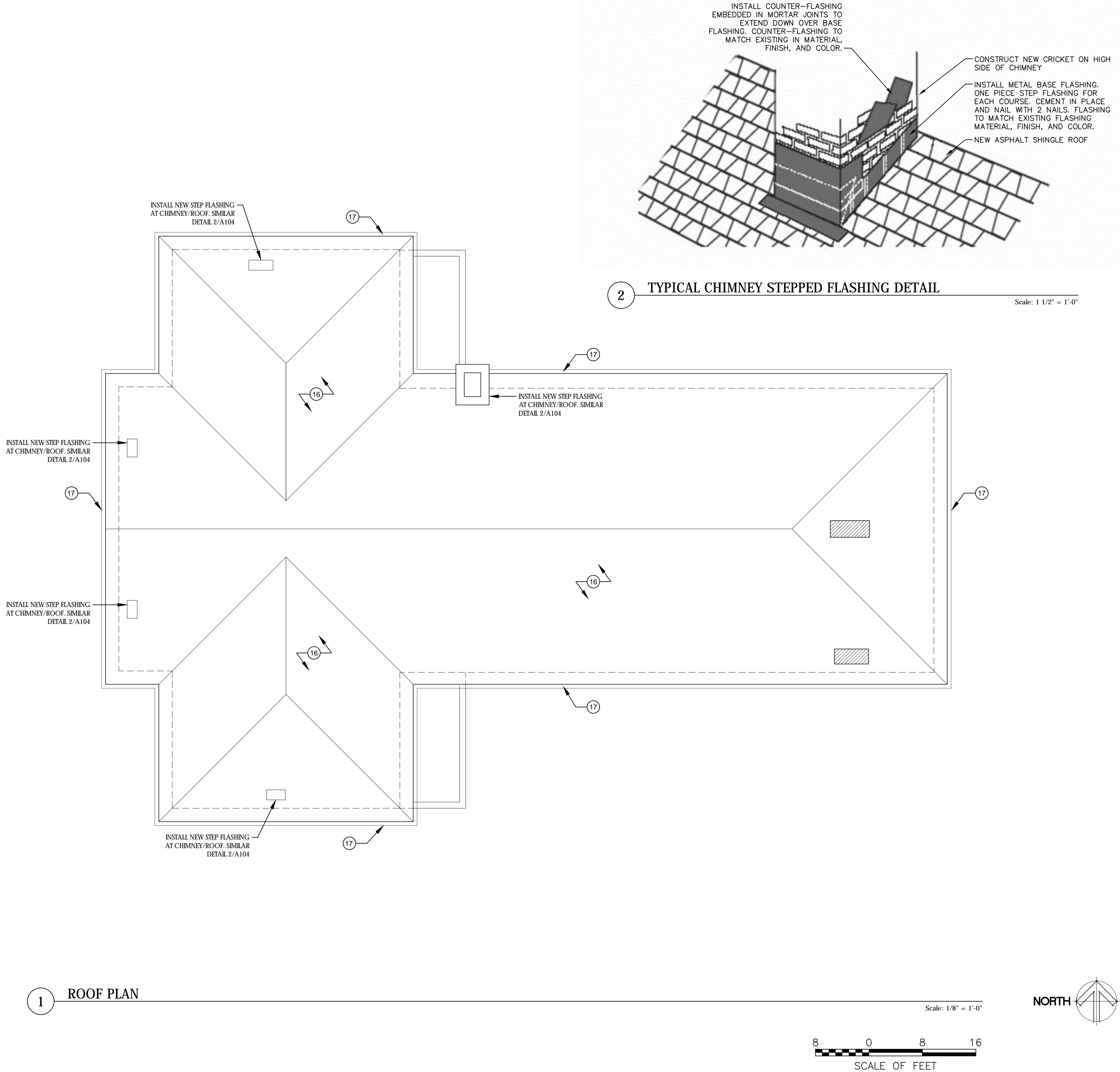
DESIGN DEVELOPMENT
THIRD FLOOR PLAN
SHEET NUMBER:

A103



STRATA
ARCHITECTURE + PRESERVATION
1701 Oak Street, Suite 100 Kansas City, Missouri 64108
816.474.0900 — www.strata-arch.com

Missouri State Certificate of Authority #20090024884

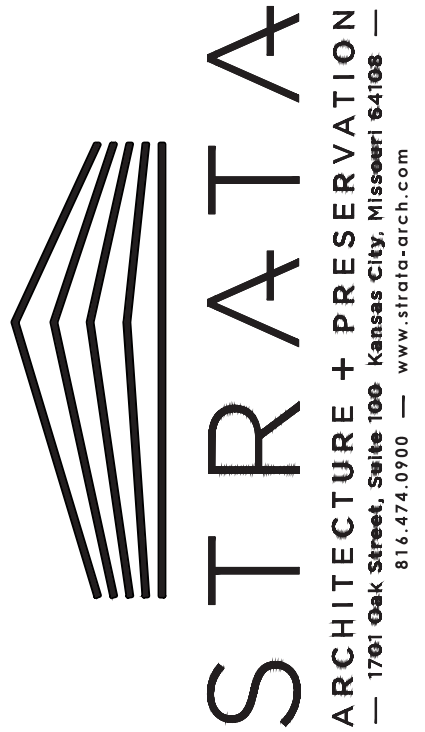


GENERAL FLOOR PLAN NOTES:

- A. THE WORK IN THESE DOCUMENTS IS BEING DONE TO AN EXISTING STRUCTURE. THE CONTRACTOR WILL BE SOLELY RESPONSIBLE FOR FIELD VERIFICATION OF ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK. ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES DETRIMENTAL TO THE PROPER EXECUTION OF NEW CONSTRUCTION.
- B. ALL DIMENSIONS ARE TO FACE OF FINISH MATERIAL OR CENTERLINE OF STRUCTURAL COMPONENTS, UNLESS NOTED OTHERWISE.
- C. PREPARE EXISTING SURFACE AS NECESSARY TO RECEIVE NEW CONSTRUCTION OR FINISHES.
- D. CONTRACTOR TO PATCH / REPAIR ALL EXISTING EXPOSED EXTERIOR AND INTERIOR SURFACES WITH MATCHING MATERIAL AND FINISH AS PART OF THE WORK IN THESE DOCUMENTS.
- E. AN ENVIRONMENTAL AUDIT IS AVAILABLE FOR GENERAL INFORMATION. HAZARDOUS MATERIALS ARE ANTICIPATED. IF ANY HAZARDOUS MATERIAL IS ENCOUNTERED, WORK SHALL NOT PROCEED UNTIL THE HAZARDOUS MATERIAL HAS BEEN REMOVED FROM THE BUILDING AND/OR SITE AS PART OF THE WORK IN THESE DOCUMENTS.
- F. ALL WORK TO COMPLY WITH CITY, STATE AND FEDERAL REGULATORY REQUIREMENTS.
- G. ALL EXISTING WOOD FLOORS ARE TO REMAIN AND BE REFINISHED, UNLESS OTHERWISE NOTES. FLOORS TO BE LIGHTLY SANDED AND REFINISHED. INSTALL NEW SATIN FINISH FOR EASE OF MAINTENANCE.
- H. ALL PLASTER THAT IS IN GOOD CONDITION ON EXISTING WALLS SHALL REMAIN. AREAS OF DELAMINATING AND FLAKING PLASTER SHALL BE PATCHED AND REPAIRED. WHERE APPLIED TO MASONRY, A BONDING PRIMARY IS TO BE UTILIZED PRIOR TO INSTALLATION OF NEW PLASTER. USE OF ALTERNATE MATERIALS, I.E. BLUE BOARD SKIM COATED, IS ACCEPTABLE AT WOOD LATH PARTITIONS.
- I. WHERE NEW MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS ARE INSTALLED AT THE CEILING, IT IS ACCEPTABLE FOR REMOVAL OF PLASTER AND INSTALLATION OF NEW GYPSUM BOARD WITH A SKIM COATING OF VENEER PLASTER.
- J. ALL WINDOWS ARE TO BE REPLACED WITH AN ALUMINUM DOUBLE HUNG WINDOW, UNLESS OTHERWISE NOTED. BASIS OF DESIGN IS XXX. CONTRACTOR TO PROVIDE ALTERNATE PRICING FOR ALUMINUM DOUBLE HUNG WINDOW. BASIS OF DESIGN IS QUAKER HISTORICAL SERIES.
- K. EXISTING PLASTER INTERIOR WALLS THAT REMAIN SHALL BE COATED WITH PINK BOUNDING AGENT AND THEN SKIM COATED WITH A TOP PLASTER COAT.

KEYED NOTES - FLOOR PLANS:

1. INFILL EXISTING OPENING. INSTALL NEW BLUE BOARD WITH TWO SKIM COATS TO EMULATE HISTORIC PLASTER. FUR BOARD TO MATCH EXISTING HISTORIC LATH AND PLASTER THICKNESS. PLASTER FINISH TO MATCH FINISH ADJACENT TO NEW VENEER PLASTER.
2. NEW GYPSUM BOARD WALL. REFERENCE WALL TYPES.
3. EXISTING RECESSED FLOOR TO BE INFILLED TO BE LEVEL WITH TYPICAL GROUND FLOOR LEVEL. INSTALL FLOOR DRAIN AND SUMP PUMP BELOW NEW FLOOR TO INSURE WATER DOES NOT SETTLE BELOW NEW FLOOR. ACCESS TO DRAIN AND SUMP PUMP MUST BE PROVIDED.
4. LIGHTLY SAND, WOOD NEWELS, RAILINGS AND BALUSTERS OF HISTORIC WOOD STAIRS. INSTALL REPLICATED BALUSTERS WHERE REQUIRED. INSTALL NEW HANDRAIL EXTENSION FOR ACCESSIBILITY AND CODE COMPLIANCE. INSTALL STRUCTURAL REINFORCING WHERE REQUIRED. RE STRUCTURAL DRAWINGS.
5. EXISTING BALCONY REQUIRES REFRAMING. RE STRUCTURAL DRAWINGS. CAREFULLY REMOVE EXISTING RAIL TO REFINISHED. A NEW REPRODUCTION RAIL SHOULD BE MADE TO MATCH THE EXISTING.
6. INFILL PORCH OPENINGS WITH NEW WALLS AND WINDOWS. REFERENCE WINDOW SCHEDULE AND ELEVATION DETAILS FOR MORE INFORMATION.
7. STONE FOUNDATION WALL IS TO REMAIN EXPOSED. STONE TO BE CLEANED OF ALL BIOLOGICAL MATERIAL AND WALL IS TO BE REPOINTED. MORTAR TO MATCH ORIGINAL IN TEXTURE, TOOLING, COLOR AND COMPRESSIVE STRENGTH.
8. EXISTING OPENING IN CONCRETE FLOOR AND MASONRY WALL TO BE INFILLED WITH IN KIND MATERIAL. SLAB AND WALL CONDITIONS TO BE REVIEWED BY STRUCTURAL ENGINEER PRIOR TO INFILL.
9. LOCATION OF DETERIORATED MASONRY WALL. REFERENCE STRUCTURAL DRAWINGS AND EXTERIOR ELEVATIONS.
10. NEW GYPSUM AND WOOD WALL INFILL. EXTERIOR WALL TO BE FRAMED TO REFERENCE HISTORIC PORCH. REFERENCE WALL TYPES AND DETAILS.
11. NEW OPERABLE WALL THAT INCLUDES AN EXIT DOOR WHEN WALL IS FULLY OPEN.
12. THROUGHOUT FIRST FLOOR WEST CORRIDOR INSTALL VENEER PLASTER COATING OVER EXISTING WALL FOR SMOOTH FINISH.
13. INSTALL DOOR AND TRIM THAT REPLICATES THE HISTORIC DOOR AND TRIM. REPLICATION SHALL MATCH HISTORIC IN SIZE, PROFILES, AND MATERIAL.
14. FLOOR OPENING FROM THE REMOVAL OF EXISTING STAIR IS TO BE INFILLED. REFERENCE STRUCTURAL DRAWINGS. FINISH FLOOR TO BE WOOD FLOORING THAT MATCHES HISTORIC FLOOR IN SPECIES, WIDTH, AND FINISH. NEW WOOD FLOORING TO BE INSTALLED IN A SEAMLESS MANOR WITH EXISTING HISTORIC WOOD FLOOR.
15. INSTALL WINDOW TRIM THAT REPLICATES THE HISTORIC WINDOW TRIM. REPLICATION SHALL MATCH HISTORIC IN SIZE, PROFILES, AND MATERIAL.
16. INSTALL NEW ARCHITECTURAL 50 YEAR ASPHALT SHINGLES. REMOVE EXISTING DETERIORATED SHEATHING AND REPLACE WITH EXTERIOR RATED OSB SHEATHING TO MATCH THE EXISTING SHEATHING THICKNESS. REPLACE FULL SECTIONS BETWEEN RAFTERS TO ENSURE STRUCTURAL UNIFORMITY. INSTALL SELF-ADHERING WATER AND ICE BARRIER FROM EDGE OF ROOF TO WITHIN 36-INCHES OF INTERIOR FACE OF EXTERIOR WALL. ASSUMING 40% REQUIRED SHEATHING REPLACEMENT.
17. INSTALL 7" K STYLE GUTTERS AND DOWNSPOUTS. PROVIDE ALL REQUIRED GUTTER HANGERS, END CAPS, DOWNSPOUT. PROVIDE ALL REQUIRED GUTTER HANGERS, END CAPS, DOWNSPOUT ELBOWS AND ANY OTHER REQUIRED ACCESSORIES FOR COMPLETE INSTALLATION. SLOPE GUTTERS TO DRAIN PROPERLY.



Missouri State Certificate of Authority #20090024884

WESTERN BAPTIST BIBLE COLLEGE
BUILDING REHABILITATION
2119 TRACY AVE.
KANSAS CITY, MO 64108

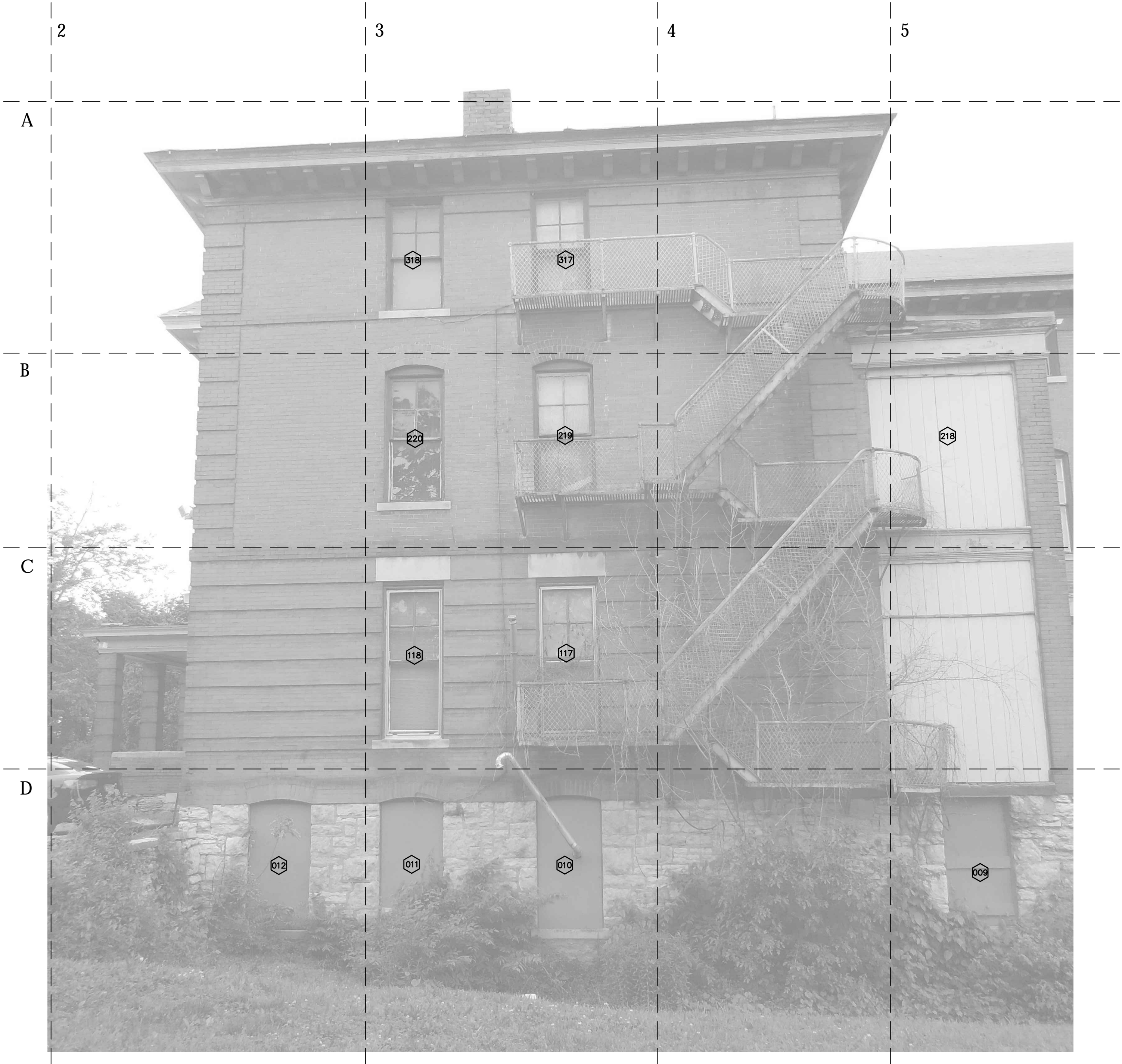
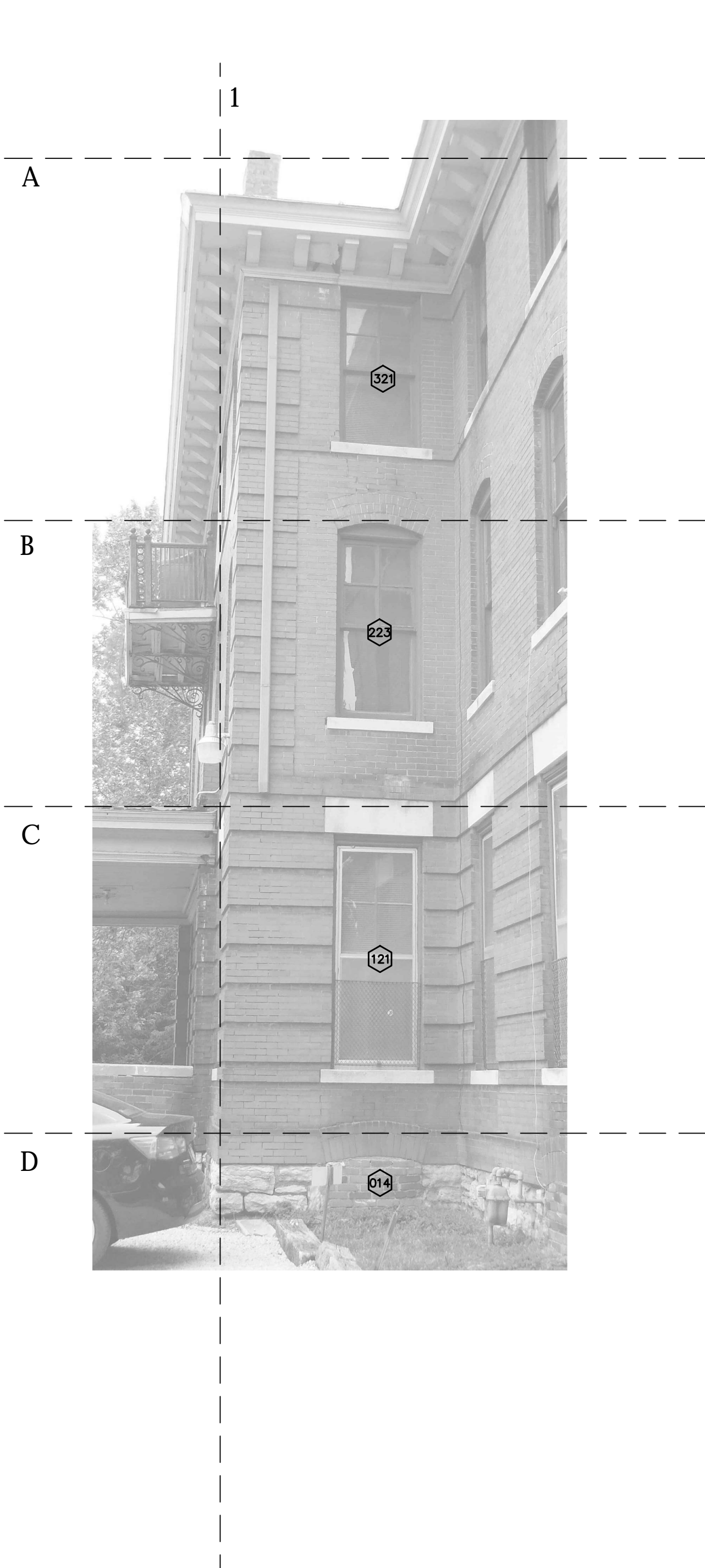
DESIGN DEVELOPMENT
NOT FOR CONSTRUCTION

All drawings and written information appearing herein shall not be duplicated, disclosed or otherwise used without the written consent of the architect.

DATE: AUGUST 25, 2017
REVISION & DATE:

DESIGN DEVELOPMENT
ROOF PLAN
SHEET NUMBER:

A104



1 SOUTH ELEVATION

Scale: NA

GENERAL EXTERIOR NOTES:

- REFERENCE SHEETS A208 - A 212 FOR SOUTH ELEVATION ENLARGED DETAILS AND SCOPE OF WORK.
- CONDITIONS BEFORE COMMENCING ANY WORK, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES DETRIMENTAL TO THE PROPER EXECUTION OF REHABILITATION OR NEW WORK.
- CONTRACTOR SHALL COORDINATE DEMOLITION WITH GENERAL CONSTRUCTION REQUIREMENTS AND SCHEDULES.
- ALL DEMOLITION WORK TO COMPLY WITH ALL CITY, STATE, AND FEDERAL REGULATORY REQUIREMENTS. THE CONTRACTOR SHALL REMOVE ALL DEBRIS FROM SITE. ALL DEMOLITION DEBRIS IS TO BE TAKEN TO A LICENSED LANDFILL. TRASH RECEPTACLE LOCATIONS ARE TO BE COORDINATED WITH OWNER AND PLACED TO NOT IMPEDE EGRESS OR PUBLIC RIGHT OF WAY.
- PROTECT ALL EXISTING CONSTRUCTION TO REMAIN AND PREPARE SURFACES TO RECEIVE NEW CONSTRUCTION OR FINISHES. ADJACENT SURFACES DAMAGED DUE TO DEMOLITION SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE TO PROVIDE A SEAMLESS APPEARANCE.
- THE TERM "REMOVE" SHALL INCLUDE THE PROPER DISPOSAL OF THE DEMOLISHED MATERIAL, CLEANING OF THE REMAINING CONDITION AND PREPARATION OF THE AREA FOR THE SUCCESSFUL IMPLEMENTATION OF THE REMAINING WORK UNLESS NOTED OTHERWISE.
- AT AREAS WITH DEFECTIVE BRICK AND MORTAR AS INDICATED BY A PERCENTAGE, REMOVE DEFECTIVE (EXHIBITS GREATER THAN 50% MATERIAL DETERIORATION OR FACE SPALL) MASONRY UNITS. TOOTH IN NEW UNITS TO MATCH ORIGINAL AND REPORT AFFECTED MASONRY.
- ALL NEW BRICK AND STONE SHALL MATCH EXISTING IN COLOR, TEXTURE, FINISH, SIZE AND PROFILE UNLESS OTHERWISE NOTED. ALL NEW MASONRY JOINTS SHALL MATCH ORIGINAL IN COLOR, COMPRESSIVE STRENGTH, COMPOSITION AND TOOLING PROFILE.
- ALL MASONRY IS TO RECEIVE A WATER REPELLANT TREATMENT PER SPECIFICATION.
- FIELD MOCK UPS ARE REQUIRED PRIOR TO COMMENCING ANY REPOINTING, REBUILDING, OR CLEANING WORK. MOCK-UPS SHALL BE LOCATED ON SECONDARY FACADES AS DIRECTED BY ARCHITECT.
- AT ALL EXPOSED EXTERIOR METAL WORK (EXCEPT COPPER AND BRONZE MATERIALS, AS WELL AS GUTTERS) REMOVE ANY CORROSION AT EXPOSED SURFACES, PRIME, AND PAINT.
- CLEAN 100% OF EXTERIOR MASONRY PER SPECIFICATIONS. SOILING INCLUDES PAINT, BIOLOGICAL GROWTH, SOOT, FERROUS / RUST STAIN, AND ATMOSPHERIC POLLUTION.

WESTERN BAPTIST BIBLE COLLEGE
BUILDING REHABILITATION
2119 TRACY AVE.
KANSAS CITY, MO 64108

DESIGN DEVELOPMENT
NOT FOR CONSTRUCTION

All drawings and written information
appearing herein shall not be
duplicated, disclosed or otherwise
used without the written consent of
the architect.

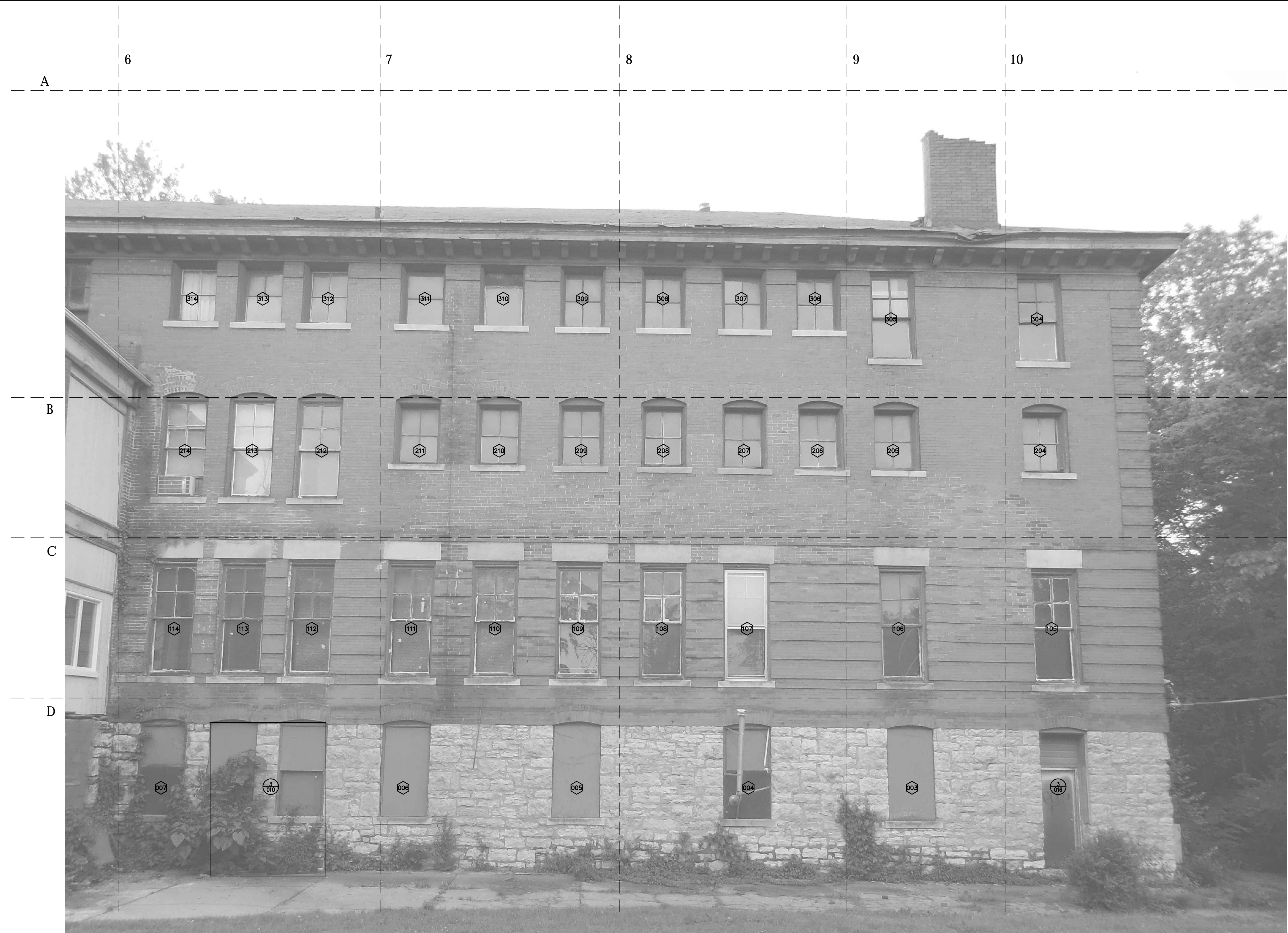
DATE: AUGUST 25, 2017
REVISION & DATE:

DESIGN DEVELOPMENT
SOUTH ELEVATION
SHEET NUMBER:

A200



Missouri State Certificate of Authority #2009024884



GENERAL EXTERIOR NOTES:

- REFERENCE SHEETS A208 - A 212 FOR SOUTH ELEVATION ENLARGED DETAILS AND SCOPE OF WORK.
- CONDITIONS BEFORE COMMENCING ANY WORK, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES DETRIMENTAL TO THE PROPER EXECUTION OF REHABILITATION OR NEW WORK.
- CONTRACTOR SHALL COORDINATE DEMOLITION WITH GENERAL CONSTRUCTION REQUIREMENTS AND SCHEDULES.
- ALL DEMOLITION WORK TO COMPLY WITH ALL CITY, STATE, AND FEDERAL REGULATORY REQUIREMENTS. THE CONTRACTOR SHALL REMOVE ALL DEBRIS FROM SITE. ALL DEMOLITION DEBRIS IS TO BE TAKEN TO A LICENSED LANDFILL. TRASH RECEPTACLE LOCATIONS ARE TO BE COORDINATED WITH OWNER AND PLACED TO NOT IMPEDE EGRESS OR PUBLIC RIGHT OF WAY.
- PROTECT ALL EXISTING CONSTRUCTION TO REMAIN AND PREPARE SURFACES TO RECEIVE NEW CONSTRUCTION OR FINISHES. ADJACENT SURFACES DAMAGED DUE TO DEMOLITION SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE TO PROVIDE A SEAMLESS APPEARANCE.
- THE TERM 'REMOVE' SHALL INCLUDE THE PROPER DISPOSAL OF THE DEMOLISHED MATERIAL. CLEANING OF THE REMAINING CONDITION AND PREPARATION OF THE AREA FOR THE SUCCESSFUL IMPLEMENTATION OF THE REMAINING WORK UNLESS NOTED OTHERWISE.
- AT AREAS WITH DEFECTIVE BRICK AND MORTAR AS INDICATED BY A PERCENTAGE, REMOVE DEFECTIVE (EXHIBITS GREATER THAN 50% MATERIAL DETERIORATION OR FACE SPALL) MASONRY UNITS. TOOTH IN NEW UNITS TO MATCH ORIGINAL AND REPOINT AFFECTED MASONRY.
- ALL NEW BRICK AND STONE SHALL MATCH EXISTING IN COLOR, TEXTURE, FINISH, SIZE AND PROFILE UNLESS OTHERWISE NOTED. ALL NEW MASONRY JOINTS SHALL MATCH ORIGINAL IN COLOR, COMPRESSIVE STRENGTH, COMPOSITION AND TOOLING PROFILE.
- ALL MASONRY IS TO RECEIVE A WATER REPELLANT TREATMENT PER SPECIFICATION.
- FIELD MOCK UPS ARE REQUIRED PRIOR TO COMMENCING ANY REPORTING, REBUILDING, OR CLEANING WORK. MOCK-UPS SHALL BE LOCATED ON SECONDARY FACADES AS DIRECTED BY ARCHITECT.
- AT ALL EXPOSED EXTERIOR METAL WORK (EXCEPT COPPER AND BRONZE MATERIALS, AS WELL AS GUTTERS) REMOVE ANY CORROSION AT EXPOSED SURFACES, PRIME, AND PAINT.
- CLEAN 100% OF EXTERIOR MASONRY PER SPECIFICATIONS. SOILING INCLUDES PAINT, BIOLOGICAL GROWTH, SOOT, FERROUS / RUST STAIN, AND ATMOSPHERIC POLLUTION.

WESTERN BAPTIST BIBLE COLLEGE
BUILDING REHABILITATION
2119 TRACY AVE.
KANSAS CITY, MO 64108

DESIGN DEVELOPMENT
NOT FOR CONSTRUCTION

All drawings and written information appearing herein shall not be duplicated, disclosed or otherwise used without the written consent of the architect.

DATE: AUGUST 25, 2017

REVISION & DATE:

DESIGN DEVELOPMENT

SOUTH ELEVATION

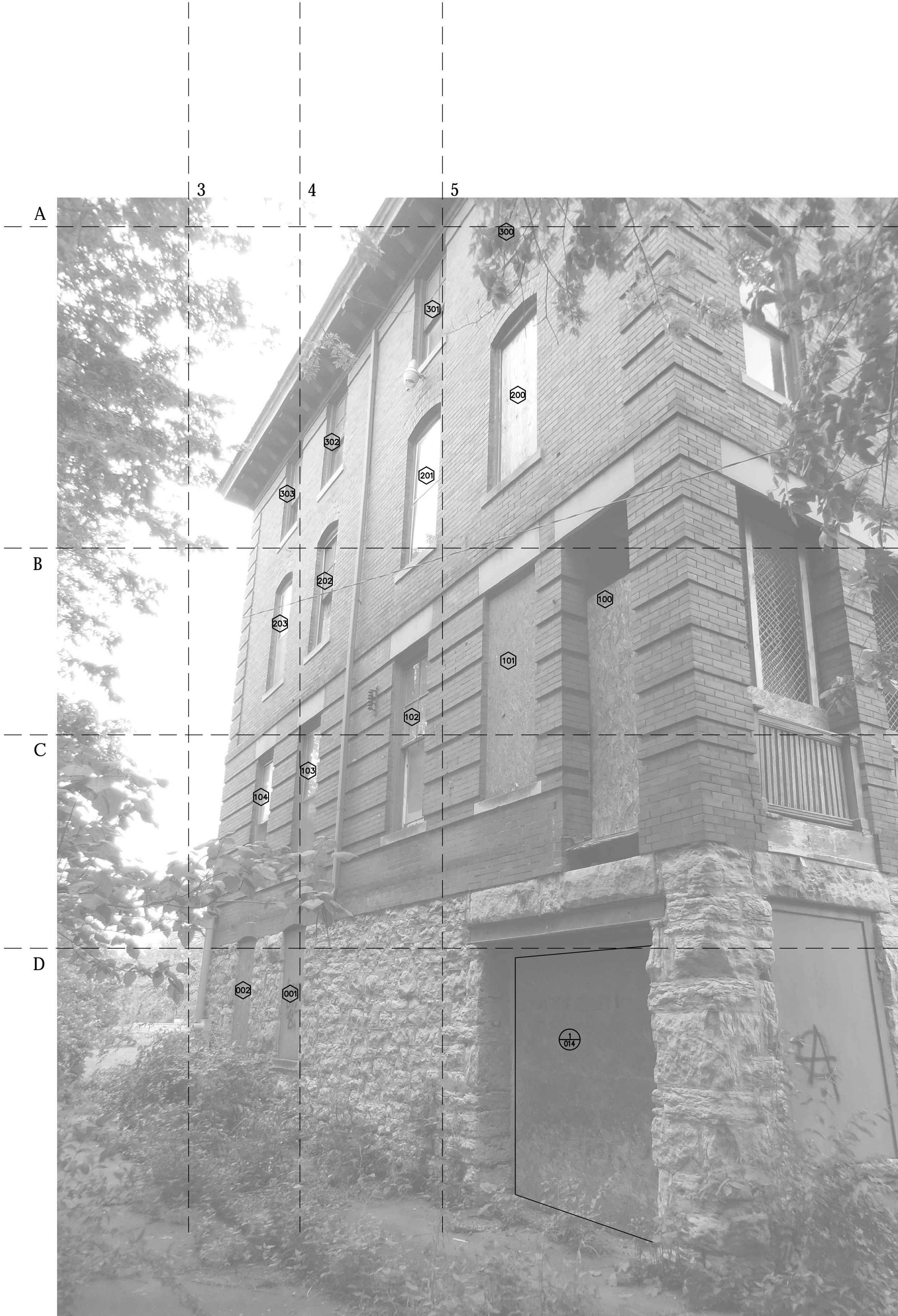
SHEET NUMBER:

A201



1 EAST ELEVATION

Scale: NA



1 EAST ELEVATION

Scale: NA

GENERAL EXTERIOR NOTES:

- REFERENCE SHEETS A212 - A 215 FOR EAST ELEVATION ENLARGED DETAILS AND SCOPE OF WORK.
- CONDITIONS BEFORE COMMENCING ANY WORK, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES DETRIMENTAL TO THE PROPER EXECUTION OF REHABILITATION OR NEW WORK.
- CONTRACTOR SHALL COORDINATE DEMOLITION WITH GENERAL CONSTRUCTION REQUIREMENTS AND SCHEDULES.
- ALL DEMOLITION WORK TO COMPLY WITH ALL CITY, STATE, AND FEDERAL REGULATORY REQUIREMENTS. THE CONTRACTOR SHALL REMOVE ALL DEBRIS FROM SITE. ALL DEMOLITION DEBRIS IS TO BE TAKEN TO A LICENSED LANDFILL. TRASH RECEPTACLE LOCATIONS ARE TO BE COORDINATED WITH OWNER AND PLACED TO NOT IMPEDE EGRESS OR PUBLIC RIGHT OF WAY.
- PROTECT ALL EXISTING CONSTRUCTION TO REMAIN AND PREPARE SURFACES TO RECEIVE NEW CONSTRUCTION OR FINISHES. ADJACENT SURFACES DAMAGED DUE TO DEMOLITION SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE TO PROVIDE A SEAMLESS APPEARANCE.
- THE TERM "REMOVE" SHALL INCLUDE THE PROPER DISPOSAL OF THE DEMOLISHED MATERIAL, CLEANING OF THE REMAINING CONDITION AND PREPARATION OF THE AREA FOR THE SUCCESSFUL IMPLEMENTATION OF THE REMAINING WORK UNLESS NOTED OTHERWISE.
- AT AREAS WITH DEFECTIVE BRICK AND MORTAR AS INDICATED BY A PERCENTAGE, REMOVE DEFECTIVE (EXHIBITS GREATER THAN 50% MATERIAL DETERIORATION OR FACE SPALL) MASONRY UNITS. TOOTH IN NEW UNITS TO MATCH ORIGINAL AND REPOINT AFFECTED MASONRY.
- ALL NEW BRICK AND STONE SHALL MATCH EXISTING IN COLOR, TEXTURE, FINISH, SIZE AND PROFILE UNLESS OTHERWISE NOTED. ALL NEW MASONRY JOINTS SHALL MATCH ORIGINAL IN COLOR, COMPRESSIVE STRENGTH, COMPOSITION AND TOOLING PROFILE.
- ALL MASONRY IS TO RECEIVE A WATER REPELLANT TREATMENT PER SPECIFICATION.
- FIELD MOCK UPS ARE REQUIRED PRIOR TO COMMENCING ANY REPOINTING, REBUILDING, OR CLEANING WORK. MOCK-UPS SHALL BE LOCATED ON SECONDARY FACADES AS DIRECTED BY ARCHITECT.
- AT ALL EXPOSED EXTERIOR METAL WORK (EXCEPT COPPER AND BRONZE MATERIALS, AS WELL AS GUTTERS) REMOVE ANY CORROSION AT EXPOSED SURFACES, PRIME, AND PAINT.
- CLEAN 100% OF EXTERIOR MASONRY PER SPECIFICATIONS. SOILING INCLUDES PAINT, BIOLOGICAL GROWTH, SOOT, FERROUS / RUST STAIN, AND ATMOSPHERIC POLLUTION.

WESTERN BAPTIST BIBLE COLLEGE
BUILDING REHABILITATION
2119 TRACY AVE.
KANSAS CITY, MO 64108

DESIGN DEVELOPMENT
NOT FOR CONSTRUCTION

All drawings and written information appearing herein shall not be duplicated, disclosed or otherwise used without the written consent of the architect.

DATE: AUGUST 25, 2017

REVISION & DATE:

DESIGN DEVELOPMENT

EAST ELEVATION

SHEET NUMBER:

A202



STRATA
ARCHITECTURE + PRESERVATION
1701 Oak Street, Suite 100 Kansas City, Missouri 64108
816.474.0900 — www.strata-arch.com

Missouri State Certificate of Authority #2009024584



GENERAL EXTERIOR NOTES:

- REFERENCE SHEETS A215 - A 219 FOR NORTH ELEVATION ENLARGED DETAILS AND SCOPE OF WORK.
- CONDITIONS BEFORE COMMENCING ANY WORK, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES DETRIMENTAL TO THE PROPER EXECUTION OF REHABILITATION OR NEW WORK.
- CONTRACTOR SHALL COORDINATE DEMOLITION WITH GENERAL CONSTRUCTION REQUIREMENTS AND SCHEDULES.
- ALL DEMOLITION WORK TO COMPLY WITH ALL CITY, STATE, AND FEDERAL REGULATORY REQUIREMENTS. THE CONTRACTOR SHALL REMOVE ALL DEBRIS FROM SITE. ALL DEMOLITION DEBRIS IS TO BE TAKEN TO A LICENSED LANDFILL. TRASH RECEIPT/ACCESSION LOCATIONS ARE TO BE COORDINATED WITH OWNER AND PLACED TO NOT IMPEDE EGRESS OR PUBLIC RIGHT OF WAY.
- PROTECT ALL EXISTING CONSTRUCTION TO REMAIN AND PREPARE SURFACES TO RECEIVE NEW CONSTRUCTION OR FINISHES. ADJACENT SURFACES DAMAGED DUE TO DEMOLITION SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE TO PROVIDE A SEAMLESS APPEARANCE.
- THE TERM "REMOVE" SHALL INCLUDE THE PROPER DISPOSAL OF THE DEMOLISHED MATERIAL, CLEANING OF THE REMAINING CONDITION AND PREPARATION OF THE AREA FOR THE SUCCESSFUL IMPLEMENTATION OF THE REMAINING WORK UNLESS NOTED OTHERWISE.
- AT AREAS WITH DEFECTIVE BRICK AND MORTAR AS INDICATED BY A PERCENTAGE, REMOVE DEFECTIVE (EXHIBITS GREATER THAN 50% MATERIAL DETERIORATION OR FACE SPALL) MASONRY UNITS. TOOTH IN NEW UNITS TO MATCH ORIGINAL AND REPOINT AFFECTED MASONRY.
- ALL NEW BRICK AND STONE SHALL MATCH EXISTING IN COLOR, TEXTURE, FINISH, SIZE AND PROFILE UNLESS OTHERWISE NOTED. ALL NEW MASONRY JOINTS SHALL MATCH ORIGINAL IN COLOR, COMPRESSIVE STRENGTH, COMPOSITION AND TOOLING PROFILE.
- ALL MASONRY IS TO RECEIVE A WATER REPELLANT TREATMENT PER SPECIFICATION.
- FIELD MOCK UPS ARE REQUIRED PRIOR TO COMMENCING ANY REPOINTING, REBUILDING, OR CLEANING WORK. MOCK-UPS SHALL BE LOCATED ON SECONDARY FACADES AS DIRECTED BY ARCHITECT.
- AT ALL EXPOSED EXTERIOR METAL WORK (EXCEPT COPPER AND BRONZE MATERIALS, AS WELL AS GUTTERS) REMOVE ANY CORROSION AT EXPOSED SURFACES, PRIME, AND PAINT.
- CLEAN 100% OF EXTERIOR MASONRY PER SPECIFICATIONS. SOILING INCLUDES PAINT, BIOLOGICAL GROWTH, SOOT, FERROUS / RUST STAIN, AND ATMOSPHERIC POLLUTION.

WESTERN BAPTIST BIBLE COLLEGE
BUILDING REHABILITATION
2119 TRACY AVE.
KANSAS CITY, MO 64108

DESIGN DEVELOPMENT
NOT FOR CONSTRUCTION

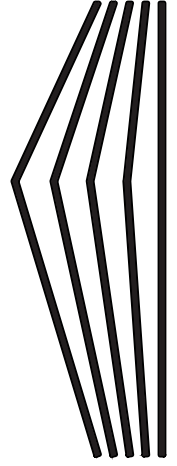
All drawings and written information appearing herein shall not be duplicated, disclosed or otherwise used without the written consent of the architect.

DATE: AUGUST 25, 2017
REVISION & DATE:

DESIGN DEVELOPMENT
EAST ELEVATION
SHEET NUMBER:

A204

- GENERAL EXTERIOR NOTES:
- REFERENCE SHEETS A215 - A 219 FOR NORTH ELEVATION ENLARGED DETAILS AND SCOPE OF WORK.
 - CONDITIONS BEFORE COMMENCING ANY WORK, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES DETRIMENTAL TO THE PROPER EXECUTION OF REHABILITATION OR NEW WORK.
 - CONTRACTOR SHALL COORDINATE DEMOLITION WITH GENERAL CONSTRUCTION REQUIREMENTS AND SCHEDULES.
 - ALL DEMOLITION WORK TO COMPLY WITH ALL CITY, STATE, AND FEDERAL REGULATORY REQUIREMENTS. THE CONTRACTOR SHALL REMOVE ALL DEBRIS FROM SITE. ALL DEMOLITION DEBRIS IS TO BE TAKEN TO A LICENSED LANDFILL. TRASH RECEPTACLE LOCATIONS ARE TO BE COORDINATED WITH OWNER AND PLACED TO NOT IMPEDE EGRESS OR PUBLIC RIGHT OF WAY.
 - PROTECT ALL EXISTING CONSTRUCTION TO REMAIN AND PREPARE SURFACES TO RECEIVE NEW CONSTRUCTION OR FINISHES. ADJACENT SURFACES DAMAGED DUE TO DEMOLITION SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE TO PROVIDE A SEAMLESS APPEARANCE.
 - THE TERM "REMOVE" SHALL INCLUDE THE PROPER DISPOSAL OF THE DEMOLISHED MATERIAL, CLEANING OF THE REMAINING CONDITION AND PREPARATION OF THE AREA FOR THE SUCCESSFUL IMPLEMENTATION OF THE REMAINING WORK UNLESS NOTED OTHERWISE.
 - AT AREAS WITH DEFECTIVE BRICK AND MORTAR AS INDICATED BY A PERCENTAGE, REMOVE DEFECTIVE (EXHIBITS GREATER THAN 50% MATERIAL DETERIORATION OR FACE SPALL) MASONRY UNITS. TOOTH IN NEW UNITS TO MATCH ORIGINAL AND REPOINT AFFECTED MASONRY.
 - ALL NEW BRICK AND STONE SHALL MATCH EXISTING IN COLOR, TEXTURE, FINISH, SIZE AND PROFILE UNLESS OTHERWISE NOTED. ALL NEW MASONRY JOINTS SHALL MATCH ORIGINAL IN COLOR, COMPRESSIVE STRENGTH, COMPOSITION AND TOOLING PROFILE.
 - ALL MASONRY IS TO RECEIVE A WATER REPELLANT TREATMENT PER SPECIFICATION.
 - FIELD MOCK UPS ARE REQUIRED PRIOR TO COMMENCING ANY REPOINTING, REBUILDING, OR CLEANING WORK. MOCK-UPS SHALL BE LOCATED ON SECONDARY FACADES AS DIRECTED BY ARCHITECT.
 - AT ALL EXPOSED EXTERIOR METAL WORK (EXCEPT COPPER AND BRONZE MATERIALS, AS WELL AS GUTTERS) REMOVE ANY CORROSION AT EXPOSED SURFACES, PRIME, AND PAINT.
 - CLEAN 100% OF EXTERIOR MASONRY PER SPECIFICATIONS. SOILING INCLUDES PAINT, BIOLOGICAL GROWTH, SOOT, FERROUS / RUST STAIN, AND ATMOSPHERIC POLLUTION.



STRATA
ARCHITECTURE + PRESERVATION
1701 Oak Street, Suite 100 Kansas City, Missouri 64108
816.474.0900 — www.strata-arch.com

Missouri State Certificate of Authority #2009024584

WESTERN BAPTIST BIBLE COLLEGE
BUILDING REHABILITATION
2119 TRACY AVE.
KANSAS CITY, MO 64108

DESIGN DEVELOPMENT
NOT FOR CONSTRUCTION

All drawings and written information appearing herein shall not be duplicated, disclosed or otherwise used without the written consent of the architect.

DATE: AUGUST 25, 2017
REVISION & DATE:

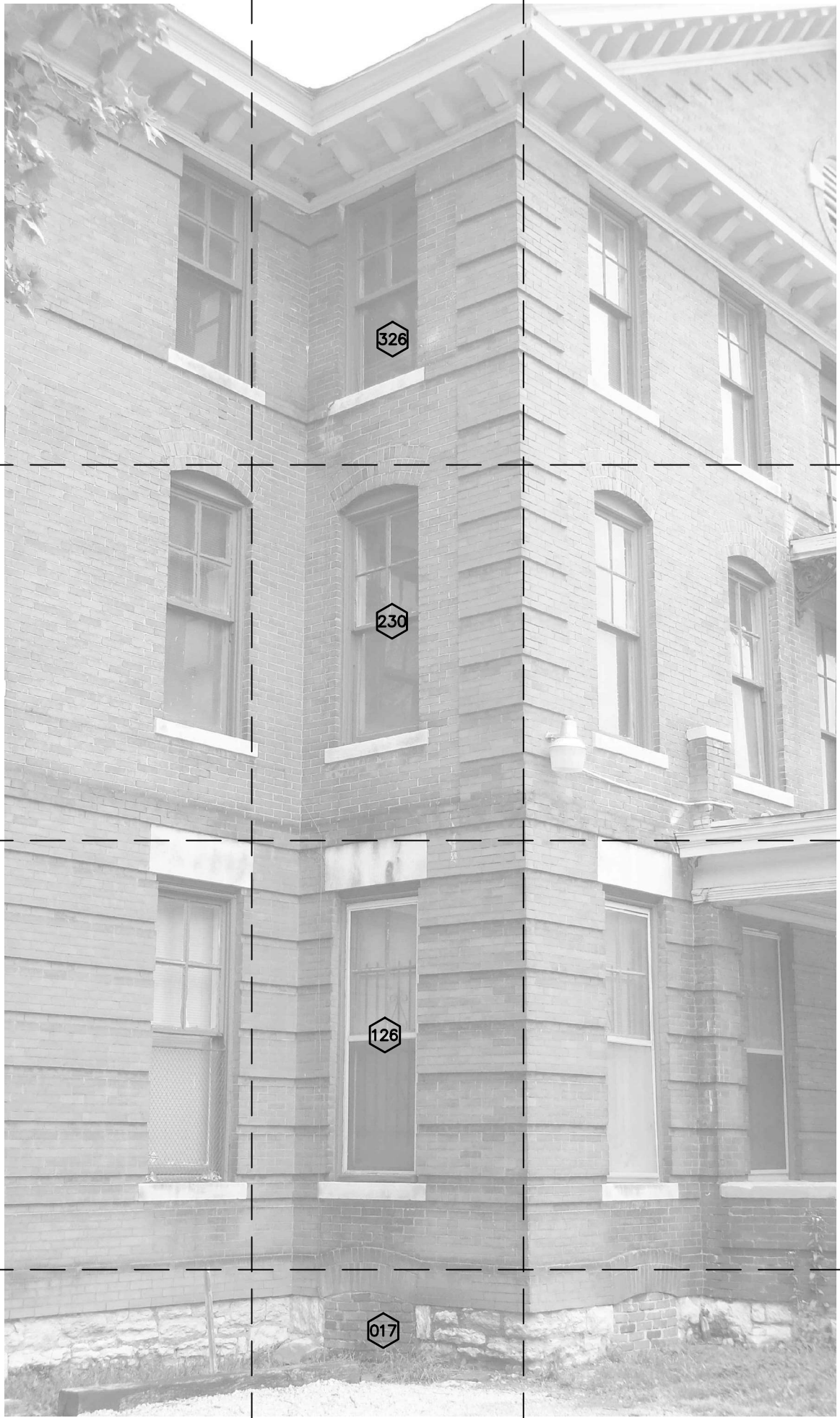
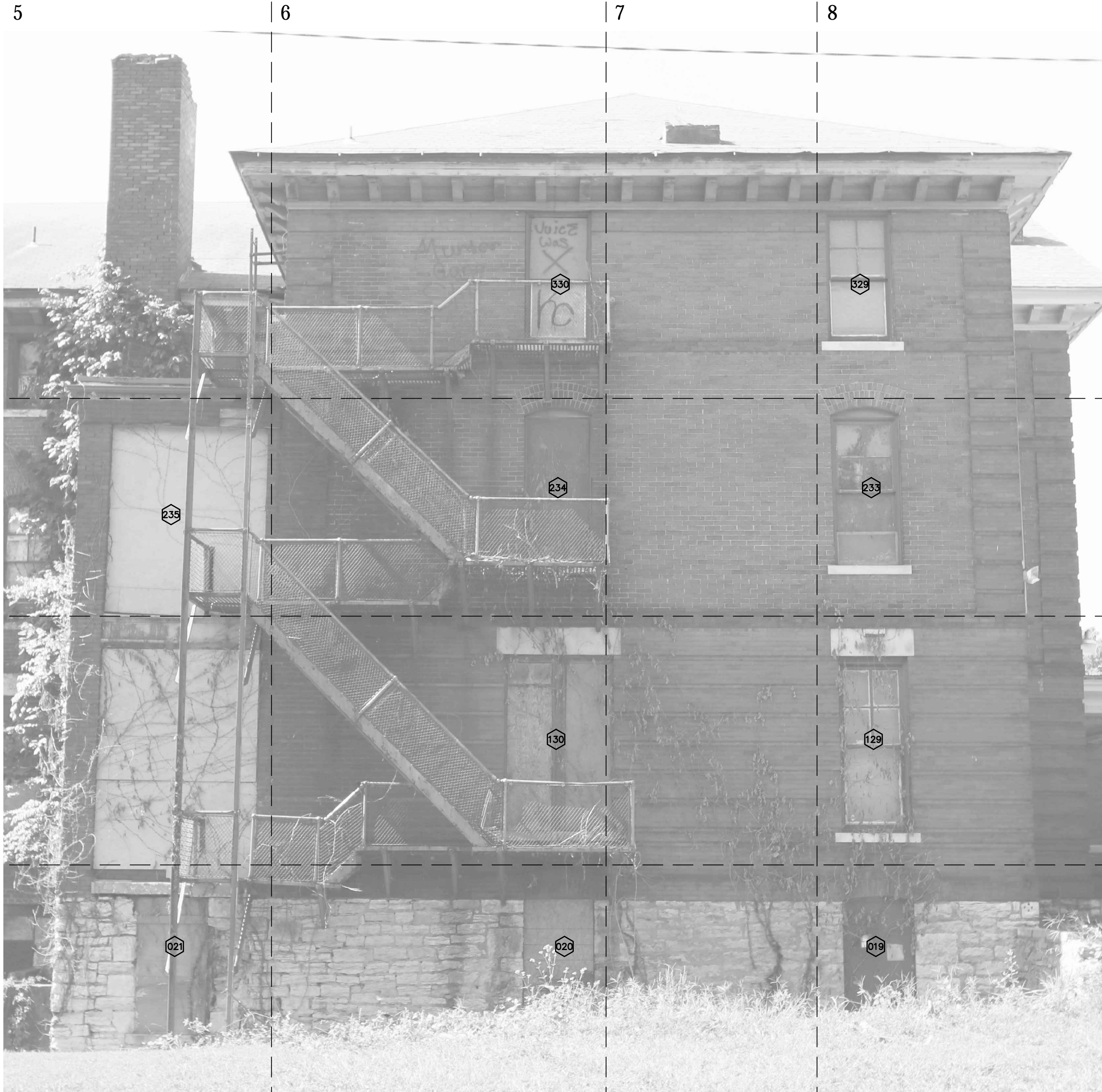
DESIGN DEVELOPMENT
NORTH ELEVATION
SHEET NUMBER:

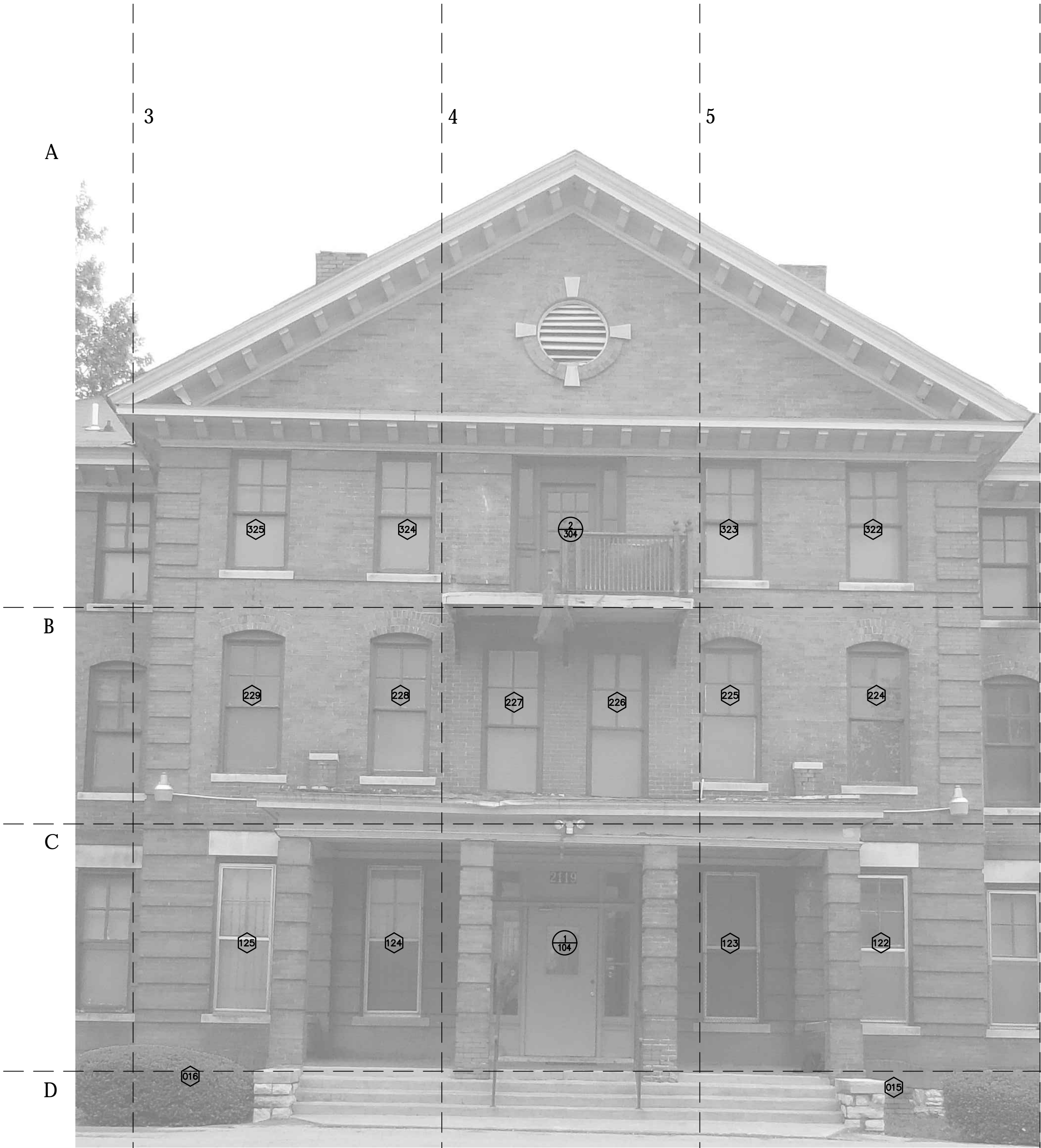
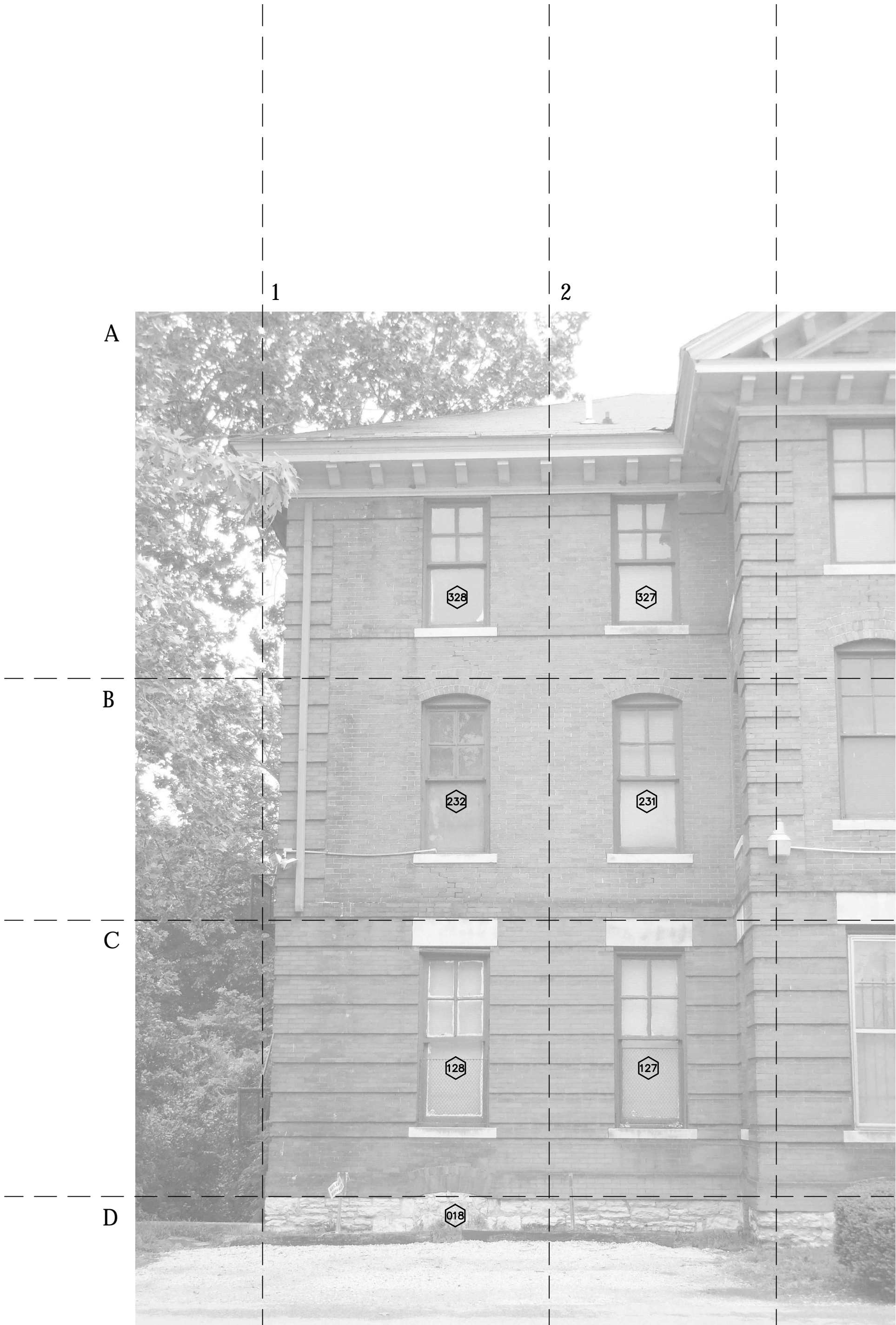
A205

Scale: 1/4" = 1'-0"



1 NORTH ELEVATION





- GENERAL EXTERIOR NOTES:
- REFERENCE SHEETS A219 - A 222 FOR WEST ELEVATION ENLARGED DETAILS AND SCOPE OF WORK.
 - CONDITIONS BEFORE COMMENCING ANY WORK, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES DETRIMENTAL TO THE PROPER EXECUTION OF REHABILITATION OR NEW WORK.
 - CONTRACTOR SHALL COORDINATE DEMOLITION WITH GENERAL CONSTRUCTION REQUIREMENTS AND SCHEDULES.
 - ALL DEMOLITION WORK TO COMPLY WITH ALL CITY, STATE, AND FEDERAL REGULATORY REQUIREMENTS. THE CONTRACTOR SHALL REMOVE ALL DEBRIS FROM SITE. ALL DEMOLITION DEBRIS IS TO BE TAKEN TO A LICENSED LANDFILL. TRASH RECEIPT/PLACE LOCATIONS ARE TO BE COORDINATED WITH OWNER AND PLACED TO NOT IMPEDE EGRESS OR PUBLIC RIGHT OF WAY.
 - PROTECT ALL EXISTING CONSTRUCTION TO REMAIN AND PREPARE SURFACES TO RECEIVE NEW CONSTRUCTION OR FINISHES. ADJACENT SURFACES DAMAGED DUE TO DEMOLITION SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE TO PROVIDE A SEAMLESS APPEARANCE.
 - THE TERM "REMOVE" SHALL INCLUDE THE PROPER DISPOSAL OF THE DEMOLISHED MATERIAL, CLEANING OF THE REMAINING CONDITION AND PREPARATION OF THE AREA FOR THE SUCCESSFUL IMPLEMENTATION OF THE REMAINING WORK UNLESS NOTED OTHERWISE.
 - AT AREAS WITH DEFECTIVE BRICK AND MORTAR AS INDICATED BY A PERCENTAGE, REMOVE DEFECTIVE (EXHIBITS GREATER THAN 50% MATERIAL DETERIORATION OR FACE SPALL) MASONRY UNITS. TOOTH IN NEW UNITS TO MATCH ORIGINAL AND REPOINT AFFECTED MASONRY.
 - ALL NEW BRICK AND STONE SHALL MATCH EXISTING IN COLOR, TEXTURE, FINISH, SIZE AND PROFILE UNLESS OTHERWISE NOTED. ALL NEW MASONRY JOINTS SHALL MATCH ORIGINAL IN COLOR, COMPRESSIVE STRENGTH, COMPOSITION AND TOOLING PROFILE.
 - ALL MASONRY IS TO RECEIVE A WATER REPELLANT TREATMENT PER SPECIFICATION.
 - FIELD MOCK UPS ARE REQUIRED PRIOR TO COMMENCING ANY REPOINTING, REBUILDING, OR CLEANING WORK. MOCK-UPS SHALL BE LOCATED ON SECONDARY FACADES AS DIRECTED BY ARCHITECT.
 - AT ALL EXPOSED EXTERIOR METAL WORK (EXCEPT COPPER AND BRONZE MATERIALS, AS WELL AS GUTTERS) REMOVE ANY CORROSION AT EXPOSED SURFACES, PRIME, AND PAINT.
 - CLEAN 100% OF EXTERIOR MASONRY PER SPECIFICATIONS. SOILING INCLUDES PAINT, BIOLOGICAL GROWTH, SOOT, FERROUS / RUST STAIN, AND ATMOSPHERIC POLLUTION.

WESTERN BAPTIST BIBLE COLLEGE
BUILDING REHABILITATION
2119 TRACY AVE.
KANSAS CITY, MO 64108

DESIGN DEVELOPMENT
NOT FOR CONSTRUCTION

All drawings and written information appearing herein shall not be duplicated, disclosed or otherwise used without the written consent of the architect.

DATE: AUGUST 25, 2017
REVISION & DATE:

DESIGN DEVELOPMENT
NORTH ELEVATION
SHEET NUMBER:

A206

1 WEST ELEVATION

Scale: 1/4" = 1'-0"
8 0 8 16
SCALE OF FEET

GENERAL EXTERIOR NOTES:

- REFERENCE SHEETS A219 - A 222 FOR WEST ELEVATION ENLARGED DETAILS AND SCOPE OF WORK.
- CONDITIONS BEFORE COMMENCING ANY WORK, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES DETRIMENTAL TO THE PROPER EXECUTION OF REHABILITATION OR NEW WORK.
- CONTRACTOR SHALL COORDINATE DEMOLITION WITH GENERAL CONSTRUCTION REQUIREMENTS AND SCHEDULES.
- ALL DEMOLITION WORK TO COMPLY WITH ALL CITY, STATE, AND FEDERAL REGULATORY REQUIREMENTS. THE CONTRACTOR SHALL REMOVE ALL DEBRIS FROM SITE. ALL DEMOLITION DEBRIS IS TO BE TAKEN TO A LICENSED LANDFILL. TRASH RECEIPT/ACIE LOCATIONS ARE TO BE COORDINATED WITH OWNER AND PLACED TO NOT IMPEDE EGRESS OR PUBLIC RIGHT OF WAY.
- PROTECT ALL EXISTING CONSTRUCTION TO REMAIN AND PREPARE SURFACES TO RECEIVE NEW CONSTRUCTION OR FINISHES. ADJACENT SURFACES DAMAGED DUE TO DEMOLITION SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE TO PROVIDE A SEAMLESS APPEARANCE.
- THE TERM "REMOVE" SHALL INCLUDE THE PROPER DISPOSAL OF THE DEMOLISHED MATERIAL, CLEANING OF THE REMAINING CONDITION AND PREPARATION OF THE AREA FOR THE SUCCESSFUL IMPLEMENTATION OF THE REMAINING WORK UNLESS NOTED OTHERWISE.
- AT AREAS WITH DEFECTIVE BRICK AND MORTAR AS INDICATED BY A PERCENTAGE, REMOVE DEFECTIVE (EXHIBITS GREATER THAN 50% MATERIAL DETERIORATION OR FACE SPALL) MASONRY UNITS. TOOTH IN NEW UNITS TO MATCH ORIGINAL AND REPOINT AFFECTED MASONRY.
- ALL NEW BRICK AND STONE SHALL MATCH EXISTING IN COLOR, TEXTURE, FINISH, SIZE AND PROFILE UNLESS OTHERWISE NOTED. ALL NEW MASONRY JOINTS SHALL MATCH ORIGINAL IN COLOR, COMPRESSIVE STRENGTH, COMPOSITION AND TOOLING PROFILE.
- ALL MASONRY IS TO RECEIVE A WATER REPELLANT TREATMENT PER SPECIFICATION.
- FIELD MOCK UPS ARE REQUIRED PRIOR TO COMMENCING ANY REPOINTING, REBUILDING, OR CLEANING WORK. MOCK-UPS SHALL BE LOCATED ON SECONDARY FACADES AS DIRECTED BY ARCHITECT.
- AT ALL EXPOSED EXTERIOR METAL WORK (EXCEPT COPPER AND BRONZE MATERIALS, AS WELL AS GUTTERS) REMOVE ANY CORROSION AT EXPOSED SURFACES, PRIME, AND PAINT.
- CLEAN 100% OF EXTERIOR MASONRY PER SPECIFICATIONS. SOILING INCLUDES PAINT, BIOLOGICAL GROWTH, SOOT, FERROUS / RUST STAIN, AND ATMOSPHERIC POLLUTION.

STRATA

ARCHITECTURE + PRESERVATION

1701 Oak Street, Suite 100 Kansas City, Missouri 64108

816.474.0900 — www.strataarch.com

Missouri State Certificate of Authority #20090024884

WESTERN BAPTIST BIBLE COLLEGE

BUILDING REHABILITATION

2119 TRACY AVE.

KANSAS CITY, MO 64108

DESIGN DEVELOPMENT
NOT FOR CONSTRUCTION

All drawings and written information appearing herein shall not be duplicated, disclosed or otherwise used without the written consent of the architect.

DATE: AUGUST 25, 2017

REVISION & DATE:

DESIGN DEVELOPMENT

NORTH ELEVATION

SHEET NUMBER:

A207

1 WEST ELEVATION - SOUTH SECTION

Scale: 1/4" = 1'-0"