



# CITY PLAN COMMISSION REPORT

City of Kansas City, Missouri  
City Planning & Development Department  
[www.kcmo.gov/cpc](http://www.kcmo.gov/cpc)

March 1, 2022

## Project Name Genesis 60

### Docket # Request

11.1- CD-CPC-2021-00223

Rezoning without Plan

11.2- CD-CPC-2021-00210

Development Plan- Non-Residential

### Applicant

Dustin Burton

Renaissance Infrastructure Consulting

### Owner

Omid Shahbazian

Genesis Construction Management

**Location** 11600 N Congress Ave

**Area** About 61 acres

**Zoning** AG-R

**Council District** 2<sup>nd</sup>

**County** Clay

**School District** Platte County

### Surrounding Land Uses

North: Highway I-435

East: Undeveloped (zoned AG-R)

West: Undeveloped (zoned M2-3)

South: Congress Corporate Center  
(zoned M2-3)

### Land Use Plan

The KCIA Area Plan recommends Commercial/Industrial uses at this location. The request generally conforms to this recommendation.

### Major Street Plan

The City's Major Street Plan identifies Congress Avenue as a Thoroughfare with 2 lanes at this location

## APPROVAL PROCESS



## NEIGHBORHOOD AND CIVIC ORGANIZATIONS NOTIFIED

No registered neighborhood or civic organizations were found at this location. Notice of the public hearing was sent to surrounding properties within 300 feet.

## REQUIRED PUBLIC ENGAGEMENT

Public engagement as required by 88-505-12 applies to this request.

## EXISTING CONDITIONS

The subject property is currently undeveloped and used for agricultural uses. There is a regulated stream that runs through the property

## SUMMARY OF REQUEST

**11.1- CD-CPC-2021-00223-** A request to rezone from District AG-R (Agriculture dash Residential) to District M2-3 (Manufacturing 2 dash 3) on about 60.8 acres generally located at the southwest corner of I-435 and N. Congress Avenue, to allow for three industrial buildings.

**11.2- CD-CPC-2021-00210-** A request to approve a development plan that serves as a preliminary plat on about 60.8 acres in District M2-3 (Manufacturing 2 dash 3) generally located at the southwest corner of I-435 and N. Congress Avenue, to allow for three industrial buildings.

## KEY POINTS

- Rezoning from AG-R to M2-3
- Creation of four (4) lots
- Warehousing/Industrial Uses

## PROFESSIONAL STAFF RECOMMENDATION

Docket #	Recommendation
11.1	Approval without conditions
11.2	Approval with conditions

## CASE HISTORY

The subject property applied to be rezoned to GP-1 (General Industrial) in July of 2009. The case was dismissed and not completed. There are no other associated cases with the property.

## ZONING ANALYSIS

The requested zoning map amendment (rezoning) is in conformance with the approved KCIA Area Plan. The applicant is requesting the property be rezoned to M2-3 from AG-R.

## REZONING REVIEW CRITERIA

In order to be approved, the plan must comply with all of the following criteria:

### **88-515-08-A. conformance with adopted plans and planning policies;**

The plan, as proposed, complies with the applicable plans and policies including the KCIA Area Plan.

### **88-515-08-B. zoning and use of nearby property;**

Adjacent properties are zoned M2-3 and AG-R. To the south of the proposed development is industrial/warehousing. To the east and west is undeveloped.

### **88-515-08-C. physical character of the area in which the subject property is located;**

North Congress Avenue is a designated thoroughfare with many industrial uses located along it. The addition of this development is a compatible use.

### **88-515-08-D. whether public facilities (infrastructure) and services will be adequate to serve development allowed by the requested zoning map amendment;**

Infrastructure and services are expected to be built to City standard in a manner which will be adequate for the development.

### **88-515-08-E. suitability of the subject property for the uses to which it has been restricted under the existing zoning regulations;**

The subject property is suitable for industrial/warehousing uses as proposed in the development plan.

### **88-515-08-F. length of time the subject property has remained vacant as zoned;**

The property has never been developed.

### **88-515-08-G. the extent to which approving the rezoning will detrimentally affect nearby properties**

The plan is not expected to have a detrimental effect on nearby properties.

### **88-515-08-H. the gain, if any, to the public health, safety, and welfare due to denial of the application, as compared to the hardship imposed upon the landowner, if any, as a result of denial of the application.**

Denial of the rezoning is not expected to have a detrimental effect on the landowner.

## PLAN ANALYSIS

The plan, as proposed, is in general conformance with the applicable plans. All the proposed uses fit the area context and conform to the area plan. Primary vehicular access will be from North Congress Avenue south of Interstate 435. Internal vehicular access is served by the proposed Northeast 119th St. that runs east to west through the site. It has the potential to connect to future development to the west. There is currently no

sidewalk located along North Congress Drive. The applicant is providing a sidewalk along NE 119th Street. The proposed development does meet all landscaping requirements and exceeds the minimum requirements for street trees and interior vehicle use areas.

The applicant has agreed to provide the required 120ft of right of way along North Congress Avenue. Staff is requesting that the applicant resubmit the development plan to show this additional right of way before permits are issued. Additionally the applicant has agreed to submit a Traffic Impact Study prior to the City Planning Commission meeting.

**Use-Specific (88-300) and Development Standards (88-400)**

<b>Standards</b>	<b>Applicability</b>	<b>Meets</b>	<b>More Information</b>
<i>Boulevard and Parkway Standards (88-323)</i>	No	N/A	
<i>Parkland Dedication (88-408)</i>	No	N/A	
<i>Parking and Loading Standards (88-420)</i>	Yes	Yes	
<i>Landscape and Screening Standards (88-425)</i>	Yes	Subject to Conditions	
<i>Outdoor Lighting Standards (88-430)</i>	Yes	Yes	
<i>Sign Standards (88-445)</i>	Yes	Subject to Conditions	
<i>Pedestrian Standards (88-450)</i>	Yes	Yes	

**PLAN REVIEW CRITERIA**

In order to be approved, the plan must comply with all of the following criteria:

**88-516-05-A. The plan must comply with all standards of this zoning and development code and all other applicable city ordinances and policies.**

The plan complies with the zoning and development code and the KCIA Area Plan recommendations.

**88-516-05-B. The proposed use must be allowed in the district in which it is located.**

The proposed use is a permitted use in the proposed zoning M2-3 zoning district.

**88-516-05-C. Vehicular ingress and egress to and from the site, and circulation within the site, must provide for safe, efficient and convenient movement of traffic not only within the site but on adjacent roadways.**

The plan provides for adequate vehicular connection.

**88-516-05-D. The plan must provide for safe, efficient, and convenient non-motorized travel opportunities, being pedestrian and bicycle movement, on the subject site.**

The plan proposes to create pedestrian connections within the development.

**88-516-05-E. The plan must provide for adequate utilities based on City standards for the particular development proposed.**

There are adequate utilities subject to Water Services Department approval.

**88-516-05-F. The location, orientation, and architectural features, including design and material, of buildings and other structures on the site must be designed to be compatible with adjacent properties.**

The proposed plan is consistent with the surrounding industrial buildings.

**88-516-05-G. Landscaping, berms, fences and/or walls must be provided to buffer the site from undesirable views, noises, lighting or other off-site negative influences and to buffer adjacent properties from negative influences that may be created by the plan.**

The plan is compliant.

**88-516-05-H. The design of streets, drives, and parking areas within the project should result in a minimum of area devoted to asphalt or other impervious surfaces consistent with the needs of the project and city code requirements.**

The plan is compliant.

**88-516-05-I. The plan must identify trees to be removed and trees to be preserved during the development of the subject property with the goal of saving trees that are not required to be removed for the development of the property.**

The plan calls for the addition of 348 trees on site. Currently the site is predominately farm land with few trees.

**REQUESTED DEVIATIONS**

None

**PROFESSIONAL STAFF RECOMMENDATION**

Staff recommends the following:

#11.1 CD-CPC-2021-00223 (Rezoning without Plan): **Approval without Conditions.**

#11.2 CD-CPC-2021-00210 (Development Plan): **Approval with Conditions** as stated in the condition report.

Respectfully submitted,



Xue Wood, AICP  
Staff Planner



## Plan Conditions

Report Date: February 23, 2022

Case Number: CD-CPC-2021-00210

Project: Genesis 60

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*Condition(s) by City Planning and Development Department. Contact Stacey Lowe at (816) 513-2552 / stacey.lowe@kcmo.org with questions.*

1. The developer must construct temporary off-site cul-de-sacs and grant a city approved temporary cul-de-sac easement, for that portion outside of the dedicated street right-of-way, to the City as required by the Land Development Division, prior to recording the plat. (12/01/2021)
2. The developer must grant a BMP and/or Surface Drainage Easement to the City as required by the Land Development Division, prior to recording the plat or issuance of any building permits. (12/01/2021)
3. The developer must obtain the executed and recorded city approved grading, temporary construction, drainage/sewer, or any other necessary easements from the abutting property owner(s) that may be required prior to submitting any public improvements crossing properties not controlled by the developer and include said document(s) within the public improvement applications submitted for permitting (12/01/2021)
4. The developer shall submit verification of vertical and horizontal sight distance for the drive connection to public right-of-way to the Land Development Division and make improvements to ensure local jurisdiction and/or minimum AASHTO adequate sight distance standards are met, prior to issuance of any certificate of occupancy. (12/01/2021)
5. The owner/developer must submit plans for grading, siltation, and erosion control to Land Development Division for review and acceptance, and secure a Site Disturbance permit for any proposed disturbance area equal to one acre or more prior to beginning any construction activities. (12/01/2021)
6. The developer must obtain a floodplain certificate from Development Services prior to beginning any construction activities with the floodplain. (12/01/2021)
7. The developer must pay impact fees as required by Chapter 39 of the City's Code of ordinances as required by the Land Development Division. (12/01/2021)
8. The developer must subordinate to the City all private interest in the area of any right-of-way dedication, in accordance with Chapter 88 and as required by the Land Development Division, prior to issuance of any construction permits within said right-of-way, and that the owner/developer shall be responsible for all costs associated with subordination activities now and in the future. (12/01/2021)
9. The developer must provide an erosion hazard analysis for areas where any improvements or public right-of-way dedications are proposed within stream buffer zones or adjacent to the outside of stream meanders as required by Water Services. (12/01/2021)
10. The developer shall cause the area to be platted and processed in accordance with Chapter 88, Code of Ordinances of the City of Kansas City, Missouri, as amended, commonly known as the Development Regulations. (12/01/2021)
11. The developer shall submit a final stream buffer plan to the Land Development Division for approval prior to issuance of any building permits and obtain permits for the Stream Buffer prior to removal of any mature riparian species within the buffer zones due to construction activities on the site, in accordance with the Section 88-415 requirements. (12/01/2021)
12. The developer shall submit a letter to the Land Development Division from a Licensed Civil Engineer, Licensed Architect, or Licensed Landscape Architect, who is registered in the State of Missouri, that identifies sidewalks, curbs, and gutters in disrepair as defined by Public Works Department's "OUT OF REPAIR CRITERIA FOR SIDEWALK, DRIVEWAY AND CURB revised 11/5/2013" and based on compliance with Chapters 56 and 64 of the Code of Ordinances for the sidewalks, curbs, and gutters where said letter shall identify the quantity and location of sidewalks, curbs, gutters that need to be constructed, repaired, or reconstructed to remedy deficiencies and/or to remove existing approaches no longer needed by this project. The developer shall secure permits to repair or reconstruct the identified sidewalks, curbs, and gutters as necessary along all development street frontages as required by the Land Development Division and prior to issuance of any certificate of occupancy permits including temporary certificate occupancy permits. (12/01/2021)

*Condition(s) by City Planning and Development Department. Contact Stacey Lowe at (816) 513-2552 / stacey.lowe@kcmo.org with questions.*

13. After the City Plan Commission enters its disposition for the development plan, the developer shall not enter into any agreement that would encumber or otherwise have any impact on the proposed right-of-way dedications for the planned project without the prior written consent of the Land Development Division. (12/01/2021)
14. The developer must submit covenants, conditions and restrictions to the Land Development Division for review by the Law Department for approval and enter into covenant agreements for the maintenance of any private open space tracts with stream buffer zones or stormwater detention area tracts, prior to recording the plat. (12/01/2021)
15. The developer must [grant on City approved forms, a STREAM BUFFER Easement to the City] or [show and label the final stream buffer zones on the subdivision plat within a private open space tract], as required by Chapter 88 and Land Development Division, prior to issuance of any stream buffer permits. (12/01/2021)
16. The developer must secure permits to extend public sanitary and storm water conveyance systems to serve all proposed lots within the development and determine adequacy of receiving systems as required by the Land Development Division, prior to recording the plat or issuance of a building permit whichever occurs first. (12/01/2021)
17. The developer must enter into a covenant agreement for the maintenance of any stormwater detention area tracts as required by the Land Development Division, prior to recording the plat. (12/01/2021)
18. The developer must show the limits of the 100-year floodplain plus the 1 foot freeboard on the final plat and show the Minimum Low Opening Elevation (MLOE) of any structure on each lot that abuts a 100-year flood prone area (including detention basins and engineered surface drainage conveyances) on any plat and plan, as required by the Land Development Division. (12/01/2021)
19. The developer must submit a Macro storm drainage study with the first Plat or Phase, from a Missouri-licensed civil engineer to the Land Development Division showing compliance with current adopted standards in effect at the time of submission, including Water Quality BMP's, to the Land Development Division for review and acceptance for the entire development area, and submit Micro storm drainage study with each subsequent Plat or Phase showing compliance with the approved Macro and adopted standards. The developer shall secure permits to construct any improvements as necessary to mitigate impacts from rate, volume, and quality of runoff from each proposed phase, prior to recording the plat or prior to issuance of a Building Permit, whichever occurs first as required by the Land Development Division. (12/01/2021)

*Condition(s) by City Planning and Development Department. Contact Xue Wood at (816) 513-8823 / Xue.Wood@kcmo.org with questions.*

20. N Congress is a designated Thoroughfare on the Major Street Plan which requires 120' ROW. Revise the site plan to provide the required ROW dedication prior to request for ordinance. (2/23/2022)
21. The developer shall secure approval of a project plan from the City Plan Commission prior to building permit. (2/23/2022)

*Condition(s) by City Planning and Development Department. Contact Zach Nelson at 816-513-8822 / Zachary.Nelson@kcmo.org with questions.*

22. The applicant shall submit a street name plan application prior to recording the final plat. (12/03/2021)

*Condition(s) by Parks & Recreation. Contact Justin Peterson at (816) 513-7599 / Justin.Peterson@kcmo.org with questions.*

23. The developer shall submit a streetscape plan with street tree planting plan per 88-425-03 for approval and permitting by the Parks & Recreation Department's Forestry Division prior to beginning work in the public right-of-way (12/01/2021)

*Condition(s) by Public Works Department. Contact Jeffrey Bryan at (816) 513-9865 / Jeffrey.Bryan@kcmo.org with questions.*

24. The developer shall work with Public Works on the completion and acceptance of the project traffic impact study, prior to issuance of the certificate of occupancy. (2/01/2022)

*Condition(s) by Water Services Department. Contact Heather Massey at (816) 513-2111 / heather.massey@kcmo.org with questions.*

25. The developer shall ensure that water and fire service lines should meet current Water Services Department Rules and Regulations.  
<https://www.kcwater.us/wp-content/uploads/2019/04/2018-Rules-and-Regulations-for-Water-Service-Lines.pdf>  
(12/01/2021)

*Condition(s) by Water Services Department. Contact Jerald Windsor at (816) 513-0413 / Jerald.Windsor@kcmo.org with questions.*

*Condition(s) by Water Services Department. Contact Jerald Windsor at (816) 513-0413 / [Jerald.Windsor@kcmo.org](mailto:Jerald.Windsor@kcmo.org) with questions.*

26. The developer must submit water main extension drawings prepared by a registered professional Engineer in Missouri to the main extension desk for review, acceptance and contracts per the KC Water Rules and Regulations for Water main extensions and Relocations.

(<https://www.kcwater.us/wp-content/uploads/2019/04/2018-Rules-and-Regulations-for-Water-Main-Extensions.pdf>)  
(11/30/2021)



CITY OF  
KANSAS CITY,  
MISSOURI

CITY PLANNING  
& DEVELOPMENT

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## Public Meeting Summary Form

Project Case #

Meeting Date:

Meeting Location:

Meeting Time (include start and end time):

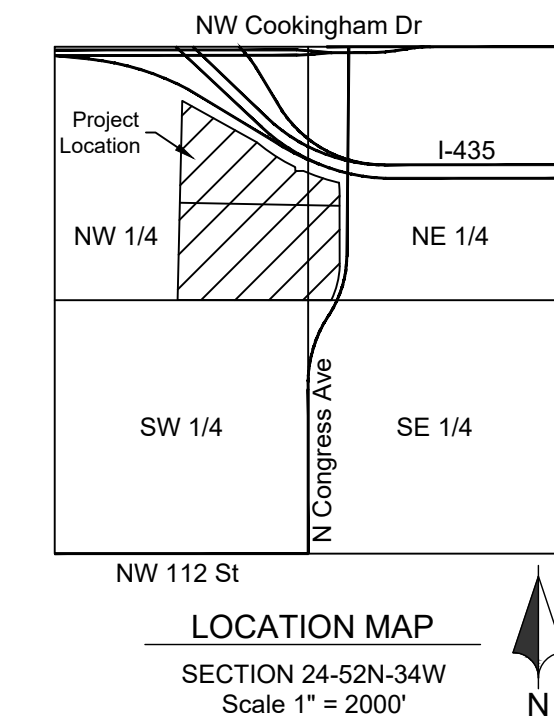
Additional Comments (optional):







# Development Plans & Preliminary Plat for Genesis 60 Ac. Industrial Kansas City, Platte County, Missouri



**LEGAL DESCRIPTION**

The North One-Half of the following described: All that part of the East One-Half of the Northwest Quarter of Section 24, Township 52, Range 34, Kansas City, Platte County, Missouri, and all that part of the West One-Half of the Northeast Quarter of said Section 24, Township 52, Range 34, lying West of the West line of the vacated Kansas City, Clay County and St. Joseph Railroad Company now known as N. Congress Avenue right-of-way and lying South of the South right-of-way line of Interstate 435, EXCEPT that part conveyed to Kansas City, Missouri in Book 636, Page 298, subject to that part, if any, in streets, roadways, highways or other public rights-of-way. Containing 2,646,096 square feet or 60.746 acres.

**UTILITY CONTACTS**

AT&T TELEPHONE COMPANY	816-275-2721
CENTURYLINK	1-800-283-4237
COMCAST	1-866-641-1625
CONSOLIDATED	1-800-283-4237
EVERGY	816-471-5275
GOOGLE FIBER	1-866-954-1572
KANSAS CITY, MO. PUBLIC WORKS DEPT.	816-513-9871
KANSAS CITY, MO. WATER SERVICES DEPT.	816-513-0209
KC FIBER/LINK CITY	816-564-9994
LEVEL 3	913-645-5032
MAGELLAN MIDSTREAM PARTNERS	1-800-720-2417
MODOT	1-888-275-6636
NORTH KANSAS CITY SCHOOL DISTRICT	816-413-5075
SOUTHERN STAR CENTRAL	913-422-6321
SPECTRUM	1-866-967-7611
SPIRE ENERGY	1-314-776-9517
SPRINT	913-488-8489
UNITE PRIVATE NETWORK	1-866-963-4237
UTILITY LOCATION MARKING	1-800-DIG-RITE
VEOLIA ENERGY (TRIGEN)	816-889-4977
VERIZON COMMUNICATIONS, INC.	1-800-624-9675
ZAYO	816-591-0282

**UTILITIES:**

The information concerning locations of underground utilities shown hereon which are not visible from the surface, has been taken from the records and field locations of the various utility companies and has not been field verified by this company. These locations are not to be construed as accurate or exact.

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**FLOOD PLAIN NOTE**

According to the Flood Insurance Rate Map of the Federal Emergency Management Agency, Panel Number 41 of 625, Community-Panel Number 29095C0041G, Revised January 20, 2017, portions of the subject property lay within Zone AE - Base Flood Elevations determined.

**Sheet List Table**

Sheet Number	Sheet Title
C01	Title Sheet
C02	Existing Condition
C03	Preliminary Plat
C04	General Layout
C05	Lot 1 Dimension Plan
C06	Lot 2 Dimension Plan
C07	Lot 3 Dimension Plan
C08	Lot 4 Parking Lot
C09	Grading Plan
C10	Site Utility Plan
C11	Preliminary Stream Buffer Plan
L01	Overall Landscape Plan
E01	North West Lot
E02	South West Lot
E03	North East Lot
E04	South East Lot

LEGEND			
	Existing Section Line		Proposed Right-of-Way
	Existing Right-of-Way Line		Proposed Property Line
	Existing Lot Line		Proposed Lot Line
	Existing Easement Line		Proposed Easement
	Existing Curb & Gutter		Proposed Curb & Gutter
	Existing Sidewalk		Proposed Sidewalk
	Existing Storm Sewer		Proposed Storm Sewer
	Existing Storm Structure		Proposed Storm Structure
	Existing Waterline		Proposed Fire Hydrant
	Existing Gas Main		Proposed Waterline
	Existing Sanitary Sewer		Proposed Sanitary Sewer
	Existing Sanitary Manhole		Proposed Sanitary Manhole
	Existing Contour Major		Proposed Contour Major
	Existing Contour Minor		Proposed Contour Minor
			Future Curb and Gutter

**APPLICANT/DEVELOPER**  
Genesis Realty and Development LLC  
816.756.2331  
Attn: Omid Shahbazian  
Omid@builtbygenesis.com  
4420 Madison Ave. Suite 104  
Kansas City, MO 64111

**CIVIL ENGINEER, LANDSCAPE ARCHITECT AND SURVEYOR**  
Renaissance Infrastructure Consulting  
ric-consult.com | 816.800.0950  
Attn: Chase Kohler  
ckohler@ric-consult.com  
1815 McGee St. Suite 200  
Kansas City, MO 64108

Development Plans & Preliminary Plat  
21-0225  
Genesis 60 Ac. Industrial  
Kansas City, Platte County, Missouri

Title Sheet

NO.	DATE	REVISION
2.	01/13/2022	Per City Comments
1.	11/12/2021	Original Submittal

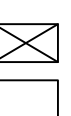
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BDG	CK

**Renaissance Infrastructure Consulting**  
1815 MCGEE STREET, SUITE 200  
KANSAS CITY, MISSOURI 64108  
www.rii-consult.com  
816.800.0950  
E-2010033830  
MO Certificate of Authority



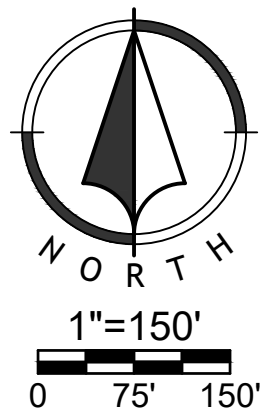
Know what's below.  
Call before you dig.  
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1 - 800 - (DIG-RITE)  
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NOT FOR CONSTRUCTION  
FOR CONSTRUCTION



Sheet  
C01

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Development Plans & Preliminary Plat  
21-0225  
Genesis 60 Ac. Industrial  
Kansas City, Platte County, Missouri

Existing Condition

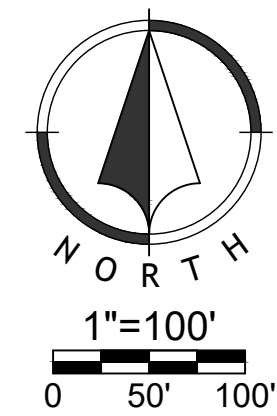
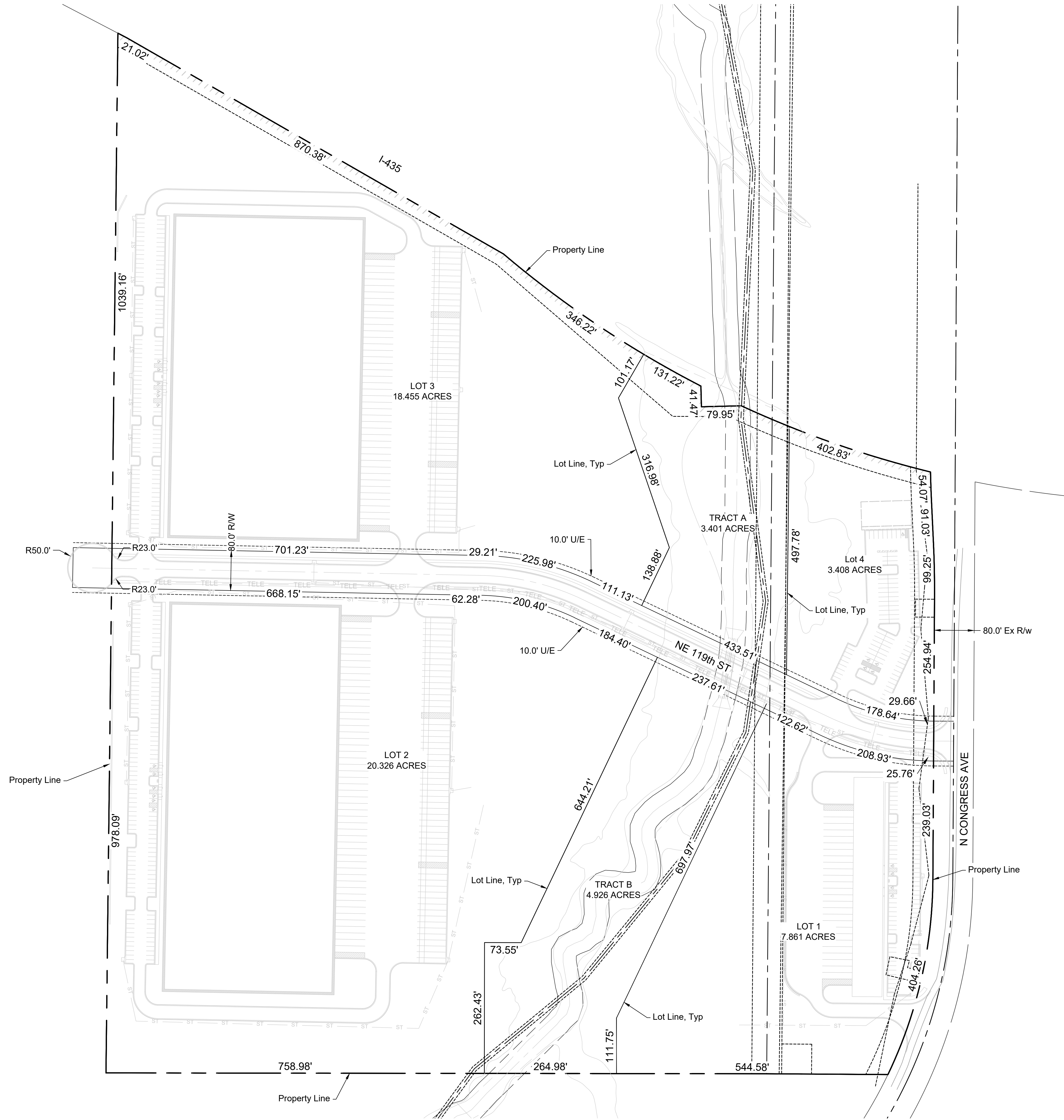
NO.	DATE	REVISION
2.	01/13/2022	Per City Comments
1.	11/12/2021	Original Submittal

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**Renaissance Infrastructure Consulting**  
 1815 MCCREE STREET, SUITE 200  
 KANSAS CITY, MISSOURI 64108  
 WWW.RIC-CONSULT.COM  
 MO Certificate of Authority: E-2010033630

Sheet  
C02

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NO.	DATE	REVISION
2.	01/13/2022	Per City Comments
1.	11/12/2021	Original Submittal

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CHECKED BY: CK

**Renaissance Infrastructure Consulting**  
 1815 MCGEE STREET, SUITE 200  
 KANSAS CITY, MISSOURI 64108  
 816.800.0950  
 WWW.RIC-CONSULT.COM  
 MO Certificate of Authority: E-2010033830

Sheet  
C03

Development Plans & Preliminary Plat  
 21-0225  
 Genesis 60 Ac. Industrial  
 Kansas City, Platte County, Missouri

Preliminary Plat

NO.	DATE	REVISION
2	01/13/2022	Per City Comments
1	11/12/2021	Original Submittal

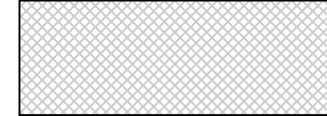
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 CHECKED BY: CK


**Renaissance Infrastructure Consulting**  
 1815 MCCREE STREET, SUITE 200  
 KANSAS CITY, MISSOURI 64108  
 WWW.RIC-CONSULT.COM  
 MO Certificate of Authority: E-2010033630

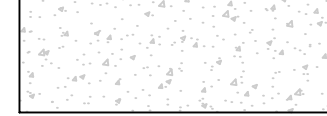
SITE	ZONING (a)	GROSS AREA (Ac.) (b)	PROPOSED R/W (Ac.) (c)	NET AREA (Ac.) (d)	LAND USE (e)	NO. OF FLOORS (f)	GROSS BUILDING AREA (sf) (g)	BUILDING COVERAGE (sf) (h)	FAR (h)
1	M2-3	7.861	0	7.861	Warehouse/Com	1	26,400	26,400	0.08
2	M2-3	20.326	0	20.326	Warehouse/Com	1	270,000	270,000	0.30
3	M2-3	18.455	0	18.455	Warehouse/Com	1	250,250	250,250	0.31
4A	M2-3	3.408	0	3.408	Maintenance Facility	1	5,000	5,000	0.03
4B	M2-3	3.408	0	3.408	Vehicular Storage	N/A	N/A	N/A	N/A
A	M2-3	3.401	0	3.401	BMP/Detention	-	-	-	-
B	M2-3	4.926	0	4.926	BMP/Detention	-	-	-	-
R/W	N/A		2.55	2.55	Right of Way	-	-	-	-


SITE	Parking Spaces		ADA SPACES		BICYCLE PARKING (LONG TERM)		BICYCLE PARKING (SHORT TERM)		START DATE (l)	END DATE (l)			
	RATIO (j)	REQ (j)	PROVIDED (j)	REQ (j)	PROVIDED (j)	RATIO (k)	REQ (k)	PROVIDED** (k)			RATIO (k)	REQ (k)	PROVIDED (k)
1	1/4 Emp	9	76	4	4	1/20 Emp	2	16	3 (Min)	3	3	Per Market	Per Market
2	1/4 Emp	135	139	6	6	1/20 Emp	27	27	3 (Min)	3	3	Per Market	Per Market
3	1/4 Emp	123	123	5	5	1/20 Emp	25	25	3 (Min)	3	3	Per Market	Per Market
4A	1/4 Emp	2	98	4	5	1/20 Emp	1	1	3 (Min)	3	3	Per Market	Per Market
4B	N/A	N/A	98	4	5	-	0	0	0	0	0	Per Market	Per Market
B													
C													
D													
R/W													

PAVING SCHEDULE


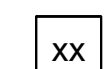


Normal Asphaltic Concrete Pavement 

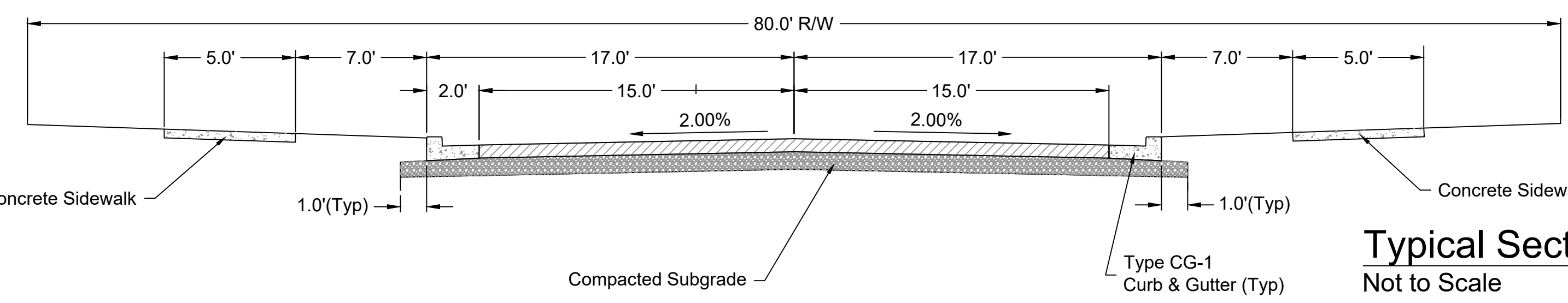
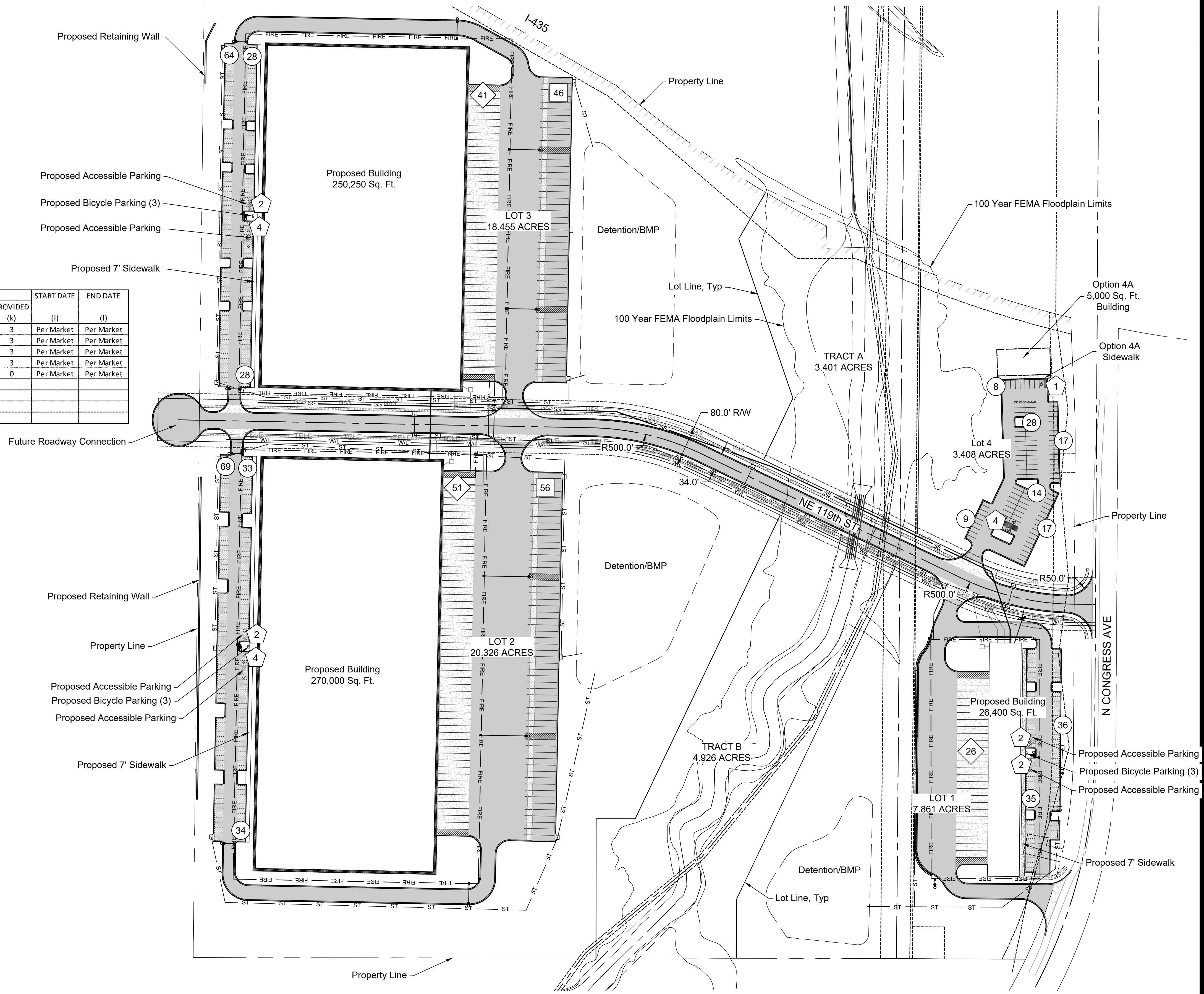
Heavy Asphaltic Concrete Pavement 

8" Portland Concrete Pavement and 4" Concrete Sidewalk 

10" Heavy Duty Reinforced Portland Concrete Pavement 

PARKING COUNT & LEGEND

-  Employee Parking
-  60'x12' Trailer Parking
-  60'x13' Truck Dock0
-  ADA Parking

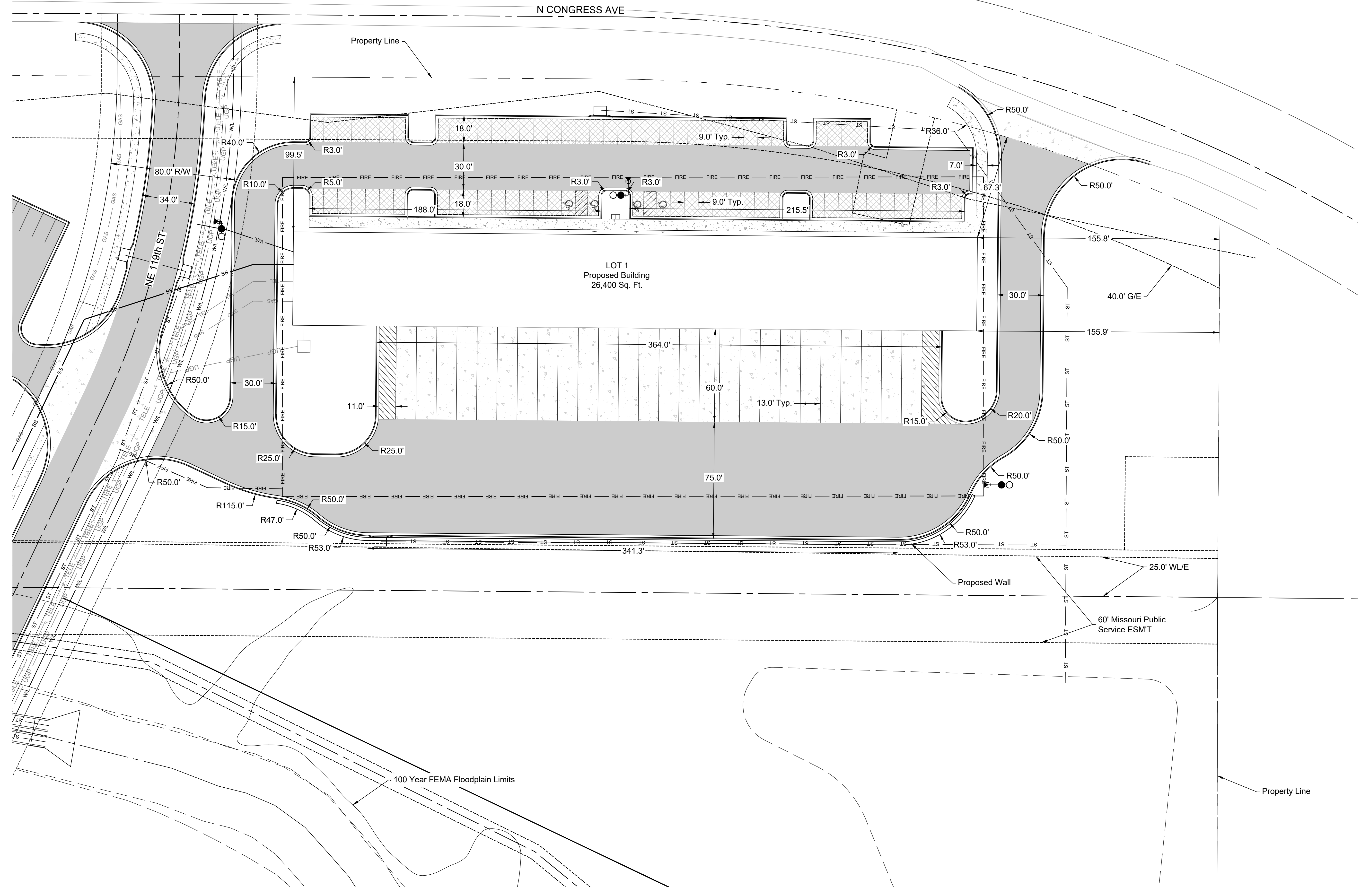


Typical Section  
 Not to Scale



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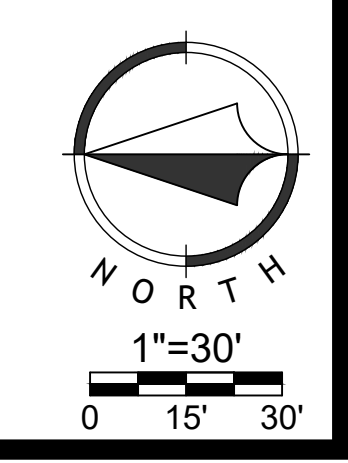
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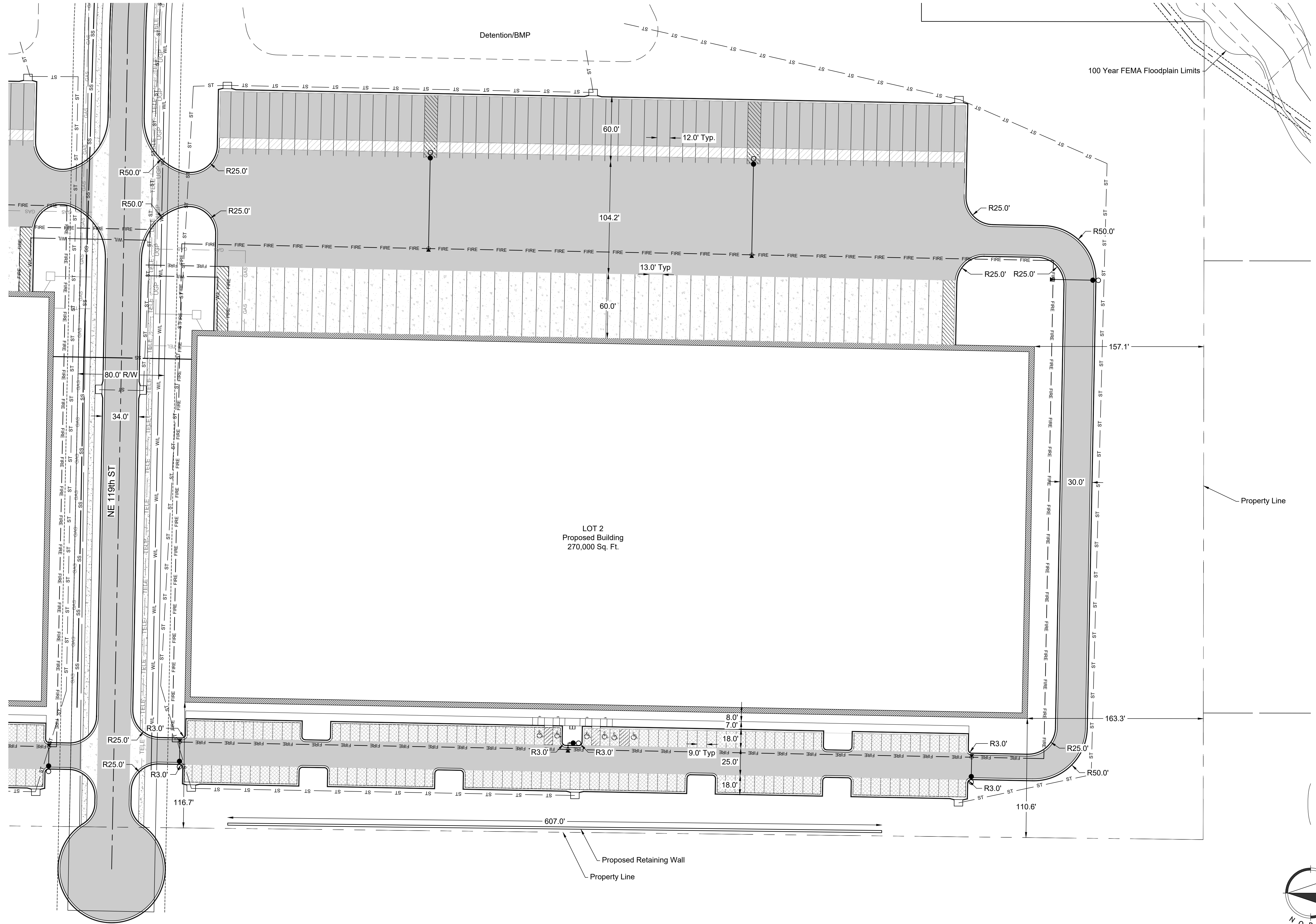
NO.	DATE	REVISION
2.	01/13/2022	Per City Comments
1.	11/12/2021	Original Submittal

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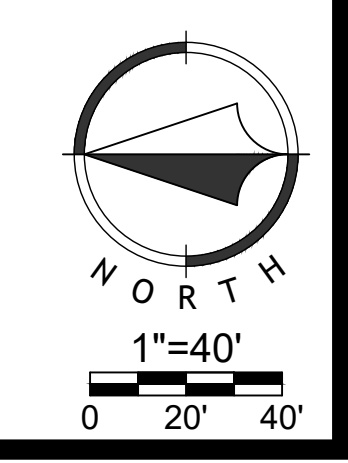
**Renaissance Infrastructure Consulting**  
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LOT 2  
Proposed Building  
270,000 Sq. Ft.



Development Plans & Preliminary Plat  
21-0225  
Genesis 60 Ac. Industrial  
Kansas City, Platte County, Missouri

Lot 2 Dimension Plan

NO.	DATE	REVISION
2.	01/13/2022	Per City Comments
1.	11/12/2021	Original Submittal

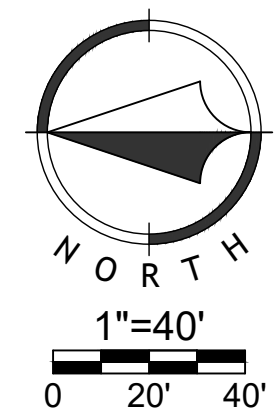
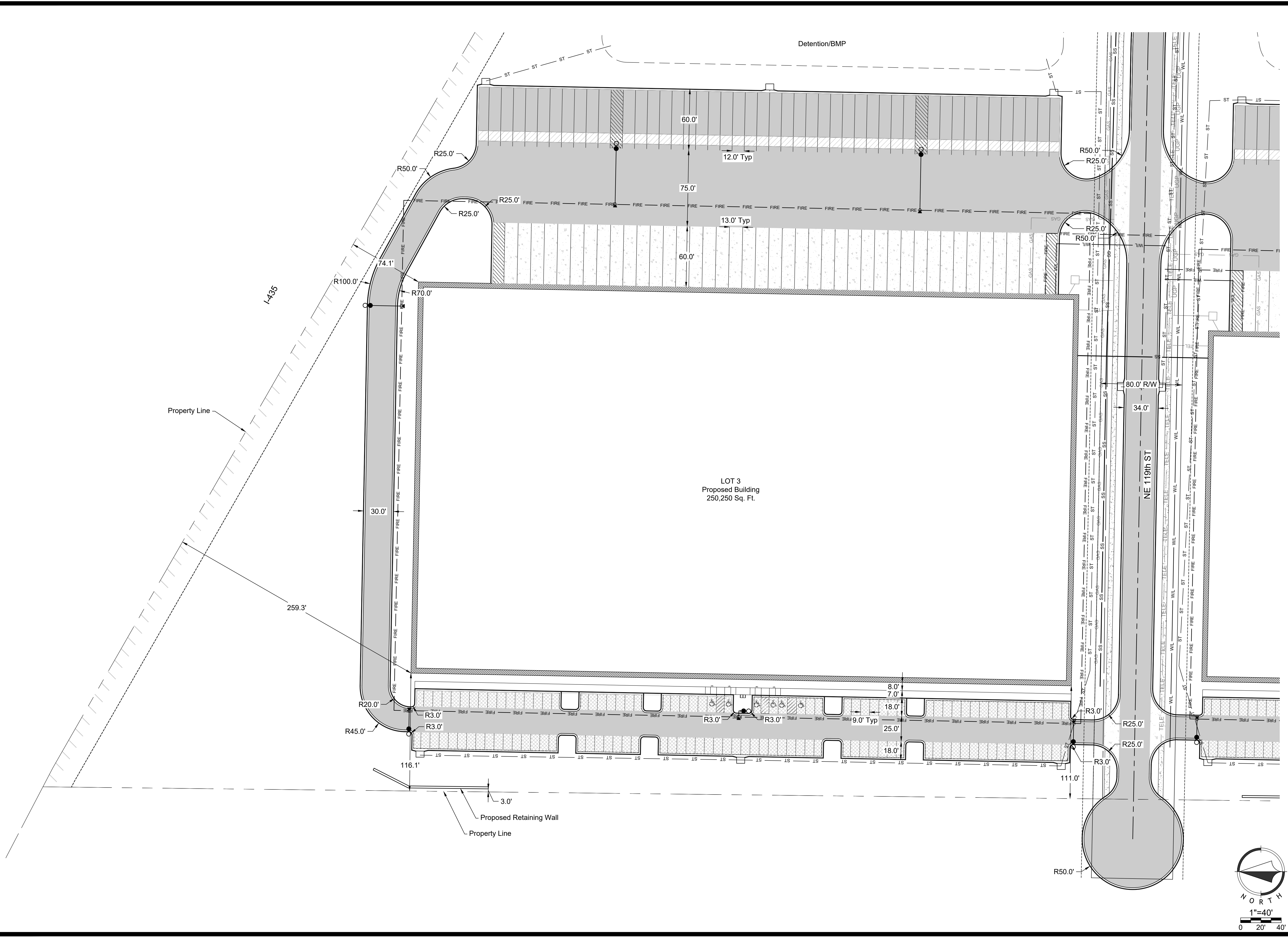
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Development Plans & Preliminary Plat  
21-0225  
Genesis 60 Ac. Industrial  
Kansas City, Platte County, Missouri

Lot 3 Dimension Plan

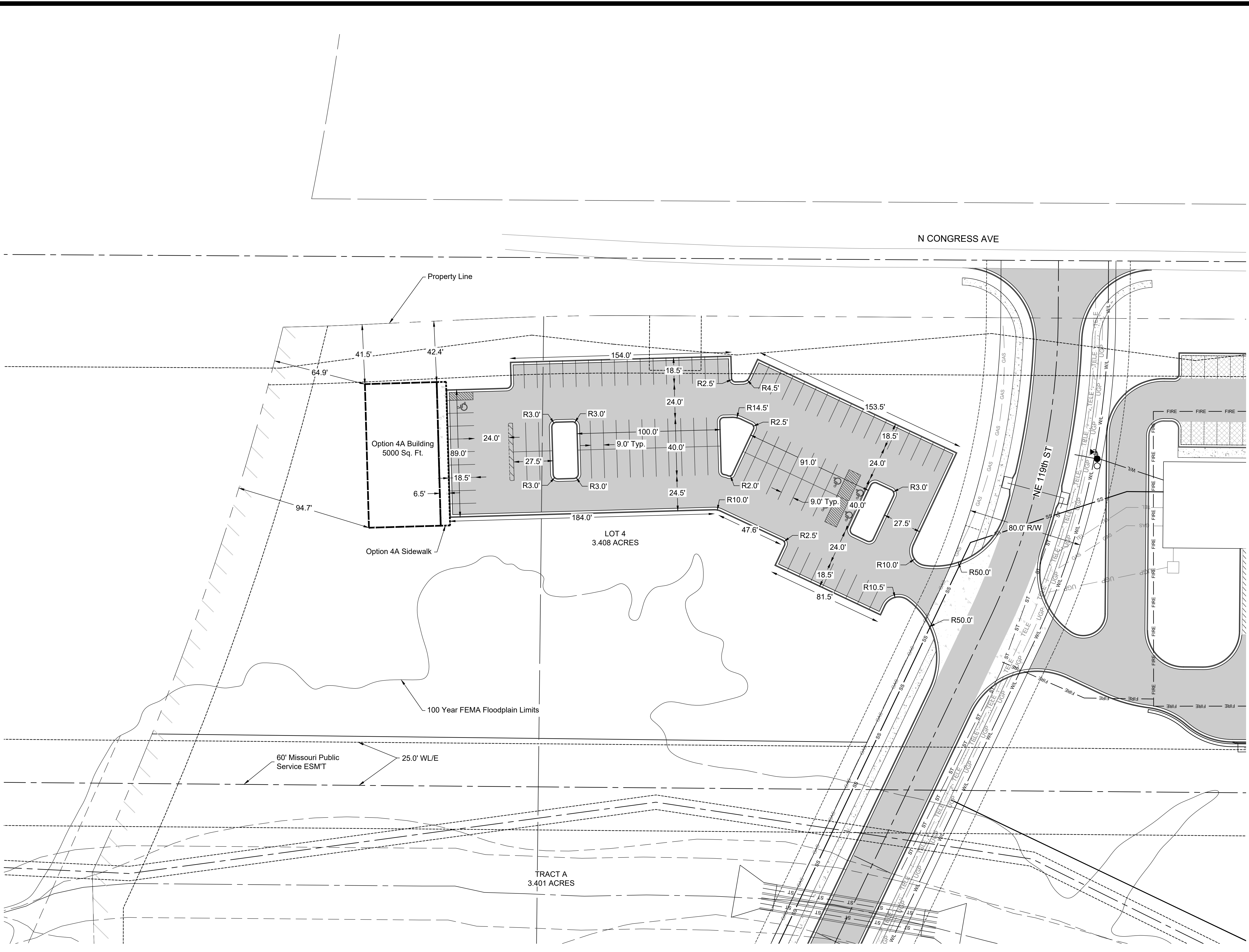
NO.	DATE	REVISION
2.	01/13/2022	Per City Comments
1.	11/12/2021	Original Submittal

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Development Plans & Preliminary Plat  
 21-0225  
 Genesis 60 Ac. Industrial  
 Kansas City, Platte County, Missouri

Lot 4 Parking Lot

NO.	DATE	REVISION
2.	01/13/2022	Per City Comments
1.	11/12/2021	Original Submittal

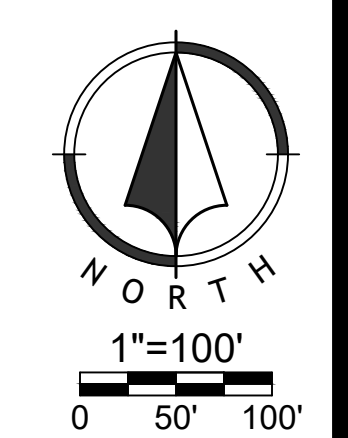
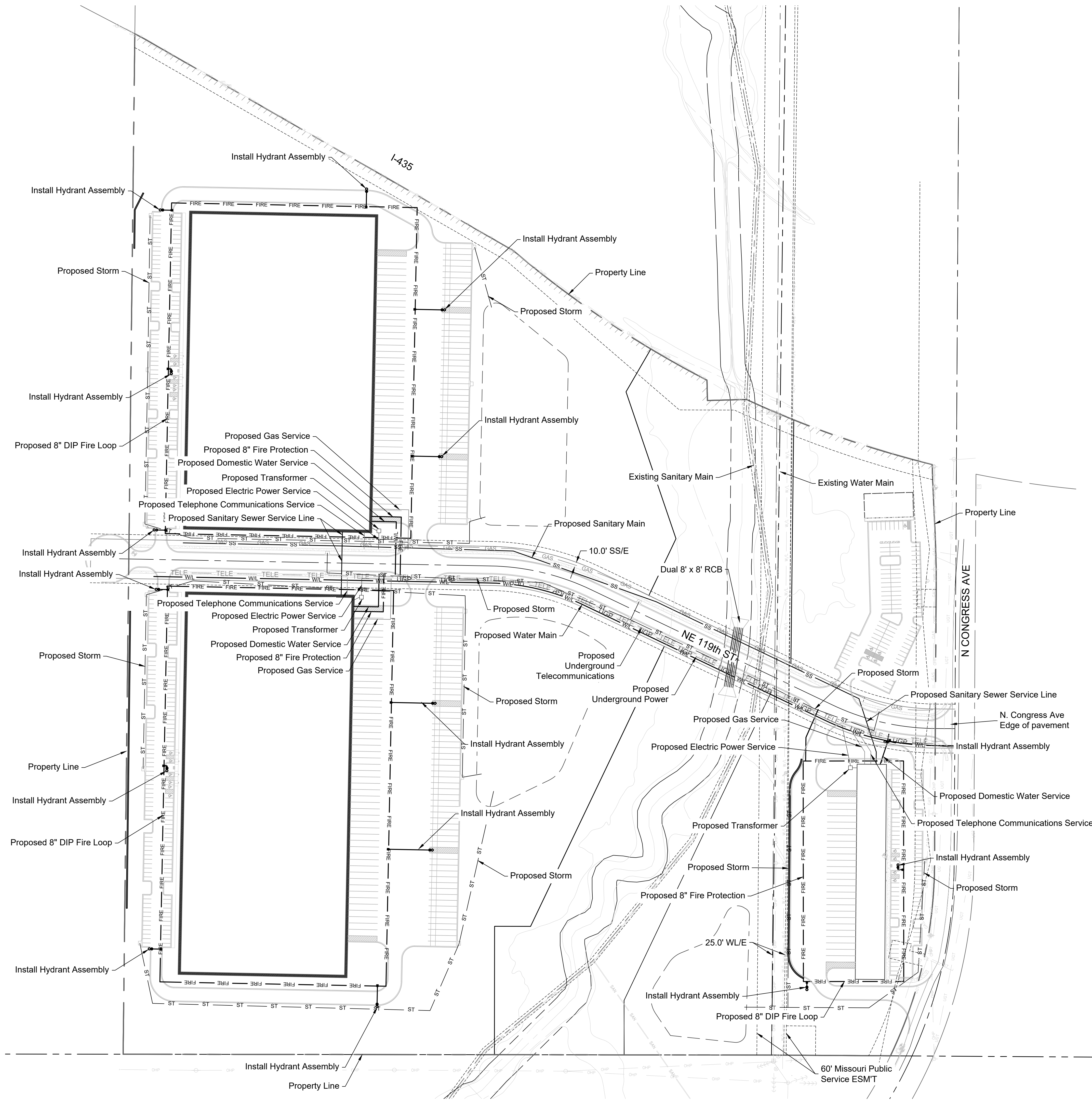
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**LANDSCAPE NOTES**

- LOCATE UTILITIES PRIOR TO COMMENCING LANDSCAPE OPERATIONS. ALL TREES SHALL BE FIELD POSITIONED AS TO AVOID CONFLICTS WITH EXISTING AND PROPOSED UTILITIES. NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS OR OBSTRUCTIONS.
- CONTRACTOR SHALL STAKE ALL PLANTING AREAS IN THE FIELD PRIOR TO PLANTING FOR APPROVAL OF THE OWNER OR THEIR REPRESENTATIVE.
- QUANTITIES SHOWN ARE FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES PRIOR TO BIDDING AND SHALL BE RESPONSIBLE FOR ALL QUANTITIES FOR THEIR BID. ANY DISCREPANCIES WITH THE PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. THE PLAN QUANTITIES SHALL SUPERCEDE SCHEDULED QUANTITIES.
- ALL PLANT MATERIAL SHALL BE SPECIMEN QUALITY AND SHALL COMPLY WITH RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 THE 'AMERICAN STANDARD FOR NURSERY STOCK'.
- ALL PLANTING BEDS & NATIVE GRASS STANDS SHALL BE EDGED AS SHOWN IN PLAN.
- PREPARE PLANTING BEDS AND INCORPORATE AMENDMENTS ACCORDING TO PLANS.
- SHREDDED HARDWOOD MULCH, PER SPECIFICATIONS SHALL BE USED AS A THREE INCH (3") TOP DRESSING IN ALL PLANTING BEDS AND AROUND ALL TREES. SINGLE TREES AND SHRUBS SHALL BE MULCHED TO THE OUTSIDE EDGE OF THE SAUCER OR LANDSCAPE ISLAND.
- ALL TREES SHALL BE STAKED PER DETAIL.
- ALL PLANT MATERIAL SHALL BE INSTALLED TO ALLOW A ONE FOOT (1') CLEARANCE BETWEEN PLANT AND ADJACENT PAVEMENT.
- THE LANDSCAPE CONTRACTOR SHALL NOT COMMENCE WORK UNTIL THE SITE IS FREE OF DEBRIS CAUSED BY ON-GOING CONSTRUCTION OPERATIONS. REMOVAL OF DEBRIS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. LANDSCAPE WORK SHALL NOT BEGIN UNTIL THE LANDSCAPE ARCHITECT AND OWNER HAVE GIVEN WRITTEN APPROVAL FOR SUCH. THERE SHALL BE NO DELAYS DUE TO LACK OF COORDINATION FOR THIS ACTIVITY.
- THE LANDSCAPE ARCHITECT AND OWNER SHALL APPROVE GRADES AND CONDITION OF SITE PRIOR TO SODDING/SEEDING OPERATIONS.
- ALL AREAS DISTURBED DURING CONSTRUCTION AND NOT DESIGNATED FOR OTHER PLANTINGS OR HARDSCAPE SHALL BE SEEDDED WITH TURF TYPE FESCUE.
- ALL LANDSCAPE AREAS SHALL BE IRRIGATED. TURF AREAS SHALL BE IRRIGATED BY SPRAY OR ROTOR. PLANT BEDS SHALL BE IRRIGATED BY DRIP IRRIGATION. IRRIGATION SYSTEM SHALL INCLUDE AUTOMATIC RAIN-SENSOR DEVICE. IRRIGATION SHOP DRAWINGS SHALL BE PROVIDED BY THE CONTRACTOR FOR APPROVAL PRIOR TO CONSTRUCTION.

**CONCEPT PLANT SCHEDULE**

STREET TREE	248
2" Cal. B&B Acer griseum / Paperbark Maple Acer saccharum 'Legacy' / Legacy Sugar Maple Acer saccharum 'Sugar Cone' / Sugar Cone Sugar Maple Carpinus caroliniana 'JFS-KW6' TM / Native Flame American Hornbeam Gleditsia triacanthos inermis 'Shademaster' / Shademaster Honey Locust Gymnocladus dioica 'Espresso' / Kentucky Coffeetree Liriodendron tulipifera / Tulip Poplar Liriodendron tulipifera 'Fastigiata' / Columnar Tulip Poplar Quercus bicolor / Swamp White Oak Quercus rubra / Red Oak Ulmus americana 'Valley Forge' / Valley Forge American Elm Zelkova serrata 'Wireless' / Wireless Zelkova	
SHADE/ORNAMENTAL TREE	200
2" Cal. B&B Acer griseum / Paperbark Maple Acer rubrum 'Autumn Blaze' / Autumn Blaze Red Maple Acer truncatum 'Warren Red' / Pacific Sunset Maple Cercis canadensis 'Forest Pansy' TM / Forest Pansy Redbud Cornus kousa / Kousa Dogwood Ginkgo biloba 'Princeton Sentry' / Princeton Sentry Ginkgo Gymnocladus dioica 'Espresso' / Kentucky Coffeetree Liriodendron tulipifera / Tulip Poplar Malus x 'Prairifire' / Prairifire Crab Apple Malus x 'Spring Snow' / Spring Snow Crab Apple Nyssa sylvatica 'Haymanred' TM / Red Rage Tupelo Nyssa sylvatica 'Wildfire' / Black Gum Quercus robur 'Regal Prince' / Regal Prince English Oak Quercus rubra / Red Oak Taxodium distichum 'Mickelson' TM / Shawnee Brave Bald Cypress Zelkova serrata 'City Sprite' TM / City Sprite Zelkova	
SHRUBS AND GRASSES	226
24" Ht. Min. 3-5 Gal. Aronia melanocarpa 'Morton' TM / Iroquois Beauty Black Chokeberry Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass Cornus stolonifera 'Arctic Fire' / Arctic Fire Dogwood Hypericum frondosum 'Sunburst' / Sunburst Hypericum Itea virginica 'Henry's Garnet' / Henry's Garnet Sweetspire Miscanthus sinensis 'Gracillimus' / Maiden Grass Miscanthus sinensis 'Morning Light' / Morning Light Eulalia Grass Panicum virgatum 'Haense Herms' / Haense Herms Switch Grass Pennisetum alopecuroides 'Hamel' / Hamel Fountain Grass Schizachyrium scoparium 'Prairie Munchkin' / Prairie Munchkin Little Bluestem Spiraea japonica / Japanese Spirea Spiraea nipponica 'Snowmound' / Snowmound Spirea	
EVERGREEN SHRUBS	286
24" Ht. Min. 3-5 Gal. Juniperus chinensis 'Gold Lace' / Gold Lace Juniper Juniperus chinensis 'Sea Green' / Sea Green Juniper Juniperus horizontalis 'Hughes' / Hughes Juniper Juniperus sabinna 'Buffalo' / Buffalo Juniper Juniperus squamata 'Blue Star' / Blue Star Juniper Taxus x media 'Densiformis' / Dense Yew Thuja occidentalis 'Emerald' / Emerald Arborvitae Thuja occidentalis 'Little Giant' / Little Giant Arborvitae	

**NOTE:**  
Sod shall be placed around all buildings and as a 6' sod strip along the back of all curbs and pavement areas. All other disturbed areas shall be seeded with turf-type fescue.

**LANDSCAPE CALCULATIONS**

**Street Trees**  
Required: 1 Tree / 30' Street Frontage  
Provided:  
Lot 1 Congress Ave (642') = 22 Trees  
Lot 1 119th St (332') = 11 Trees  
Lot 2 119th St (1,115') = 38 Trees  
Lot 3 119th St (1,068') = 36 Trees  
Lot 4 Congress Ave (540') = 18 Trees  
Lot 4 119th St (675') = 23 Trees

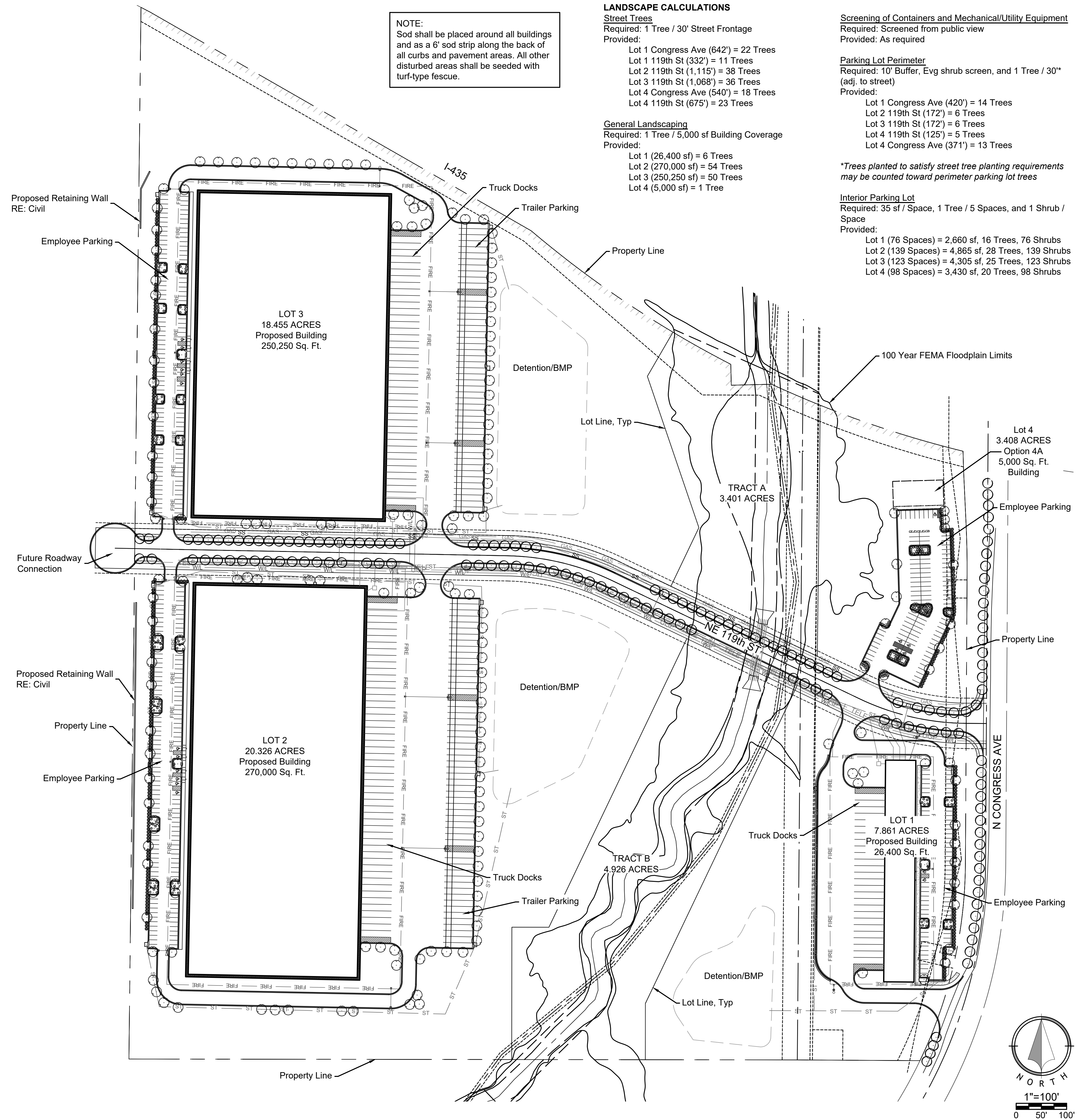
**General Landscaping**  
Required: 1 Tree / 5,000 sf Building Coverage  
Provided:  
Lot 1 (26,400 sf) = 6 Trees  
Lot 2 (270,000 sf) = 54 Trees  
Lot 3 (250,250 sf) = 50 Trees  
Lot 4 (5,000 sf) = 1 Tree

**Screening of Containers and Mechanical/Utility Equipment**  
Required: Screened from public view  
Provided: As required

**Parking Lot Perimeter**  
Required: 10' Buffer, Evg shrub screen, and 1 Tree / 30' (adj. to street)  
Provided:  
Lot 1 Congress Ave (420') = 14 Trees  
Lot 2 119th St (172') = 6 Trees  
Lot 3 119th St (172') = 6 Trees  
Lot 4 119th St (125') = 5 Trees  
Lot 4 Congress Ave (371') = 13 Trees

\*Trees planted to satisfy street tree planting requirements may be counted toward perimeter parking lot trees

**Interior Parking Lot**  
Required: 35 sf / Space, 1 Tree / 5 Spaces, and 1 Shrub / Space  
Provided:  
Lot 1 (76 Spaces) = 2,660 sf, 16 Trees, 76 Shrubs  
Lot 2 (139 Spaces) = 4,865 sf, 28 Trees, 139 Shrubs  
Lot 3 (123 Spaces) = 4,305 sf, 25 Trees, 123 Shrubs  
Lot 4 (98 Spaces) = 3,430 sf, 20 Trees, 98 Shrubs



Development Plans & Preliminary Plat  
21-0225  
Genesis 60 Ac. Industrial  
Kansas City, Platte County, Missouri

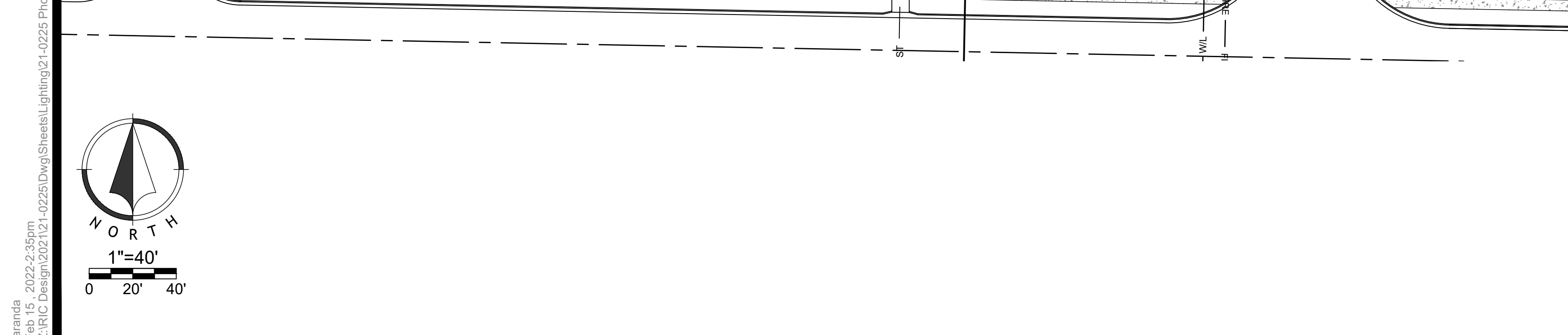
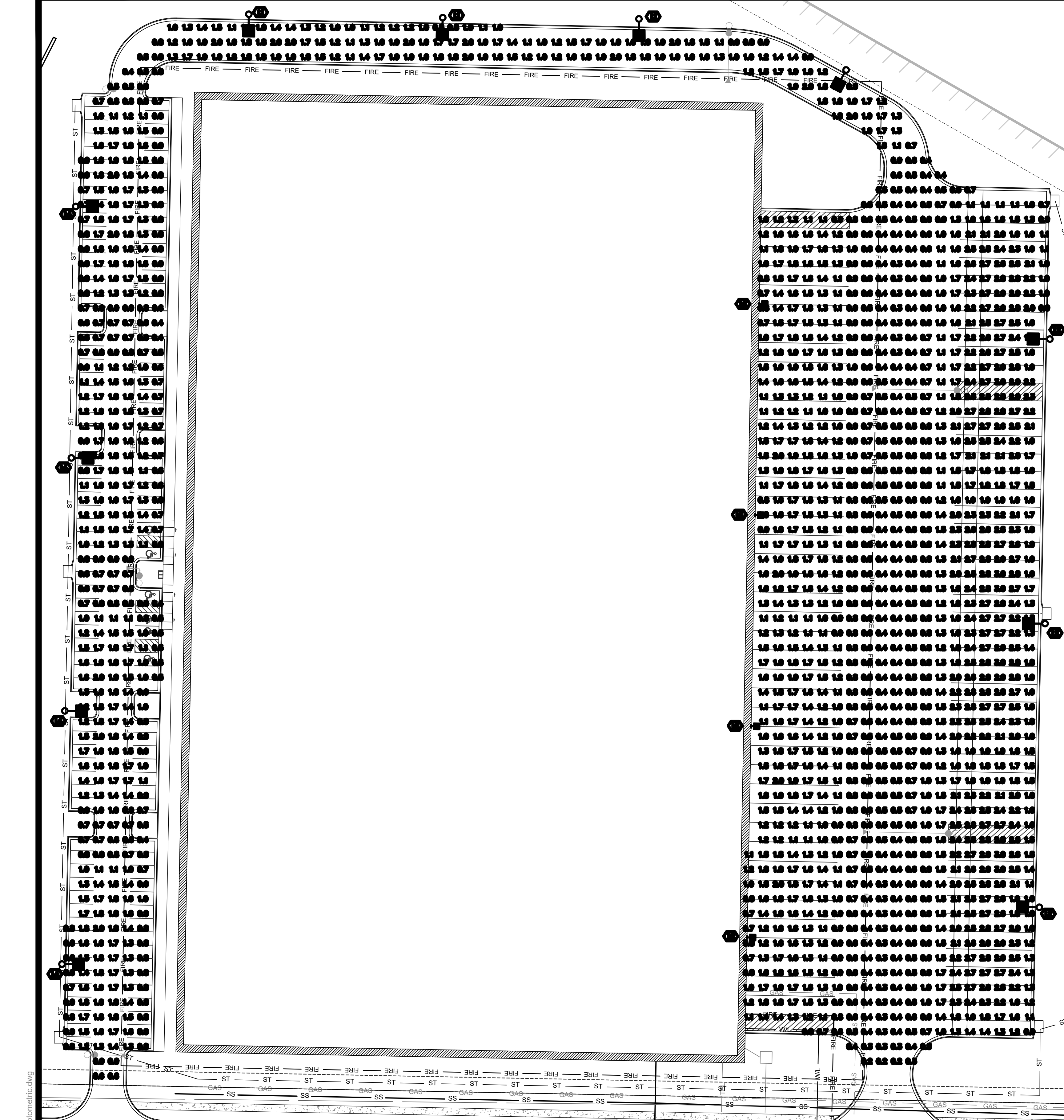
Overall Landscape Plan

NO.	DATE	REVISION
2	01/13/2022	Per City Comments
1	11/22/2021	Original Submittal

DRAWN BY: AL  
CHECKED BY: AG

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**GENERAL PHOTOMETRIC SCHEDULE**

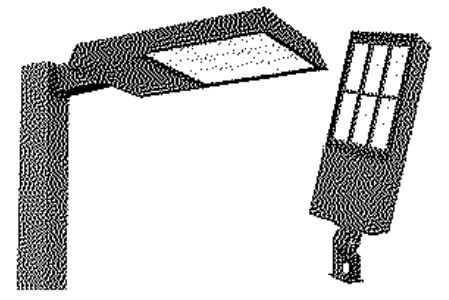
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MAXIMUM FOOT-CANDELES	3.0
MINIMUM FOOT-CANDELES	0.2
MAXIMUM TO MINIMUM FC RATIO	12.78
AVERAGE TO MINIMUM FC RATIO	5.88

**LIGHT FIXTURE SCHEDULE**

GROUP	SYMBOL	QUANTITY	ZONE	WATTAGE	PHASE	HEIGHT	AMP
L1	○	10	GENERAL ZONE	100 W	PHASE	30 FT.	0.8
L2	○	7	GENERAL ZONE	80 W	PHASE	40 FT.	0.6
L3	○	6	GENERAL ZONE	200 W	PHASE	30 FT.	0.8
L4	○	6	GENERAL ZONE	200 W	PHASE	30 FT.	0.8
L5	○	4	GENERAL ZONE	200 W	PHASE	30 FT.	0.8
L6	■	12	GENERAL ZONE	100 W	WALL	30 FT.	0.8

**FEATURES**

- Low profile LED anodized luminaire with a variety ofIES distributions for lighting applications such as retail, commercial and campus parking lots
- Featuring Micro Spike Optics which maximizes target zone illumination with minimal losses at the house-side, reducing light trespass issues
- Visual comfort standard
- Area and flood optics available for maximum versatility
- Control options including photo control, occupancy sensing, NX Distributed Intelligence™ and 7-pin with networked controls
- Best in class surge protection



**CONTROL TECHNOLOGY**

SiteSign™ NX DISTRIBUTED INTELLIGENCE wISCAPE™

**SPECIFICATIONS**

**CONSTRUCTION**

- Rectilinear form mimics the traditional sheet-roof form factor, keeping a similar but updated style and appearance, ideal for retrofit applications
- Die-cast housing with hidden vertical heat fins that are optimal for heat dissipation while keeping a clean smooth outer surface
- Corrosion resistant, die-cast aluminum housing with powder coat paint finish

**OPTICS**

- Intire optical aperture illuminates to create a larger luminous surface area resulting in a low glare appearance without sacrificing optical performance
- 540 or 720 mipspower LEDs
- 3000K, 4000K or 5000K (70 CRB) CCT
- Zero uplight at 0 degrees of tilt
- Field variable optics

**INSTALLATION**

- Standard knock-out wire mount, compatible with 83-93 pattern
- Knuckle arm filler option available for 2-3/8" OD boxes. Max tilt of 60 degrees with 4 degree adjustable increments. Restrictions apply for 7 pin option

**ELECTRICAL**

- Universal 120-277 VAC or 347-480 VAC input voltage, 50/60 Hz
- Ambient operating temperature -40°C to 40°C
- Drivers have greater than 90% power factor and less than 20% THD

**ELECTRICAL (CONTINUED)**

- Field replaceable surge protection device (provides 20kA protection meeting ANSI IEEE C62.41.2 Category C High and Surge Location Category C3. Automatically deactivates feature off-line for protection when device is compromised)

**CONTROLS**

- Photo control, occupancy sensor and wireless available for complete on/off and dimming control
- 7 pin ANSI C136 41-2013 photocentral receptacle option available for fast lock photocontrols or wireless control modules (control accessories sold separately)
- Dimming Drivers are standard and dimming loads are extended out of the luminaire unless control options require connection to the dimming leads. Must specify if wiring loads are to be greater than the 6" standard
- SiteSync™ wireless control system is available via 7 pin. See ordering information and details at: www.hubbellighting.com/siteync
- NX Distributed Intelligence™ available with in fixture wireless control module, features dimming and occupancy sensor via 7-pin
- wISCAPE™ available with in fixture wireless control module, features dimming and occupancy sensor via 7-pin

**CERTIFICATIONS**

- Listed to UL1598 and CSA C22.2 #250-D-34 for wet locations and 40°C ambient temperatures
- Feature is IP66 rated
- Meets IESNA recommendations using 3K CCT configuration at 0 degrees of tilt
- DLG® (DesignLights Consortium Qualified), with some Premium Qualified configurations. Please refer to the DLG website for specific product qualifications at www.designlights.org
- This product qualifies as a "designated country construction material" per FAR 102.225-11 Buy American Construction Materials under Trade Agreements effective 06/23/2025. See Buy American Solutions

**WARRANTY**

- 5 year limited warranty
- See [UL Standard Warranty](#) for additional information

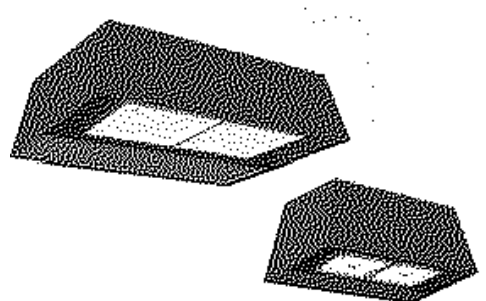
**KEY DATA**

Lumen Range	35,000-80,000
Wattage Range	230-575
Efficacy Range (LPW)	117-151
Fixture Projected Life (Hours)	170,000
Weights lbs. (kg)	35 (15.9)

**RATIO Wall**

**FEATURES**

- Low profile LED wall luminaire with a variety ofIES distributions for lighting applications such as retail, commercial and industrial building mount
- Featuring Micro Spike Optics which maximizes target zone illumination with minimal losses at the house-side, reducing light trespass issues
- Visual comfort standard
- Control options including photo control, occupancy sensing, NX Distributed Intelligence™, wISCAPE™ and 7-pin with networked controls
- Battery Backup options available for emergency code compliance
- Quick-mount adapter allows easy installation/maintenance
- 347V and 480V versions for industrial applications and Canada
- Stock versions available in 2500lm and 5000lm configurations at 4000K



**CONTROL TECHNOLOGY**

SiteSign™ NX DISTRIBUTED INTELLIGENCE wISCAPE™

**SPECIFICATIONS**

**CONSTRUCTION**

- Die-cast housing with hidden vertical heat fins that are optimal for heat dissipation while keeping a clean smooth outer surface
- Corrosion resistant, die-cast aluminum housing with powder coat paint finish
- Powder paint finish provides durability in outdoor environments. Tested to meet 1000 hour salt spray testing

**OPTICS**

- Intire optical aperture illuminates to create a larger luminous surface area resulting in a low glare appearance without sacrificing optical performance
- 48 or 150 mipspower LEDs
- 3000K, 4000K or 5000K (70 CRB) CCT
- Zero uplight distributions
- LED optics provide IES Type II, III and IV distributions. Type III only available in RWL2 configurations

**INSTALLATION**

- Quick-mount adapter provides easy installation to wall or to recessed junction boxes (4" square junction box)
- Designed for direct beam mount
- Integral back box contains 1/2" conduit hub
- Integral back box standard with Dual Drive, Dual Power Feed, NX, Wiscap and battery versions (battery versions for RWL1 only)

**ELECTRICAL**

- 120-277V universal voltage 50/60Hz 0-10V dimming drivers
- 347V and 480V dimmable driver option for all wattages above 25W

**ELECTRICAL (CONTINUED)**

- Ambient operating temperature -40°C to 40°C
- Drivers have greater than 90 power factor and less than 20% Total Harmonic Distortion
- Driver RHFS and PF90
- Field replaceable surge protection device (provides 20kA protection meeting ANSI IEEE C62.41.2 Category C High and Surge Location Category C3. Automatically deactivates feature off-line for protection when device is compromised)
- Dimming drivers are standard and dimming loads are extended out of the luminaire unless control options require connection to the dimming leads. Must specify if wiring loads are to be greater than the 6" standard

**CONTROLS**

- Photo control, occupancy sensor and wireless available for complete on/off and dimming control
- Button photocentral is suitable for 120-277V operation
- 7 pin ANSI C136 41-2013 photocentral receptacle option available for fast lock photocontrols or wireless control modules (control accessories sold separately)
- NX Distributed Intelligence™ available with in fixture wireless control module, features dimming and occupancy sensor via 7-pin
- wISCAPE™ available with in fixture wireless control module, features dimming and occupancy sensor via 7-pin
- Battery Backup suitable for operating temperatures >5°C to 40°C

**CERTIFICATIONS**

- Listed to UL1598 and CSA C22.2 #250-D-34 for wet locations
- IP65 listed housing
- Please consult board or sales representative when combining control and electrical options as some combinations may not operate as anticipated depending on your application
- This product qualifies as a "designated country construction material" per FAR 102.225-11 Buy American Construction Materials under Trade Agreements effective 06/23/2025. See Buy American Solutions

**WARRANTY**

- 5 year limited warranty
- See [UL Standard Warranty](#) for additional information

**KEY DATA**

Lumen Range	1,300-8,000
Wattage Range	10-125
Efficacy Range (LPW)	75-148
Fixture Projected Life (Hours)	170,000
Weights lbs. (kg)	6.5/6.5 (2.9/2.9)

Development Plans & Preliminary Plat  
21-0225  
Genesis 60 Ac. Industrial  
Kansas City, Platte County, Missouri

North West Lot

NO.	DATE	REVISION
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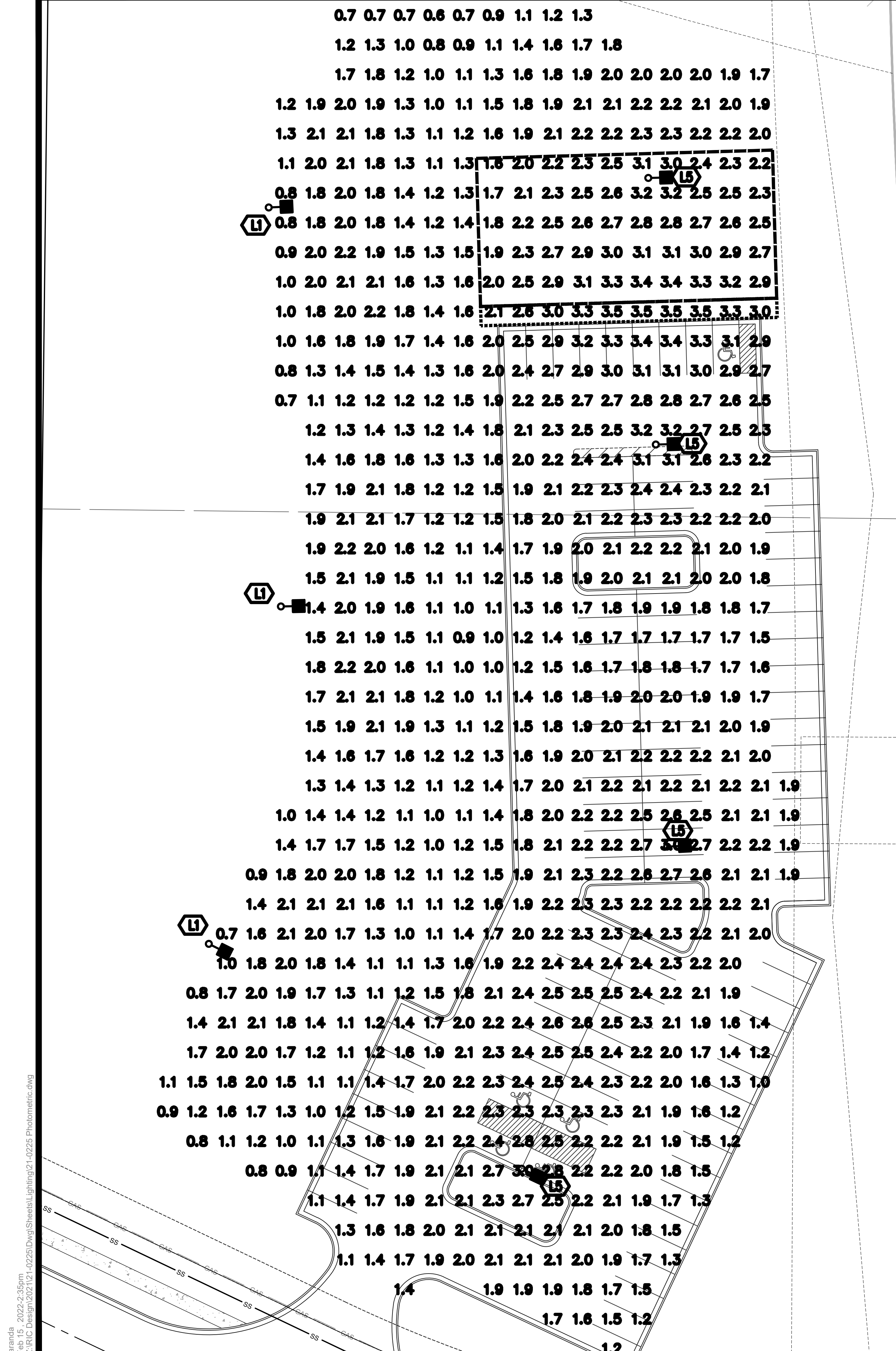
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**GENERAL PHOTOMETRIC SCHEDULE**

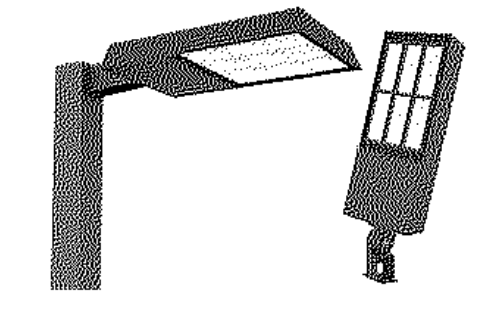
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MAXIMUM FOOT-CANDELS	3.5
MEDIUM FOOT-CANDELS	0.6
MAXIMUM TO MINIMUM FC RATIO	5.82
AVERAGE TO MINIMUM FC RATIO	2.63

- FEATURES**
- Low profile LED anodized luminaire with a variety ofIES distributions for lighting applications such as retail, commercial and campus parking lots
  - Featuring Micro Spike Optics which maximizes target zone illumination with minimal losses at the house-side, reducing light trespass issues
  - Visual comfort standard
  - Area and flood optics available for maximum versatility
  - Control options including photo control, occupancy sensing, NX Distributed Intelligence™ and 7 pin with networked controls
  - Best in class surge protection



**CONTROL TECHNOLOGY**  
 SiteSignix | NX DISTRIBUTED INTELLIGENCE | wiSCAPE™

- SPECIFICATIONS**
- CONSTRUCTION**
- Rectilinear form mimics the traditional sheetrock form factor keeping a similar but updated style and appearance, ideal for retrofit applications
  - Die-cast housing with hidden vertical heat fins that are optimal for heat dissipation while keeping a clean smooth outer surface
  - Corrosion resistant, die-cast aluminum housing with powder coat paint finish
- OPTICS**
- Intra optical aperture illuminates to create a larger luminous surface area resulting in a low glare appearance without sacrificing optical performance
  - 540 or 720 mipspower LEDs
  - 3000K, 4000K or 5000K (70 CR) CCT
  - Zero uplight at 0 degrees of tilt
  - Field variable optics
- INSTALLATION**
- Standard recessed wall mount, compatible with 83 drill pattern
  - Knockout arm filler option available for 2-3/8" (20) knockouts. Max tilt of 60 degrees with 4 degree adjustable increments. (Restrictions apply for 7 pin options)
- ELECTRICAL**
- Universal 120-277 VAC or 240-480 VAC input voltage, 50/60 Hz
  - Ambient operating temperature -40°C to 40°C
  - Drivers have greater than 90% power factor and less than 20% THD



- CERTIFICATIONS**
- Listed to UL1598 and CSA C22.2 242500-24 for wet locations and 40°C ambient temperatures
  - Fixture is IP66 rated
  - Meets IESNA recommendations using 3K CCT configuration at 0 degrees of tilt
  - DLC® (DesignLights Consortium Qualified), with some Premium Qualified configurations. Please refer to the DLC website for specific product qualifications at www.designlights.org
  - This product qualifies as a "designated country construction material" per FAR 102.225 (f) Buy American Construction Materials under Trade Agreements effective 04/23/2025. See Buy American Solutions
- WARRANTY**
- 5 year limited warranty
  - See [UL Standard Warranty](#) for additional information

**KEY DATA**

Lumen Range	35,000-80,000
Wattage Range	230-575
Efficacy Range (LPW)	107-151
Fixture Projected Life (Hours)	170-60K
Weights lbs. (kg)	35 (15.9)

**RATIO Wall**  
 RWL3PW1.2 LED WALLPACK

- FEATURES**
- Low profile LED wall luminaire with a variety of IES distributions for lighting applications such as retail, commercial and industrial building mount
  - Featuring Micro Spike Optics which maximizes target zone illumination with minimal losses at the house-side, reducing light trespass issues
  - Visual comfort standard
  - Control options including photo control, occupancy sensing, NX Distributed Intelligence™, 7 pin with networked controls
  - Battery Backup options available for emergency code compliance
  - Quick-mount adapter allows easy installation/maintenance
  - 347V and 480V versions for industrial applications and Canada
  - Stock versions available in 2500mm and 5000mm configurations at 4000K



**CONTROL TECHNOLOGY**  
 SiteSignix | NX DISTRIBUTED INTELLIGENCE | wiSCAPE™

- SPECIFICATIONS**
- CONSTRUCTION**
- Die-cast housing with hidden vertical heat fins that are optimal for heat dissipation while keeping a clean smooth outer surface
  - Corrosion resistant, die-cast aluminum housing with powder coat paint finish
  - Powder paint finish provides durability in outdoor environments. Tested to meet 1000 hour salt spray testing
- OPTICS**
- Intra optical aperture illuminates to create a larger luminous surface area resulting in a low glare appearance without sacrificing optical performance
  - 48 or 150 mipspower LEDs
  - 3000K, 4000K or 5000K (70 CR/80 CR) CCT
  - Zero uplight distributions
  - LED optics provide IES Type II, III and IV distributions. Type III only available in RWL2 configurations
- INSTALLATION**
- Quick mount adapter provides easy installation to wall or to recessed junction boxes (4" square junction box)
  - Designed for direct beam mount
  - Integral back box contains 1/2" conduit hub
  - Integral back box standard with Dual Drive, Dual Power Feed, NX, Wiscap and battery versions (battery versions for RWL1 only)
- ELECTRICAL**
- 120V-277V universal voltage 50/60Hz 0-10V dimming drivers
  - 347V and 480V dimmable driver option for all wattages above 25W
- ELECTRICAL (CONTINUED)**
- Ambient operating temperature -40°C to 40°C
  - Drivers have greater than 90 power factor and less than 20% Total Harmonic Distortion
  - Driver RHFS and IP66
  - Field replaceable surge protection device provides 20kA protection meeting ANSI IEEE C62.41.2 Category C High and Surge Location Category C3. Automatically tests failure off-line for protection when device is compromised
  - Dimming drivers are standard and dimming leads are extended out of the luminaire unless control options require connection to the dimming leads. Must specify if wiring leads are to be greater than 6" standard
- CONTROLS**
- Photo control, occupancy sensor and wireless available for complete on/off and dimming control
  - 7 pin ANSI C136.41-2013 photocentral receptacle option available for twist lock photocentral or wireless control modules (control accessories sold separately)
  - NX Distributed Intelligence™ available with in fixture wireless control module, features dimming and occupancy sensor via 7-pin
  - wiSCAPE™ available with in fixture wireless control module, features dimming and occupancy sensor via 7-pin

- CERTIFICATIONS**
- Listed to UL1598 and CSA C22.2 242500-24 for wet locations
  - IP66 listed housing
  - This product qualifies as a "designated country construction material" per FAR 102.225 (f) Buy American Construction Materials under Trade Agreements effective 04/23/2025. See Buy American Solutions
- WARRANTY**
- 5 year limited warranty
  - See [UL Standard Warranty](#) for additional information

**KEY DATA**

Lumen Range	1,300-18,000
Wattage Range	10-125
Efficacy Range (LPW)	75-148
Fixture Projected Life (Hours)	170-60K
Weights lbs. (kg)	6.5/6.5 (2.97/2.97)

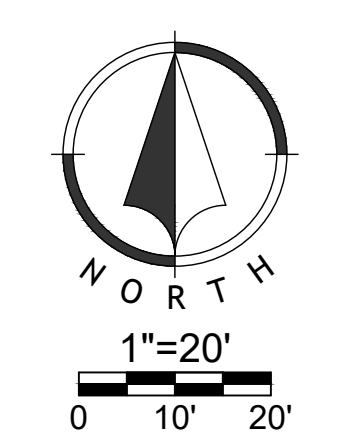
Development Plans & Preliminary Plat  
 21-0225  
 Genesis 60 Ac. Industrial  
 Kansas City, Platte County, Missouri

North East Lot

NO.	DATE	REVISION
2.	01/13/2022	Per City Comments
1.	11/12/2021	Original Submittal

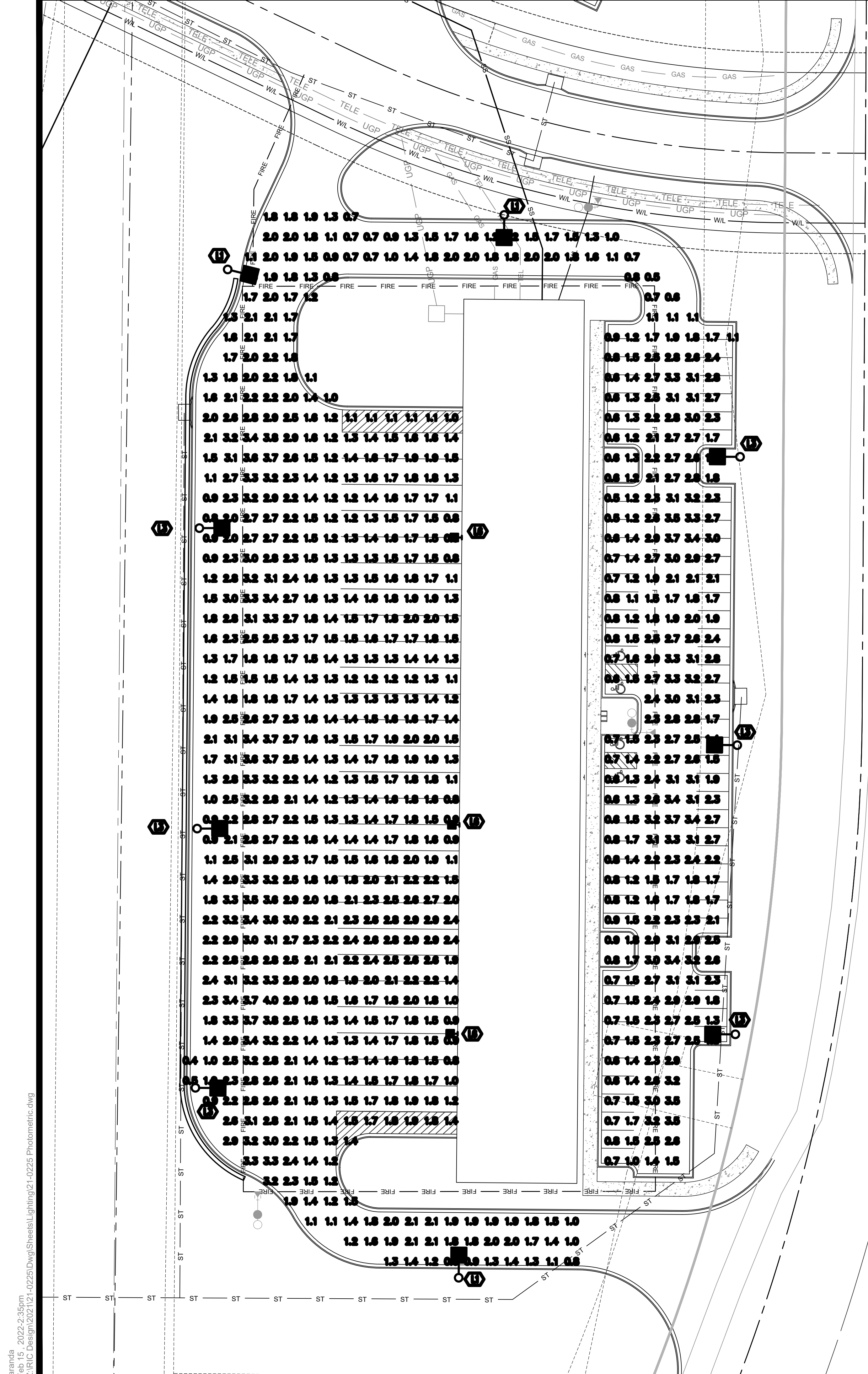
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 CHECKED BY: CK

**Renaissance Infrastructure Consulting**  
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 MO Certificate of Authority: E-2011043830



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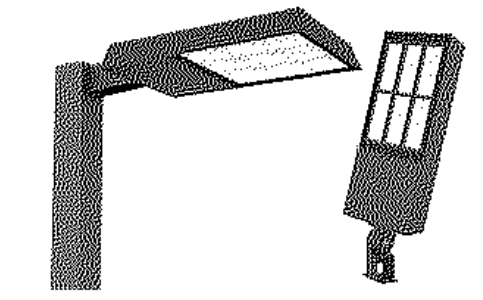
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**GENERAL PHOTOMETRIC SCHEDULE**

AVERAGE FOOT-CANDELS	1.91
MAXIMUM FOOT-CANDELS	4.0
MINIMUM FOOT-CANDELS	0.4
MAXIMUM TO MINIMUM FC RATIO	9.09
AVERAGE TO MINIMUM FC RATIO	4.37

- FEATURES**
- Low profile LED anodized luminaire with a variety ofIES distributions for lighting applications such as retail, commercial and campus parking lots
  - Featuring Micro Spike Optics which maximizes target zone illumination with minimal losses at the house-side, reducing light trespass issues
  - Visual comfort standard
  - Area and flood optics available for maximum versatility
  - Control options including photo control, occupancy sensing, NX Distributed Intelligence™ and 7 pin with networked controls
  - Best in class surge protection



**CONTROL TECHNOLOGY**

SiteSignix | NX DISTRIBUTED INTELLIGENCE | wiSCAPE™

- SPECIFICATIONS**
- CONSTRUCTION**
- Rectilinear form mimics the traditional sheetrock form factor keeping a similar but updated style and appearance, ideal for retrofit applications
  - Die-cast housing with hidden vertical heat fins that are optimal for heat dissipation while keeping a clean smooth outer surface
  - Corrosion resistant, die-cast aluminum housing with powder coat paint finish
- OPTICS**
- Intire optical aperture illuminates to create a larger luminous surface area resulting in a low glare appearance without sacrificing optical performance
  - 540 or 720 mipspower LEDs
  - 3000K, 4000K or 5000K (70 CRI) CCT
  - Zero uplight at 0 degrees of tilt
  - Field variable optics
- INSTALLATION**
- Standard knock out mount, compatible with 83 drill pattern
  - Knuckle arm filler option available for 2-3/8" (20) knock out. Max tilt of 60 degrees with 4 degree adjustable increments. (Restrictions apply for 7 pin options)
- ELECTRICAL**
- Universal 120-277 VAC or 240-480 VAC input voltage, 50/60 Hz
  - Ambient operating temperature -40°C to 40°C
  - Drivers have greater than 90% power factor and less than 20% THD

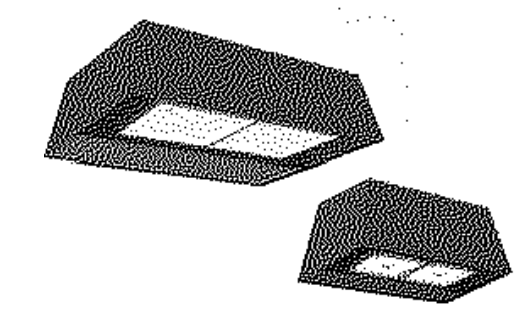
- ELECTRICAL (CONTINUED)**
- LED driver has over-voltage, over-current protection and short circuit protection with auto recovery
  - Field replaceable surge protection device provides 20kA protection meeting ANSI IEEE C62.41.2 Category C High and Surge Location Category C3. Automatically takes fixture off-line for protection when device is compromised
- CONTROLS**
- Photo control, occupancy sensor and wireless available for complete on/off and dimming control
  - 7 pin ANSI C136.41-2013 photocentral receptacle option available for fast lock photocontrols or wireless control modules (control accessories sold separately)
  - Dimming Drivers are standard and dimming loads are extended out of the luminaire unless control options require connection to the dimming leads. Must specify if wiring loads are to be greater than the 6" standard
  - SiteSync™ wireless control system is available via 7 pin. See ordering information and details at: www.hubbelling.com/siteync
  - NX Distributed Intelligence™ available with in fixture wireless control module, features dimming and occupancy sensor via 7-pin
  - wiSCAPE™ available with in fixture wireless control module, features dimming and occupancy sensor via 7-pin
- CERTIFICATIONS**
- Listed to UL1598 and CSA C22.2 2750-24 for wet locations and 40°C ambient temperatures
  - Fixture is IP66 rated
  - Meets IBA recommendations using 2K CCT configuration at 0 degrees of tilt
  - DLX (DesignLights Consortium Qualified), with some Premium Qualified configurations. Please refer to the DLX website for specific product qualifications at www.designlights.org
  - This product qualifies as a "designated country construction material" per FAR 10.225 (f) Buy American Construction Materials Under Trade Agreements effective 04/23/2025. See Buy American Solutions
- WARRANTY**
- 5 year limited warranty
  - See [H-1 Standard Warranty](#) for additional information

**KEY DATA**

Lumen Range	35,000-80,000
Mounting Range	230-575
Efficacy Range (LPW)	117-191
Fixture Projected Life (Hours)	170-60K
Weights lbs. (kg)	35 (15.9)

**RATIO Wall**  
RWL3PW1.2 LED WALLPACK

- FEATURES**
- Low profile LED wall luminaire with a variety ofIES distributions for lighting applications such as retail, commercial and industrial building mount
  - Featuring Micro Spike Optics which maximizes target zone illumination with minimal losses at the house-side, reducing light trespass issues
  - Visual comfort standard
  - Control options including photo control, occupancy sensing, NX Distributed Intelligence™, SiteSignix™ and 7 pin with networked controls
  - Battery Backup option available for emergency code compliance
  - Quick-mount adapter allows easy installation/maintenance
  - 347V and 480V versions for industrial applications and Canada
  - Stock versions available in 2500mm and 5000mm configurations at 4000K



**CONTROL TECHNOLOGY**

SiteSignix | NX DISTRIBUTED INTELLIGENCE | wiSCAPE™

- SPECIFICATIONS**
- CONSTRUCTION**
- Die-cast housing with hidden vertical heat fins that are optimal for heat dissipation while keeping a clean smooth outer surface
  - Corrosion resistant, die-cast aluminum housing with powder coat paint finish
  - Powder paint finish provides durability in outdoor environments. Tested to meet 1000 hour salt spray testing
- OPTICS**
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  - 48 or 150 mipspower LEDs
  - 3000K, 4000K or 5000K (70 CRI/80 CRI) CCT
  - Zero uplight distributions
  - LED optics provide IES Type II and IV distributions. Type III only available in RWL2 configurations
- INSTALLATION**
- Quick mount adapter provides easy installation to wall or to recessed junction boxes (4" square junction box)
  - Designed for direct beam mount
  - Integral back box contains 1/2" conduit hub
  - Integral back box standard with Dual Drive, Dual Power Feed, NX, Wiscap and battery versions (battery versions for RWL1 only)
- ELECTRICAL**
- 120V-277V universal voltage 50/60Hz or 0-10V dimming drivers
  - 347V and 480V dimmable driver option for all voltages above 25W

- ELECTRICAL (CONTINUED)**
- Ambient operating temperature -40°C to 40°C
  - Drivers have greater than 90 power factor and less than 20% Total Harmonic Distortion
  - Driver RH-5 and IP66
  - Field replaceable surge protection device provides 20kA protection meeting ANSI IEEE C62.41.2 Category C High and Surge Location Category C3. Automatically takes fixture off-line for protection when device is compromised
  - Dimming drivers are standard and dimming loads are extended out of the luminaire unless control options require connection to the dimming leads. Must specify if wiring loads are to be greater than 6" standard
- CONTROLS**
- Photo control, occupancy sensor and wireless available for complete on/off and dimming control
  - Button photocentral is suitable for 120-277V operation
  - 7 pin ANSI C136.41-2013 photocentral receptacle option available for fast lock photocontrols or wireless control modules (control accessories sold separately)
  - NX Distributed Intelligence™ available with in fixture wireless control module, features dimming and occupancy sensor via 7-pin
  - wiSCAPE™ available with in fixture wireless control module, features dimming and occupancy sensor via 7-pin
- CERTIFICATIONS**
- Listed to UL1598 and CSA C22.2 2750-24 for wet locations
  - IP66 rated housing
  - This product qualifies as a "designated country construction material" per FAR 10.225 (f) Buy American Construction Materials Under Trade Agreements effective 04/23/2025. See Buy American Solutions
- WARRANTY**
- 5 year limited warranty
  - See [H-1 Standard Warranty](#) for additional information

**KEY DATA**

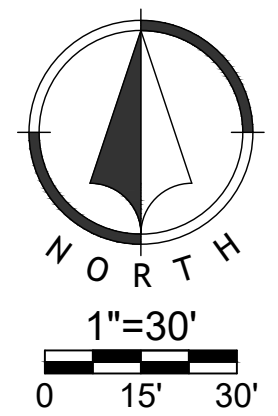
Lumen Range	1,300-8,000
Mounting Range	10-150
Efficacy Range (LPW)	75-148
Fixture Projected Life (Hours)	170-60K
Weights lbs. (kg)	6.5/6.5 (2.9/2.9)

NO.	DATE	REVISION
2	01/13/2022	Per City Comments
1	11/12/2021	Original Submittal

DRAWN BY: BDG  
CHECKED BY: CK

**Renaissance Infrastructure Consulting**

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