



Agenda

Neighborhood Planning and Development Committee

Chairperson Ryana Parks-Shaw

Vice Chair Eric Bunch

Councilmember Nathan Willett

Councilmember Melissa Patterson Hazley

Councilmember Andrea Bough

Tuesday, July 7, 2026

1:30 PM

10th Floor, Committee Room

Meeting Link: <https://us02web.zoom.us/j/84530222968>

PUBLIC OBSERVANCE OF MEETINGS

Members of the City Council may attend this meeting via videoconference.

Any closed session may be held via teleconference.

The public can observe this meeting at the links provided below.

Applicants and citizens wishing to participate have the option of attending each meeting or they may do so through the videoconference platform ZOOM, using this link:

<https://us02web.zoom.us/j/84530222968>

*****Public Testimony is Limited to 2 Minutes*****

FIRST READINGS

*****BEGINNING OF CONSENTS******

Lucas

[260581](#) Sponsor: Mayor Quinton Lucas

RESOLUTION - Appointing Robert Langenkamp and Alisa Robinson as successor directors to the I-70 and Blue Ridge Cutoff Community Improvement District.

Director of Municipal Court

[260600](#) Sponsor: Municipal Court Administrator

Authorizing the acceptance of a \$64,414.00 grant from the Jackson County COMBAT program to fund the Kansas City Municipal Court Truancy Court Program; estimating and appropriating \$64,414.00 for the Jackson County COMBAT grant in the General Grants Fund to fund the Kansas City Municipal Truancy Court Program; and recognizing this ordinance as having an accelerated effective date.

END OF CONSENTS

Director of Health and Director of General Services

[260579](#) Sponsor(s): Directors of Health and General Services Departments

Authorizing the Manager of Procurement Services to execute contracts with Children's Mercy Hospital, Northland Health Care Access, Swope Parkway Health Center, Kansas City CARE Clinic, Samuel U. Rodgers Health Center, and University Health, to provide primary health care services to uninsured residents in Kansas City, Missouri; and authorizing the Manager of Procurement Services to extend the term of the contracts or increase the total contract dollar amounts upon need and appropriation.

[260582](#) Sponsor: Director of Housing and Community Development Department

Accepting the recommendations of the Central City Economic Development Tax Board; reducing an existing appropriation by \$6,583,180.00 and appropriating \$6,583,180.00 from the Unappropriated Fund Balance in the Central City Economic Development; authorizing the Manager of Procurement Services to execute various funding agreements in accordance with this Ordinance; and authorizing the Director of the Housing and Community Development Department to expend up to \$6,583,180.00 from the funds appropriated in the Central City Economic Development Fund.

Director of City Planning & Development

[260593](#) Sponsor: Director of City Planning and Development Department

Rezoning an area of about 10.9 acres generally located at 5100 Ararat Drive from Districts B3-2 and R-1.5 to District B3-2. (CD-CPC-2026-00016).

Director of City Planning & Development

[260594](#) Sponsor: Director of City Planning and Development Department

Rezoning an area of about 4.356 acres generally located at 6300 E. 87th Street from District UR to District B3-2. (CD-CPC-2026-00054).

Director of City Planning & Development

[260595](#) Sponsor: Director of City Planning and Development Department

Rezoning an area of about 0.147 acres generally located at 2922 Summit Street from District R-6 to District R-1.5. (CD-CPC-2026-00031)

Director of City Planning & Development

[260596](#) Sponsor: Director of City Planning and Development Department

RESOLUTION - Approving an amendment to the Greater Downtown Area Plan on about 0.147 acres generally located at 2922 Summit Street by changing the recommended land use from residential low density to residential high density for a multi-unit residential building. (CD-CPC-2026-00041)

Director of City Planning & Development

[260597](#) Sponsor: Director of City Planning and Development Department

Rezoning an area of about 55 acres generally bounded by E. 20th Street on the north, E. 25th Street on the south, Holmes Street on the east, and Oak Street/Locust Street/Gillham Road on the west from Districts R-0.5, DC, UR, and M1-5, to District MPD, and approving a preliminary development plan for public and civic uses (hospital campus). (CD-CPC-2026-00026)

Director of City Planning & Development

[260598](#) Sponsor: Director of City Planning and Development Department

RESOLUTION - Approving an amendment to the Greater Downtown Area Plan on about 1.7 acres generally located at the northeast and northwest corners of Belleview Avenue and W. 30th Street by changing the recommended land use from residential low density to downtown mixed use for the Northtown Center project. (CD-CPC-2026-00019)

Director of City Planning & Development

[260599](#) Sponsor: Director of City Planning and Development Department

Rezoning an area of about 1.7 acres generally located at the northeast and northwest corners of Belleview Avenue and W. 30th Street from District R-2.5 to District DX-2. (CD-CPC-2026-00018)

Director of City Planning & Development

[260601](#) Sponsor: Director of City Planning and Development Department

Approving a development plan on about 10.75 acres generally located at 11530 N.W. Prairie View Road in District M1-2 to allow for warehousing, wholesaling, storage, and freight movement. (CD-CPC-2026-00064)

Director of City Planning & Development

[260603](#) Sponsor: Director of City Planning and Development Department

Rezoning an area of about 0.8 acres generally located at the northeast corner of Ward Parkway Plaza and West 81st Street from District R-6 to District B1-1 to allow for the expansion of a parking lot. (CD-CPC-2026-00053).

Director of City Planning & Development

[260604](#) Sponsor: Director of City Planning and Development Department

Rezoning an area of about 0.3 acres generally located at 8699 N. Bellefontaine Avenue from Districts R-1.5 and B2-2 to District B2-2. (CD-CPC-2026-00065).

Director of City Planning & Development

[260605](#) Sponsor: Director of City Planning and Development Department

RESOLUTION - Approving an amendment to the Country Club/Waldo Area Plan on about 0.8 acres generally located at the northeast corner of Ward Parkway Plaza and West 81st Street by changing the recommended land use from commercial/residential low density to mixed-use neighborhood. (CD-CPC-2026-00059).

Director of City Planning & Development

[260606](#) Sponsor: Director of City Planning and Development Department

Vacating approximately 60,501 square feet of public right-of-way for Michigan Avenue, East 17th Street, and Euclid Avenue in District MPD generally located between Woodland Avenue and Brooklyn Avenue and directing the City Clerk to record certain documents. (CD-ROW-2026-00004)

Director of City Planning & Development

[260611](#) Sponsor: Director of City Planning and Development Department

Vacating an approximately 6,000-square-foot alley in Districts R-0.5/B1-1/M1-5 generally located 150 feet east of Lydia Avenue, between East 10th Street and East 11th Street and directing the City Clerk to record certain documents. (CD-ROW-2025-00023)

HELD IN COMMITTEE

Director of City Planning & Development

[260376](#) Sponsor: Director of City Planning and Development Department

Amending Chapter 88, the Zoning and Development Code, by repealing Section 88-285, Westport Overlay District, and enacting in lieu thereof a new section of like number and subject matter for the purpose of amending allowed uses within the Westport Overlay District and creating standards for drive-through facilities. (CD-CPC-2026-00025)

Director of City Planning & Development

[260559](#) Sponsor: Director of City Planning and Development

RESOLUTION - Approving the KCI Area Plan as a guide for the future development and public investment within the area bounded by the city limits of Kansas City, Missouri on the north, city limits to Amity and then along Highway 152 on the south, Platte/Clay County boundary on the east, and city limits of Kansas City, Missouri on the west. (CD-MISC-2026-00004)

Director of City Planning & Development

[260560](#) Sponsor: Director of City Planning and Development

Repealing the KCI Area Plan, adopted by Ordinance No. 090395, which replaced a portion of the KCIA Area Plan with the KCI Area Plan, and repealing any other subsequent amendments.

Director of City Planning & Development

[260563](#) Sponsor: Director of City Planning and Development Department

Rezoning an area of about 87 acres generally located at the southeast corner of North Staley Road and Northeast Shoal Creek Parkway from District R-80 to District R-6 and approving a development plan, also serving as a preliminary plat, to allow for the creation of 200 residential lots. (CD-CPC-2026-00037 & 38)

ADDITIONAL BUSINESS

1. The listing of Semi-Annual Docket items is provided this week for informational purposes only. Please see the City Clerk's Office for a full listing.

2. There may be general discussion for current Neighborhood Planning and Development Committee issues.

3. Closed Session
 - Pursuant to Section 610.021 subsection 1 of the Revised Statutes of Missouri to discuss legal matters, litigation, or privileged communications with attorneys;
 - Pursuant to Section 610.021 subsection 2 of the Revised Statutes of Missouri to discuss real estate;
 - Pursuant to Section 610.021 subsections 3 and 13 of the Revised Statutes of Missouri to discuss personnel matters;
 - Pursuant to Section 610.021 subsection 9 of the Revised Statutes of Missouri to discuss employee labor negotiations;
 - Pursuant to Section 610.021 subsection 11 of the Revised Statutes of Missouri to discuss specifications for competitive bidding;
 - Pursuant to Section 610.021 subsection 12 of the Revised Statutes of Missouri to discuss sealed bids or proposals; or
 - Pursuant to Section 610.021 subsection 17 of the Revised Statutes of Missouri to discuss confidential or privileged communications with auditors.

4. Those who wish to comment on proposed ordinances can email written testimony to public.testimony@kcmo.org. Comments received will be distributed to the committee and added to the public record by the clerk.

The city provides several ways for residents to watch City Council meetings:

- Livestream on the city's website at www.kcmo.gov
- Livestream on the city's YouTube channel at <https://www.youtube.com/watch?v=3hOublg4fok>
- Watch Channel 2 on your cable system. The channel is available through Time Warner Cable (channel 2 or 98.2), AT&T U-verse (channel 99 then select Kansas City) and Google Fiber on Channel 142.
- To watch archived meetings, visit the City Clerk's website and look in the Video on Demand section: http://kansascity.granicus.com/ViewPublisher.php?view_id=2

The City Clerk's Office now has equipment for the hearing impaired for use with every meeting. To check out the equipment please see the secretary for each committee. Be prepared to leave your Driver's License or State issued Identification Card with the secretary and she will give you the equipment. Upon returning the equipment your license will be returned.

Adjournment



File #: 260581

RESOLUTION NO. 260581

Sponsor: Mayor Quinton Lucas

RESOLUTION - Appointing Robert Langenkamp and Alisa Robinson as successor directors to the I-70 and Blue Ridge Cutoff Community Improvement District.

WHEREAS, the I-70 and Blue Ridge Cutoff Community Improvement District (“District”) was established by petition of the property owner (“Petition”) and approved by the City Council by Ordinance No. 190371; and

WHEREAS, the Petition provides for successor directors to be appointed by the Mayor, with the consent of the City Council, according to slates which have been submitted by the District; and

WHEREAS, the District has submitted a slate to the City Clerk as provided by the Petition; NOW, THEREFORE,

BE IT RESOLVED BY THE COUNCIL OF KANSAS CITY:

That the following persons are hereby appointed as successor directors to the I-70 and Blue Ridge Cutoff Community Improvement District to serve such terms as is provided for by the Petition:

Robert Langenkamp
Alisa Robinson

..end

**No Docket
Memo Provided
for Ordinance
No. 260581**



City of Kansas City, Missouri

Docket Memo

Ordinance/Resolution#: 260581

Submitted Department/Preparer: City Planning

Revised 01/30/25

Docket memos are required on all ordinances initiated by a Department Director. More information can be found in [Administrative Regulation \(AR\) 4-1](#).

Executive Summary

Appointing Robert Langenkamp and Alisa Robinson as successor directors to the I-70 and Blue Ridge Cutoff Community Improvement District.

Discussion

The I-70 and Blue Ridge Cutoff Community Improvement District ("District") was established by petition of the property owner ("Petition") and approved by the City Council by Ordinance No. 190371. The Petition provides for successor directors to be appointed by the Mayor, with the consent of the City Council, according to slates which have been submitted by the District. The District has submitted a slate to the City Clerk as provided by the Petition. The following persons are hereby appointed as successor directors to the I-70 and Blue Ridge Cutoff Community Improvement District to serve such terms as is provided for by the Petition: Robert Langenkamp and Alisa Robinson.

Fiscal Impact

1. Is this legislation included in the adopted budget? Yes No
2. What is the funding source?
There is no direct fiscal impact as a result of this resolution
3. How does the legislation affect the current fiscal year?
There is no direct fiscal impact as a result of this resolution
4. Does the legislation have a fiscal impact in future fiscal years? Please notate the difference between one-time and recurring costs.
There is no direct fiscal impact as a result of this resolution

5. Does the legislation generate revenue, leverage outside funding, or deliver a return on investment?

There is no direct fiscal impact as a result of this resolution

Office of Management and Budget Review

(OMB Staff will complete this section.)

- 1. This legislation is supported by the general fund. Yes No
- 2. This fund has a structural imbalance. Yes No
- 3. Account string has been verified/confirmed. Yes No

Additional Discussion (if needed)

This resolution has no fiscal impact.

Citywide Business Plan (CWBP) Impact

- 1. View the [Adopted 2025-2029 Citywide Business Plan](#)
- 2. Which CWBP goal is most impacted by this legislation?
Finance and Governance (Press tab after selecting.)
- 3. Which objectives are impacted by this legislation (select all that apply):
 - Ensure City Government is responsive, representative, engaged, and transparent; particularly when faced with unforeseen challenges.
 - Operate an efficient City government workforce through effective employee recruitment, development, retention, and engagement.
 - Present a realistic view of financial indicators for improved communications on impact to the City.
 -
 -
 -

Prior Legislation

Ordinance No. 190371

Service Level Impacts

Click or tap here to provide a description of how this ordinance will impact service levels. List any related key performance indicators and impact.

Staff Recommendation

Click or tap here to enter department.

Select One: Sponsored
 Directive: Res/Ord # [Click to enter Res/Ord. No.](#)

Select One: Recommend
 Do Not Recommend
 Not Applicable

Click or tap here to provide reasoning.

Other Impacts

1. What will be the potential health impacts to any affected groups?
N/A
2. How have those groups been engaged and involved in the development of this ordinance?
N/A
3. How does this legislation contribute to a sustainable Kansas City?
N/A
4. Does this legislation create or preserve new housing units?
No (Press tab after selecting)

Click or tap here to enter text.

Click or tap here to enter text.

5. Department staff certifies the submission of any application Affirmative Action Plans or Certificates of Compliance, Contractor Utilization Plans (CUPs), and Letters of Intent to Subcontract (LOIs) to CREO prior to, or simultaneously with, the legislation entry request in Legistar.

No - CREO's review is not applicable (Press tab after selecting)

Please provide reasoning why not:

Click or tap here to enter text.

6. Does this legislation seek to approve a contract resulting from an Invitation for Bid?

No(Press tab after selecting)

Click or tap here to enter text.

7. Does this legislation seek to approve a contract resulting from a Request for Proposal/Qualification (RFP/Q)?

No(Press tab after selecting)



File #: 260600

ORDINANCE NO. 260600

Sponsor: Municipal Court Administrator

Authorizing the acceptance of a \$64,414.00 grant from the Jackson County COMBAT program to fund the Kansas City Municipal Court Truancy Court Program; estimating and appropriating \$64,414.00 for the Jackson County COMBAT grant in the General Grants Fund to fund the Kansas City Municipal Truancy Court Program; and recognizing this ordinance as having an accelerated effective date.

WHEREAS, the purpose of the Kansas City Municipal Truancy Court is to ensure that children between the ages of 7 and 17 are in school as mandated by law, and the Truancy Intervention Program (TIP) is designed to improve the school attendance of youths who are referred to the program by their school districts and to empower parents and guardians who were cited for their children not attending school as directed under the compulsory law, while giving resources to the families as needed; and

WHEREAS, through this program, referrals are made to community agencies, but due to the extreme economic deprivation of program participants, many cannot afford needed services. COMBAT grant funding will pay for services that participants would not have received otherwise to increase program success and reduce violent risk factors; and

WHEREAS, with the COMBAT grant funding, the Municipal Court will serve up to 300 Truancy Court participants, and provide a case manager to work with Truancy Court parents, guardians, and children by identifying and addressing barriers and root causes of truant behavior and providing field-based case management services, linkages, resources, and follow-up services to families who choose to participate in the program rather than receive sanctions imposed by the judge; and

WHEREAS, Truancy Court Intervention Program services include, but are not limited to, anger management and parenting classes for parents and guardians in need of those services; service referrals for children acting out in school, at home, or displaying aggressive behaviors or experiencing trauma; mental health and drug addiction; school supplies and hygiene kits to families if needed; interpreters to provide translation services for court proceedings as needed; and weekly contact with the case manager; NOW, THEREFORE,

BE IT ORDAINED BY THE COUNCIL OF KANSAS CITY:

Section 1. That the Court Administrator, on behalf of the City of Kansas City, is authorized to accept a \$64,414.00 grant from the Jackson County COMBAT program to fund the Kansas City Municipal Truancy Court Program.

Section 2. That the revenue in the following account of the General Grants Fund is hereby estimated in the following amount:

27-2580-270001-480165-G27JCCMT26	2026 COMBAT Grant	\$64,414.00
----------------------------------	-------------------	-------------

Section 3. That the sum of \$64,414.00 is hereby appropriated in the following accounts of the General Grants Fund:

27-2580-275802-B-G27JCCMT26	2025 COMBAT Grant	\$61,814.00
27-2580-275802-C-G27JCCMT26	2025 COMBAT Grant	<u>2,600.00</u>
	TOTAL	\$64,414.00

Section 4. That the Administrator of Municipal Court is designated requisitioning authority for Account No. 27-2580-275802 Jackson County COMBAT Grant.

Section 5. That this ordinance, appropriating money, is recognized as an ordinance with an accelerated effective date as provided by Section 503(a)(3)(C) of the City Charter and shall take effect in accordance with Section 503, City Charter.

..end

I hereby certify that there is a balance, otherwise unencumbered, to the credit of the appropriation to which the foregoing expenditure is to be charged, and a cash balance, otherwise unencumbered, in the treasury, to the credit of the fund from which payment is to be made, each sufficient to meet the obligation hereby incurred.

Brenton Siverly
Director of Finance

Approved as to form:

Alan Holtkamp
Assistant City Attorney



City of Kansas City, Missouri

Docket Memo

Ordinance/Resolution #: 260600

Submitted Department/Preparer: Municipal Court

Revised 01/30/25

Docket memos are required on all ordinances initiated by a Department Director. More information can be found in [Administrative Regulation \(AR\) 4-1](#).

Executive Summary

Authorizing the acceptance of a \$64,414.00 grant from the Jackson County COMBAT program to fund the Kansas City, Municipal Court Truancy Program, estimating and appropriating that money to the Truancy Court Program, and recognizing an accelerated effective date.

Discussion

The purpose of the Kansas City Municipal Truancy Court is to ensure that children between the ages of 7 and 17 are in school as mandated by law. Through this program referrals are made to community agencies to identify and address the barriers and root causes of truant behavior and to provide resources to families as needed.

Fiscal Impact

1. Is this legislation included in the adopted budget? Yes No
2. What is the funding source?
2580 - General Grants
3. How does the legislation affect the current fiscal year?
Provides grant funds for the Kansas City Municipal Court Truancy Program in FY 27.
4. Does the legislation have a fiscal impact in future fiscal years? Please notate the difference between one-time and recurring costs.
This grant is a one year grant that that expires during FY2027.

5. Does the legislation generate revenue, leverage outside funding, or deliver a return on investment?
Yes it will generate grant revenue up to the grant amount if that amount is expended.

Office of Management and Budget Review

(OMB Staff will complete this section.)

1. This legislation is supported by the general fund. Yes No
2. This fund has a structural imbalance. Yes No
3. Account string has been verified/confirmed. Yes No

Additional Discussion (if needed)

Click or tap here to enter text.

Citywide Business Plan (CWBP) Impact

1. View the [Adopted 2025-2029 Citywide Business Plan](#)
2. Which CWBP goal is most impacted by this legislation?
Public Safety (Press tab after selecting.)
3. Which objectives are impacted by this legislation (select all that apply):
- Engage the community and community partners to focus on evidence-based approaches to public safety.
 - Focus on violence prevention among all age groups, placing an emphasis on youth.
 - Increase fairness, justice, and responsiveness of our municipal criminal justice system to support the best possible outcome for offenders and victims of crime.
 - Reduce recidivism through prevention, deterrence, including detention, and re-entry services.
 -
 -

Prior Legislation

The Truancy Court, which has operated since 2012, previously received COMBAT grant funding via ordinances 200813, 200218, 220206, 230293, 240268, and 250653.

Service Level Impacts

With the COMBAT grant funding, the Truancy Court will serve up to 300 participants. Referrals are made to community agencies but due to extreme economic deprivation many participants cannot afford needed services. COMBAT grant funding will pay for services that participants would not have received otherwise to increase program success and reduce violent risk factors.

Staff Recommendation

Administrator of the Municipal Court

Select One: Sponsored
 Directive: Res/Ord # [Click to enter Res/Ord. No.](#)

Select One: Recommend
 Do Not Recommend
 Not Applicable

We recommend passage to continue to provide services for the students and families in Truancy Court, a key municipal specialty court that has made a positive impact on the community for 14 years.

Other Impacts

1. What will be the potential health impacts to any affected groups?
Truancy Court Intervention Program services include but are not limited to anger management and parenting classes for parents and guardians in need of those services; service referrals for children acting out in school, at home or displaying aggressive behaviors or experiencing trauma; mental health and drug addiction.
2. How have those groups been engaged and involved in the development of this ordinance?
Staff collaborated with education and treatment professionals from the surrounding school districts and community.
3. How does this legislation contribute to a sustainable Kansas City?

COMBAT grant funding will promote sustainability through social equity by paying for services that participants would not have received otherwise to increase program success and reduce violent risk factors. Additional services include school supplies, hygiene kits to families as needed.

4. Does this legislation create or preserve new housing units?
No (Press tab after selecting)

NA. Accepting grant funding from Jackson County, a governmental entity.
[Click or tap here to enter text.](#)

5. Department staff certifies the submission of any application Affirmative Action Plans or Certificates of Compliance, Contractor Utilization Plans (CUPs), and Letters of Intent to Subcontract (LOIs) to CREO prior to, or simultaneously with, the legislation entry request in Legistar.

No - CREO's review is not applicable (Press tab after selecting)
Please provide reasoning why not:
[Click or tap here to enter text.](#)

6. Does this legislation seek to approve a contract resulting from an Invitation for Bid?

No(Press tab after selecting)

NA. Accepting grant funding from Jackson County, a governmental entity.

7. Does this legislation seek to approve a contract resulting from a Request for Proposal/Qualification (RFP/Q)?
No(Press tab after selecting)



File #: 260579

ORDINANCE NO. 260579

Sponsor(s): Directors of Health and General Services Departments

Authorizing the Manager of Procurement Services to execute contracts with Children’s Mercy Hospital, Northland Health Care Access, Swope Parkway Health Center, Kansas City CARE Clinic, Samuel U. Rodgers Health Center, and University Health, to provide primary health care services to uninsured residents in Kansas City, Missouri; and authorizing the Manager of Procurement Services to extend the term of the contracts or increase the total contract dollar amounts upon need and appropriation.

WHEREAS, there continues to exist a considerable need for health care services for the uninsured and underinsured citizens of Kansas City; and

WHEREAS, this ordinance authorizes contracts with various health centers and hospitals to provide primary health care services to uninsured residents; NOW, THEREFORE,

BE IT ORDAINED BY THE COUNCIL OF KANSAS CITY:

Section 1. That contracts between the City of Kansas City, Missouri, acting through its Director of Health, and Children’s Mercy Hospital, Northland Health Care Access, Swope Parkway Health Center, Kansas City CARE Clinic, Samuel U. Rodgers Health Center, and University Health, for the provision of primary health care services to the City’s uninsured residents for the period beginning May 1, 2026 through April 30, 2027, to be paid from funds previously appropriated to the Health Levy accounts listed below, are hereby accepted and approved. Copies of these contracts, in substantial form, are on file with the Director of Health.

27-2330-512120-F	Children’s Mercy Hospital	\$
517,472.00		
27-2330-512135-F	Northland Health Care Access	439,137.00
27-2330-512137-F	Swope Parkway Health Care	
1,698,593.00		
27-2330-512138-F	KC CARE Health Clinic	557,482.00
27-2330-512139-F	Samuel U. Rodgers Center	959,425.00
27-2330-512150-F	Truman Medical Center/University Health	<u>27,322,529.00</u>
	TOTAL:	
\$31,494,638.00		

Section 2. That the Manager of Procurement Services is hereby authorized to extend the term of these contracts and that the Manager of Procurement Services is also hereby authorized to amend these contracts to increase the total contract dollar amounts contingent upon the need and availability of appropriated funds.
..end

The City has no financial obligation under both this Ordinance and Contract until the Director of Public Works issues a Purchase Order which shall be signed by the City's Director of Finance certifying there is a balance, otherwise unencumbered, the credit of the appropriation to which the expenditure is to be charged, and a cash balance, otherwise unencumbered, in the treasury, to the credit of the fund from which payment will be made, each sufficient to meet the obligation incurred in the Purchase Order.

Brenton Siverly
Director of Finance

Approved as to form:

Joseph A. Guarino
Senior Associate Attorney



City of Kansas City, Missouri

Docket Memo

Ordinance/Resolution #: 260579

Submitted Department/Preparer: General Services

Revised 12/03/25

Docket memos are required on all ordinances initiated by a Department Director. More information can be found in [Administrative Regulation \(AR\) 4-1](#).

Executive Summary

Authorizing the Manager of Procurement Services to execute contracts with area health centers to include Children’s Mercy Hospital, Northland Health Care Access, Swope Parkway Health Center, Kansas City CARE Clinic, Samuel U. Rodgers Health Center, and University Health, to provide primary health care services to uninsured residents in Kansas City, Missouri; authorizing the Manager of Procurement Services to extend the term of the contracts or increase the total contract dollar amounts upon need and appropriation; and establishing an accelerated effective date.

Discussion

There continues to exist a considerable need for health care services for the uninsured and underinsured citizens of Kansas City, Missouri. These contracts use Health Levy funds to enable six providers to provide health care services to this particular population. Services provided include general medicine, laboratory and surgical procedures, dental services, vision services, mental health services, etc.

Fiscal Impact

1. Is this legislation included in the adopted budget? Yes No
2. What is the funding source?
Health Levy Fund - 2330
3. How does the legislation affect the current fiscal year?
It does not affect current fiscal year. These will be FY27 funds.
4. Does the legislation have a fiscal impact in future fiscal years? Please notate the difference between one-time and recurring costs.
No

5. Does the legislation generate revenue, leverage outside funding, or deliver a return on investment?
Deliver a return on investment

Office of Management and Budget Review

(OMB Staff will complete this section.)

1. This legislation is supported by the general fund. Yes No
2. This fund has a structural imbalance. Yes No
3. Account string has been verified/confirmed. Yes No

Additional Discussion (if needed)

According to the FY2026-27 Adopted Budget, there is enough funding as listed above to support this ordinance.

Citywide Business Plan (CWBP) Impact

1. View the [Adopted 2025-2029 Citywide Business Plan](#)
2. Which CWBP goal is most impacted by this legislation?
Housing and Healthy Communities (Press tab after selecting.)
3. Which objectives are impacted by this legislation (select all that apply):
- Utilize planning approaches in neighborhoods to reduce blight, ensure sustainable housing, and improve resident wellbeing and cultural diversity.
 - Maintain and increase affordable housing supply to meet the demands of a diverse population.
 - Address the various needs of the City's most vulnerable population by working to reduce disparities.
 - Foster an inclusive environment and regional approach to spur innovative solutions to housing challenges.
 - Ensure all residents have safe, accessible, quality housing by reducing barriers.
 - Protect and promote healthy, active amenities such as parks and trails, play spaces, and green spaces.

Prior Legislation

#250346

Service Level Impacts

Thus far in FY2026 the Safety Net Providers have reported a total service impact of over 36,700 appointments (encounters), reaching more than 14,100 patients in the City.

Staff Recommendation

General Services Department & Health Department

Select One: Sponsored
 Directive: Res/Ord # [Click to enter Res/Ord. No.](#)

Select One: Recommend
 Do Not Recommend
 Not Applicable

These contracts provide healthcare services for the citizens of KCMO.

Other Impacts

1. What will be the potential health impacts to any affected groups?
These contracts will improve and maintain the health of Kansas City, Missouri's indigent population by providing proper care and preventive measures.
2. How have those groups been engaged and involved in the development of this ordinance?
Each safety net provider listed has had the opportunity to review and comment on their draft FY27 contract.
3. How does this legislation contribute to a sustainable Kansas City?
Establishing and maintaining healthier individuals lead to less total healthcare costs and more productive citizens. This funding supports the continued operation, availability and access of medical services to those uninsured and underinsured.

4. Does this legislation create or preserve new housing units?
No (Press tab after selecting)

Click or tap here to enter text.

Click or tap here to enter text.

5. Department staff certifies the submission of any application Affirmative Action Plans or Certificates of Compliance, Contractor Utilization Plans (CUPs), and Letters of Intent to Subcontract (LOIs) to CREO prior to, or simultaneously with, the legislation entry request in Legistar.

No - CREO's review is not applicable (Press tab after selecting)

Please provide reasoning why not:

These amounts were specifically allocated to these specific agencies within the approved budget.

6. Does this legislation seek to approve a contract resulting from an Invitation for Bid?

No(Press tab after selecting)

Click or tap here to enter text.

7. Does this legislation seek to approve a contract resulting from a Request for Proposal/Qualification (RFP/Q)?
No(Press tab after selecting)



File #: 260582

ORDINANCE NO. 260582

Sponsor: Director of Housing and Community Development Department

Accepting the recommendations of the Central City Economic Development Tax Board; reducing an existing appropriation by \$6,583,180.00 and appropriating \$6,583,180.00 from the Unappropriated Fund Balance in the Central City Economic Development; authorizing the Manager of Procurement Services to execute various funding agreements in accordance with this Ordinance; and authorizing the Director of the Housing and Community Development Department to expend up to \$6,583,180.00 from the funds appropriated in the Central City Economic Development Fund.

WHEREAS, Section 67.1305 of the Revised Statutes of Missouri authorized the City to impose a retail sales tax not to exceed one-half of one percent if the imposition of such a retail sales tax is submitted to, and then approved by, a majority of the votes cast; and

WHEREAS, on April 4, 2017, pursuant to authority granted by Section 67.1304, RSMo, a majority of Kansas City, Missouri voters approved a new 1/8 of one percent retail sales tax for funding economic development projects within the area bounded by 9th Street on the north, Gregory Boulevard on the south, Paseo Boulevard on the west and Indiana Avenue on the east; and

WHEREAS, the projects serve a predominantly public municipal purpose because, without limitation, completion of the project (i) enhance the tax base of the Project Site; (ii) retain and generate jobs; (iii) promote economic development in the area of the City in which the Project Site is located, and promotes consideration of areas of the City that the City Council has determined to be blighted as a location for business and other activities in the City that would not otherwise occur; (v) serve as a catalyst for additional investment in and further redevelopment and rehabilitation of the area of the City in which the Project Site is located; and (vi) further the City's policy of encouraging economic stability and growth; and

WHEREAS, the City desires to encourage the developers to carry out the projects for the purpose of realizing these predominantly public purposes by entering into agreements to contribute certain revenues in an amount needed to cause the projects to be undertaken and attract the necessary private investment; and

WHEREAS, the contributions contemplated by funding agreements are limited to those which have been determined to be needed for the purpose of ensuring that the projects proceed,

and but for their contribution, the projects would not proceed, to the detriment of the public interest; NOW, THEREFORE,

BE IT ORDAINED BY THE COUNCIL OF KANSAS CITY

Section 1. That the recommendations of Central City Economic Development Tax Board that was issued May 28, 2026, are hereby accepted.

Section 2. That the sum of \$6,583,180.00 is hereby reduced in the following account of Fund 2200, the Central City Economic Development Sales Tax Fund:

27-2200-552047-B	Central City Sales Tax	\$6,583,180.00
------------------	------------------------	----------------

Section 3. That the sum of \$6,583,180.00 is hereby appropriated to the following accounts of Fund 2200, the Central City Economic Development Sales Tax Fund:

27-2200-555998-55BLUEHILLS	Blue Hills Town Homes	\$ 750,000.00
27-2200-555998-55LABOU	LaBou	432,800.00
27-2200-555998-55HIGHLANDPL	Apartments at Highland Place Renovation	300,000.00
27-2200-555998-55VINESTREET	1814-1816 Vine Street	750,000.00
27-2200-555998-55JUSTINAPTS	Justin Place Apartments	1,500,000.00
27-2200-555998-55SANTAFE	Santa Fe Minor Home Repair	700,000.00
27-2200-555998-55SINGLEFAM	Single Family Affordable Homeownership	300,000.00
27-2200-555998-55PARADE	Parade Park	1,250,000.00
27-2200-555998-55MONTGALL	Montgall Place	<u>600,380.00</u>
	TOTAL	\$6,583,180.00

Section 4. That all contracts funded with appropriations from the Central City Economic Development Fund in this ordinance are to include a requirement that projects must start within 12 months of contract execution, or else the funds must be returned to the City to be used in future Central City Economic Development Fund allocations.

Section 5. That the Manager of Procurement Services is authorized to execute funding agreements for the Projects set forth in Section 3 as negotiated by Director of the Housing and Community Development Department that complies, when applicable, with: the Missouri Prevailing Wage Law, the City’s Contracting Program Requirements set out in Article IV, Chapter 3, Code of Ordinances, (including, but not limited to, the provisions concerning affirmative action, Minority and Women’s Business Enterprises and the Small Local Business Enterprises program). Further, the funding agreements shall prohibit the use of any CCED sales tax funding for the repayment of any preexisting debt or repayment for services or work performed prior to the execution of the funding agreement and must require the disclosure of total funding sources and projected costs and periodic reporting of project progress.

..end

The City has no financial obligation under both this Ordinance and Contract until the Manager of Procurement Services issues a purchase order which shall be signed by the City's Director of Finance certifying there is a balance, otherwise unencumbered, to the credit of the appropriation to which the expenditure is to be charged, and a cash balance, otherwise unencumbered, in the treasury, to the credit of the fund from which payment will be made, each sufficient to meet the obligated hereby incurred.

Brenton Siverly
Director of Finance

Approved as to form:

Joseph A. Guarino
Senior Associate City Attorney



File #: 260593

ORDINANCE NO. 260593

Sponsor: Director of City Planning and Development Department

Rezoning an area of about 10.9 acres generally located at 5100 Ararat Drive from Districts B3-2 and R-1.5 to District B3-2. (CD-CPC-2026-00016).

BE IT ORDAINED BY THE COUNCIL OF KANSAS CITY:

Section A. That Chapter 88, Code of Ordinances of the City of Kansas City, Missouri, commonly known as the Zoning and Development Code, is hereby amended by enacting a new section to be known as Section 88-20A-1545, rezoning an area of about 10.9 acres generally located at 5100 Ararat Drive from Districts B3-2 (Community Business) and R-1.5 (Residential 1.5) to District B3-2 (Community Business), said section to read as follows:

Section 88-20A-1545. That an area legally described as:

SE 1/4 Sec 25 49 33 beg on sely li Lot 6 Block 2 Eastwood 5.65 ft nely of most sly cor th N 45 deg 33 min 26 sec E 372 ft th N 30 deg 43 min 26 sec E 412.8 ft th N 18 deg 39 min 56 sec E 20 ft th S 71 deg 20 min 04 sec E 53.45 ft th sely alg cur to rt rad 1980 ft 21.33 ft th N 29 deg 16 min 59 sec E 20 ft th N 20 deg 50 min 35 sec E 124.18 ft th S 64 deg 05 min 15 sec E 20 ft th S 63 deg 54 min 29 sec E 150 ft th N 39 deg 45 min 02 sec E 143.8 ft platted 137.14 ft th N 38 deg 44 min 37 sec E 20 ft th sely at r/a alg cur to lt rad 250 ft 39.2 ft th alg cur to rt rad 580.48 ft 340.23 ft th S 20 deg 25 min 33 sec W 210.52 ft th alg cur to lt rad 1078.10 ft 38.0 ft th S 68 deg 41 min 28 sec W 748.18 ft th N 44 deg 26 min 34 sec W 245 ft to beg exc prt deeded to city for Winchester Ave cont 426,250 sq ft or 11.39 ac.

is hereby rezoned from Districts B3-2 (Community Business) and R-1.5 (Residential 1.5) to District B3-2 (Community Business), all as shown outlined on a map marked Section 88-20A-1545, which is attached hereto and made a part hereof, and which is hereby adopted as a part of an amendment to the zoning maps constituting a part of said chapter and in accordance with Section 88-20 thereof.

Section B. That the Council finds and declares that before taking any action on the proposed amendment hereinabove, all public notices and hearings required by the Zoning and Development Code have been given and had.

..end

I hereby certify that as required by Chapter 88, Code of Ordinances, the foregoing ordinance was duly advertised and public hearings were held.

Sara Copeland, FAICP
Secretary, City Plan Commission

Approved as to form:

Sarah Baxter
Senior Associate City Attorney



City of Kansas City, Missouri

Docket Memo

Ordinance/Resolution #: 260593

Submitted Department/Preparer: City Planning

Revised 01/30/25

Docket memos are required on all ordinances initiated by a Department Director. More information can be found in [Administrative Regulation \(AR\) 4-1](#).

Executive Summary

A request to approve a rezoning for a parcel that is split-zoned between B3-2 and R-1.5 to an overall B3-2 zoning district on about 10.9 acres generally located at 5100 Ararat Drive. (CD-CPC-2026-00016).

Discussion

The proposed rezoning from B3-2 and R-1.5 to B3-2 brings the parcel into one zoning district. The property contains two structures, the primary structure is a church, and the second structure is a building with multiple stalls for potential uses. The church is located within the portion of the parcel zoned R-1.5; the second building is currently zoned B3-2.

The owners intend to utilize the secondary building as another primary structure on the lot allowing any use permitted in B3-2 zoning districts. However, multiple principal uses on one property requires Development Plan approval, the applicant intends to apply for a Development Plan at a later time. Conditions may be placed on a Development Plan approval to ensure that future uses are compatible with the residential neighborhood to the north.

There were no public comments at the City Plan Commission.

The City Plan Commission recommended Approval without Conditions, five to zero.

Fiscal Impact

1. Is this legislation included in the adopted budget? Yes No
2. What is the funding source?

Not applicable as this is a zoning ordinance authorizing the rezoning of a property for its continued operation.

3. How does the legislation affect the current fiscal year?

Not applicable as this is a zoning ordinance authorizing the rezoning of a property for its continued operation.

4. Does the legislation have a fiscal impact in future fiscal years? Please notate the difference between one-time and recurring costs.

Not applicable as this is a zoning ordinance authorizing the rezoning of a property for its continued operation.

5. Does the legislation generate revenue, leverage outside funding, or deliver a return on investment?

Not applicable as this is a zoning ordinance authorizing the rezoning of a property for its continued operation.

Office of Management and Budget Review

(OMB Staff will complete this section.)

- 1. This legislation is supported by the general fund. Yes No
- 2. This fund has a structural imbalance. Yes No
- 3. Account string has been verified/confirmed. Yes No

Additional Discussion (if needed)

Not applicable as this is a zoning ordinance authorizing the rezoning of a property for its continued operation.

Citywide Business Plan (CWBP) Impact

- 1. View the [Adopted 2025-2029 Citywide Business Plan](#)
- 2. Which CWBP goal is most impacted by this legislation?
Housing and Healthy Communities (Press tab after selecting.)
- 3. Which objectives are impacted by this legislation (select all that apply):
 - Utilize planning approaches in neighborhoods to reduce blight, ensure sustainable, affordable housing, and improve resident wellbeing and cultural diversity.

- Maintain and increase housing supply to meet the demands of a diverse population.
- Address the various needs of the City's most vulnerable population by working to reduce disparities.
- Promote healthy residents by ensuring basic sanitation and living needs are met.
- Ensure all residents have safe, accessible, quality housing by reducing barriers.
- Protect and promote healthy, active amenities such as parks and trails, play spaces, and green spaces.

Prior Legislation

No prior legislation.

Service Level Impacts

No service level impacts expected.

Staff Recommendation

City Planning and Development

Select One: Sponsored
 Directive: Res/Ord # [Click to enter Res/Ord. No.](#)

Select One: Recommend
 Do Not Recommend
 Not Applicable

Staff recommended approval
 CPC recommended approval

Other Impacts

1. What will be the potential health impacts to any affected groups?
 Not applicable as this is a zoning ordinance authorizing the rezoning of a property for its continued operation.

2. How have those groups been engaged and involved in the development of this ordinance?

Not applicable as this is a zoning ordinance authorizing the rezoning of a property for its continued operation.

3. How does this legislation contribute to a sustainable Kansas City?

Not applicable as this is a zoning ordinance authorizing the rezoning of a property for its continued operation.

4. Does this legislation create or preserve new housing units?

No (Press tab after selecting)

NA

NA

5. Department staff certifies the submission of any application Affirmative Action Plans or Certificates of Compliance, Contractor Utilization Plans (CUPs), and Letters of Intent to Subcontract (LOIs) to CREO prior to, or simultaneously with, the legislation entry request in Legistar.

No - CREO's review is not applicable (Press tab after selecting)

Please provide reasoning why not:

Not applicable as this is a zoning ordinance authorizing the rezoning of a property for its continued operation.

6. Does this legislation seek to approve a contract resulting from an Invitation for Bid?

No(Press tab after selecting)

Not applicable as this is a zoning ordinance authorizing the rezoning of a property for its continued operation.

7. Does this legislation seek to approve a contract resulting from a Request for Proposal/Qualification (RFP/Q)?

No(Press tab after selecting)



File #: 260594

ORDINANCE NO. 260594

Sponsor: Director of City Planning and Development Department

Rezoning an area of about 4.356 acres generally located at 6300 E. 87th Street from District UR to District B3-2. (CD-CPC-2026-00054).

BE IT ORDAINED BY THE COUNCIL OF KANSAS CITY:

Section A. That Chapter 88, Code of Ordinances of the City of Kansas City, Missouri, commonly known as the Zoning and Development Code, is hereby amended by enacting a new section to be known as Section 88-20A-1546, rezoning an area of about 4.356 acres generally located at 6300 East 87th Street from District UR (Urban Redevelopment) to District B3-2 (Community Business), said section to read as follows:

Section 88-20A-1546. That an area legally described as:

TRACT 1:

Lot 1B, 87th Street Gardens Replot of Lot 1, also known as "Lot 1B, 87th Street Gardens Replat of Lot 1" a subdivision in Kansas City, Jackson County, Missouri, according to the recorded plat thereof recorded August 19, 2002, as Document Number 2002K0051844.

and

TRACT 2:

Lot 1A, 87th Street Gardens Replot of Lot 1, also known as "87th Street Gardens Replate of Lot 1", a subdivision in Kansas City, Jackson County, Missouri, according to the recorded plat thereof recorded August 19, 2002 as Document No. 2002K0051844.

and

tract 3:

Lot 2, 87th Street Gardens, a subdivision in Kansas City, Jackson County, Missouri, according to the recorded plat thereof, together with appurtenant easement for ingress and egress over all that part of Lot 1, 87th Street Gardens, a subdivision of land in Kansas City, Jackson County, Missouri, described as follows: Beginning at the most Southerly Southwest corner of said Lot 1; thence

North 1 degrees 07 minutes 35 seconds West, along the West line of said Lot 1, a distance of 35 feet; thence South 82 degrees, 52 minutes 56 seconds East, parallel with the North line of 87th Street as now established, a distance of 40 feet; thence South 1 degrees 07 minutes 35 seconds East, parallel with the West line of said Lot 1, a distance of 35 feet to a point on the North line of said 87th Street; thence North 82 degrees 52 minutes 56 seconds West along said North line, a distance of 40 feet to the point of beginning, as established by the instrument filed August 25, 1977, as Document No, K-338467 in Book K-781, at Page 432.

EXCEPTING THEREFROM:

The East 25.00 feet of Lots 1A and 1B, 87th Street Gardens Replat of Lot 1, a subdivision of land recorded in Book K40 at Page 85, and located in the Northwest quarter of Section 24, Township 48 North, Range 33 West of the 5th Principle Meridian in Kansas City, Jackson County, Missouri.

is hereby rezoned from District UR (Urban Redevelopment) to District B3-2 (Community Business), all as shown outlined on a map marked Section 88-20A-1546, which is attached hereto and made a part hereof, and which is hereby adopted as a part of an amendment to the zoning maps constituting a part of said chapter and in accordance with Section 88-20 thereof.

Section B. That the Council finds and declares that before taking any action on the proposed amendment hereinabove, all public notices and hearings required by the Zoning and Development Code have been given and had.

..end

I hereby certify that as required by Chapter 88, Code of Ordinances, the foregoing ordinance was duly advertised and public hearings were held.

Sara Copeland, FAICP
Secretary, City Plan Commission

Approved as to form:

Sarah Baxter
Senior Associate City Attorney



City of Kansas City, Missouri

Docket Memo

Ordinance/Resolution #: 260594

Submitted Department/Preparer: City Planning

Revised 01/30/25

Docket memos are required on all ordinances initiated by a Department Director. More information can be found in [Administrative Regulation \(AR\) 4-1](#).

Executive Summary

A request to approve a rezoning from UR to B3-2 on about 4.356 acres generally located at 6300 E 87th St. (CD-CPC-2026-00054).

Discussion

The subject site has been developed with a car dealership since 2006, with parking spaces for inventory as well as customers parking areas. The owner of the Franklin Mitsubishi dealership plans to leave the site and put the property up for sale. Currently the UR zoning only allows for the site to be a Dealership, Vehicle Sales use. For the property to be viable for other potential buyers, re-zoning out of the UR zoning district to a B3-2 zoning allows for a wider variety of uses to exist at this location.

With the Future Land Use designation by the Blue Ridge Area Plan calling for Commercial future land use, B3-2 was determined by staff to be the most appropriate zoning district for the rezoning. With a rezoning to B3-2, any other vehicular sales use would require a Special Use Permit for further entitlement and neighborhood engagement. While allowing more flexibility with allowed uses on site, the B3 zoning district does restrict the following uses: Vehicle storage/towing, Self-Storage Warehousing, Indoor/Outdoor Warehousing, Wholesaling, Storage, Freight Movement.

The applicant held a public engagement meeting May 18, 2026. No public comments were made at the City Plan Commission hearing.

The City Plan Commission recommended Approval without Conditions.

Fiscal Impact

1. Is this legislation included in the adopted budget? Yes No
2. What is the funding source?
Not applicable as this is a zoning ordinance authorizing the rezoning of a property for its continued operation.
3. How does the legislation affect the current fiscal year?
Not applicable as this is a zoning ordinance authorizing the rezoning of a property for its continued operation.
4. Does the legislation have a fiscal impact in future fiscal years? Please notate the difference between one-time and recurring costs.
Not applicable as this is a zoning ordinance authorizing the rezoning of a property for its continued operation.
5. Does the legislation generate revenue, leverage outside funding, or deliver a return on investment?
Not applicable as this is a zoning ordinance authorizing the rezoning of a property for its continued operation.

Office of Management and Budget Review

(OMB Staff will complete this section.)

1. This legislation is supported by the general fund. Yes No
2. This fund has a structural imbalance. Yes No
3. Account string has been verified/confirmed. Yes No

Additional Discussion (if needed)

Not applicable as this is a zoning ordinance authorizing the rezoning of a property for its continued operation.

Citywide Business Plan (CWBP) Impact

1. View the [Adopted 2025-2029 Citywide Business Plan](#)
2. Which CWBP goal is most impacted by this legislation?
Housing and Healthy Communities (Press tab after selecting.)
3. Which objectives are impacted by this legislation (select all that apply):

- Utilize planning approaches in neighborhoods to reduce blight, ensure sustainable, affordable housing, and improve resident wellbeing and cultural diversity.
- Maintain and increase housing supply to meet the demands of a diverse population.
- Address the various needs of the City's most vulnerable population by working to reduce disparities.
- Promote healthy residents by ensuring basic sanitation and living needs are met.
- Ensure all residents have safe, accessible, quality housing by reducing barriers.
- Protect and promote healthy, active amenities such as parks and trails, play spaces, and green spaces.

Prior Legislation

Case No. 7246-P-8 - approval of a final plan in District C-3a1-P (intermediate business, limited district), to allow auto sales in an existing 6,500sqft building and to replace an existing sign. Approved November 7, 2006.

Case No. 6720-URD-14, Ord. No. 071241 - rezoning of a 467.28 acre area to URD. Approved December 13, 2006.

Service Level Impacts

No service level impacts expected.

Staff Recommendation

City Planning and Development

Select One: Sponsored
 Directive: Res/Ord # [Click to enter Res/Ord. No.](#)

Select One: Recommend
 Do Not Recommend
 Not Applicable

Staff recommended approval
 City Plan Commission recommended approval

Other Impacts

1. What will be the potential health impacts to any affected groups?
Not applicable as this is a zoning ordinance authorizing the rezoning of a property for its continued operation.
2. How have those groups been engaged and involved in the development of this ordinance?
Not applicable as this is a zoning ordinance authorizing the rezoning of a property for its continued operation.
3. How does this legislation contribute to a sustainable Kansas City?
Not applicable as this is a zoning ordinance authorizing the rezoning of a property for its continued operation.
4. Does this legislation create or preserve new housing units?
No (Press tab after selecting)

Click or tap here to enter text.

Click or tap here to enter text.

5. Department staff certifies the submission of any application Affirmative Action Plans or Certificates of Compliance, Contractor Utilization Plans (CUPs), and Letters of Intent to Subcontract (LOIs) to CREO prior to, or simultaneously with, the legislation entry request in Legistar.

No - CREO's review is not applicable (Press tab after selecting)

Please provide reasoning why not:

Not applicable as this is a zoning ordinance authorizing the rezoning of a property for its continued operation.

6. Does this legislation seek to approve a contract resulting from an Invitation for Bid?

No(Press tab after selecting)

Not applicable as this is a zoning ordinance authorizing the rezoning of a property for its continued operation.

7. Does this legislation seek to approve a contract resulting from a Request for Proposal/Qualification (RFP/Q)?
No(Press tab after selecting)



File #: 260595

ORDINANCE NO. 260595

Sponsor: Director of City Planning and Development Department

Rezoning an area of about 0.147 acres generally located at 2922 Summit Street from District R-6 to District R-1.5. (CD-CPC-2026-00031)

BE IT ORDAINED BY THE COUNCIL OF KANSAS CITY:

Section A. That Chapter 88, Code of Ordinances of the City of Kansas City, Missouri, commonly known as the Zoning and Development Code, is hereby amended by enacting a new section to be known as Section 88-20A-1547, rezoning an area of about 0.147 acres generally located at 2922 Summit Street from District R-6 (Residential 6) to District R-1.5 (Residential 1.5), said section to read as follows:

Section 88-20A-1547. That an area legally described as:

All of Lot 9 and 10, Block 1, Rotterdam, an addition in Kansas City, Jackson County, Missouri.

is hereby rezoned from District R-6 (Residential 6) to District R-1.5 (Residential 1.5), all as shown outlined on a map marked Section 88-20A-1547, which is attached hereto and made a part hereof, and which is hereby adopted as a part of an amendment to the zoning maps constituting a part of said chapter and in accordance with Section 88-20 thereof.

Section B. That the Council finds and declares that before taking any action on the proposed amendment hereinabove, all public notices and hearings required by the Zoning and Development Code have been given and had.

I hereby certify that as required by Chapter 88, Code of Ordinances, the foregoing ordinance was duly advertised and public hearings were held.

Sara Copeland, FAICP
Secretary, City Plan Commission

Approved as to form:

Sarah Baxter
Senior Associate City Attorney



City of Kansas City, Missouri

Docket Memo

Ordinance/Resolution #: 260595

Submitted Department/Preparer: City Planning

Revised 01/30/25

Docket memos are required on all ordinances initiated by a Department Director. More information can be found in [Administrative Regulation \(AR\) 4-1](#).

Executive Summary

A request to approve a rezoning without plan from R-6 to R-1.5 for a multi-unit residential building on about 0.147 generally located at 2922 Summit Street. (CD-CPC-2026-00039).

Discussion

The applicant is requesting to rezone the subject site from R-6 to R-1.5 and to amend the Greater Downtown Area Plan from Residential Low Density to Residential High Density. The site contains an unfinished concrete structure intended originally for a 4-unit townhome. The applicant is proposing to finish the building as a 4-unit structure.

The applicant's request is to rezone the site to better align the property with the Lot and Building requirements of the Zoning and Development Code. The R-1.5 district accommodates the lot size and frontage requirements of this parcel, while also creating consistency with adjacent R-1.5 properties and the Residential Low Density future land use designation.

This Ordinance is accompanied by an Area Plan Amendment.

The City Plan Commission recommended approval without conditions.

Fiscal Impact

1. Is this legislation included in the adopted budget? Yes No
2. What is the funding source?
Not applicable as this is a zoning ordinance authorizing the rezoning of a property for its continued operation.

3. How does the legislation affect the current fiscal year?
Not applicable as this is a zoning ordinance authorizing the rezoning of a property for its continued operation.
4. Does the legislation have a fiscal impact in future fiscal years? Please notate the difference between one-time and recurring costs.
Not applicable as this is a zoning ordinance authorizing the rezoning of a property for its continued operation.
5. Does the legislation generate revenue, leverage outside funding, or deliver a return on investment?
Not applicable as this is a zoning ordinance authorizing the rezoning of a property for its continued operation.

Office of Management and Budget Review

(OMB Staff will complete this section.)

1. This legislation is supported by the general fund. Yes No
2. This fund has a structural imbalance. Yes No
3. Account string has been verified/confirmed. Yes No

Additional Discussion (if needed)

Not applicable as this is a zoning ordinance authorizing the rezoning of a property for its continued operation.

Citywide Business Plan (CWBP) Impact

1. View the [Adopted 2025-2029 Citywide Business Plan](#)
2. Which CWBP goal is most impacted by this legislation?
Housing and Healthy Communities (Press tab after selecting.)
3. Which objectives are impacted by this legislation (select all that apply):
 - Utilize planning approaches in neighborhoods to reduce blight, ensure sustainable, affordable housing, and improve resident wellbeing and cultural diversity.
 - Maintain and increase housing supply to meet the demands of a diverse population.

- Address the various needs of the City's most vulnerable population by working to reduce disparities.
- Promote healthy residents by ensuring basic sanitation and living needs are met.
- Ensure all residents have safe, accessible, quality housing by reducing barriers.
- Protect and promote healthy, active amenities such as parks and trails, play spaces, and green spaces.

Prior Legislation

No Prior Legislation.

Service Level Impacts

No Service Level Impacts expected.

Staff Recommendation

City Planning and Development

Select One: Sponsored
 Directive: Res/Ord # [Click to enter Res/Ord. No.](#)

Select One: Recommend
 Do Not Recommend
 Not Applicable

Staff recommends approval
City Plan Commission recommends approval

Other Impacts

1. What will be the potential health impacts to any affected groups?
Not applicable as this is a zoning ordinance authorizing the rezoning of a property for its continued operation.
2. How have those groups been engaged and involved in the development of this ordinance?

Not applicable as this is a zoning ordinance authorizing the rezoning of a property for its continued operation.

3. How does this legislation contribute to a sustainable Kansas City?
Not applicable as this is a zoning ordinance authorizing the rezoning of a property for its continued operation.

4. Does this legislation create or preserve new housing units?
Yes (Press tab after selecting)

Total Number of Units 4 units.
Number of Affordable Units 4 units.

5. Department staff certifies the submission of any application Affirmative Action Plans or Certificates of Compliance, Contractor Utilization Plans (CUPs), and Letters of Intent to Subcontract (LOIs) to CREO prior to, or simultaneously with, the legislation entry request in Legistar.

No - CREO's review is not applicable (Press tab after selecting)
Please provide reasoning why not:
Not applicable as this is a zoning ordinance authorizing the rezoning of a property for its continued operation.

6. Does this legislation seek to approve a contract resulting from an Invitation for Bid?

No(Press tab after selecting)

Not applicable as this is a zoning ordinance authorizing the rezoning of a property for its continued operation.

7. Does this legislation seek to approve a contract resulting from a Request for Proposal/Qualification (RFP/Q)?
No(Press tab after selecting)



File #: 260596

RESOLUTION NO. 260596

Sponsor: Director of City Planning and Development Department

RESOLUTION - Approving an amendment to the Greater Downtown Area Plan on about 0.147 acres generally located at 2922 Summit Street by changing the recommended land use from residential low density to residential high density for a multi-unit residential building. (CD-CPC-2026-00041)

WHEREAS, on October 20, 2019 the City Council by Resolution No. 190565 adopted the Greater Downtown Area Plan; and

WHEREAS, after further review it has been deemed appropriate to amend the Greater Downtown Area Plan as it affects the area of approximately 0.147 acres generally located at 2922 Summit Street by changing the recommended land use from residential low density to residential high density; and

WHEREAS, the City Plan Commission considered this amendment to the Greater Downtown Area Plan on June 3, 2026; and

WHEREAS, after all interested persons were given an opportunity to present testimony, the City Plan Commission did, on June 3, 2026, recommend approval of the proposed amendment to the Greater Downtown Area Plan to the City Council; NOW, THEREFORE,

BE IT RESOLVED BY THE COUNCIL OF KANSAS CITY:

Section A. That the Greater Downtown Area Plan is hereby amended for that area described above by changing the recommended land use from residential low density to residential high density.

Section B. That the amendment to the Greater Downtown Area Plan is consistent and complies with the KC Spirit Playbook, adopted on April 20, 2023, by Resolution No. 230257, and is adopted as a supplement to the KC Spirit Playbook.

Section C. That the Council finds and declares that before taking any action on the proposed amendment hereinabove, all public notices have been given and hearings have been held as required by law.

..end



City of Kansas City, Missouri

Docket Memo

Ordinance/Resolution #: 260596

Submitted Department/Preparer: City Planning

Revised 01/30/25

Docket memos are required on all ordinances initiated by a Department Director. More information can be found in [Administrative Regulation \(AR\) 4-1](#).

Executive Summary

A request to approve an amendment to the Greater Downtown Area Plan from Residential Low Density to Residential High Density for a multi-unit residential building on about 0.147 acres generally located at 2922 Summit St. (CD-CPC-2026-00041).

Discussion

The applicant is requesting to rezone the subject site from R-6 to R-1.5 and to amend the Greater Downtown Area Plan from Residential Low Density to Residential High Density. The current structure is an unfinished concrete structure intended originally for a 4-unit townhome. The applicant is proposing to finish the building as a 4-unit structure.

The Greater Downtown Area Plan currently designates the site as Residential Low Density; amending the area plan to Residential High Density will allow the rezoning or the lot to be better aligned with the Area Plan's intent.

This Resolution is accompanied by an Ordinance rezoning the property to R-1.5.

The City Plan Commission recommended approval without conditions, five to one.

Fiscal Impact

1. Is this legislation included in the adopted budget? Yes No
2. What is the funding source?
Not applicable as this is a zoning ordinance authorizing the amendment of the Greater Downtown Area Plan for a property for its continued operation.

3. How does the legislation affect the current fiscal year?
Not applicable as this is a zoning ordinance authorizing the amendment of the Greater Downtown Area Plan for a property for its continued operation.
4. Does the legislation have a fiscal impact in future fiscal years? Please notate the difference between one-time and recurring costs.
Not applicable as this is a zoning ordinance authorizing the amendment of the Greater Downtown Area Plan for a property for its continued operation.
5. Does the legislation generate revenue, leverage outside funding, or deliver a return on investment?
Not applicable as this is a zoning ordinance authorizing the amendment of the Greater Downtown Area Plan for a property for its continued operation.

Office of Management and Budget Review

(OMB Staff will complete this section.)

1. This legislation is supported by the general fund. Yes No
2. This fund has a structural imbalance. Yes No
3. Account string has been verified/confirmed. Yes No

Additional Discussion (if needed)

Not applicable as this is a zoning ordinance authorizing the rezoning of a property for its continued operation.

Citywide Business Plan (CWBP) Impact

1. View the [Adopted 2025-2029 Citywide Business Plan](#)
2. Which CWBP goal is most impacted by this legislation?
Housing and Healthy Communities (Press tab after selecting.)
3. Which objectives are impacted by this legislation (select all that apply):
 - Utilize planning approaches in neighborhoods to reduce blight, ensure sustainable, affordable housing, and improve resident wellbeing and cultural diversity.
 - Maintain and increase housing supply to meet the demands of a diverse population.

- Address the various needs of the City's most vulnerable population by working to reduce disparities.
- Promote healthy residents by ensuring basic sanitation and living needs are met.
- Ensure all residents have safe, accessible, quality housing by reducing barriers.
- Protect and promote healthy, active amenities such as parks and trails, play spaces, and green spaces.

Prior Legislation

No Prior Legislation.

Service Level Impacts

No Service Level Impacts expected.

Staff Recommendation

City Planning and Development

Select One: Sponsored
 Directive: Res/Ord # [Click to enter Res/Ord. No.](#)

Select One: Recommend
 Do Not Recommend
 Not Applicable

Staff recommends approval
 City Plan Commission recommends approval

Other Impacts

1. What will be the potential health impacts to any affected groups?
 Not applicable as this is a zoning ordinance authorizing the amendment of the Greater Downtown Area Plan for a property for its continued operation.
2. How have those groups been engaged and involved in the development of this ordinance?

Not applicable as this is a zoning ordinance authorizing the amendment of the Greater Downtown Area Plan for a property for its continued operation.

3. How does this legislation contribute to a sustainable Kansas City?
Not applicable as this is a zoning ordinance authorizing the amendment of the Greater Downtown Area Plan for a property for its continued operation.

4. Does this legislation create or preserve new housing units?
Yes (Press tab after selecting)

Total Number of Units 4 units.
Number of Affordable Units 4 units.

5. Department staff certifies the submission of any application Affirmative Action Plans or Certificates of Compliance, Contractor Utilization Plans (CUPs), and Letters of Intent to Subcontract (LOIs) to CREO prior to, or simultaneously with, the legislation entry request in Legistar.

No - CREO's review is not applicable (Press tab after selecting)
Please provide reasoning why not:
Not applicable as this is a zoning ordinance authorizing the amendment of the Greater Downtown Area Plan for a property for its continued operation.

6. Does this legislation seek to approve a contract resulting from an Invitation for Bid?

No(Press tab after selecting)

Not applicable as this is a zoning ordinance authorizing the amendment of the Greater Downtown Area Plan for a property for its continued operation.

7. Does this legislation seek to approve a contract resulting from a Request for Proposal/Qualification (RFP/Q)?
No(Press tab after selecting)



File #: 260597

ORDINANCE NO. 260597

Sponsor: Director of City Planning and Development Department

Rezoning an area of about 55 acres generally bounded by E. 20th Street on the north, E. 25th Street on the south, Holmes Street on the east, and Oak Street/Locust Street/Gillham Road on the west from Districts R-0.5, DC, UR, and M1-5, to District MPD, and approving a preliminary development plan for public and civic uses (hospital campus). (CD-CPC-2026-00026)

BE IT ORDAINED BY THE COUNCIL OF KANSAS CITY:

Section A. That Chapter 88, Code of Ordinances of the City of Kansas City, Missouri, commonly known as the Zoning and Development Code, is hereby amended by enacting a new section to be known as Section 88-20A-1543, rezoning an area of about 55 acres generally bounded by E. 20th Street on the north, E. 25th Street on the south, Holmes Street on the east, and Oak Street/Locust Street/Gillham Road on the west from Districts R-0.5 (Residential 0.5), DC (Downtown Core), UR (Urban Redevelopment), and M1-5 (Manufacturing 1), to District MPD (Master Planned Development), and approving a preliminary development plan for public and civic uses (hospital campus), said section to read as follows:

Section 88-20A-1543. That an area legally described as:

PROPERTY #1:

650 E 25th St / School of Dentistry beg nw cor 25th & Holmes th n 254 ft th w parl to n li 25th St 606 ft to E Ligillham Rd th sly alg e li sd rd to pt 130 ft s of n li vac 24th Terr th sely alg sd rd to pt 75 ft w of nw cor Lot 36 Murdocks Sub th e 75 ft th s 103 ft to n li 25th St th e 466 ft to pob being J L Porters 1st Sub Lot 25 exc s 10 ft & exc e 2 ft all Lots 26 thru 34 exc e 2 ft & s 9 ft Lot 35 exc e 2 ft & Murdocks Sub all Lots 13 thru 24 & all Lots 25 thru 36 exc s 10 ft & incl unplatted tract in NW 1/4 SE 1/4 Sec 8 49 33 & all or prt adj vac sts and alleys.

PROPERTY #2:

Children's Mercy Hospital Lot 2.

PROPERTY #3:

Children's Mercy Hospital Lot 1.

PROPERTY #4:

Hospital Hill Center Lot 2.

PROPERTY #5:

Hospital Hill Center Lot 3.

PROPERTY #6:

Hospital Hill Center Lot 1.

PROPERTY #7:

Sec 08-49-33 SW1/4 NE 1/4 McGee's Col e m sub beg n li 23rd St 307' e w li Lot 7 sd sub e pt 125' w se cor Lot 28 sd sub, n to sd li 22nd St w to beg.

PROPERTY #8:

2200-20 Kenwood /Psychiatric Receiving Hospital Col E M McGees Sub e 125 ft of s 90.8 ft Lot 26 e 125 ft Lot 27 & e 125 ft of n 142.1 ft Lot 28.

PROPERTY #9:

2220 Holmes/Nurses Home Home Park Lots 39 thru 49 & Col E M McGees Sub n 101 ft of w 144.25 ft Lot 29/

PROPERTY #10:

Galfy's Add - all th pt Lots 14 thru 18 & 19 thru 23 & th pt.

PROPERTY #11:

Sec 08-49-33 SW 1/4 NE 1/4 McGee's Col e m sub beg at a pt on s li KC Term RR, th is 200' w of e li Lot 21, th swly alg sd s li rr to pt of inter with w li Lot 22, th s alg w li Lot 22 to sw cor sd Lot 22, th sely to sw cor sd Lot 24, th e to pt th is 200' w of e li Lot 24, th n to pob (being pt of Lots 22, 23 & 24).

PROPERTY #12:

600 E 22nd St/Western Missouri Mental Health center 610 E 22nd St/Diagnostic Clinic for Mental Retardation Home Park Lots 50 thru 56 & Col E M McGees Sub all Lots 34 35 & s 118 ft Lot 36 ly w of w li Holmes also e 200 ft Lot 21 exc prt in K C Term RR r/w & e 200 ft Lots 22 thru 25 & all vac Kenwood Ave adj sd tracts.

PROPERTY #13

2029 Holmes/s 50 ft of n 100ft of w 125 ft of e 132 ft Lot 34 Col E McGees Sub.

PROPERTY #14

McGees Place Lots 18 & 19, Block 9 & pt of Sec-08 daf: beg ne cor of Lot 18 Blk 9, th s alg w li of Holmes St 180.41', th swly 1359.29' to pt on w row li of McGee St, th n 510' mol, th e 14', th n 75', th e alg s row li of 20th St 985.47', th n 92.29', th e 132', th s 37.72', th e 10', th n 37.78', th e 132' to pob

is hereby rezoned from Districts R-0.5 (Residential 0.5), DC (Downtown Core), UR (Urban Redevelopment), and M1-5 (Manufacturing 1), to District MPD (Master Planned Development),

all as shown outlined on a map marked Section 88-20A-1543, which is attached hereto and made a part hereof, and which is hereby adopted as a part of an amendment to the zoning maps constituting a part of said chapter and in accordance with Section 88-20 thereof.

Section B. That a development plan for the area legally described above is hereby approved, subject to the following conditions:

1. The developer shall screen all roof and/or ground mounted mechanical and utility equipment in compliance with Section 88-425-08 of the Zoning and Development Code.
2. All signage shall conform to 88-445 and shall require a sign permit prior to installation.
3. The developer shall secure approval of a streetscape plan from the Development Management Division staff prior to building permit. The plan shall include all vertical and horizontal obstructions within and adjacent to the right-of-way along the project frontage including but not limited to signage, sidewalks, driveways, landscaping, and shall demonstrate compliance with applicable policies and regulations.
4. The developer shall secure approval of an MPD final plan from the City Plan Commission prior to issuance of the building permit.
5. Prior to submittal of a final plat for the initial phase of the development, the applicant must submit a street name plan for the entire development and obtain approval from the street name committee. Any subsequent amendments to the approved plan may, at the discretion of the Director of City Planning and Development, require submission and approval of a revised street name plan.
6. All future projects within this MPD shall abide by the Development Form Guidelines on page 172, and the District Design Guidelines on page 189 of the Greater Downtown Area Plan.
7. Any proposed development on the offsite parking area north of the Kansas City Terminal railroad track (south of E. 20th Street, east of Holmes Street and west of McGee Street) shall require a major amendment to the MPD.
8. The developer shall file an application for a street right-of-way vacation and obtain approval from the City Council prior to issuance of a certificate of occupancy or Mylar approval for any project that is adjacent to the street under consideration to be vacated. Street vacation requires a separate application, and each street will be evaluated on a case-by-case basis.
9. The accompanying wayfinding signage plan shall continue to be reviewed by City Planning and Development, and Parks and Recreation Department staff and shall

be approved and attached to the plan set prior to issuance of any sign permit within this MPD district.

10. A Knox Box shall be provided near the main entrance to the building. (IFC-2018 § 506.1)
11. The grade for a required Fire Department access road shall not exceed 10 percent. (IFC-2018: § 503.2.7.12)
12. Required Fire Department access roads shall designed to support a fire apparatus with gross axle weight of 85,000 pounds. (IFC-2018: § 503.2.3)
13. Fire hydrants shall be installed and operable prior to the arrival of any combustible building materials onto the site. (IFC-2018 § 501.4 and 3312.1; NFPA 241-2013 § 8.7.2)
14. The developer shall provide Fire Department access roads before construction/demolition projects begin. (IFC-2018 § 501.4 and 3310.1; NFPA 241-2013 § 7.5.5)
15. The Fire Department Connection (FDC) shall not be located that obstructs access/egress to the building when in use. (IFC-2018 § 912.2)
16. Buildings equipped with a fire standpipe system shall have an operable fire hydrant within 100 feet of the Fire Department Connection (FDC). (IFC2018 § 507.5.1.1)
17. The developer shall meet the fire flow requirements as set forth in Appendix B of the International Fire Code 2018. (IFC-2018 § 507.1)
18. The developer shall provide an approved turnaround feature (i.e. cul-de-sac, hammerhead) for all dead-end fire access in excess of 150 feet in length. (IFC-2018: § 503.2.5)
19. New buildings shall have approved radio coverage for emergency responders within the building based on the existing coverage levels of the public safety communication systems utilized by the jurisdiction, measured at the exterior of the building. This section shall not require improvement of the existing public safety communication systems. (IFC 2018 510.1) and (NFPA1221)
20. All Fire Department Connections (FDC) shall be threaded connections, Storz connections are not allowed in the City of Kansas City, Missouri. (IFC-2018 § 903.3.6; NFPA 13-2010 § 6.8.1)
21. Fire hydrant distribution shall follow IFC-2018 Table C102.1.

22. Required Fire Department access roads shall be a minimum unobstructed width of twenty (20) feet and 13 ft. 6 in. clearance height. Check with Streets & Traffic (KCMO Public Works) or Missouri Department of Transportation (MODOT) that may have street planning regulations that supersede the Fire Code. (IFC-2018: § 503.2.1)
23. Fire hydrant(s) shall be within 400 feet on a fire access road following an approved route established by the Authority Having Jurisdiction (AHJ) of any exterior portion of a building. The use of existing fire hydrant(s) may be used to satisfy this requirement otherwise a private fire hydrant(s) or hydrant system may be required. This distance may be increased to 600 feet for R-3 and U occupancy(s) or the building(s) is fully protected by an approved automatic fire sprinkler system(s). (IFC-2018: § 507.5.1)
24. If an approved security gate spans across a fire access road, an approved means for emergency operation shall be provided. Electric gates shall require a siren sensor device typically referred to as a “yelp gate.” (IFC-2018 § 503.6)
25. All required Fire Department access roads shall be an all-weather surface. Grass pavers are not permitted. (IFC-2012: § 503.2.3)
26. Buildings exceeding three (3) stories or 30 feet in height shall have at least two means of fire apparatus access. (IFC-2018: § D104.1) Aerial fire apparatus roads must be a minimum 26 feet wide, at least 15 feet away from the building but not more than 30 feet from the structure. (IFC-2018 § D105)
27. The turning radius for Fire Department access roads shall be 30 feet inside and 50 feet outside radius. (IFC-2018: § 503.2.4)
28. The building’s FDC shall be immediately recognizable from the street or nearest point of Fire Department access. (IFC-2018 § 912.2.1)
29. Any signs in the public right-of-way need further Public Works coordination for placement.
30. The developer shall petition for the vacation of various streets as shown on the development plan and relocate sewers as required by the Departments of Water Services, the Land Development Division, and Development Services prior to recording of the final plat.
31. The developer shall submit a letter to the Land Development Division from a licensed civil engineer, licensed architect, or licensed landscape architect, who is registered in the State of Missouri, that identifies sidewalks, curbs, and gutters in disrepair as defined by Public Works Department’s "OUT OF REPAIR CRITERIA FOR SIDEWALK, DRIVEWAY AND CURB revised 11/5/2013", and based on compliance with Chapters 56 and 64, Code of Ordinances, for the

sidewalks, curbs, and gutters where said letter shall identify the quantity and location of sidewalks, curbs, and gutters that need to be constructed, repaired, or reconstructed to remedy deficiencies and/or to remove existing approaches no longer needed by this project. The developer shall secure permits to repair or reconstruct the identified sidewalks, curbs, and gutters as necessary along all development street frontages as required by the Land Development Division and prior to issuance of any certificate of occupancy permits including temporary certificate of occupancy permits.

32. The developer shall submit a streetscape plan for approval and permitting by the Land Development Division prior to beginning construction of the streetscape improvements in the public right-of-way, and construct ADA compliant ramps at all required locations where new private drives are being added, or where existing sidewalks are modified or repaired.
33. The developer shall submit verification of vertical and horizontal sight distance for the drive connection to public right-of-way to the Land Development Division and make improvements to ensure local jurisdiction and/or minimum AASHTO adequate sight distance standards are met, prior to issuance of any certificate of occupancy.
34. The developer shall integrate into the existing streetlight system any relocated streetlights within the street right-of-way impacted by the new drive or approach entrances as required by the Land Development Division, and the relocated lights must comply with all adopted lighting standards.
35. All new, abandoned and relocated water mains and public fire hydrants shall be designed to meet Kansas City Water rules and regulations for water main extensions (WME). WME Plans shall be submitted through CompassKC for review and approval of contracts (permits) prior to a building permit issuance.
36. The developer shall cause the area to be platted and processed in accordance with Chapter 88, Code of Ordinances of the City of Kansas City, Missouri.
37. The developer shall submit a storm drainage analysis from a Missouri-licensed civil engineer to the Kansas City Water Services Department evaluating proposed improvements and impact to drainage conditions. Since this project is within a "Combined Sewer Overflow" (CSO) district, the project shall be designed to retain rainfall of 1.5-inch depth over the disturbed area to simulate natural runoff conditions and reduce small storm discharge to the combined sewer system and manage the 10-year storm and 100-year storm per currently adopted APWA standards. The analysis shall be submitted, and the developer shall secure permits to construct any improvements required by the Kansas City Water Services Department prior to recording the plat.

38. The developer shall submit plans for grading, siltation, and erosion control to the Kansas City Water Services Department for review and acceptance, provide a copy of the Storm Water Pollution Prevention (SWPP) plan submitted to the Missouri Department of Natural Resources (MDNR) and secure a site disturbance permit for any proposed disturbance area equal to one acre or more prior to beginning any construction activities.
39. The developer shall obtain the executed and recorded City approved grading, temporary construction, drainage/sewer, or any other necessary easements from the abutting property owner(s) that may be required prior to submitting any public improvements crossing properties not controlled by the developer or outside the plat and include said document(s) within the public improvement applications submitted for permitting. Off-site improvements will require performance and maintenance bonds to be posted for permitting if determined to be necessary by the Director of the Kansas City Water Services Department.
40. The developer shall submit an analysis to verify adequate capacity of the existing sewer system as required by the Kansas City Water Services Department prior to recording the plat or issuance of a building permit to connect the private system to the public sewer main and depending on adequacy of the receiving system, make other improvements as may be required.
41. The developer shall secure permits to extend public sanitary and storm water conveyance systems to serve all proposed lots within the development and determine adequacy of receiving systems as required by the Kansas City Water Services Department, prior to recording the plat or issuance of a building permit, whichever occurs first. Easements shall be per the Kansas City Water Services Department matrix easement.
42. The developer shall provide acceptable easement and secure permits to relocate sanitary sewers out from under proposed buildings and structures. Any existing public lines located under proposed structures must be abandoned in place or removed and easement vacated, or relocated and new easements shall be provided; as required by the Kansas City Water Services Department prior to recording the plat or issuance of a building permit, whichever occurs first. Easements shall be per the Kansas City Water Services Department matrix easement.
43. The developer shall grant a BMP and/or surface drainage easement to the City as required by the Kansas City Water Services Department, prior to recording the plat or issuance of any building permits.
44. All agreement and easement documents shall be submitted using IB159 to an infrastructure review application on CompassKC for review and approval by the Kansas City Water Services Department prior to issuance of any permits.

A copy of said development plan is on file in the office of the City Clerk with this ordinance and is made a part hereof.

Section C. That the Council finds and declares that before taking any action on the proposed amendment and development plan hereinabove, all public notices and hearings required by the Zoning and Development Code have been given and had.

..end

I hereby certify that as required by Chapter 88, Code of Ordinances, the foregoing ordinance was duly advertised and public hearings were held.

Sara Copeland, FAICP
Secretary, City Plan Commission

Approved as to form:

Sarah Baxter
Senior Associate City Attorney



City of Kansas City, Missouri

Docket Memo

Ordinance/Resolution #: 260597

Submitted Department/Preparer: City Planning

Revised 01/30/26

Docket memos are required on all ordinances initiated by a Department Director. More information can be found in [Administrative Regulation \(AR\) 4-1](#).

Executive Summary

Rezoning an area of about 55 acres generally bounded by E. 20th Street on the north, E. 25th Street on the south, Holmes Street (extending to the west, just north of E. 22nd Street) on the east, and Oak Street/ Locust Street/ Gillham Road on the west from Districts R-0.5, DC, UR, and M1-5, to District MPD (Master Planned Development), and approval of a preliminary development plan for Public and Civic Uses (Hospital Campus). (CD-CPC-2026-00026).

Discussion

The applicant seeks to rezone about 55 acres from Districts R-0.5, DC, UR, and M1-5, to District MPD, that allows for Public and Civic Uses for Children's Mercy Hospital Campus. The MPD plan proposes the demolition of some structures and construction of about 1.5 million square feet building additions and about 1,120 parking spaces in 6 phases. The buildings will be medical hospital towers, garages, offices and administrative buildings between 5 and 20 stories tall. As discussed with applicant staff recommend adding a Phase 0 on the face of the plan to allow for current projects under the permitting process to proceed through the system but be captured as part of this MPD plan moving forward.

The MPD plan, if approved proposes submittal of Final MPD in lieu of Special Use Permit for Hospital uses pursuant to Section 88-517-09-D, which states that "If a use that would have required special use approval is approved on a development plan, no separate special use review will be required." This will allow for submittal of Final MPD plan to the City Plan Commission prior to issuance of building permits. Staff are supportive of this request.

The MPD plan proposes to vacate the following streets: E. 23rd Street, E. 24th Street, E. 25th Street, Kenwood Avenue and Locust Street. Street Vacation requires a separate application, and each street will be evaluated on a case-by-case basis. To vacate these streets the developer shall file for a street right of way vacation and obtain approval from the City Council prior to issuance of Certificate of Occupancy or Mylar approval for any project that is adjacent to the street under consideration to be vacated. The plan also proposes to allow encroachments within the public right of way outright. Encroachments on public right of way must obtain an encroachment permit unless the street is vacated.

Staff Recommendation Rezoning: Approval

Fiscal Impact

1. Is this legislation included in the adopted budget? Yes No
2. What is the funding source?
Not applicable as this is an ordinance authorizing the development of private property.
3. How does the legislation affect the current fiscal year?
Not applicable as this is an ordinance authorizing the development of private property.
4. Does the legislation have a fiscal impact in future fiscal years? Please notate the difference between one-time and recurring costs.
Not applicable as this is an ordinance authorizing the development of private property.
5. Does the legislation generate revenue, leverage outside funding, or deliver a return on investment?
Not applicable as this is an ordinance authorizing the development of private property.

Office of Management and Budget Review

(OMB Staff will complete this section.)

1. This legislation is supported by the general fund. Yes No
2. This fund has a structural imbalance. Yes No
3. Account string has been verified/confirmed. Yes No

Additional Discussion (if needed)

This ordinance has no fiscal impact.

Citywide Business Plan (CWBP) Impact

1. View the [Adopted 2025-2029 Citywide Business Plan](#)
2. Which CWBP goal is most impacted by this legislation?

Inclusive Growth and Development (Press tab after selecting.)

3. Which objectives are impacted by this legislation (select all that apply):

- Develop strategies focusing on areas traditionally underserved by economic development and redevelopment efforts.
- Ensure quality, lasting development throughout the City; and continuing to grow the economy and the population of Kansas City in all areas.
- Increase and support local workforce development and small and locally owned businesses.
- Create a more efficient, solutions-oriented environment, making it easier to operate within the City.
- Implement an economic development and tourism strategy to attract major investment and visitors.
-

Prior Legislation

No prior rezoning legislation on this site.

Service Level Impacts

Not applicable as this is an ordinance authorizing the development of private property.

Staff Recommendation

City Planning and Development

Select One: Sponsored
 Directive: Res/Ord # [Click to enter Res/Ord. No.](#)

Select One: Recommend
 Do Not Recommend
 Not Applicable

[Click or tap here to provide reasoning.](#)

Other Impacts

1. What will be the potential health impacts to any affected groups?
Not applicable as this is an ordinance authorizing the development of private property.
2. How have those groups been engaged and involved in the development of this ordinance?
Not applicable as this is an ordinance authorizing the development of private property.
3. How does this legislation contribute to a sustainable Kansas City?
Not applicable as this is an ordinance authorizing the development of private property.
4. Does this legislation create or preserve new housing units?
No (Press tab after selecting)

Not applicable as this is an ordinance authorizing the development of private property.
Click or tap here to enter text.
5. Department staff certifies the submission of any application Affirmative Action Plans or Certificates of Compliance, Contractor Utilization Plans (CUPs), and Letters of Intent to Subcontract (LOIs) to CREO prior to, or simultaneously with, the legislation entry request in Legistar.

No - CREO's review is not applicable (Press tab after selecting)
Please provide reasoning why not:
Not applicable as this is an ordinance authorizing the development of private property.
6. Does this legislation seek to approve a contract resulting from an Invitation for Bid?

No(Press tab after selecting)

Not applicable as this is an ordinance authorizing the development of private property.
7. Does this legislation seek to approve a contract resulting from a Request for Proposal/Qualification (RFP/Q)?
No(Press tab after selecting)



File #: 260598

ORDINANCE NO. 260598

Sponsor: Director of City Planning and Development Department

RESOLUTION - Approving an amendment to the Greater Downtown Area Plan on about 1.7 acres generally located at the northeast and northwest corners of Belleview Avenue and W. 30th Street by changing the recommended land use from residential low density to downtown mixed use for the Northtown Center project. (CD-CPC-2026-00019)

WHEREAS, on October 10, 2019, the City Council by Resolution No. 190565 adopted the Greater Downtown Area Plan; and

WHEREAS, after further review it has been deemed appropriate to amend the Greater Downtown Area Plan as it affects the area of approximately 1.7 acres generally located at the northeast and northwest corners of Belleview Avenue and W. 30th Street by changing the recommended land use from residential low density to downtown mixed use; and

WHEREAS, the City Plan Commission considered this amendment to the Greater Downtown Area Plan on June 3, 2026; and

WHEREAS, after all interested persons were given an opportunity to present testimony, the City Plan Commission did, on June 3, 2026, recommend approval of the proposed amendment to the Greater Downtown Area Plan to the City Council; NOW, THEREFORE,

BE IT RESOLVED BY THE COUNCIL OF KANSAS CITY:

Section A. That the Greater Downtown Area Plan is hereby amended for that area described above by changing the recommended land use from residential low density to downtown mixed use.

Section B. That the amendment to the Greater Downtown Area Plan is consistent and complies with the KC Spirit Playbook, adopted on April 20, 2023, by Resolution No. 230257, and is adopted as a supplement to the KC Spirit Playbook.

Section C. That the Council finds and declares that before taking any action on the proposed amendment hereinabove, all public notices have been given and hearings have been held as required by law.

..end



City of Kansas City, Missouri

Docket Memo

Ordinance/Resolution #: 260598

Submitted Department/Preparer: City Planning

Revised 01/30/25

Docket memos are required on all ordinances initiated by a Department Director. More information can be found in [Administrative Regulation \(AR\) 4-1](#).

Executive Summary

Approving an amendment to the Greater Downtown Area Plan on about 1.7 acres generally located at the northeast and northwest corners of Belleview Avenue and W 30th Street by changing the recommended land use from Residential Low Density to Downtown Mixed Use for the Northtown Center project. (CD-CPC-2026-00019)

Discussion

The subject site contains three parcels. The existing 115,857 square foot building sits on the eastern parcel and the 68-space parking lot covers the two western parcels. The applicant is seeking an area plan amendment and rezoning at the advice of Planning staff to abate zoning violations for uses not permitted in an R-2.5 zoning district and operating outside of the previously approved certificate of legal nonconforming use.

Fiscal Impact

1. Is this legislation included in the adopted budget? Yes No
2. What is the funding source?
Not applicable as this resolution is amendment and area plan document.
3. How does the legislation affect the current fiscal year?
Not applicable as this resolution is amendment and area plan document.
4. Does the legislation have a fiscal impact in future fiscal years? Please notate the difference between one-time and recurring costs.
Not applicable as this resolution is amendment and area plan document.

5. Does the legislation generate revenue, leverage outside funding, or deliver a return on investment?

Not applicable as this resolution is amendment and area plan document.

Office of Management and Budget Review

(OMB Staff will complete this section.)

- 1. This legislation is supported by the general fund. Yes No
- 2. This fund has a structural imbalance. Yes No
- 3. Account string has been verified/confirmed. Yes No

Additional Discussion (if needed)

This ordinance has no fiscal impact.

Citywide Business Plan (CWBP) Impact

- 1. View the [Adopted 2025-2029 Citywide Business Plan](#)
- 2. Which CWBP goal is most impacted by this legislation?
Inclusive Growth and Development (Press tab after selecting.)
- 3. Which objectives are impacted by this legislation (select all that apply):
 - Develop strategies focusing on areas traditionally underserved by economic development and redevelopment efforts.
 - Ensure quality, lasting development throughout the City; and continuing to grow the economy and the population of Kansas City in all areas.
 - Increase and support local workforce development and small and locally owned businesses.
 - Create a more efficient, solutions-oriented environment, making it easier to operate within the City.
 - Implement an economic development and tourism strategy to attract major investment and visitors.
 -

Prior Legislation

None

Service Level Impacts

None

Staff Recommendation

City Planning and Development

Select One: Sponsored
 Directive: Res/Ord # [Click to enter Res/Ord. No.](#)

Select One: Recommend
 Do Not Recommend
 Not Applicable

City Plan Commission and staff recommend approval

Other Impacts

1. What will be the potential health impacts to any affected groups?
Not applicable as this resolution is amendment and area plan document.
2. How have those groups been engaged and involved in the development of this ordinance?
Area plan amendments don't require public engagement, but a public engagement meeting was held for the companion rezoning per 88-505-12.
3. How does this legislation contribute to a sustainable Kansas City?
Not applicable as this resolution is amending an Area Plan document.
4. Does this legislation create or preserve new housing units?
No (Press tab after selecting)

[Click or tap here to enter text.](#)

[Click or tap here to enter text.](#)

5. Department staff certifies the submission of any application Affirmative Action Plans or Certificates of Compliance, Contractor Utilization Plans (CUPs), and

Letters of Intent to Subcontract (LOIs) to CREO prior to, or simultaneously with, the legislation entry request in Legistar.

No - CREO's review is not applicable (Press tab after selecting)

Please provide reasoning why not:

This resolution amends an area plan document.

6. Does this legislation seek to approve a contract resulting from an Invitation for Bid?

No(Press tab after selecting)

[Click or tap here to enter text.](#)

7. Does this legislation seek to approve a contract resulting from a Request for Proposal/Qualification (RFP/Q)?

No(Press tab after selecting)



File #: 260599

ORDINANCE NO. 260599

Sponsor: Director of City Planning and Development Department

Rezoning an area of about 1.7 acres generally located at the northeast and northwest corners of Belleview Avenue and W. 30th Street from District R-2.5 to District DX-2. (CD-CPC-2026-00018)

BE IT ORDAINED BY THE COUNCIL OF KANSAS CITY:

Section A. That Chapter 88, Code of Ordinances of the City of Kansas City, Missouri, commonly known as the Zoning and Development Code, is hereby amended by enacting a new section to be known as Section 88-20A-1549, rezoning an area of about 1.7 acres generally located at the northeast and northwest corners of Belleview Avenue and W. 30th Street from District R-2.5 (Residential 2.5) to District DX-2 (Downtown Mixed-Use), said section to read as follows:

Section 88-20A-1549. That an area legally described as:

Tract 1: All of Lots 10 thru 22, Van Dyke Place, a subdivision in the City of Kansas City, Jackson County, Missouri. Containing 35,531 square feet or 0.815 acre, more or less.

Tract 2: All of Lots 12 thru 22, Block 1, Conover and Fosters Addition, a subdivision in the City of Kansas City, Jackson County, Missouri. Containing 41,702 square feet or 0.957 acre, more or less.

is hereby rezoned from District R-2.5 (Residential 2.5) to District DX-2 (Downtown Mixed-Use), all as shown outlined on a map marked Section 88-20A-1549, which is attached hereto and made a part hereof, and which is hereby adopted as a part of an amendment to the zoning maps constituting a part of said chapter and in accordance with Section 88-20 thereof.

Section B. That the Council finds and declares that before taking any action on the proposed amendment hereinabove, all public notices and hearings required by the Zoning and Development Code have been given and had.

..end

I hereby certify that as required by Chapter 88, Code of Ordinances, the foregoing ordinance was duly advertised and public hearings were held.

Sara Copeland, FAICP
Secretary, City Plan Commission

Approved as to form:

Sarah Baxter
Senior Associate City Attorney



City of Kansas City, Missouri

Docket Memo

Ordinance/Resolution #: 260599

Submitted Department/Preparer: City Planning

Revised 01/30/25

Docket memos are required on all ordinances initiated by a Department Director. More information can be found in [Administrative Regulation \(AR\) 4-1](#).

Executive Summary

Rezoning an area of about 1.7 acres generally located at the northeast and northwest corners of Belleview Avenue and W 30th Street from District R-2.5 to District DX-2. (CD-CPC-2026-00018)

Discussion

The subject site contains three parcels. The existing 115,857 square foot building sits on the eastern parcel and the 68-space parking lot covers the two western parcels. The applicant is seeking an area plan amendment and rezoning at the advice of Planning staff to abate zoning violations for uses not permitted in an R-2.5 zoning district and operating outside of the previously approved certificate of legal nonconforming use.

Several members of the public spoken in opposition to the rezoning at the CPC public hearing. CPC recommended approval 6-1.

Fiscal Impact

1. Is this legislation included in the adopted budget? Yes No
2. What is the funding source?
Not applicable as this ordinance authorizes a zoning change.
3. How does the legislation affect the current fiscal year?
Not applicable as this ordinance authorizes a zoning change.
4. Does the legislation have a fiscal impact in future fiscal years? Please notate the difference between one-time and recurring costs.
Not applicable as this ordinance authorizes a zoning change.

5. Does the legislation generate revenue, leverage outside funding, or deliver a return on investment?

Not applicable as this ordinance authorizes a zoning change.

Office of Management and Budget Review

(OMB Staff will complete this section.)

- 1. This legislation is supported by the general fund. Yes No
- 2. This fund has a structural imbalance. Yes No
- 3. Account string has been verified/confirmed. Yes No

Additional Discussion (if needed)

This ordinance has no fiscal impact.

Citywide Business Plan (CWBP) Impact

- 1. View the [Adopted 2025-2029 Citywide Business Plan](#)
- 2. Which CWBP goal is most impacted by this legislation?
Inclusive Growth and Development (Press tab after selecting.)
- 3. Which objectives are impacted by this legislation (select all that apply):
 - Develop strategies focusing on areas traditionally underserved by economic development and redevelopment efforts.
 - Ensure quality, lasting development throughout the City; and continuing to grow the economy and the population of Kansas City in all areas.
 - Increase and support local workforce development and small and locally owned businesses.
 - Create a more efficient, solutions-oriented environment, making it easier to operate within the City.
 - Implement an economic development and tourism strategy to attract major investment and visitors.
 -

Prior Legislation

None

Service Level Impacts

None

Staff Recommendation

City Planning and Development

Select One: Sponsored
 Directive: Res/Ord # [Click to enter Res/Ord. No.](#)

Select One: Recommend
 Do Not Recommend
 Not Applicable

City Plan Commission and staff recommend approval

Other Impacts

1. What will be the potential health impacts to any affected groups?
Not applicable as this ordinance authorizes a zoning change.
2. How have those groups been engaged and involved in the development of this ordinance?
This ordinance complies with the public engagement requirement per 88-505-12.
3. How does this legislation contribute to a sustainable Kansas City?
Not applicable as this ordinance authorizes a zoning change.
4. Does this legislation create or preserve new housing units?
No (Press tab after selecting)

Click or tap here to enter text.

Click or tap here to enter text.

5. Department staff certifies the submission of any application Affirmative Action Plans or Certificates of Compliance, Contractor Utilization Plans (CUPs), and

Letters of Intent to Subcontract (LOIs) to CREO prior to, or simultaneously with, the legislation entry request in Legistar.

No - CREO's review is not applicable (Press tab after selecting)

Please provide reasoning why not:

This ordinance authorizes a zoning change.

6. Does this legislation seek to approve a contract resulting from an Invitation for Bid?

No(Press tab after selecting)

[Click or tap here to enter text.](#)

7. Does this legislation seek to approve a contract resulting from a Request for Proposal/Qualification (RFP/Q)?

No(Press tab after selecting)



File #: 260601

ORDINANCE NO. 260601

Sponsor: Director of City Planning and Development Department

Approving a development plan on about 10.75 acres generally located at 11530 N.W. Prairie View Road in District M1-2 to allow for warehousing, wholesaling, storage, and freight movement. (CD-CPC-2026-00064)

BE IT ORDAINED BY THE COUNCIL OF KANSAS CITY:

Section A. That a development plan in District M1-2 (Manufacturing 1) generally located at 11530 N.W. Prairie View Road and more specifically described as follows:

Lot 1, Platte Gardens, a subdivision in Kansas City, Platte County, Missouri; and
Lot 1, Thrifty Rent A Car, a subdivision in Kansas City, Platte County, Missouri.

is hereby approved, subject to the following conditions:

1. All signage shall conform to Section 88-445 and shall require a sign permit prior to installation.
2. Prior to issuance of the certificate of occupancy for each lot within the plat the developer shall submit an affidavit, completed by a landscape architect licensed in the State of Missouri, verifying that street trees have been installed in accordance with the approved street tree planting plan and are healthy.
3. The developer shall screen all roof and/or ground mounted mechanical and utility equipment in compliance with Section 88-425-08 of the Zoning and Development Code.
4. The developer shall submit an affidavit, prepared by an engineer licensed in the State of Missouri, verifying that all outdoor lighting has been installed in accordance with approved plans and that lighting levels do not exceed that shown on the approved lighting plan at the property lines prior to a certificate of occupancy.
5. The developer shall submit an affidavit, completed by a landscape architect licensed in the State of Missouri, verifying that all landscaping required of the

approved plan has been installed in accordance with the plan and is healthy prior to a certificate of occupancy.

6. The parking spaces along the southern property line (located 8 feet from the property line) shall only be used for short-term vehicle parking. No warehousing, wholesaling, storage and freight movement uses are allowed.
7. The turning radius for Fire Department access roads shall be 30 feet inside and 50 feet outside radius. (IFC-2018: § 503.2.4)
8. Required Fire Department access roads shall be a minimum unobstructed width of twenty (20) feet and 13 ft-6 in. clearance height. However, certain lanes will be smaller from the standard 20-foot minimum fire access width requirement, though the 13-foot-6-inch vertical clearance will be maintained, as identified on the site plan. (IFC-2018: § 503.2.1)
9. If an approved security gate spans across a fire access road, an approved means for emergency operation shall be provided. Electric gates shall require a siren sensor device typically referred to as a “yelp gate.” (IFC-2018 § 503.6)
10. After discussion with property owner, prior to obtaining final plan approval, the lighting plan at a minimum shall show a lighting increase in the area between Canopy 8, 9, 10, 17, 18, 26 and near the east side vehicle entry/exit points where the lighting levels are 0fc-.10fc. Development Management Division reviewer may satisfy this condition.

A copy of said development plan is on file in the office of the City Clerk with this ordinance and is made a part hereof.

Section B. That the Council finds and declares that before taking any action on the proposed development plan hereinabove, all public notices and hearings required by the Zoning and Development Code have been given and had.

..end

I hereby certify that as required by Chapter 88, Code of Ordinances, the foregoing ordinance was duly advertised and public hearings were held.

Sara Copeland, FAICP
Secretary, City Plan Commission

Approved as to form:

Sarah Baxter
Senior Associate City Attorney



City of Kansas City, Missouri

Docket Memo

Ordinance/Resolution #: 260601

Submitted Department/Preparer: City Planning

Revised 01/30/25

Docket memos are required on all ordinances initiated by a Department Director. More information can be found in [Administrative Regulation \(AR\) 4-1](#).

Executive Summary

Approving a non-residential development plan for Warehousing, Wholesaling, Storage, and Freight Movement (with a focus on vehicle storage to be stored for longer than 15 days) on about 10.75 acres at 11530 NW Prairie View Road. (CD-CPC-2026-00064)

Discussion

The applicant is requesting approval of a nonresidential development plan to allow for Warehousing, Wholesaling, Storage, and Freight Movement. The property is currently developed with a parking lot, there are no proposed changes to the site layout, building footprint, or building locations.

The applicant is proposing 886 covered parking stalls, 178 uncovered parking stall (for a total of 1,064 parking stalls) to be developed in 4 phases.

A development plan is required for industrial uses on properties over 10 acres. The plan complies with all applicable sections of Code.

The City Plan Commission heard the case on June 17, 2026 and recommended approval subject to conditions. No public testimony was provided.

Fiscal Impact

1. Is this legislation included in the adopted budget? Yes No
2. What is the funding source?
Not applicable as this is a zoning ordinance approving the development of the subject site.

3. How does the legislation affect the current fiscal year?
Not applicable as this is a zoning ordinance approving the development of the subject site.
4. Does the legislation have a fiscal impact in future fiscal years? Please notate the difference between one-time and recurring costs.
Not applicable as this is a zoning ordinance approving the development of the subject site.
5. Does the legislation generate revenue, leverage outside funding, or deliver a return on investment?
Not applicable as this is a zoning ordinance approving the development of the subject site.

Office of Management and Budget Review

(OMB Staff will complete this section.)

1. This legislation is supported by the general fund. Yes No
2. This fund has a structural imbalance. Yes No
3. Account string has been verified/confirmed. Yes No

Additional Discussion (if needed)

This ordinance has no fiscal impact.

Citywide Business Plan (CWBP) Impact

1. View the [Adopted 2025-2029 Citywide Business Plan](#)
2. Which CWBP goal is most impacted by this legislation?
Inclusive Growth and Development (Press tab after selecting.)
3. Which objectives are impacted by this legislation (select all that apply):
 - Develop strategies focusing on areas traditionally underserved by economic development and redevelopment efforts.
 - Ensure quality, lasting development throughout the City; and continuing to grow the economy and the population of Kansas City in all areas.
 - Increase and support local workforce development and small and locally owned businesses.

- Create a more efficient, solutions-oriented environment, making it easier to operate within the City.
- Implement an economic development and tourism strategy to attract major investment and visitors.
-

Prior Legislation

CD-CPC-2024-00117 - approved a rezoning of about 10.75 acres located west of Interstate 29 on NW Prairie View Road from District B3-3 to District M1-2 (Ordinance No. 240967 was approved April 17, 2025).

Service Level Impacts

No service level impacts expected.

Staff Recommendation

City Planning and Development

Select One: Sponsored
 Directive: Res/Ord # [Click to enter Res/Ord. No.](#)

Select One: Recommend
 Do Not Recommend
 Not Applicable

[Click or tap here to provide reasoning.](#)

Other Impacts

1. What will be the potential health impacts to any affected groups?
Not applicable as this is a zoning ordinance authorizing the development of the property.
2. How have those groups been engaged and involved in the development of this ordinance?

Public engagement is required for development plans. The applicant held a public engagement meeting on May 29, 2026 in compliance with the Zoning and Development Code.

3. How does this legislation contribute to a sustainable Kansas City?
Not applicable as this is a zoning ordinance authorizing the development of the property.

4. Does this legislation create or preserve new housing units?
No (Press tab after selecting)

Click or tap here to enter text.
Click or tap here to enter text.

5. Department staff certifies the submission of any application Affirmative Action Plans or Certificates of Compliance, Contractor Utilization Plans (CUPs), and Letters of Intent to Subcontract (LOIs) to CREO prior to, or simultaneously with, the legislation entry request in Legistar.

No - CREO's review is not applicable (Press tab after selecting)
Please provide reasoning why not:
Click or tap here to enter text.

6. Does this legislation seek to approve a contract resulting from an Invitation for Bid?

No(Press tab after selecting)

Click or tap here to enter text.

7. Does this legislation seek to approve a contract resulting from a Request for Proposal/Qualification (RFP/Q)?
No(Press tab after selecting)



File #: 260603

ORDINANCE NO. 260603

Sponsor: Director of City Planning and Development Department

Rezoning an area of about 0.8 acres generally located at the northeast corner of Ward Parkway Plaza and West 81st Street from District R-6 to District B1-1 to allow for the expansion of a parking lot. (CD-CPC-2026-00053).

BE IT ORDAINED BY THE COUNCIL OF KANSAS CITY:

Section A. That Chapter 88, Code of Ordinances of the City of Kansas City, Missouri, commonly known as the Zoning and Development Code, is hereby amended by enacting a new section to be known as Section 88-20A-1548, rezoning an area of about 0.8 acres generally located at the northeast corner of Ward Parkway Plaza and West 81st Street from District R-6 (Residential) to District B1-1 (Neighborhood Business) to allow for the expansion of a parking lot, said section to read as follows:

Section 88-20A-1548. That an area legally described as:

All of Lot 62, Armour Heights, a subdivision in Kansas City, Jackson County, Missouri, Except the North 15.0' thereof.

is hereby rezoned from District R-6 (Residential) to District B1-1 (Neighborhood Business), all as shown outlined on a map marked Section 88-20A-1548, which is attached hereto and made a part hereof, and which is hereby adopted as a part of an amendment to the zoning maps constituting a part of said chapter and in accordance with Section 88-20 thereof.

Section B. That the Council finds and declares that before taking any action on the proposed amendment and development plan hereinabove, all public notices and hearings required by the Zoning and Development Code have been given and had.

..end

I hereby certify that as required by Chapter 88, Code of Ordinances, the foregoing ordinance was duly advertised and public hearings were held.

Sara Copeland, FAICP
Secretary, City Plan Commission

Approved as to form:

Sarah Baxter
Senior Associate City Attorney



City of Kansas City, Missouri

Docket Memo

Ordinance/Resolution #: 260603

Submitted Department/Preparer: City Planning

Revised 01/30/25

Docket memos are required on all ordinances initiated by a Department Director. More information can be found in [Administrative Regulation \(AR\) 4-1](#).

Executive Summary

Rezoning an area of about 0.8 acres generally located at the northwest corner of Ward Parkway Plaza and West 81st Street from District R-6 (Residential) to District B1-1 (Neighborhood Business). (CD-CPC-2026-00053).

Discussion

The applicant is requesting to rezone half of the approximately 0.8-acre site from District R-6 to District B1-1, except the 15 feet of the north side of the lot to create a zoning buffer from the residential district to the north. This buffer area will ensure that no development occurs within at least 15 feet of the property to the north. The subject site is a multi-tenant building across two previously platted lots that have been consolidated. In 2025, the applicant applied for a building addition (CRBC-2025-40142) on the rear side of the building and an interior renovation. During staff review, staff found an expansion of the parking area that encroached onto the R zoned District. The parking area expansion did not receive proper permitting and was in place when the current owner purchased the property. Staff worked with the applicant to add the following condition onto the permit: "That the applicant gain approval of a rezoning and seek the proper permits for the parking lot addition on the northern portion of the property prior to certificate of occupancy." Per 88-420-04 D (4): Access to off-street parking areas serving nonresidential uses may not traverse residentially zoned property. Approval of the rezoning would allow the expansion of the parking lot to remain.

There was no public testimony at the City Plan Commission. There was one letter submitted to City Staff prior to CPC that is attached to the staff report with this ordinance.

Staff Recommendation: Approval

CPC Recommendation: Approval

Fiscal Impact

1. Is this legislation included in the adopted budget? Yes No
2. What is the funding source?
Not applicable as this is an ordinance authorizing a rezoning of private property.
3. How does the legislation affect the current fiscal year?
Not applicable as this is an ordinance authorizing a rezoning of private property.
4. Does the legislation have a fiscal impact in future fiscal years? Please notate the difference between one-time and recurring costs.
Not applicable as this is an ordinance authorizing a rezoning of private property.
5. Does the legislation generate revenue, leverage outside funding, or deliver a return on investment?
Not applicable as this is an ordinance authorizing a rezoning of private property.

Office of Management and Budget Review

(OMB Staff will complete this section.)

1. This legislation is supported by the general fund. Yes No
2. This fund has a structural imbalance. Yes No
3. Account string has been verified/confirmed. Yes No

Additional Discussion (if needed)

Click or tap here to enter text.

Citywide Business Plan (CWBP) Impact

1. View the [Adopted 2025-2029 Citywide Business Plan](#)
2. Which CWBP goal is most impacted by this legislation?
Inclusive Growth and Development (Press tab after selecting.)
3. Which objectives are impacted by this legislation (select all that apply):

- Develop strategies focusing on areas traditionally underserved by economic development and redevelopment efforts.
- Ensure quality, lasting development throughout the City; and continuing to grow the economy and the population of Kansas City in all areas.
- Increase and support local workforce development and small and locally owned businesses.
- Create a more efficient, solutions-oriented environment, making it easier to operate within the City.
- Implement an economic development and tourism strategy to attract major investment and visitors.
-

Prior Legislation

There is no prior legislation for this site.

Service Level Impacts

Not applicable as this is an ordinance authorizing a rezoning of private property.

Staff Recommendation

City Planning and Development

Select One: Sponsored
 Directive: Res/Ord # [Click to enter Res/Ord. No.](#)

Select One: Recommend
 Do Not Recommend
 Not Applicable

City Plan Commission recommendation: Approval
 Staff recommendation: Approval

Other Impacts

1. What will be the potential health impacts to any affected groups?

Not applicable as this is an ordinance authorizing a rezoning of private property.

2. How have those groups been engaged and involved in the development of this ordinance?

Not applicable as this is an ordinance authorizing a rezoning of private property.

3. How does this legislation contribute to a sustainable Kansas City?

Not applicable as this is an ordinance authorizing a rezoning of private property.

4. Does this legislation create or preserve new housing units?

No (Press tab after selecting)

Not applicable as this is an ordinance authorizing a rezoning of private property.

[Click or tap here to enter text.](#)

5. Department staff certifies the submission of any application Affirmative Action Plans or Certificates of Compliance, Contractor Utilization Plans (CUPs), and Letters of Intent to Subcontract (LOIs) to CREO prior to, or simultaneously with, the legislation entry request in Legistar.

No - CREO's review is not applicable (Press tab after selecting)

Please provide reasoning why not:

Not applicable as this is an ordinance authorizing a rezoning of private property.

6. Does this legislation seek to approve a contract resulting from an Invitation for Bid?

No(Press tab after selecting)

Not applicable as this is an ordinance authorizing a rezoning of private property.

7. Does this legislation seek to approve a contract resulting from a Request for Proposal/Qualification (RFP/Q)?

No(Press tab after selecting)



File #: 260604

ORDINANCE NO. 260604

Sponsor: Director of City Planning and Development Department

Rezoning an area of about 0.3 acres generally located at 8699 N. Bellefontaine Avenue from Districts R-1.5 and B2-2 to District B2-2. (CD-CPC-2026-00065).

BE IT ORDAINED BY THE COUNCIL OF KANSAS CITY:

Section A. That Chapter 88, Code of Ordinances of the City of Kansas City, Missouri, commonly known as the Zoning and Development Code, is hereby amended by enacting a new section to be known as Section 88-20A-1550, rezoning an area of about 0.3 acres generally located at 8699 N. Bellefontaine Avenue from Districts R-1.5 (Residential) and B2-2 (Commercial) to District B2-2 (Commercial), said section to read as follows:

Section 88-20A-1550. That an area legally described as:

Staley Corners West 4th Plat Tract E

is hereby rezoned from Districts R-1.5 (Residential) and B2-2 (Commercial) to District B2-2 (Commercial), all as shown outlined on a map marked Section 88-20A-1550, which is attached hereto and made a part hereof, and which is hereby adopted as a part of an amendment to the zoning maps constituting a part of said chapter and in accordance with Section 88-20 thereof.

Section B. That the Council finds and declares that before taking any action on the proposed amendment hereinabove, all public notices and hearings required by the Zoning and Development Code have been given and had.

..end

I hereby certify that as required by Chapter 88, Code of Ordinances, the foregoing ordinance was duly advertised and public hearings were held.

Sara Copeland, FAICP
Secretary, City Plan Commission

Approved as to form:

Sarah Baxter
Senior Associate City Attorney



City of Kansas City, Missouri

Docket Memo

Ordinance/Resolution #: 260604

Submitted Department/Preparer: City Planning

Revised 01/30/25

Docket memos are required on all ordinances initiated by a Department Director. More information can be found in [Administrative Regulation \(AR\) 4-1](#).

Executive Summary

Rezoning an area of about 0.3 acres generally located at 8699 N Bellefontaine Ave from Districts R-1.5 (Residential) and B2-2 (Commercial) to District B2-2 (Commercial). (CD-CPC-2026-00065).

Discussion

The applicant requests approval to rezone approximately 0.335 acres from District R-1.5 (Single-Family Residential) to District B2-2 (Community Business). Currently, the tract is mostly zoned R-1.5 with some portions of the tract B2-2. Approval of this rezoning will bring the full tract into the B2-2 district. The rezoning is intended to accommodate a landscape buffer that will screen a vehicular drive-through lane located immediately south of the subject property. Drive throughs must be at least 50 feet from any residential zoning district. This rezoning will allow the site to the south to be developed in accordance with the drive through standards of Section 88-340 of the Zoning and Development Code.

The subject site is a platted tract that functions as a transitional landscape buffer between the commercial properties to the south and the residential properties to the north. There is no plan submitted or required with this rezoning request. The tract is currently split-zoned between District R-1.5 and District B2-2; approval of the request would bring the entire tract into the B2-2 zoning designation.

Staff Recommendation: Approval

CPC Recommendation: Approval

Fiscal Impact

1. Is this legislation included in the adopted budget? Yes No

2. What is the funding source?
Not applicable as this is a rezoning of private property.
3. How does the legislation affect the current fiscal year?
Not applicable as this is a rezoning of private property.
4. Does the legislation have a fiscal impact in future fiscal years? Please notate the difference between one-time and recurring costs.
Not applicable as this is a rezoning of private property.
5. Does the legislation generate revenue, leverage outside funding, or deliver a return on investment?
Not applicable as this is a rezoning of private property.

Office of Management and Budget Review

(OMB Staff will complete this section.)

1. This legislation is supported by the general fund. Yes No
2. This fund has a structural imbalance. Yes No
3. Account string has been verified/confirmed. Yes No

Additional Discussion (if needed)

Click or tap here to enter text.

Citywide Business Plan (CWBP) Impact

1. View the [Adopted 2025-2029 Citywide Business Plan](#)
2. Which CWBP goal is most impacted by this legislation?
Inclusive Growth and Development (Press tab after selecting.)
3. Which objectives are impacted by this legislation (select all that apply):
 - Develop strategies focusing on areas traditionally underserved by economic development and redevelopment efforts.
 - Ensure quality, lasting development throughout the City; and continuing to grow the economy and the population of Kansas City in all areas.
 - Increase and support local workforce development and small and locally owned businesses.

- Create a more efficient, solutions-oriented environment, making it easier to operate within the City.
- Implement an economic development and tourism strategy to attract major investment and visitors.
-

Prior Legislation

Case No. CD-CPC-2024-00184 - Ordinance 250146 approved a major amendment to a previously approved development plan in District R-1.5, B2-2 and B4-3 on about 36 acres generally located at the northwest corner of N. Indiana Avenue and NE Barry Road.

Service Level Impacts

Not applicable as this is a rezoning of private property.

Staff Recommendation

City Planning and Development

Select One: Sponsored
 Directive: Res/Ord # [Click to enter Res/Ord. No.](#)

Select One: Recommend
 Do Not Recommend
 Not Applicable

Staff and CPC recommend approval

Other Impacts

1. What will be the potential health impacts to any affected groups?
 Not applicable as this is a rezoning of private property.
2. How have those groups been engaged and involved in the development of this ordinance?
 Not applicable as this is a rezoning of private property.

3. How does this legislation contribute to a sustainable Kansas City?
Not applicable as this is a rezoning of private property.

4. Does this legislation create or preserve new housing units?
No (Press tab after selecting)

Not applicable as this is a rezoning of private property.
[Click or tap here to enter text.](#)

5. Department staff certifies the submission of any application Affirmative Action Plans or Certificates of Compliance, Contractor Utilization Plans (CUPs), and Letters of Intent to Subcontract (LOIs) to CREO prior to, or simultaneously with, the legislation entry request in Legistar.

No - CREO's review is not applicable (Press tab after selecting)
Please provide reasoning why not:
Not applicable as this is a rezoning of private property.

6. Does this legislation seek to approve a contract resulting from an Invitation for Bid?

No(Press tab after selecting)

Not applicable as this is a rezoning of private property.

7. Does this legislation seek to approve a contract resulting from a Request for Proposal/Qualification (RFP/Q)?

No(Press tab after selecting)



File #: 260605

RESOLUTION NO. 260605

Sponsor: Director of City Planning and Development Department

RESOLUTION - Approving an amendment to the Country Club/Waldo Area Plan on about 0.8 acres generally located at the northeast corner of Ward Parkway Plaza and West 81st Street by changing the recommended land use from commercial/residential low density to mixed-use neighborhood. (CD-CPC-2026-00059).

WHEREAS, on February 22, 2018, the City Council by Resolution No. 180106 adopted the Country Club/Waldo Area Plan; and

WHEREAS, after further review it has been deemed appropriate to amend the Country Club/Waldo Area Plan as it affects that area of approximately 0.8 acres generally located at the northeast corner of Ward Parkway Plaza and West 81st Street by changing the recommended land use from commercial/residential low density to mixed-use neighborhood; and

WHEREAS, the City Plan Commission considered this amendment to the Country Club/Waldo Area Plan on June 3, 2026; and

WHEREAS, after all interested persons were given an opportunity to present testimony, the City Plan Commission did, on June 3, 2026, recommend approval of the proposed amendment to Country Club/Waldo Area Plan to the City Council; NOW, THEREFORE,

BE IT RESOLVED BY THE COUNCIL OF KANSAS CITY:

Section A. That the Country Club/Waldo Area Plan is hereby amended as to the Proposed Land Use Plan and Map for that area 0.8 acres generally located at the northeast corner of Ward Parkway Plaza and West 81st Street by changing the recommended land use from commercial/residential low density to mixed-use neighborhood.

Section B. That the amendment to the Country Club/Waldo Area Plan is consistent and complies with the KC Spirit Playbook, adopted on April 20, 2023, by Resolution No. 230257, and is adopted as a supplement to the KC Spirit Playbook.

Section C. That the Council finds and declares that before taking any action on the proposed amendment hereinabove, all public notices have been given and hearings have been held as required by law.

..end



City of Kansas City, Missouri

Docket Memo

Ordinance/Resolution #: 260605

Submitted Department/Preparer: City Planning

Revised 01/30/25

Docket memos are required on all ordinances initiated by a Department Director. More information can be found in [Administrative Regulation \(AR\) 4-1](#).

Executive Summary

Approving an amendment to the Country Club/Waldo Area Plan on about 0.8 acres generally located at the northeast corner of Ward Parkway Plaza and West 81st Street by changing the recommended land use from commercial/residential low density to mixed-use neighborhood. (CD-CPC-2026-00059).

Discussion

This area plan amendment is companion to the rezoning case (CD-CPC-2026-00053) for the rezoning of approximately 0.8 acres generally located at 8035 Ward Parkway Plz to allow for the expansion of a parking lot. The subject property is split zoned and there are corresponding split area plan future land use recommendations. The amendment will make the future land use recommendation entirely mixed-use neighborhood for this site.

CPC recommended approval.

Fiscal Impact

1. Is this legislation included in the adopted budget? Yes No
2. What is the funding source?
Not applicable as this is a resolution to amend and area plan future land use recommendation.
3. How does the legislation affect the current fiscal year?
Not applicable as this is a resolution to amend and area plan future land use recommendation.

4. Does the legislation have a fiscal impact in future fiscal years? Please notate the difference between one-time and recurring costs.
Not applicable as this is a resolution to amend and area plan future land use recommendation.
5. Does the legislation generate revenue, leverage outside funding, or deliver a return on investment?
Not applicable as this is a resolution to amend and area plan future land use recommendation.

Office of Management and Budget Review

(OMB Staff will complete this section.)

1. This legislation is supported by the general fund. Yes No
2. This fund has a structural imbalance. Yes No
3. Account string has been verified/confirmed. Yes No

Additional Discussion (if needed)

Click or tap here to enter text.

Citywide Business Plan (CWBP) Impact

1. View the [Adopted 2025-2029 Citywide Business Plan](#)
2. Which CWBP goal is most impacted by this legislation?
Inclusive Growth and Development (Press tab after selecting.)
3. Which objectives are impacted by this legislation (select all that apply):
 - Develop strategies focusing on areas traditionally underserved by economic development and redevelopment efforts.
 - Ensure quality, lasting development throughout the City; and continuing to grow the economy and the population of Kansas City in all areas.
 - Increase and support local workforce development and small and locally owned businesses.
 - Create a more efficient, solutions-oriented environment, making it easier to operate within the City.
 - Implement an economic development and tourism strategy to attract major investment and visitors.
 -

Prior Legislation

None

Service Level Impacts

None

Staff Recommendation

City Planning and Development

Select One: Sponsored
 Directive: Res/Ord # [Click to enter Res/Ord. No.](#)

Select One: Recommend
 Do Not Recommend
 Not Applicable

Recommended approval by staff and City Plan Commission.

Other Impacts

1. What will be the potential health impacts to any affected groups?
Not applicable as this is a resolution to amend and area plan future land use recommendation.
2. How have those groups been engaged and involved in the development of this ordinance?
Not applicable as this is a resolution to amend and area plan future land use recommendation.
3. How does this legislation contribute to a sustainable Kansas City?
Not applicable as this is a resolution to amend and area plan future land use recommendation.
4. Does this legislation create or preserve new housing units?
No (Press tab after selecting)

Not applicable as this is a resolution to amend and area plan future land use recommendation.

Click or tap here to enter text.

5. Department staff certifies the submission of any application Affirmative Action Plans or Certificates of Compliance, Contractor Utilization Plans (CUPs), and Letters of Intent to Subcontract (LOIs) to CREO prior to, or simultaneously with, the legislation entry request in Legistar.

No - CREO's review is not applicable (Press tab after selecting)

Please provide reasoning why not:

Not applicable as this is a resolution to amend and area plan future land use recommendation.

6. Does this legislation seek to approve a contract resulting from an Invitation for Bid?

No(Press tab after selecting)

Not applicable as this is a resolution to amend and area plan future land use recommendation.

7. Does this legislation seek to approve a contract resulting from a Request for Proposal/Qualification (RFP/Q)?

No(Press tab after selecting)



File #: 260606

ORDINANCE NO. 260606

Sponsor: Director of City Planning and Development Department

Vacating approximately 60,501 square feet of public right-of-way for Michigan Avenue, East 17th Street, and Euclid Avenue in District MPD generally located between Woodland Avenue and Brooklyn Avenue and directing the City Clerk to record certain documents. (CD-ROW-2026-00004)

BE IT ORDAINED BY THE COUNCIL OF KANSAS CITY:

Section 1. That the Council of Kansas City does hereby find and declare that on the 25th day of January, 2026 a petition was filed with the City Clerk of Kansas City by Lamin Nyang for the vacation of all of the rights-of-way of Michigan Avenue, E. 17th Street and Euclid Avenue lying adjacent to Tract "D", Parade Plaza Resurvey, a subdivision in Kansas City, Jackson County, Missouri, according to the recorded plat thereof giving the distinct description of Michigan Avenue, East 17th Street, and Euclid Avenue to be vacated, and also the names of the persons and corporations owning or claiming to own the property fronting thereon, and that the consent of the persons and corporations owning or claiming to own three-fourths of the front feet of the property immediately adjoining said streets has been obtained in writing, that said consent has been acknowledged as deeds are acknowledged, and was duly filed with the petition for such vacation in the City Clerk's Office.

Section 2. That the Council finds that the City Plan Commission has duly endorsed its approval of this Ordinance hereon.

Section 3. That the Council finds that no private rights will be unreasonably injured or endangered by this vacation and that the public will suffer no unreasonable loss or inconvenience thereby.

Section 4. That all of the rights-of-way of Michigan Avenue, E. 17th Street and Euclid Avenue lying adjacent to Tract "D", Parade Plaza Resurvey, a subdivision in Kansas City, Jackson County, Missouri, according to the recorded plat thereof be and the same is hereby vacated and subject to the following conditions:

1. AT&T will issue project to retire in place all existing copper facilities in the described area, as stated in the AT&T Utility/Agency Comment Sheet for Vacations.
2. The applicant shall relocate facilities, as required by Spectrum Charter. Spectrum Charter will remove the coax once there are no tenants impacted, the fiber will need to be located that runs through the center of the project and will be reimbursable to Spectrum for that cost.
3. The street lighting equipment must be returned to the city.
4. The applicant shall be required to secure permits to relocate water, sewer, and storm facilities from area to be vacated.
5. The applicant shall retain all utility easements and protect facilities required by Evergy.
6. The applicant shall relocate facilities if found to be in conflict at the owners' expense as required by Evergy.

Section 5. That the City Clerk of Kansas City, Missouri, be and she is hereby authorized and directed to acknowledge this ordinance as deeds are acknowledged, and to cause this ordinance and the consent of property owners hereinbefore referred to, to be filed for record in the Recorder's Office in Jackson County, Missouri.

Section 6. All Ordinances or parts of Ordinances in conflict with this Ordinance are, in so much as they conflict with this Ordinance, hereby repealed.

..end

Approved as to form:

Recorder

By _____
Deputy



City of Kansas City, Missouri

Docket Memo

Ordinance/Resolution #: 260606

Submitted Department/Preparer: City Planning

Revised 01/30/25

Docket memos are required on all ordinances initiated by a Department Director. More information can be found in [Administrative Regulation \(AR\) 4-1](#).

Executive Summary

Approving a vacation of public right-of-way for approximately 60,000 square feet of Michigan Avenue, E 17th Street, and Euclid Avenue within the Parade Park MPD, generally located north of E 18th Street between Woodland Avenue and Brooklyn Avenue. (CD-ROW-2026-00004)

Discussion

The public right-of-way section proposed to be vacated is part of the Parade Park MPD. The previously approved MPD proposes to reconnect the street grid. The new rights-of-way will be public, with Michigan Avenue extending north to proposed E 17th Street and Euclid Avenue extending north to Truman Road. E 17th Street will extend from the east to the west throughout the entire development.

The right-of-way vacation is for 60,501 square feet of right-of-way and will allow for the development of Phase 1 for Parade Park.

There are water, sewer, and stormwater facilities in the area to be vacated. Additionally, Evergy, AT&T, and Kansas City Public Works Department have utilities within the area to be vacated. All applicable agencies have added conditions to this proposal.

The City Plan Commission heard this request on June 17, 2025 and recommended approval, with conditions. No public testimony was provided during the hearing.

Fiscal Impact

1. Is this legislation included in the adopted budget? Yes No
2. What is the funding source?

Not applicable, as this is an ordinance authorizing the vacation of right-of-way.

3. How does the legislation affect the current fiscal year?

Not applicable, as this is an ordinance authorizing the vacation of right-of-way.

4. Does the legislation have a fiscal impact in future fiscal years? Please notate the difference between one-time and recurring costs.

Not applicable, as this is an ordinance authorizing the vacation of right-of-way.

5. Does the legislation generate revenue, leverage outside funding, or deliver a return on investment?

Not applicable, as this is an ordinance authorizing the vacation of right-of-way.

Office of Management and Budget Review

(OMB Staff will complete this section.)

- | | | |
|---|------------------------------|--|
| 1. This legislation is supported by the general fund. | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |
| 2. This fund has a structural imbalance. | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |
| 3. Account string has been verified/confirmed. | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |

Additional Discussion (if needed)

Click or tap here to enter text.

Citywide Business Plan (CWBP) Impact

1. View the [Adopted 2025-2029 Citywide Business Plan](#)
2. Which CWBP goal is most impacted by this legislation?
Inclusive Growth and Development (Press tab after selecting.)
3. Which objectives are impacted by this legislation (select all that apply):
 - Develop strategies focusing on areas traditionally underserved by economic development and redevelopment efforts.
 - Ensure quality, lasting development throughout the City; and continuing to grow the economy and the population of Kansas City in all areas.
 - Increase and support local workforce development and small and locally owned businesses.
 - Create a more efficient, solutions-oriented environment, making it easier to operate within the City.

- Implement an economic development and tourism strategy to attract major investment and visitors.
-

Prior Legislation

CD-CPC-2026-00096 - Approved a rezoning and preliminary development plan serving as a preliminary plat from district R-1.5 and M1-5 to district MPD for approximately 1,084 units. Ordinance No. 240822 approved September 26, 2024.

Service Level Impacts

Not applicable as this is a zoning ordinance authorizing the vacation of public right-of-way.

Staff Recommendation

Click or tap here to enter department.

Select One: Sponsored
 Directive: Res/Ord # [Click to enter Res/Ord. No.](#)

Select One: Recommend
 Do Not Recommend
 Not Applicable

City staff and City Plan Commission recommend approval, subject to conditions of this ordinance.

Other Impacts

1. What will be the potential health impacts to any affected groups?
Not applicable, as this is an ordinance authorizing the vacation of right-of-way.
2. How have those groups been engaged and involved in the development of this ordinance?
Not applicable, as this is an ordinance authorizing the vacation of right-of-way.
3. How does this legislation contribute to a sustainable Kansas City?

Not applicable, as this is an ordinance authorizing the vacation of right-of-way.

4. Does this legislation create or preserve new housing units?
No (Press tab after selecting)

Click or tap here to enter text.
Click or tap here to enter text.

5. Department staff certifies the submission of any application Affirmative Action Plans or Certificates of Compliance, Contractor Utilization Plans (CUPs), and Letters of Intent to Subcontract (LOIs) to CREO prior to, or simultaneously with, the legislation entry request in Legistar.

No - CREO's review is not applicable (Press tab after selecting)
Please provide reasoning why not:
Click or tap here to enter text.

6. Does this legislation seek to approve a contract resulting from an Invitation for Bid?

No(Press tab after selecting)

Click or tap here to enter text.

7. Does this legislation seek to approve a contract resulting from a Request for Proposal/Qualification (RFP/Q)?
No(Press tab after selecting)



File #: 260611

ORDINANCE NO. 260611

Sponsor: Director of City Planning and Development Department

Vacating an approximately 6,000-square-foot alley in Districts R-0.5/B1-1/M1-5 generally located 150 feet east of Lydia Avenue, between East 10th Street and East 11th Street and directing the City Clerk to record certain documents. (CD-ROW-2025-00023)

BE IT ORDAINED BY THE COUNCIL OF KANSAS CITY:

Section 1. That the Council of Kansas City does hereby find and declare that on the twelfth day of June, 2025, a petition was filed with the City Clerk of Kansas City by Tara Green for the vacation of all of an alley in Block B, Pratt's Addition, recorded in Book 2, Page 25 at the Jackson County Recorder of Deeds office, and Block 1, Gates and Kendall's Second Addition, recorded in Book 12, Page 64 at said Recorder of Deeds office, both subdivisions in the City of Kansas City, Jackson County, Missouri, being 15 feet wide, lying between the South line of East 10th Street, as now established, and the North line of East 11th Street, as now established, giving the distinct description of the alley to be vacated, and also the names of the persons and corporations owning or claiming to own the property fronting thereon, and that the consent of the persons and corporations owning or claiming to own three-fourths of the front feet of the property immediately adjoining said alley has been obtained in writing, that said consent has been acknowledged as deeds are acknowledged, and was duly filed with the petition for such vacation in the City Clerk's Office.

Section 2. That the Council finds that the City Plan Commission has duly endorsed its approval of this Ordinance hereon.

Section 3. That the Council finds that no private rights will be unreasonably injured or endangered by this vacation and that the public will suffer no unreasonable loss or inconvenience thereby.

Section 4. That all of an alley in Block B, Pratt's Addition, recorded in Book 2, Page 25 at the Jackson County Recorder of Deeds office, and Block 1, Gates and Kendall's Second Addition, recorded in Book 12, Page 64 at said Recorder of Deeds office, both subdivisions in the City of Kansas City, Jackson County, Missouri, being 15 feet wide, lying between the South line of East 10th Street, as now established, and the North line of East 11th Street, as now established be and the same is hereby vacated, and subject to the following conditions:

1. The applicant shall provide a private access easement for the southern portion of the alley for the applicant and Lincoln University and shall provide a private access easement for the northern portion of the alley for Jazz Hill Apartments LP and Hamilton Sandra L Trustee.
2. The applicant shall retain all utility easements and protect facilities required by AT&T.
3. The applicant shall retain all utility easements and protect facilities required by Spectrum Charter.
4. The applicant shall retain all utility easements and protect facilities required by Water Services Department of Kansas City, Missouri.
5. The applicant shall retain all utility easements and protect facilities required by Evergy.
6. The applicant record a private easement for a gate with the applicable property owners.

Section 5. That the City Clerk of Kansas City, Missouri, be and she is hereby authorized and directed to acknowledge this ordinance as deeds are acknowledged, and to cause this ordinance and the consent of property owners hereinbefore referred to, to be filed for record in the Recorder's Office in Jackson County, Missouri.

..end

Approved as to form:

By _____
Deputy



City of Kansas City, Missouri

Docket Memo

Ordinance/Resolution #: 260611

Submitted Department/Preparer: City Planning

Revised 6/10/24

Docket memos are required on all ordinances initiated by a Department Director. More information can be found in [Administrative Regulation \(AR\) 4-1](#).

Executive Summary

Vacating an approximately 6,000 square foot alley in Zoning Districts R-0.5/B1-1/M1-5 (Residential, Commercial, Manufacturing) generally located 150 feet east of Lydia Avenue, between East 10th Street and East 11th Street and directing the City Clerk to record certain documents. (CD-ROW-2025-00023).

Discussion

This vacation application proposes to vacate an improved 15-foot-wide alley, bound by East 10th Street to the north, East 11th Street to the south, Lydia Avenue to the west and Paseo to the east. The proposed alley vacation is approximately 15 feet in width and 300 feet in length. The proposed 6,000 square foot vacation is a request from Tara Green and Brian Adriano, property owners of 1016 Paseo, to make the alley private and allow the installation of a gate across the alley for safety. After approval of the vacation, a swing yelp gate is proposed to be installed at the south entrance of the alley and a rolling gate is proposed at the northern boundary of the 1016 Paseo property for additional safety. These improvements cannot be completed within the public right-of-way. The applicant stated a need for additional safety for the properties abutting the alley. Staff recommended a vacation at this location as one option moving forward since the Public Works Department does not allow private property owners to install gates in public right-of-way.

There are currently two property owners (1000 Paseo and 1016 Paseo) that only have vehicular access to their site through the alley, requiring the alley remain to allow an approved form of access to the site. Staff has added a condition to record a cross-access easement at the time of recording for the vacation of right-of-way to maintain access (Condition No. 5).

Staff has concerns regarding the recording of the cross-access easement; if one cannot be recorded, the vacation of right-of-way will be deemed null and void. This will ensure that all property owners maintain vehicular access to the properties. Staff has included the following language: "should the public access easement be

violated, terminated, or abandoned the vacation will be null and void.” The city would then have to pay for the right-of-way through condemnation.

There are public and private utilities located with the public right-of-way. The Water Department has a sewer main within the full length of the alley. The Water Department requires that the applicant retain an easement or relocate facilities at the applicant’s expense. AT&T, Spectrum Charter and Evergy also have utilities within the right-of-way which will also require easements be retained or the utilities be relocated.

There was no public testimony at the City Plan Commission.

Staff Recommendation: Denial

CPC Recommendation: Approval with Conditions (3-1)

Fiscal Impact

1. Is this legislation included in the adopted budget? Yes No

2. What is the funding source?
Not applicable as this is an ordinance authorizing the vacation of public right-of-way.

3. How does the legislation affect the current fiscal year?
Not applicable as this is an ordinance authorizing the vacation of public right-of-way.

4. Does the legislation have a fiscal impact in future fiscal years? Please notate the difference between one-time and recurring costs.
Not applicable as this is an ordinance authorizing the vacation of public right-of-way.

5. Does the legislation generate revenue, leverage outside funding, or deliver a return on investment?
Not applicable as this is an ordinance authorizing the vacation of public right-of-way.

Office of Management and Budget Review

(OMB Staff will complete this section.)

1. This legislation is supported by the general fund. Yes No

2. This fund has a structural imbalance. Yes No

3. Account string has been verified/confirmed. Yes No

Additional Discussion (if needed)

This legislation has no funding attached to it.

Citywide Business Plan (CWBP) Impact

1. View the [Adopted 2025-2029 Citywide Business Plan](#)
2. Which CWBP goal is most impacted by this legislation?
Housing and Healthy Communities (Press tab after selecting.)
3. Which objectives are impacted by this legislation (select all that apply):
 - Utilize planning approaches in neighborhoods to reduce blight, ensure sustainable housing, and improve resident wellbeing and cultural diversity.
 - Maintain and increase affordable housing supply to meet the demands of a diverse population.
 - Address the various needs of the City's most vulnerable population by working to reduce disparities.
 - Foster an inclusive environment and regional approach to spur innovative solutions to housing challenges.
 - Ensure all residents have safe, accessible, quality housing by reducing barriers.
 - Protect and promote healthy, active amenities such as parks and trails, play spaces, and green spaces.

Prior Legislation

There is no previous legislation for this ordinance.

Service Level Impacts

Not applicable as this is an ordinance authorizing the vacation of public right-of-way.

Other Impacts

1. What will be the potential health impacts to any affected groups?
Not applicable as this is an ordinance authorizing the vacation of public right-of-way.

2. How have those groups been engaged and involved in the development of this ordinance?

Not applicable as this is an ordinance authorizing the vacation of public right-of-way.

3. How does this legislation contribute to a sustainable Kansas City?

Not applicable as this is an ordinance authorizing the vacation of public right-of-way.

4. Does this legislation create or preserve new housing units?

No (Press tab after selecting)

Not applicable as this is an ordinance authorizing the vacation of public right-of-way.

[Click or tap here to enter text.](#)

5. Department staff certifies the submission of any application Affirmative Action Plans or Certificates of Compliance, Contractor Utilization Plans (CUPs), and Letters of Intent to Subcontract (LOIs) to CREO prior to, or simultaneously with, the legislation entry request in Legistar.

No - CREO's review is not applicable (Press tab after selecting)

Please provide reasoning why not:

Not applicable as this is an ordinance authorizing the vacation of public right-of-way.

6. Does this legislation seek to approve a contract resulting from an Invitation for Bid?

No(Press tab after selecting)

Not applicable as this is an ordinance authorizing the vacation of public right-of-way.

7. Does this legislation seek to approve a contract resulting from a Request for Proposal/Qualification (RFP/Q)?

No(Press tab after selecting)



File #: 260376

ORDINANCE NO. 260376

Sponsor: Director of City Planning and Development Department

Amending Chapter 88, the Zoning and Development Code, by repealing Section 88-285, Westport Overlay District, and enacting in lieu thereof a new section of like number and subject matter for the purpose of amending allowed uses within the Westport Overlay District and creating standards for drive-through facilities. (CD-CPC-2026-00025)

WHEREAS, major amendments to overlay district regulations, including restrictions to allowed uses and changes to design regulation requirements, must be reviewed and approved in accordance with the procedures of 88-515; and

WHEREAS, an application to amend the uses and design regulations for the Westport Overlay District was filed by 706 Westport Road LLC, a landowner within the overlay district, and reviewed in accordance with 88-515; NOW, THEREFORE,

BE IT ORDAINED BY THE COUNCIL OF KANSAS CITY:

Section 1. That Chapter 88, the Zoning and Development Code, is hereby amended by repealing Section 88-285, Westport Overlay District, and enacting in lieu thereof a new section of like number and subject matter for the purpose of amending allowed uses within the Westport Overlay District and creating standards for drive-through facilities, said section to read as follows:

88-285 - WESTPORT OVERLAY DISTRICT

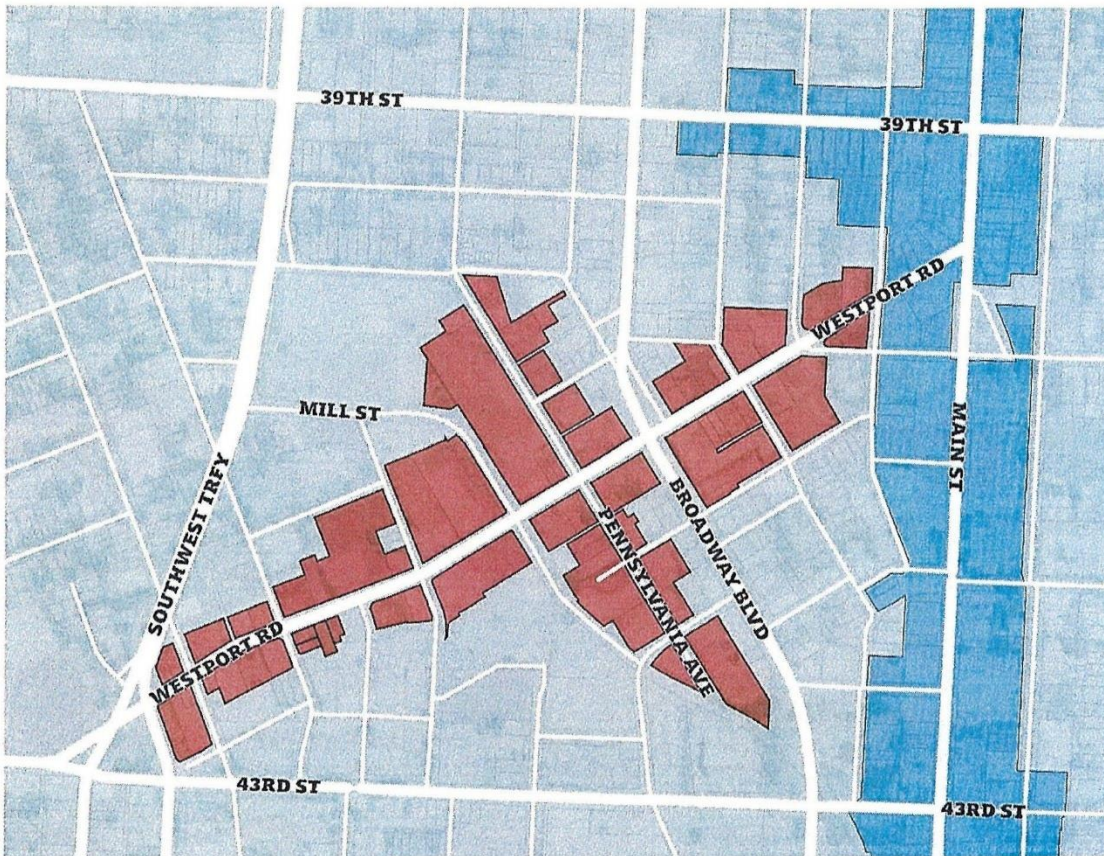
88-285-01 INTRODUCTION

The following regulations create development and site design standards that promote the recommendations outlined in the Westport District Master Plan. The Westport Overlay aims to provide a cohesive development pattern along Westport Road and Pennsylvania Avenue, the primary pedestrian-oriented corridors in the Westport district. This overlay generally extends along Westport Road from Southwest Trafficway to the boundary of the MCO district, and along Pennsylvania from 39th Street to 43rd Street (Figure 1). The intent of the overlay district is to:

1. Protect and encourage smaller-scale, fine grain development that reinforces that distinct character of Westport.
2. Promote incremental growth to allow the district to evolve, while ensuring that future development is compatible with the surrounding context.

3. Promote a mix of pedestrian-oriented uses that are compatible with the Westport Plan's vision and goals.
4. Strengthen the active, street-front development pattern to improve the public realm and enhance access to the district.
5. Enhance public spaces within Westport to further foster community and support businesses.
6. Manage the impact of parking facilities to enhance accessibility, while understating the prominence of lots and garages along the streetscape.
7. Celebrate the history of Westport by promoting walkable, human-scaled development patterns.
8. Promote high-quality development that enhances the shared value of Westport.

Figure 1. Westport Overlay District Boundary



88-285-02 ALLOWED USES

1. The standards of this article apply to all development in the Westport Overlay district. This document establishes the development standards that vary from the underlying base zoning for the properties in the Westport Overlay District. All provisions described below as regulatory in nature have the same force and effect as, but are variations from, the standards set forth in Chapter 88 of the Zoning and Development Code of Kansas City, Missouri.
2. If provisions of this overlay district are inconsistent with Chapter 88, the provisions of this overlay district shall apply.
3. If provisions of this overlay district are inconsistent with a Historic Overlay District, then the provisions of the Historic Overlay District shall apply.
4. Existing MPD and UR districts are exempt from the standards of this document. However, when new MPD or UR plans are adopted the standards of this document shall be met.
5. Buildings listed on the Kansas City and/or National Register of Historic Places, and following the Secretary of the Interior's Standards through the National Parks Service, shall be exempt from the Lot and Building Standards, Architectural Materials, Façade Articulation and Composition and Transparency standards of this overlay. A letter from the Historic Preservation Commission is required at the time of Application submittal to ensure the building meets Secretary of Interior standards.
6. Other than as set forth below, the underlying zoning and the regulations and standards included in the Zoning and Development Code, Chapter 88, prescribed for the areas rezoned to this overlay district shall remain unchanged and shall continue to apply.
 - a. **NEW DEVELOPMENT.**
Full compliance with this article applies to all new buildings constructed within this district.
 - b. **ENLARGEMENTS AND EXPANSIONS.**
Full compliance with this article applies only to the enlargement or expansion area. Enlargements or expansions must be reviewed and approved by the City Planning and Development Department in accordance with the required entitlement process.
 - c. **FAÇADE CHANGES.**
Compliance with this article applies to façade changes to existing buildings.
 - d. **CHANGE OF USE OR OCCUPANCY.**
Compliance with use standards apply whenever the use or occupancy of a property changes.

- e. SIGNAGE.
Compliance with signage standards apply when a permit is required.

88-285-02-A TABLE OF ALLOWED USES

Use categories and general uses have been established for principal uses of land and buildings. Table 1 indicates permitted uses (■) subject to general district and building development standards, special uses (S) subject to the discretionary review process, prohibited uses (-), and additional use-specific standards, applicable to all underlying zoning districts in the overlay district.

Table 1: Allowed Uses		
	All Underlying Districts	Additional Use Standards
Residential		
Household Living		
» Detached houses	■	88-120-03-H.3
» In any other residential building type	■	88-323
» In mixed-use building	■	
Group Living	■	
Civic/Institutional		
Bicycle Sharing Facilities	■	88-322
Club, Lodge, or Fraternal Organization	■	
College/University	■	
Day Care		
» Home-based (1—5)	■	
» Family (up to 10)	■	
» Group (up to 20)	■	
» Center (21+)	■	
Detention and Correctional Facilities	-	
Halfway House	-	
Hospital	■	
Library/Museum/Cultural Exhibit	■	
Park/Recreation	■	
Religious Assembly	■	
Safety Service		
» Fire station	■	
» Police station	■	
» Ambulance service	■	
Table 1: Allowed Uses		
	All Underlying Districts	Additional Use Standards
School	■	

Utilities and Services (except as noted below)		
» Basic, minor	S	88-323
Commercial		
Adult Business	-	
» Adult media store	-	
» Adult motion picture theater	-	
» Sex shop	-	
Animal Service		
» Sales and grooming	■	88-315
» Shelter or boarding	■	88-315
» Stable	S	88-315
» Veterinary	■	88-315
Artist Work or Sales Space	■	
Building Maintenance Service	■	
Business Equipment Sales and Service	■	
Business Support Service (except as noted below)	■	
» Day labor employment agency	-	
Communications Services Establishments	■	
Drive-Through Facility	S	88-340, 88-285-05-F
Eating and Drinking Establishments (except as noted below)	■	
» Tavern or nightclub	■	
Entertainment Venues and Spectator Sports		
» Indoor small venue (1—149 capacity)	■	
» Indoor medium venue (150—499 capacity)	■	
» Indoor large venue (500+ capacity)	■	
» Outdoor (all sizes)	■	Section 5-B
Financial Services (except as noted below)	■	
» Pawn shop	-	
» Short-term loan establishment	-	
Food and Beverage Retail Sales	■	
Funeral and Interment Service		
» Cemetery/columbarium/mausoleum	■	88-345
» Cremating	■	88-345-02
» Undertaking	-	
Gasoline and Fuel Sales	-	
Lodging		
Table 1: Allowed Uses		
	All Underlying Districts	Additional Use Standards
» Bed and Breakfast	■	88-320

» Hotel/motel	■	88-323
» Recreational vehicle park	-	
Mobile Vendor Park	■	88-358
Office, Administrative, Professional or General	■	
Office, Medical	■	
» Blood/plasma center	-	
Parking, Accessory	■	88-323; 88-285-05-C
Parking, Non-accessory	■	88-323; 88-285-05-C
Personal Improvement Service	■	
Repair or Laundry Service, Consumer	■	
Research Service	■	
Retail Sales	■	
» Outdoor Retail Sales Class A	■	88-366-01
» Outdoor Retail Sales - Class B	■	88-366-02
Reuse of officially designated historic landmark (local or national) if proposed use is not permitted	■	
Sports and Recreation, Participant		
» Indoor	■	
» Outdoor	■	88-285-05-B
Vehicle Sales and Service		
» Car wash/cleaning service	-	
» Heavy equipment sales/rental	-	
» Light equipment sales/rental (indoor)	-	
» Light equipment sales/rental (outdoor)	-	
» Motor vehicle repair, limited	-	
» Motor vehicle repair, general	-	
» Vehicle storage/towing	-	
INDUSTRIAL		
Manufacturing, Production and Industrial Service		
» Artisan	■	88-318
» Limited	S	
» General	-	
» Intensive	-	
Mining/Quarrying	-	
Recycling Service		
» Limited	S	88-323
Table 1: Allowed Uses		
	All Underlying Districts	Additional Use Standards
» General	-	

Self-Storage Warehouse	-	
Warehousing, Wholesaling, Storage, Freight Movement	-	
» Indoor	-	
» Outdoor	-	
» Demolition debris landfill	-	
AGRICULTURAL		
Agriculture, Animal	■	*Chapter 14
Agriculture, Crop	■	88-312
Agriculture, Urban		
» Home Garden	■	88-312
» Community Garden	■	88-312
» Community Supported Agriculture (CSA)	■	88-312
ACCESSORY SERVICES		
Wireless Communication Facility		
» Freestanding	■	88-323; 88-385
» Co-located antenna	■	88-385

88-285-03 LOT AND BUILDING STANDARDS

88-285-03-A GENERAL STANDARDS

The following Lot and Building Standards apply to all new construction within the overlay district:

Table 2: Lot and Building Standards	
<i>Lot Size & Height [4]</i>	
Maximum Lot Size	2 acres
Maximum Height:	
0—50 feet from the front lot line on both Pennsylvania Avenue and Westport Road	3 stories
50+ feet from front lot line on both Pennsylvania Avenue and Westport Road [3]	5 stories
For lots located on other streets:	5 stories
<i>Frontage and Setbacks</i>	
Minimum Building Frontage on Westport or Pennsylvania Avenue [1]	85%
Maximum Front Yard Setback [1]	0 feet
Maximum Interior Side Setback [1] [2]	Max setback: 10 feet
Maximum Street-Side Setback [1]	Max setback: 10 feet
Minimum Rear Yard Setback	0 feet
Abutting a non-residential district	0 feet
Abutting residential district	15 feet

Abutting an alley (any zoning district)	0 feet
---	--------

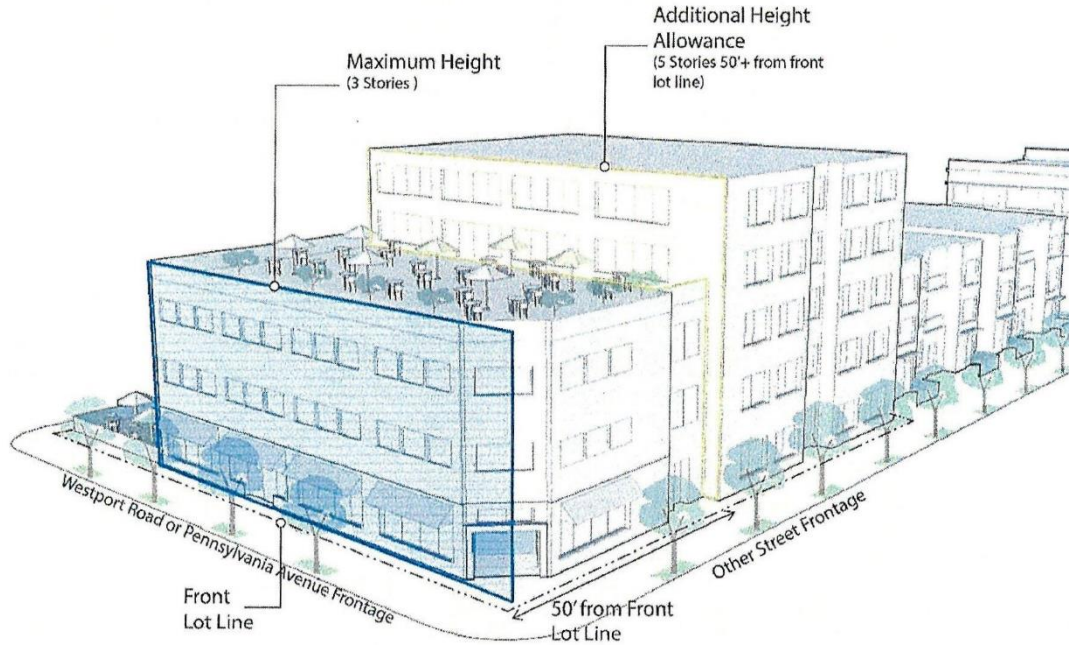
- [1] Minimum Building Frontage, Front and Side Yard Setbacks may be expanded to accommodate usable open space according to Section 88-285-05-B.
- [2] Non-street setbacks shall be as specified by the building code for each class of building.
- [3] Maximum building height may be altered according to Section 88-285-03-C.5.
- [4] For the purposes of this ordinance, height shall be measured from the highest elevation curb of the abutting street adjacent to the subject property.

88-285-03-B FRONTAGE AND SETBACK EXCEPTIONS

The following are exceptions to the frontage and setback limits in Table 2:

- 1. **ALL PROJECTIONS.**
Any projections over public rights-of-way, or any similar area designed for pedestrian circulation, shall be at least 8 feet above the grade, and in no case within 5 feet of any curb for a street, through access drive or other area designed for vehicles. All projections shall receive approval from the appropriate entity prior to installation.
- 2. **ENTRY FEATURES.**
Primary entry features such as porticos, stoops, or unenclosed porches may extend up to 6 feet into the required front setback. Entry features shall not encroach on any easement, encroachments must ensure a minimum of 10 feet of passable sidewalk width.
- 3. **USABLE OPEN SPACE FRONTAGE.**
Usable open space along the lot frontage, including patios, courtyards, outdoor recreational areas, and outdoor entertainment venues, shall conform to the site design standards in Section 5-2.
- 4. **MECHANICAL EQUIPMENT.**
Mechanical equipment shall be screened as required by Chapter 88 of the Zoning and Development Code.
- 5. **MULTIPLE BUILDINGS.**
Multiple buildings are allowed on one lot. The buildings shall meet the development requirements found in Chapter 88 of the Zoning and Development Code and receive approval through the proper entitlement.

Figure 2 - Maximum Height Allowances



88-285-03-C HEIGHT EXCEPTIONS

The following are exceptions to the height limits in Table 2:

1. **GENERALLY.**

Building elements integral to the design and construction of the building, such as parapet walls, false mansards, or other design elements essential to a quality appearance of the building may extend up to 6 feet above the roof deck of a flat roof.

2. **ARCHITECTURAL FEATURES.**

Architectural features such as chimneys, ornamental towers or spires, and similar accessory features that are less than 20% of the building footprint may extend up to 50% above the actual building height.

3. **MECHANICAL EQUIPMENT.**

Functional and mechanical equipment such as elevator bulkheads, cooling towers, smokestacks, roof vents or other equipment may be built up to their necessary height in accordance with building codes. Roof mounted mechanical equipment shall be property screened as required by 88-425-07 of the Zoning and Development Code.

4. **ACCESSORY STRUCTURES.**

Accessory site structures such as flag poles, monuments, water towers, may have a height limit of 50 feet, but shall be setback a distance of at least $\frac{1}{3}$ its height from the property line.

5. **PUBLIC PARKING ARRANGEMENT.**

The City may approve a height bonus of up to two additional stories with a

maximum height of 5 stories if at least 100 parking spaces or 20% of the parking spaces, whichever is greater is provided subject to an agreement between the Property Owner and the City. Parking is permitted by Special Use Permit subject to the provisions of Section 88-285-05-B of this Chapter.

88-285-04 BUILDING COMPOSITION STANDARDS

88-285-04-A. MATERIALS

1. PRIMARY MATERIALS.

Materials identified with a "PM" on Table 3 are Primary Materials and allowed on all stories of a structure.

2. SECONDARY MATERIALS.

Materials identified with a "SM" on Table 3 are Secondary Materials. Permitted secondary materials shall be used as accent material on the first story and shall not exceed 30% of the first story façade. Permitted secondary materials may be used on the second story and above of a structure or for the required building elements.

3. PROHIBITED MATERIALS.

Materials identified with an "-" on Table 3 are expressly prohibited.

4. PRESERVATION OF MATERIALS.

Preservation or restoration of original façade materials is desired in existing structures. Applied 'faux' façades or other not permitted non-original materials are not desired.

5. DETERMINATION OF SIMILAR MATERIALS.

When a specific material cannot be readily classified, the City Planning and Development Director is authorized to determine the most similar, thus most appropriate, material based on the following considerations:

- a. the appearance of the material;
- b. the durability of the material;
- c. the method of installing the material;
- d. the location of the material; and
- e. relevant information provided by the International Building Code.

6. EXCEPTIONS TO MATERIAL LIMITATIONS FOR STOREFRONTS.

Wood and metal may encompass more than 30% of a first-floor façade when used in a clearly articulated first-floor storefront system.

Table 3: Allowed Architectural Materials

Material	Front and Streetside	Side and Rear
----------	----------------------	---------------

Brick	PM	PM
Stone	PM	PM
Cast stone	PM	PM
Façade Glass [2]	SM	PM
Terra cotta	PM	PM
Tile	PM	PM
Concrete		
>> Cast-in-place concrete - smooth/no texture	-	SM
>> Cast-in-place concrete textured or altered	-	SM
>> Pre-cast concrete	-	SM
Stucco	SM	SM
Metal	SM	SM
Wood	SM	SM
Fiber cement		
>> Fiber cement panels	-	SM
>> Fiber cement clapboard siding	-	SM
Fiberglass replication	SM	SM
Concrete masonry unit	-	SM
Split faced block	-	SM
Glass block	-	SM
EIFS	-	SM
Electronic/Digital Façade Elements [1]	-	-

- [1] For the purposes of this ordinance, Electronic/Digital Façades are defined as an electronic/digitally illuminated façade surface exceeding 50% of any wall plane on a building, or 150 square feet, whichever is less.
- [2] For the purposes of this ordinance, first-floor and upper-floor windows complying with the transparency requirements of Table 4 are exempt from the maximum façade coverage area for secondary materials.

88-285-04-B. MASSING AND FAÇADE COMPOSITION

1. GENERAL STANDARDS.

Table 4 establishes design standards applying to the massing and façade composition of buildings fronting on Westport Road and/or Pennsylvania Avenue in this overlay.

Minimum First Story [1]	Upper Story Transparency	Upper Story Transparency	Wall Plane Limits	Blank Wall Limits
1 per 50'	60—90%	15—40%	80 linear feet; and 500 s.f. maximum	50 linear feet; and 500 s.f. maximum

[1] For corner buildings, any entrance feature located on the corner may count for the first-entry requirement for both sides. The second required entry feature may be located 75 feet from a corner entrance.

2. **COMPOSITION.**

Façade composition refers to the use of materials, fenestration and architectural details and ornamentation to add interest and uniqueness to buildings and activate or emphasize certain spaces around a building. In addition to the standards outlined in Table 4, the following must be met:

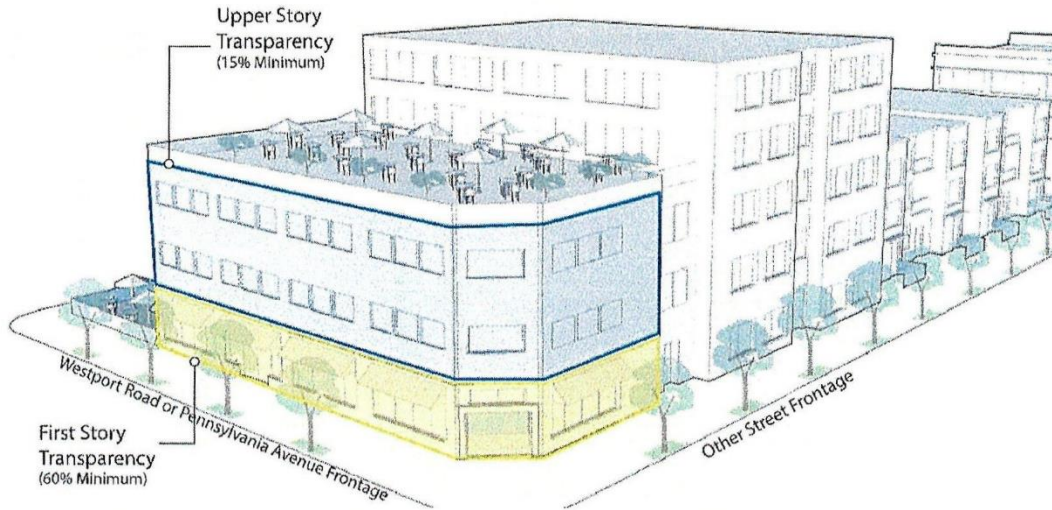
- a. Blank walls and wall planes shall be broken up clearly with elements that add architectural interest and variety, such as projections, recesses, offsets, windows, painted features, or blank window openings trimmed with frames, sills or lintels.
- b. Façade composition shall establish a base, body and top of building and shall distinguish different structural components with varying material and color.

3. **ENTRANCES.**

Entrances shall be clearly defined on all front façades with at least one of the following elements and be located at intervals specified in Table 4:

- a. A single-story architectural emphasis such as raised parapets or gables, canopies, porticos, overhangs, pediments, or arches;
- b. Transoms and/or display windows that frame and emphasize the entry;
- c. Architectural details such as tile work and moldings, columns, pilasters, or other similar material changes; OR
- d. Integral planters or wing walls associated with a recessed or projecting entry court or plaza that integrates more formal landscape and hardscape designs.

Figure 3 – Transparency



4. TRANSPARENCY.

Buildings shall have the percentage of openings specified in Table 4, based on the following:

- a. The transparent facade determined by Table 4 must be comprised of windows between 2 feet and 10 feet above the sidewalk or transparent doors that allow clear views of indoor space or product display areas.
- b. On corner lots, 60% first-floor transparency is required where building façades abut Westport Road.
- c. Façades fronting parkways and boulevards shall comply with the standards set forth in 88-323 "Boulevard and Parkway Standards."
- d. First-floor uses that are solely for residential purposes may reduce their transparency to 40%.
- e. Display windows that do not provide views into the interior of the building may be counted towards satisfying up to 50 percent of the minimum ground-level transparency requirements, provided that they are internally illuminated and are at least 3 feet in depth.
- f. No existing building shall be altered in such a way that reduces transparency below the required or existing amount.
- g. Illumination of windows, display windows, and primary entrances shall not have any effects of movement, flashing, scintillation, rolling, dissolving, fading or similar effects and shall be in compliance with Section 88-430 of the Zoning and Development Code.

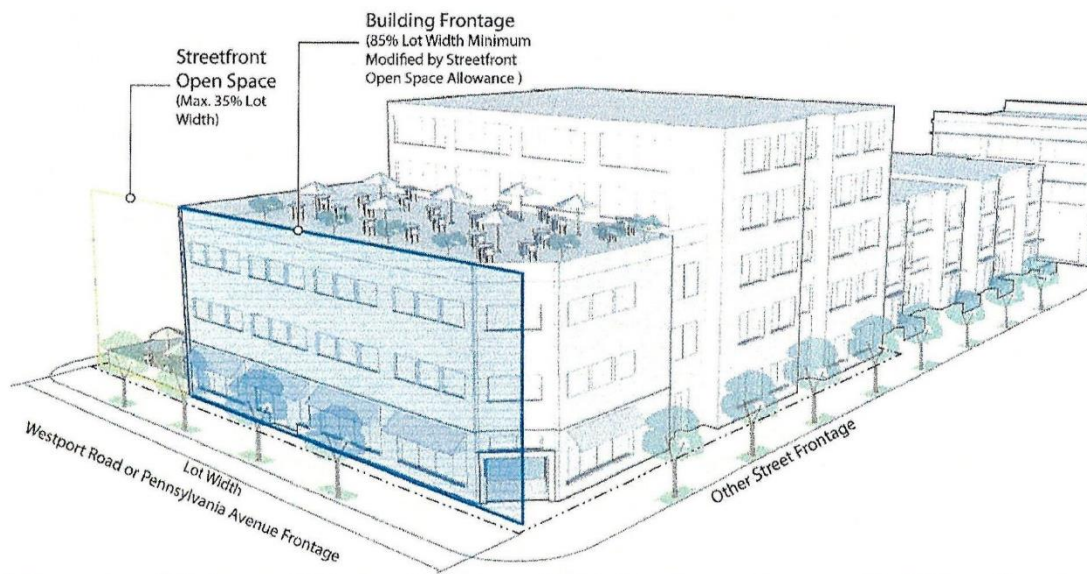
88-285-05 SITE DESIGN STANDARDS

88-285-05-A. BUILDING ACCESS

Primary entrances shall comply with the following standards:

1. **DIRECT ACCESS REQUIRED.**
Primary entrances shall provide direct public access from the adjacent rights-of-way in compliance with the Pedestrian Standards as stated in 88-450 of the Zoning and Development Code.
2. **CORNER LOTS.**
On corner lots, corner entrances are encouraged.

Figure 4 - Minimum Building Frontage and Usable Open Space



Buildings fronting Westport Road or Pennsylvania Avenue are required to occupy at least 85% of the lot's width, unless usable open space complying with Section 88-285-05-B is included. Usable open space may occupy up to 35% of the lot's width.

88-285-05-B. USABLE OPEN SPACES

Building frontage and setbacks in Table 2 may be modified to accommodate usable open space, including patios, courtyards, outdoor recreational areas, and Outdoor entertainment venues. Usable open spaces shall conform to the following standards:

1. **LOCATION.**
Open space must directly abut the streetscape.
2. **FRONTAGE EXTENT ALLOWANCE.**
Open space shall not exceed 35% of the total lot frontage along Westport Road and/or Pennsylvania Avenue.
3. **SIZE.**
Open space shall be at least 15 feet in all directions. Open space shall not exceed

20,000 square feet.

4. **ALLOWED USES.**

Open space may be used for dining, gathering, recreation, or similar uses. Open space shall not be used for outdoor storage. Outdoor uses shall be accessory to the principal use.

5. **ENCLOSURE.**

Open space may be enclosed with a permanent rail or wall constructed of metal, masonry, or wood, not exceeding 36 inches in height. Enclosed usable open spaces may include an entry along the perimeter to accommodate public access of at least 36 inches wide.

6. **ACTIVATION.**

Usable open space shall be designed as active social space. For the purposes of this ordinance, "Usable Open Space" shall not be interpreted as vehicular use areas such as parking or loading facilities, landscape areas, or stairways. At a minimum, open space shall be designed to include two of the following elements:

- a. Movable furniture;
- b. Interactive art installation;
- c. Planters with seasonal or ornamental plantings;
- d. Water element such as a fountain;
- e. Shade elements.

88-285-05-C. VEHICLE PARKING FACILITIES

Uses in the Westport Overlay are exempt from the parking standards of Section 88-420-06 of the Zoning and Development Code of Kansas City, Missouri. Where the expansion or addition of parking is allowed through special use permit, the following standards apply:

1. **UNDERSTATED PARKING REQUIRED.**

Parking facilities shall not directly abut Westport Road or Pennsylvania Avenue. Any off-street parking provided must be located behind, within, or under the building, unless determined otherwise by the Planning Director.

2. **PARKING GARAGES.**

Where permitted, tenant spaces shall be included on the ground level of parking garage façades fronting on Westport Road or Pennsylvania Avenue.

3. **ACCESS AND CIRCULATION.**

Access shall be taken from alternative streets or alleys where available. Permitted parking facilities shall not be accessed from Westport Road or Pennsylvania Avenue, except where determined otherwise by the Planning Director.

4. **PARKING MAXIMUMS.**

Where approved through special use permit, no use shall provide more than 20% of minimum required parking in Section 88-420-04 of the Zoning and Development Code. In addition, any parking permitted over 20% shall require mitigating potential impacts of more parking through one or more of the following strategies:

- a. Provide shared parking for other uses on the block or adjacent blocks.
- b. Design all parking areas over the minimum as dual-purpose space, such as plazas, playgrounds, event areas for regular use of the space during nonpeak times.
- c. Use alternative surface areas designed to infiltrate stormwater.
- d. Provide additional buffers and site open spaces to screen parking and provide more active usable outdoor spaces for people in relation to the streetscape, of at least a 10% increase in the open space or buffers and at least a 25% increase in the amount of landscape material required for the parking.

88-285-05-D. BICYCLE PARKING FACILITIES

Short-term and long-term bicycle parking is required according to Section 88-420-09 of the Zoning and Development Code of Kansas City, Missouri.

88-285-05-E. SCREENING, FENCING AND WALLS

1. **MECHANICAL/UTILITY EQUIPMENT.**

In addition to Section 88-425-08 of the Zoning and Development Code of Kansas City, Missouri) the following standards must be met:

- a. Dumpsters and ground level mechanical/utility equipment must be located in the rear yard or can be located in the side yard if setback 10 feet from Westport Road or Pennsylvania Avenue.
- b. Dumpsters shall not be visible from the public right-of-way.
- c. Access for dumpsters and mechanical/utility equipment may be shared with any access for required parking.

2. **FENCING AND WALLS.**

Fencing and walls within the overlay district shall comply with the following standards:

- a. No fence over 72 inches shall be erected on any lot.
- b. Per the Boulevard and Parkway Standards in Section 88-323, fencing on a boulevard must be of steel, iron, concrete, stone, or brick.

- c. Barbed-wire, razor wire, metal sheeting, wood picket, stockade, chain link fencing, or similar materials are prohibited fencing materials in the Overlay District.
- d. Within 20 feet of the Westport Road or Pennsylvania Avenue right-of-way lines:
 - i. Fencing shall meet or exceed 80 percent transparency.
 - ii. The finished side of the fence or wall shall face the adjacent property or the street.
 - iii. Fences used to enclose a vehicular use area shall be at minimum 36 inches in height, made of decorative wrought iron or other metal picket, and located within the required perimeter landscape buffer.
 - iv. Freestanding walls shall not exceed 36 inches in height. Fencing or a combination of fencing and a freestanding wall shall not exceed 72 inches in height.
 - v. Retaining walls adjacent to Westport Road or Pennsylvania Avenue shall not exceed 48 inches in height.
 - vi. Freestanding and retaining walls shall be constructed of brick, pre-cast concrete, cast-in-place concrete-textured, stone or cast stone.

88-285-05-F. DRIVE-THROUGH FACILITIES

Drive-through facilities are permitted subject to an approved Special Use Permit. Drive-through facilities shall meet the applicable standards of 88-340 and the following standards:

- 1. Drive-through facilities shall be utilized solely for customer pick-up of goods and shall not provide for on-site ordering.
- 2. Drive-through facilities shall be permitted only where vehicular traffic enters from Westport Road and exits onto a public street other than Westport Road. No drive-through facility shall be permitted to both enter from and exit onto the same street.
- 3. There shall be no more than one (1) drive-through lane and no more than one (1) drive-through service window on any lot.
- 4. Service windows shall not face a public right-of-way. Service windows shall be a minimum of 25 feet behind the front façade (nearest the public right-of-way) of the principal building.
- 5. There shall be no audio speakers or ordering devices and no menu board signs.
- 6. The principal pedestrian access to any building on the lot shall not cross the

drive- through lane.

7. Drive-through facilities shall not create new curb cuts off Westport Road.
8. All Special Use Permits for drive-through facilities shall specify the approved hours of operation during which such drive-through facility may be in operation.
9. All Special Use Permits for drive-through facilities shall be valid for a period not to exceed five (5) years from issuance.

88-285-06 SIGNS

88-285-06-A. SIGN TYPES & ALLOWANCES

All signage must receive approval of a sign permit, and shall comply with the following standards:

Table 5: Sign Types and Allowances		
Sign Type [1]	Number	Size
Wall Signs area	1 sign per tenant with exterior entrance (multi-tenant building) otherwise 3 signs per façade maximum	35% of façade maximum
Awning or Canopy Signs	As allowed by Code	30 s.f. maximum
Marquee Signs	1 per tenant	24 s.f. per face
Projecting Signs	1 per tenant [2]	30 s.f. maximum
Monument Signs	Prohibited, unless compliant with Section 88-285-06-B	
[1]	All signs located on ground level shall be indirectly or halo lit. Signs on the second story and above may be internally lit, indirectly or halo lit. Sign lighting shall not exceed 1-foot candle onto the public rights-of-way as measured from the property line.	
[2]	Multi-tenant buildings may combine projecting sign allowances into a single, multitenant sign. Multi-tenant projecting signs may not exceed the size maximum of 30 s.f.	

88-285-06-B MONUMENT SIGNS

1. Monument signs are prohibited, unless on a lot with a minimum of 100 feet of frontage and applies with at least one of the following criteria:
 - a. The lot is developed with an existing principal structure and is setback at least 30 feet from the property line adjacent to Westport Road;
 - b. The lot has an existing pole sign. The pole sign may be replaced with a monument sign;

- c. The sign is attached to or incorporated into a freestanding wall or retaining wall.
 - d. The site is an official local or national historic landmark or a contributing building within an official local or national historic district.
 - e. When attached to a wall or fence, Monument signs shall not project more than 3 inches from the face of the wall or fence.
2. When allowed, one monument sign is permitted per street frontage. When allowed Monument signs must meet the following standards:
- a. Shall not exceed 20 square feet in area and 4 feet in height.
 - b. Monument signs shall be set upon a solid base of material and constructed of primary materials matching the principal building.
 - c. Sign material shall consist of pin-mounted channel letters, die cut graphics, and/or engraved text.
 - d. The area surrounding the monument sign shall be landscaped.
 - e. Monument signs shall be setback in accordance with one of the following standards:
 - i. On interior lots, monument signs shall be set back a minimum of 5 feet from the property line.
 - ii. On corner lots, monument signs shall be set back a minimum of 10 feet from property line.
 - iii. When attached to a wall or fence, signs shall not extend above the top of the wall or fence.

88-285-06-C. PROJECTING SIGNS

Projecting signs shall comply with the standards as listed in Section 88-445-08-E of the Zoning and Development Code,

88-285-06-D. WALL SIGNS

Wall signs shall be permanently attached to the building and parallel to its surface, and shall comply with the following:

- 1. Wall signs shall be die cut and/or channel letter signs.
- 2. Signs located on the ground level of the building shall be pin-mounted.

3. Raceway-mounted channel letter signs are allowed on the second story and above. Raceways shall be painted or designed to match the material on which the sign is affixed.
4. Hand-painted wall signs are subject to administrative approval by the director of City Planning and Development. On the front or street-side façade of a building, hand-painted signs may not exceed 10 percent of the wall area and count as one wall sign per 88-285-06-A. Hand-painted signage located on a non-street side façade shall not exceed 50 percent of the façade area and shall be the only sign on that façade.

88-285-06-E. INCIDENTAL SIGNS

Incidental signs are permitted in the district, according to the standards of Chapter 88-445-08-G.

88-285-06-F. ROOF SIGNS

Supporting structure for a roof sign must comply with all applicable engineering and code requirements. Roof signs shall be die cut and/or channel letter signs. Supporting structures must consist of the fewest number of supporting members without embellishments. Roof signs are permitted on buildings if the top of the highest portion of the roof is at least 30 feet above grade. The maximum horizontal dimension of a roof sign may not exceed 50 percent of the width of the wall it most closely parallels or 20 feet, whichever is less. The maximum height of a roof sign and its supporting structure may not exceed 6 feet, measured from the elevation of top of the highest parapet to the top of the sign. Roof signs shall not be constructed of wood.

88-285-06-G. HISTORICAL SIGNS

Historical wall signs, hand-painted signs, neon signs, and projecting signs that advertise closed or off-site businesses may remain and shall not count toward any signage requirements if established more than 25 years from the date of application. Historical signs may be removed and reinstalled for restoration. Historical signs may be replicated if the new sign is the same size and material. Retention of historical signs must receive approval by the director of City Planning and Development. In no case shall a pylon sign be considered a historical sign.

88-285-06-H. NEON AND ELECTRONIC SIGNAGE

Animated neon signs may be permitted with administrative approval of the director of City Planning and Development. Electronics digital, and/or motorized signs, and outdoor advertising signs are prohibited within the district.

Section 2. That the Council finds and declares that before taking any action on the proposed amendment(s) hereinabove, all public notices and hearings required by law have been given and had.

..end

I hereby certify that as required by Chapter 88, Code of Ordinances, the forgoing ordinance was duly advertised and public hearings were held.

Sara Copeland, FAICP
Secretary, City Plan Commission

Approved as to form:

Sarah Baxter
Senior Associate City Attorney



City of Kansas City, Missouri

Docket Memo

Ordinance/Resolution #: 260376

Submitted Department/Preparer: City Planning

Revised 01/30/25

Docket memos are required on all ordinances initiated by a Department Director. More information can be found in [Administrative Regulation \(AR\) 4-1](#).

Executive Summary

A request to approve an amendment to the Westport Overlay District to allow Drive-Through Facilities with a Special Use Permit and adding standards for Drive-Through Facilities within the overlay on about 62 acres located along Westport Road starting at Southwest Trafficway to the boundary of the MCO district and along Pennsylvania Avenue from 39th Street to 43rd Street. (CD-CPC-2026-00025)

Discussion

The applicant, a property owner within the overlay district, is requesting to amend the Westport Overlay District to allow Drive-Through Facilities with a Special Use Permit and adding standards for Drive-Through Facilities within the overlay. The Westport overlay was approved in 2023 and was intended to maintain the unique character of Westport. Three of the eight intents (found in the attached staff report) listed in the Overlay encourage maintaining the pedestrian oriented development. To achieve those intents, drive-through facilities were listed as a prohibited use within the district.

The proposed amendment required review for rezonings (amendments to overlays require processing in the same way as rezonings) and text amendments (as the standards for the overlay were codified). Staff does not believe the amendment meets the required criteria for the text amendment - it does not correct an error or inconsistency in the code, is not consistent with adopted plans or stated purpose of the Westport Overlay, and is not in the best interest in the City as a whole. It also does not meet the criteria for the rezoning - the property is suitably used and in current operation under the current zoning and overlay standards (without a drive-through), the property is not vacant due to zoning, and amending the overlay to include drive-through facilities will detrimentally affect nearby properties. A full review of the criteria can be reviewed in the attached staff report and in the "other impacts" section of this docket memo.

City Plan Commission heard the case on April 1, 2026 and heard public testimony in opposition to the amendment. The City Plan Commission and Staff recommended denial of the application.

Additional testimony submitted after the CPC meeting is attached a separate document to this ordinance request.

City Planning and Development Staff does not believe this ordinance meets any goals of the Citywide Business Plan, therefore that section will remain blank.

Fiscal Impact

1. Is this legislation included in the adopted budget? Yes No
2. What is the funding source?
Not applicable, as this is a zoning ordinance amending the allowed uses within the Westport Overlay District.
3. How does the legislation affect the current fiscal year?
Not applicable, as this is a zoning ordinance amending the allowed uses within the Westport Overlay District.
4. Does the legislation have a fiscal impact in future fiscal years? Please notate the difference between one-time and recurring costs.
Not applicable, as this is a zoning ordinance amending the allowed uses within the Westport Overlay District.
5. Does the legislation generate revenue, leverage outside funding, or deliver a return on investment?
Not applicable, as this is a zoning ordinance amending the allowed uses within the Westport Overlay District.

Office of Management and Budget Review

(OMB Staff will complete this section.)

1. This legislation is supported by the general fund. Yes No
2. This fund has a structural imbalance. Yes No
3. Account string has been verified/confirmed. Yes No

Additional Discussion (if needed)

There is no fiscal impact in this ordinance. City Planning and Development Staff does not believe this proposed amendment meets any goals of the Citywide Business Plan and is therefore not selecting objectives in the next section.

Citywide Business Plan (CWBP) Impact

1. View the [Adopted 2025-2029 Citywide Business Plan](#)
2. Which CWBP goal is most impacted by this legislation?
Housing and Healthy Communities (Press tab after selecting.)
3. Which objectives are impacted by this legislation (select all that apply):
 - Utilize planning approaches in neighborhoods to reduce blight, ensure sustainable, affordable housing, and improve resident wellbeing and cultural diversity.
 - Maintain and increase housing supply to meet the demands of a diverse population.
 - Address the various needs of the City's most vulnerable population by working to reduce disparities.
 - Promote healthy residents by ensuring basic sanitation and living needs are met.
 - Ensure all residents have safe, accessible, quality housing by reducing barriers.
 - Protect and promote healthy, active amenities such as parks and trails, play spaces, and green spaces.

Prior Legislation

CD-CPC-2023-00062 – Approving the Westport Overlay District, the district created development and site design standards that promote the recommendations outlined in the Westport District Master Plan, with a focus on the pedestrian-oriented corridors in the Westport area (Ordinance No. 230498, approved June 15, 2023).

Service Level Impacts

Not applicable, as this is a zoning ordinance amending the allowed uses within the Westport Overlay District.

Staff Recommendation

City Planning and Development

Select One: Sponsored
 Directive: Res/Ord # [Click to enter Res/Ord. No.](#)

Select One: Recommend
 Do Not Recommend
 Not Applicable

City Planning and Development staff and the City Plan Commission recommend denial of this amendment to the Westport Overlay District.

Other Impacts

1. What will be the potential health impacts to any affected groups?
This is a zoning ordinance amending the allowed uses within the Westport Overlay District. The Westport Overlay was created as a way to preserve the unique features of the area, one of which is the pedestrian oriented corridors along Westport Road and Pennsylvania Avenue. During the creation of the overlay Drive-throughs were listed as a prohibited use to preserve this specific feature of the Westport area.
By changing the allowed uses to include drive-through facilities, there is an increased potential for:
 - More curb cuts on streets adjacent to Westport Road
 - Increased traffic on and off Westport road which may cause traffic disruption on an already busy road and may cause traffic to use drivethroughs to cut through the area
 - An increase in vehicle queuing which will increase noise, spillover light from headlights, and increased pollution, and
 - Create a precedent that drive-through facilities should be allowed in heavily populated areas that have been recommended for pedestrian-oriented development.
2. How have those groups been engaged and involved in the development of this ordinance?
This is a zoning ordinance amending the allowed uses with the Westport Overlay District, this application type requires public engagement. The

applicant completed public engagement in compliance with the Zoning and Development Code.

3. How does this legislation contribute to a sustainable Kansas City?
This application does not contribute to a sustainable Kansas City. This application was reviewed against the KC Spirit Playbook and has a low alignment. The KC Spirit Playbook encourages walkability and alternative transportation modes.

4. Does this legislation create or preserve new housing units?
No (Press tab after selecting)

Click or tap here to enter text.
Click or tap here to enter text.

5. Department staff certifies the submission of any application Affirmative Action Plans or Certificates of Compliance, Contractor Utilization Plans (CUPs), and Letters of Intent to Subcontract (LOIs) to CREO prior to, or simultaneously with, the legislation entry request in Legistar.

No - CREO's review is not applicable (Press tab after selecting)
Please provide reasoning why not:
Click or tap here to enter text.

6. Does this legislation seek to approve a contract resulting from an Invitation for Bid?

No(Press tab after selecting)

Click or tap here to enter text.

7. Does this legislation seek to approve a contract resulting from a Request for Proposal/Qualification (RFP/Q)?
No(Press tab after selecting)



File #: 260559

RESOLUTION NO. 260559

Sponsor: Director of City Planning and Development

RESOLUTION - Approving the KCI Area Plan as a guide for the future development and public investment within the area bounded by the city limits of Kansas City, Missouri on the north, city limits to Amity and then along Highway 152 on the south, Platte/Clay County boundary on the east, and city limits of Kansas City, Missouri on the west. (CD-MISC-2026-00004)

WHEREAS, on June 18, 2009, the City Council by Ordinance No. 090395 adopted the KCI Area Plan; and

WHEREAS, the City Council by Ordinance No. 250523 amended the KCI Area Plan by replacing the Proposed Land Use Map, which was considered by the City Plan Commission on June 18, 2025; and

WHEREAS, a companion ordinance, Ordinance No. _____, will repeal Ordinance No. 090395 and any other subsequent amendments by ordinance; and

WHEREAS, the stakeholders of the KCI Area in conjunction with the City Planning and Development Department have conducted a study delineating the characteristics of the KCI Area; and

WHEREAS, legal notice for the public before the City Plan Commission was published on February 3, 2026, in conformity with State and local laws; and

WHEREAS, after all interested persons were given the opportunity to present testimony, the City Plan Commission did on April 15, 2026, recommend approval of the update to the KCI Area Plan; and

WHEREAS, the KCI Area Plan has incorporated the policies of the KC Spirit Playbook and other appropriate planning documents; and

WHEREAS, the policies within the KCI Area Plan, which will serve as the plan of record for this area, are consistent with the policies of the KC Spirit Playbook. Any future amendments to the KCI Area Plan should be guided by and comply with the policy direction set forth in the KC Spirit Playbook, adopted by Resolution No. 230257 on April 20, 2023; and

WHEREAS, as a result of the study, the City Planning and Development Department has proposed a framework for the orderly development and redevelopment within the KCI Area; and

WHEREAS, said framework provides a guide for future development and redevelopment of the area, for specific and general policies to guide future decisions, and for identification of public and private needs throughout the community and possible solutions to those needs;

WHEREAS, the City Planning and Development Department has incorporated its findings in an update to the KCI Area Plan; and

WHEREAS, after considering additional testimony, the Council has determined it appropriate to approve the updated KCI Area Plan and repeal and replace previous versions; NOW, THEREFORE,

BE IT RESOLVED BY THE COUNCIL OF KANSAS CITY:

Section A. That the KCI Area Plan is hereby adopted as a guide for the future development and public investments for that area generally bounded by the city limits of Kansas City, Missouri on the north, city limits to Amity and then along Highway 152 on the south, Platte/Clay County boundary on the east, and city limits of Kansas City, Missouri on the west. A copy of the KCI Area Plan is attached hereto, in substantial form, and is hereby approved.

Section B. That the KCI Area Plan is consistent and complies with the KC Spirit Playbook, adopted on April 20, 2023, by Committee Substitute for Resolution No. 230257, and is adopted as a supplement to the KC Spirit Playbook.

Section C. That the Council finds and declares that before taking any action on the proposed KCI Area Plan hereinabove, all public notices have been given and hearings have been had as required by law.

..end



City of Kansas City, Missouri

Docket Memo

Ordinance/Resolution #: 260559

Submitted Department/Preparer: City Planning

Revised 01/30/25

Docket memos are required on all ordinances initiated by a Department Director. More information can be found in [Administrative Regulation \(AR\) 4-1](#).

Executive Summary

Approving an update to the KCI Area Plan as a guide for the future development and public investment within the area bounded by the city limits of Kansas City, Missouri on the north, city limits to Amity and then along Highway 152 on the south, Platte/Clay County boundary on the east, and city limits of Kansas City, Missouri on the west. (CD-MISC-2026-00004)

Discussion

Kansas City is divided into 18 geographic areas for which area plans have been prepared. The KCI Area Plan was adopted by the City Council in June 2009 by Ordinance No. 090395. Area Plans typically have a lifespan of 10 years; therefore it is time for a new KCI Area Plan to guide the physical development of the area through 2035. Area plans recommend strategies to help realize a community's long-term vision for the future and provide a comprehensive framework to guide public decisions on land use, public spaces, mobility, housing, and public improvements. Area plans provide both proactive strategies (phased action steps which may become projects and are outcome driven) and reactive guidelines (evaluation tools to guide future decision making, as well as a foundation for zoning). These plans are used by the city and the community alike and implement at a local level the elements of the City's Comprehensive Plan (KC Spirit Playbook).

Public engagement guided the creation of the plan, including the vision, goals, Community Supported Actions (CSAs), and other recommendations. Staff held three public workshops, one open house, and five advisory committee meetings. In addition to in-person engagement, staff received more than 300 responses from area residents on our statistically significant survey, 93 responses to our "Big 5 Question Survey" and 22 responses to our "Asset Map" exercise. Notification of our public

engagement efforts were through email, social media, council district newsletters, flyers, neighborhood associations, and assistance from other local stakeholders.

The updated KCI Area Plan includes four important additions that were not included in the previous area plan. These are : Sub Areas - location-specific Community Supported Actions and guidance that address unique conditions and challenges; Place Types – a new type of land use planning category that describe the intensity of uses but have more focus on the general site design, form and architectural character of areas; Bikeways and Trail Priority Segements – identification of priority street segments for bikeways, priority trail segments for completion, proposed trail connections, and proposed trailheads; and the Housing and Neighborhoods chapter which provides key concepts, corresponding community-supported actions, and a broad analysis of existing neighborhood conditions.

The Plan identifies key concepts for land use, mobility, environment and resiliency, housing and neighborhoods, and public realm that were derived from the goals, community input, and best practices to achieve the community vision for the planning area. To address these key concepts, Community-Supported Actions (CSAs) were identified for implementation, including a time frame, primary and secondary responsible entities, and primary and secondary cost type.

Land Use has the following key concepts:

- Use existing infrastructure to ensure costs do not outpace the City’s ability to provide maintenance and deliver services by encouraging and prioritizing development and infrastructure extensions within the Contiguous Development Zone. ((The prior sentence should remain, not sure why it is showing deleted.)) Ensure development includes a balance of complementary land uses, including mixed uses that are accessible by walking, biking, driving, and public transit, in order to promote quality of life and encourage economic development.
- Preserve open space and protect the natural environment using the open space plan to mitigate the impacts of the built environment on natural systems.
- Ensure quality site design standards for all developments.

Mobility has the following key concepts:

- Develop and maintain a roadway system that effectively serves projected uses and development intensity, while creating a safe and welcoming environment.
- Expand safe and accessible transportation options by improving difficult intersections and enhancing transit, bicycle, and trail connections.
- Utilize the Streets Design Guide and the Major Street Plan to enrich the character of developments while promoting walkability and supporting mixed-use environments.

Environment and Resiliency has the following key concepts:

- All development within the KCI planning area—particularly near designated open spaces and buffer zones—should aim to preserve key environmental features and safeguard KCI’s network of regulated streams, floodplains, steep slopes, woodlands, natural prairies, and other natural habitats in order to safeguard water quality, development and infrastructure integrity, and community quality and safety.
- Promote sustainable, reliable, and resilient water management practices to protect natural water systems.
- Update and maintain accurate environmental data to support planning initiatives and objectives within the KCI Planning Area.
- Promote and incentivize the use of green and ecological infrastructure in public and private development.

Housing and Neighborhoods has the following key concepts:

- Promote a diverse range of accessible housing options that serve all income ranges, age groups, and ownership preferences.
- Ensure sustainable, healthy, and attractive neighborhoods for current and future residents.
- Encourage and assist in establishing registered neighborhood and homes associations.

Public Realm has the following key concepts:

- Design connected public spaces that establish a distinct and memorable identity for the KCI area.
- Prioritize the design of image streets and gateways to define the character and arrival experience of the area.
- Develop parks, plazas, and greenways that accommodate a range of users and community activities, from informal gatherings to large-scale events.

Fiscal Impact

1. Is this legislation included in the adopted budget? Yes No
2. What is the funding source?
) City Planning Department Budget
3. How does the legislation affect the current fiscal year?
There are recommended, not required, community supported actions which could be included in this fiscal year through the City Planning Department Budget, cooperation with other City Departments and regional agencies.
4. Does the legislation have a fiscal impact in future fiscal years? Please notate the difference between one-time and recurring costs.
There are recommended, not required, community supported actions which could be included in future fiscal years through the City Planning Department Budget, cooperation with other City Departments and regional agencies.
5. Does the legislation generate revenue, leverage outside funding, or deliver a return on investment?
No, as this is a planning document.

Office of Management and Budget Review

(OMB Staff will complete this section.)

1. This legislation is supported by the general fund. Yes No
2. This fund has a structural imbalance. Yes No
3. Account string has been verified/confirmed. Yes No

Additional Discussion (if needed)

No account string to verify as this resolution has no direct fiscal impact.

Citywide Business Plan (CWBP) Impact

1. View the [Adopted 2025-2029 Citywide Business Plan](#)

2. Which CWBP goal is most impacted by this legislation?
Infrastructure and Accessibility (Press tab after selecting.)
3. Which objectives are impacted by this legislation (select all that apply):
 - Engage in thoughtful planning and redesign of existing road networks to ensure safety, access, and mobility of users of all ages and abilities.
 - Develop a multimodal regional transportation system for all users.
 - Develop environmentally sustainable strategies that improve quality of life and foster economic growth.
 - Ensure adequate resources are provided for continued maintenance of existing infrastructure.
 - Focus on delivery of safe connections to schools.
 -

Prior Legislation

Ordinance No. 241073 – A moratorium until July 16, 2025, on the approval of any zoning map amendments to a manufacturing (M) zoning district within the KCI Area Plan boundary. Ordinance No. 250523 – Approving an amendment July 31, 2025 to the KCI Area Plan by replacing the Proposed Land Use Map.

Service Level Impacts

Staff does not anticipate service level impacts from the proposed plan without further implementation of the plan's actions.

Staff Recommendation

City Planning and Development

Select One: Sponsored
 Directive: Res/Ord # [Click to enter Res/Ord. No.](#)

Select One: Recommend
 Do Not Recommend
 Not Applicable

City Plan Commission and Staff recommend Approval

Other Impacts

1. What will be the potential health impacts to any affected groups?
. Reduced public health impact from commercial truck traffic on adjacent resident's quality of life (nuisance reduction.) Increased public health from water quality preservation.
2. How have those groups been engaged and involved in the development of this ordinance?
. Outreach included a social media toolkit that people could share and use on social media sites, postings on social media, emails, 1st and 2nd District Council newsletters, and hand distributed flyers. Engagement included online, a statistically significant survey, four community in-person engagement events plus five advisory committee meetings, and a new area plan interactive website designed for receiving public comment.
3. How does this legislation contribute to a sustainable Kansas City?
The proposed KCI Area Plan through the Playbook topic of Land Use and Development promotes the Goals of Connected City and Well Designed City and the objectives of: Complete Communities, Connected City, fiscally and environmentally responsible Development Patterns, Environmental Health and Resiliency, Housing Affordability and Diversity, and Vision Zero.
4. Does this legislation create or preserve new housing units?
No (Press tab after selecting)

Click or tap here to enter text.

Click or tap here to enter text.

5. Department staff certifies the submission of any application Affirmative Action Plans or Certificates of Compliance, Contractor Utilization Plans (CUPs), and Letters of Intent to Subcontract (LOIs) to CREO prior to, or simultaneously with, the legislation entry request in Legistar.

No - CREO's review is not applicable (Press tab after selecting)

Please provide reasoning why not:

Click or tap here to enter text.

6. Does this legislation seek to approve a contract resulting from an Invitation for Bid?

No(Press tab after selecting)

Click or tap here to enter text.

7. Does this legislation seek to approve a contract resulting from a Request for Proposal/Qualification (RFP/Q)?

No(Press tab after selecting)

2026 KCI Area Plan Update Adoption

City Council Ordinance 260560

City Council Resolution 260559

06/30/26

Neighborhood Planning and Development Committee



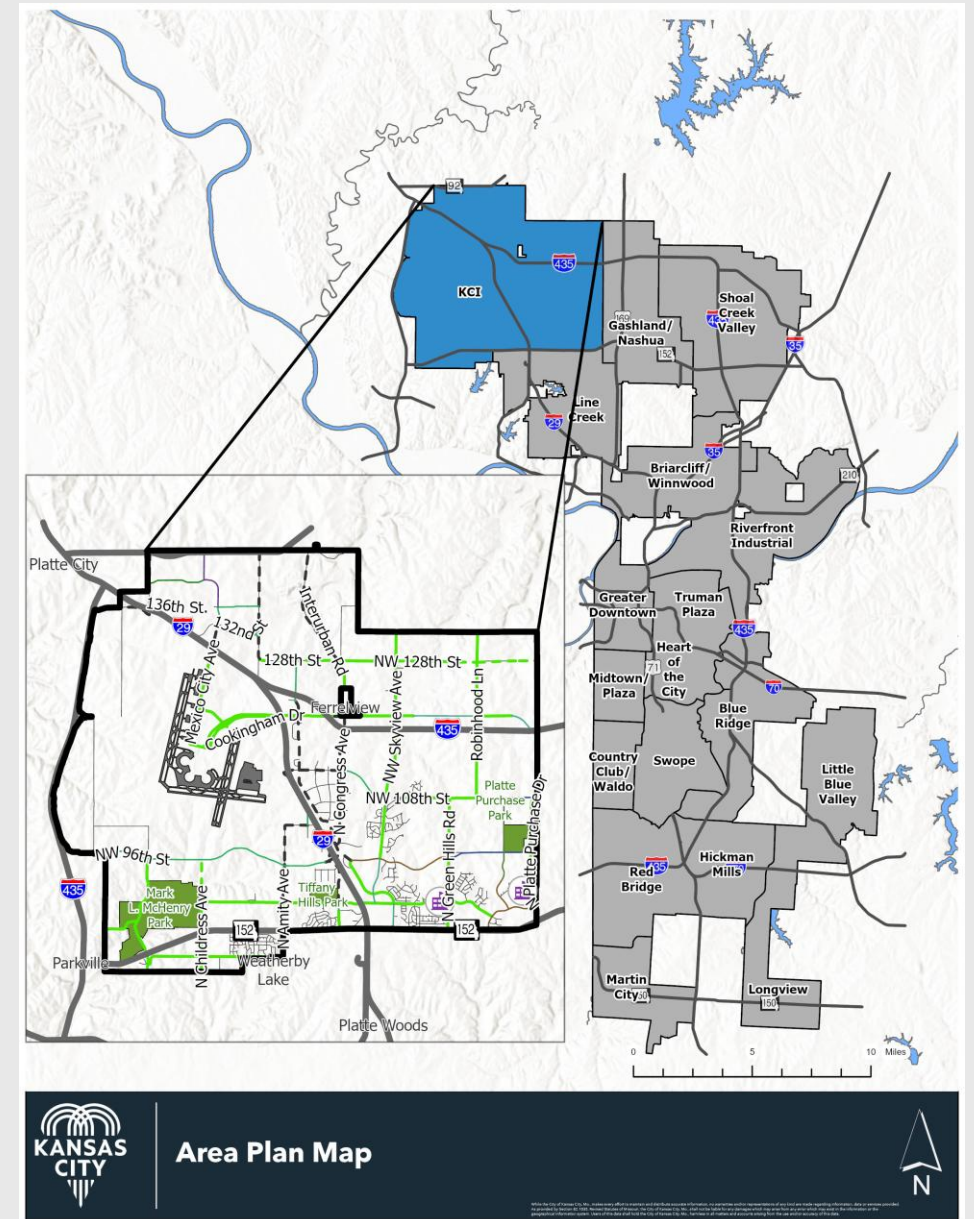
CD-MISC-2026-00004

City Planning Commission:

Approved 4.15.2026

Study Area

- City Limits of Kansas City, MO (north)
- City Limits to Amity and then along HWY 152 (south)
- Platte/Clay County boundary (east)
- City Limits of Kansas City, MO (west)



Summary

- 2008 KCI Plan was adopted by Ordinance 090395
 - Ordinance 260560 – Repeals Ordinance 090395
 - Resolution 260559 – Adopts 2026 KCI Area Plan
- KCI Future Land Use Map was adopted in July 2025 in response to a moratorium on industrial development in the area
- Since July staff conducted public engagement on the remaining plan components - mobility, environment, housing & neighborhoods, public realm, sub areas - with implementation (community supported actions) for each component

Public Engagement (February 2025-November 2025)

- 5 advisory committee meetings
- 3 public workshops & a public Open House
 - Exercises were focused on land use, mobility, housing and neighborhoods, environment, and public spaces
- Over 100 responses to online engagement survey
 - Visioning Survey and Asset map exercise
- A statistically significant survey of the KCI area, with over 300 responses received. Results were incorporated into the final area plan



Notable Additions

1. Sub Areas

- Subareas have been added to the plan, as none were identified in the previous version

2. Place Types

- Place Type categories are used on the Future Land Use map

3. Bike Routes and Trails

- The original plan did not identify priority street segments for bicycle routes

4. Housing and Neighborhoods Chapter

- The original KCI Plan did not include a Housing and Neighborhoods chapter

KC Spirit Playbook Analysis



Connected City.



Diversity and Opportunity.



Environment For People
of All Ages



Healthy Environment



Sustainable and Equitable
Growth



History, Arts, and Culture



Parks and Open Spaces



Smart City

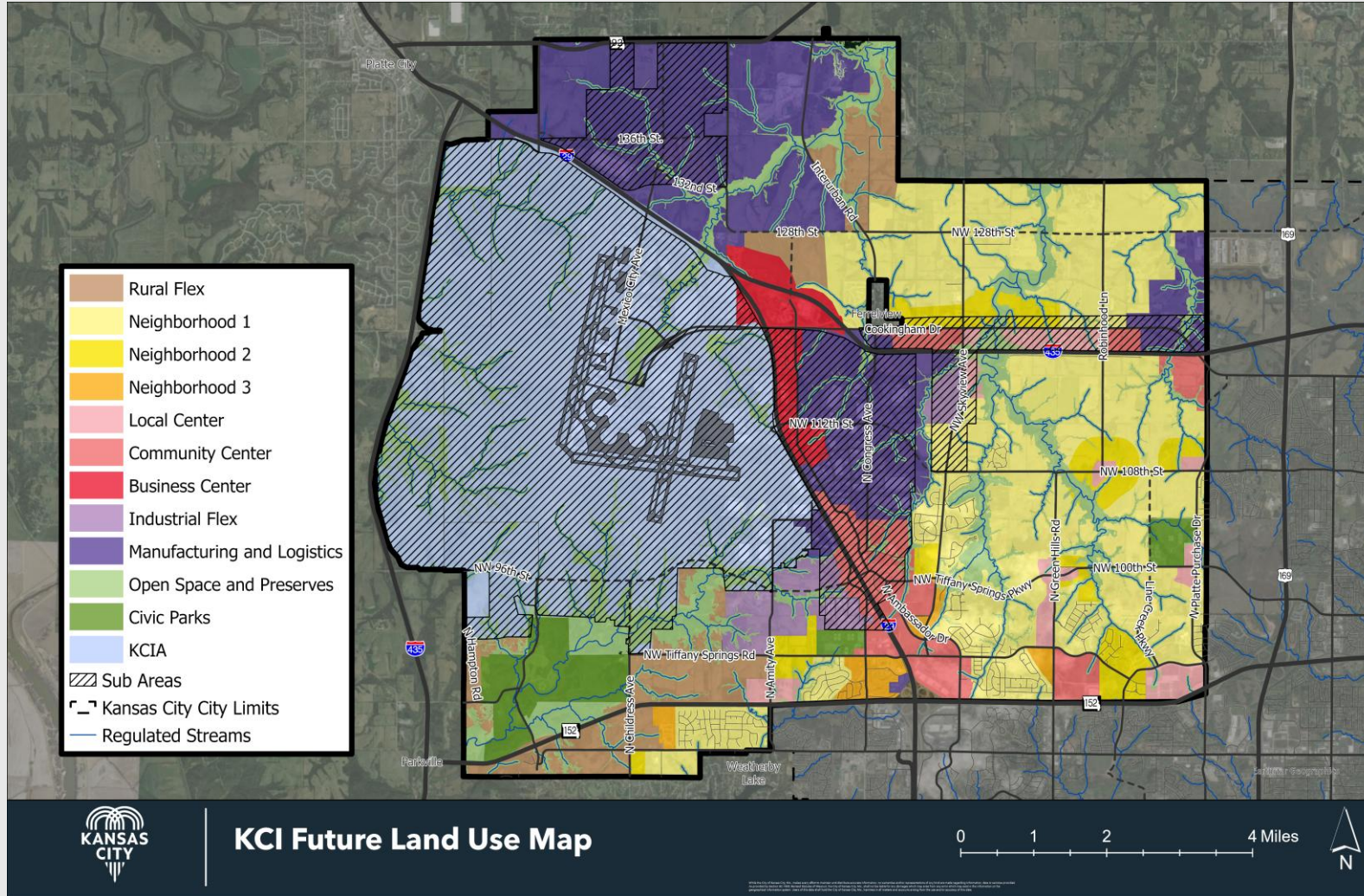


Strong and Accessible
Neighborhoods



Well-Designed City

Future Land Use Map



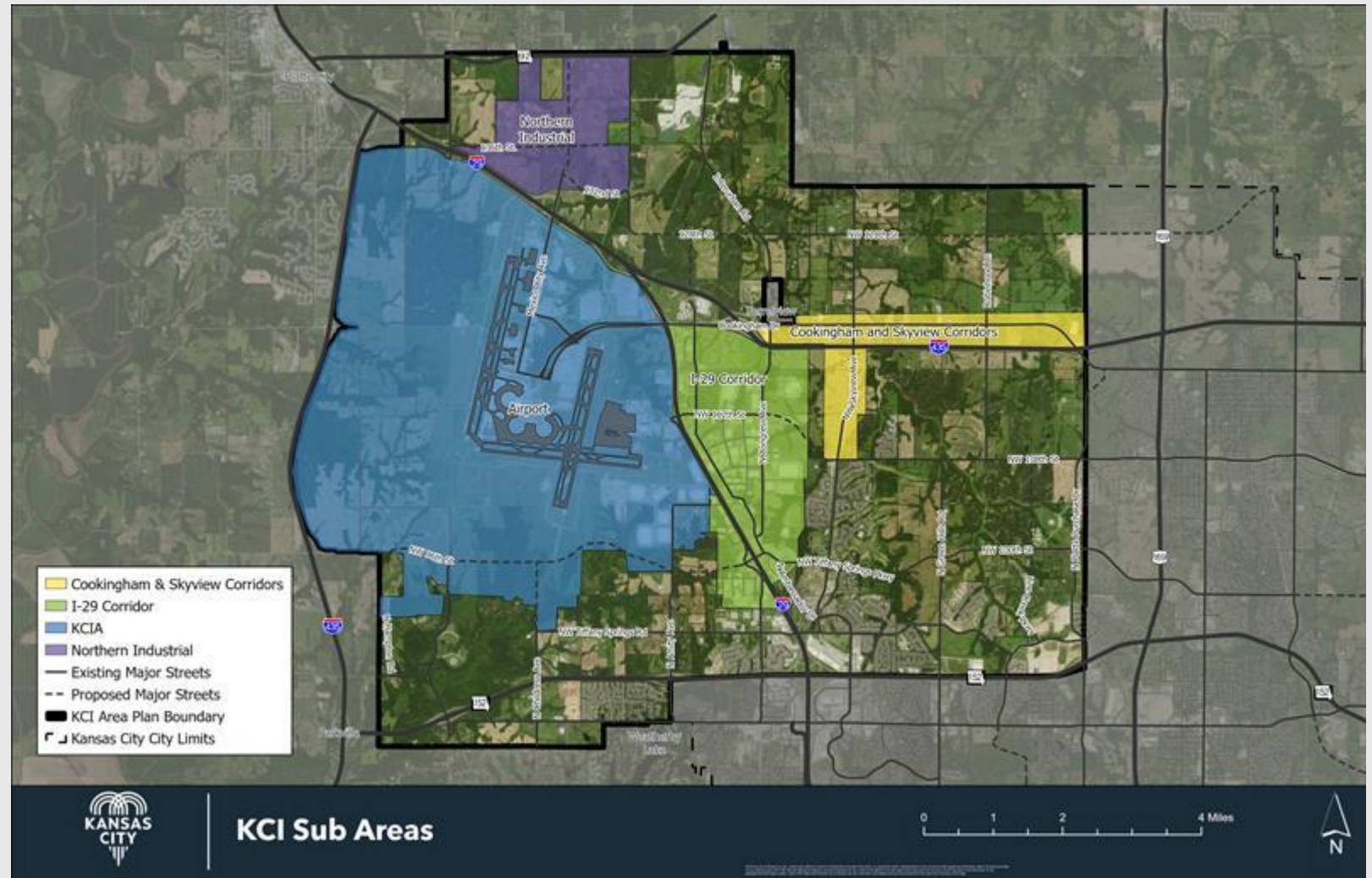
Future Land Use Map Definitions

Open Space/Preserves	Protected natural buffer areas including stream corridors, steep slopes, and other environmentally sensitive areas.
Civic Parks	Public recreational areas, including the Kansas City Parks & Boulevard System.
Rural Flex	Rural character areas that consist of primarily residential houses and farmsteads, agriculture, and undeveloped land.
Neighborhood 1	Low density residential areas that consist primarily of detached single-family homes. Neighborhood amenities benefiting residents may also be found.
Neighborhood 2	Medium density residential areas that provide compatible small-scale housing types in addition to single family homes. Small neighborhood-serving shops may also be found.
Neighborhood 3	High density residential areas that provide a wide variety of multi-family housing types and neighborhood-serving shops.

Neighborhood 4	Urban density residential areas that include large-scale apartment building complexes and mixed-use commercial.
Local Center	Small, walkable mixed-use areas that provide convenient access to goods, services, dining, and residential to meet the daily needs of adjacent neighborhoods.
Community Activity Center	Walkable, mixed-use areas that provide access to goods, services, dining, entertainment, and residential with a larger service area of surrounding neighborhoods and visitors.
Business Center	Concentrations of typically auto-oriented retail, services, hospitality, and employment.
Regional Center	Highest scale density, mixed-use areas that provide access to goods, services, dining, offices, entertainment, and residential and often serve as employment centers and destinations with a regional draw.
Industrial Flex	Eclectic mixed-use destination areas with range of activities such as artisanal manufacturing, retail, logistics, office, dining, and residential.
Manufacturing/Logistics	Employment areas that accommodate large format uses and provide a range of job types and services in sectors such as manufacturing, processing, technology, research, distribution and logistics.

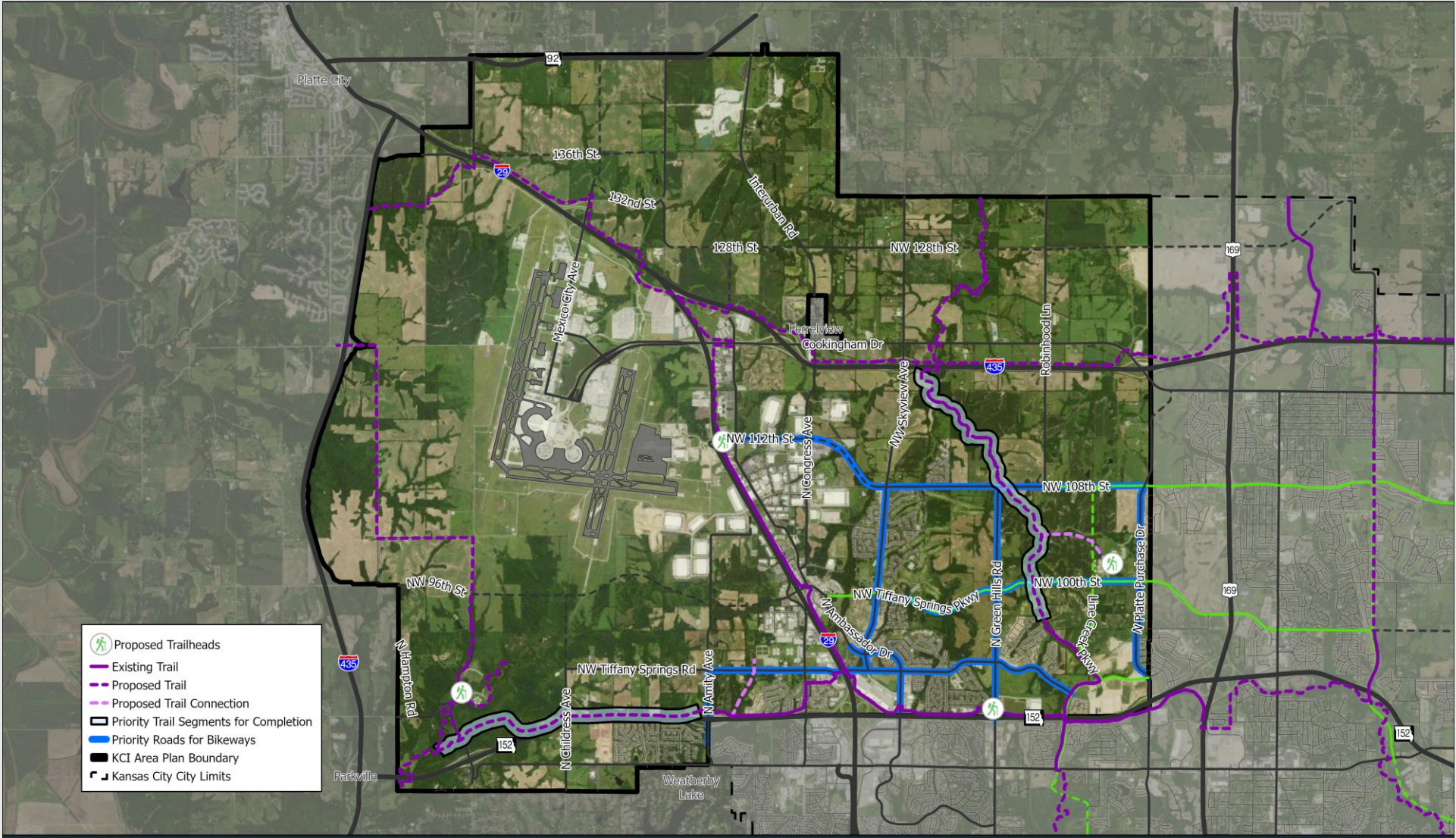
Sub Areas

- Within the planning area, certain locations have been identified as sub areas that warrant focused guidance.
- Recognizing sub areas allows the plan to provide tailored strategies, recommendations, and guidelines for development.
- Four (4) sub areas.



Goals

- 1. Support Complete, Connected, and Walkable Neighborhoods and Communities:** Encourage development patterns that promote safety, walkability and connectivity to services, entertainment, employment and gathering spaces for all residents.
- 2. Expand Multimodal Transportation Options:** Improve access to transit, bicycle infrastructure, and pedestrian routes to support mobility and reduce reliance on single-occupancy vehicles.
- 3. Increase Access to Homeownership Across All Demographics:** Promote housing strategies that create pathways to homeownership for people of all ages, incomes, and backgrounds.
- 4. Advance Environmental Health and Resilience:** Protect and enhance open spaces, support biodiversity, improve water quality, and guide the placement of industrial uses to minimize environmental and residential impact.
- 5. Promote Sustainable and Equitable Growth:** Guide development that balances long-term sustainability and fiscal responsibility with equitable access to housing, jobs, services, and infrastructure.

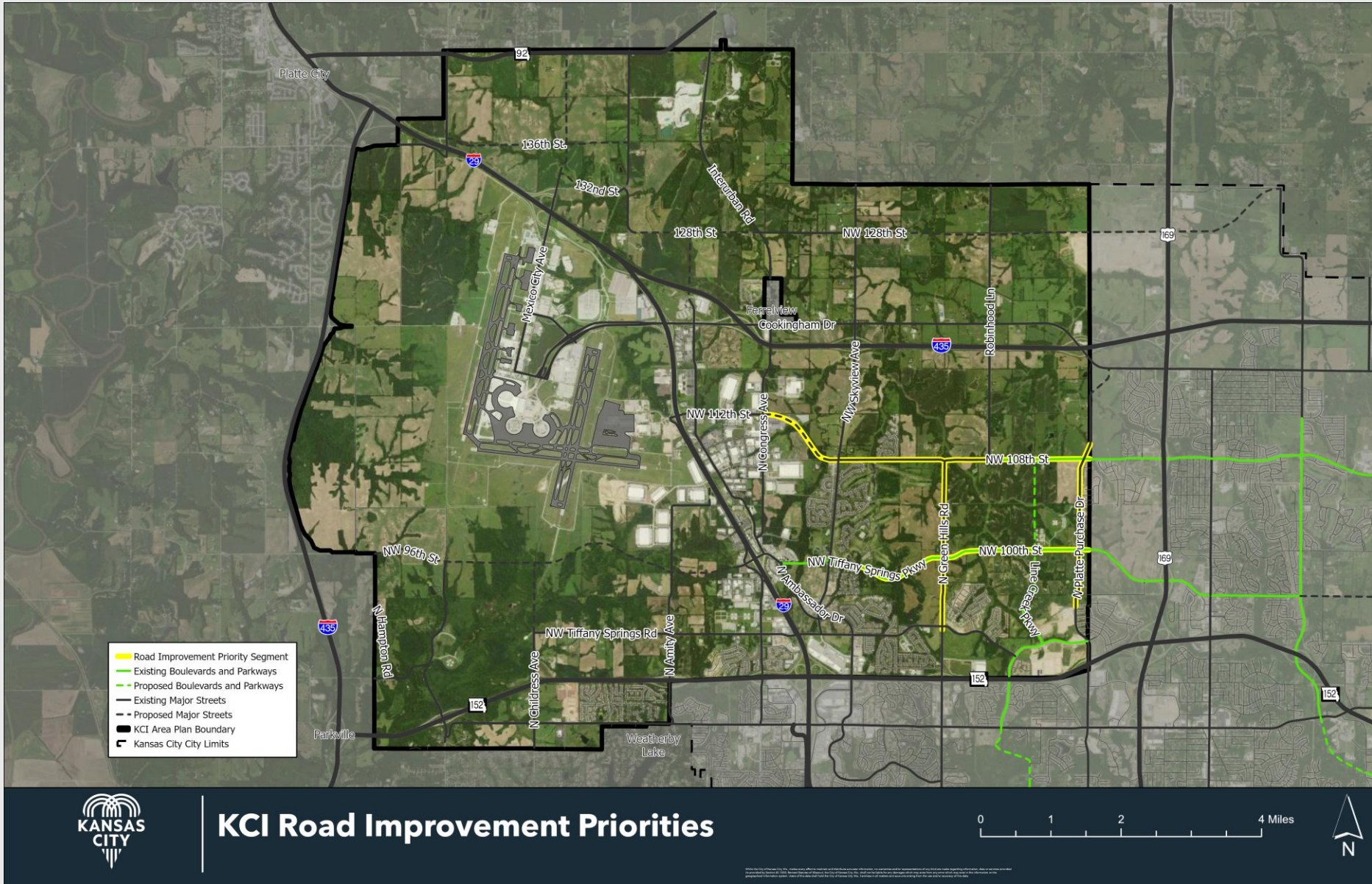


-  Proposed Trailheads
-  Existing Trail
-  Proposed Trail
-  Proposed Trail Connection
-  Priority Trail Segments for Completion
-  Priority Roads for Bikeways
-  KCI Area Plan Boundary
-  Kansas City City Limits

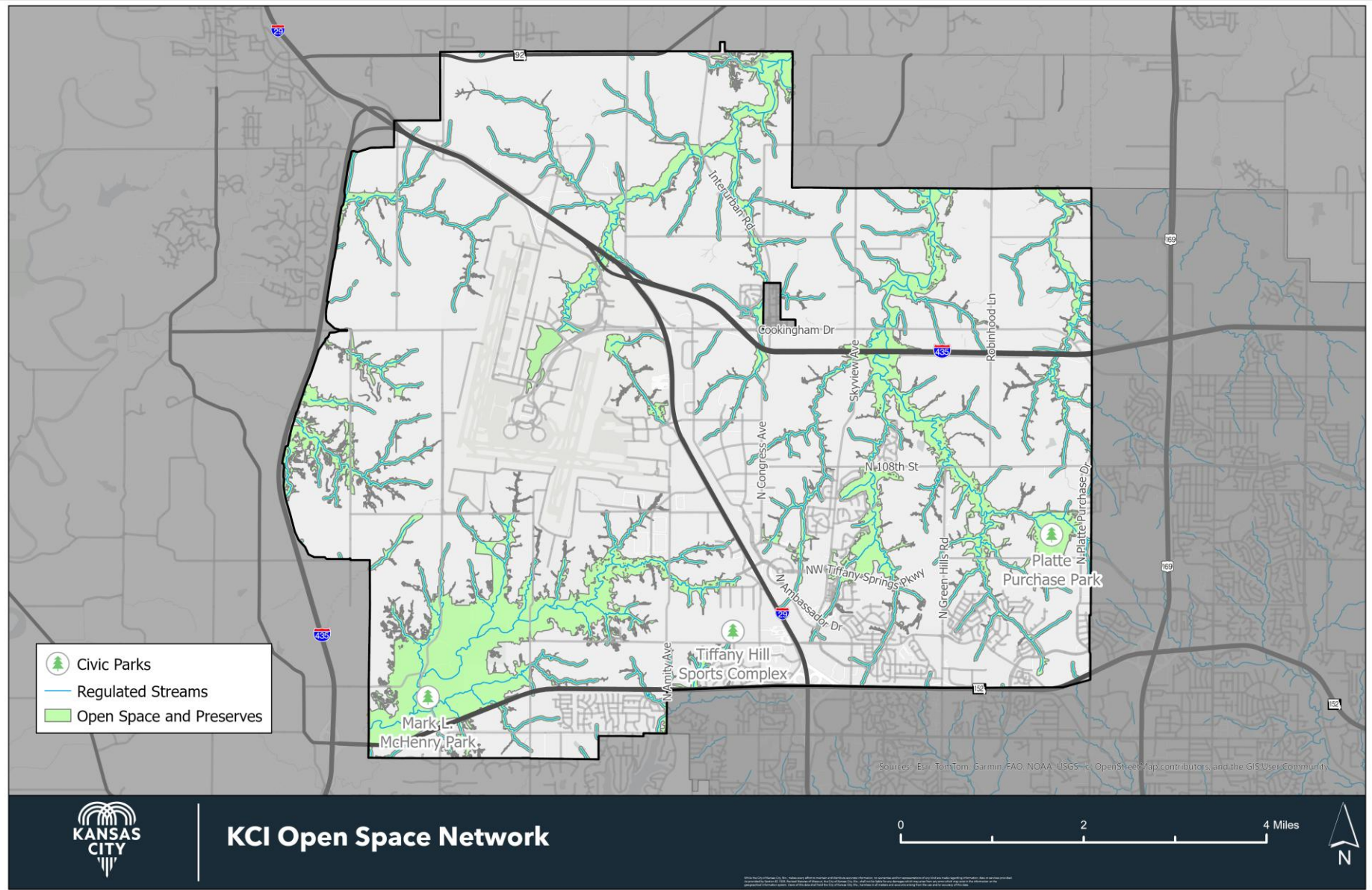


KCI Bikeway and Trail Priorities





KCI Road Improvement Priorities



Recommendation

- Approval of City Council Ordinance 260560
- Approval of City Council Resolution 260559



File #: 260560

ORDINANCE NO. 260560

Sponsor: Director of City Planning and Development

Repealing the KCI Area Plan, adopted by Ordinance No. 090395, which replaced a portion of the KCIA Area Plan with the KCI Area Plan, and repealing any other subsequent amendments.

WHEREAS, Council passed Ordinance No. 090395 on June 18, 2009, replacing a portion of the KCIA Area Plan with the KCI Area Plan; and

WHEREAS, the Council now desires to repeal Ordinance No. 090395, and any other subsequent amendments, and enact a resolution approving a new KCI Area Plan; NOW, THEREFORE,

BE IT ORDAINED BY THE COUNCIL OF KANSAS CITY:

Section 1. Ordinance No. 090395 and any other subsequent amendments, including Resolution Nos. 210839, 220749, 220882, 240382, 250162, 250360 and Ordinance No. 250523 are hereby repealed.

..end

Approved as to:

Sarah Baxter
Senior Associate City Attorney



City of Kansas City, Missouri

Docket Memo

Ordinance/Resolution #: 260560

Submitted Department/Preparer: City Planning

Revised 01/30/25

Docket memos are required on all ordinances initiated by a Department Director. More information can be found in [Administrative Regulation \(AR\) 4-1](#).

Executive Summary

Approving an update to the KCI Area Plan as a guide for the future development and public investment within the area bounded by the city limits of Kansas City, Missouri on the north, city limits to Amity and then along Highway 152 on the south, Platte/Clay County boundary on the east, and city limits of Kansas City, Missouri on the west. (CD-MISC-2026-00004)

Discussion

Kansas City is divided into 18 geographic areas for which area plans have been prepared. The KCI Area Plan was adopted by the City Council in June 2009 by Ordinance No. 090395. Area Plans typically have a lifespan of 10 years; therefore it is time for a new KCI Area Plan to guide the physical development of the area through 2035. Area plans recommend strategies to help realize a community's long-term vision for the future and provide a comprehensive framework to guide public decisions on land use, public spaces, mobility, housing, and public improvements. Area plans provide both proactive strategies (phased action steps which may become projects and are outcome driven) and reactive guidelines (evaluation tools to guide future decision making, as well as a foundation for zoning). These plans are used by the city and the community alike and implement at a local level the elements of the City's Comprehensive Plan (KC Spirit Playbook).

Public engagement guided the creation of the plan, including the vision, goals, Community Supported Actions (CSAs), and other recommendations. Staff held three public workshops, one open house, and five advisory committee meetings. In addition to in-person engagement, staff received more than 300 responses from area residents on our statistically significant survey, 93 responses to our "Big 5 Question Survey" and 22 responses to our "Asset Map" exercise. Notification of our public

engagement efforts were through email, social media, council district newsletters, flyers, neighborhood associations, and assistance from other local stakeholders.

The updated KCI Area Plan includes four important additions that were not included in the previous area plan. These are : Sub Areas - location-specific Community Supported Actions and guidance that address unique conditions and challenges; Place Types – a new type of land use planning category that describe the intensity of uses but have more focus on the general site design, form and architectural character of areas; Bikeways and Trail Priority Segements – identification of priority street segments for bikeways, priority trail segments for completion, proposed trail connections, and proposed trailheads; and the Housing and Neighborhoods chapter which provides key concepts, corresponding community-supported actions, and a broad analysis of existing neighborhood conditions.

The Plan identifies key concepts for land use, mobility, environment and resiliency, housing and neighborhoods, and public realm that were derived from the goals, community input, and best practices to achieve the community vision for the planning area. To address these key concepts, Community-Supported Actions (CSAs) were identified for implementation, including a time frame, primary and secondary responsible entities, and primary and secondary cost type.

Land Use has the following key concepts:

- Use existing infrastructure to ensure costs do not outpace the City's ability to provide maintenance and deliver services by encouraging and prioritizing development and infrastructure extensions within the Contiguous Development Zone. ((The prior sentence should remain, not sure why it is showing deleted.)) Ensure development includes a balance of complementary land uses, including mixed uses that are accessible by walking, biking, driving, and public transit, in order to promote quality of life and encourage economic development.
- Preserve open space and protect the natural environment using the open space plan to mitigate the impacts of the built environment on natural systems.
- Ensure quality site design standards for all developments.

Mobility has the following key concepts:

- Develop and maintain a roadway system that effectively serves projected uses and development intensity, while creating a safe and welcoming environment.
- Expand safe and accessible transportation options by improving difficult intersections and enhancing transit, bicycle, and trail connections.
- Utilize the Streets Design Guide and the Major Street Plan to enrich the character of developments while promoting walkability and supporting mixed-use environments.

Environment and Resiliency has the following key concepts:

- All development within the KCI planning area—particularly near designated open spaces and buffer zones—should aim to preserve key environmental features and safeguard KCI’s network of regulated streams, floodplains, steep slopes, woodlands, natural prairies, and other natural habitats in order to safeguard water quality, development and infrastructure integrity, and community quality and safety.
- Promote sustainable, reliable, and resilient water management practices to protect natural water systems.
- Update and maintain accurate environmental data to support planning initiatives and objectives within the KCI Planning Area.
- Promote and incentivize the use of green and ecological infrastructure in public and private development.

Housing and Neighborhoods has the following key concepts:

- Promote a diverse range of accessible housing options that serve all income ranges, age groups, and ownership preferences.
- Ensure sustainable, healthy, and attractive neighborhoods for current and future residents.
- Encourage and assist in establishing registered neighborhood and homes associations.

Public Realm has the following key concepts:

- Design connected public spaces that establish a distinct and memorable identity for the KCI area.
- Prioritize the design of image streets and gateways to define the character and arrival experience of the area.
- Develop parks, plazas, and greenways that accommodate a range of users and community activities, from informal gatherings to large-scale events.

Fiscal Impact

1. Is this legislation included in the adopted budget? Yes No
2. What is the funding source?
) City Planning Department Budget
3. How does the legislation affect the current fiscal year?
There are recommended, not required, community supported actions which could be included in this fiscal year through the City Planning Department Budget, cooperation with other City Departments and regional agencies.
4. Does the legislation have a fiscal impact in future fiscal years? Please notate the difference between one-time and recurring costs.
There are recommended, not required, community supported actions which could be included in future fiscal years through the City Planning Department Budget, cooperation with other City Departments and regional agencies.
5. Does the legislation generate revenue, leverage outside funding, or deliver a return on investment?
No, as this is a planning document.

Office of Management and Budget Review

(OMB Staff will complete this section.)

1. This legislation is supported by the general fund. Yes No
2. This fund has a structural imbalance. Yes No
3. Account string has been verified/confirmed. Yes No

Additional Discussion (if needed)

No account string to verify as this resolution has no direct fiscal impact.

Citywide Business Plan (CWBP) Impact

1. View the [Adopted 2025-2029 Citywide Business Plan](#)

2. Which CWBP goal is most impacted by this legislation?
Infrastructure and Accessibility (Press tab after selecting.)
3. Which objectives are impacted by this legislation (select all that apply):
 - Engage in thoughtful planning and redesign of existing road networks to ensure safety, access, and mobility of users of all ages and abilities.
 - Develop a multimodal regional transportation system for all users.
 - Develop environmentally sustainable strategies that improve quality of life and foster economic growth.
 - Ensure adequate resources are provided for continued maintenance of existing infrastructure.
 - Focus on delivery of safe connections to schools.
 -

Prior Legislation

Ordinance No. 241073 – A moratorium until July 16, 2025, on the approval of any zoning map amendments to a manufacturing (M) zoning district within the KCI Area Plan boundary. Ordinance No. 250523 – Approving an amendment July 31, 2025 to the KCI Area Plan by replacing the Proposed Land Use Map.

Service Level Impacts

Staff does not anticipate service level impacts from the proposed plan without further implementation of the plan's actions.

Staff Recommendation

City Planning and Development

Select One: Sponsored
 Directive: Res/Ord # [Click to enter Res/Ord. No.](#)

Select One: Recommend
 Do Not Recommend
 Not Applicable

City Plan Commission and Staff recommend Approval

Other Impacts

1. What will be the potential health impacts to any affected groups?
. Reduced public health impact from commercial truck traffic on adjacent resident's quality of life (nuisance reduction.) Increased public health from water quality preservation.
2. How have those groups been engaged and involved in the development of this ordinance?
. Outreach included a social media toolkit that people could share and use on social media sites, postings on social media, emails, 1st and 2nd District Council newsletters, and hand distributed flyers. Engagement included online, a statistically significant survey, four community in-person engagement events plus five advisory committee meetings, and a new area plan interactive website designed for receiving public comment.
3. How does this legislation contribute to a sustainable Kansas City?
The proposed KCI Area Plan through the Playbook topic of Land Use and Development promotes the Goals of Connected City and Well Designed City and the objectives of: Complete Communities, Connected City, fiscally and environmentally responsible Development Patterns, Environmental Health and Resiliency, Housing Affordability and Diversity, and Vision Zero.
4. Does this legislation create or preserve new housing units?
No (Press tab after selecting)

Click or tap here to enter text.

Click or tap here to enter text.

5. Department staff certifies the submission of any application Affirmative Action Plans or Certificates of Compliance, Contractor Utilization Plans (CUPs), and Letters of Intent to Subcontract (LOIs) to CREO prior to, or simultaneously with, the legislation entry request in Legistar.

No - CREO's review is not applicable (Press tab after selecting)

Please provide reasoning why not:

Click or tap here to enter text.

6. Does this legislation seek to approve a contract resulting from an Invitation for Bid?

No(Press tab after selecting)

Click or tap here to enter text.

7. Does this legislation seek to approve a contract resulting from a Request for Proposal/Qualification (RFP/Q)?

No(Press tab after selecting)

2026 KCI Area Plan Update Adoption

City Council Ordinance 260560

City Council Resolution 260559

06/30/26

Neighborhood Planning and Development Committee



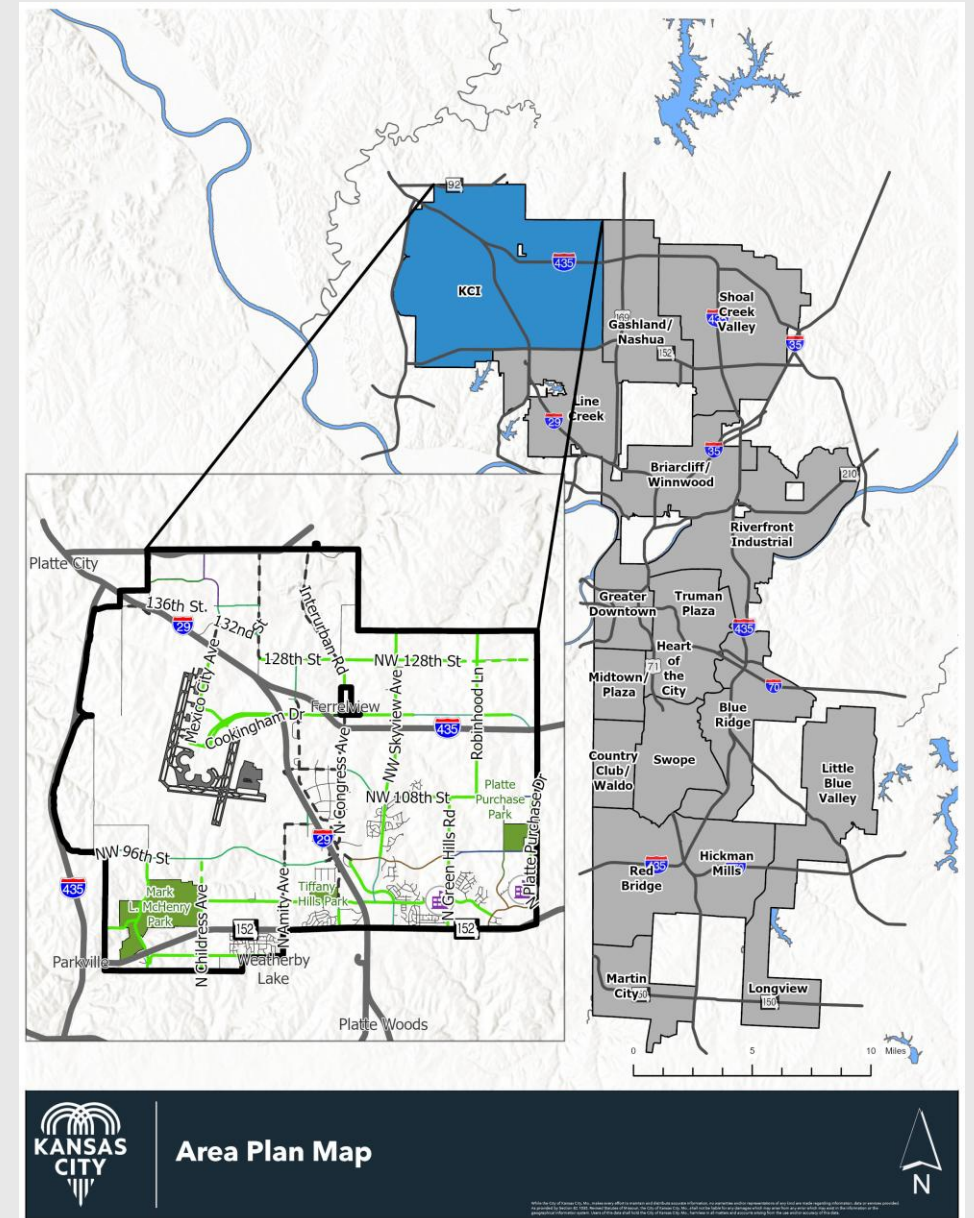
CD-MISC-2026-00004

City Planning Commission:

Approved 4.15.2026

Study Area

- City Limits of Kansas City, MO (north)
- City Limits to Amity and then along HWY 152 (south)
- Platte/Clay County boundary (east)
- City Limits of Kansas City, MO (west)



Summary

- 2008 KCI Plan was adopted by Ordinance 090395
 - Ordinance 260560 – Repeals Ordinance 090395
 - Resolution 260559 – Adopts 2026 KCI Area Plan
- KCI Future Land Use Map was adopted in July 2025 in response to a moratorium on industrial development in the area
- Since July staff conducted public engagement on the remaining plan components - mobility, environment, housing & neighborhoods, public realm, sub areas - with implementation (community supported actions) for each component

Public Engagement (February 2025-November 2025)

- 5 advisory committee meetings
- 3 public workshops & a public Open House
 - Exercises were focused on land use, mobility, housing and neighborhoods, environment, and public spaces
- Over 100 responses to online engagement survey
 - Visioning Survey and Asset map exercise
- A statistically significant survey of the KCI area, with over 300 responses received. Results were incorporated into the final area plan



Notable Additions

1. Sub Areas

- Subareas have been added to the plan, as none were identified in the previous version

2. Place Types

- Place Type categories are used on the Future Land Use map

3. Bike Routes and Trails

- The original plan did not identify priority street segments for bicycle routes

4. Housing and Neighborhoods Chapter

- The original KCI Plan did not include a Housing and Neighborhoods chapter

KC Spirit Playbook Analysis



Connected City.



Diversity and Opportunity.



Environment For People
of All Ages



Healthy Environment



Sustainable and Equitable
Growth



History, Arts, and Culture



Parks and Open Spaces



Smart City

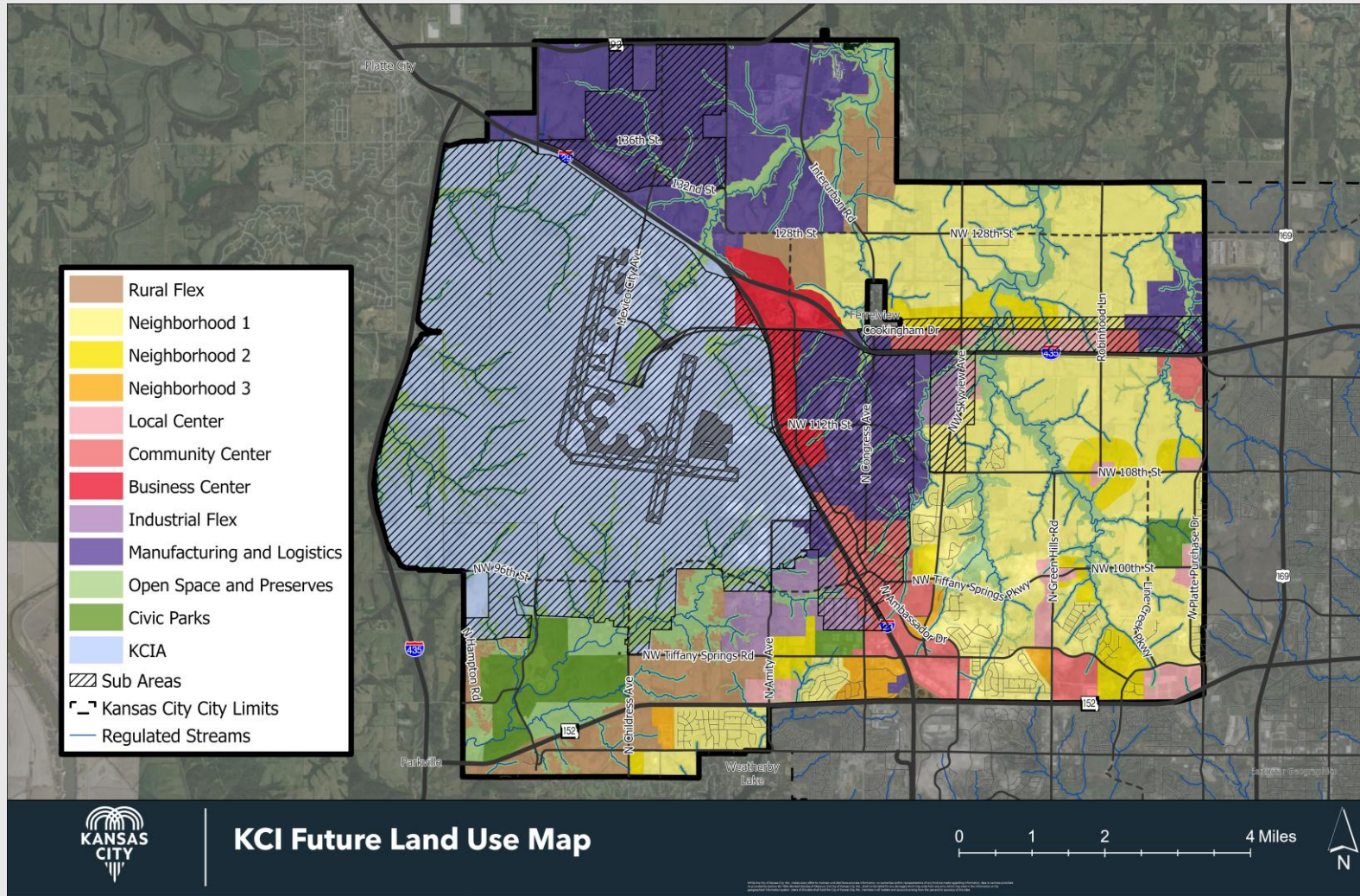


Strong and Accessible
Neighborhoods



Well-Designed City

Future Land Use Map



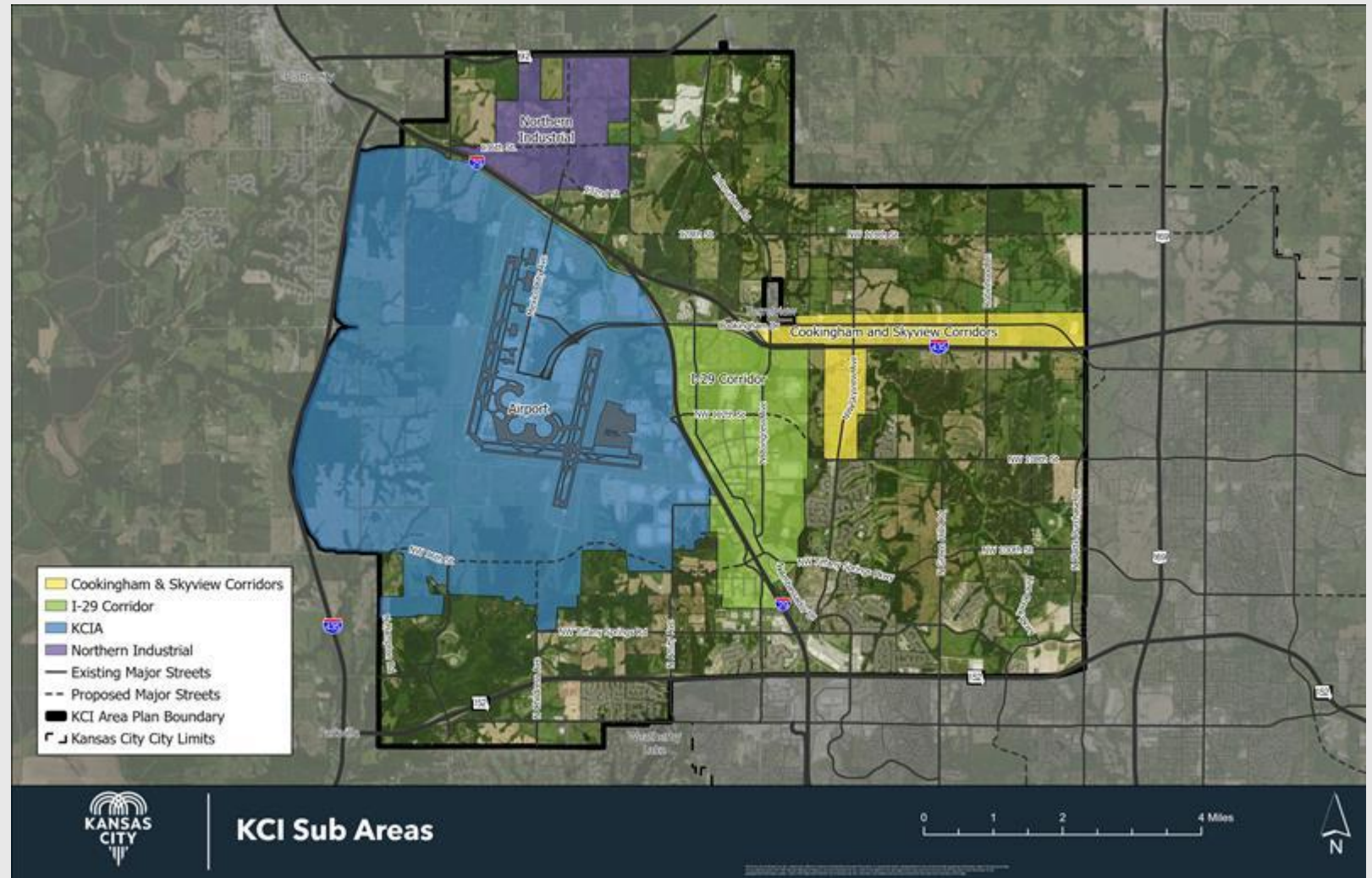
Future Land Use Map Definitions

Open Space/Preserves	Protected natural buffer areas including stream corridors, steep slopes, and other environmentally sensitive areas.
Civic Parks	Public recreational areas, including the Kansas City Parks & Boulevard System.
Rural Flex	Rural character areas that consist of primarily residential houses and farmsteads, agriculture, and undeveloped land.
Neighborhood 1	Low density residential areas that consist primarily of detached single-family homes. Neighborhood amenities benefiting residents may also be found.
Neighborhood 2	Medium density residential areas that provide compatible small-scale housing types in addition to single family homes. Small neighborhood-serving shops may also be found.
Neighborhood 3	High density residential areas that provide a wide variety of multi-family housing types and neighborhood-serving shops.

Neighborhood 4	Urban density residential areas that include large-scale apartment building complexes and mixed-use commercial.
Local Center	Small, walkable mixed-use areas that provide convenient access to goods, services, dining, and residential to meet the daily needs of adjacent neighborhoods.
Community Activity Center	Walkable, mixed-use areas that provide access to goods, services, dining, entertainment, and residential with a larger service area of surrounding neighborhoods and visitors.
Business Center	Concentrations of typically auto-oriented retail, services, hospitality, and employment.
Regional Center	Highest scale density, mixed-use areas that provide access to goods, services, dining, offices, entertainment, and residential and often serve as employment centers and destinations with a regional draw.
Industrial Flex	Eclectic mixed-use destination areas with range of activities such as artisanal manufacturing, retail, logistics, office, dining, and residential.
Manufacturing/Logistics	Employment areas that accommodate large format uses and provide a range of job types and services in sectors such as manufacturing, processing, technology, research, distribution and logistics.

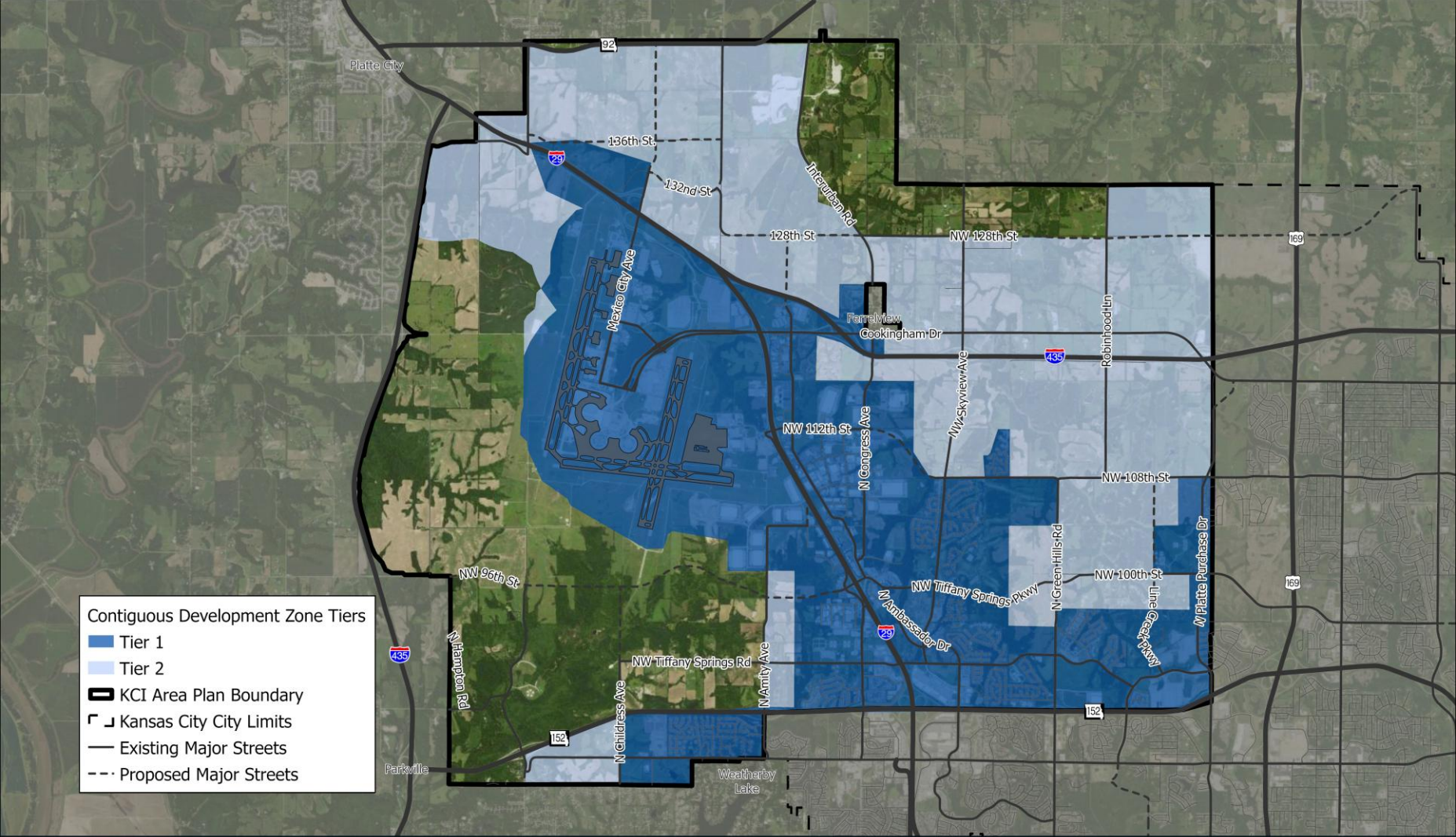
Sub Areas

- Within the planning area, certain locations have been identified as sub areas that warrant focused guidance.
- Recognizing sub areas allows the plan to provide tailored strategies, recommendations, and guidelines for development.
- Four (4) sub areas.



Goals

- 1. Support Complete, Connected, and Walkable Neighborhoods and Communities:** Encourage development patterns that promote safety, walkability and connectivity to services, entertainment, employment and gathering spaces for all residents.
- 2. Expand Multimodal Transportation Options:** Improve access to transit, bicycle infrastructure, and pedestrian routes to support mobility and reduce reliance on single-occupancy vehicles.
- 3. Increase Access to Homeownership Across All Demographics:** Promote housing strategies that create pathways to homeownership for people of all ages, incomes, and backgrounds.
- 4. Advance Environmental Health and Resilience:** Protect and enhance open spaces, support biodiversity, improve water quality, and guide the placement of industrial uses to minimize environmental and residential impact.
- 5. Promote Sustainable and Equitable Growth:** Guide development that balances long-term sustainability and fiscal responsibility with equitable access to housing, jobs, services, and infrastructure.



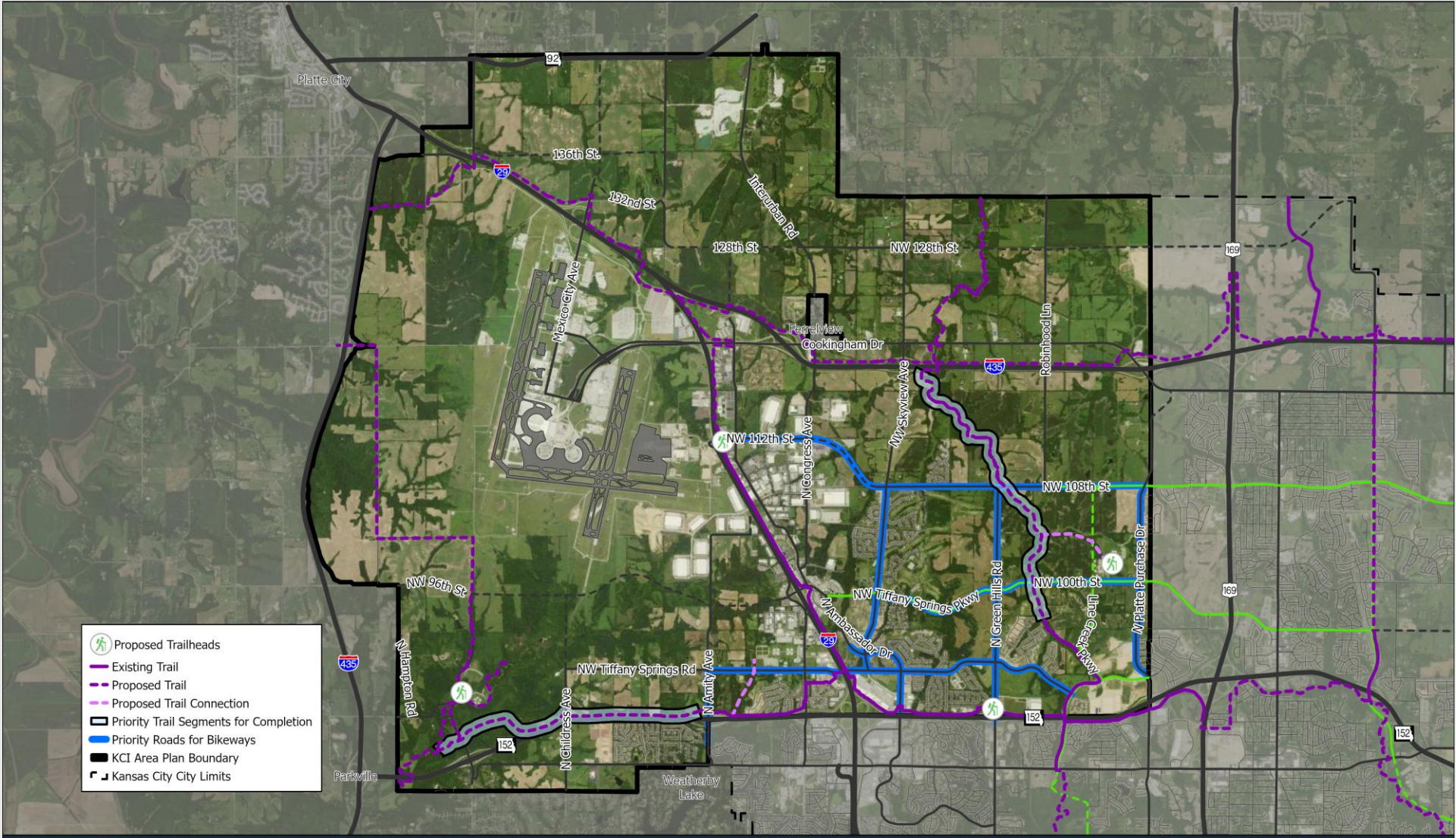
Contiguous Development Zone Tiers

- Tier 1
- Tier 2
- KCI Area Plan Boundary
- Kansas City City Limits
- Existing Major Streets
- Proposed Major Streets



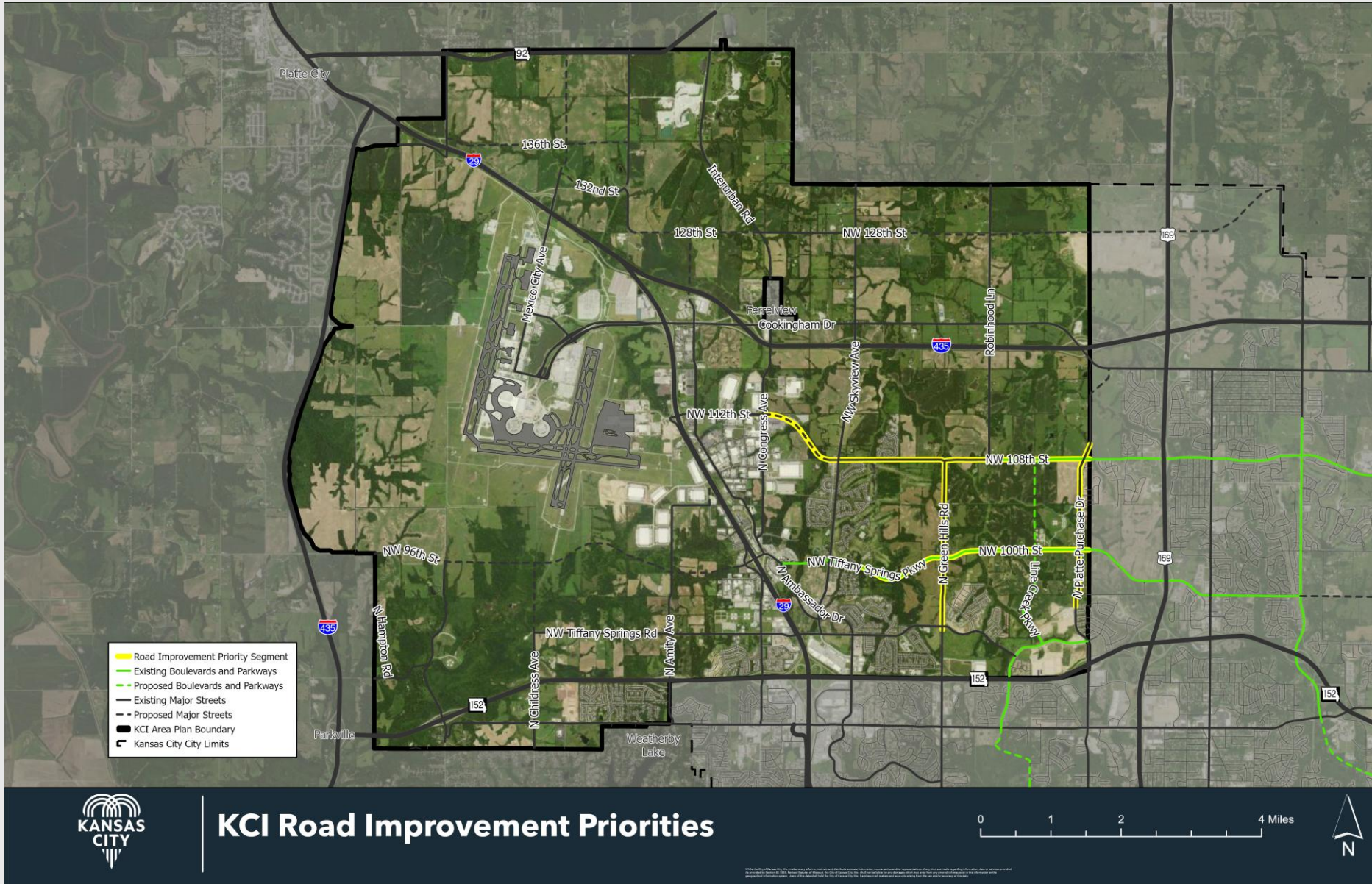
KCI Contiguous Development Zone





KCI Bikeway and Trail Priorities





Recommendation

- Approval of City Council Ordinance 260560
- Approval of City Council Resolution 260559



File #: 260563

ORDINANCE NO. 260563

Sponsor: Director of City Planning and Development Department

Rezoning an area of about 87 acres generally located at the southeast corner of North Staley Road and Northeast Shoal Creek Parkway from District R-80 to District R-6 and approving a development plan, also serving as a preliminary plat, to allow for the creation of 200 residential lots. (CD-CPC-2026-00037 & 38)

BE IT ORDAINED BY THE COUNCIL OF KANSAS CITY:

Section A. That Chapter 88, Code of Ordinances of the City of Kansas City, Missouri, commonly known as the Zoning and Development Code, is hereby amended by enacting a new section to be known as Section 88-20A-1544, rezoning an area of about 87 acres generally located at the southeast corner of North Staley Road and Northeast Shoal Creek Parkway from District R-80 (Residential) to District R-6 (Residential) and approving a development plan, also serving as a preliminary plat, to allow for the creation of 200 residential lots, said section to read as follows:

Section 88-20A-1544. That an area legally described as:

A tract of land in the south half of section 30, township 52 north, range 32 west and the northeast quarter of section 31, township 52 north, range 32 west in Kansas City, clay county, Missouri being described as follows: commencing at the northwest corner of the southwest quarter of said section 30; thence $S00^{\circ}21'54''w$, along the west line of said southwest quarter, a distance of 580.98 feet to a point on the southerly right of way line of ne. Shoal creek parkway and the point of beginning of the tract of land to be herein described; thence $S66^{\circ}47'08''e$, along said right of way line, a distance of 318.69 feet; thence southeasterly, continuing along said right of way line, along a curve to the left being tangent to the previously described course having a radius of 2900.00 feet, an arc distance of 1045.11 feet; thence $S87^{\circ}26'02''e$, continuing along said right of way line, a distance of 662.16 feet; thence southeasterly, continuing along said right of way line, along a curve to the right being tangent to the previously described course having a radius of 1500.00 feet, an arc distance of 1647.14 feet; thence $S24^{\circ}31'04''e$, continuing along said right of way line, a distance of 708.07 feet; thence southeasterly, continuing along said right of way line, along a curve to the left being tangent to the previously described course having a radius of 1600.00 feet, an arc distance of 182.71 feet to a point on the south line of the

southeast quarter of said section 30; thence S89°42'02"e, along the south line of said southeast quarter, a distance of 177.90 feet to the southeast corner of the west half of the southeast quarter of said section 30; thence S00°19'13"w, along the east line of the west half of the northeast quarter of said section 31, a distance of 218.35 feet to a point on the northerly right of way line of ne. Staley road; thence northwesterly, along the northerly right of way line of said ne. Staley road, along a curve to the left, having an initial tangent bearing of N45°57'24"w, a radius of 330.00 feet, an arc distance of 148.61 feet; thence N71°45'22"w, continuing along said right of way line, a distance of 395.40 feet; thence northwesterly, continuing along said right of way line, along a curve to the right being tangent to the previously described course having a radius of 1477.54 feet, an arc distance of 186.10 feet; thence N64°32'33"w, continuing along said right of way line, a distance of 173.14 feet; thence northwesterly, continuing along said right of way line, along a curve to the left being tangent to the previously described course having a radius of 1072.61 feet, an arc distance of 173.79 feet; thence northwesterly, continuing along said right of way line, along a reverse curve to the right having a radius of 936.70 feet, an arc distance of 255.86 feet; thence N58°10'33"w, continuing along said right of way line, a distance of 342.63 feet; thence northwesterly, continuing along said right of way line, along a curve to the left being tangent to the previously described course having a radius of 330.00 feet, an arc distance of 181.19 feet; thence N89°38'03"w, continuing along said right of way line, a distance of 1975.51 feet; thence northwesterly, continuing along said right of way line, along a curve to the right being tangent to the previously described course having a radius of 120.00 feet, an arc distance of 188.49 feet to a point on the easterly right of way line of said ne. Staley road; thence N00°21'44"e, along the easterly right of way line of said ne. Staley road, a distance of 1227.04 feet; thence northwesterly, continuing along said right of way line, along a curve to the left being tangent to the previously described course having a radius of 180.00 feet, an arc distance of 131.95 feet to a point on the west line of the southwest quarter of said section 30; thence N00°21'54"E, along the west line of the southwest quarter of said section 30, a distance of 67.78 feet to the point of beginning. This description was prepared by Robert G. Young, pls-2007000089 on August 22, 2025.

is hereby rezoned from District R-80 (Residential) to District R-6 (Residential), all as shown outlined on a map marked Section 88-20A-1544, which is attached hereto and made a part hereof, and which is hereby adopted as a part of an amendment to the zoning maps constituting a part of said chapter and in accordance with Section 88-20 thereof.

Section B. That a development plan for the area legally described above is hereby approved, subject to the following conditions:

1. Prior to submittal of a final plat for the initial phase of the development, the applicant must submit a street name plan for the entire development and obtain approval from the Street Name Committee. Any subsequent amendments to the

approved plan may, at the discretion of the Director of City Planning and Development, require submission and approval of a revised street name plan.

2. The developer shall submit an affidavit, completed by an ISA certified arborist, an SAF certified forester, a professional engineer, or a landscape architect licensed in the State of Missouri, verifying that all trees preserved and all trees planted to meet mitigation required of the approved plan, whichever is applicable, has been installed or preserved in accordance with the plan and is healthy prior to a certificate of occupancy.
3. The first 30 feet of the landscape buffer tract, adjacent to the parkway right-of-way, shall be a parkway landscape easement.
4. The developer shall screen all roof and/or ground mounted mechanical and utility equipment in compliance with Section 88-425-08 of the Zoning and Development Code.
5. Prior to issuance of the certificate of occupancy for each lot within the plat the developer shall submit an affidavit, completed by a landscape architect licensed in the State of Missouri, verifying that street trees have been installed in accordance with the approved street tree planting plan and are healthy.
6. The developer shall submit an affidavit, completed by a landscape architect licensed in the State of Missouri, verifying that all landscaping required of the approved plan has been installed in accordance with the plan and is healthy prior to a certificate of occupancy.
7. The developer shall record a covenant to maintain the "no build" landscape buffer tract, describing maintenance responsibilities. No buildings, structures, or fences may be erected within this landscaped buffer tract. Any fencing shall be located at the rear of the platted residential lot; shall be of consistent type, material, and height along the rear of the subdivision; and shall be shown on the landscape plan.
8. Per TDC decision of February 23, 2026, the developer shall make financial contribution and right-of-way dedications in lieu of half street improvements requirements on Staley Road in an amount to be negotiated with the City of Kansas City, Missouri, not to exceed \$500,000.00. These financial and ROW contributions shall be used towards engineering, ROW, and construction of improvements to Shoal Creek Parkway.
9. All signage shall conform to 88-445 and shall require a sign permit prior to installation.
10. Prior to issuance of the certificate of occupancy for the first house built the developer must post a sign at the terminus of all stub streets indicating that the stub street is intended to be opened to through traffic when the adjacent property

is developed. The sign must state "FUTURE THROUGH STREET. TO BE CONNECTED WHEN ABUTTING PROPERTY DEVELOPS."

11. Prior to recording of the final plat, the developer shall secure approval of a project plan from the City Plan Commission for each private open space tract.
12. Fire hydrants shall be installed and operable prior to the arrival of any combustible building materials onto the site. (IFC-2018 § 501.4 and 3312.1; NFPA 241-2013 § 8.7.2)
13. All required Fire Department access roads shall be an all-weather surface. Grass pavers are not permitted. (IFC-2012: § 503.2.3)
14. The developer shall provide an approved turnaround feature (i.e cul-de-sac, hammerhead) for all dead-end streets in excess of 150 feet in length. (IFC-2018: § 503.2.5)
15. The developer shall meet the fire flow requirements as set forth in Appendix B of the International Fire Code 2018. (IFC-2018 § 507.1)
16. One and two family residential developments exceeding 30 dwelling units shall have at least two separate and approved fire apparatus access roads. (IFC-2018: § D107.1)
17. Where two fire apparatus access roads are required, they shall be placed a distance apart equal to not less than one half of the length of the maximum overall diagonal dimension of the lot or area to be served, measured in a straight line between accesses. (IFC-2018: § D106.3)
18. The turning radius for Fire Department access roads shall be 30 feet inside and 50 feet outside radius. (IFC-2018: § 503.2.4)
19. Fire hydrant distribution shall follow IFC-2018 Table C102.1.
20. Required Fire Department access roads shall be designed to support a fire apparatus with gross axle weight of 85,000 pounds. (IFC-2018: § 503.2.3)
21. Fire hydrant(s) shall be within 400 feet on a fire access road following an approved route established by the Authority Having Jurisdiction (AHJ) of any exterior portion of a building. The use of existing fire hydrant(s) may be used to satisfy this requirement otherwise a private fire hydrant(s) or hydrant system may be required. This distance may be increased to 600 feet for R-3 and U occupancy(s) or the building(s) is fully protected by an approved automatic fire sprinkler system(s). (IFC-2018: § 507.5.1)

22. Required Fire Department access roads shall be a minimum unobstructed width of twenty (20) feet and 13 ft. 6 in. clearance height. Check with Streets & Traffic (KCMO Public Works) or Missouri Department of Transportation (MODOT) that may have street planning regulations that supersede the Fire Code. (IFC-2018: § 503.2.1)
23. The developer shall provide Fire Department access roads before construction/demolition projects begin. (IFC-2018 § 501.4 and 3310.1; NFPA 241-2013 § 7.5.5)
24. The developer shall be responsible for dedication of parkland, private open space in lieu of parkland, or payment of cash-in-lieu of either form of dedication, or any combination thereof in accordance with 88-408. Should the developer choose to pay cash-in-lieu of dedicating all or a portion of the required area, the amount due shall be based upon the 2025 acquisition rate of \$20,065.67 per acre. This requirement shall be satisfied prior to the recording of the plat.
25. The developer shall submit a streetscape plan with street tree planting plan per 88-425-03 for approval and permitting by the Parks and Recreation Department's Forestry Division prior to beginning work in the public right-of-way.
26. The developer shall be responsible for tree preservation in an easement or platted tract, mitigation planting, or payment of cash-in-lieu of preservation or mitigation planting, or any combination thereof in accordance with 88-424. Should the developer choose to pay cash-in-lieu of preservation or mitigation of all or a portion of the required area, the amount due shall be based upon the rate specified in 88-424. This requirement shall be satisfied prior to issuance of certificate of occupancy, or prior to the recording of the final plat, whichever occurs first.
27. The developer shall subordinate to the City all private interest in the area of any right-of-way dedication, in accordance with Chapter 88 and as required by the Land Development Division, prior to issuance of any construction permits within said right-of-way, and that the developer shall be responsible for all costs associated with subordination activities now and in the future.
28. That the developer make a financial and right-of-way contributions in lieu of half street improvements required on Staley Road, in an amount to be negotiated not to exceed \$500,000.00. This financial contribution shall be used by the City for the design and construction of improvements to Shoal Creek Parkway and other nearby roadways. The financial contribution in lieu of half street improvements required by Chapter 88, shall be made prior to recording the plat or issuance of a temporary or final certificate of occupancy, as applicable. The Agreement shall be as negotiated with the Public Works Department.
29. The developer shall integrate into the existing streetlight system any relocated streetlights within the street right-of-way impacted by the new drive or approach

entrances as required by the Land Development Division, and the relocated lights must comply with all adopted lighting standards.

30. The developer shall submit a streetscape plan for approval and permitting by the Land Development Division prior to beginning construction of the streetscape improvements in the public right-of-way, and construct ADA compliant ramps at all required locations where new private drives are being added, or where existing sidewalks are modified or repaired.
31. The developer shall submit construction plans in compliance with adopted standards for all improvements required by the traffic study approved by the Public Works Department, and shall secure permits for those improvements as required by the Land Development Division, prior to recording the plat.
32. The developer shall submit verification of vertical and horizontal sight distance for the drive connection to public right-of-way to the Land Development Division and make improvements to ensure local jurisdiction and/or minimum AASHTO adequate sight distance standards are met, prior to issuance of any certificate of occupancy.
33. After the City Plan Commission enters its disposition for the development plan, the developer shall not enter into any agreement that would encumber or otherwise have any impact on the proposed right-of-way dedications for the planned project without the prior written consent of the Land Development Division.
34. The developer shall design and construct all interior public streets to City standards, as required by Chapter 88 and the Land Development Division, including curb, gutter, storm sewers, streetlights, and sidewalks.
35. The developer shall dedicate additional right-of-way and provide easements for N.E. Shoal Creek Parkway in coordination with the Parks Department and as required by the adopted Major Street Plan and/or Chapter 88 so as to provide a minimum of 100 feet of right-of-way as measured from the centerline, along those areas being platted.
36. The developer shall pay impact fees as required by Chapter 39 of the City's Code of Ordinances, as required by the Land Development Division.
37. The developer shall construct temporary off-site cul-de-sacs and grant a City approved temporary cul-de-sac easement, for that portion outside of the dedicated street right-of-way, to the City as required by the Land Development Division, prior to recording the plat.

38. The developer shall ensure that water and fire service lines should meet current Water Services Department rules and regulations prior to issuance of a certificate of occupancy.
39. No water service tap permits will be issued until the public water main is released for taps.
40. The developer shall submit water main extension plans following all the Kansas City Water rules and regulations for water main extensions. The plans shall be developed by a Missouri professional engineer and shall be under contract (permit) prior to final plat recording or building permit issuance. The plans shall include all interior and perimeter water mains as noted in the development plan review.
41. The developer shall obtain the executed and recorded City approved grading, temporary construction, drainage/sewer, or any other necessary easements from the abutting property owner(s) that may be required prior to submitting any public improvements crossing properties not controlled by the developer and include said document(s) within the public improvement applications submitted for permitting.
42. All agreement and easement documents shall be submitted using IB159 to the Infrastructure Review Application on CompassKC for review and approval by the Kansas City Water Services Department prior to issuance of any permits.
43. The developer shall cause the area to be platted and processed in accordance with Chapter 88, Code of Ordinances of the City of Kansas City, Missouri.
44. The developer shall submit covenants, conditions and restrictions to the Kansas City Water Services Department for approval by the Law Department and enter into covenant agreements for the maintenance of any private open space tracts with stream buffer zones or stormwater detention area tracts, prior to recording the plat.
45. The developer shall submit a macro storm drainage study with the first plat or phase, from a Missouri-licensed civil engineer to the Land Development Division showing compliance with current adopted standards in effect at the time of submission, including water quality BMP's, to the Land Development Division for review and acceptance for the entire development area, and submit a micro storm drainage study with each subsequent plat or phase showing compliance with the approved macro and adopted standards. The developer shall secure permits to construct any improvements as necessary to mitigate impacts from rate, volume, and quality of runoff from each proposed phase, prior to recording the plat or prior to issuance of a Building Permit, whichever occurs first as required by the Land Development Division.

46. The developer shall grant a BMP and/or surface drainage easement to the City as required by the Kansas City Water Services Department, prior to recording the plat or issuance of any building permits.
47. The developer shall submit a preliminary stream buffer plan prior to approval of the special use/development/rezoning plan in accordance with the Section 88-415 requirements.
48. The developer shall submit an analysis to verify adequate capacity of the existing sewer system as required by the Kansas City Water Services Department prior to issuance of a building permit to connect the private system to the public sewer main and depending on adequacy of the receiving system, make other improvements as may be required.
49. The developer shall show the limits of the 100-year floodplain on the final plat and show the Minimum Low Opening Elevation (MLOE) of any structure on each lot that abuts a 100-year floodplain area (including detention basins and engineered surface drainage conveyances) on any plat and plan, as required by the Kansas City Water Services Department.
50. The developer shall submit plans for grading, siltation, and erosion control to the Kansas City Water Services Department for review and acceptance, provide a copy of the Storm Water Pollution Prevention (SWPP) plan submitted to the Missouri Department of Natural Resources (MDNR) and secure a site disturbance permit for any proposed disturbance area equal to one acre or more prior to beginning any construction activities.
51. The developer shall secure permits to extend public sanitary and storm water conveyance systems to serve all proposed lots within the development and determine adequacy of receiving systems as required by the Kansas City Water Services Department, prior to recording the plat or issuance of a building permit whichever occurs first. Easements shall be per the Kansas City Water matrix easement.
52. The developer shall submit a final stream buffer plan to the Kansas City Water Services Department for approval prior to issuance of any building permits and obtain permits for the stream buffer prior to removal of any mature riparian species within the buffer zones due to construction activities on the site, in accordance with the Section 88-415 requirements.
53. The developer shall grant on City approved forms, a stream buffer easement to the City, as required by Chapter 88 and the Kansas City Water Services Department, prior to issuance of any stream buffer permits.
54. The developer shall obtain a floodplain development permit from Development Services prior to beginning any construction activities within the floodplain.

55. The developer shall submit covenants, conditions and restrictions to the Kansas City Water Services Department for approval by the Law Department and enter into covenant agreements for the maintenance of any private open space tracts with stream buffer zones or stormwater detention area tracts, prior to recording the plat.
56. The developer shall enter into a covenant agreement for the maintenance of any storm water detention area tracts as required by the Kansas City Water Services Department, prior to recording the plat.
57. For townhouse developments, individual sanitary and water service lines are required to each unit.

A copy of said development plan is on file in the office of the City Clerk with this ordinance and is made a part hereof.

Section C. That the Council finds and declares that before taking any action on the proposed amendment and development plan hereinabove, all public notices and hearings required by the Zoning and Development Code have been given and had.

..end

I hereby certify that as required by Chapter 88, Code of Ordinances, the foregoing ordinance was duly advertised and public hearings were held.

Sara Copeland, FAICP
Secretary, City Plan Commission

Approved as to form:

Sarah Baxter
Senior Associate City Attorney



City of Kansas City, Missouri

Docket Memo

Ordinance/Resolution #: 260563

Submitted Department/Preparer: City Planning

Revised 01/30/25

Docket memos are required on all ordinances initiated by a Department Director. More information can be found in [Administrative Regulation \(AR\) 4-1](#).

Executive Summary

Rezoning an area of about 87 acres generally located at the southeast corner of North Staley Road and Northeast Shoal Creek Parkway from District R-80 (Residential) to District R-6 (Residential) and approving a development plan, also serving as a preliminary plat to allow for the creation of 200 residential lots. (CD-CPC-2026-00037 & 38).

Discussion

The applicant is proposing to rezone an 87 acres parcel from district R-80 (Residential dash 80) to R-7.5 (Residential dash 7.5) along with seeking approval of a development plan, also serving as a preliminary plat. The site is located at the southeast corner of Northeast Shoal Creek Parkway and Northeast Staley Road. The development plan proposes to subdivide the unplatted parcel for the purpose of residential development. The R-7.5 (Residential) zoning district will allow for the applicant to create 7,500 square foot lots, while the current zoning district would only allow for the creation of additional lots 80,000 square feet or more. The development plan proposes 200 residential lots in five phases; the development plan does not specify building footprints locations or sizes. Additionally, 17 tracts will be created for parkland, private open space and storm water detention. The lots abutting Northeast Shoal Creek Parkway will need to following the Parkway Standards for residential development, per section 88-323 of the Zoning and Development Code.

The development plan shows street trees in compliance with the Zoning and Development Code. Future development on each tract must also comply with the landscaping and screening standards per Section 88-425 of the Zoning and Development code.

There was no public testimony submitted to staff at the time of this docket memo or at the City Plan Commission.

Fiscal Impact

1. Is this legislation included in the adopted budget? Yes No
2. What is the funding source?
Not applicable as this is an ordinance allowing for the development of a private property.
3. How does the legislation affect the current fiscal year?
Not applicable as this is an ordinance allowing for the development of a private property.
4. Does the legislation have a fiscal impact in future fiscal years? Please notate the difference between one-time and recurring costs.
Not applicable as this is an ordinance allowing for the development of a private property.
5. Does the legislation generate revenue, leverage outside funding, or deliver a return on investment?
Not applicable as this is an ordinance allowing for the development of a private property.

Office of Management and Budget Review

(OMB Staff will complete this section.)

1. This legislation is supported by the general fund. Yes No
2. This fund has a structural imbalance. Yes No
3. Account string has been verified/confirmed. Yes No

Additional Discussion (if needed)

This ordinance has no fiscal impact.

Citywide Business Plan (CWBP) Impact

1. View the [Adopted 2025-2029 Citywide Business Plan](#)
2. Which CWBP goal is most impacted by this legislation?
Housing and Healthy Communities (Press tab after selecting.)
3. Which objectives are impacted by this legislation (select all that apply):

- Utilize planning approaches in neighborhoods to reduce blight, ensure sustainable, affordable housing, and improve resident wellbeing and cultural diversity.
- Maintain and increase housing supply to meet the demands of a diverse population.
- Address the various needs of the City's most vulnerable population by working to reduce disparities.
- Promote healthy residents by ensuring basic sanitation and living needs are met.
- Ensure all residents have safe, accessible, quality housing by reducing barriers.
- Protect and promote healthy, active amenities such as parks and trails, play spaces, and green spaces.

Prior Legislation

None.

Service Level Impacts

Not applicable as this is an ordinance allowing for the development of a private property.

Staff Recommendation

Click or tap here to enter department.

Select One: Sponsored
 Directive: Res/Ord # [Click to enter Res/Ord. No.](#)

Select One: Recommend
 Do Not Recommend
 Not Applicable

City Staff and City Plan Commission recommend approval, subject to conditions of this ordinance based on all applicable city codes.

Other Impacts

1. What will be the potential health impacts to any affected groups?
Not applicable as this is an ordinance allowing for the development of a private property.
2. How have those groups been engaged and involved in the development of this ordinance?
Not applicable as this is an ordinance allowing for the development of a private property.
3. How does this legislation contribute to a sustainable Kansas City?
Not applicable as this is an ordinance allowing for the development of a private property.
4. Does this legislation create or preserve new housing units?
Yes (Press tab after selecting)

Total Number of Units This is an ordinance will allow for the development of a private property to create 200 residential lots.

Number of Affordable Units [Click or tap here to enter text.](#)

5. Department staff certifies the submission of any application Affirmative Action Plans or Certificates of Compliance, Contractor Utilization Plans (CUPs), and Letters of Intent to Subcontract (LOIs) to CREO prior to, or simultaneously with, the legislation entry request in Legistar.

No - CREO's review is not applicable (Press tab after selecting)

Please provide reasoning why not:

Not applicable as this is an ordinance allowing for the development of a private property.

6. Does this legislation seek to approve a contract resulting from an Invitation for Bid?

No(Press tab after selecting)

Not applicable as this is an ordinance allowing for the development of a private property.

7. Does this legislation seek to approve a contract resulting from a Request for Proposal/Qualification (RFP/Q)?
No(Press tab after selecting)

