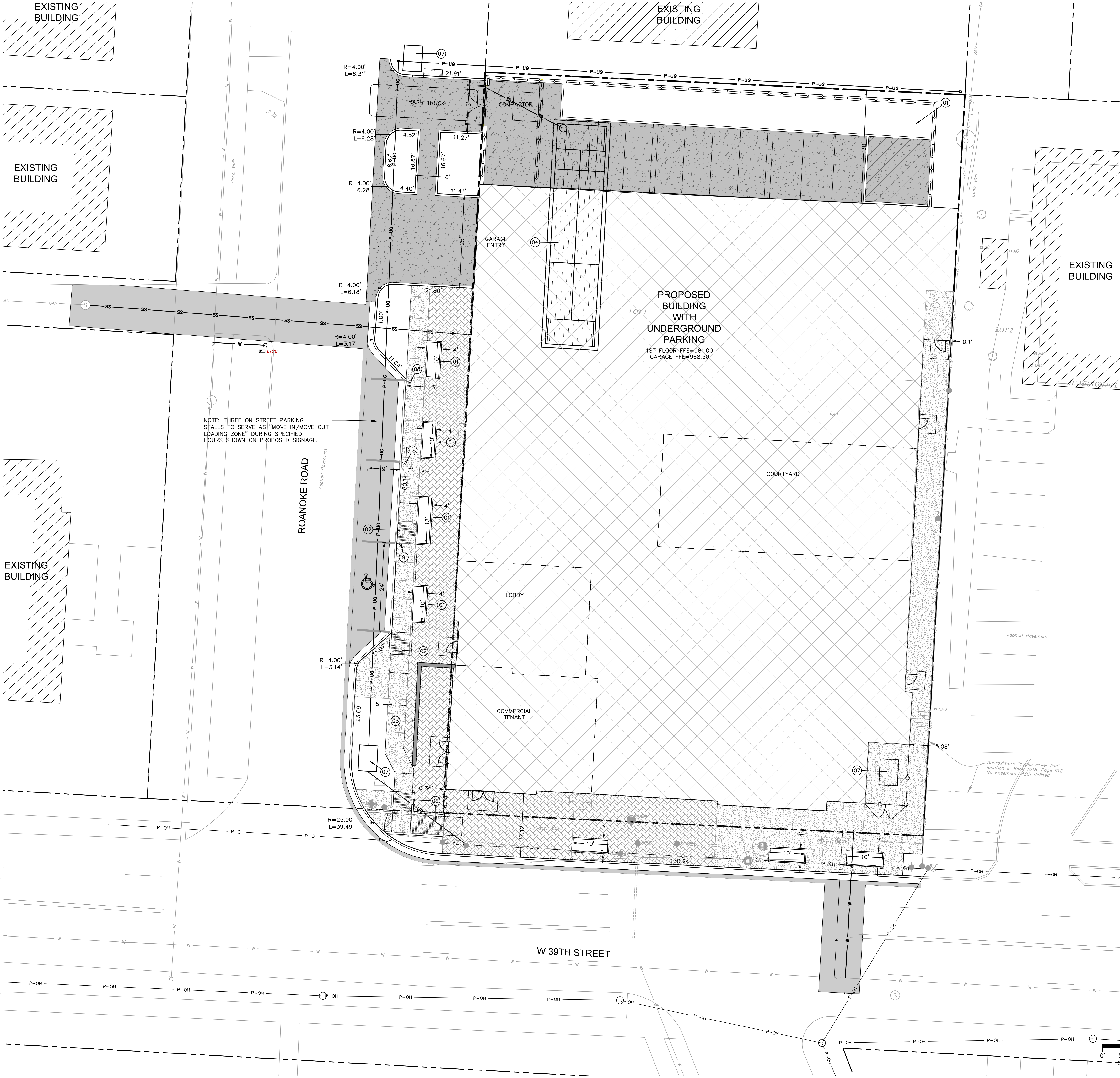




LEGAL DESCRIPTION:

ALL THAT PART OF LOT 1 AND 2, HAMILTON HILL, A SUBDIVISION OF LAND IN KANSAS CITY, JACKSON COUNTY, MISSOURI, MORE PARTICULARLY DESCRIBED AS FOLLOW:

BEGINNING AT THE INTERSECTION OF THE EAST RIGHT-OF-WAY LINE OF ROANOKE ROAD AND THE NORTH RIGHT-OF-WAY LINE OF 39TH STREET AS NOW ESTABLISHES; THENCE S N 31°4'04" e ALONG SAID EAST RIGHT-OF-WAY LINE, A DISTANCE OF 200.24 FEET TO A POINT ON THE NORTH LINE OF THE SOUTH 207.75 FEET OF LOTS 1 AND 2; THENCE S. 87° 18'38" e. ALONG SAID NORTH LINE, A DISTANCE OF 129.73 FEET; THENCE S. 31°4'03" W, A DISTANCE OF 200.38 FEET TO A POINT ON SAID NORTH RIGHT-OF-WAY LINE OF ROANOKE ROAD; THENCE N. 87°15'13" W. ALONG SAID NORTH RIGHT-OF-WAY LINE, A DISTANCE OF 129.76 FEET TO THE POINT OF BEGINNING.

ALSO BEING SHOWN AS TRACT 2, ON THE MINOR SUBDIVISION LOT SPLIT OF PART OF LOT 1, LOT 2, AND LOT 3, HAMILTON HILL, A SUBDIVISION OF LAND IN KANSAS CITY, JACKSON COUNTY, MISSOURI, RECORDED JULY 24, 2022, AS DOCUMENT NO. 2022E0069738, IN BOOK 54, PAGE 64.

LEGEND

---	PROPERTY LINE
[Pattern]	CONCRETE SIDEWALK & PATIO
[Pattern]	HEAVY DUTY CONCRETE
[Pattern]	HEAVY DUTY ASPHALT
[Pattern]	SPECIALTY PAVING
SS	SANITARY SERVICE LINE
W	WATER SERVICE LINE
P-UG	UNDERGROUND POWER SERVICE LINE
FP	PROPOSED FIRE PROTECTION LINE
COMM	COMMUNICATIONS SERVICE LINE
SD	LANDSCAPE/ROOF DRAIN

KEY NOTE LEGEND:

01 PLANTER RE: ARCH
02 ADA ACCESSIBLE RAMP. RE: DETAILS
03 CAST-IN-PLACE RETAINING WALL. RE: DETAILS
04 UNDERGROUND DETENTION (PARKING GARAGE LEVEL)
05 EXISTING FIRE HYDRANT
06 PROPOSED ABOVE GROUND EVERGY EQUIPMENT TRANSFORMER AND ENCLOSURE
07 PROPOSED TRANSFORMER (COORDINATE WITH EVERGY)
08 LOADING ZONE SIGNAGE (TYP.)
09 ADA ACCESSIBLE SIGN

DEVELOPMENT SUMMARY:

A. EXISTING ZONING: BR3-2 & R-5
PROPOSED ZONING: BR3-3

B. TOTAL LAND AREA: 0.6 ACRES (26,140 SF)

C. LAND AREA AND ACRES FOR EXISTING AND PROPOSED STREET RIGHT OF WAY: 0.00 AC

D. NET LAND AREA: 0.6 ACRES (26,140 SF)

E. PROPOSED LAND USE: SINGLE PURPOSE RESIDENTIAL BUILDING (MULTI-UNIT)

F. BUILDING STORIES: 4/3 OVER PARKING GARAGE
BUILDING HEIGHT: 49.33' (NORTH END) 46.41' (SOUTH END)

G. UNIT MIX:
STUDIO = 32
1 BED = 25
1 BED + DEN = 6
2 BED = 6

TOTAL UNITS = 69

GARAGE = 18,531 SF
STORAGE AREA/MECHANICAL ROOM = 622 SF
LOBBY = 918 SF

1st FLOOR
APARTMENTS = 1,866 SF
COMMERCIAL TENANT = 1,274 SF
RESIDENTIAL = 14,157 SF
TOTAL: 17,297 SF

2ND FLOOR
RESIDENTIAL = 16,937 SF

3RD FLOOR
RESIDENTIAL = 16,937 SF

4TH FLOOR
RESIDENTIAL = 8,832 SF

GRAND TOTAL: 60,003 SF

H. FLOOR AREA RATIO MAXIMUM: 3.0
FLOOR AREA RATIO PROPOSED: 2.30
LOT AREA PER UNIT:
REQUIRED = 400 SF MIN.
PROPOSED = 378 SF (DEVIATION REQUIRED)

I. PARKING REQUIRED: 1 STALL PER UNIT = 69
PARKING PROVIDED: = 70 (GARAGE)

J. BICYCLE PARKING
REQUIRED SHORT TERM: = 10% OF VEHICLE STALLS = 8 SPACES
REQUIRED LONG TERM: = 1 PER EVERY 3 DWELLING UNITS = 23 SPACES

PROVIDED SHORT TERM: = 8 SPACES (GARAGE LEVEL)
PROVIDED LONG TERM: = 23 SPACES (GARAGE LEVEL)

NOTE - 88-408 PARKLAND DEDICATION

REQUIRED:
69 UNITS X 2 = 138
138 X 0.006 = 0.83 ACRES OF PARKLAND REQUIRED

PROVIDED:
MONEY IN LIEU OF DEDICATION

BUILDING DATA	REQUIRED	PROPOSED	DEVIATION REQUESTED	APPROVED
REAR SETBACK	30'	30'		
FRONT SETBACK	NONE	NONE		
SIDE SETBACK	8'	0	8' DEVIATION	
SIDE SETBACK (ABUTTING STREET)	NONE	0		
LOT AREA PER UNIT	400 SF	378 SF	22 SF DEVIATION	
ABSOLUTE MAXIMUM HEIGHT	55'	55'		

* PER DWG C42.50, MEASURED FROM LOWEST ADJACENT GRADE TO TOP PLATE

REVISIONS

1	06.08.25	COMMENT RESPONSES
---	----------	-------------------

JOB NO. 721122
DRAWN BY RLK / TMP
REZONING SUBMITTAL

SHEET NAME
SITE DIMENSION PLAN

SHEET NO.

DATE 04.14.25

C2.0

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PRAIRIE VILLAGE, KS 66208

ARCHITECT
TERRY M. PARSONS
NUMBER
PE-2018010505
1/1/2023
PROFESSIONAL ENGINEER

A NEW MULTI-FAMILY DEVELOPMENT:

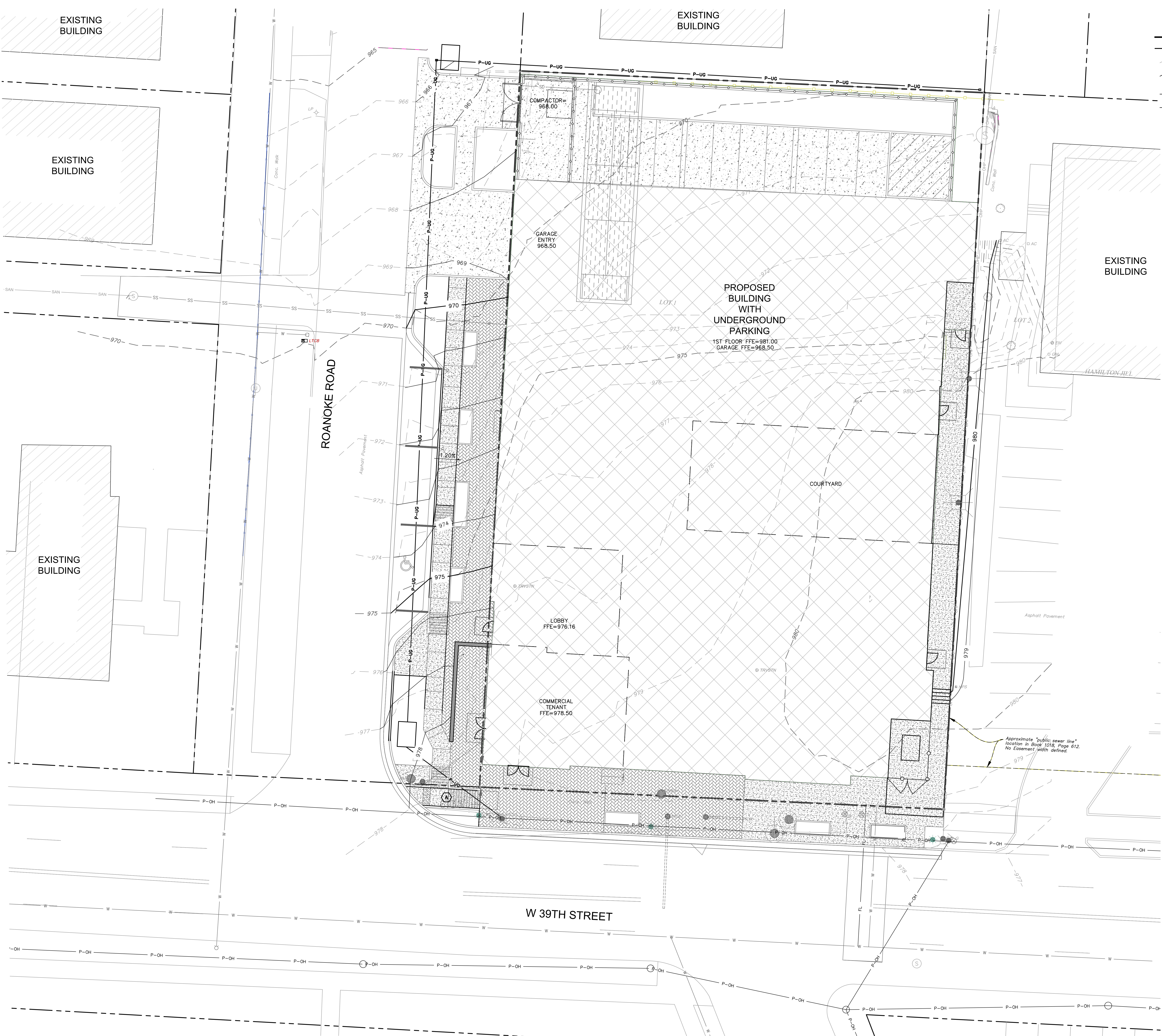
HICKOK HOMES 39TH STREET

WEST 39TH STREET & ROANOKE ROAD
KANSAS CITY, MISSOURI

DRAWING RELEASE LOG

04.14.25	REZONING SUBMITTAL
06.08.25	COMMENT RESPONSES
08.03.25	REZONING SUBMITTAL
09.10.25	COMMENT RESPONSES

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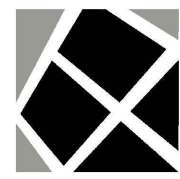


LEGEND

- PROPERTY LINE
- LOT LINE
- EXISTING GRADE CONTOUR
- FINISHED GRADE CONTOUR
- RIDGE
- RIDGE LINE
- VALLEY
- VALLEY LINE

REVISOR
REVISION

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A NEW MULTI-FAMILY DEVELOPMENT:
HICKOK HOMES 39TH STREET
WEST 39TH STREET & ROANOKE ROAD
KANSAS CITY, MISSOURI

DRAWING RELEASE LOG
10/14/23 REZONING SUBMITTAL
10/18/23 COMMENT RESPONSES
10/18/23 REZONING SUBMITTAL

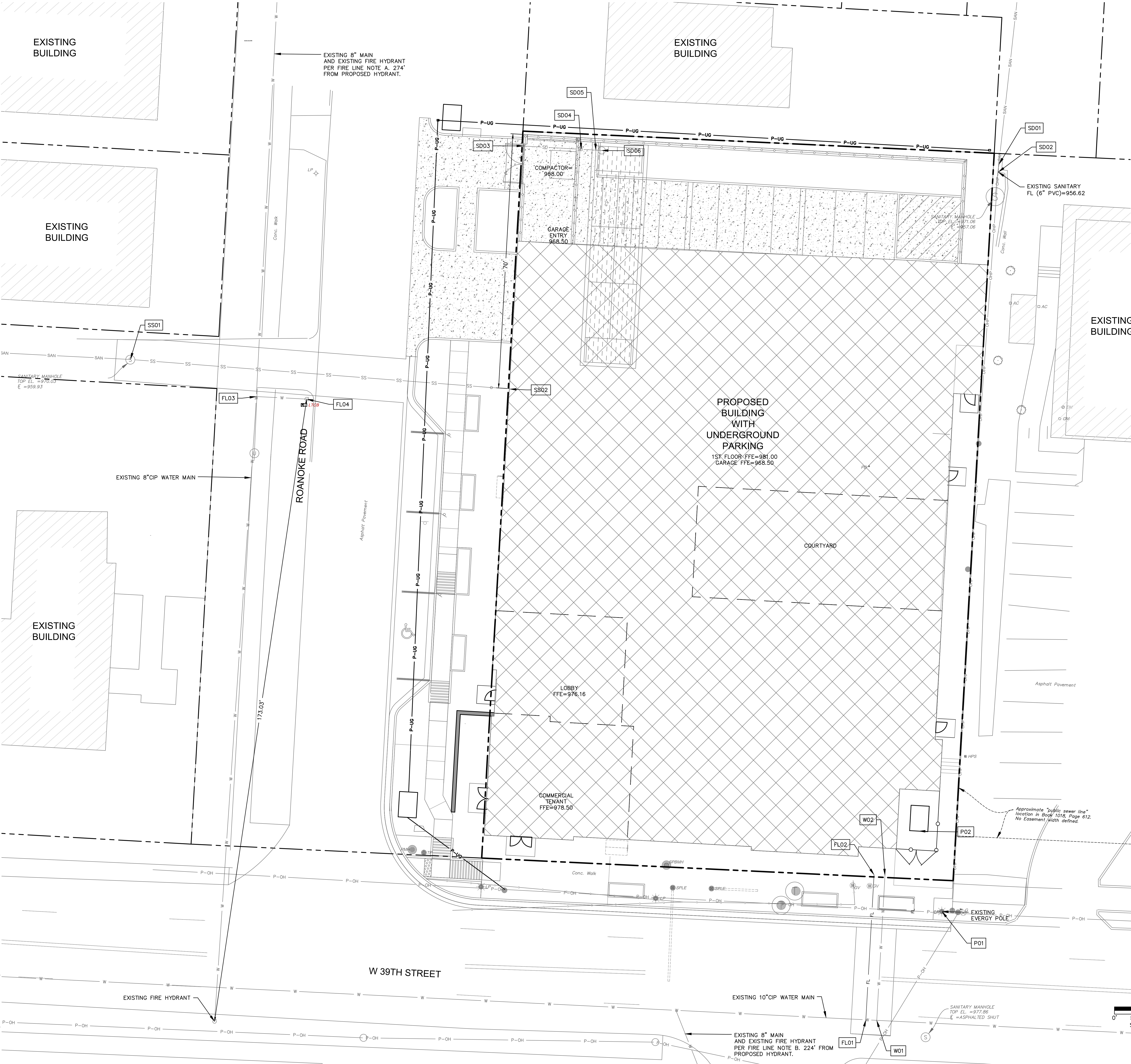
REVISIONS
1 08.08.25 COMMENT RESPONSES

JOB NO.
721122
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REZONING SUBMITTAL

SHEET NAME
GRADING PLAN

SHEET NO.

C3.0



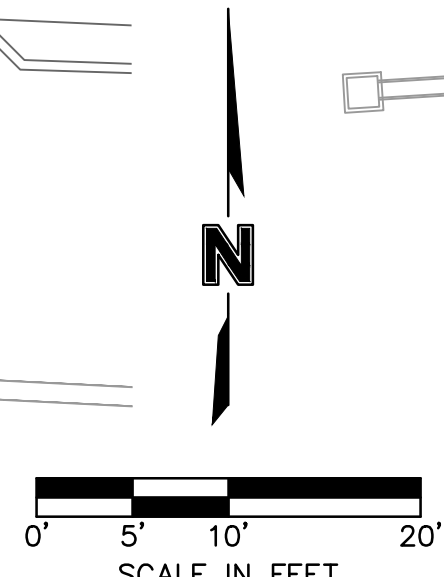
UTILITY KEYNOTES:

- DOMESTIC WATER:
- W01 CONNECT TO MAIN. INSTALL 39.93 LF WATER SERVICE. COORDINATE WITH KCMO WATER SERVICES.
- W02 CONNECT TO BUILDING. RE: MEP
- FIRE LINE:
- NOTE: EXISTING FIRE HYDRANTS LOCATED IN THE FOLLOWING LOCATIONS:
A. SOUTHEAST CORNER OF 38TH STREET AND ROANOKE ROAD, +/- 334' NORTH AND +/- 91' WEST OF NORTHWEST CORNER OF SUBJECT PROPERTY.
B. WEST SIDE OF ROANOKE ROAD, +/- 236' SOUTH AND +/- 28' EAST OF SOUTHEAST CORNER OF SUBJECT PROPERTY.
- FL01 CONNECT TO MAIN. INSTALL 39.93 LF OF 8" DIP COORDINATE WITH WATER SERVICES.
- FL02 CONNECT TO BUILDING. RE: MEP
- FL03 CONNECT TO EXISTING WATER MAIN AND INSTALL 13.87 LF OF 8" DIP.
- FL04 INSTALL FIRE HYDRANT AND VALVE ASSEMBLY.
- POWER:
- P01 PRIMARY SERVICE — INSTALL 22.99 LF POWER CONDUIT. CONNECT POWER. COORDINATE WITH EVERGY.
- P02 POWER TRANSFORMER. RE: MEP
- P03 SECONDARY SERVICE — INSTALL XX LF POWER CONDUIT. CONNECT TO TRANSFORMER AND INSTALL XX LF POWER CONDUIT. CONNECT TO BUILDING. RE: MEP
- GAS:
- G01 INSTALL XX LF OF GAS SERVICE LINE. COORDINATE WITH GAS SERVICE
- ROOF DRAIN SYSTEM:
- RD1 RE: MEP
- STORM SEWER: RE: SHEET C5.0
- STORM SEWER:
- SD01 CONNECT TO EXISTING STORM
INSTALL 96.49 LF 4" HDPE (S.W.) @ 2.00%
FL=956.62
- SD02 CONNECT TO UNDERGROUND VAULT
FL=958.55
- SD03 INSTALL 16.00 LF OVERFLOW DRAIN @ 3.25%
FL OUT=967.20
- SD04 CONNECT TO TRAFFIC RATED TRENCH DRAIN @ 3.25% AND
INSTALL 4.00 LF OVERFLOW DRAIN @ 3.25%
FL=967.87
- SD05 CONNECT TO UNDERGROUND VAULT
FL=968.00
- SD06 INSTALL ACCESS RING AND TRAFFIC RATED GRATED COVER
TS=968.20
- SANITARY SEWER:
- SS01 CONNECT TO EXISTING MH
INSTALL 104.54 LF 10" PVC (SDR-26) @ 1.74%
EXISTING TS=970.03
EXISTING FL=959.93
FL IN (E.) 10" PVC (SDR-26)=960.43
- SS02 CONNECT TO BUILDING. RE: MEP
FL=962.25
- COMMUNICATIONS:
- COORDINATE WITH COMMUNICATIONS PROVIDER.

LEGEND

- PROPERTY LINE
- LOT LINE
- UTILITY EASEMENT
- PROPOSED STORM SEWER
- SS --- SS PROPOSED SANITARY SERVICE LINE
- W --- W PROPOSED WATER SERVICE LINE
- P-UG --- P-UG PROPOSED UNDERGROUND POWER SERVICE LINE
- FP --- FP PROPOSED FIRE PROTECTION LINE
- COM --- COM PROPOSED COMMUNICATIONS SERVICE LINE
- SD --- SD PROPOSED LANDSCAPE/ROOF DRAIN
- GAS --- GAS PROPOSED GAS SERVICE
- SS --- SS EXISTING SANITARY SEWER MAIN
- W --- W EXISTING WATER MAIN
- TEL --- TEL EXISTING COMMUNICATIONS LINE
- P-UG --- P-UG EXISTING ELECTRIC LINE
- G --- G EXISTING GAS MAIN
- G --- G EXISTING GAS MAIN
- EXISTING STORM SEWER

REVISED UTILITY PLAN
AND BACKGROUND
INFORMATION PER
ARCHITECTURAL BUILDING
REVISIONS.



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STATE OF MISSOURI
TERRY M. PARSONS
NUMBER
PE-2018010808
KS 6562-03
PROFESSIONAL ENGINEER

A NEW MULTI-FAMILY DEVELOPMENT:

HICKOK HOMES 39TH STREET

WEST 39TH STREET & ROANOKE ROAD
KANSAS CITY, MISSOURI

DRAWING RELEASE LOG
● 04.14.23 REZONING SUBMITTAL
● 05.08.23 COMMENT RESPONSES
● 05.09.23 REZONING SUBMITTAL

REVISIONS
1 05.08.23 COMMENT RESPONSES

JOB NO.
721122
DATE
04.14.25

DRAWN BY
RLK / TMP
REZONING SUBMITTAL

SHEET NAME
UTILITY PLAN

SHEET NO.
C4.0

PEDESTRIAN LIGHT POLE:



LIGHT POLE TO BE 5-GLOBE, APPROX. 9-10FT HEIGHT, COLOR: BLACK.
THREE (3) TOTAL LIGHT POLES, INSTALL PER MANUF. SPECIFICATIONS.

BICYCLE PARKING:

SHORT TERM:
REQUIRED - 10% OF OFF STREET PARKING SPACES PROVIDED.
72 TOTAL GARAGE SPACES * 10% = 7 SHORT TERM SPACES REQUIRED.
PROVIDED: 11 SPACES (7 RACKS)

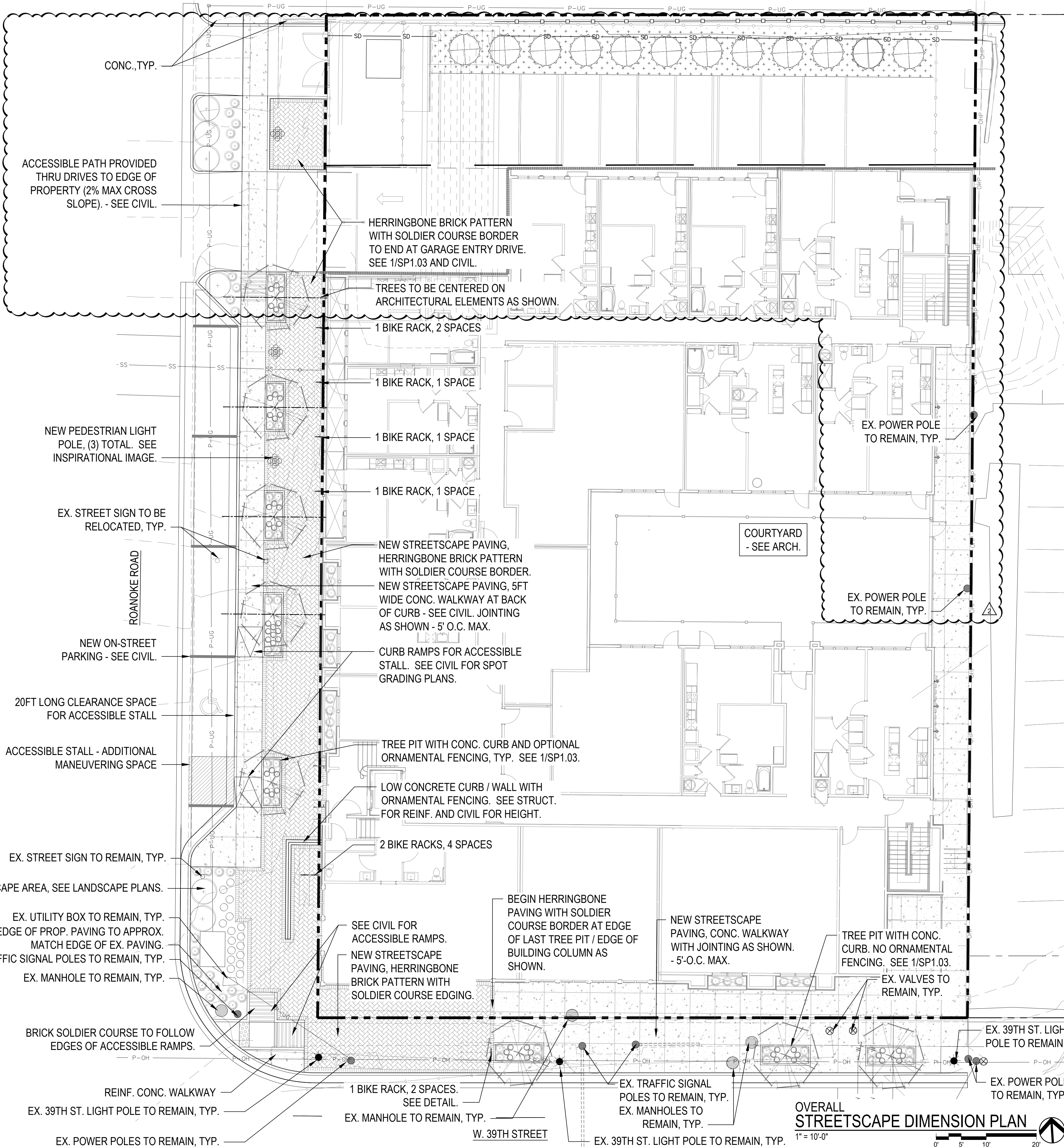
LONG TERM:
REQUIRED - 1 PER 3 DWELLING UNITS
73 / 3 = 24 SPACES REQUIRED
PROVIDED: 30 SPACES WITHIN GARAGE INTERIOR - SEE ARCH. PLANS

PROPOSED SHORT TERM BIKE RACK:
- VICTOR STANELY: BRBS-103 (BLACK) - OR APPROVED EQUAL

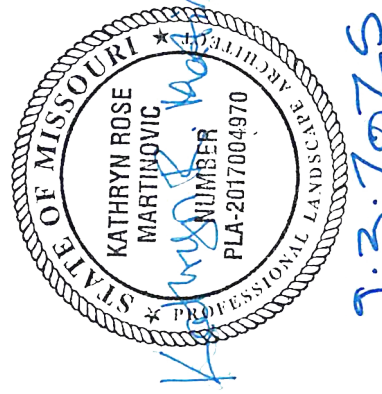


SITE NOTES:

- 1. DECORATIVE PAVING AND LANDSCAPE ITEMS LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY WILL BE MAINTAINED THROUGH A COVENANT TO MAINTAIN AGREEMENT.
- 2. THE CAST IN PLACE WALL IN THE PUBLIC RIGHT OF WAY IS INCLUDED IN THE ENCROACHMENT PERMIT REQUEST.



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A NEW SINGLE PURPOSE MULTI-UNIT RESIDENTIAL BUILDING FOR:
HICKOK HOMES 39TH ST.
W. 39TH ST. & ROANOKE RD.
KANSAS CITY, MISSOURI

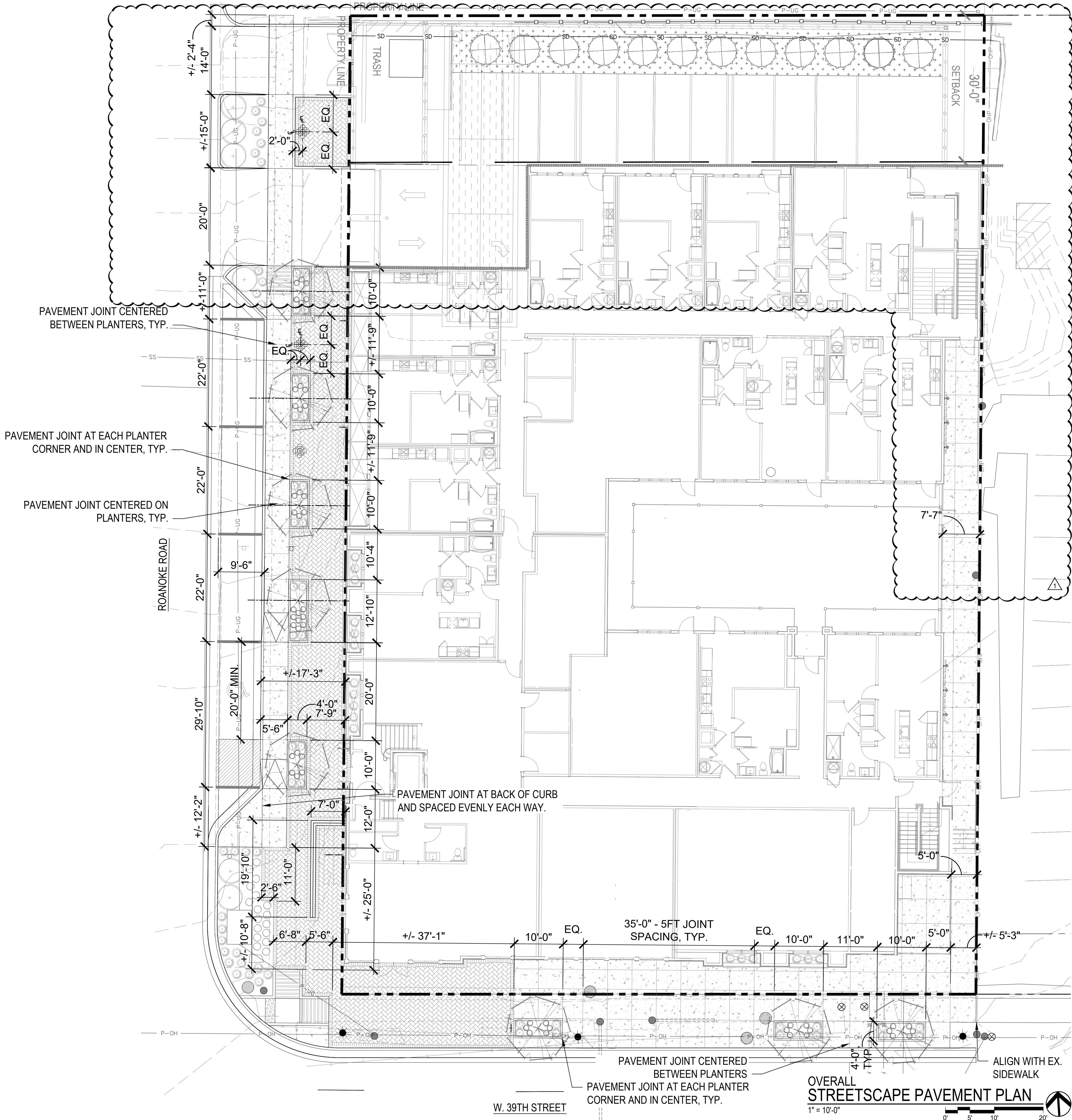
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04.14.25	UR SUBMITTAL

REVISIONS	
1	05.09.25 REZONING SUBMITTAL REVISIONS 1
2	09.03.25 REZONING SUBMITTAL REVISIONS 2

JOB NO. 721122	DATE 04.14.25
DRAWN BY BNH	
UR SUBMITTAL	

SHEET NAME
**ARCHITECTURAL SITE
PLAN - STREETScape**
SHEET NO.

SP1.00

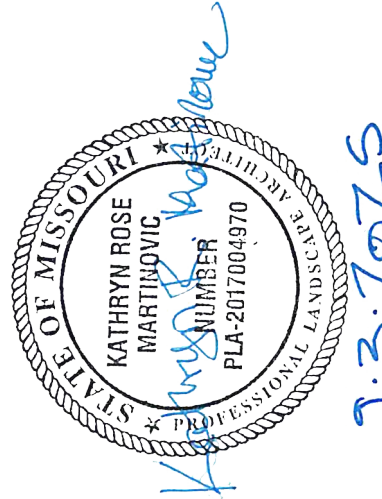


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A NEW SINGLE PURPOSE MULTI-UNIT RESIDENTIAL BUILDING FOR:

HICKOK HOMES 39TH ST.

W. 39TH ST. & ROANOKE RD.
KANSAS CITY, MISSOURI

DRAWING RELEASE LOG
04.14.25 UR SUBMITTAL

REVISIONS
1 09.03.25 REZONING SUBMITTAL
REVISIONS 2

JOB NO. 721122	DATE 04.14.25
DRAWN BY BNH	
UR SUBMITTAL	

SHEET NAME
**ARCHITECTURAL SITE
PLAN - STREETSCAPE**

SHEET NO.
SP1.01



A NEW SINGLE PURPOSE MULTI-UNIT RESIDENTIAL BUILDING FOR:

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KANSAS CITY, MISSOURI

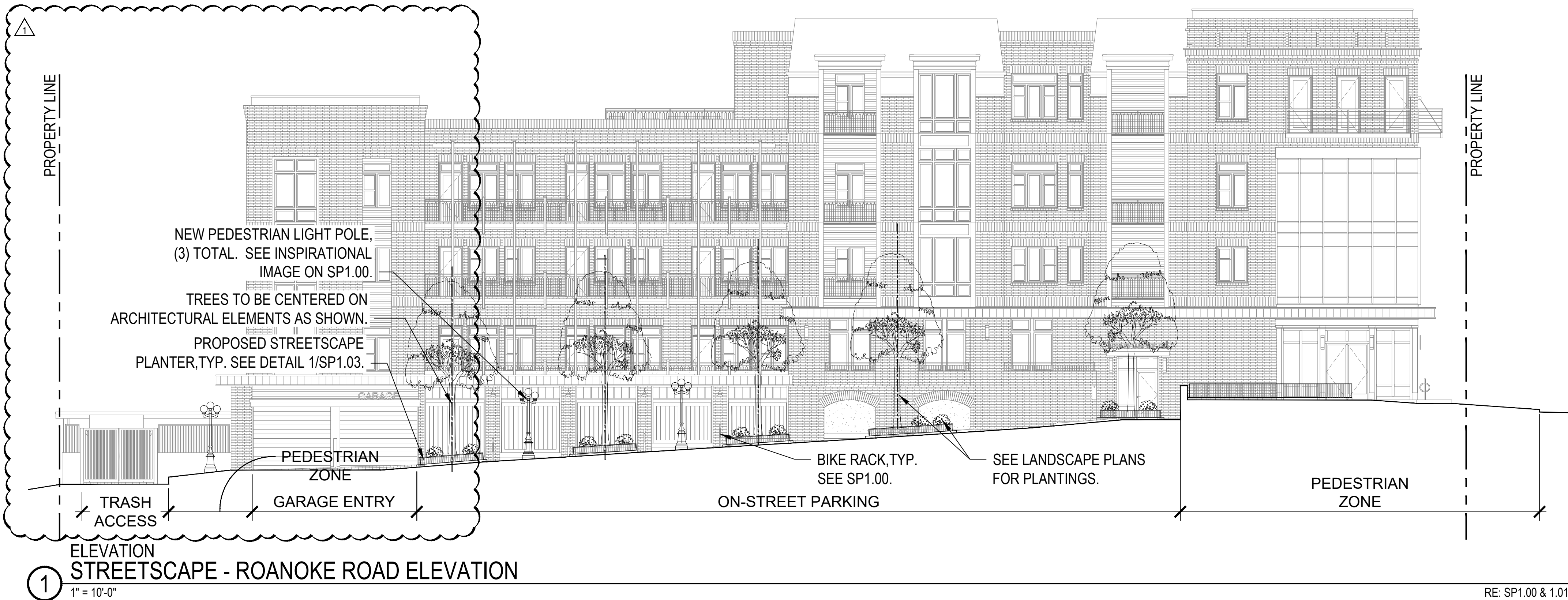
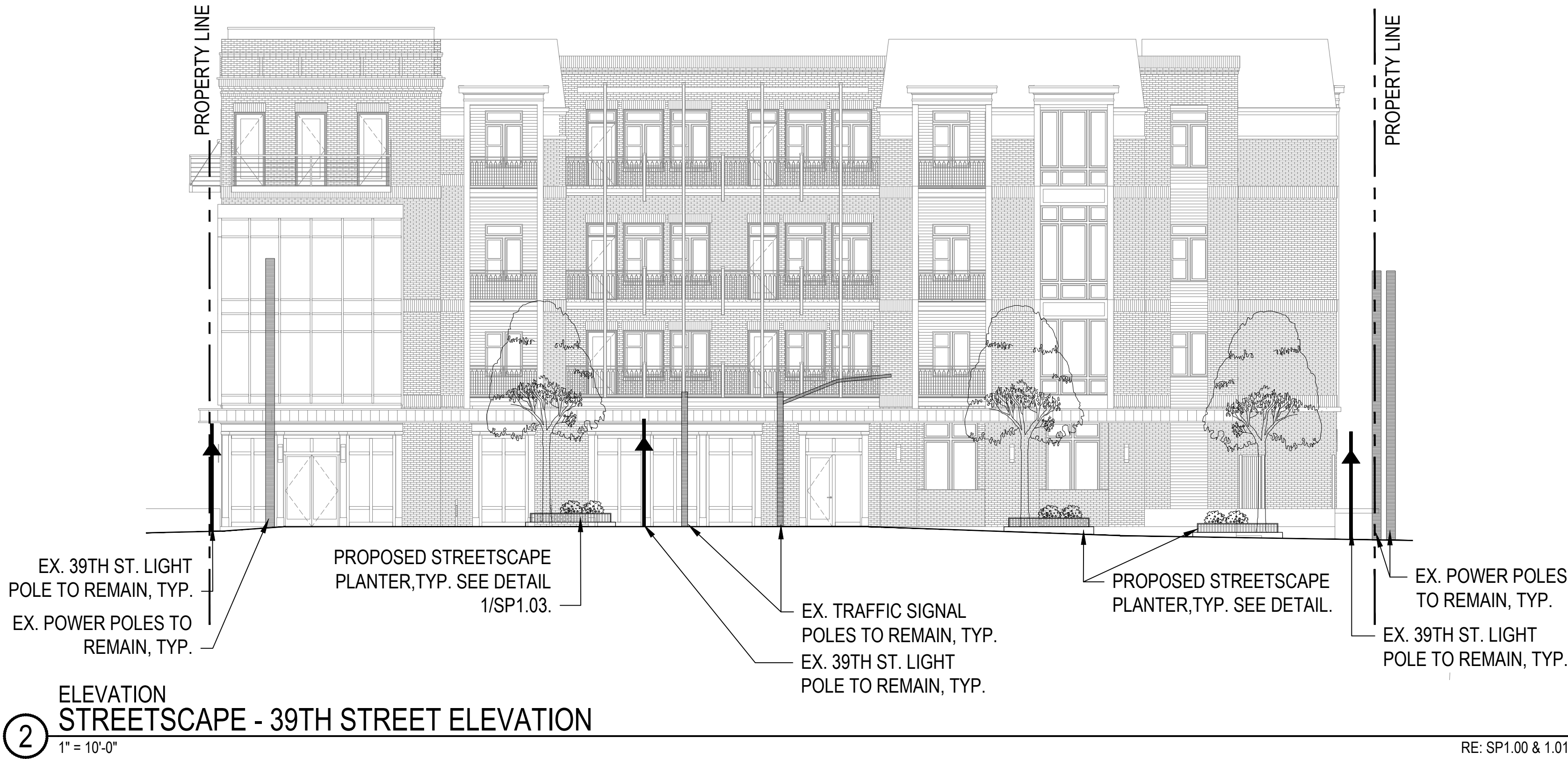
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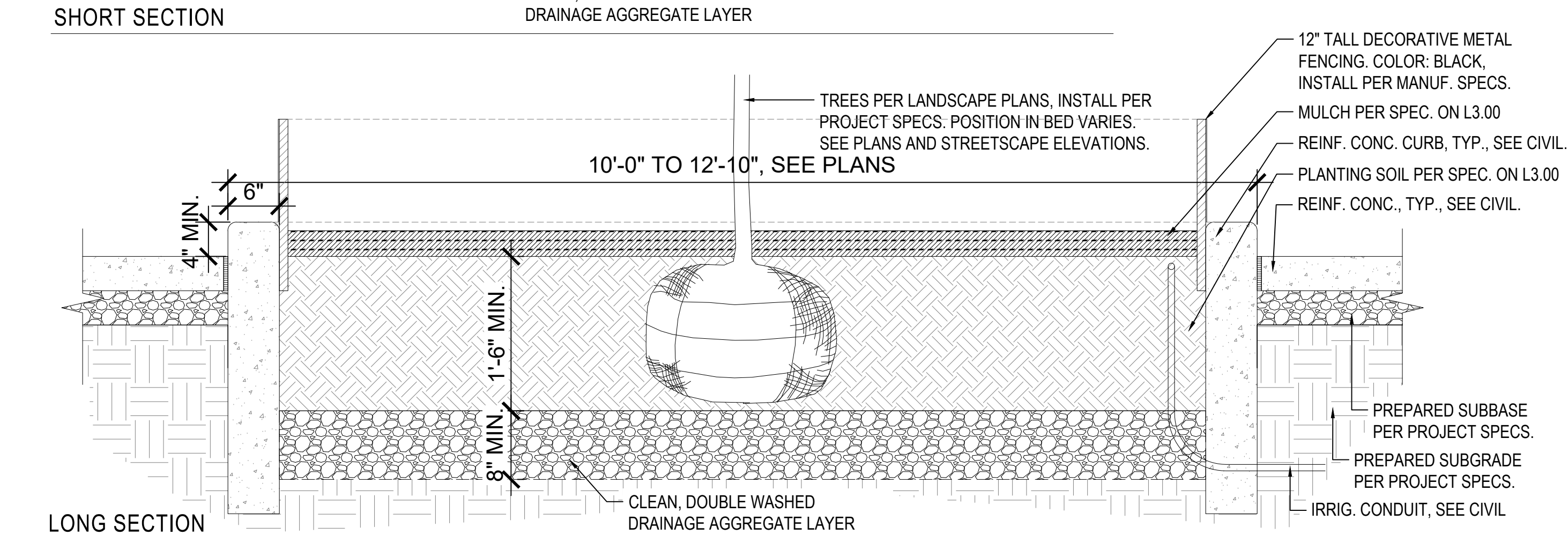
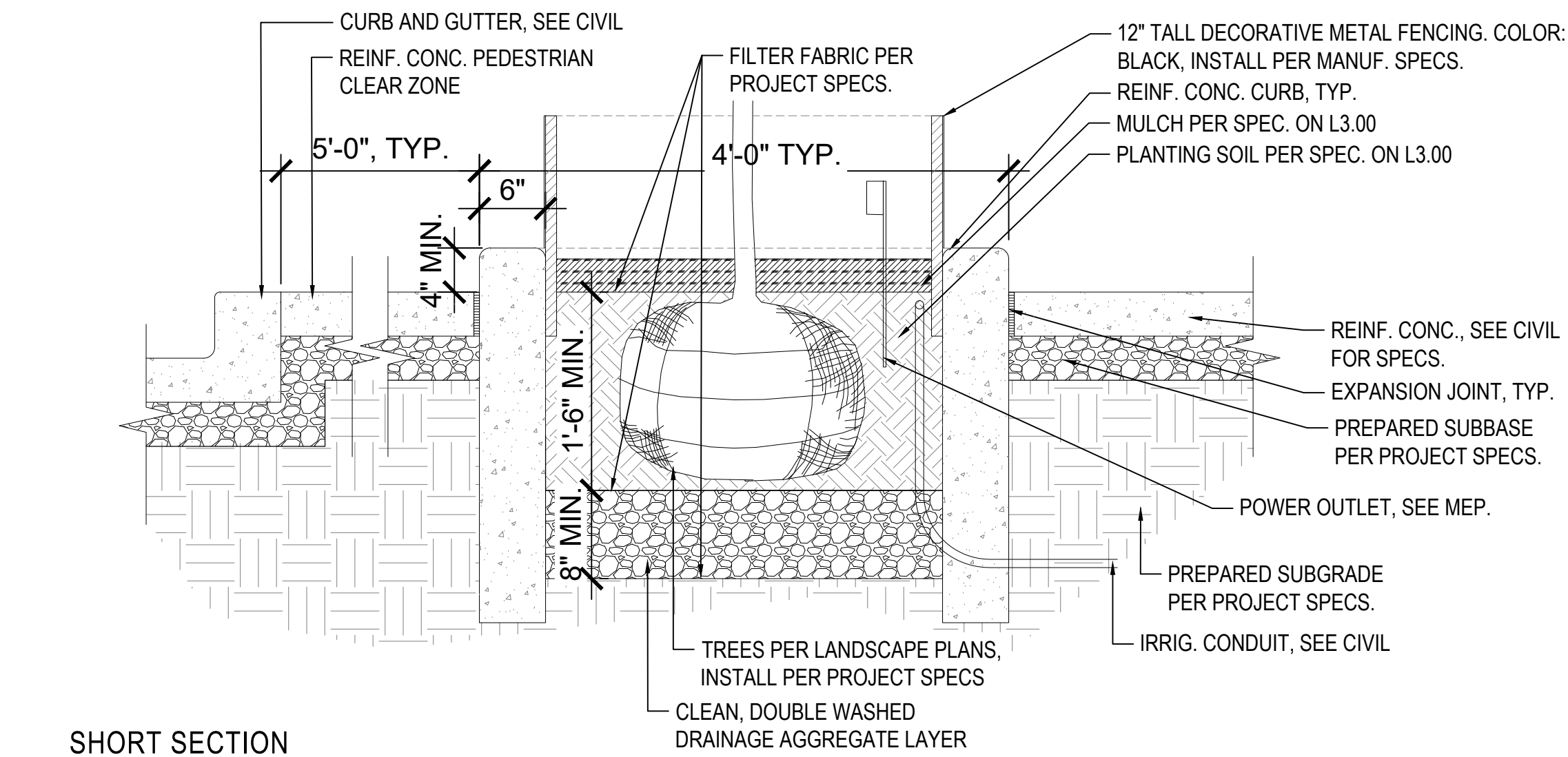
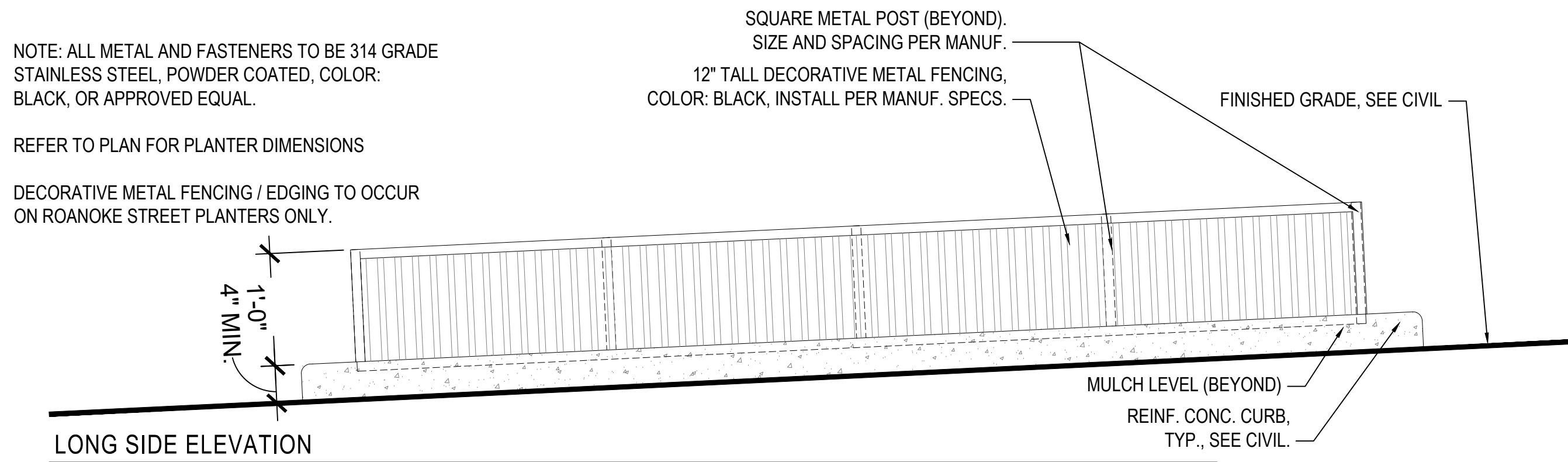
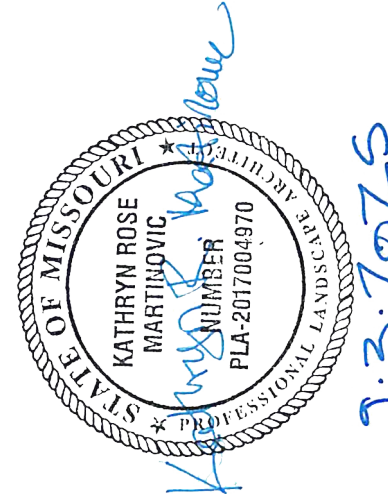
REVISIONS	
1	09.03.25 REZONING SUBMITTAL
	REVISIONS 2

JOB NO. 721122	DATE 04.14.25
DRAWN BY BNH	
UR SUBMITTAL	

SHEET NAME
**ARCHITECTURAL SITE
PLAN - STREETSCAPE**
SHEET No.

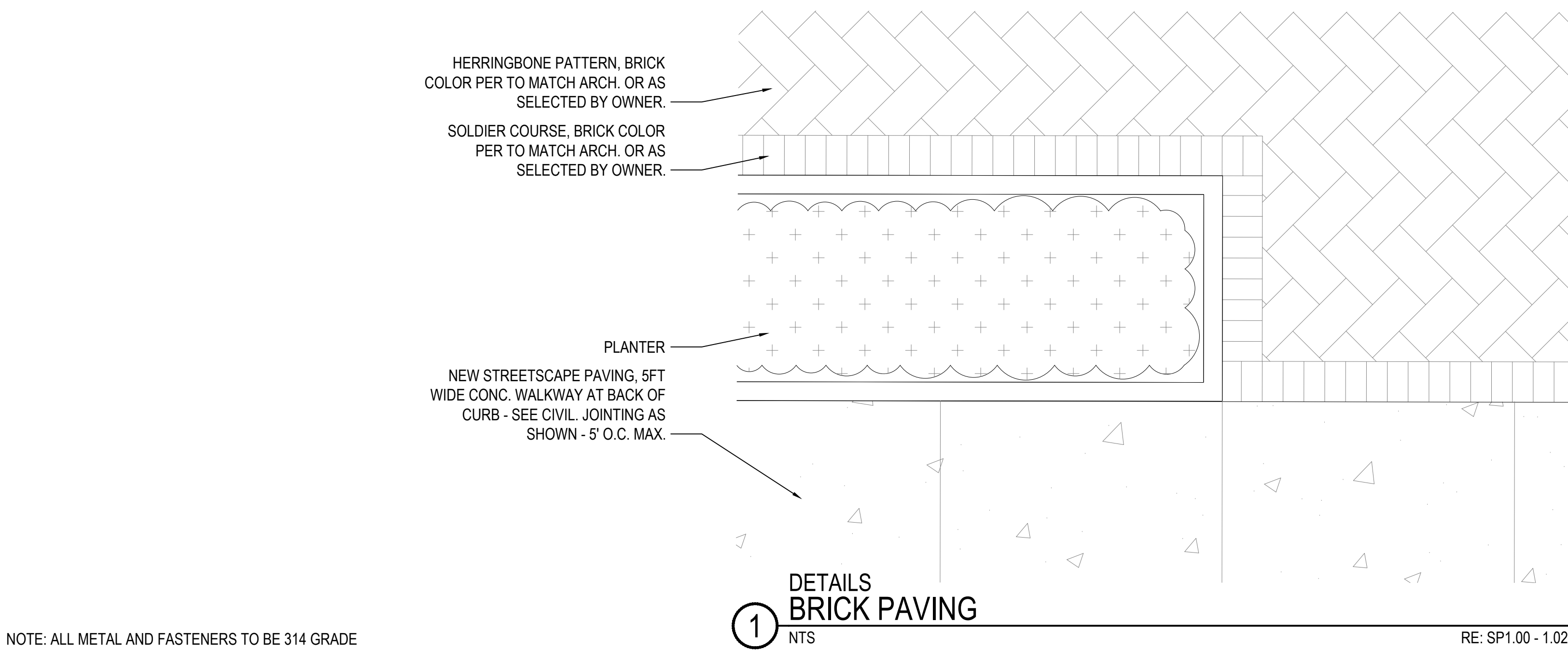
SP1.02





2 DETAILS
STREETSCAPE - PLANTERS (39TH STREET)
1" = 1'-0"

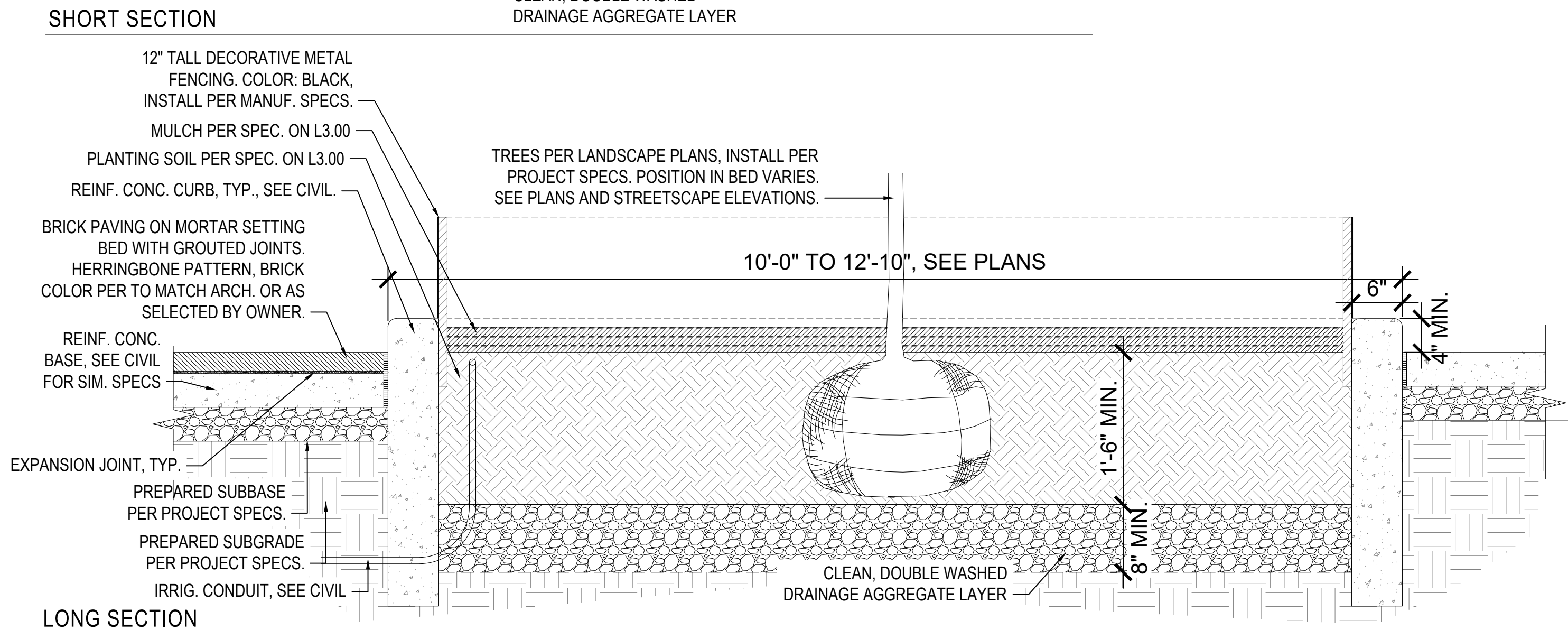
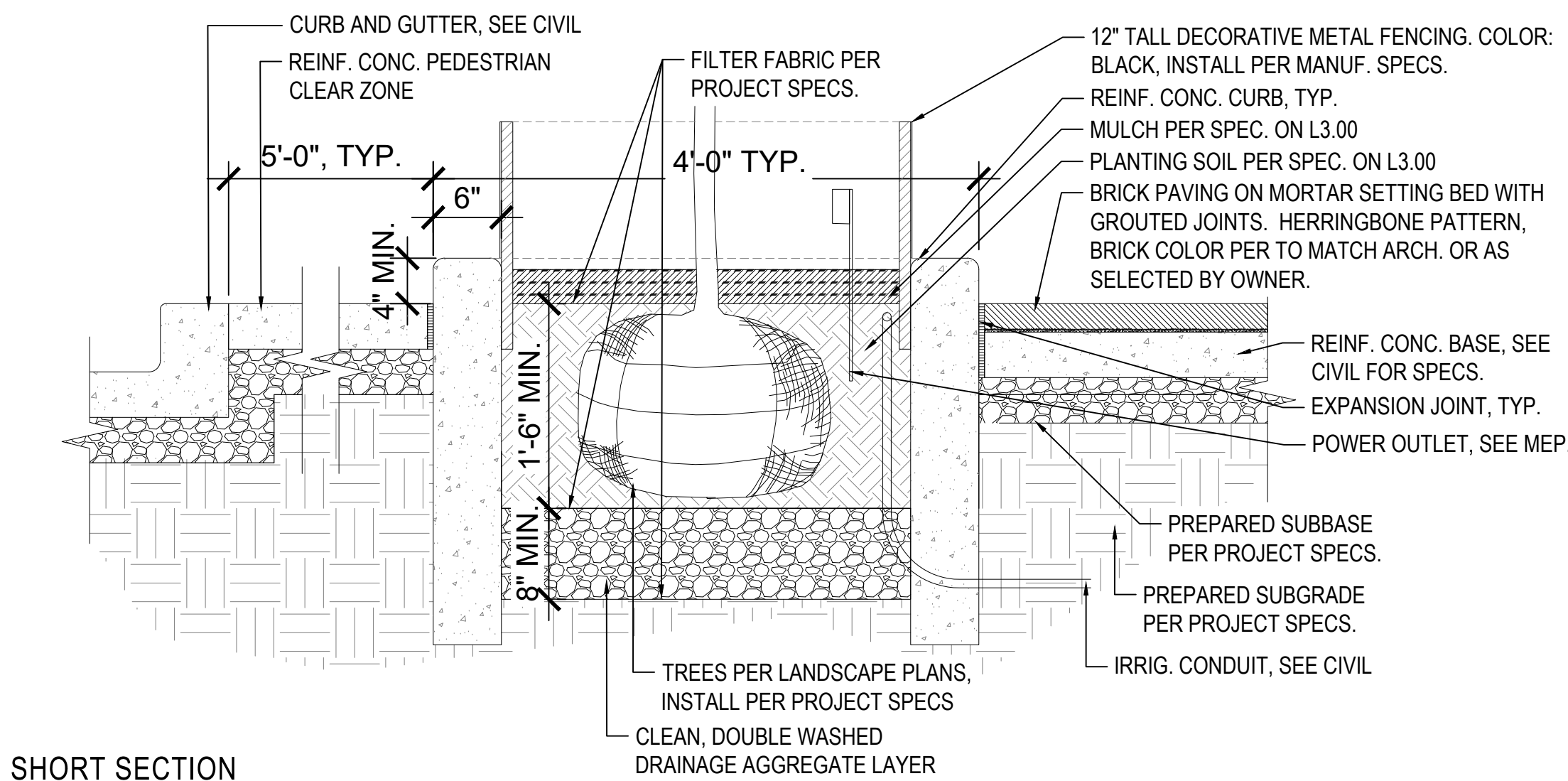
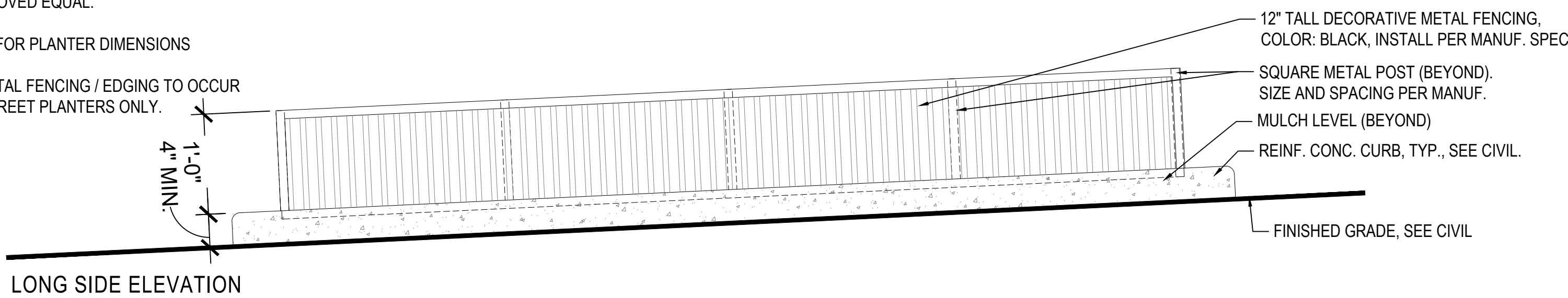
RE: SP1.00 - 1.02



NOTE: ALL METAL AND FASTENERS TO BE 314 GRADE STAINLESS STEEL, POWDER COATED, COLOR: BLACK, OR APPROVED EQUAL.

REFER TO PLAN FOR PLANTER DIMENSIONS

DECORATIVE METAL FENCING / EDGING TO OCCUR ON ROANOKE STREET PLANTERS ONLY.



1 DETAILS
STREETSCAPE - PLANTERS (ROANOKE)
1" = 1'-0"

RE: SP1.00 - 1.02

A NEW SINGLE PURPOSE MULTI-UNIT RESIDENTIAL BUILDING FOR:

HICKOK HOMES 39TH ST.

W. 39TH ST. & ROANOKE RD.

KANSAS CITY, MISSOURI

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REVISIONS

JOB NO. 721122
DATE 04.14.25
DRAWN BY BNH
UR SUBMITTAL

SHEET NAME ARCHITECTURAL SITE PLAN - STREETSCAPE
SHEET NO.

SP1.03

GENERAL NOTES

1. EACH BIDDER SHALL VISIT THE SITE OF THE PROPOSED WORK AND EXAMINE THE SITE CONDITIONS. HE SHALL ALSO CAREFULLY EXAMINE THE DRAWINGS FOR THE PROPOSED WORK AND FAMILIARIZE HIMSELF WITH ALL CONDITIONS, WHICH MAY AFFECT THE PROPOSED WORK.
2. THE PLANTING PLAN GRAPHICALLY ILLUSTRATES OVERALL PLANT MASSINGS. EACH PLANT SPECIES MASSING SHALL BE PLACED IN THE FIELD TO UTILIZE GREATEST COVERAGE OF GROUND PLANE. THE FOLLOWING APPLIES FOR INDIVIDUAL PLANTINGS:

A. CREEPING GROUNDCOVER SHALL BE A MINIMUM OF 6" FROM PAVING EDGE.

B. ALL TREES SHALL BE A MINIMUM OF 3' FROM PAVING EDGE.

C. ALL PLANTS OF THE SAME SPECIES SHALL BE EQUALLY SPACED APART AND PLACED FOR BEST AESTHETIC VIEWING.

D. ALL SHRUBS SHALL BE A MINIMUM OF 2' FROM PAVED EDGE.
3. NOTIFY LANDSCAPE ARCHITECT 1 WEEK PRIOR TO ANTICIPATED START OF PLANT MATERIAL INSTALLATION. LANDSCAPE CONTRACTOR SHALL STAKE ALL PROPOSED PLANTING BED EDGES, SET OUT SHRUBS IN INTENDED LOCATIONS, AND STAKE TREE LOCATIONS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
4. ALL NEW PLANT BED AREAS TO BE IRRIGATED. REFER TO SPECIFICATIONS FOR IRRIGATION SYSTEM DESCRIPTION.
5. REFER TO L3.00 SERIES SHEETS FOR PLANTING DETAILS & SPECIFICATIONS.
6. ROCK BEDS SHALL BE BUFFALO RIVER ROCK, 1"-2.5" SIZE, BY HOUSE OF ROCKS OR APPROVED EQUAL. ALL ROCK BED AREAS SHALL HAVE FILTER FABRIC & BE 4" MIN. DEPTH.
7. ROOF TOP PLANTING SOIL MIX TO BE 1 PART CONCRETE SAND, 1 PART TOPSOIL, & 1 PART COMPOST. WEIGHT WHEN FULLY SATURATED SHALL BE LESS THAN 120 LB. PER CUBIC FOOT PER STRUCTURAL.
8. OWNER TO BE FEE IN-LIEU-OF DEDICATION FOR PARKLAND REQUIREMENTS.

LANDSCAPE REQUIREMENTS

STREET TREES (88-425-03):

1 TREE PER 30 LF OF STREET FRONTAGE:

39TH STREET = +/- 130 LF / 30 LF =	REQUIRED: 4 TREES	PROVIDED: 3 TREES**
ROANOKE RD. = +/- 200 LF / 30 LF =	7 TREES	5 TREES**

**REDUCED QUANTITY OF TREES PROVIDED DUE TO PROPOSED CURB CUTS FOR PARKING ACCESS AND EXISTING INFRASTRUCTURE (UTILITIES).

GENERAL LANDSCAPING (88-425-04):

PRINCIPAL BUILDING COVERAGE = +/- 17,880 SF / 5,000 SF = 4 TREES @ 2" CAL. = 8 CAL. INCHES.
PROPOSED: FEE IN LIEU OF = 8 * \$185 = \$1,480.

TABLE 3

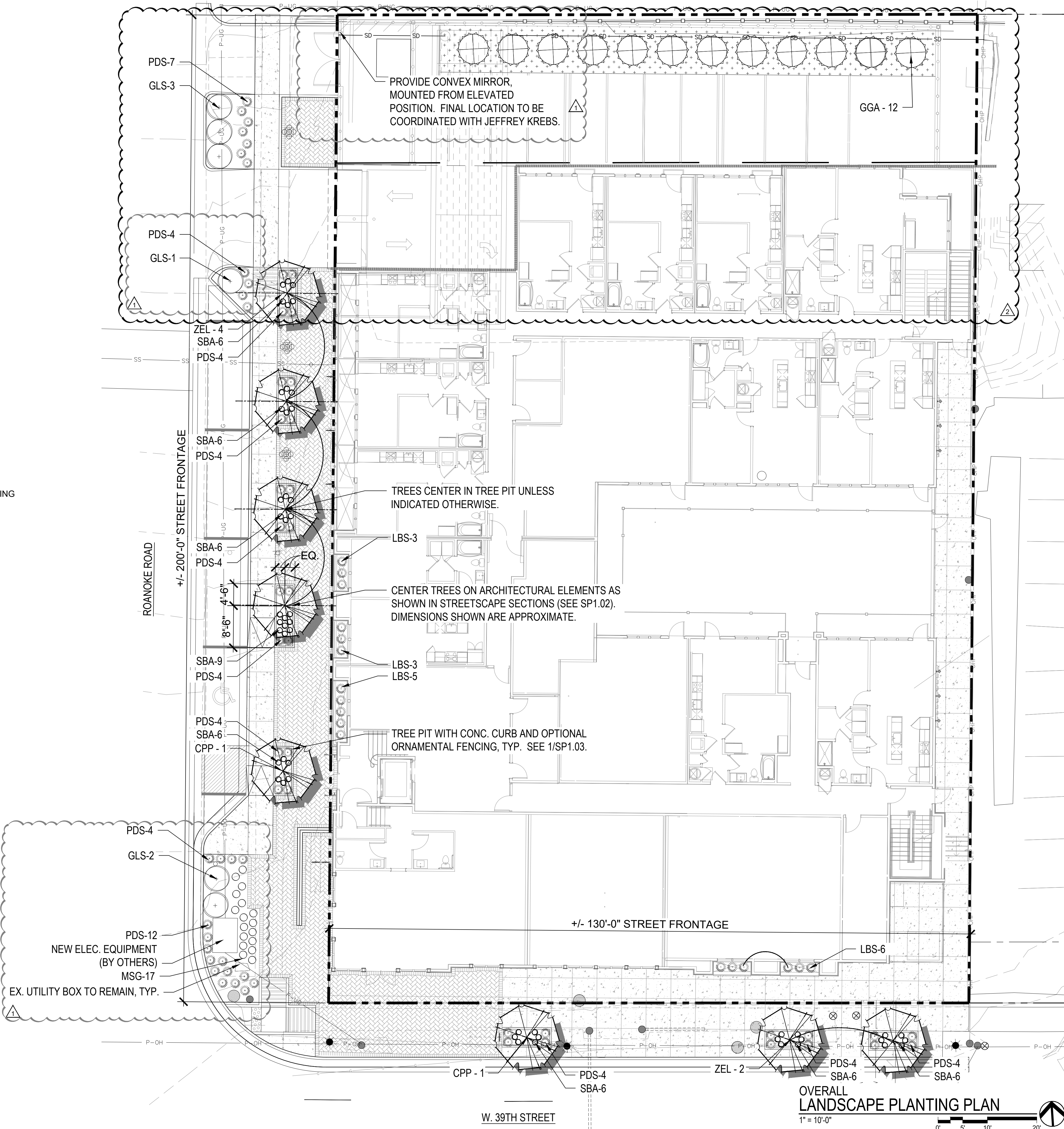
88-425 - LANDSCAPE REQUIREMENTS	Required	Proposed	Alternative Requested?	Approved
88-425-03 Street Trees	11	8		
88-425-04 General	4	0	YES	
88-425-05 Perimeter Vehicular Use Area Adjacent to Streets				
Buffer Width	N/A			
Trees				
Shrubs/Wall/Berm				
Adjacent to Residential Zones				
Buffer Width				
Shrubs/Berm/Fence/Wall				
88-425-06 Interior Vehicular Use Area				
Interior Area	N/A			
Trees				
Shrubs				
88-425-07 Parking Garage Screening	Describe	ARCHITECTURALLY SCREENED.		
88-425-08 Mechanical/Utility Equipment Screening	Describe	ARCHITECTURALLY SCREENED.		
88-425-09 Outdoor Use Screening	Describe	N/A		

TABLE 3a

88-425 - LANDSCAPE REQUIREMENTS	Proposed Alternative	Approved
88-425-03 Street Trees	N/A	
88-425-04 General	FEE IN LIEU OF	
88-425-05 Perimeter Vehicular Use Area Adjacent to Streets		
Buffer Width	N/A	
Trees		
Shrubs/Wall/Berm		
Adjacent to Residential Zones		
Buffer Width		
Shrubs/Berm/Fence/Wall		
88-425-06 Interior Vehicular Use Area		
Interior Area	N/A	
Trees		
Shrubs		
88-425-07 Parking Garage Screening	N/A	
88-425-08 Mechanical/Utility Equipment Screening	N/A	
88-425-09 Outdoor Use Screening	N/A	

PLANT LIST

Common Name	Botanical Name	Size	Notes
Columnar Trees			
CPP	Crimson Pointe Flowering Plum	prunus cerasifera 'Cripoizam' PPAF	2" Cal. B&B
ZEL	Columnar Zelkova	Zelkova serrata 'City Sprite' JFS-KW1 PP 20996	2" Cal. B&B
Evergreen Trees			
GGA	Green Giant Arborvitae	Thuja 'Green Giant'	8' Ht. B&B
Deciduous Shrubs			
GLS	Glow Low Sumac	Rhus aromatica 'Gro-Low'	5 Gal.
Grasses			
LBS	Little Bluestem	Schizachyrium scoparium 'The Blues	2 Gal.
PDF	Prairie Dropseed	Sporobolus heterolepis	2 Gal.
Perennials			
MSG	Meadow Sage	Salvia nemorosa	1 Gal.
SBA	Summer Beauty Allium	Allium 'Summer Beauty'	1 Gal.

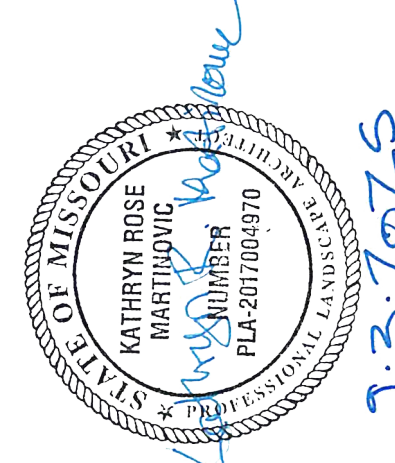


nspj
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ARCHITECTURE
LANDSCAPE
ARCHITECTURE

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NSPJARCH.COM

9415 NALL AVE., #300
PRAIRIE VILLAGE,
KANSAS, 66207



A NEW SINGLE PURPOSE MULTI-UNIT RESIDENTIAL BUILDING FOR:

HICKOK HOMES 39TH ST.

W. 39TH ST. & ROANOKE RD.
KANSAS CITY, MISSOURI

DRAWING RELEASE LOG
04.14.25 UR SUBMITTAL

REVISIONS	
1	05.09.25 REZONING SUBMITTAL REVISIONS 1
2	09.03.25 REZONING SUBMITTAL REVISIONS 2

JOB NO.
721122

DATE
04.14.25

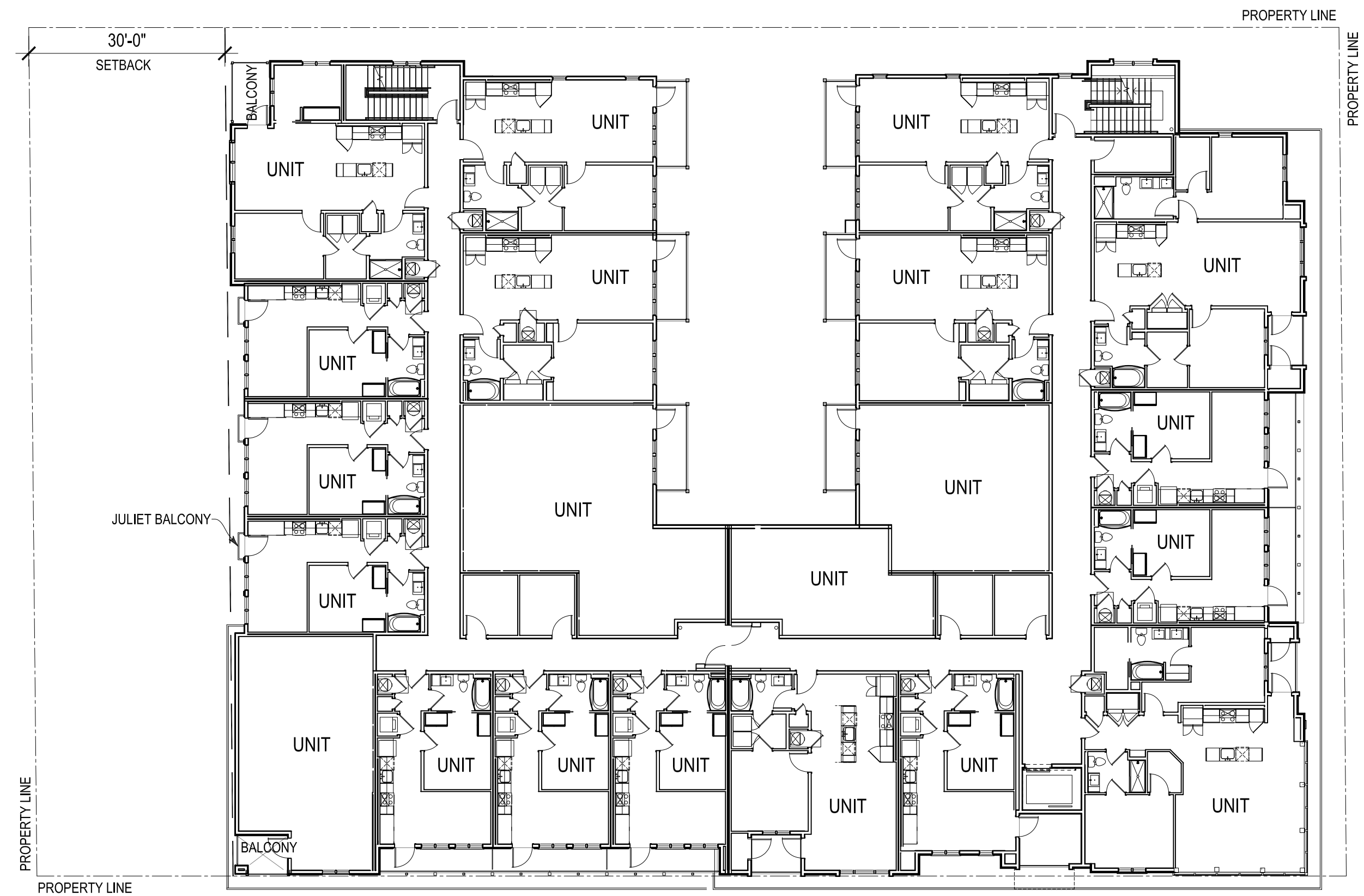
DRAWN BY
BNH

UR SUBMITTAL

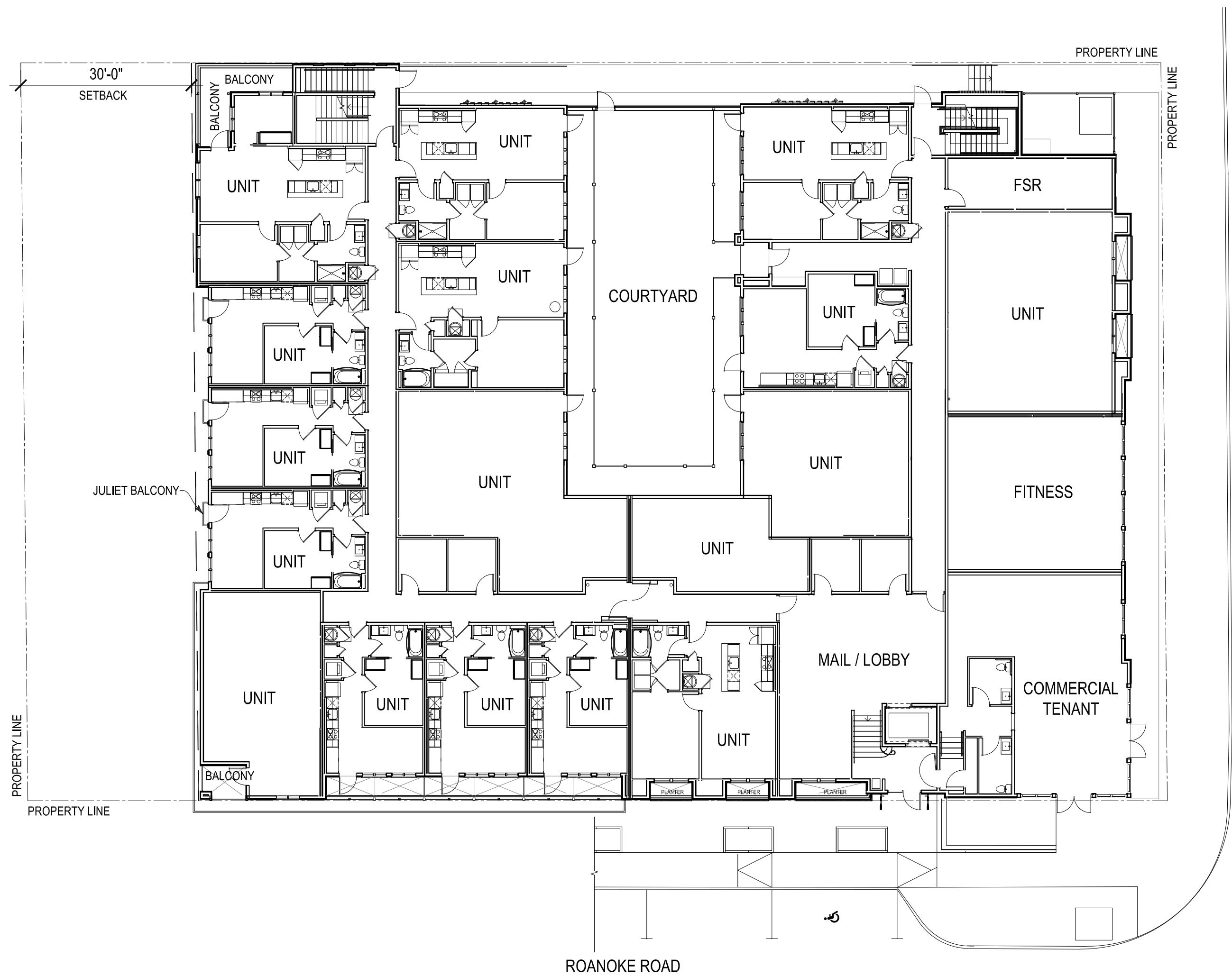
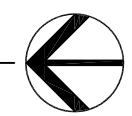
SHEET NAME
PLANTING PLAN -
STREETSCAPE

SHEET NO.

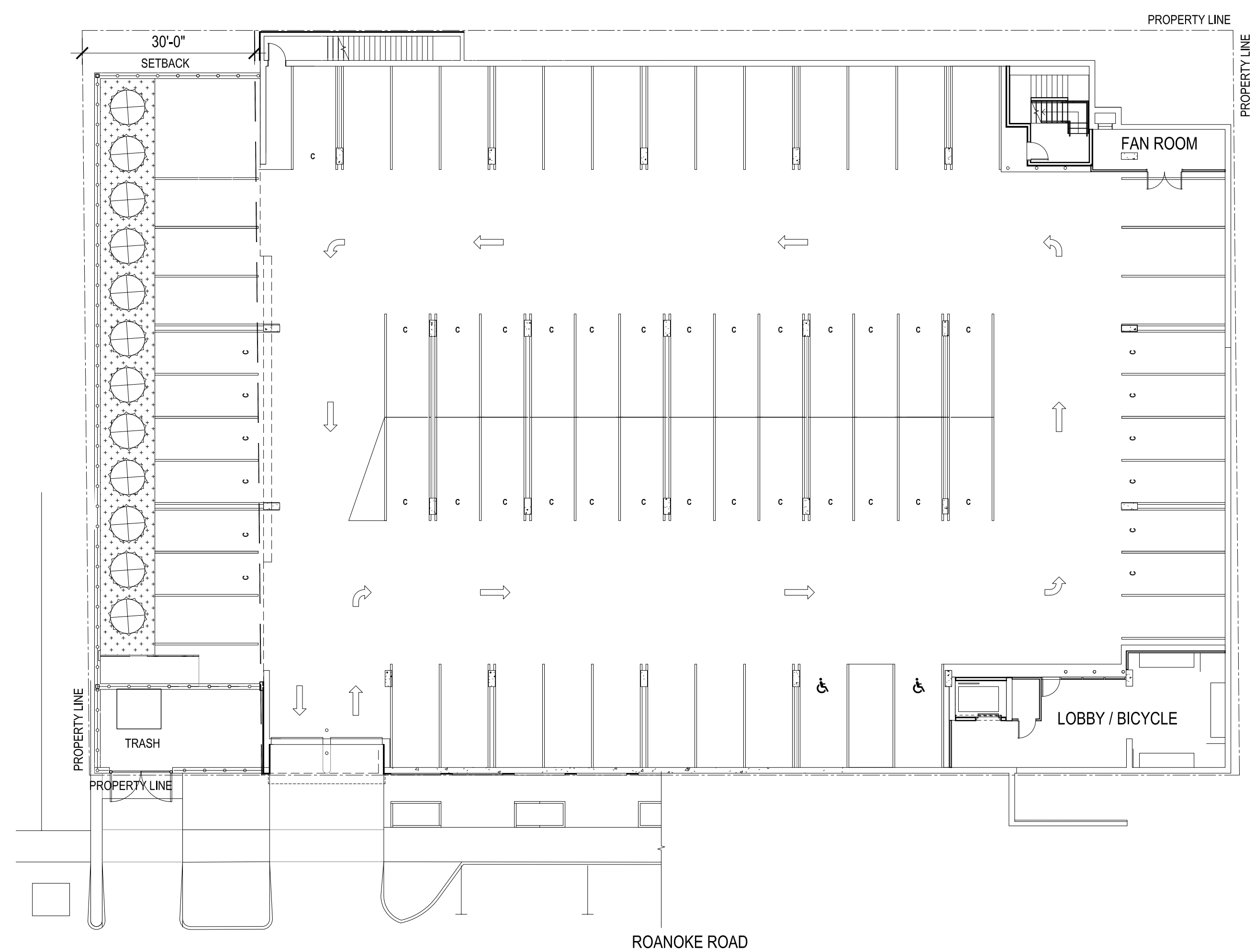
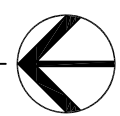
L1.00



2ND & 3RD FLOOR BUILDING PLAN
1/16" = 1'-0"



1ST FLOOR BUILDING PLAN
1/16" = 1'-0"



GARAGE PLAN
1/16" = 1'-0"

39TH STREET

A NEW MULTI-FAMILY DEVELOPMENT:
HICKOK HOMES 39TH STREET
WEST 39TH STREET & ROANOKE ROAD
KANSAS CITY, MISSOURI

DRAWING RELEASE LOG
04.14.25 (R SUBMITTAL)

REVISIONS	
REVISIONS 1	REZONING SUBMITTAL
REVISIONS 2	REZONING SUBMITTAL

JOB NO. 721122 DATE 04.14.25

REZONING SUBMITTAL
SHEET NAME BLDG FLOOR PLAN
SHEET No.

A1.00a

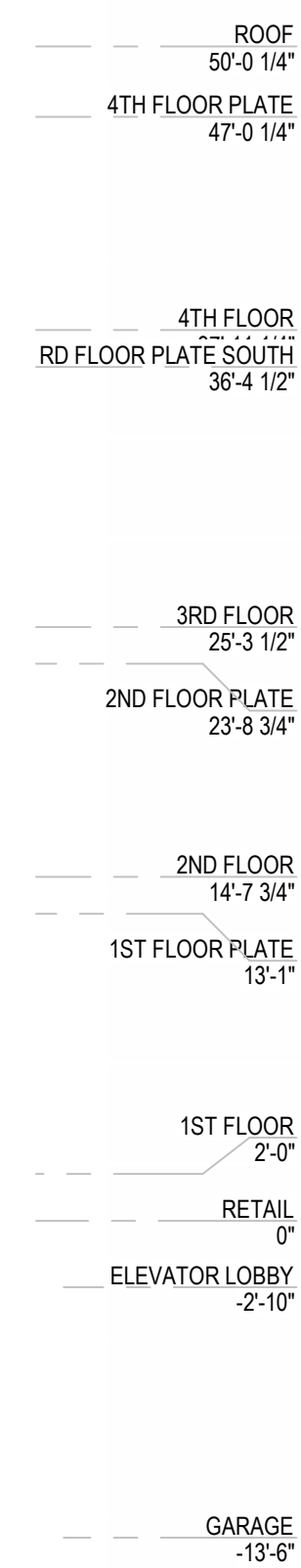
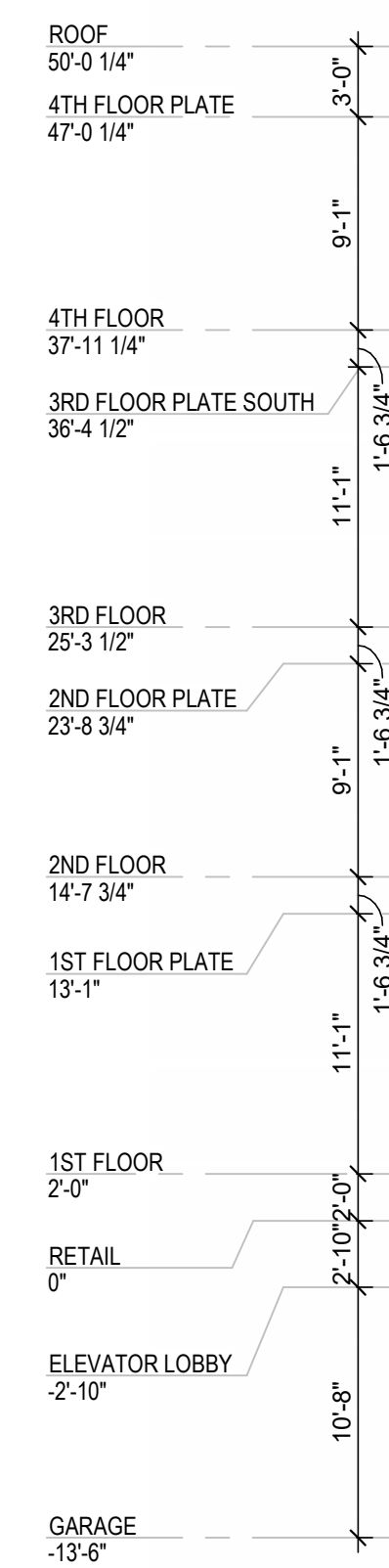


WEST ELEVATION (ROANOKE RD)

1/8" = 1'-0"

EXTERIOR MATERIAL LEGEND:

	1 LIGHT COLOR THIN BRICK		8 DARK COLOR TRIM / BREAKMETAL
	2 DARK COLOR THIN BRICK		9 METAL ROOFING
	3 WOOD-LOOK PLANK		10 FULL LIGHT COLOR BRICK CORNICE / THIN BRICK SOLDIER COURSE
	4 PAINTED WOOD-LOOK TRIM/PANEL		11 DARK COLOR THIN BRICK SOLDIER COURSE
	5 STUCCO		12 NOT USED
	6 METAL PARAPET		13 LIGHT COLOR TRIM
	7 CONCRETE		14 GLASS



SOUTH ELEVATION (39TH ST)

1/8" = 1'-0"

A NEW MIXED-USE DEVELOPMENT:
HICKOK HOMES - 39TH STREET APARTMENTS
WEST 39TH STREET & ROANOKE ROAD - KANSAS CITY, MISSOURI

DRAWING RELEASE LOG
04.14.25 REZONING SUBMITTAL

REVISIONS		
1	05.09.25	REZONING SUBMITTAL
2	09.02.25	REZONING SUBMITTAL

JOB NO.
721122
DRAWN BY
CEE / GMW / LFE
REZONING SUBMITTAL

SHEET NAME
EXTERIOR ELEVATIONS

SHEET NO.
A2.50



A NEW MIXED-USE DEVELOPMENT:
HICKOK HOMES - 39TH STREET APARTMENTS
WEST 39TH STREET & ROANOKE ROAD - KANSAS CITY, MISSOURI

DRAWING RELEASE LOG
04/14/25 REZONING SUBMITTAL

REVISIONS	
1	05.09.25 REZONING SUBMITTAL
2	09.02.25 REZONING SUBMITTAL

JOB NO.
721122
DRAWN BY

DATE
04.14.25

REZONING SUBMITTAL

SHEET NAME
EXTERIOR ELEVATIONS

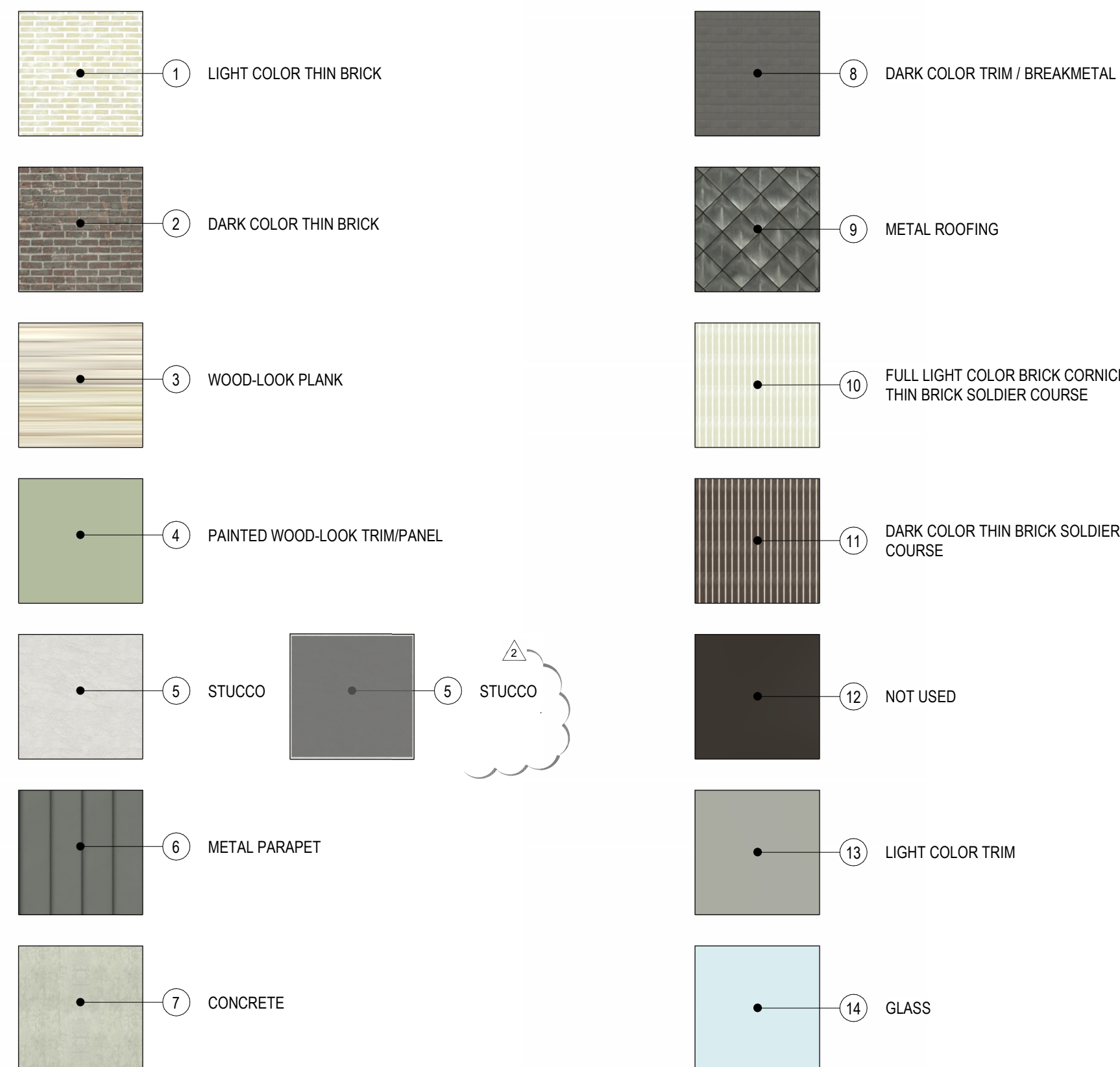
SHEET NO.
A2.51



EAST ELEVATION

1/8" = 1'-0"

EXTERIOR MATERIAL LEGEND:



NORTH ELEVATION

1/8" = 1'-0"