



# CITY PLAN COMMISSION STAFF REPORT

City of Kansas City, Missouri  
City Planning & Development Department  
[www.kcmo.gov/cpc](http://www.kcmo.gov/cpc)

September 18, 2024

**Project Name**

Starbucks at Barry & Green Hills

**Docket # 3****Request**

CD-CPC-2024-00109  
Development Plan – Non-Residential

**Applicant**

Braedon Kemplin  
Kimley-Horn

**Owner**

Starbucks

Location 8433 N. Green Hills Rd.  
Area About 2 Acres  
Zoning B3-3  
Council District 1<sup>st</sup>  
County Platte  
School District Platte County R-III

**Surrounding Land Uses**

**North:** Residential, zoned AG-R  
**South:** Commercial, zoned B3-2  
**East:** Commercial, zoned B3-3  
**West:** Commercial, zoned B3-3

**Land Use Plan**

The Line Creek Valley Area Plan recommends Commercial for this location.

**Major Street Plan**

NW Barry Road and N. Green Hills Road are identified as thoroughfares on the City's Major Street Plan. The subject property is also located within the KCATA Special Rapid Transit Corridor (SRTC) which runs along N. Green Hills Road and NW Barry Road.

**APPROVAL PROCESS****SUMMARY OF REQUEST + KEY POINTS**

A request to approve a non-residential development plan in district B3-3 on about 1.8 acres generally located at N. Green Hills Road and NW Barry Road.

**PROJECT TIMELINE**

The application for the subject request was filed on 7/29/2024. No scheduling deviations from 2024 Cycle 9.2 have occurred.

**REQUIRED PUBLIC ENGAGEMENT**

Public engagement as required by 88-505-12 does apply to this request. The applicant hosted a meeting on 9/5/2024. A summary of the meeting is attached to the staff report, see Attachment #3.

**EXISTING CONDITIONS**

The undeveloped site is roughly 2 acres, zoned for commercial land uses and located on the northeast east corner N. Green Hills Road and NW Barry Road. The site currently has two points of ingress and egress from N. Green Hills Road and no vehicular access point from NW Barry Road.

**CONTROLLING + RELATED CASES**

There are no controlling cases associated with the subject property.

**PROFESSIONAL STAFF RECOMMENDATION**

Docket # Recommendation

**3 APPROVAL WITH CONDITIONS**

**PLAN REVIEW & ANALYSIS**

The applicant is proposing two free standing commercial buildings on one lot, which requires the approval of a development plan. The current zoning, B3-3, does permit most commercial uses and drive-through facilities. The northern structure is currently speculative while the southern building is a proposed Starbucks with a drive-through lane. The drive-through lane for Starbucks does comply with 88-340, the drive-through facilities standards but the northern drive-through will need to be reconfigured to maintain a 50' separation distance from the AG-R zoned property directly to the north. The applicant will be required to submit a project plan for the northern building which requires approval from the City Plan Commission (CPC) prior to the issuance of any building permit.

The applicant is proposing to remove one of the two drive approaches from N. Green Hills Road as requested by the Land Development Division to improve pedestrian and vehicular safety. The applicant also received approval from the Transportation and Development Committee (TDC) for an exception from City standards to construct a vehicular access point along NW Barry Road to serve the site from the south. The driveway along NW Barry Road will only allow for right-in and right-out vehicular circulation; no left turns will be permitted. The applicant will be required to submit a preliminary plat prior to ordinance request with language dedicating a 50' easement along N. Green Hills Road and NW Barry Road for the KCATA Special Rapid Transit Corridor (SRTC). The SRTC was approved in 1968 with the construction of KCI and proposes a dedicated easement to allow for efficient public transit from downtown Kansas City to the airport.

At the time of publication of the staff report the applicant is still coordinating with KC Water in drafting a final utility plan that shows all water service lines and sewers in compliance with City standards. The utility plan must be shown with the preliminary plat and shall include how many lots the applicant plans to establish prior to the application moving forward for an ordinance request.

<b>Standards</b>	<b>Applicability</b>	<b>Meets</b>	<b>More Information</b>
Lot and Building Standards (88-120)	Yes	Yes	
Drive-Through Facilities Standards (88-340)	Yes	No	No drive-through functions can be within 50' of a residentially zoned property.
Parkland Dedication (88-408)	No	N/A	
Tree Preservation and Protection (88-424)	No	N/A	A majority of the trees were removed prior to the passage of tree preservation ordinance.
Parking and Loading Standards (88-420)	Yes	Yes	
Landscape and Screening Standards (88-425)	Yes	Yes, subject to conditions	
Outdoor Lighting Standards (88-430)	Yes	Yes, subject to	

		conditions	
Sign Standards (88-445)	Yes	Yes, subject to conditions	
Pedestrian Standards (88-450)	Yes	Yes, subject to conditions.	The applicant shall continue working the Public Works mobility division to provide pedestrian circulation from N. Green Hills Road to the proposed Starbucks.

**SPECIFIC REVIEW CRITERIA**

**Development Plans, Project Plan, or Site Plan (88-516-05)**

In order to be approved, a development plan, project plan, or site plan must comply with all of the following criteria:

**A. The plan must comply with all standards of the Zoning and Development Code and all other applicable city ordinances and policies;**

The proposed plan complies with the Zoning and Development Code but the applicant shall continue to coordinate with KC Water and submit revised utility plan including a preliminary plat prior to ordinance request.

**B. The proposed use must be allowed in the district in which it is located;**

The proposed commercial uses, retail sales, an eating and drinking establishment and drive-through facility is permitted in the existing zoning district. The drive-through facilities shall comply with 88-340

**C. Vehicular ingress and egress to and from the site, and circulation within the site must provide for safe, efficient, and convenient movement of traffic not only within the site but on adjacent roadways;**

The applicant received approval from the Transportation and Development Committee for a curb cut along NW Barry Road as the site does not currently have vehicular access from the southern property line. The plan improves vehicular safety and circulation by removing the second curb cut from N. Green Hills Road. The applicant will be providing a 50' easement along N. Green Hills Road and NW Barry Road for the KCATA Special Rapid Transit Corridor. The applicant will be permitted to have the proposed Starbucks drive-through within the easement at this time. When the KCATA constructs any improvements within the 50' easement the property owner will be required to move the drive-through to the east.

**D. The plan must provide for safe, efficient, and convenient non-motorized travel opportunities, being pedestrian and bicycle movement, on the subject site;**

The plan provides a direct pedestrian connection from NW Barry Road. The applicant is continuing to work with staff from Public Works to provide a safe pedestrian connection from N. Green Hills Road.

**E. The plan must provide for adequate utilities based on City standards for the particular development proposed.**

Prior to ordinance request the applicant shall continue to coordinate with KC Water to have approved utility plans.

**F. The location, orientation, and architectural features, including design and material, of buildings and other structures on the site must be designed to be compatible with adjacent properties.**

The orientation and architectural features of Starbucks is compatible with adjacent properties. Staff is appreciative of the brick façade that Starbucks is proposing. No details have been provided to Staff for the proposed building on the northern portion of the subject property.

**G. Landscaping, berms, fences, and/or walls must be provided to buffer the site from undesirable views, noises, lighting, or other off-site negative influences and to buffer adjacent properties from negative influences that may be created by the plan.**

The proposed landscape plan complies with 88-425 of the Zoning and Development Code and the screening of the drive-through facility complies with 88-340. The applicant is providing nearly 100 additional shrubs than what is required by Code.

**H. The design of streets, drives, and parking areas within the project should result in a minimum of area devoted to asphalt or other impervious surfaces consistent with the needs of the project and city code requirements.**

The proposed development and parking surfaces will cover most of the subject property. The plan is proposing 59 parking stalls when the two commercial buildings only require 47 parking stalls.

**I. The plan must identify trees to be removed and trees to be preserved during the development of the subject property with the goal of saving trees that are not required to be removed for the development of the property.**

A majority of the trees were removed prior to the passage of the tree preservation ordinance. The proposed landscape shows the two existing trees being removed from the site.

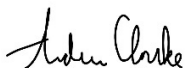
#### **ATTACHMENTS**

1. Conditions Report
2. Applicants Submittal
3. Public Engagement Materials

#### **PROFESSIONAL STAFF RECOMMENDATION**

City staff recommends **APPROVAL WITH CONDITIONS** as stated in the conditions report.

Respectfully Submitted,



Andrew Clarke, AICP  
Lead Planner



## Plan Conditions

Report Date: September 11, 2024

Case Number: CD-CPC-2024-00109

Project: Starbucks at Barry & Green Hills

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*Condition(s) by City Planning and Development Department. Contact Andrew Clarke at (816) 513-8821 / [Andrew.Clarke@kcmo.org](mailto:Andrew.Clarke@kcmo.org) with questions.*

1. That prior to issuance of the Certificate of Occupancy for each lot within the plat the developer shall submit an affidavit, completed by a landscape architect licensed in the State of Missouri, verifying that street trees have been installed in accordance with the approved Street Tree Planting Plan and are healthy.
2. The developer shall secure approval of a project plan from the City Plan Commission prior to building permit for the second (northern) lot.
3. All signage shall conform to 88-445 and shall require a sign permit prior to installation.
4. The developer shall screen all roof and/or ground mounted mechanical and utility equipment in compliance with 88-425-08.
5. The developer shall submit an affidavit, completed by a landscape architect licensed in the State of Missouri, verifying that all landscaping required of the approved plan has been installed in accordance with the plan and is healthy prior to Certificate of Occupancy.
6. The developer shall submit an affidavit, prepared by an engineer licensed in the State of Missouri, verifying that all outdoor lighting has been installed in accordance with approved plans and that lighting levels do not exceed that shown on the approved lighting plan at the property lines prior to Certificate of Occupancy.
7. Prior to ordinance request the applicant shall resolve the following corrections:
  - Provide a preliminary plat to show easement dedication for Special Rapid Transit Corridor
  - Revise drive-through facility on northern building to show 50' separation from residential zoning district
  - Landscape plan shall be prepared by a Landscape Architect
  - Public Works sidewalk correction
  - KCPD corrections
  - KC Water corrections related to utility plans, stormwater detention, covenants and labeling

*Condition(s) by Public Works Department. Contact Sam Akula at (816) 513-9861 / [sam.akula@kcmo.org](mailto:sam.akula@kcmo.org) with questions.*

8. Install "No Left Turn" & "One Way" signs at the right-in & right-out island along Barry Road & Green Hills Road.

*Condition(s) by Public Works Department. Contact Terry Thomas at (816) 513-2510 / [Terry.A.Thomas@kcmo.org](mailto:Terry.A.Thomas@kcmo.org) with questions.*

9. The developer shall submit verification of vertical and horizontal sight distance for the drive connection to public right-of-way to the Land Development Division and make improvements to ensure local jurisdiction and/or minimum AASHTO adequate sight distance standards are met, prior to issuance of any certificate of occupancy.
10. The developer shall pay impact fees as required by Chapter 39 of the City's Code of ordinances as required by the Land Development Division.
11. The developer shall submit a streetscape plan for approval and permitting by the Land Development Division prior to beginning construction of the streetscape improvements in the public right of way, and construct ADA compliant ramps at all required locations where new private drives are being added, or where existing sidewalks are modified or repaired.

*Condition(s) by Public Works Department. Contact Terry Thomas at (816) 513-2510 / Terry.A.Thomas@kcmo.org with questions.*

12. The developer shall submit a letter to the Land Development Division from a Licensed Civil Engineer, Licensed Architect, or Licensed Landscape Architect, who is registered in the State of Missouri, that identifies sidewalks, curbs, and gutters in disrepair as defined by Public Works Department's "OUT OF REPAIR CRITERIA FOR SIDEWALK, DRIVEWAY AND CURB revised 11/5/2013" and based on compliance with Chapters 56 and 64 of the Code of Ordinances for the sidewalks, curbs, and gutters where said letter shall identify the quantity and location of sidewalks, curbs, gutters that need to be constructed, repaired, or reconstructed to remedy deficiencies and/or to remove existing approaches no longer needed by this project. The developer shall secure permits to repair or reconstruct the identified sidewalks, curbs, and gutters as necessary along all development street frontages as required by the Land Development Division and prior to issuance of any certificate of occupancy permits including temporary certificate occupancy permits.
13. The developer shall submit construction plans in compliance with adopted standards for all improvements required by the traffic study approved by the Public Works Department, and shall secure permits for those improvements as required by the Land Development Division, prior to recording the plat.

*Condition(s) by Water Services Department. Contact Heather Massey at (816) 513-2111 / heather.massey@kcmo.org with questions.*

14. The developer shall have a water flow test done to ensure there is adequate water pressure to serve the development.  
South of River contact - Patrick Lewis 816-513-0423  
North of River contact - Todd Hawes 816-513-0296
15. The developer shall ensure that water and fire service lines should meet current Water Services Department Rules and Regulations. Prior to C of O.  
<https://www.kcwater.us/wp-content/uploads/2022/05/2022-Rules-and-Regulations-for-Water-Service-Lines-Final.pdf>
16. Water/Sewer Service lines shall serve only one lot or tract and shall not cross a separate lot or tract.
17. No water service tap permits will be issued until the public water main is released for taps.
18. You can not connect to the 24" transmission main. You must connect to the 12" main in NW Barry Rd.

*Condition(s) by Water Services Department. Contact Kirk Rome at (816) 513-0368 / kirk.rome@kcmo.org with questions.*

19. Any water main extension plans shall be prepared by a Missouri PE and submitted following the KC Water Rules and Regulations for Water Main Extensions. Water main extension plans shall be prepared at a minimum for one additional fire hydrant along N Green Hills Road to meet the 300' max. spacing requirement. This water main extension shall be contracted (permitted) prior to building permit issuance.

*Condition(s) by Water Services Department. Contact Lucas Kaspar at (816) 513-2131 / Lucas.Kaspar@kcmo.org with questions.*

20. The developer shall cause the area to be platted and processed in accordance with Chapter 88, Code of Ordinances of the City of Kansas City, Missouri, as amended, commonly known as the Development Regulations.
21. The developer must submit a Macro storm drainage study with the first Plat or Phase, from a Missouri-licensed civil engineer to KC Water showing compliance with current adopted standards in effect at the time of submission, including Water Quality BMP's, to KC Water for review and acceptance for the disturbed area, and submit Micro storm drainage study with each subsequent Plat or Phase showing compliance with the approved Macro and adopted standards. The developer shall secure permits to construct any improvements as necessary to mitigate impacts from rate, volume, and quality of runoff from each proposed phase, prior to recording the plat or prior to issuance of a Building Permit, whichever occurs first as required by KC Water.
22. The developer must obtain the executed and recorded city approved grading, temporary construction, drainage/sewer, or any other necessary easements from the abutting property owner(s) that may be required prior to submitting any public improvements crossing properties not controlled by the developer and include said document(s) within the public improvement applications submitted for permitting.
23. The owner/developer must submit plans for grading, siltation, and erosion control to KC Water for review and acceptance, and secure a Site Disturbance permit for any proposed disturbance area equal to one acre or more prior to beginning any construction activities.
24. The developer shall submit an analysis to verify adequate capacity of the existing sewer system as required by KC Water prior to issuance of a building permit to connect private system to the public sewer main and depending on adequacy of the receiving system, make other improvements may be required.

*Condition(s) by Water Services Department. Contact Lucas Kaspar at (816) 513-2131 / Lucas.Kaspar@kcmo.org with questions.*

25. The developer must secure permits to extend sanitary and storm water conveyance systems to serve all proposed lots within the development and determine adequacy of receiving systems as required by KC Water, prior to recording the plat or issuance of a building permit whichever occurs first.
26. The developer must grant a BMP Easement to the City as required by KC Water, prior to recording the plat or issuance of any building permits.
27. The developer must enter into a covenant agreement for the maintenance of any storm water detention area tracts as required by KC Water, prior to recording the plat.
28. The internal sanitary and storm sewers shall be private utility mains located within private easements and covered by Covenants to Maintain Private Utility Mains acceptable to KC Water.
29. The developer shall provide Covenants to Maintain Private Storm Sewer Mains acceptable to KC Water for any private storm sewer mains prior to the issuance of any building permits.
30. The developer shall provide Covenants to Maintain Private Sanitary Sewer Mains acceptable to KC Water for any private sanitary sewer mains prior to the issuance of any building permits.
31. The developer shall provide private storm drainage and/or sanitary sewer easements for any private utility mains prior to issuance of any building permits.

# SITE DEVELOPMENT PLANS FOR STORE #85175 - BARRY RD & GREEN HILLS RD

**S8, T51N, R33W  
KANSAS CITY, PLATTE COUNTY, MISSOURI**

**PROJECT TEAM:**

ENGINEER & LANDSCAPE ARCHITECT  
KIMLEY-HORN AND ASSOCIATES, INC.



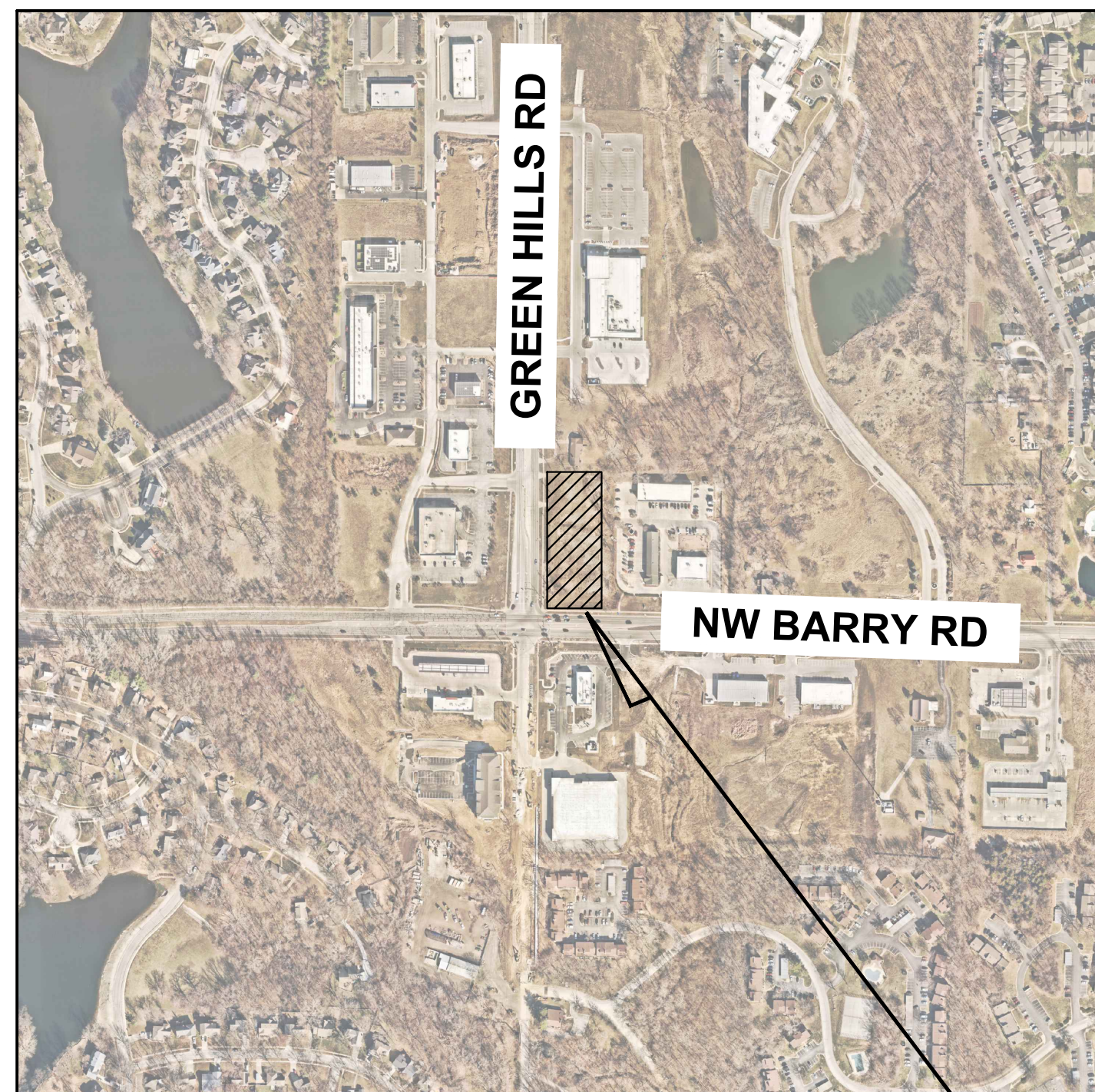
PREPARED BY: MATTHEW KIST  
805 PENNSYLVANIA, SUITE 150  
KANSAS CITY, MO 64105  
TELEPHONE (651) 315-1272

OWNER / DEVELOPER  
STARBUCKS



55 MONUMENT CIRCLE  
SUITE 1300C  
INDIANAPOLIS, IN 46202

SURVEYOR  
J & J SURVEY  
8680A N. GREEN HILLS ROAD KANSAS  
CITY, MO 64154  
TELEPHONE: (816) 741-1017  
CONTACT: JAKE YOUNG



**VICINITY  
N.T.S.**

**SITE**

Sheet List Table	
Sheet Number	Sheet Title
C000	COVER SHEET
C100	GENERAL NOTES
C200	DEMO PLAN
C300	EROSION AND SEDIMENT CONTROL PLAN - PHASE 1
C301	EROSION AND SEDIMENT CONTROL PLAN- PHASE 2
C400	SITE PLAN
C500	GRADING AND DRAINAGE PLAN
C501	STORM SEWER PLAN
C600	UTILITY PLAN
L100	LANDSCAPE PLAN
L101	LANDSCAPE DETAILS

### DEVELOPMENT PLAN DEVIATIONS

- TRACT 2 DRIVE THROUGH USE IS CONTINGENT UPON REZONING TO COMMERCIAL USE.

### BENCHMARKS

SITE BENCHMARKS:  
(LOCATIONS SHOWN ON SURVEY)

SBM #1 PL-26: STANDARD KC METRO GRS 30" ALUMINUM POSTS STAMPED "PL-26 1992", SET FLUSH WITH THE GROUND. THE STATION IS 19.2 FEET NORTH OF THE CENTER LINE OF THE WESTBOUND LANE OF NORTHWEST BARRY ROAD; 32.0 FEET WEST OF THE CENTER LINE OF SOUTH GRANBY AVENUE (EXIT LANE); 10.8 FEET EAST OF A LIGHT POLE; 4.0 FEET NORTH OF THE BACK OF THE CURB AND 3.9 FEET SOUTH OF THE SOUTH END OF THE SIDEWALK.  
ELEVATION=994.75



Know what's below.  
Call before you dig.

No.	REVISIONS	DATE	BY

**Kimley-Horn**  
2024 KIMLEY-HORN AND ASSOCIATES, INC.  
805 PENNSYLVANIA, SUITE 150 KANSAS CITY, MO 64105  
PHONE: 612-315-1272  
WWW.KIMLEY-HORN.COM

KHA PROJECT #61143001	DATE 07/19/2024	SCALE AS SHOWN	DESIGNED BY BSK	DRAWN BY BSK	CHECKED BY MTL
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**COVER SHEET**

PRELIMINARY - NOT FOR CONSTRUCTION  
**STORE #85175 - BARRY RD & GREEN HILLS RD**  
PREPARED FOR  
**STARBUCKS**  
KANSAS CITY MISSOURI

SHEET NUMBER  
**C000**

K:\TCW\_LDEV\Starbucks\Kansas City, MO- NE Corner Green Hills & Barry Road\3 Design\CAD\PlanSheets\C0-COVER SHEET.dwg August 30, 2024 - 7:23am

This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



GENERAL CONSTRUCTION NOTES

- 1. THE CONTRACTOR AND SUBCONTRACTORS SHALL OBTAIN A COPY OF THE LATEST EDITION OF THE STANDARD SPECIFICATIONS OF THE LOCAL JURISDICTION AND MISSOURI DEPARTMENT OF TRANSPORTATION AND BECOME FAMILIAR WITH THE CONTENTS PRIOR TO COMMENCING WORK. UNLESS OTHERWISE NOTED, ALL WORK SHALL CONFORM AS APPLICABLE TO THESE STANDARDS AND SPECIFICATIONS.
3. PERFORM ALL WORK IN COMPLIANCE WITH APPLICABLE CITY REGULATIONS, STATE CODES, AND O.S.H.A. STANDARDS. THE CONTRACTOR IS RESPONSIBLE FOR FURNISHING THE NECESSARY MATERIALS & LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS, AND IN ACCORDANCE WITH THE SPECIFICATIONS AND REQUIREMENTS OF THE APPROPRIATE APPROVING AUTHORITIES.
4. CONTRACTOR SHALL CLEAR AND GRUB ALL AREAS UNLESS OTHERWISE INDICATED, REMOVING TREES, STUMPS, ROOTS, MUCK, EXISTING PAVEMENT AND ALL OTHER DELETERIOUS MATERIAL.
5. THE EXISTING SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS QUALITY LEVEL "D" UNLESS OTHERWISE NOTED. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF C/ACSE 3802, ENTITLED STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF SUBSURFACE QUALITY DATA BY THE FHA. EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF THE TOPOGRAPHIC SURVEY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ENTIRELY ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE COMMENCING ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
6. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 48 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS AND BONDS IF REQUIRED PRIOR TO CONSTRUCTION.
8. THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONSTRUCTION DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, GEOTECHNICAL REPORT AND SPECIAL CONDITIONS AND COPIES OF ANY REQUIRED CONSTRUCTION PERMITS.
9. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER.
10. ALL COPIES OF COMPACTION, CONCRETE AND OTHER REQUIRED TEST RESULTS ARE TO BE SENT TO THE OWNER DIRECTLY FROM THE TESTING AGENCY.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING AND MAINTAINING AS-BUILT INFORMATION WHICH SHALL BE RECORDED AS CONSTRUCTION PROGRESSES OR AT THE COMPLETION OF APPROPRIATE CONSTRUCTION INTERVALS AND SHALL BE RESPONSIBLE FOR PROVIDING AS-BUILT DRAWINGS TO THE OWNER FOR THE PURPOSE OF CERTIFICATION TO JURISDICTIONAL AGENCIES AS REQUIRED. ALL AS-BUILT DATA SHALL BE COLLECTED BY A STATE PROFESSIONAL LAND SURVEYOR WHOSE SERVICES ARE ENGAGED BY THE CONTRACTOR.
12. ANY WELLS DISCOVERED ON SITE THAT WILL HAVE NO USE MUST BE PLUGGED BY A LICENSED WELL DRILLING CONTRACTOR IN A MANNER APPROVED BY ALL JURISDICTIONAL AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY WELL ABANDONMENT PERMITS REQUIRED.
13. ANY WELL DISCOVERED DURING EARTH MOVING OR EXCAVATION SHALL BE REPORTED TO THE APPROPRIATE JURISDICTIONAL AGENCIES WITHIN 24 HOURS AFTER DISCOVERY IS MADE.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK THAT WOULD BE AFFECTED. FAILURE TO NOTIFY OWNER OF AN IDENTIFIABLE CONFLICT PRIOR TO PROCEEDING WITH INSTALLATION RELIEVES OWNER OF ANY OBLIGATION TO PAY FOR A RELATED CHANGE ORDER.
15. SHOULD CONTRACTOR ENCOUNTER ANY DEBRIS LADEN SOIL, STRUCTURES NOT IDENTIFIED IN THE DOCUMENTS, OR OTHER SOURCE OF POTENTIAL CONTAMINATION, THEY SHALL IMMEDIATELY CONTACT THE ENGINEER AND OWNER.
16. CONTRACTOR SHALL NOTIFY OWNER AND/OR ENGINEER 48 HOURS IN ADVANCE OF THE FOLLOWING ACTIVITIES: PRE-CONSTRUCTION MEETING, SUBGRADE PREPARATION, BASE INSTALLATION, ASPHALT INSTALLATION, UNDERGROUND PIPING AND UTILITIES INSTALLATION, INSTALLATION OF STRUCTURES, CHECK VALVES, HYDRANTS, METERS, ETC., SIDEWALK INSTALLATION, CONNECTIONS TO WATER AND SEWER MAINS, TESTS OF UTILITIES.

THIRD PARTY SUPPLEMENTAL INFORMATION

KIMLEY-HORN ASSUMES NO LIABILITY FOR ANY ERRORS, INACCURACIES, OR OMISSIONS CONTAINED WITHIN SUPPLEMENTAL INFORMATION PROVIDED BY THIRD PARTY CONSULTANTS.

- 1. BOUNDARY & TOPOGRAPHIC SURVEY PERFORMED BY: J & J SURVEY ADDRESS: 9880 N. GREEN HILLS ROAD, KANSAS CITY, MO 64154 PHONE: 816-741-1017 DATED: 06/25/2024
2. GEOTECHNICAL EVALUATION REPORT PERFORMED BY: CFS ENGINEERS ADDRESS: 1100 W. CAMBRIDGE CIRCLE DRIVE, SUITE 700, KANSAS CITY, MO 66103 DATED: 07/23/2024
3. CONSTRUCTION TESTING TEST REPORTS REQUIRED FOR CLOSE OUT INCLUDE, BUT ARE NOT LIMITED TO:
• DENSITY TEST REPORTS
• BACTERIOLOGICAL TESTS OF WATER SYSTEM
• PRESSURE TEST OF WATER/SEWER
• LEAK TESTS ON SEWER SYSTEM AND GREASE TRAPS
• ANY OTHER TESTING REQUIRED BY THE AGENCY/MUNICIPALITY

EROSION CONTROL NOTES

- 1. THE STORM WATER POLLUTION PREVENTION PLAN ("SWPPP") IS COMPRISED OF THE EROSION CONTROL PLAN, THE STANDARD DETAILS, THE PLAN NARRATIVE, ATTACHMENTS INCLUDED IN THE SPECIFICATIONS OF THE SWPPP, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
2. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
3. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY THE PERMITTING AGENCY OR OWNER.
4. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPLYING WITH THE REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION, AND SHALL MAINTAIN COMPLIANCE WITH APPLICABLE LAWS AND REGULATIONS FOR THE DURATION OF CONSTRUCTION.
5. THE CONTRACTOR SHALL FIELD ADJUST AND/OR PROVIDE ADDITIONAL EROSION CONTROL BMP'S AS NEEDED TO PREVENT EROSION AND OFF-SITE SEDIMENT DISCHARGE FROM THE CONSTRUCTION SITE. LOG AND RECORD ANY ADJUSTMENTS AND DEVIATIONS FROM THE APPROVED EROSION CONTROL PLANS WITHIN THE SWPPP DOCUMENTS STORED IN THE JOB SITE TRAILER.
6. BMP'S SHOWN ON THE EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION AS REQUIRED BY ALL JURISDICTIONS UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A CERTIFIED PERSON AT LEAST ONCE EVERY 7 CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A 0.5-INCH OR GREATER RAINFALL EVENT.
7. EROSION & SEDIMENT CONTROL BMP'S SHALL BE MAINTAINED IN ACCORDANCE WITH THE FOLLOWING:
7.1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DETERIORATION.
7.2. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO VERIFY THAT A HEALTHY STAND OF VEGETATION IS MAINTAINED. SEEDED AREAS SHOULD BE FERTILIZED, WATERED AND RE-SEEDED AS NEEDED. REFER TO THE LANDSCAPE PLAN AND PROJECT SPECIFICATIONS.
7.3. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-THIRD THE HEIGHT OF THE SILT FENCE.
7.4. THE ROCK CONSTRUCTION ENTRANCE(S) SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC ADDITIONS OF ROCK TOP DRESSING AS CONDITIONS DEMAND.
7.5. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC ADDITIONS OF TOP DRESSING IF THE TEMPORARY PARKING CONDITIONS DEMAND.
7.6. PERFORM ALL MAINTENANCE OPERATIONS IN A TIMELY MANNER BUT IN NO CASE LATER THAN 2 CALENDAR DAYS FOLLOWING THE INSPECTION.

PAVING AND STRIPING NOTES

- 1. ALL PAVING, CONSTRUCTION, MATERIALS, AND WORKMANSHIP WITHIN JURISDICTION'S RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE KANSAS CITY OR PLATTE COUNTY SPECIFICATIONS AND STANDARDS, OR THE MODOT SPECIFICATIONS AND STANDARDS IF NOT COVERED BY KANSAS CITY OR PLATTE COUNTY REGULATIONS.
2. ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D) AND KANSAS CITY STANDARDS.
3. CONTRACTOR SHALL FURNISH ALL PAVEMENT MARKINGS FOR FIRE LANES, ROADWAY LANES, PARKING STALLS, ACCESSIBLE PARKING SYMBOLS, ACCESS AISLES, STOP BARS AND SIGNS, AND MISCELLANEOUS STRIPING WITHIN THE PARKING LOT AS SHOWN ON THE PLANS.
4. ALL EXPANSION JOINTS SHALL EXTEND THROUGH THE CURB.
5. THE MINIMUM LENGTH OF OFFSET JOINTS AT RADIUS POINTS SHALL BE 2 FEET.
6. ALL JOINTS, INCLUDING EXPANSION JOINTS WITH REMOVABLE TACK STRIPS, SHALL BE SEALED WITH JOINT SEALANT.
7. THE MATERIALS AND PROPERTIES OF ALL CONCRETE SHALL MEET THE APPLICABLE REQUIREMENTS IN THE A.C.I. (AMERICAN CONCRETE INSTITUTE) MANUAL OF CONCRETE PRACTICE.
8. CONTRACTOR SHALL APPLY A SECOND COATING OVER ALL PAVEMENT MARKINGS PRIOR TO ACCEPTANCE BY OWNER FOLLOWED BY A COAT OF GLASS BEADS AS APPLICABLE PER THE PROJECT DOCUMENTS.
9. ANY EXISTING PAVEMENT, CURBS AND/OR SIDEWALKS DAMAGED OR REMOVED WILL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE TO THE SATISFACTION OF THE ENGINEER AND OWNER.
10. BEFORE PLACING PAVEMENT, CONTRACTOR SHALL VERIFY SUITABLE ACCESSIBLE ROUTES (PER A.D.A). GRADING FOR ALL SIDEWALKS AND ACCESSIBLE ROUTES INCLUDING CROSSING DRIVEWAYS SHALL CONFORM TO CURRENT ADA STATE/NATIONAL STANDARDS. IN NO CASE SHALL ACCESSIBLE RAMP SLOPES EXCEED 1 VERTICAL TO 12 HORIZONTAL. IN NO CASE SHALL SIDEWALK CROSS SLOPES EXCEED 2%. IN NO CASE SHALL LONGITUDINAL SIDEWALK SLOPES EXCEED 5%. IN NO CASE SHALL ACCESSIBLE PARKING STALLS OR AISLES EXCEED 2% (1.5% TARGET) IN ALL DIRECTIONS. SIDEWALK ACCESS TO EXTERNAL BUILDING DOORS AND GATES SHALL BE ADA COMPLIANT. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ADA CRITERIA CANNOT BE MET IN ANY LOCATION PRIOR TO PAVING. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR A.D.A COMPLIANCE ISSUES.
11. MAXIMUM JOINT SPACING IS TWICE THE DEPTH OF THE CONCRETE PAVEMENT IN FEET.

GRADING AND DRAINAGE NOTES

- 1. GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY THE SUITABILITY OF ALL EXISTING AND PROPOSED SITE CONDITIONS INCLUDING GRADES AND DIMENSIONS BEFORE START OF CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.
2. THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL ADJUST BMP'S AS NECESSARY AND REGRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND IS WELL ESTABLISHED OR ADEQUATE STABILIZATION OCCURS.
3. CONTRACTOR SHALL ENSURE THERE IS POSITIVE DRAINAGE FROM THE PROPOSED BUILDINGS SO THAT SURFACE RUNOFF WILL DRAIN BY GRAVITY TO NEW OR EXISTING DRAINAGE OUTLETS. CONTRACTOR SHALL ENSURE NO PONDING OCCURS IN PAVED AREAS AND SHALL NOTIFY ENGINEER IF ANY GRADING DISCREPANCIES ARE FOUND IN THE EXISTING AND PROPOSED GRADES PRIOR TO PLACEMENT OF PAVEMENT OR UTILITIES.
4. CONTRACTOR SHALL PROTECT ALL MANHOLE COVERS, VALVE COVERS, VAULT LIDS, FIRE HYDRANTS, POWER POLES, GUY WIRES, AND TELEPHONE BOXES THAT ARE TO REMAIN IN PLACE AND UNDISTURBED DURING CONSTRUCTION. EXISTING CASTINGS AND STRUCTURES TO REMAIN SHALL BE ADJUSTED TO MATCH THE PROPOSED FINISHED GRADES.
5. BACKFILL FOR UTILITY LINES SHALL BE PLACED PER DETAILS, STANDARDS, AND SPECIFICATIONS SO THAT THE UTILITY WILL BE STABLE. WHERE UTILITY LINES CROSS THE PARKING LOT, THE TOP 6 INCHES SHALL BE COMPACTED SIMILARLY TO THE REMAINDER OF THE LOT. UTILITY DITCHES SHALL BE VISUALLY INSPECTED DURING THE EXCAVATION PROCESS TO ENSURE THAT UNDESIRABLE FILL IS NOT USED.
6. CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF 4" OF TOPSOIL AT COMPLETION OF WORK. ALL UNPAVED AREAS IN EXISTING RIGHTS-OF-WAY DISTURBED BY CONSTRUCTION SHALL BE REGRADED AND SODDED.
7. AFTER PLACEMENT OF SUBGRADE AND PRIOR TO PLACEMENT OF PAVEMENT, CONTRACTOR SHALL TEST AND OBSERVE PAVEMENT AREAS FOR EVIDENCE OF PONDING. ALL AREAS SHALL ADEQUATELY DRAIN TOWARDS THE INTENDED STRUCTURE TO CONVEY STORM RUNOFF. CONTRACTOR SHALL IMMEDIATELY NOTIFY OWNER AND ENGINEER IF ANY DISCREPANCIES ARE DISCOVERED.
8. WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAW CUT FULL DEPTH FOR A SMOOTH AND STRAIGHT JOINT AND REPLACE THE PAVEMENT WITH THE SAME TYPE AND DEPTH OF MATERIAL AS EXISTING OR AS INDICATED.
9. THE CONTRACTOR SHALL INSTALL PROTECTION OVER ALL DRAINAGE STRUCTURES FOR THE DURATION OF CONSTRUCTION AND UNTIL ACCEPTANCE OF THE PROJECT BY THE OWNER. ALL DRAINAGE STRUCTURES SHALL BE CLEANED OF DEBRIS AS REQUIRED DURING AND AT THE END OF CONSTRUCTION TO PROVIDE POSITIVE DRAINAGE FLOWS.
10. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ANY APPLICABLE REQUIRED PERMITS. THE CONTRACTOR IS TO COORDINATE WITH THE OWNER AND THE DESIGN ENGINEER PRIOR TO ANY EXCAVATION.
11. FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE LOCAL JURISDICTIONAL AGENCY OR TO MODOT STANDARDS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
12. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED AS PER PLANS. THE AREAS SHALL THEN BE SODDED OR SEEDED AS SPECIFIED IN THE PLANS. FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL GROWTH IS ESTABLISHED TO MINIMUM COVERAGE OF 70% IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE JOB SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. ALL EARTHEN AREAS WILL BE SODDED OR SEEDED AND MULCHED AS SHOWN ON THE LANDSCAPING PLAN.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
14. SOD, WHERE CALLED FOR, MUST BE INSTALLED AND MAINTAINED ON EXPOSED SLOPES WITHIN 48 HOURS OF COMPLETING FINAL GRADING, AND AT ANY OTHER TIME AS NECESSARY, TO PREVENT EROSION, SEDIMENTATION OR TURBID DISCHARGES.
15. THE CONTRACTOR SHALL ENSURE THAT LANDSCAPE ISLAND PLANTING AREAS AND OTHER PLANTING AREAS ARE NOT COMPACTED AND DO NOT CONTAIN ROAD BASE MATERIALS. THE CONTRACTOR SHALL ALSO EXCAVATE AND REMOVE ALL UNDESIRABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND PROPERLY DISPOSED OF IN A LEGAL MANNER.
16. THE CONTRACTOR SHALL INSTALL ALL UNDERGROUND STORM WATER PIPING PER MANUFACTURER'S RECOMMENDATIONS AND MODOT SPECIFICATIONS.
17. PAVEMENTS SHALL BE INSTALLED IN ACCORDANCE WITH THE RECOMMENDATION OF THE SITE SPECIFIC GEOTECHNICAL EVALUATION REPORT AND KANSAS CITY & MODOT SPECIFICATIONS.
18. SPOT ELEVATIONS REPRESENT THE FINISHED SURFACE GRADE OR FLOWLINE OF CURB UNLESS OTHERWISE NOTED.
19. LIMITS OF CONSTRUCTION ARE TO THE PROPERTY LINE UNLESS OTHERWISE SPECIFIED ON THE PLAN.
20. IMMEDIATELY REPORT TO THE OWNER ANY DISCREPANCIES FOUND BETWEEN ACTUAL FIELD CONDITIONS AND CONSTRUCTION DOCUMENTS.
21. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING EXISTING UTILITIES, AND SHALL REPAIR ALL DAMAGE TO EXISTING UTILITIES THAT OCCUR DURING CONSTRUCTION WITHOUT COMPENSATION.
22. BLEND NEW EARTHWORK SMOOTHLY TO TRANSITION BACK TO EXISTING GRADE.
23. ALL PROPOSED GRADES ONSITE SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE INDICATED ON THE PLANS. ANY SLOPES STEEPER THAN 4:1 REQUIRE EROSION AND SEDIMENT CONTROL BLANKET.
24. ADHERE TO ALL TERMS AND CONDITIONS AS NECESSARY IN THE GENERAL N.P.D.E.S. PERMIT AND STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
25. ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.

WATER STORM SEWER & SANITARY SEWER NOTES

- 1. THE CONTRACTOR SHALL CONSTRUCT GRAVITY SEWER LATERALS, MANHOLES, GRAVITY SEWER LINES, AND DOMESTIC WATER AND FIRE PROTECTION SYSTEM AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS, EQUIPMENT, MACHINERY, TOOLS, MEANS OF TRANSPORTATION AND LABOR NECESSARY TO COMPLETE THE WORK IN FULL AND COMPLETE ACCORDANCE WITH THE SHOWN, DESCRIBED AND REASONABLY INTENDED REQUIREMENTS OF THE CONTRACT DOCUMENTS AND JURISDICTIONAL AGENCY REQUIREMENTS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
2. ALL EXISTING UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS FOR UTILITY LOCATION AND COORDINATION IN ACCORDANCE WITH THE NOTES CONTAINED IN THE GENERAL CONSTRUCTION SECTION OF THIS SHEET.
3. THE CONTRACTOR SHALL RESTORE ALL DISTURBED VEGETATION IN KIND, UNLESS SHOWN OTHERWISE.
4. DEFLECTION OF PIPE JOINTS AND CURVATURE OF PIPE SHALL NOT EXCEED THE MANUFACTURER'S SPECIFICATIONS. SECURELY CLOSE ALL OPEN ENDS OF PIPE AND FITTINGS WITH A WATERTIGHT PLUG WHEN WORK IS NOT IN PROGRESS. THE INTERIOR OF ALL PIPES SHALL BE CLEAN AND JOINT SURFACES WIPED CLEAN AND DRY AFTER THE PIPE HAS BEEN LOWERED INTO THE TRENCH. VALVES SHALL BE PLUMB AND LOCATED ACCORDING TO THE PLANS.
5. ALL PIPE AND FITTINGS SHALL BE CAREFULLY STORED FOLLOWING MANUFACTURER'S RECOMMENDATIONS. CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE COATING OR LINING IN ANY D.I. PIPE FITTINGS. ANY PIPE OR FITTING WHICH IS DAMAGED OR WHICH HAS FLAWS OR IMPERFECTIONS WHICH, IN THE OPINION OF THE ENGINEER OR OWNER, RENDERS IT UNFIT FOR USE, SHALL NOT BE USED. ANY PIPE NOT SATISFACTORY FOR USE SHALL BE CLEARLY MARKED AND IMMEDIATELY REMOVED FROM THE JOB SITE, AND SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
6. WATER FOR FIRE FIGHTING SHALL BE MADE AVAILABLE FOR USE BY THE CONTRACTOR PRIOR TO COMBUSTIBLES BEING BROUGHT ON SITE.
7. ALL UTILITY AND STORM DRAIN TRENCHES LOCATED UNDER AREAS TO RECEIVE PAVING SHALL BE COMPLETELY BACK FILLED IN ACCORDANCE WITH THE GOVERNING JURISDICTIONAL AGENCY'S SPECIFICATIONS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
8. UNDERGROUND UTILITY LINES SHALL BE SURVEYED BY A MISSOURI LICENSED PROFESSIONAL LAND SURVEYOR PRIOR TO BACK FILLING.
9. CONTRACTOR SHALL PERFORM, AT THEIR OWN EXPENSE, ANY AND ALL TESTS REQUIRED BY THE SPECIFICATIONS AND/OR ANY AGENCY HAVING JURISDICTION. THESE TESTS MAY INCLUDE, BUT MAY NOT BE LIMITED TO, INFILTRATION AND EXFILTRATION, TELEVISION INSPECTION AND A MANDREL TEST ON GRAVITY SEWER. A COPY OF THE TEST RESULTS SHALL BE PROVIDED TO THE UTILITY PROVIDER, OWNER AND JURISDICTIONAL AGENCY AS REQUIRED.
10. BETWEEN WATER AND SEWER MANHOLES AND PIPES, CONTRACTOR SHALL PROVIDE FOR A MINIMUM HORIZONTAL CLEARANCE OF 10-FEET AND A MINIMUM VERTICAL SEPARATION OF 18-INCHES.
11. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
12. ALL STORM PIPE ENTERING STRUCTURES SHALL BE GASKETED AND/OR GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT UNLESS OTHERWISE STATED BY KANSAS CITY AND MISSOURI DESIGN STANDARDS AND SPECIFICATIONS.
13. UNLESS OTHERWISE STATED IN KANSAS CITY AND MISSOURI DESIGN STANDARDS AND SPECIFICATIONS, ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER". EXISTING CASTINGS AND STRUCTURES WITHIN PROJECT LIMITS SHALL BE ADJUSTED TO MEET THESE CONDITIONS AND THE PROPOSED FINISHED GRADE.
14. TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY BY LAND SURVEYORS. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY, AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER FOR REVIEW.
15. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
16. ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR FROM INVERT IN TO INVERT OUT.
17. ROOF DRAINS SHALL BE CONNECTED TO STORM SEWER BY PREFABRICATED WYES OR AT STORM STRUCTURES. ROOF DRAINS AND TRUCK WELL DRAIN SHALL RUN AT A MINIMUM 2.0% SLOPE, UNLESS NOTED OTHERWISE, AND TIE IN AT THE CENTERLINE OF THE STORM MAIN.
18. PROVIDE INSULATION OF UNDERGROUND ROOF DRAINS AND SANITARY SEWER SERVICES IF ADEQUATE FROST DEPTH CANNOT BE PROVIDED.
19. THE CONTRACTOR SHALL PROTECT EXISTING UNDERGROUND UTILITIES AND APPURTENANCES THAT ARE TO REMAIN FROM DAMAGE DURING CONSTRUCTION OPERATIONS.
20. THE LOCATION OF EXISTING UTILITIES, STORM DRAINAGE STRUCTURES AND OTHER ABOVE AND BELOW-GRADE IMPROVEMENTS ARE APPROXIMATE AS SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION, SIZE AND INVERT ELEVATIONS OF EACH PRIOR TO THE START OF CONSTRUCTION.
21. A MINIMUM SEPARATION OF 5-FEET IS REQUIRED BETWEEN UNDERGROUND UTILITIES AND TREES UNLESS A ROOT BARRIER IS UTILIZED.
22. GAS, PHONE AND ELECTRIC SERVICES SHOWN FOR INFORMATIONAL PURPOSES ONLY. DRY UTILITY COMPANIES MAY ALTER THE DESIGN LAYOUT DURING THEIR REVIEW. CONTRACTOR TO COORDINATE FINAL DESIGN AND INSTALLATION WITH UTILITY COMPANIES.
23. COORDINATE UTILITY INSTALLATION WITH IRRIGATION DESIGN AND INSTALLATION.
24. ALL DIMENSIONS ARE TO FLOW LINE OF CURB UNLESS OTHERWISE NOTED. PERIMETER WALL DIMENSIONS ARE TO INSIDE WALL FACE. REFERENCE ARCHITECTURAL PLANS FOR EXACT WALL WIDTH AND SPECIFICATIONS.
25. REFERENCE ARCHITECTURAL PLANS (BY OTHERS) FOR EXACT BUILDING DIMENSIONS, MATERIALS SPECIFICATIONS.
26. REFERENCE M.E.P. PLANS (BY OTHERS) FOR MECHANICAL EQUIPMENT DIMENSIONS AND SPECIFICATIONS.
27. CONTRACTOR SHALL REFERENCE STRUCTURAL PLANS (BY OTHERS) FOR FOOTING AND FOUNDATION PAD PREPARATION SPECIFICATIONS.
28. CONTRACTOR SHALL REFERENCE M.E.P PLANS (BY OTHERS) FOR ROUTING OF PROPOSED ELECTRICAL & COMMUNICATIONS SERVICES AND SITE LIGHTING LAYOUT.

PRELIMINARY - NOT FOR CONSTRUCTION

STORE #85175 - BARRY RD & GREEN HILLS RD

PREPARED FOR STARBUCKS

KANSAS CITY MISSOURI

SHEET NUMBER C100

GENERAL NOTES

Table with 4 columns: KHA PROJECT, DATE, SCALE, DESIGNED BY, DRAWN BY, CHECKED BY. Values: 161143001, 07/19/2024, AS SHOWN, BSK, BSK, MTL.

Kimley Horn logo and address: 2024 KIMLEY-HORN AND ASSOCIATES, INC. 800 PENNSYLVANIA, SUITE 150 KANSAS CITY, MO 64105. PHONE: 816-231-1272 WWW.KIMLEY-HORN.COM

Table with 2 columns: No., REVISIONS, DATE. Multiple empty rows for revision tracking.







K:\TCW\_LDEV\Starbucks\Kansas City, MO- NE Corner Green Hills & Barry Road\3 Design\CAD\PlanSheets\C4-SITE PLAN.dwg August 30, 2024 - 7:24am  
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**SITE PLAN NOTES**

- REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF STAIRS, TRASH ENCLOSURES & PRECISE BUILDING DIMENSIONS. REFER TO THE SITE ELECTRICAL PLAN FOR LOCATIONS OF PROPOSED LIGHT POLES, CONDUITS, AND ELECTRICAL EQUIPMENT.
- REFER TO CERTIFIED SITE SURVEY OR PLAT FOR EXACT LOCATION OF EXISTING EASEMENTS, PROPERTY BOUNDARY DIMENSIONS, AND ADJACENT RIGHT-OF-WAY & PARCEL INFORMATION.
- DIMENSIONS AND RADII ARE DRAWN TO THE FACE OF CURB, UNLESS OTHERWISE NOTED. DIMENSIONS ARE ROUNDED TO THE NEAREST TENTH FOOT, AND AREAS ARE ROUNDED TO THE NEAREST SQUARE FOOT.
- UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR RELOCATING EXISTING SITE IMPROVEMENTS THAT CONFLICT WITH THE PROPOSED WORK, INCLUDING BUT NOT LIMITED TO TRAFFIC SIGNS, LIGHT POLES, ABOVEGROUND UTILITIES, ETC. PERFORM WORK IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS. COST SHALL BE INCLUDED IN BASE BID.
- TYPICAL PARKING STALL DIMENSIONS SHALL BE 8.5-FEET IN WIDTH AND 18-FEET IN LENGTH UNLESS OTHERWISE INDICATED.
- MONUMENT SIGN(S) ARE DETAILED ON THE ARCHITECTURAL PLANS AND ARE SHOWN FOR GRAPHICAL & INFORMATIONAL PURPOSES ONLY. CONTRACTOR TO VERIFY SIGN DIMENSIONS, LOCATION AND REQUIRED PERMITS WITH THE OWNER.

SPECIAL PURPOSE RAPID TRANSIT CORRIDOR EASEMENT: GRANTOR HEREBY GRANTS TO KCATA, FOR THE USE AND BENEFIT OF KCATA, ITS SUCCESSORS AND ASSIGNS, AN EASEMENT OVER, UNDER, ACROSS, AND THROUGH THE SPRTC EASEMENT. IN THE EVENT THAT KCATA ELECTS TO EXERCISE ITS RIGHTS UNDER THIS EASEMENT, THE DEVELOPER AGREES TO RELOCATE THE DRIVE-THRU IN A MANNER THAT DOES NOT ENCUMBER OR INTERFERE WITH THE EASEMENT AREA.

PROPERTY SUMMARY	
TOTAL PROPERTY AREA	1.63 AC / 71,096 SF
TRACT 1 PROPERTY AREA	0.93 AC / 40,514 SF
TRACT 2 PROPERTY AREA	0.70 AC / 30,582 SF
DISTURBED AREA	1.85 AC / 80,524 SF
EXISTING IMPERVIOUS AREA	0.04 AC / 1,700 SF / 2.11%
EXISTING PERVIOUS AREA	1.81 AC / 78,824 SF / 97.89%
PROPOSED IMPERVIOUS AREA	1.30 AC / 56,802 SF / 70.54%
PROPOSED PERVIOUS AREA	0.55 AC / 23,722 SF / 29.46%
NET INCREASE IN IMPERVIOUS AREA	1.26 AC / 55,102 SF

SITE DATA	
EXISTING ZONING	B-3: COMMUNITY BUSINESS DISTRICT
PROPOSED ZONING	B-3: COMMUNITY BUSINESS DISTRICT
PROPOSED LAND USE	QSR & DRIVE-THRU COFFEE
PARKING SETBACKS	SIDE/REAR = 10' RIGHT OF WAY = 10'
BUILDING SETBACKS	FRONT = 20' SIDE/REAR = 10' RIGHT OF WAY = 20'

BUILDING DATA	
TRACT 1 BUILDING AREA	2,459 SF
TRACT 1 BUILDING COVERAGE	6.07%
TRACT 2 BUILDING AREA	2,000 SF
TRACT 2 BUILDING COVERAGE	6.54%
TOTAL BUILDING COVERAGE	6.27%

PARKING SUMMARY	
TRACT 1 REQUIRED PARKING	27 SPACES @ 10/1,000 SF + 5/1,000 SF (PATIO)
TRACT 1 PROPOSED PARKING	27 SPACES
TRACT 2 REQUIRED PARKING	20 SPACES @ 10/1,000 SF
TRACT 2 PROPOSED PARKING	32 SPACES
<b>TOTAL REQUIRED PARKING</b>	<b>47 SPACES</b>
<b>TOTAL PROPOSED PARKING</b>	<b>59 SPACES</b>
REQUIRED ACCESSIBLE PARKING	3 STANDARD SPACES 2 VAN ACCESSIBLE
PROPOSED ACCESSIBLE PARKING	4 STANDARD SPACES 4 VAN ACCESSIBLE
REQUIRED BICYCLE PARKING	6 SPACES @ 10% OF 59 VEHICLE SPACES
PROVIDED BICYCLE PARKING	6 SPACES

**KEYNOTE LEGEND**

- (A) 6" CONCRETE CURB & GUTTER - SEE DETAIL
- (B) CONCRETE SIDEWALK - SEE DETAIL
- (C) CURB TRANSITION FROM 6" TO FLUSH - SEE DETAIL
- (D) MATCH EXISTING EDGE OF PAVEMENT/ CURB & GUTTER
- (E) "NO PARKING" SIGN IN BOLLARD - SEE DETAIL
- (F) ACCESSIBLE CURB RAMP - SEE DETAIL
- (G) CONCRETE WHEEL STOP - SEE DETAIL
- (H) 6" CONCRETE FILLED PIPE BOLLARD - SEE DETAIL
- (I) ACCESSIBLE PARKING SYMBOL & LOADING AREA - SEE DETAIL
- (J) STRIPED WHITE CROSS-HATCH AREA 4" SOLID LINES @ 45° 2' O.C.
- (K) 4" WIDE WHITE PAINTED SOLID PARKING LOT LINE
- (L) PAINTED WHITE DIRECTIONAL ARROW - SEE DETAIL
- (M) PAINTED WHITE CROSSWALK - SEE DETAIL
- (N) 24" WIDE PAINTED WHITE STOP BAR - SEE DETAIL
- (O) ADA PARKING SIGN IN BOLLARD - SEE DETAIL
- (P) STOP SIGN - SEE DETAIL
- (Q) "DO NOT ENTER SIGN" - SEE DETAIL
- (R) DIRECTIONAL SIGN- SEE ARCH PLANS FOR DETAILS
- (S) MONUMENT SIGN - REFER TO ARCHITECTURAL PLANS
- (T) GREASE INTERCEPTOR- REFER TO MEP PLANS

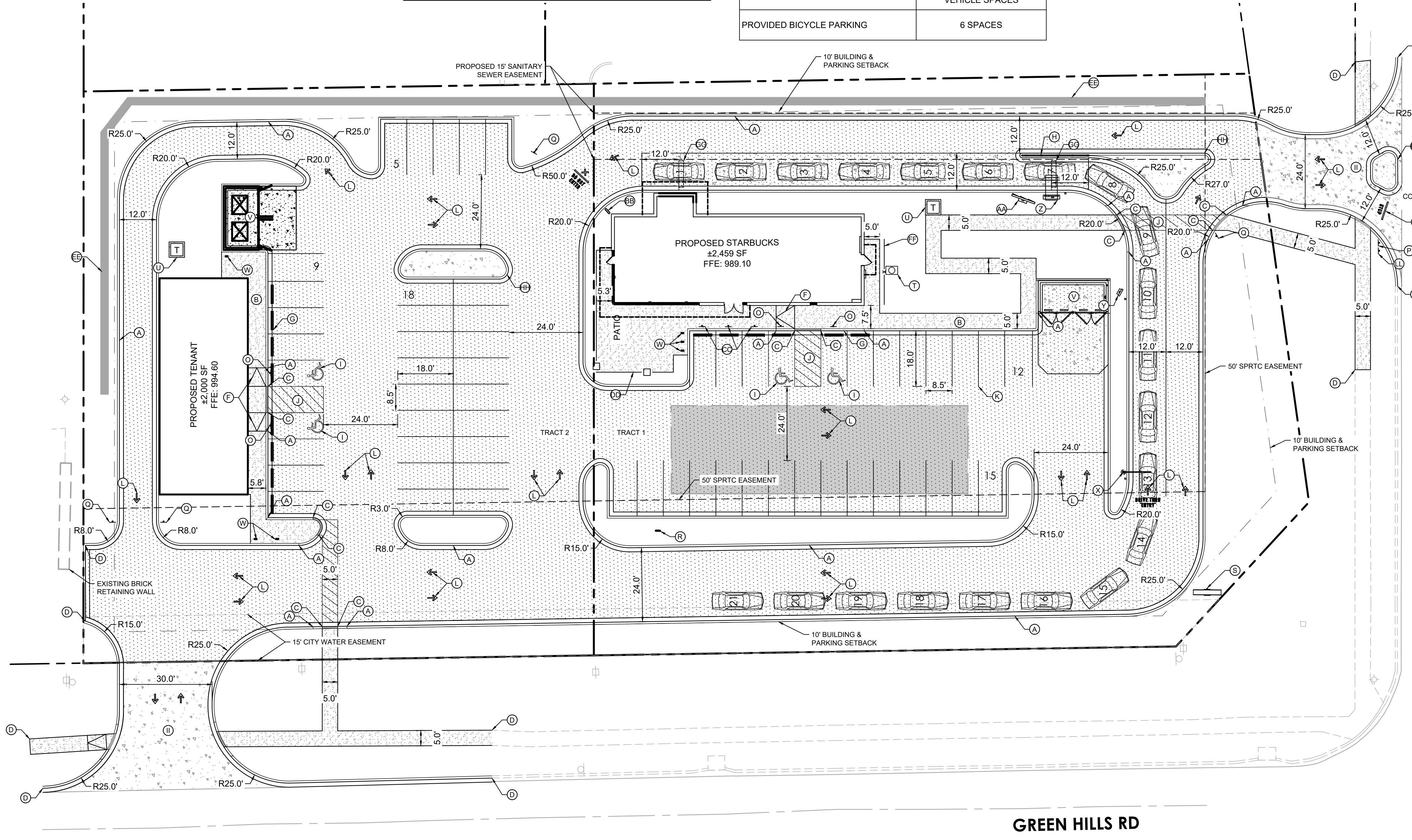
- (U) TRANSFORMER/EQUIPMENT PAD - REFER TO MEP PLANS
- (V) TRASH ENCLOSURE - REFER TO ARCHITECTURAL PLANS
- (W) BIKE RACK - SEE DETAIL
- (X) CLEARANCE BAR FOOTING & CONDUIT W/ BOLLARD
- (Y) PRE-MENU BOARD FOOTING & CONDUIT W/ BOLLARD
- (Z) ORDER POINT CANOPY W/ DIGITAL ORDER SCREEN & BOLLARD @ 8 CAR STACK -- INDICATES 120' FROM CENTER POINT OF DRIVE THRU WINDOW TO ORDER POINT FOOTING & CONDUIT W/ BOLLARD
- (AA) 5 PANEL MENU BOARD, FOOTING & CONDUIT
- (BB) "THANK YOU / EXIT ONLY" SIGNAGE -- FOOTING & CONDUIT
- (CC) "MOBILE ORDER PARKING ONLY" SIGN IN BOLLARD- LL TO PROVIDE POST & BOLLARD
- (DD) PATIO FENCE- SEE ARCH PLANS FOR DETAILS
- (EE) RETAINING WALL- SEE STRUCTURAL PLANS
- (FF) UTILITY SCREENING FENCE- REFER TO ARCH PLANS
- (GG) DRIVE THRU TIME LOOP, REFER TO MEP PLANS FOR DETAILS
- (HH) ROLL BACK CURB & GUTTER- SEE DETAIL
- (II) COMMERCIAL DRIVEWAY APRON- SEE DETAIL
- (JJ) TRUNCATED DOMES- SEE DETAIL
- (KK) ONE-WAY ARROW SIGN
- (LL) "NO LEFT TURN" SIGN

**LEGEND**

- PROPERTY LINE
- - - SETBACK LINE
- - - DRAINAGE AND UTILITY EASEMENT
- x - x - x - x - x - PROPOSED FENCE
- ===== RETAINING WALL
- PROPOSED CURB AND GUTTER
- [Pattern] STANDARD DUTY ASPHALT PAVMENT  
SEE DETAILS FOR SECTION
- [Pattern] HEAVY DUTY CONCRETE PAVEMENT  
SEE DETAILS FOR SECTION
- [Pattern] CONCRETE SIDEWALK  
SEE DETAILS FOR SECTION
- [Pattern] STORM WATER AREA  
SEE GRADING PLAN FOR DETAILS
- EXISTING ELECTRICAL POLE

**TIMELINE**

ESTIMATED START DATE	TBD
ESTIMATED COMPLETION DATE	TBD
<b>REQUESTED DEVIATIONS &amp; VARIANCES</b>	
SEE COVER SHEET	

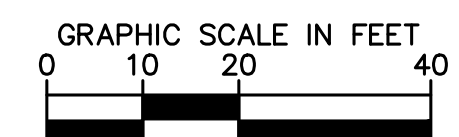
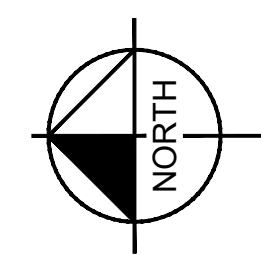


NW BARRY RD

GREEN HILLS RD



Know what's below.  
Call before you dig.



**Kimley»Horn**

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800 PENNSYLVANIA, SUITE 150 KANSAS CITY, MO 64105  
PHONE: 816.231.5127  
WWW.KIMLEY-HORN.COM

KHA PROJECT 161143001	DATE 07/19/2024	SCALE AS SHOWN	DESIGNED BY BSK	DRAWN BY BSK	CHECKED BY MTL
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**SITE PLAN**

PRELIMINARY - NOT FOR CONSTRUCTION

**STORE #85175 - BARRY RD  
& GREEN HILLS RD**

PREPARED FOR  
**STARBUCKS**

KANSAS CITY MISSOURI

SHEET NUMBER  
**C400**



K:\TCW\_LDEV\Starbucks\Kansas City, MO-NE Corner Green Hills & Barry Road\3 Design\CAD\PlanSheets\C5-STORM SEWER PLAN.dwg August 30, 2024 - 7:24am  
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**STORMWATER RATE SUMMARY**

PRE DEVELOPMENT	
2-YR (3.58")	6.36 CFS
10-YR (5.39")	11.24 CFS
25-YR (6.61")	14.55 CFS
50-YR (7.60")	17.23 CFS
100-YR (8.64")	20.04 CFS
POST DEVELOPMENT	
2-YR (3.58")	2.02 CFS
10-YR (5.39")	6.59 CFS
25-YR (6.61")	13.30 CFS
50-YR (7.60")	17.13 CFS
100-YR (8.32")	17.21 CFS

**STORMWATER BMP**

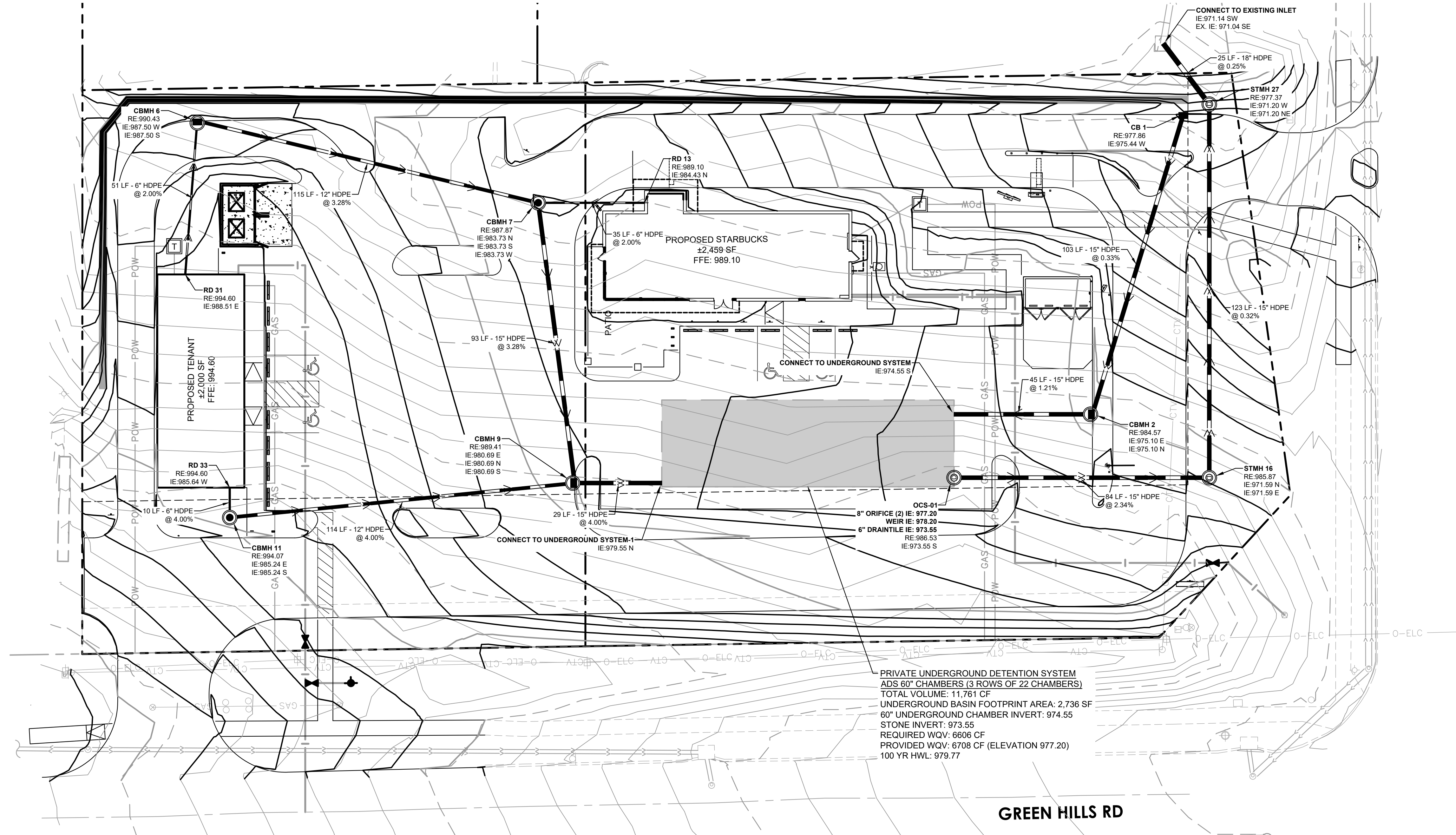
REQUIRED LEVEL OF SERVICE	7.00
PROVIDED LEVEL OF SERVICE	7.95

**STORM SEWER NOTES**

- INSTALL STORM SEWER IN ACCORDANCE WITH APPLICABLE CITY OR STATE SPECIFICATIONS, STATE PLUMBING CODE, AND BUILDING PERMIT REQUIREMENTS.
- CONTACT STATE 811 CALL-BEFORE-YOU-DIG LOCATING SERVICE AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION FOR UNDERGROUND UTILITY LOCATIONS.
- STORM SEWER PIPE SHALL BE:  
 RCP: ASTM C-76  
 HDPE: ASTM F-714, F-894  
 PVC: ASTM D-2729  
 PVC SCH40: ASTM D-1785, D-2665, F-794  
 DRAIN TILE SHALL BE:  
 PE: ASTM F-6667  
 PVC: ASTM D-2729  
 FITTINGS SHALL BE:  
 RCP: ASTM C-76, JOINTS PER ASTM C-361, C-990, AND C-443  
 HDPE: ASTM D-3212  
 PVC: ASTM D-2729, JOINTS PER ASTM D-3212  
 PVC SCH40: ASTM D-2665, F-794, F-1866
- CONTRACTOR IS RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL CONTROL.
- FIELD VERIFY THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO THE START OF LAND DISTURBING ACTIVITIES. NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES OR VARIATIONS IMPACTING THE PROPOSED DESIGN OF THE PROJECT.
- EXCAVATE DRAINAGE TRENCHES TO FOLLOW PROPOSED STORM SEWER ALIGNMENTS. REFER TO THE UTILITY PLANS FOR LAYOUT AND ELEVATIONS FOR PROPOSED SANITARY SEWER, WATER MAIN, AND OTHER BUILDING UTILITY SERVICE CONNECTIONS. REFER TO THE GRADING PLAN FOR DETAILED SURFACE ELEVATIONS.
- EXCESS MATERIAL, BITUMINOUS SURFACING, CONCRETE ITEMS, ABANDONED UTILITY ITEMS, AND OTHER UNSTABLE MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF THE CONSTRUCTION SITE.
- COORDINATE WITH THE PLUMBING PLANS FOR THE LOCATION, SIZE AND ELEVATION OF THE PROPOSED UNDERGROUND ROOF DRAIN CONNECTIONS.
- WHERE STORM SEWER ROOF DRAINS HAVE LESS THAN 4-FEET OF COVER IN PAVED AREAS OR 3-FEET OF COVER IN LANDSCAPE AREAS, PROVIDE 3-INCH THICK INSULATION A MINIMUM OF 5-FEET IN WIDTH, CENTERED ON THE PIPE.
- ALL STORM SEWER PIPE JOINTS SHALL BE WATER-TIGHT CONNECTIONS.
- ALL STORM SEWER PIPE CONNECTIONS TO MANHOLES SHALL BE GASKETED AND WATER TIGHT. BOOTED COUPLERS AT THE STRUCTURE OR A WATER STOP WITH NON-SHRINK GROUT MAY BE USED IN ACCORDANCE WITH LOCAL CODES.
- CONTRACTOR SHALL AIR TEST ALL STORM SEWER PIPE IN ACCORDANCE WITH LOCAL CODE REQUIREMENTS.

**LEGEND**

- PROPERTY LINE
- PROPOSED STORM MANHOLE (SOLID CASTING)
- PROPOSED STORM MANHOLE (ROUND INLET CASTING)
- PROPOSED STORM MANHOLE/ CATCH BASIN (CURB INLET CASTING)
- PROPOSED STORM SEWER CLENOUT
- PROPOSED FLARED END SECTION
- PROPOSED RIPRAP
- PROPOSED STORM SEWER
- PROPOSED WATERMAIN
- PROPOSED SANITARY SEWER



NW BARRY RD

GREEN HILLS RD

PRELIMINARY - NOT FOR CONSTRUCTION

STORE #85175 - BARRY RD & GREEN HILLS RD  
 PREPARED FOR  
**STARBUCKS**  
 KANSAS CITY MISSOURI

**STORM SEWER PLAN**

KHA PROJECT	16T143001
DATE	07/19/2024
SCALE	AS SHOWN
DESIGNED BY	BSK
DRAWN BY	BSK
CHECKED BY	MTL

No.	REVISIONS	DATE	BY





K:\ITCW\_LDEV\Starbucks\Kansas City, MO- NE Corner Green Hills & Barry Road\3 Design\CAD\PlanSheets\L1-LANDSCAPE PLAN.DWG August 30, 2024 - 7:25am

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**PLANT SCHEDULE**

SYMBOL	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONTAINER	CAL.
<b>OVERSTORY TREES</b>						
	ABM	9	AUTUMN BLAZE MAPLE	ACER X FREEMANII 'AUTUMN BLAZE'	B & B	2.5" CAL.
	NPO	7	NORTHERN PIN OAK	QUERCUS ELLIPSOIDALIS	B & B	2.5" CAL.
	SWG	9	ROUND-LOBED SWEET GUM	LIQUIDAMBAR STYRACIFLUA 'ROTUNDILOBA'	B & B	2.5" CAL.
	TUL	4	MAJESTIC BEAUTY® TULIP POPLAR	LIRIODENDRON TULIPIFERA 'AUREO-MARGINATUM'	6" HT.	2.5" CAL.

SYMBOL	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONTAINER	SPACING
<b>DECIDUOUS SHRUBS</b>						
	ANH	32	ANNABELLE HYDRANGEA	HYDRANGEA ARBORESCENS 'ANNABELLE'	#5 CONT.	4' O.C.
	BEA	18	PEARL GLAM® BEAUTYBERRY	CALLICARPA X 'NCCX2' (PEARL GLAM®)	#3 CONT.	3' O.C.
	BLK	32	AUTUMN MAGIC BLACK CHOKEBERRY	ARONIA MELANOCARPA 'AUTUMN MAGIC'	#5 CONT.	4' O.C.
	CBB	38	COMPACT BURNING BUSH	EUONYMUS ALATUS 'COMPACTUS'	#5 CONT.	5' O.C.
	LDN	8	LITTLE DEVIL NINEBARK	PHYSOCARPUS OPULIFOLIUS 'DONNA MAY'™	#5 CONT.	4' O.C.
	PGB	30	PEARL GLAM® BEAUTYBERRY	CALLICARPA X 'NCCX2'	6 PK	48" O.C.

	SNO	43	SNOWMOUND SPIREA	SPIRAEA NIPPONICA 'SNOWMOUND'	#5 CONT.	4' O.C.
	SSB	6	SUGAR SHACK® BUTTONBUSH	CEPHALANTHUS OCCIDENTALIS 'SMCOSS'	#3 CONT.	4' O.C.
	STJ	28	SUNNY BOULEVARD® ST. JOHNSWORT	HYPERICUM KALMIANUM 'DEPPE'	#3 CONT.	3' O.C.

<b>EVERGREEN SHRUBS</b>						
	ARB	21	EMERALD GREEN ARBORVITAE	THUJA OCCIDENTALIS 'EMERALD GREEN'	#5 CONT.	4' O.C.

<b>ORNAMENTAL GRASSES</b>						
	HFG	65	HAMELN FOUNTAIN GRASS	CENCHRUS ALOPECUROIDES 'HAMELN'	#1 CONT.	18" O.C.
	ROB	55	RED OCTOBER BIG BLUESTEM	ANDROPOGON GERARDII 'RED OCTOBER'	6 PK	24" O.C.

SYMBOL	CODE	QTY	COMMON NAME	BOTANICAL NAME	CTNR.	SPACING
<b>PERENNIALS</b>						
	ASD	11	APRICOT SPARKLES DAYLILY	HEMEROCALLIS X 'APRICOT SPARKLES'	#1 CONT.	15" O.C.
	BBL	521	BIG BLUE LILYTURF	LIRIOPE MUSCARI 'BIG BLUE'	#1 CONT.	12" O.C.
	RSC	172	RUBY STAR CONEFLOWER	ECHINACEA PURPUREA 'RUBY STAR'	#1 CONT.	18" O.C.
	RSG	48	BLUE HAZE RUSSIAN SAGE	SALVIA YANGII 'BLUE HAZE'	#1 CONT.	18" O.C.

**NOTE:**  
QUANTITIES ON PLAN SUPERSEDE LIST QUANTITIES IN THE EVENT OF A DISCREPANCY.

**ABBREVIATIONS:**  
B&B = BALLED AND BURLAPPED CAL. = CALIPER HT. = HEIGHT MIN. = MINIMUM O.C. = ON CENTER SP. = SPECIES QTY. = QUANTITY

**LANDSCAPE SUMMARY - PER CODE OF ORDINANCES**

CITY OF KANSAS CITY, MO LANDSCAPE REQUIREMENTS SECTION 88

88-425-05-B. REQUIRED: NW BARRY ROAD - 5 TREES = (172 LF STREET FRONTAGE - 27 LF DRIVEWAY) / 30  
PROVIDED: NW BARRY RD - 5 TREES

REQUIRED: GREEN HILLS ROAD - 11 TREES = (386 LF STREET FRONTAGE - 66 LF DRIVEWAY) / 30  
PROVIDED: GREEN HILLS ROAD - 11 TREES

88-425-04. REQUIRED: AT LEAST ONE TREE PROVIDED PER 5,000 SF BUILDING FOOTPRINT  
PROVIDED: 4,459 SF / 5,000 SF = 1 TREE

88-425-05. REQUIRED: PERIMETER 10' LANDSCAPE BUFFER OF VEHICULAR USE AREAS  
PROVIDED: LANDSCAPE BUFFER STRIP W/ EVERGREEN SHRUBS TO FORM CONTINUOUS VISUAL SCREEN AT LEAST 4' HT.

88-425-06-B. REQUIRED: 2,065 SF = (59 PARKING SPACES x 35 SF INTERIOR LANDSCAPE)  
PROVIDED: 6,772 SF

88-425-06-E. REQUIRED TREES: 12 TREES = (59 PARKING SPACES / 5)  
PROVIDED TREES: 12 TREES

REQUIRED SHRUBS: 59 SHRUBS = (59 PARKING SPACES / 1)  
PROVIDED TREES: 60 SHRUBS

TOTAL TREES REQUIRED: 29 TREES  
TOTAL TREES PROVIDED: 29 TREES

TOTAL SHRUBS REQUIRED: 59 SHRUBS  
TOTAL SHRUBS PROVIDED: 134 SHRUBS

**LANDSCAPE KEYNOTES**

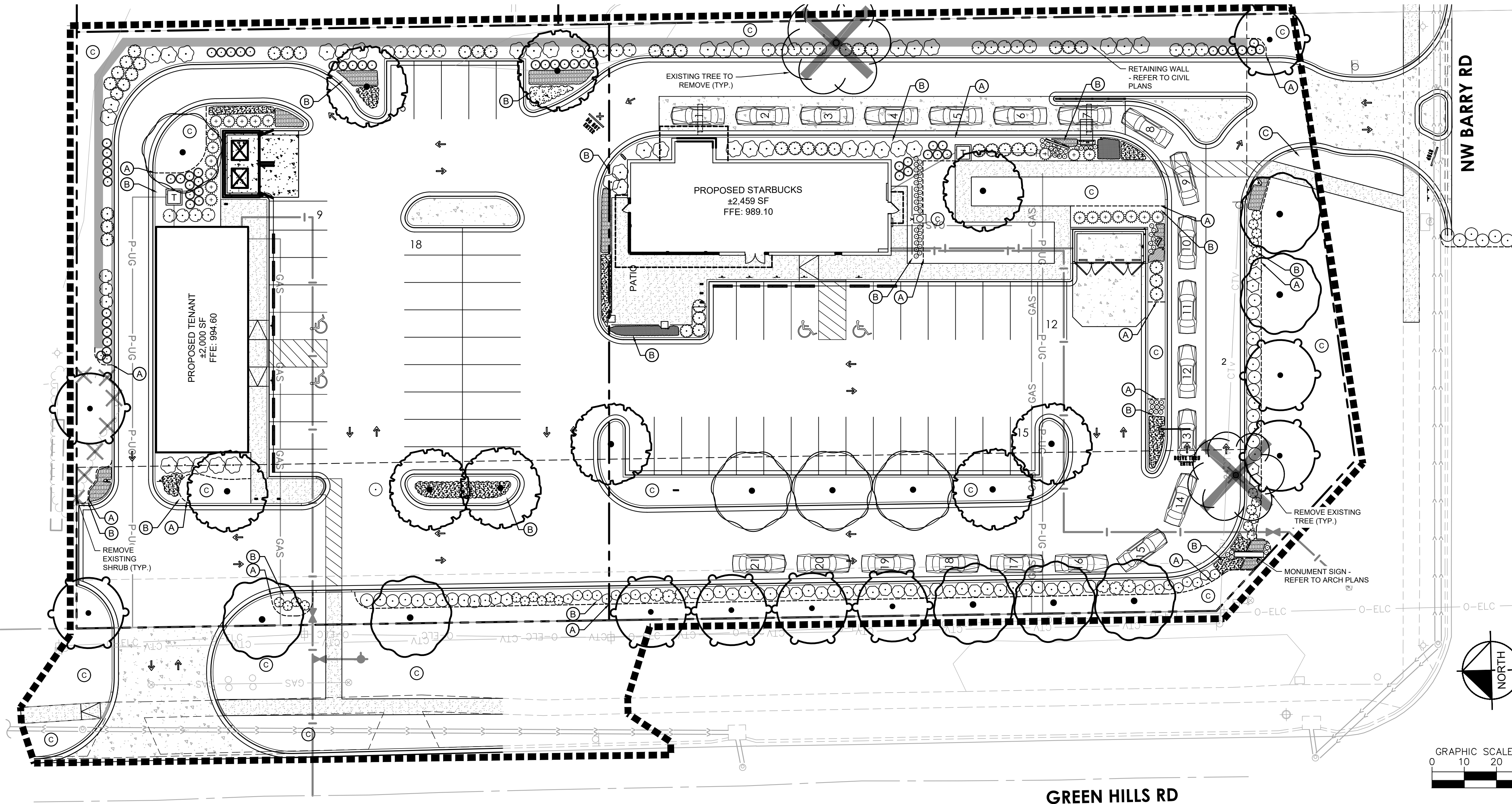
- (A) EDGER (TYP.)
- (B) DOUBLE SHREDDDED HARDWOOD MULCH (TYP.)
- (C) SOD (TYP.)
- (D) ROCK MULCH(TYP.)

**EXISTING TREE INVENTORY**

TAG #	SPECIES	SIZE/ HT. DBH	HEALTH	STATUS
1	MAPLE	24	GOOD	REMOVE
2	UNKNOWN DECID.	27	GOOD	REMOVE

**LANDSCAPE LEGEND**

- EXISTING TREE TO REMAIN (TYP.)
- REMOVE TREE (TYP.)
- EXISTING SHRUB MASSING (TYP.)
- REMOVE SHRUB (TYP.)
- EDGER (TYP.)
- APPROXIMATE LIMITS OF SEEDING/ SEEDING ALL DISTURBED AREAS (TYP.)



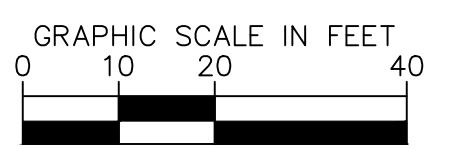
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**LANDSCAPE PLAN**

PRELIMINARY - NOT FOR CONSTRUCTION  
STORE #85175 - BARRY RD & GREEN HILLS RD  
PREPARED FOR  
**STARBUCKS**  
KANSAS CITY MISSOURI

PROJECT: KHA PROJECT 161143001  
DATE: 07/19/2024  
SCALE: AS SHOWN  
DESIGNED BY: ATK  
DRAWN BY: ATK  
CHECKED BY: AMS

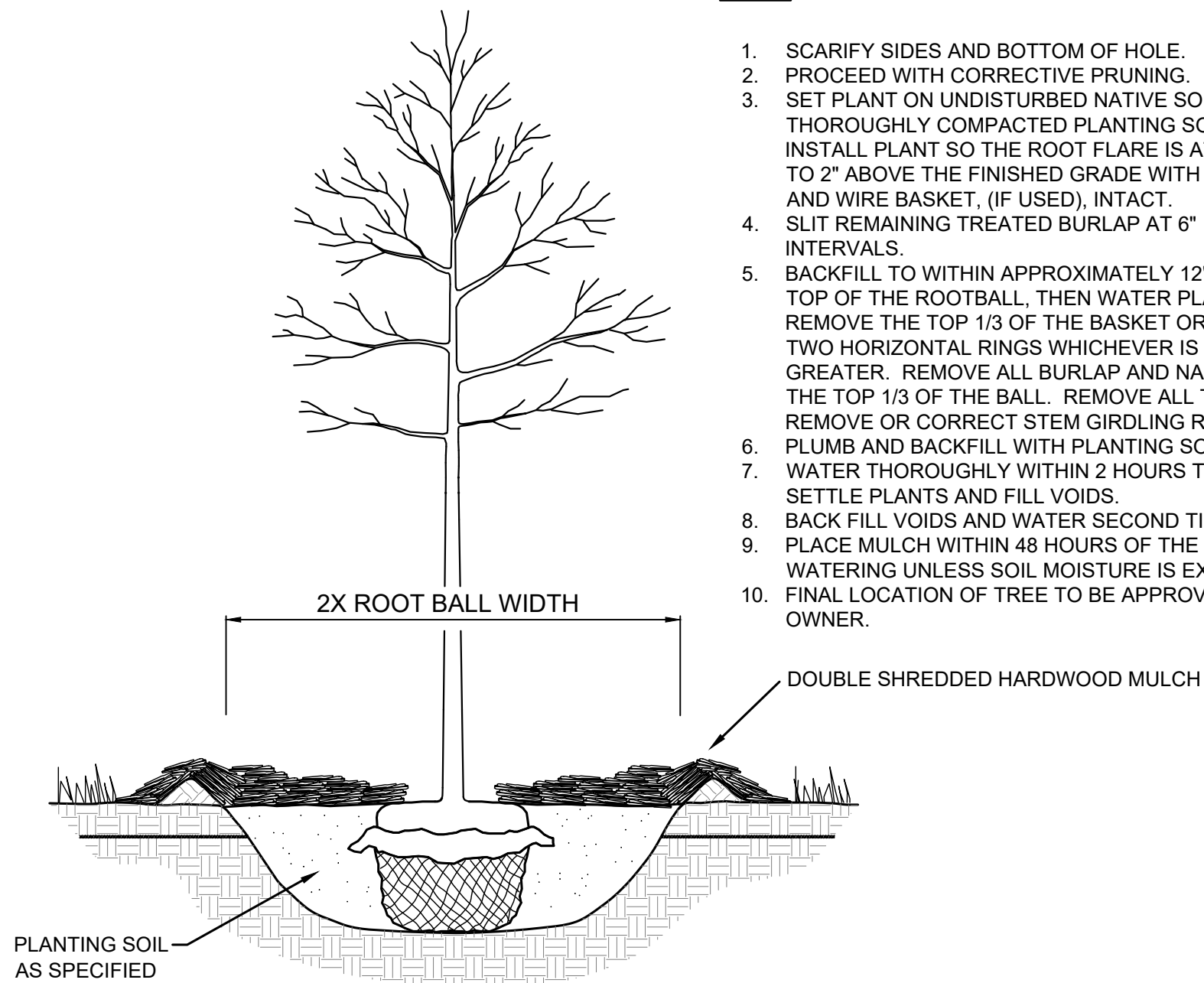
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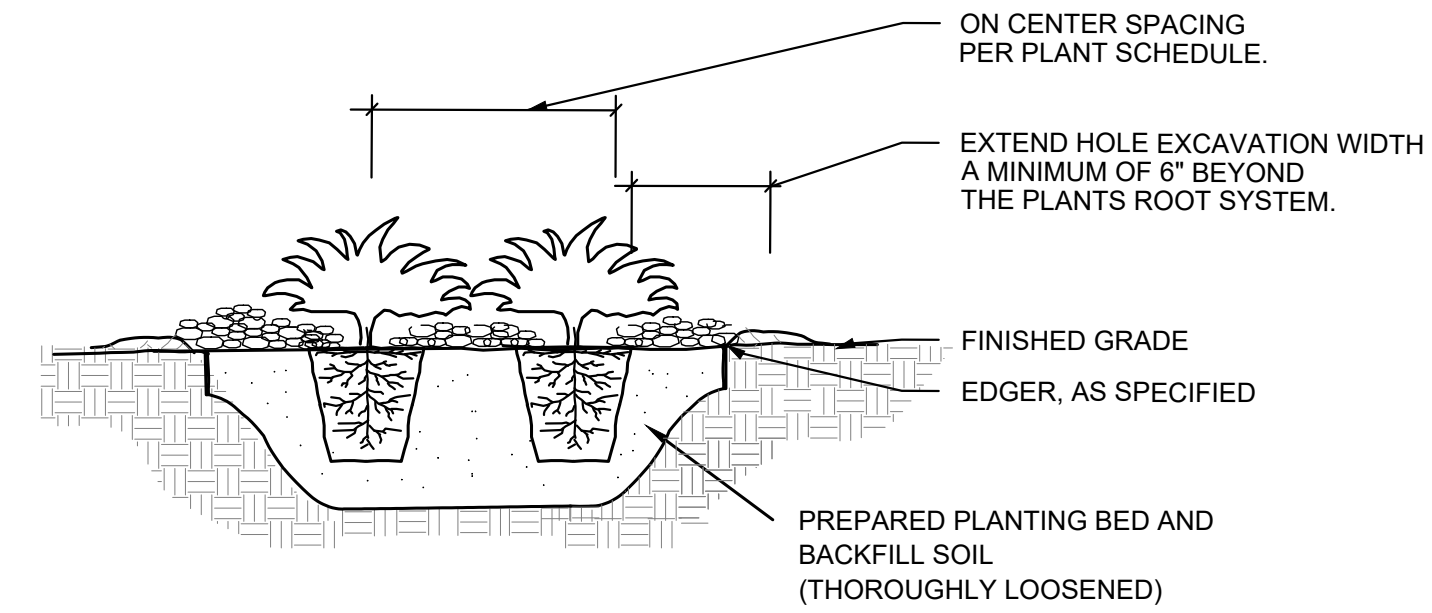
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**NOTES:**

1. SCARIFY SIDES AND BOTTOM OF HOLE.
2. PROCEED WITH CORRECTIVE PRUNING.
3. SET PLANT ON UNDISTURBED NATIVE SOIL OR THOROUGHLY COMPACTED PLANTING SOIL. INSTALL PLANT SO THE ROOT FLARE IS AT OR UP TO 2" ABOVE THE FINISHED GRADE WITH BURLAP AND WIRE BASKET, (IF USED), INTACT.
4. SLIT REMAINING TREATED BURLAP AT 6" INTERVALS.
5. BACKFILL TO WITHIN APPROXIMATELY 12" OF THE TOP OF THE ROOTBALL, THEN WATER PLANT. REMOVE THE TOP 1/3 OF THE BASKET OR THE TOP TWO HORIZONTAL RINGS WHICHEVER IS GREATER. REMOVE ALL BURLAP AND NAILS FROM THE TOP 1/3 OF THE BALL. REMOVE ALL TWINE. REMOVE OR CORRECT STEM GIRDLING ROOTS.
6. PLUMB AND BACKFILL WITH PLANTING SOIL.
7. WATER THOROUGHLY WITHIN 2 HOURS TO SETTLE PLANTS AND FILL VOIDS.
8. BACK FILL VOIDS AND WATER SECOND TIME.
9. PLACE MULCH WITHIN 48 HOURS OF THE SECOND WATERING UNLESS SOIL MOISTURE IS EXCESSIVE.
10. FINAL LOCATION OF TREE TO BE APPROVED BY OWNER.



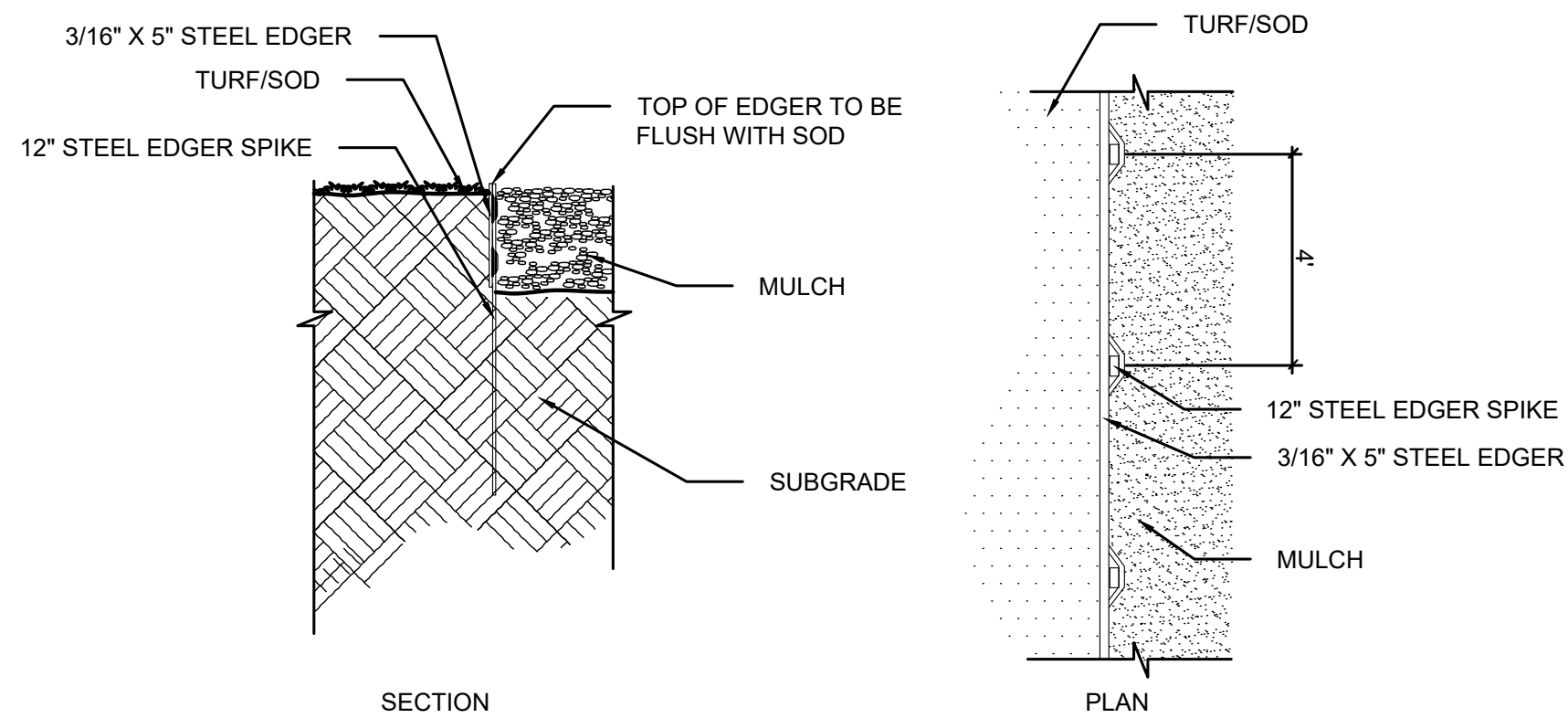
**1** TREE PLANTING DETAIL  
 SCALE: N.T.S.



**NOTES:**

1. SCARIFY SIDES AND BOTTOM OF HOLE.
2. PROCEED WITH CORRECTIVE PRUNING OF TOP AND ROOT.
3. REMOVE CONTAINER AND SCORE OUTSIDE OF SOIL MASS TO REDIRECT AND PREVENT CIRCLING FIBROUS ROOTS. REMOVE OR CORRECT STEM GIRDLING ROOTS.
4. PLUMB AND BACKFILL WITH PLANTING SOIL.
5. WATER THOROUGHLY WITHIN 2 HOURS TO SETTLE PLANTS AND FILL VOIDS.
6. BACK FILL VOIDS AND WATER SECOND TIME.
7. PLACE MULCH WITHIN 48 HOURS OF THE SECOND WATERING UNLESS SOIL MOISTURE IS EXCESSIVE.
8. MIX IN 3-4" OF ORGANIC COMPOST.

**2** SHRUB / PERENNIAL PLANTING DETAIL  
 SCALE: N.T.S.



**3** STEEL EDGER DETAIL  
 SCALE: N.T.S.

**LANDSCAPE NOTES**

**PLANTING**

1. CONTACT COMMON GROUND ALLIANCE AT 811 OR CALL 811.COM TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY PLANTS OR LANDSCAPE MATERIAL.
2. ACTUAL LOCATION OF PLANT MATERIAL IS SUBJECT TO FIELD AND SITE CONDITIONS.
3. NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
4. ALL SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO SUBMISSION OF ANY BID AND/OR QUOTE BY THE LANDSCAPE CONTRACTOR.
5. PROVIDE TWO YEAR GUARANTEE OF ALL PLANT MATERIALS. THE GUARANTEE BEGINS ON THE DATE OF THE LANDSCAPE ARCHITECT'S OR OWNER'S WRITTEN ACCEPTANCE OF THE INITIAL PLANTING. REPLACEMENT PLANT MATERIAL SHALL HAVE A ONE YEAR GUARANTEE COMMENCING UPON PLANTING.
6. ALL PLANTS TO BE SPECIMEN GRADE, MISSOURI-GROWN AND/OR HARDY. SPECIMEN GRADE SHALL ADHERE TO, BUT IS NOT LIMITED BY, THE FOLLOWING STANDARDS:  
 ALL PLANTS SHALL BE FREE FROM DISEASE, PESTS, WOUNDS, SCARS, ETC.  
 ALL PLANTS SHALL BE FREE FROM NOTICEABLE GAPS, HOLES, OR DEFORMITIES.  
 ALL PLANTS SHALL BE FREE FROM BROKEN OR DEAD BRANCHES.  
 ALL PLANTS SHALL HAVE HEAVY, HEALTHY BRANCHING AND LEAFING.  
 CONIFEROUS TREES SHALL HAVE AN ESTABLISHED MAIN LEADER AND A HEIGHT TO WIDTH RATIO OF NO LESS THAN 5:3.
7. PLANTS TO MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014 OR MOST CURRENT VERSION) REQUIREMENTS FOR SIZE AND TYPE SPECIFIED.
8. PLANTS TO BE INSTALLED AS PER ANSI STANDARD PLANTING PRACTICES.
9. INSTALL PLANTS BY PLANT INSTALLATION PERIOD INFORMATION IN THE LATEST STANDARD PLANTING DETAILS FROM MoDOT. PLANTINGS BEFORE OR AFTER THESE DATES ARE DONE AT RISK.
10. PLANTS SHALL BE IMMEDIATELY PLANTED UPON ARRIVAL AT SITE. PROPERLY HEEL-IN MATERIALS IF NECESSARY; TEMPORARY ONLY.
11. PRIOR TO PLANTING, FIELD VERIFY THAT THE ROOT COLLAR/ROOT FLARE IS LOCATED AT THE TOP OF THE BALLED & BURLAP TREE. IF THIS IS NOT THE CASE, SOIL SHALL BE REMOVED DOWN TO THE ROOT COLLAR/ROOT FLARE. WHEN THE BALLED & BURLAP TREE IS PLANTED, THE ROOT COLLAR/ROOT FLARE SHALL BE EVEN OR SLIGHTLY ABOVE FINISHED GRADE.
12. OPEN TOP OF BURLAP ON BB MATERIALS; REMOVE POT ON POTTED PLANTS; SPLIT AND BREAK APART PEAT POTS.
13. PRUNE PLANTS AS NECESSARY - PER STANDARD NURSERY PRACTICE AND TO CORRECT POOR BRANCHING OF EXISTING AND PROPOSED TREES.
14. WRAP ALL SMOOTH-BARKED TREES - FASTEN TOP AND BOTTOM. REMOVE BY APRIL 1ST.
15. STAKING OF TREES AS REQUIRED; REPOSITION, PLUMB AND STAKE IF NOT PLUMB AFTER ONE YEAR.

**SOIL**

16. TOPSOIL SHALL BE LOCAL FERTILE AGRICULTURAL SOIL FREE OF SUBSOILS, ROCKS LARGER THAN ONE INCH, CLAYS, PLANTS, WEEDS, ROOTS AND OTHER IMPURITIES. PH VALUE TO BE BETWEEN 5.4 AND 7.0. REMOVE DEBRIS AND WEEDS FROM SUBSOIL. MINIMUM 4" DEPTH TOPSOIL FOR ALL LAWN GRASS AREAS AND 12" DEPTH TOPSOIL FOR TREES, SHRUBS AND PERENNIALS. LIGHTLY COMPACT TOPSOIL AFTER PLACEMENT AND PROHIBIT CONSTRUCTION TRAFFIC FROM AREAS WITH TOPSOIL.
17. THE NEED FOR SOIL AMENDMENTS SHALL BE DETERMINED UPON SITE SOIL CONDITIONS PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT FOR THE NEED OF ANY SOIL AMENDMENTS.

**MULCH**

18. MULCH TO BE AT ALL TREE, SHRUB, PERENNIAL, AND MAINTENANCE AREAS. TREE PLANTINGS SHALL HAVE 4" DEPTH OF DOUBLE SHREDDED HARDWOOD MULCH. DOUBLE SHREDDED HARDWOOD MULCH TO BE USED AROUND ALL PLANTS WITHIN TURF AREAS. SHRUB, PERENNIAL AND ORNAMENTAL GRASS BEDS SHALL HAVE ROCK MULCH. ROCK MULCH TO BE BULK RIVER ROCK COLORADO, 1-2" DIAMETER, AT MINIMUM 3" DEPTH, OR APPROVED EQUAL. MULCH TO BE FREE OF DELETERIOUS MATERIAL AND NATURAL IN COLOR (DYE-FREE), OR APPROVED EQUAL. APPLY PRE-EMERGENT HERBICIDE PRIOR TO MULCH PLACEMENT PER MANUFACTURER RECOMMENDATIONS. USE PREEN OR PRE-APPROVED EQUAL. MULCH AND FABRIC TO BE APPROVED BY OWNER PRIOR TO INSTALLATION. MULCH TO MATCH EXISTING CONDITIONS (WHERE APPLICABLE).

**EDGER**

19. EDGING TO BE COMMERCIAL GRADE COL-MET (OR EQUAL) STEEL EDGING; 3/16" THICK x 5" TALL, COLOR BLACK, OR SPADED EDGE, AS INDICATED. STEEL EDGING SHALL BE PLACED WITH SMOOTH CURVES AND STAKED WITH METAL SPIKES NO GREATER THAN 4 FOOT ON CENTER WITH TOP OF EDGER AT GRADE. FOR MOWERS TO CUT ABOVE WITHOUT DAMAGE. UTILIZE CURBS AND SIDEWALKS FOR EDGING WHERE POSSIBLE. WHERE EDGING TERMINATES AT A SIDEWALK, BEVEL OR RECESS ENDS TO PREVENT TRIP HAZARD. SPADED EDGE TO PROVIDE V-SHAPED DEPTH AND WIDTH TO CREATE SEPARATION BETWEEN MULCH AND GRASS. INDIVIDUAL TREE, SHRUB, OR RAIN-GARDEN BEDS TO BE SPADED EDGE, UNLESS NOTED OTHERWISE. EDGING TO MATCH EXISTING CONDITIONS (WHERE APPLICABLE).

**SEED/SOD**

20. ALL DISTURBED AREAS TO BE SODDED OR SEEDED, UNLESS OTHERWISE NOTED. SOD TO BE STANDARD MISSOURI GROWN AND HARDY BLUEGRASS MIX, FREE OF LAWN WEEDS. ALL TOPSOIL AREAS TO BE RAKED TO REMOVE DEBRIS AND ENSURE DRAINAGE. SLOPES OF 3:1 OR GREATER SHALL BE STAKED. SEED AS SPECIFIED, PER MoDOT SPECIFICATIONS AND SUPPLIER/MANUFACTURER RECOMMENDATIONS. IF NOT INDICATED ON LANDSCAPE PLAN, SEE EROSION CONTROL PLAN.

**IRRIGATION**

21. PROVIDE NEW IRRIGATION SYSTEM, OR MODIFY EXISTING IRRIGATION PER OWNERS DIRECTION TO ALL PLANTED AREAS ON SITE. IRRIGATION SYSTEM TO BE DESIGN/BUILD BY LANDSCAPE CONTRACTOR. LANDSCAPE CONTRACTOR TO PROVIDE SHOP DRAWINGS TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION OF IRRIGATION SYSTEM. CONTRACTOR TO PROVIDE OPERATION MANUALS, AS-BUILT PLANS, AND NORMAL PROGRAMMING. SYSTEM SHALL BE WINTERIZED AND HAVE SPRING STARTUP DURING FIRST YEAR OF OPERATION. SYSTEM SHALL HAVE ONE-YEAR WARRANTY ON ALL PARTS AND LABOR. ALL INFORMATION ABOUT INSTALLATION AND SCHEDULING CAN BE OBTAINED FROM THE GENERAL CONTRACTOR. SYSTEM SHALL INCLUDE A RAIN SENSOR AND APPROPRIATE TECHNOLOGY.

**ESTABLISHMENT**

22. PROVIDE NECESSARY WATERING OF PLANT MATERIALS UNTIL THE PLANT IS FULLY ESTABLISHED OR IRRIGATION SYSTEM IS OPERATIONAL. OWNER WILL NOT PROVIDE WATER FOR CONTRACTOR.
23. REPAIR, REPLACE, OR PROVIDE SOD/SEED AS REQUIRED FOR ANY ROADWAY BOULEVARD AREAS ADJACENT TO THE SITE DISTURBED DURING CONSTRUCTION.

**WARRANTY**

24. REPAIR ALL DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO OWNER.
25. MAINTAIN TREES, SHRUBS, SEED AND OTHER PLANTS UNTIL PROJECT COMPLETION, BUT IN NO CASE, LESS THAN FOLLOWING PERIOD; 1 YEAR AFTER PROJECT COMPLETION. MAINTAIN TREES, SHRUBS, SEED AND OTHER PLANTS BY PRUNING, CULTIVATING, AND WEEDING AS REQUIRED FOR HEALTHY GROWTH. RESTORE PLANTING SAUCERS. TIGHTEN AND REPAIR STAKE AND GUY SUPPORTS AND RESET TREES AND SHRUBS TO PROPER GRADES OR VERTICAL POSITION AS REQUIRED. RESTORE OR REPLACE DAMAGED WRAPPINGS. SPRAY AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE. REPLENISH MULCH TO THE REQUIRED DEPTH. MAINTAIN LAWNS FOR 60 DAYS AFTER INSTALLING SOD INCLUDING MOWING WHEN SOD RECIPIES 4" IN HEIGHT. WEED PLANTING BEDS AND MULCH SAUCERS AT MINIMUM ONCE A MONTH DURING THE GROWING SEASON. PROVIDE A MONTHLY REPORT TO THE OWNER ON WEEDING AND OTHER MAINTENANCE RESPONSIBILITIES.

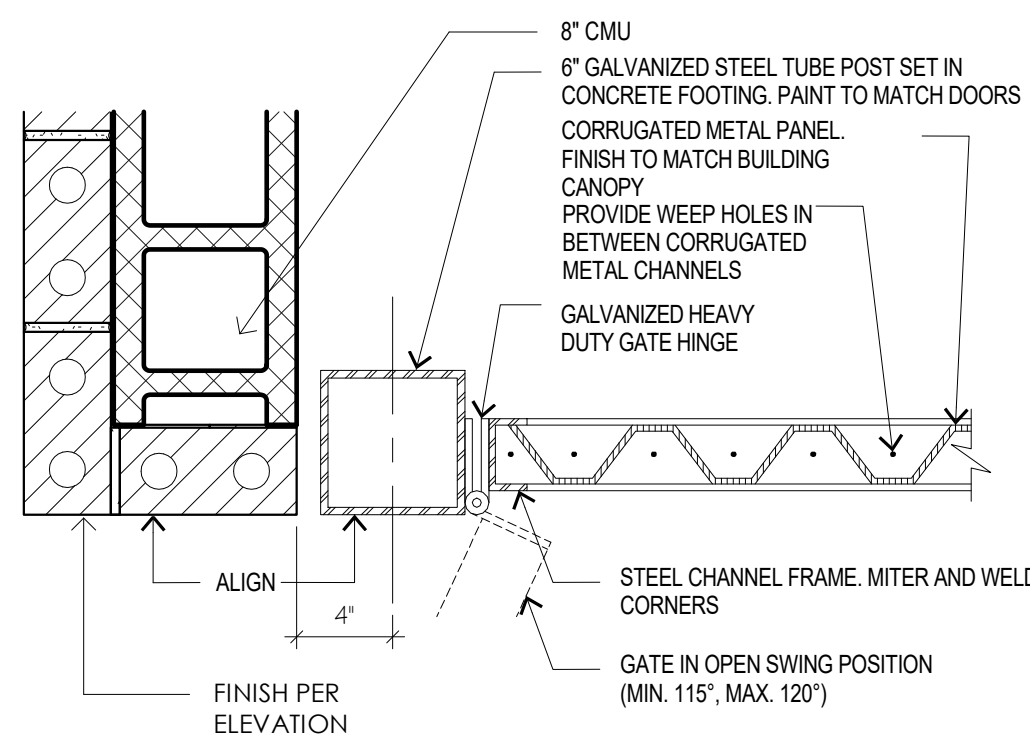
NO.	REVISIONS	DATE

**Kimley»Horn**  
 2024 KIMLEY-HORN AND ASSOCIATES, INC.  
 805 PENNSYLVANIA, SUITE 150 KANSAS CITY, MO 64105  
 PHONE: 816.231.51272  
 WWW.KIMLEY-HORN.COM

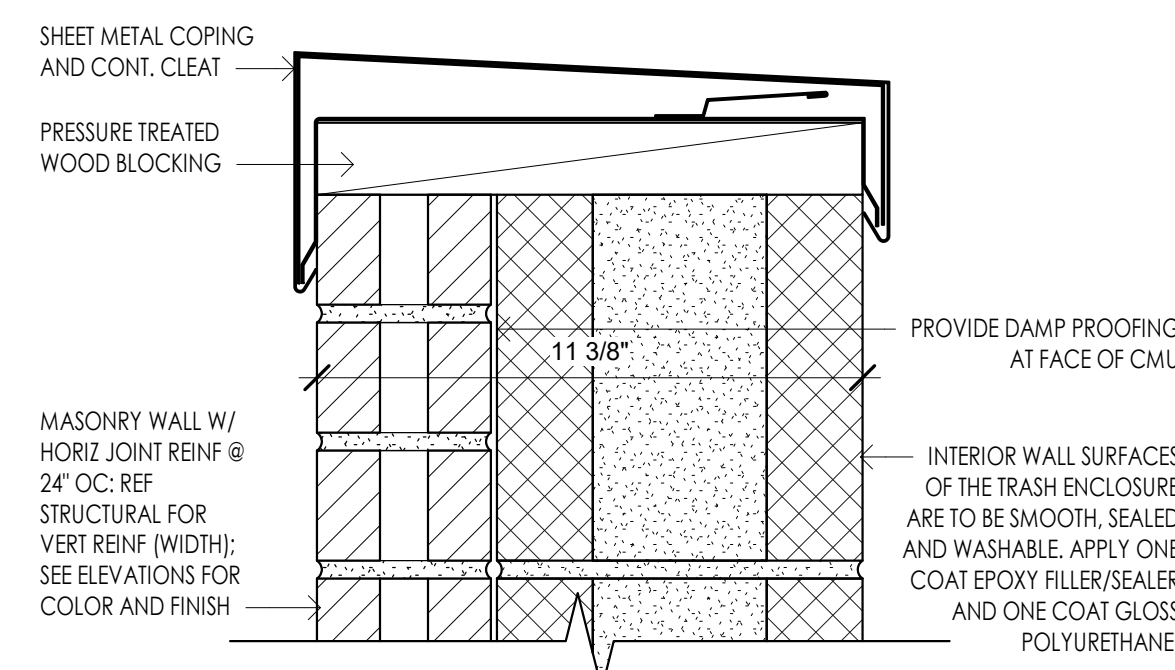
KHA PROJECT	161143001
DATE	07/19/2024
SCALE	AS SHOWN
DESIGNED BY	ATK
DRAWN BY	ATK
CHECKED BY	AMS

**LANDSCAPE DETAILS**

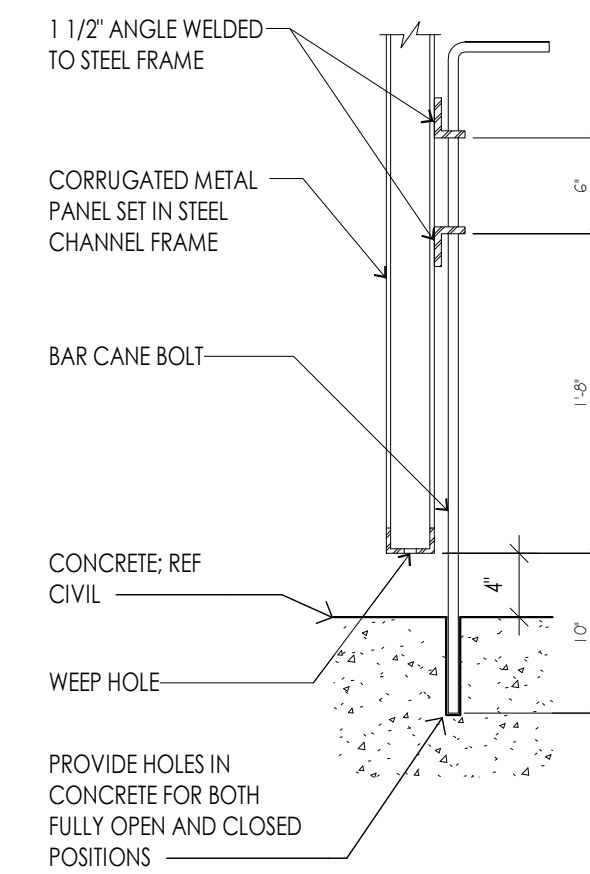
**PRELIMINARY - NOT FOR CONSTRUCTION**  
**STORE #85175 - BARRY RD & GREEN HILLS RD**  
 PREPARED FOR  
**STARBUCKS**  
 KANSAS CITY MISSOURI



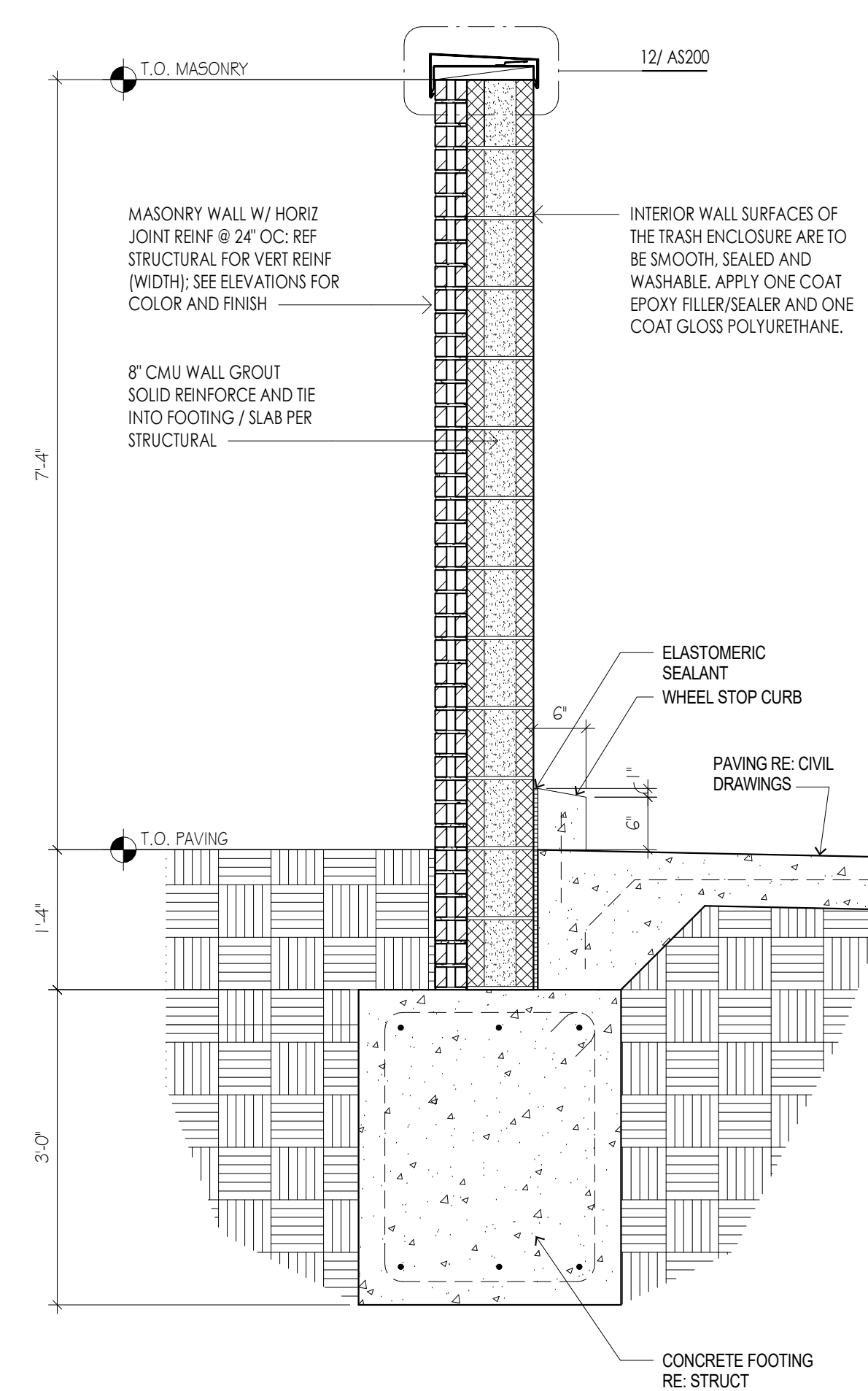
**GATE HINGE DETAIL** 16  
SCALE: 1 1/2" = 1'-0"



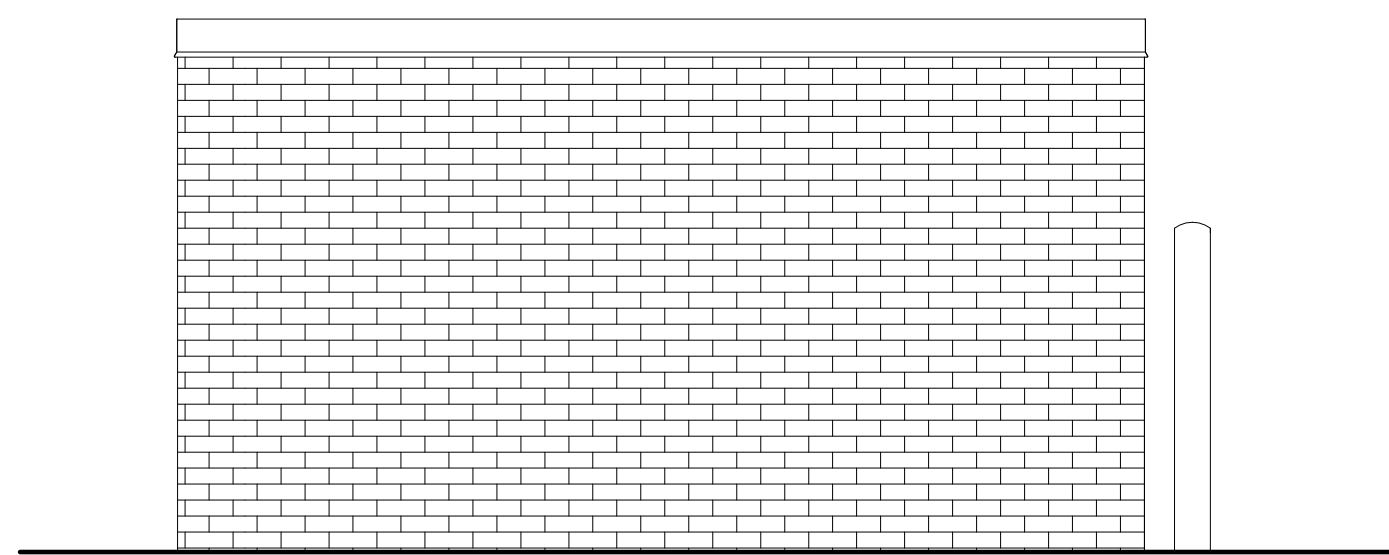
**WALL CAP DETAIL** 12  
SCALE: 3" = 1'-0"



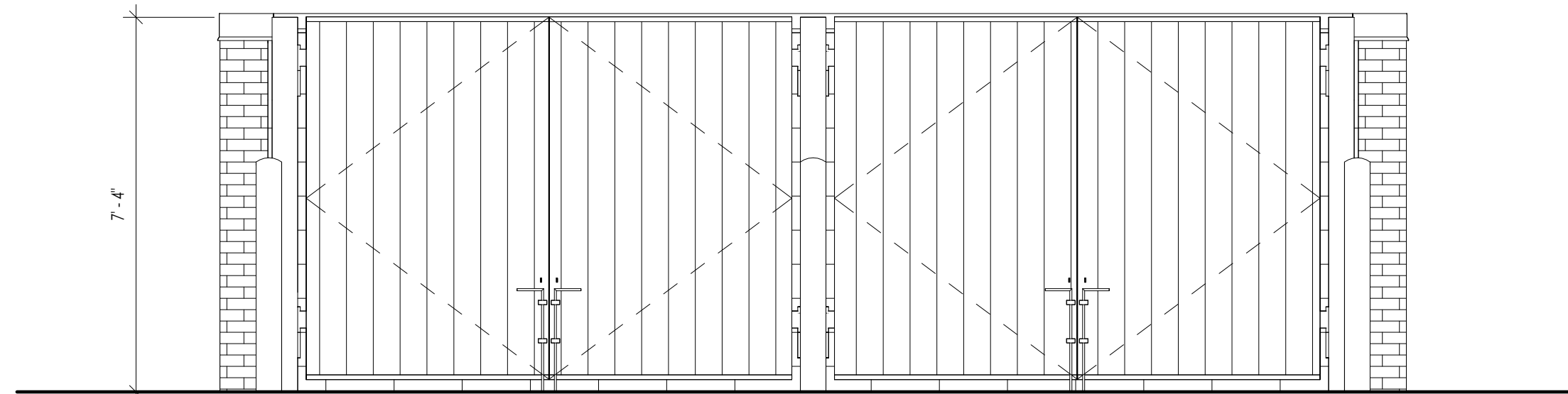
**CANE BOLT DETAIL** 8  
SCALE: 1" = 1'-0"



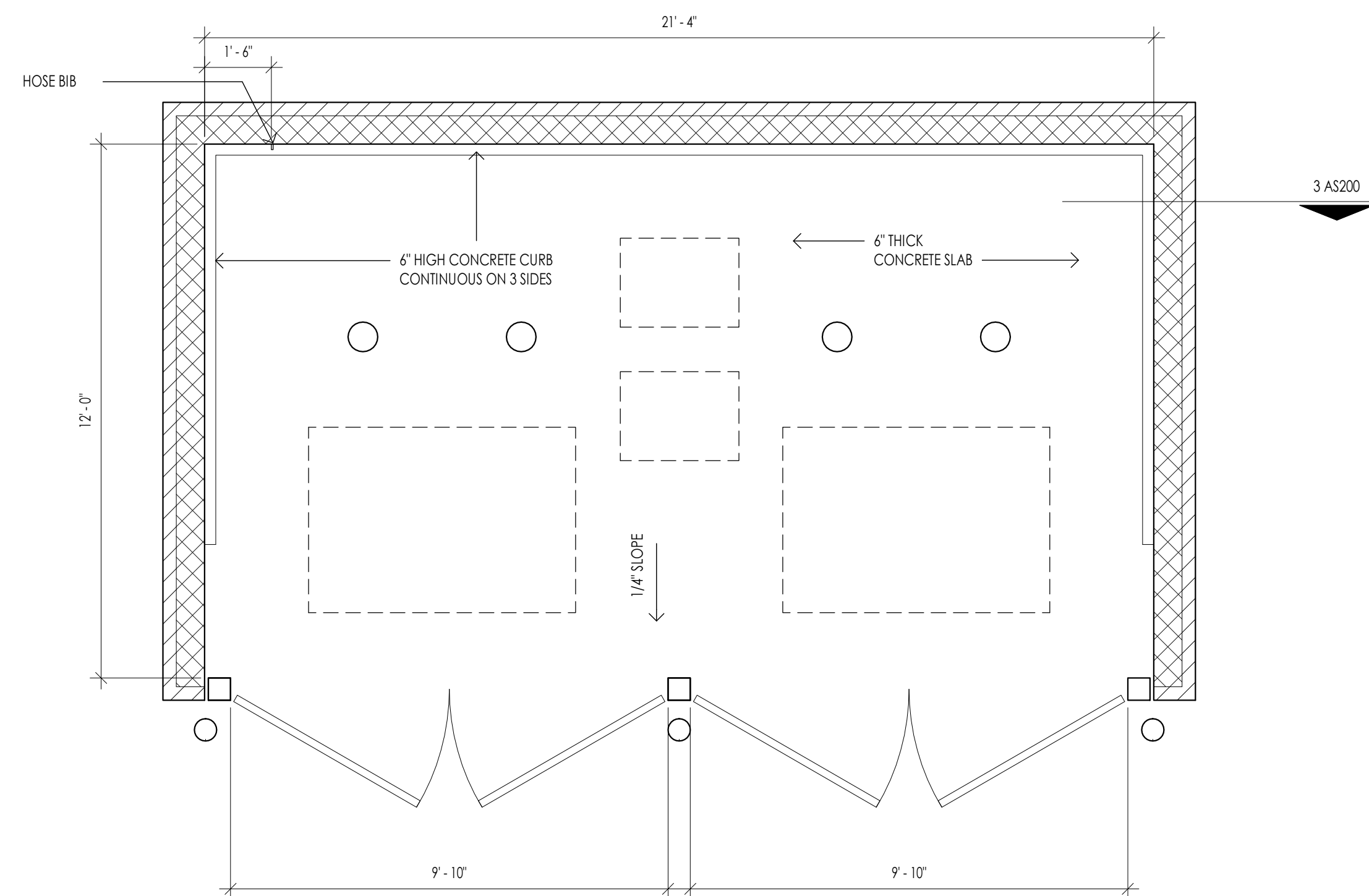
**TRASH ENCLOSURE WALL SECTION** 3  
SCALE: 3/4" = 1'-0"



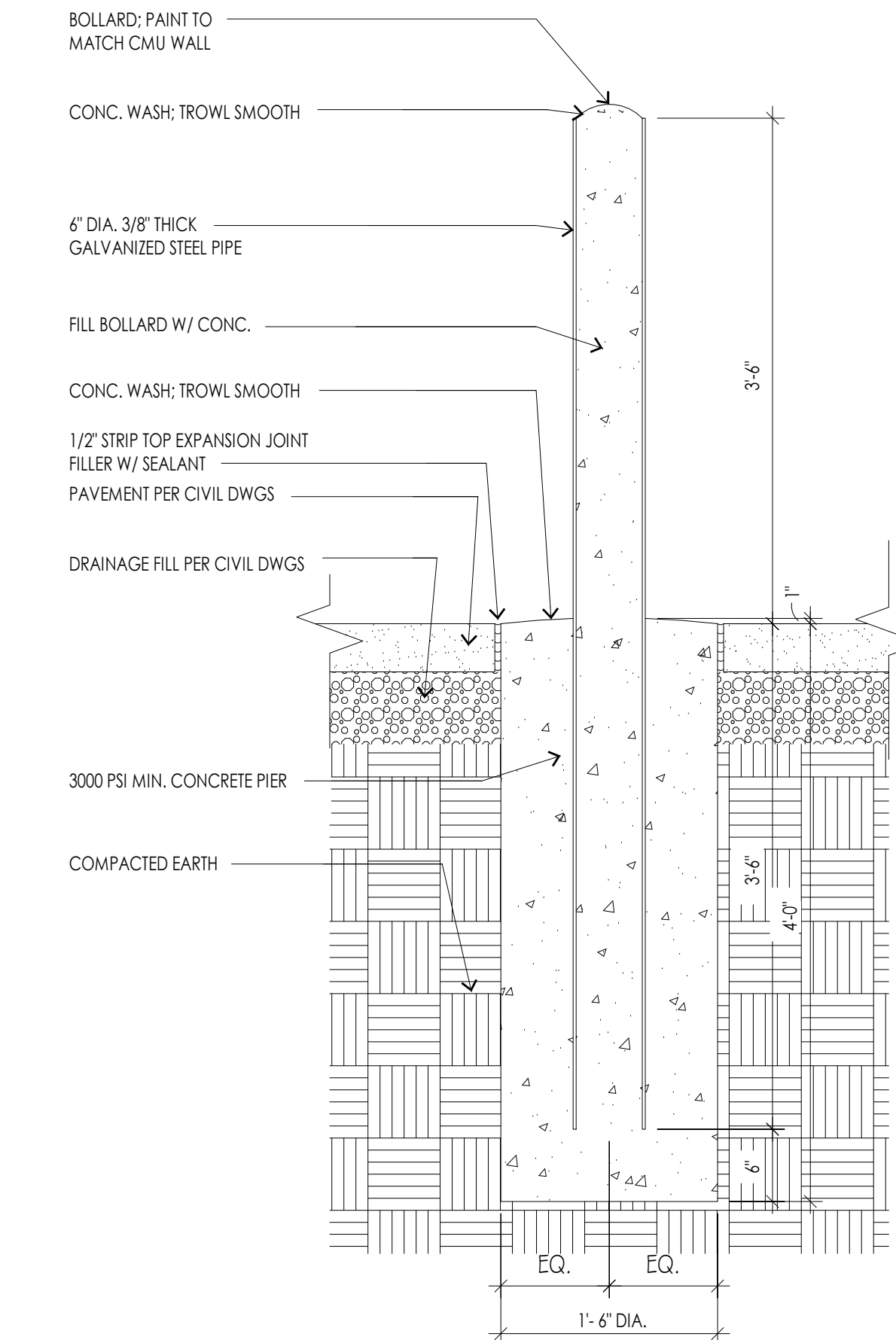
**TRASH ENCLOSURE SIDE ELEVATION** 15  
SCALE: 3/8" = 1'-0"



**TRASH ENCLOSURE FRONT ELEVATION** 7  
SCALE: 3/8" = 1'-0"



**TRASH ENCLOSURE PLAN** 9  
SCALE: 3/8" = 1'-0"



**BOLLARD DETAIL** 1  
SCALE: 1" = 1'-0"

**NON-ILLUMINATED BOLLARD DETAIL** 15  
1/16" = 1'-0"

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project title  
**OPAL ARCH  
HUM-BARRY SHELL BUILDING  
GREEN HILLS & BARRY RD,  
KANSAS CITY, MO**

project number  
2405.001  
drawing issuance  
MONUMENT SIGN 09/15/22  
drawing revisions  
No. Description: Date:

professional seal

**NOT FOR CONSTRUCTION**

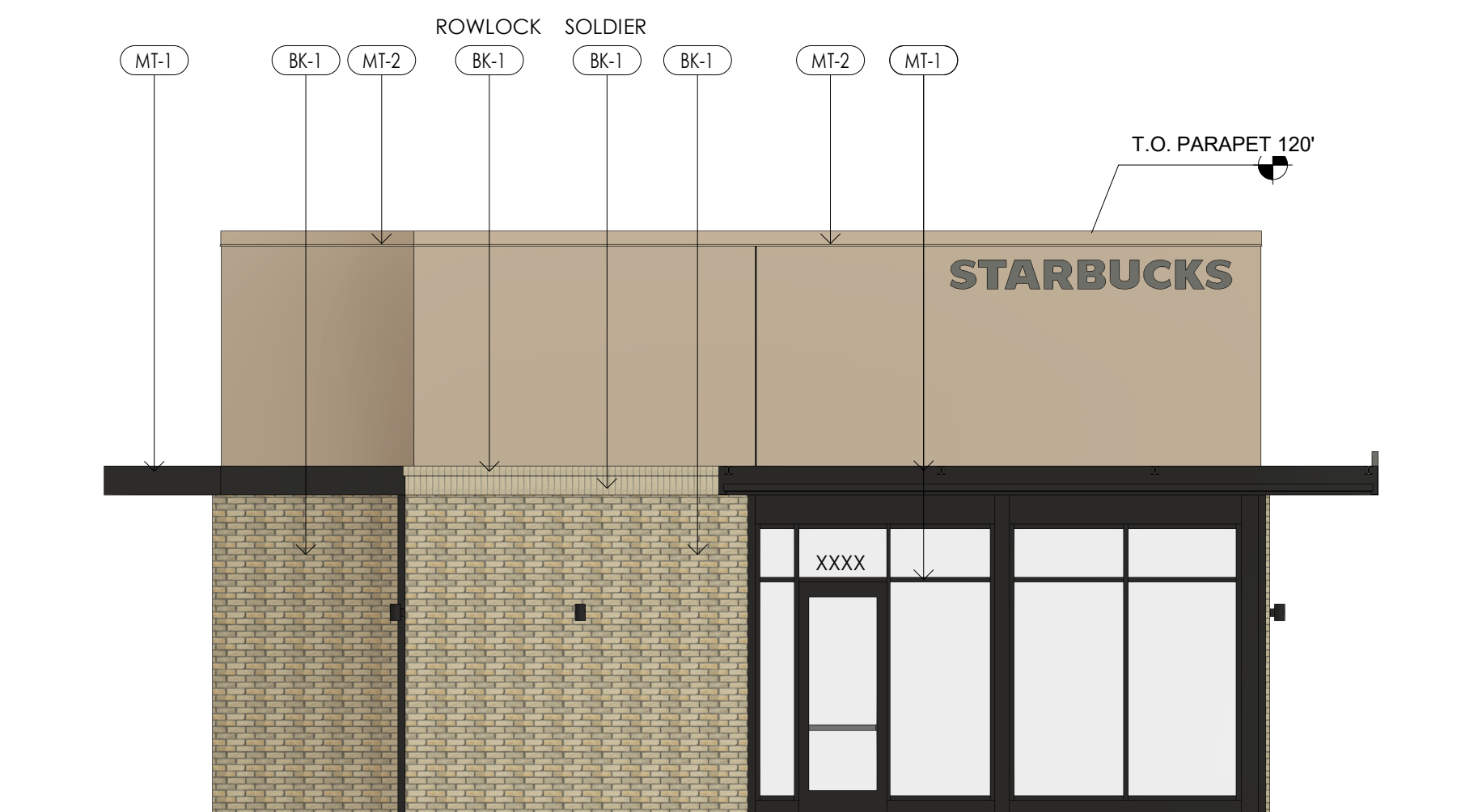
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drawing title  
SITE DETAILS

drawing number  
**AS200**

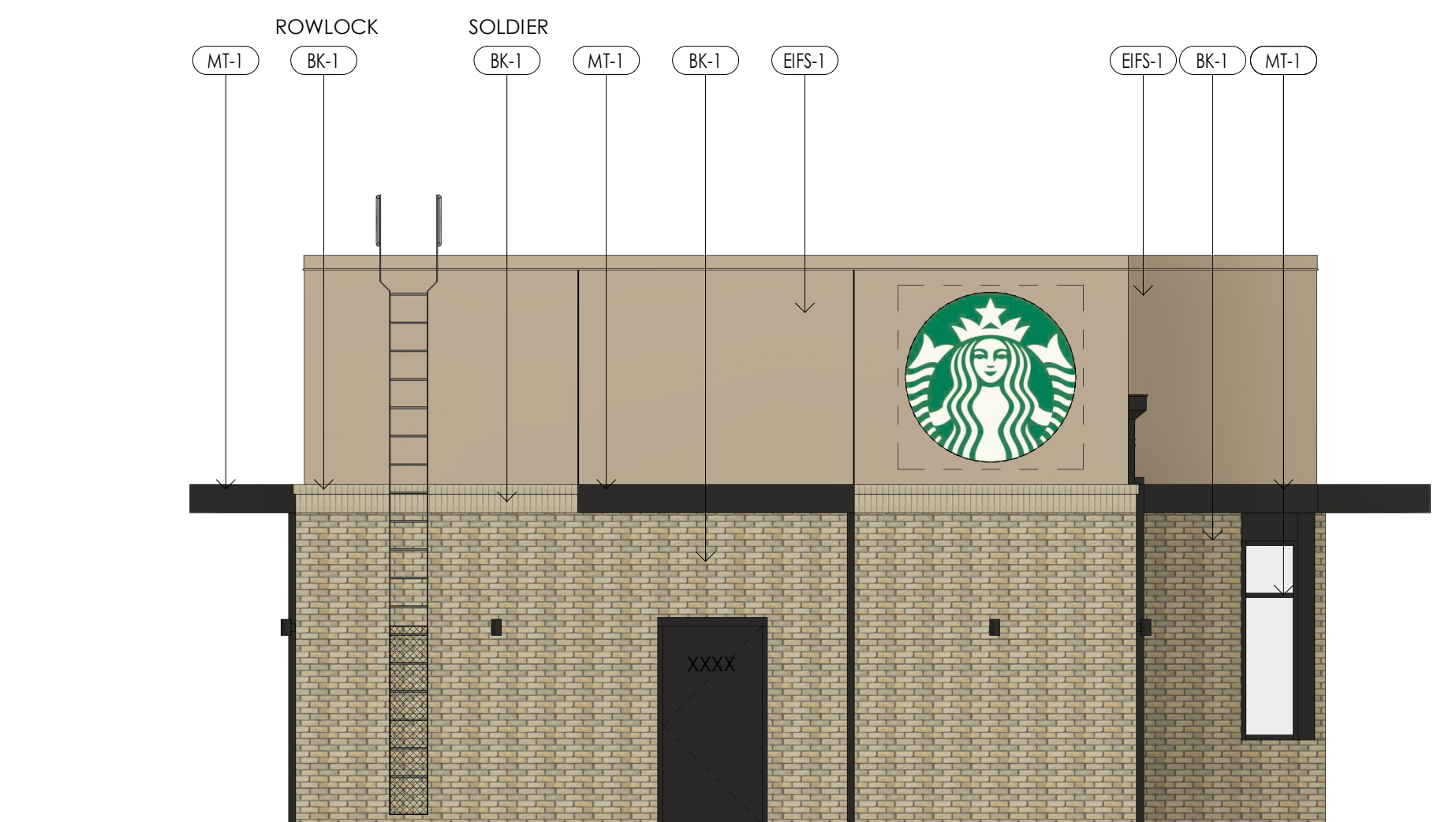
FINISH LEGEND				
MARK	MANUFACTURER	COLOR/MODEL	DESCRIPTION	COMMENTS
		COLOR TO MATCH ADJ. FACADE	METAL	
BK-1	WESTLAKE	MOROCCAN SAND	FULL BRICK	HANDMADE BRICK STYLE
EFS-1	DRYVIT	PAINT TO MATCH SW 7502 DRY DOCK	WATER DRAINAGE EFS	SANDBLAST FINISH
MT-1	TBD	BLACK ANODIZED	SHEETMETAL PARAPET COPING AND CLEAT	PRE-FINISHED
MT-2	TBD	COLOR TO MATCH SW 7502 DRY DOCK	SHEETMETAL PARAPET COPING AND CLEAT	



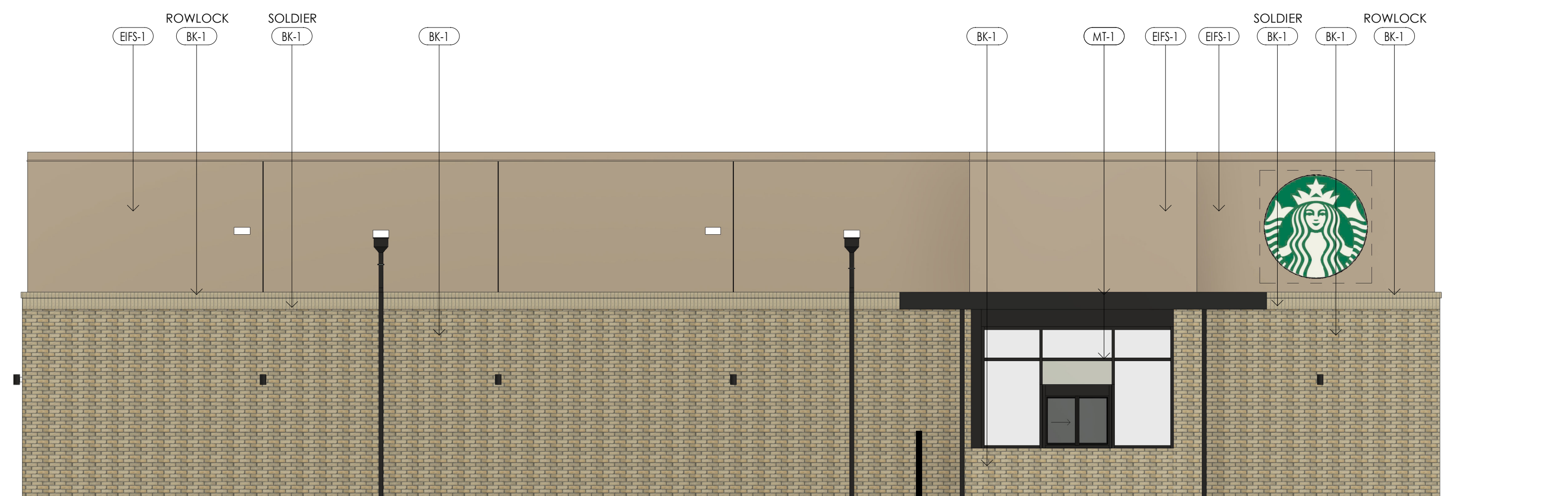
**WEST ELEVATION** ③  
SCALE: 3/16" = 1'-0"



**NORTH ELEVATION** ④  
SCALE: 3/16" = 1'-0"



**SOUTH ELEVATION** ②  
SCALE: 3/16" = 1'-0"



**EAST ELEVATION** ①  
SCALE: 3/16" = 1'-0"

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project number  
2405.001  
drawing issuance  
MONUMENT SIGN 08/31/24  
drawing revisions  
No. Description Date:

professional seal

**NOT FOR CONSTRUCTION**

DATE SIGNED: 8/23/2024 4:56:37 PM  
drawing title  
EXTERIOR ELEVATIONS

drawing number  
**A200**





# CITY PLANNING & DEVELOPMENT

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## Public Meeting Summary Form

Project Case #

Meeting Date:

Meeting Location:

Meeting Time (include start and end time):

Additional Comments (optional):