



CITY PLAN COMMISSION STAFF REPORT

City of Kansas City, Missouri
City Planning & Development Department
www.kcmo.gov/cpc

July 5, 2022

Project Name Promise Place

Docket #6/ Case # Request
.1 - CD-CPC-2022-00084 – Area Plan Amendment.
.2 – CD-CPC-2022-00086 – Rezoning with plan

Applicant
Trevor Fox
Anderson Engineering

Owner
Vecino Group, LLC

Location	4423 Olive Street.
Area	About 2.6 acres
Zoning	R-2.5
Council District	3 rd
County	Jackson
School District	KCMO

Surrounding Land Uses

North: zoned R-2.5, single family residences.

South: zoned R-2.5, single family residences.

East: zoned R-2.5, single family residences/ vehicle storage.

West: zoned R-2.5, single family residences.

Major Street Plan

Olive Street, Wabash Avenue and E. 45th Street are no identified on the City's Major Street Plan at this location.

Land Use Plan

The current area plan of record is the Heart of the city Area Plan which recommends Residential Urban Low Density land use at this location. This proposal is not consistent with the future land use plan which necessitates the accompanying Area Plan Amendment.

APPROVAL PROCESS



NEIGHBORHOOD AND CIVIC ORGANIZATIONS NOTIFIED

Notice of the public hearing was sent to the Ivanhoe Neighborhood Council, and surrounding properties within 300 feet.

REQUIRED PUBLIC ENGAGEMENT

Public engagement as required by 88-505-12 applies to this request. The applicant held a virtual public engagement meeting on June 21, 2022, a summary of which is attached.

EXISTING CONDITIONS

The project site is combination of 26 platted lots totaling about 2.6 acres generally located on the north side of E. 45th Street between Wabash Avenue on the east and Olive Street on the west. The existing parcel was the site of Henry C. Kumpf Elementary School which has since been demolished. The project site is currently vacant. The surround streets are improved with curbs, gutter and sidewalk at this location.

The project site is bordered by existing single family homes on the east, west and south. There are several vacant parcels around this site.

NEARBY DEVELOPMENTS

- Oak Park Townhomes – NEC of Prospect and E. 39th Street.
- Ivanhome Cottages – Garfield Avenue and E. 39th Street (Horrace Mann).

SUMMARY OF REQUEST

The applicant is seeking approval of an area plan amendment, and a rezoning from District R-2.5 (Residential 2.5) to District UR (Urban Redevelopment), to allow for 101 unit multi-family residential development within eight (8) buildings on one lot.

KEY POINTS

- Former site of Henry C. Kumpf Elementary School.
- Ivanhoe Park and Oak Park are north of E. 44th Street.
- The project is within the Oak Park Urban Renewal Plan.

PROFESSIONAL STAFF RECOMMENDATION

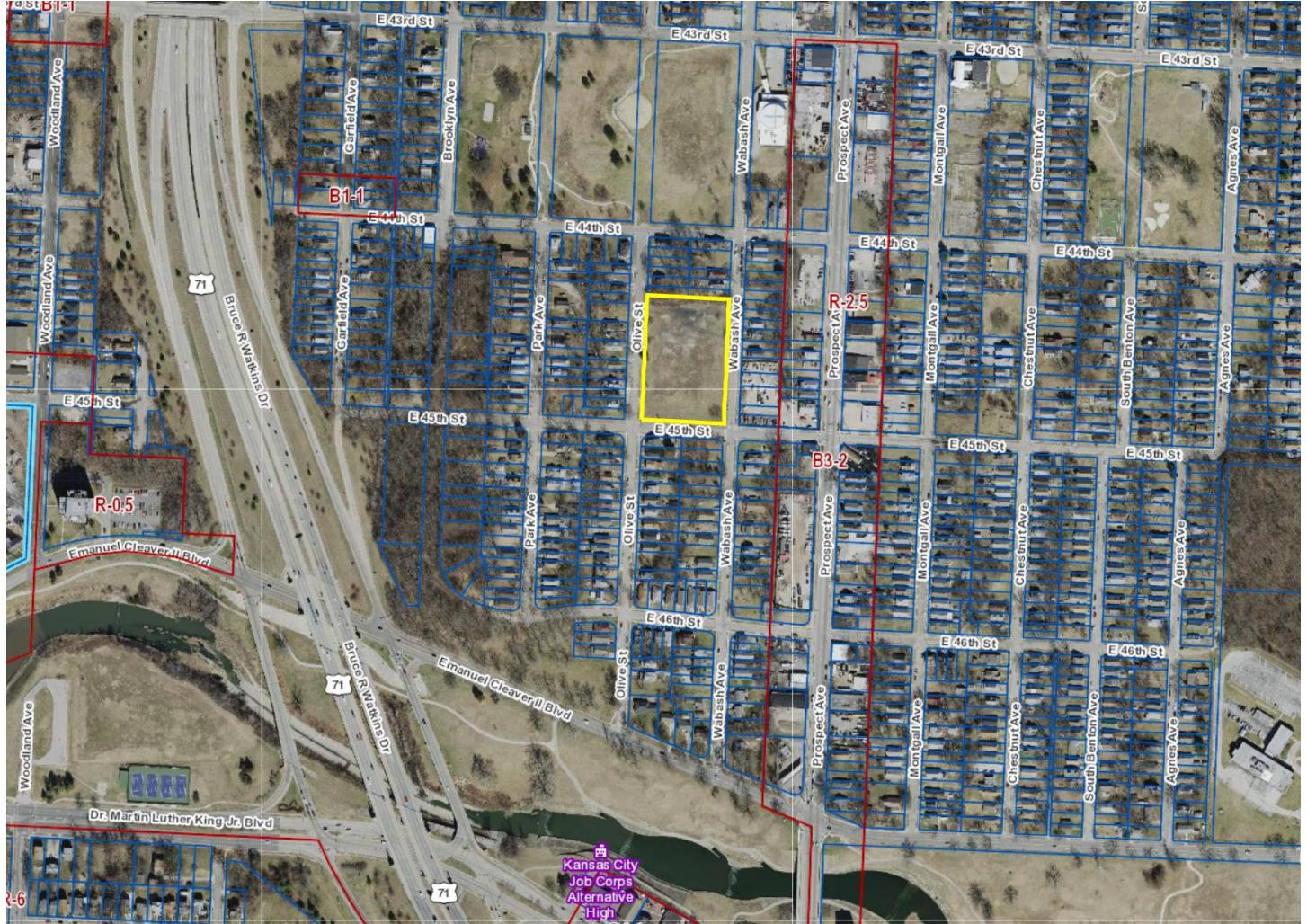
Docket #6.1 Approval without condition.
Docket #6.2 Approval with condition.

CONTROLLING CASES

There is no prior CPC case on this site.

INCENTIVE PLAN

The project will be receiving incentives from the existing Oak Park Urban Renewal Plan.

PROJECT LOCATON**PLAN REVIEW**

These two companion cases are required because the subject parcel is zoned R-2.5. The first case is a request to amend the Heart of the City Area Plan to change the future land use recommendation from Residential Low Density to Residential High Density land use designation. The second case is a request to rezone the parcel to District UR (Urban Redevelopment), to allow for 101 unit multi-family residential development within eight (8) buildings.

Case No. CD-CPC-2022-00084 is a request to consider amending the Heart of the City Area Plan by changing the recommended land use from Residential Urban Low Density to Residential Medium-High Density land use designation on the 2.6-acre parcel. The Heart of the City Area Plan future land use recommends Residential Low Density, which allows for a density between 4 and 8.7 units per acre which is appropriate for single-family detached developments. This land use classification generally corresponds to the R-5, R-6, R-7.5 and R-10 zoning categories within the Zoning and Development Code. The Residential High land use designation

includes small lot single-family development, town homes, duplexes and apartments up to 29 units per acre and corresponds to the R-1.5 zoning category within the Zoning and Development Code. Staff is supportive of this amendment.

CD-CPC-2022-00086 is a request to consider rezoning the 2.6-acre parcel from District R-2.5 (Residential 2.5) to District UR (Urban Redevelopment), to allow for 101 unit multi-family residential development within eight (8) buildings. The project site is vacant parcel made up of 26 platted lots. This area is within the Ivanhoe neighborhood, and located just south of Ivanhoe Park.

The plan proposes eight buildings forming a courtyard around 51 parking spaces (3 ADA). Access to the development is proposed via two driveways off Olive Street connecting to Wabash Avenue through the courtyard. The submitted plans shows three story apartment buildings proposed to be constructed of masonry veneer, Fiber Cement siding, Stucco, architectural metal panels accented with large windows.

Staff was concerned about the initial building elevation that shows blank walls that face the public street or public sidewalk. Staff recommended that the building elevations be revised to provide a primary entrance for each building facing and directly accessible from the public street and a secondary entrance for each building facing the parking courtyard. Staff also recommended that the pedestrian circulation system that connects residential entrances to adjacent public right-of-way (sidewalks) and to parking area. Other comments require that the developer create open space for amenities for the residents. The applicant has met with staff and submitted the accompanying revised plan addressing most of the attached corrections and conditions. As a result, the corrections will be revised prior to ordinance request.

Parkland Dedication (88-408)

Residential uses are proposed therefore parkland dedication or payment in-lieu of dedication is required. A total of 101 residential dwelling units are proposed. Pursuant to this section a total of 1.2 acres must be dedicated for parkland purposes per calculation below.

The development is providing a need for the following:

$$\begin{aligned} 101 \text{ multi-family lots} \times 2 \times 0.006 &= 1.2 \text{ acres} \\ 1.2 \text{ acres} \times \$48,801.37 &= \$59,147.26 \end{aligned}$$

Requested Deviations

The plan does not stipulate or request any deviation.

Use-Specific (88-300) and Development Standards (88-400)

Standards	Applicability	Meets	More Information
Boulevard and Parkway Standards (88-323)	NO	N/A	
Parkland Dedication (88-408)	YES		SEE PLAN ANALYSIS
Parking and Loading Standards (88-420)	YES	YES	
Landscape and Screening Standards (88-425)	YES		Subject to staff recommendations.
Outdoor Lighting Standards (88-430)	YES	YES	
Sign Standards (88-445)	YES		Must meet 884-445
Pedestrian Standards (88-450)	YES		Subject to staff recommendations.

PLAN ANALYSIS

Plan Review Criteria

In order to be approved, the plan must comply with all of the following criteria:

88-516-05-A. The plan must comply with all standards of this zoning and development code and all other applicable city ordinances and policies.

The plan will comply with the zoning and development code and the Heart of the City Area Plan recommendations with the proposed amendment.

88-516-05-B. The proposed use must be allowed in the district in which it is located.

The proposed use is not permitted by the existing zoning but will be compliant with the approved rezoning.

88-516-05-C. Vehicular ingress and egress to and from the site, and circulation within the site, must provide for safe, efficient and convenient movement of traffic not only within the site but on adjacent roadways.

The plan provides for adequate vehicular connections through the site.

88-516-05-D. The plan must provide for safe, efficient, and convenient non-motorized travel opportunities, being pedestrian and bicycle movement, on the subject site.

The plan provided for private and public sidewalks.

88-516-05-E. The plan must provide for adequate utilities based on City standards for the particular development proposed.

There are adequate utilities subject to Water Services Department review and approval.

88-516-05-F. The location, orientation, and architectural features, including design and material, of buildings and other structures on the site must be designed to be compatible with adjacent properties.

The 3-story apartments are proposed with a mixture of architectural material, palette and color to complement the adjacent built environment.

88-516-05-G. Landscaping, berms, fences and/or walls must be provided to buffer the site from undesirable views, noises, lighting or other off-site negative influences and to buffer adjacent properties from negative influences that may be created by the plan.

The plan is compliant based on the preliminary landscaping submitted and recommendations by staff.

88-516-05-H. The design of streets, drives, and parking areas within the project should result in a minimum of area devoted to asphalt or other impervious surfaces consistent with the needs of the project and city code requirements.

The plan is compliant.

88-516-05-I. The plan must identify trees to be removed and trees to be preserved during the development of the subject property with the goal of saving trees that are not required to be removed for the development of the property.

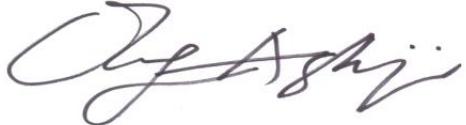
There are no trees on the site.

PROFESSIONAL STAFF RECOMMENDATION

Docket #6.1 - Approval without condition.

Docket #6.2 - Approval Subject to the Corrections and Conditions as reflected in the attached Plan Correction Report and Plan Conditions Report.

Respectfully Submitted,



Olofu O. Agbaji
Planner

ATTACHMENTS:

1. Conditions and Correction Report
2. PE Summary
3. Development Plan



Plan Conditions

Report Date: June 30, 2022

Case Number: CD-CPC-2022-00086

Project: Promise Place

Condition(s) by City Planning and Development Department. Contact Lucas Kaspar at (816) 513-2558 / Lucas.Kaspar@kcmo.org with questions.

1. The owner/developer must submit plans for grading, siltation, and erosion control to Land Development Division for review and acceptance, and secure a Site Disturbance permit for any proposed disturbance area equal to one acre or more prior to beginning any construction activities.
2. The developer shall submit a Storm Drainage analysis from a Missouri-licensed civil engineer to the Land Development Division evaluating proposed improvements and impact to drainage conditions. Since this project is within a "Combined Sewer Overflow" (CSO) district, the project shall be designed to retain rainfall of 1.5 inch depth over the entire site to simulate natural runoff conditions and reduce small storm discharge to the combined sewer system. Manage the 10-year storm and 100-year storm per currently adopted APWA standards. The analysis shall be submitted prior to issuance of any building permits, and the developer secure permits to construct any improvements required by the Land Development Division prior to issuance of any certificate of occupancy.
3. The developer shall submit a letter to the Land Development Division from a Licensed Civil Engineer, Licensed Architect, or Licensed Landscape Architect, who is registered in the State of Missouri, that identifies sidewalks, curbs, and gutters in disrepair as defined by Public Works Department's "OUT OF REPAIR CRITERIA FOR SIDEWALK, DRIVEWAY AND CURB revised 11/5/2013" and based on compliance with Chapters 56 and 64 of the Code of Ordinances for the sidewalks, curbs, and gutters where said letter shall identify the quantity and location of sidewalks, curbs, gutters that need to be constructed, repaired, or reconstructed to remedy deficiencies and/or to remove existing approaches no longer needed by this project. The developer shall secure permits to repair or reconstruct the identified sidewalks, curbs, and gutters as necessary along all development street frontages as required by the Land Development Division and prior to issuance of any certificate of occupancy permits including temporary certificate occupancy permits.
4. The developer must integrate into the existing street light system any relocated existing street lights within the street right-of-way impacted by the new drive or approach entrances as required by the Land Development Division, and the relocated lights must comply with all adopted lighting standards.

Condition(s) by City Planning and Development Department. Contact Olofu Agbaji at (816) 513-8815 / Olofu.Agbaji@kcmo.org with questions.

5. That the developer continue to work with staff to ensure that the building elevations and design meet the requirement of the Zoning and Development Code and the recommendations of the design guidelines of the the Heart of the City Area Plan prior to City Council action.
6. The developer shall submit an affidavit, completed by a landscape architect licensed in the State of Missouri, verifying that all landscaping required of the approved plan has been installed in accordance with the plan and is healthy prior to Certificate of Occupancy.
7. That all signage shall conform to 88-445 and shall require a sign permit prior to installation.

Condition(s) by Fire Department. Contact Joseph Ragsdale at (816) 513-4643 / Joseph.Ragsdale@kcmo.org with questions.

8. Fire hydrant distribution shall follow IFC-2018 Table C102.1
9. The turning radius for fire department access roads is 30 feet inside and 50 feet outside radius. (IFC-2018: § 503.2.4)
10. Please ensure that all Fire Department Connections (FDC) are within 100 feet of an operable fire hydrant. (IFC-2018 § 507.5.1.1)
11. The turning radius for fire department access roads is 30 feet inside and 50 feet outside radius. (IFC-2018: § 503.2.4)

Condition(s) by Parks & Recreation. Contact Justin Peterson at (816) 513-7599 / Justin.Peterson@kcmo.org with questions.

Condition(s) by Parks & Recreation. Contact Justin Peterson at (816) 513-7599 / Justin.Peterson@kcmo.org with questions.

12. As indicated on plans, the developer shall pay a money-in-lieu of parkland dedication based upon the 2022 acquisition rate of \$64,220.18 per acre. This requirement shall be satisfied prior to certificate of occupancy.
13. The developer shall submit a streetscape plan with street tree planting plan per 88-425-03 for approval by the Parks & Recreation Department's Forestry Division prior to beginning work in the public right-of-way.

Condition(s) by Water Services Department. Contact Heather Massey at (816) 513-2111 / heather.massey@kcmo.org with questions.

14. The developer shall ensure that water and fire service lines should meet current Water Services Department Rules and Regulations. Prior to C of O.
<https://www.kcwater.us/wp-content/uploads/2022/05/2022-Rules-and-Regulations-for-Water-Service-Lines-Final.pdf>
15. The developer shall have a water flow test done to ensure there is adequate water pressure to serve the development.
South of River contact – Sean Allen - 816-513-0318
North of River contact - Todd Hawes – 816-513-0296
16. Branch service lines one-and-one-half inches and larger in diameter for domestic water services or fire protection lines shall be connected to the main by cutting in a minimum 6" branch service tee, installing three gate valves, and two solid sleeves on the main. Line valves on the main shall be the same nominal size as the main.
17. A full flow fire meter will be required when the fire protection service line serves more than one building, or combination service lines 6 inches and larger, or that have private fire hydrants connected to them.

Condition(s) by Water Services Department. Contact Jerald Windsor at (816) 513-0413 / Jerald.Windsor@kcmo.org with questions.

18. The developer shall submit an analysis by a registered Professional Engineer in Missouri to verify adequate capacity of the existing water mains to provide domestic and fire flow capacity. Depending on adequacy of the existing water mains water main improvements and associated extension plans may be required.
19. The developer must submit Fire Hydrant Relocation &/or installation plans meeting the 300' maximum spacing along the adjacent public roadways. Plans shall be prepared by a registered professional Engineer in Missouri. They shall be submitted to the water main extension desk for review, acceptance and contracts per the KC Water Rules and Regulations for Water main extensions and Relocations.
(<https://www.kcwater.us/wp-content/uploads/2019/04/2018-Rules-and-Regulations-for-Water-Main-Extensions.pdf>)



CITY OF
KANSAS CITY,
MISSOURI

CITY PLANNING & DEVELOPMENT

Public Meeting Summary Form

Project Case #

Meeting Date:

Meeting Location:

Meeting Time (include start and end time):

Additional Comments (optional):

Meeting Sign-In Sheet

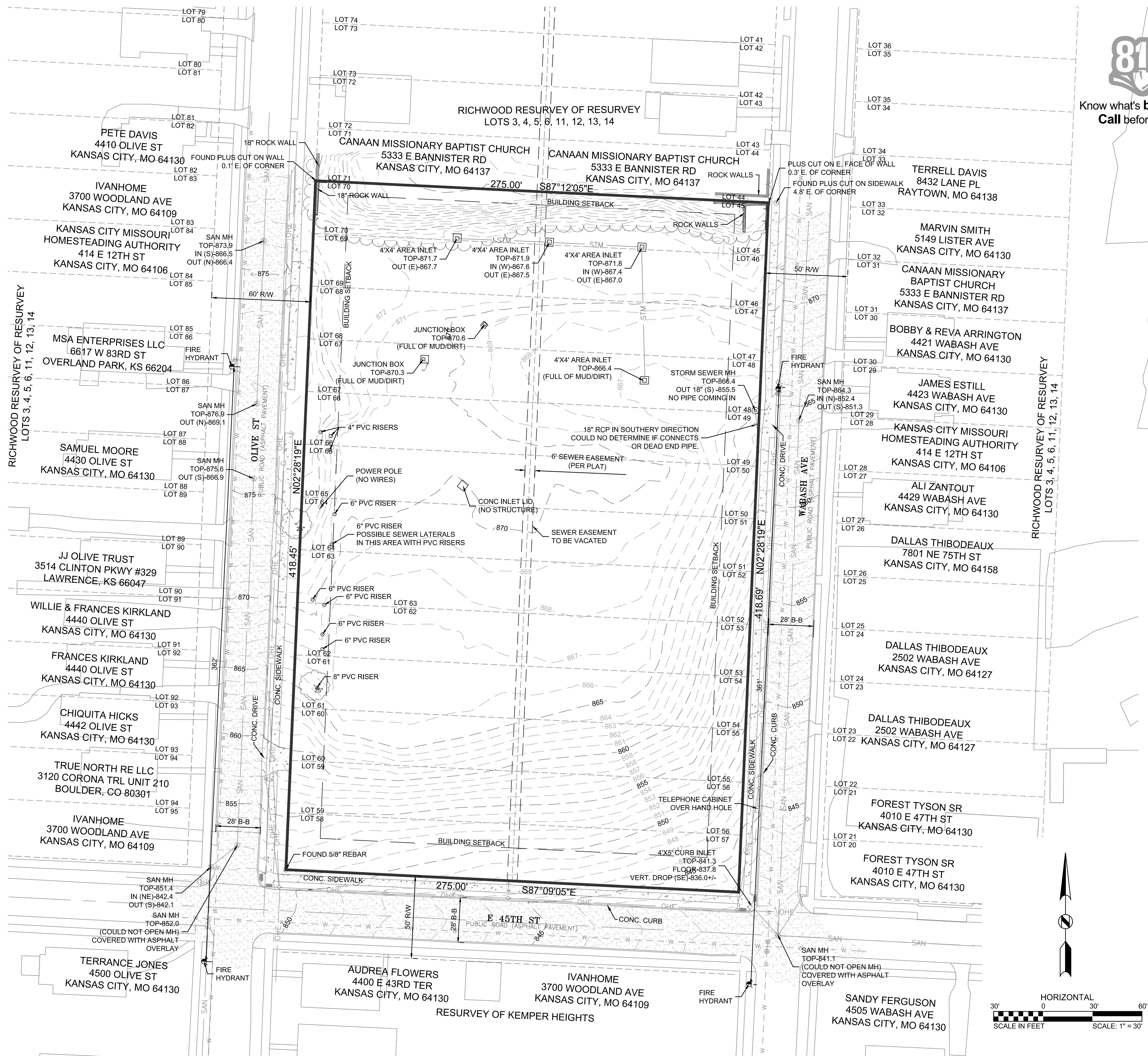
Project Name and Address

Promise Place Residential Development-CD-CPC-2022-00086

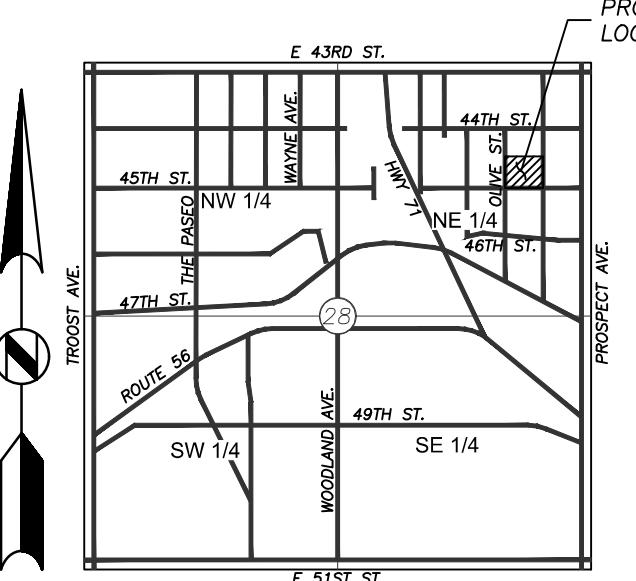
4423 Olive St., Kansas City, MO

Meeting Start time 1:00
Meeting End time 6:57

Name	Address	Phone	Email
PATRICK Joyce	941 W. 141st terr KCMO	785-550-8994	pjoyce@ae-icc.com
Riccardo Hayes	26418 E 29 th	8162060733	rc@ucas10009.yahoo.com
Dallas Thibodeaux	4236 Olive	8162173257	—
Troy Nash		(816)213-4461	tnash@the NASHdevelopment group.com
Fred Johnson	433 Park Ave	816-701-6079	
Bobby Aguirre	4421 Wabash	(816)861-8937	
John Hayes	4410 Wabash	(816)688-7555	obj11dromos79@gmail.com
James R. Estill	4423 Wabash	(816)590-3771	est8739@gmail.com
Joseph Buchheit	1701 Wabash	816 483 8062	
Joseph Buchheit	1701 Walnut St Suite 300 KCMO	816 777 0400	jbuchheit@ae-icc.com



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VICINITY MAP
SECTION S28-T49N-R 33W

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PRELIMINARY PLAT EXISTING

PRELIMINARY NOT FOR CONSTRUCTION

SHEET NUMBER
S1.0
3 65 7

NO.	DESCRIPTION	BY	DATE	DRAWN BY:	JSK
1	CITY COMMENTS		6/20/22	CHECK BY:	TAF
				LICENSE NO.	
				DATE:	6/20/2022
				ISSUED FOR:	
				JOB NUMBER:	22KC10018

LEGEND

The diagram illustrates a site plan with the following features:

- Grade Contours:** FINISH GRADE 5' CONTOUR (solid black line), FINISH GRADE 1' CONTOUR (dashed black line), EXISTING GRADE 5' CONTOUR (dashed black line), and EXISTING GRADE 1' CONTOUR (dashed black line).
- Utilities:** EXISTING WATER MAIN (solid black line), EXISTING GAS MAIN (solid black line), EXISTING OVERHEAD ELECTRIC LINE (solid black line), EXISTING STORM LINE (solid black line), and EXISTING SANITARY MAIN (solid black line).
- Structures/Points:** 850 (elevation), 849 (elevation), W (point), G (point), OHE (Overhead Electric Line), STM (Storm Line), and SAN (Sanitary Main).

DEVELOPER

THE VECINO GROUP
305 W. COMMERCIAL ST.
SPRINGFIELD, MO 65803
CONTACT: ROB HOLZMAN
PHONE: (417) 720-1577

SITE AREA:
2.64 AC

AND USE:

PREPARED & SUBMITTED BY:

TREVOR FOX., P.E.
MISSOURI P.E. NO. 2021009513

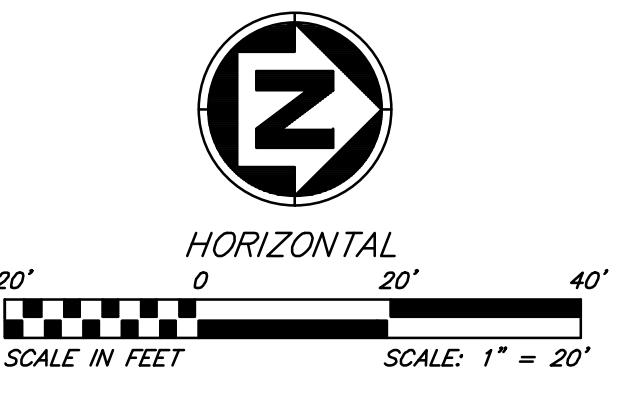
LEGAL DESCRIPTION

LEGAL DESCRIPTION

LOTS 45 TO 70, BOTH INCLUSIVE, RESURVEY OF LOTS 3, 4, 5, 6, 11, 12, 13, AND 14, RICHWOOD, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF.

LEGEND

- R/W — RIGHT-OF-WAY
- PL — PROPERTY LINE
- BSL — BUILDING SETBACK LINE
- 5" ASPHALTIC CONCRETE PAVEMENT
- 4" CONCRETE SIDEWALK
- 8" CONCRETE DUMPSTER PAD SECTION
- 2" CONCRETE CURB AND GUTTER - TYPE CG-1



BUILDING USE AND HEIGHT INFORMATION

BUILDING NO.	BUILDING HEIGHT	NO. OF FLOORS	FLOOR NO.	AREA (SF)	TOTAL AREA (SF) ALL FLOORS	UNITS/FLOOR	TOTAL UNITS
BUILDING A-1,2,3,4,5	39'-4"	3	1	5081	69240	6	80
			2	5041		6	
			3	3726		4	
BUILDING B-1	39'-8"	3	1	2444	6674	0	5
			2	2444		3	
			3	1786		2	
BUILDING C-1,2	32'-10"	2	1	4328	17274	4	16
			2	4309		4	
TOTALS				93188			101

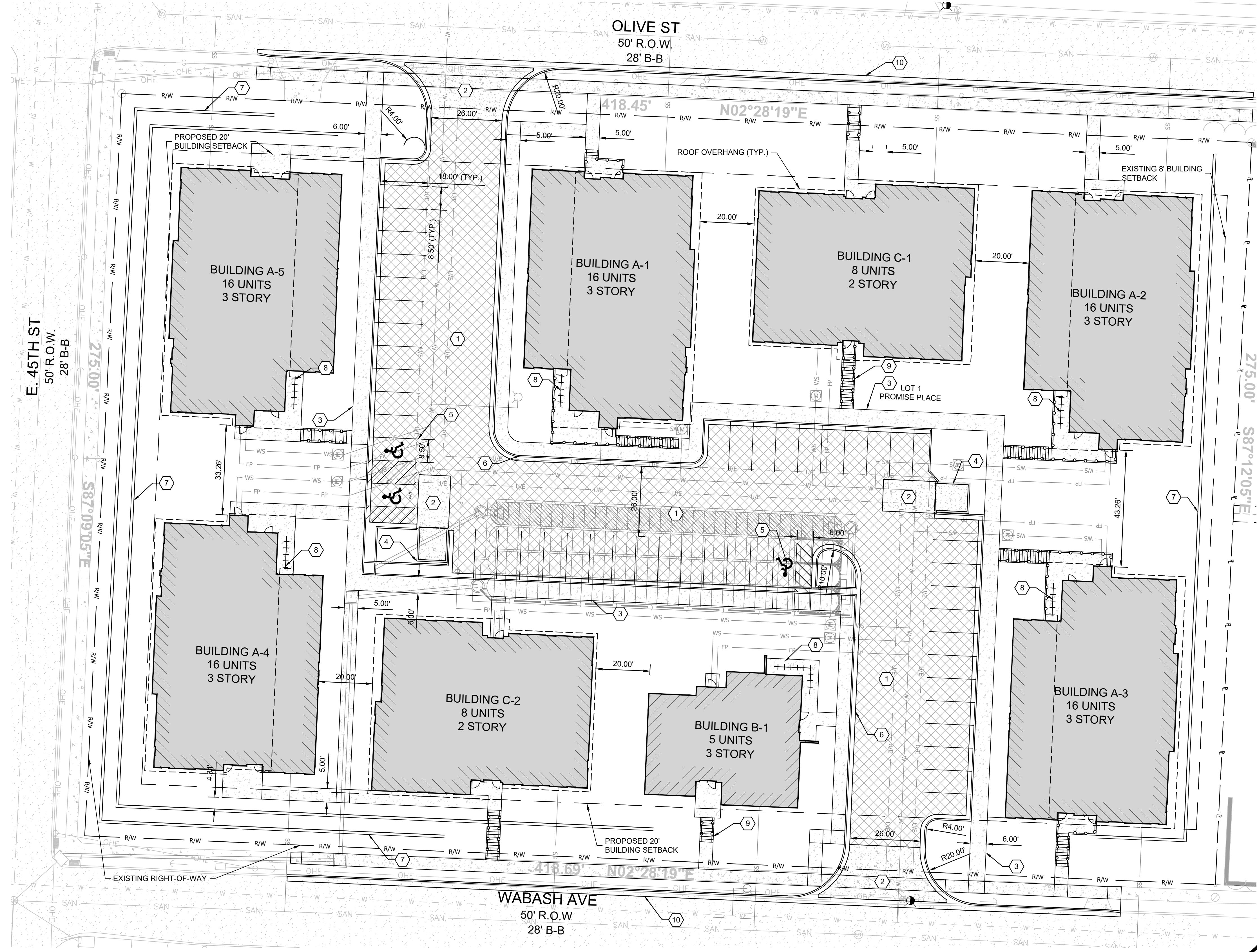
CONSTRUCTION NOTES

- ASPHALTIC CONCRETE PAVEMENT SECTION.
- PORTLAND CEMENT CONCRETE PAVEMENT SECTION.
- 4" PORTLAND CEMENT CONCRETE SIDEWALK.
- DUMPSTER ENCLOSURE. RE: ARCH PLANS.
- ADA PARKING AREA
- 2' CURB AND GUTTER (TYPE CG-1).
- RETAINING WALL. MAX HEIGHT 10'.
- BICYCLE PARKING AREA.
- PROPOSED STAIRS (TYP.)
- PROPOSED PUBLIC IMPROVEMENTS. SIDEWALK SHALL BE 4.5' WIDE CONCRETE. CURB SHALL BE TYPE C-1 WITH A 2' WIDE ASPHALT PATCH.

GENERAL NOTES

- REFER TO C.F.S. ENGINEERS GEOTECHNICAL REPORT NO. 22-5211, DATED MAY 6, 2022 FOR SUBGRADE PREPARATION.
- ALL BUILDINGS ARE SHOWN AS A REFERENCE ONLY. ALL BUILDINGS SHALL BE LOCATED AND CONSTRUCTED PER THE ARCHITECTURAL DRAWINGS PREPARED BY OTHERS.
- ALL SIGNAGE SHALL COMPLY WITH SECTION 88-445 OF THE KANSAS CITY, MISSOURI ZONING AND DEVELOPMENT CODE. THE OWNER SHALL RECEIVE APPROVAL OF A SIGN PERMIT PRIOR TO INSTALLATION.
- ALL STRIPING SHALL BE PAINTED LINES OR SYMBOLS.
- RE: COVER SHEET FOR LEGAL DESCRIPTION OF PROPERTY.

SITE DATA TABLE	
ITEM	QUANTITY
EXISTING ZONING	R 2-5
PROPOSED ZONING	UR (FOLLOWING R1-5 STANDARDS)
PROPOSED USE	MULTI-UNIT HOUSES & MULTI-UNIT BUILDINGS
SITE AREA	2.64 AC
BUILDING COVERAGE	0.86 AC
FLOOR AREA RATIO	0.32
NET DENSITY	38.3 UNITS/AC
EXISTING IMPERVIOUS AREA	0.00 AC
PROPOSED IMPERVIOUS AREA	1.53 AC
NET INCREASE IN IMPERVIOUS AREA	1.53 AC
REQUIRED PARKING RATIO (PER 88-420-04-M)	51 STALLS
PROPOSED PARKING	51 STALLS
REQUIRED ADA PARKING	3 STALLS (1 VAN)
PROPOSED ADA PARKING	3 STALLS (1 VAN)
REQUIRED SHORT-TERM BICYCLE PARKING	6
PROPOSED SHORT-TERM BICYCLE PARKING	6
REQUIRED LONG-TERM BICYCLE PARKING	34
PROPOSED LONG-TERM BICYCLE PARKING	34



PROMISE PLACE

UTILITY PLAN

PRELIMINARY NOT FOR
CONSTRUCTION

SHEET NUMBER
C2.0
5 OF 7

4423 OLIVE ST KANSAS CITY, MO 64130

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LEGEND

	PROPERTY LINE
	RIGHT OF WAY LINE
	SETBACK LINE
	6" PVC SANITARY SERVICE LINE
	8" D.I.P. WATERMAIN
	2" TYPE "K" COPPER WATER SERVICE LINE
	4" D.I.P. FIRE PROTECTION LINE

GENERAL NOTES

- ALL FILL MATERIAL IS TO BE IN PLACE, COMPAKTED, AND CONSOLIDATED BEFORE INSTALLATION OF PROPOSED UTILITIES. ALL UTILITIES ARE TO BE PLACED IN TRENCH CONDITIONS.
- CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
- ALL UNDERGROUND STORM AND OTHER UTILITY LINES SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING. FAILURE TO HAVE INSPECTION APPROVAL PRIOR TO BACKFILL WILL CONSTITUTE REJECTION OF WORK.
- TOPS OF EXISTING MANHOLES SHALL BE RAISED AS NECESSARY TO BE FLUSH WITH PROPOSED PAVEMENT ELEVATIONS OR FINISH GRADE ELEVATIONS IN NON-PAVED AREAS.
- DRAWINGS DO NOT PURPORT TO SHOW ALL EXISTING UTILITIES. EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES IS NOT TO BE RELIED ON AS BEING EXACT OR POSSIBLE. MEASUREMENTS TAKEN IN THE FIELD THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH AND RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE RELOCATION OR REMOVAL OF EXISTING POWER POLES, TELEPHONE POLES AND GUYS WITH RESPECTIVE UTILITY COMPANIES. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS REGARDING UTILITY SERVICES.
- THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITION OF ALL STORM SEWERS ADJACENT TO THE PROJECT LIMITS TO DETERMINE IF ANY EXISTING STORM SEWERS ARE PLUGGED. NOTIFY THE ENGINEER OF ANY PRE-EXISTING CONDITIONS WHICH NEED ATTENTION. ONCE CONSTRUCTION BEGINS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL EXISTING AND ADJACENT STORM SEWERS IN GOOD WORKING ORDER UNTIL SUBSTANTIAL COMPLETION.
- ALL WATER SERVICE INSTALLATIONS INCLUDING BACKFLOW DEVICES ARE SUBJECT TO FIELD VERIFICATION AND APPROVAL BY THE WATER DEPARTMENT INSPECTOR.
- REFERENCE SHEET C1.0 - SITE PLAN FOR PROPOSED STRUCTURE DATA TABLE. DATA TABLE INCLUDES NUMBER OF BUILDING FLOORS, GROSS FLOOR AREA PER FLOOR, TOTAL BUILDING AREA, NUMBER OF DWELLING UNITS, AND TOTAL NUMBER OF DWELLING UNITS.
- REFERENCE C1.0 - SITE PLAN FOR PROPOSED BUILDING DIMENSIONS.
- THE PROPOSED PROJECT WILL BE COMPLETED IN A SINGLE PHASE OF CONSTRUCTION.

UTILITY PLAN KEY NOTES

- PROPOSED RETAINING WALL MAX HEIGHT 12'.
- UNDERGROUND DETENTION MC 4500 CHAMBERS.

SANITARY SEWER KEY NOTES

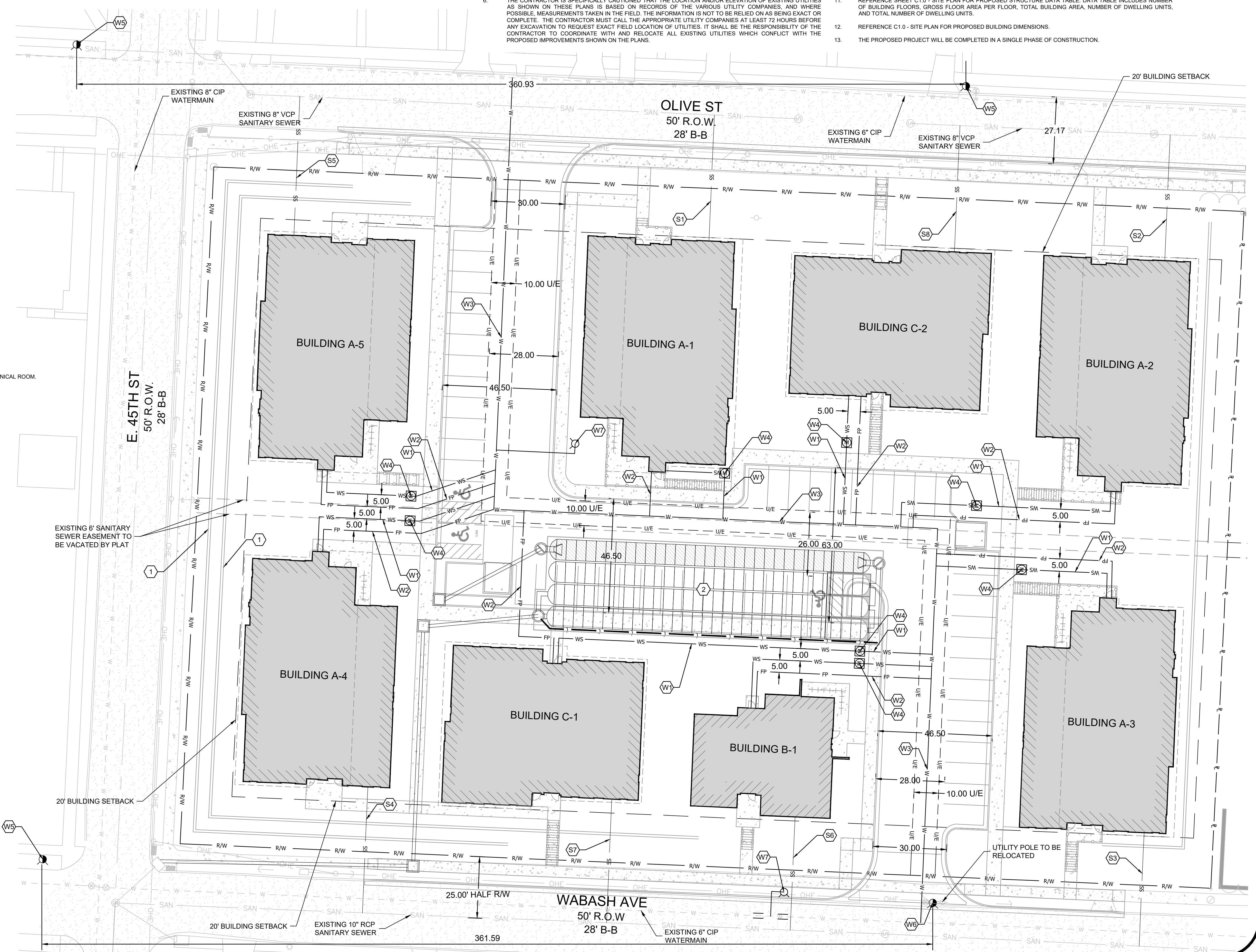
- SANITARY SEWER SERVICE LINE A-1.
- SANITARY SEWER SERVICE LINE A-2.
- SANITARY SEWER SERVICE LINE A-3.
- SANITARY SEWER SERVICE LINE A-4.
- SANITARY SEWER SERVICE LINE A-5.
- SANITARY SEWER SERVICE LINE B-1.
- SANITARY SEWER SERVICE LINE C-1.
- SANITARY SEWER SERVICE LINE C-2.

WATERLINE KEY NOTES

W1 2" TYPE "K" COPPER WATER SERVICE LINE.
W2 4" CLASS 52 D.I.P. FIRE PROTECTION LINE. BACKFLOW PREVENTERS LOCATED IN MECHANICAL ROOM.
W3 PROPOSED 8" D.I.P. PUBLIC WATER MAIN.
W4 WATER METER AND METER PIT. INSTALL 2" WATER METER.
W5 EXISTING FIRE HYDRANT.
W6 EXISTING FIRE HYDRANT ("TYPE 1") TO BE RELOCATED.
W7 PROPOSED FIRE HYDRANT.

CIVIL ENGINEER

TREVOR A. FOX, P.E.
ANDERSON ENGINEERING, INC.
941 W 141ST TERRACE
KANSAS CITY, MISSOURI 64145
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(816) 777-0400



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				ISSUED FOR:	JOB NUMBER: 22KC10018

LEGEND

- 850 FINISH GRADE 5' CONTOUR
- 849 FINISH GRADE 1' CONTOUR
- 850 EXISTING GRADE 5' CONTOUR
- 849 EXISTING GRADE 1' CONTOUR



SCALE IN FEET
HORIZONTAL
SCALE: 1" = 20'

GENERAL NOTES

REFERENCED STANDARDS:

THE FOLLOWING STANDARDS ARE REFERENCED DIRECTLY IN THIS SECTION. THE LATEST VERSION OF THESE STANDARDS SHALL BE USED.

ASTM D698 - TEST METHOD FOR LABORATORY COMPACTION CHARACTERISTICS OF SOIL USING STANDARD EFFORT (12,400 FT-LBF/FT³)

2201.1 SUMMARY:

THIS SECTION INCLUDES SUBGRADE PREPARATION AT LOCATIONS WHICH HAVE BEEN PREVIOUSLY GRADED IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 2100 "GRADING AND SITE PREPARATION"

2201.2 DEFINITIONS:

- A. SUBGRADE: SUBGRADE IS DEFINED AS A WELL GRADED AND COMPAKTED LAYER ON WHICH BASE AND SUBSEQUENT COURSES ARE PLACED.
- B. SUBGRADE PREPARATION: SUBGRADE PREPARATION IS THE REPEATED OPERATION OF FINE-GRADING AND COMPAKTING THE SUBGRADE UNTIL THE SPECIFIED LINES, GRADES, AND CROSS-SECTION, AS INDICATED ON THE PLANS ARE OBTAINED AND THE MATERIALS ARE COMPAKTED TO THE SPECIFIED DEPTH AND DENSITY.

CONSTRUCTION:

- A. GENERAL: THE SUBGRADE SURFACE SHALL BE BROUGHT TO THE SPECIFIED LINES, GRADES AND CROSS-SECTION BY ADDING OR REMOVING MATERIAL AND COMPAKTING TO THE SPECIFIED DENSITY. TOLERANCE ALLOWED ON ALL LINES, GRADES AND CROSS-SECTIONS SHALL BE NO MORE THAN 1/4 INCH.
- B. COMPACTING THE SUBGRADE: UNLESS OTHERWISE SPECIFIED, THE TOP 6 INCHES OF SUBGRADE FOR PAVEMENTS SHALL BE COMPACTED TO 95% OF THE STANDARD PROCTOR MAXIMUM DENSITY FOR THE MATERIAL USED AS DETERMINED BY ASTM D 698 AND WITHIN A TOLERANCE OF PLUS 3% AND MINUS 3% OF THE OPTIMUM MOISTURE CONTENT. THE TOLERANCE APPLIES ONLY TO THE TOP 6 INCHES.
- C. PROTECTION AND MAINTENANCE OF SUBGRADE: THE SUBGRADE SHALL BE PROTECTED FROM ACTION OF THE ELEMENTS OR OTHERS. ANY ACTION (E.G. SETTLEMENT OR EROSION) THAT DAMAGES THE SUBGRADE OR ANY SUBGRADE THAT HAS BECOME UNACCEPTABLE PRIOR TO PLACING THE PAVEMENT THEREON, SHALL BE REPAIRED AND THE SPECIFIC LINES, GRADES, CROSSSECTION, TOLERANCE, DENSITY, AND MOISTURE CONTENT RANGE REESTABLISHED.

THE CONTRACTOR SHALL PROTECT ALL EXISTING IMPROVEMENTS FROM DAMAGE RESULTING FROM HIS SUBGRADE OPERATION. ANY IMPROVEMENT DAMAGED SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT HIS OWN EXPENSE.

D. CLEANUP: SUBGRADE CLEANUP SHALL FOLLOW THE WORK PROGRESSIVELY. THE CONTRACTOR SHALL REMOVE FROM THE PROJECT SITE ALL RUBBISH, SURPLUS OR DISCARDED MATERIAL, UNSUITABLE MATERIAL, AND ANY EQUIPMENT, TOOLS AND TEMPORARY CONSTRUCTION ITEMS USED FOR THE PREPARATION OF THE SUBGRADE.

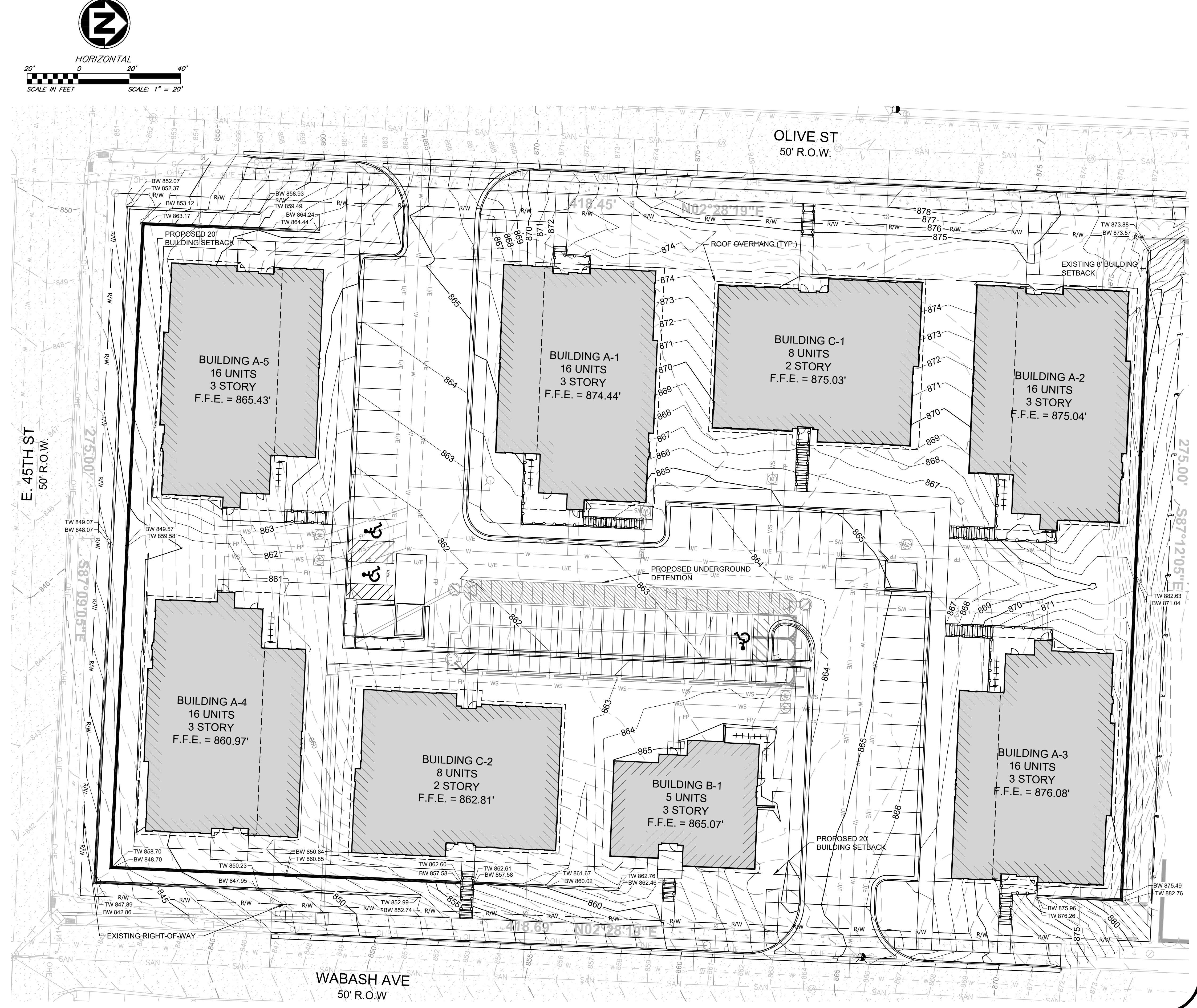
E. ROLL TESTING: ONCE THE SUBGRADE HAS BEEN BROUGHT TO THE FINAL PLAN ELEVATION, BUT PRIOR TO APPROVAL OF THE SUBGRADE FOR PAVING, ALL LANES SHALL BE ROLL TESTED IN THEIR ENTIRE LENGTH. THE SUBGRADE WILL NOT BE ACCEPTABLE IF RUTTING, PUMPING, OR DEFORMATION OF THE SUBGRADE RESULTS FROM THE ROLL TEST. THIS TESTING WILL BE DONE BY THE CONTRACTOR, AND WILL BE IN ADDITION TO THE APPLICABLE MOISTURE AND DENSITY TESTING.

EQUIPMENT FOR ROLL TESTING SHALL BE A TANDEM DUMP TRUCK (ONE FRONT AND TWO REAR AXLES) CARRYING A MINIMUM LOAD OF TWENTY (20) TONS.

THE TRUCK SHALL PROCEED SLOWLY ALONG EACH TRAFFIC LANE, ALLOWING THE ENGINEER TO WALK ALONGSIDE AND OBSERVE THE RESULTS. AREAS FAILING THE ROLL TEST WILL BE REWORKED AND RETESTED PRIOR TO APPROVAL OF THE SUBGRADE FOR PAVING.

NOTE

- 1. RE: SITE PLAN FOR BUILDING HEIGHTS ABOVE GRADE.



PROMISE PLACE

GRADING PLAN

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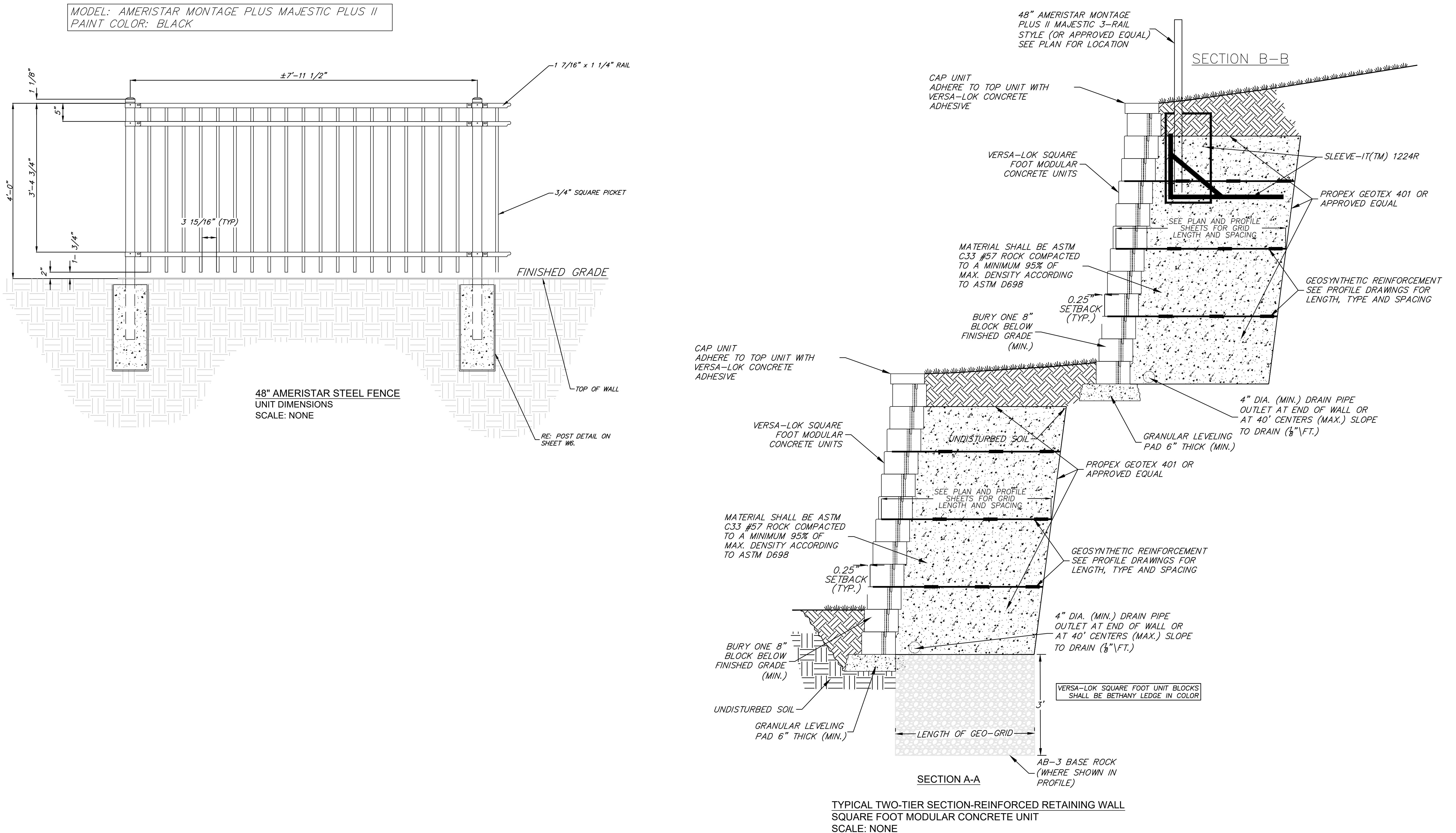
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C3.0
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SHEET NUMBER
C4.0
7 OF 7

PROMISE PLACE
WALL AND FENCE DETAILS
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FIRE RATING / EGRESS LEGEND

- EGRESS ROUTE
- ACCESSIBILITY ROUTE
- 1 HOUR FIRE RATED PARTITION: NOTE: ALL UNIT DEMISING WALLS ARE RATED TO 1 HOUR
- 1 HOUR FIRE RATED BARRIER:
- 2 HOUR FIRE WALL:

GENERAL NOTES

1. PROVIDE WALL BLOCKING/REINFORCING AT TOILETS AND SHOWERS IN ALL UNITS PER SHEET G-002 AND G003 GRAB BARS ARE TO BE UNINSTALLED IN TYPE A UNITS. PLUMBED FIXTURE CONTROLS AND BATHROOM ACCESSORIES SHALL HAVE A POLISHED CHROME FINISH. GRAB BARS SHALL HAVE A SATIN CHROME / STAINLESS FINISH.
2. PLUMBING

GENERAL WALL AND PARTITION NOTES

1. CONTRACTOR SHALL REFERENCE SPECIFIED U.L. ASSEMBLIES ON G-SERIES SHEETS OR IN SPECIFICATIONS FOR ALLOWABLE PRODUCTS / MATERIALS AND THEIR RESPECTIVE TESTED AND LISTED CAPABILITIES.
2. INSTALL MOLD & MOISTURE RESISTANT GYPSUM BOARD AT BATHROOM WALL FACES. GYPSUM BOARD SHALL BE U.L. CLASSIFIED AT RATED ASSEMBLIES.
3. U.L. CLASSIFIED GLASS FIBER BATT INSULATION MAY BE SUBSTITUTED WITH MINERAL WOOL BATT INSULATION (SAME R' VALUE). REFER TO U.L. ASSEMBLIES FOR INSTALLATION REQUIREMENTS.
4. UNIT DEMISING WALLS AND CORRIDOR WALLS SHALL HAVE A 50 STC RATING (MINIMUM).
5. PROVIDE LEVEL 03 GYPSUM BOARD FINISH WITH ORANGE PEEL TEXTURE / FINISH (TYPE X) IN ALL UNITS. USE PRIMER AND PAINT.
6. THE BUILDING ENVELOPE AND INTERIOR DWELLING UNIT DEMISING / CORRIDOR WALLS MUST BE THOROUGHLY SEALED TO PASS AIR INfiltration TESTING AS REQUIRED UNDER THE EARTH CRAFT CERTIFICATION PROCESS. INSTALL WATER-BASED ELASTOMERIC GRAB BARS EQUAL TO GREAT STUFF PRO GASKET BY DOW TO TOP AND BOTTOM PLATES. DO NOT DOOR AND WINDOW PERIMETER OPENINGS (INSTALL PER MANUFACTURE REQUIREMENTS). GREAT STUFF PRO GASKET MUST BE INSTALLED BY TRAINED APPLICATORS. INSTALL FULL STRIPS OF SILL SEAL FOAM GASKET ALONG TOP PLATES AND BOTTOM PLATES INTERIOR AND EXTERIOR. CAULK ALL DOOR AND WINDOW PERIMETER, ELECTRICAL, PLUMBING, AND HVAC PENETRATIONS, AND LIGHT FIXTURE BOX PENETRATIONS. CONTRACTOR TO CONSULT WITH PROJECT'S EARTH CRAFT RATER REGARDING APPLICATION AREAS, BEST PRACTICES, AND METHODS PRIOR TO PROCEEDING WITH INSTALLATION.
7. ALL WALL AND CEILING ASSEMBLIES (FIRE-RATED AND NON-RATED) THROUGH WALL PENETRATIONS, HUMID, HVAC, ELEVATOR, DOOR, AND WINDOW PENETRATIONS, AND ROOF ASSEMBLY PENETRATIONS SHALL HAVE HIGH-GRADE, LOW / NO VOC PERIMETER SEALANT INSTALLED (USE FIRESTOP SEALANT WHERE REQUIRED) TO FORM AN AIR-TIGHT ENVELOPE. COORDINATE FRAMERS, PLUMBERS, HVAC, INSULATORS, AND CONTRACTOR TO MINIMIZE UNCONTROLLED AIR LEAKAGE PATHWAYS BETWEEN RESIDENTIAL UNITS BY SEALING ALL PENETRATIONS IN WALLS, CEILINGS, AND FLOORS IN THE UNITS.
8. NOTE: DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.
9. REFER TO ENLARGED UNIT PLANS FOR ADDITIONAL DETAILS.

KEYNOTE LEGEND

REV. DESCRIPTION DATE

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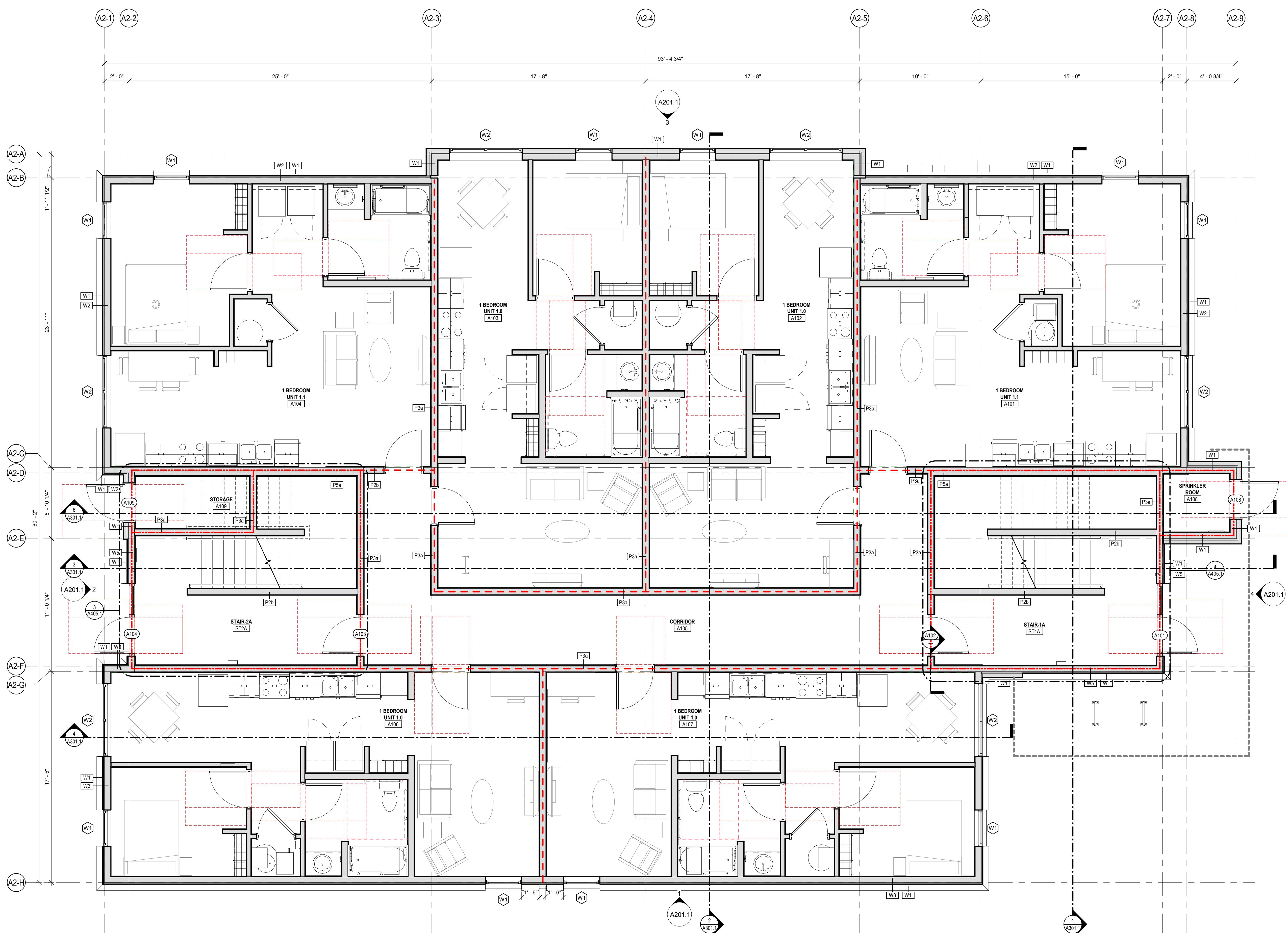
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BLDG A2 - 1ST
FLOOR PLAN

A101.1



FIRE RATING / EGRESS LEGEND

- EGRESS ROUTE
- ACCESSIBILITY ROUTE
- - - 1 HOUR FIRE RATED PARTITION: NOTE, ALL UNIT DEMISING WALLS ARE RATED TO 1 HOUR
- - - 1 HOUR FIRE RATED BARRIER:
- - - 2 HOUR FIRE WALL:

GENERAL NOTES

1. PROVIDE WALL BLOCKING/REINFORCING AT TOILETS AND SHOWERS IN ALL UNITS PER SHEET G-002 AND G003 GRAB BARS ARE TO BE UNINSTALLED IN TYPE A UNITS. PLUMBING FIXTURE CONTROLS AND BATHROOM ACCESSORIES SHALL HAVE A POLISHED BRUSHED CHROME FINISH. GRAB BARS SHALL HAVE A SATIN CHROME / STAINLESS FINISH.
2. PLUMBING

GENERAL WALL AND PARTITION NOTES

1. CONTRACTOR SHALL REFERENCE SPECIFIED UL ASSEMBLIES ON G-SERIES SHEETS OR IN SPECIFICATIONS FOR ALLOWABLE PRODUCTS / MATERIALS AND THEIR RESPECTIVE TESTED AND CERTIFIED ASSEMBLIES.
2. INSTALL MOLD AND MOISTURE RESISTANT GYPSUM BOARD AT BATHROOM WALL FACES. GYPSUM BOARD SHALL BE UL CLASSIFIED AT RATED ASSEMBLIES.
3. UL CLASSIFIED GLASS FIBER BATT INSULATION MAY BE SUBSTITUTED WITH MINERAL WOOL BATT INSULATION (SAME R VALUE). REFER TO UL ASSEMBLIES FOR INSTALLATION REQUIREMENTS.
4. UNIT DEMISING WALLS AND CORRIDOR WALLS SHALL HAVE A 50 STC RATING (MINIMUM).
5. PROVIDE LEVEL 03 GYPSUM BOARD FINISH WITH ORANGE PEEL TEXTURE / FINISH (TYPE X) AND MOLD RESISTANT PRIMER AND PAINT.
6. THE BUILDING ENVELOPE AND INTERIOR DWELLING UNIT DEMISING / CORRIDOR WALLS MUST BE THOROUGHLY SEALED TO PASS AIR INfiltrATION TESTING AS REQUIRED UNDER THE EARTH CRAFT CERTIFICATION PROCESS. INSTALL WATER-BASED ELASTOMERIC FOAM GASKET EQUAL TO GREAT STUFF PRO GASKET BY DOW TO THE TOP AND BOTTOM PLATES OF THE DOOR AND WINDOW PERIMETER OPENINGS (INSTALL PER MANUFACTURE REQUIREMENTS). GREAT STUFF PRO GASKET MUST BE INSTALLED BY TRAINED APPLICATORS. INSTALL FULL STRIPS OF SILL SEAL FOAM GASKET ALONG TOP PLATES AND BOTTOM PLATES INTERIOR AND EXTERIOR. CAULK ALL JOINTS AND PENETRATIONS, ELECTRICAL, PLUMBING, HVAC, ROOF PENETRATIONS, AND LIGHT FIXTURE BOX PENETRATIONS. CONTRACTOR TO CONSULT WITH PROJECT'S EARTH CRAFT RATER REGARDING APPLICATION AREAS, BEST PRACTICES, AND METHODS PRIOR TO PROCEEDING WITH INSTALLATION.
7. ALL WALL AND CEILING ASSEMBLIES (FIRE RATED AND NOT RATED) THROUGH WALL PENETRATIONS, PLUMBING, HVAC, ELECTRICAL, WINDOW AND DOOR OPENINGS, AND ROOF ASSEMBLY PENETRATIONS SHALL HAVE HIGH-GRADE, LOW / NO VOC PERIMETER SEALANT INSTALLED (USE FIRESTOP SEALANT WHERE REQUIRED) TO FORM AN AIR-TIGHT ENVELOPE. COORDINATE FRAMERS, PLUMBERS, HVAC, INSULATORS, AND CONTRACTOR TO MINIMIZE UNCONTROLLED AIR LEAKAGE PATHWAYS BETWEEN RESIDENTIAL UNITS BY SEALING ALL PENETRATIONS IN WALLS, CEILINGS, AND FLOORS IN THE UNITS.
8. NOTE: DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.
9. REFER TO ENLARGED UNIT PLANS FOR ADDITIONAL DETAILS.

KEYNOTE LEGEND

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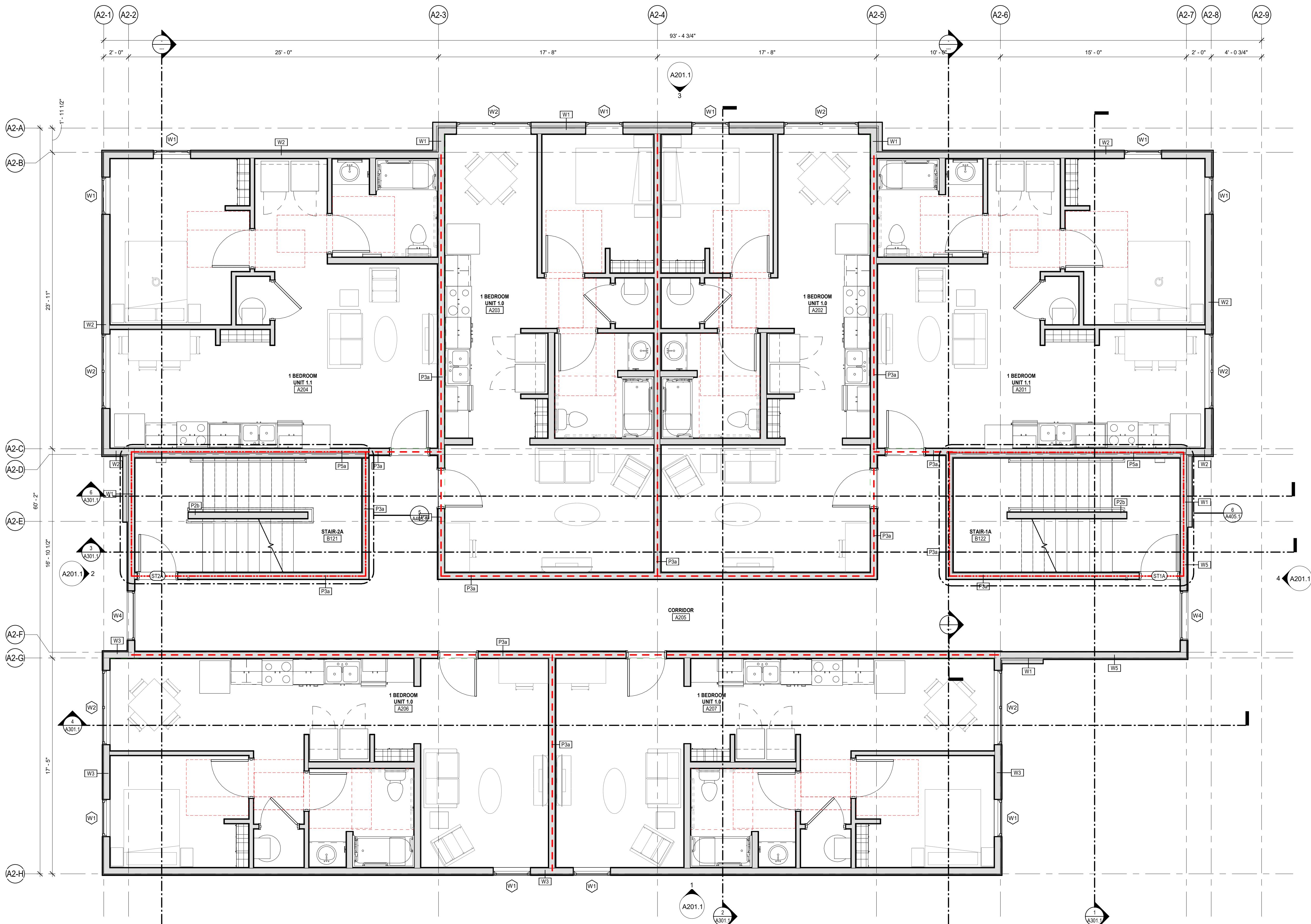
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BLDG A2 - 2ND
FLOOR PLAN

A102.1



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FIRE RATING / EGRESS LEGEND

- EGRESS ROUTE
- ACCESSIBILITY ROUTE
- 1 HOUR FIRE RATED PARTITION: NOTE, ALL UNIT DEMISING WALLS ARE RATED TO 1 HOUR
- 1 HOUR FIRE RATED BARRIER:
- 2 HOUR FIRE WALL:

GENERAL NOTES

1. PROVIDE WALL BLOCKING/REINFORCING AT TOILETS AND SHOWERS IN ALL UNITS PER SHEET G-002 AND G003 GRAB BARS ARE TO BE UNINSTALLED IN TYPE A UNITS. PLUMBING FIXTURE CONTROLS AND BATHROOM ACCESSORIES SHALL HAVE A POLISHED/ BRIGHT CHROME FINISH. GRAB BARS SHALL HAVE A SATIN CHROME / STAINLESS FINISH.
2. STANDOFFS FOR BATHROOM ACCESSORIES SHALL BE UNINSTALLED IN TYPE A UNITS.

GENERAL WALL AND PARTITION NOTES

1. CONTRACTOR SHALL REFERENCE SPECIFIED U.L. ASSEMBLIES ON G-SERIES SHEETS OR IN SPECIFICATIONS FOR ALLOWABLE PRODUCTS / MATERIALS AND THEIR RESPECTIVE FIRE RATED ASSEMBLIES.
2. INSTALL MOLD & MOISTURE RESISTANT GYPSUM BOARD AT BATHROOM WALL FACES. GYPSUM BOARD SHALL BE U.L. CLASSIFIED AT RATED ASSEMBLIES.
3. U.L. CLASSIFIED GLASS FIBER BATT INSULATION MAY BE SUBSTITUTED WITH MINERAL WOOL BATT INSULATION (SAME R VALUE). REFER TO U.L. ASSEMBLIES FOR INSTALLATION REQUIREMENTS.
4. UNIT DEMISING WALLS AND CORRIDOR WALLS SHALL HAVE A 50 STC RATING (MINIMUM).
5. PROVIDE LEVEL 03 GYPSUM BOARD FINISH WITH ORANGE PEEL TEXTURE / FINISH (TYPE X) AND VISIBLE FIBERS PRIMED AND PAINTED.
6. THE BUILDING ENVELOPE AND INTERIOR DWELLING UNIT DEMISING / CORRIDOR WALLS MUST BE THOROUGHLY SEALED TO PASS AIR INfiltrATION TESTING AS REQUIRED UNDER THE EARTH CRAFT CERTIFICATION PROCESS. INSTALL WATER-BASED ELASTOMERIC AIR-SEALANT EQUAL TO GREAT STUFF PRO GASKET BY DOW TO TOP AND BOTTOM PLATES AND DOORS AND VENTS PERIMETER OPENINGS (INSTALL PER MANUFACTURE REQUIREMENTS). GREAT STUFF PRO GASKET MUST BE INSTALLED BY TRAINED APPLICATORS. INSTALL FULL STRIPS OF SILL SEAL FOAM GASKET ALONG TOP PLATES AND BOTTOM PLATES INTERIOR AND EXTERIOR. CAULK ALL JOINTS AND PENETRATIONS, ELECTRICAL, PLUMBING, AIR DUCT, ROOF PENETRATIONS, AND LIGHT FIXTURE BOX PENETRATIONS. CONTRACTOR TO CONSULT WITH PROJECT'S EARTH CRAFT RATER REGARDING APPLICATION AREAS, BEST PRACTICES, AND METHODS PRIOR TO PROCEEDING WITH INSTALLATION.
7. ALL WALL AND CEILING ASSEMBLIES (FIRE-RATED AND NOT RATED) THROUGH WALL PENETRATIONS, PLUMBING, HVAC, ELECTRICAL, AND WINDOW/DOOR OPENINGS, AND ROOF ASSEMBLY PENETRATIONS SHALL HAVE HIGH-GRADE, LOW / NO VOC PERIMETER SEALANT INSTALLED (USE FIRESTOP SEALANT WHERE REQUIRED) TO FORM AN AIR-TIGHT ENVELOPE. COORDINATE FRAMERS, PLUMBERS, HVAC, INSULATORS, AND CONTRACTOR TO MINIMIZE UNCONTROLLED AIR LEAKAGE PATHWAYS BETWEEN RESIDENTIAL UNITS BY SEALING ALL PENETRATIONS IN WALLS, CEILINGS, AND FLOORS IN THE UNITS.
8. NOTE: DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.
9. REFER TO ENLARGED UNIT PLANS FOR ADDITIONAL DETAILS.

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BLDG A2 - 3RD
FLOOR PLAN

A103.1

FIRE RATING / EGRESS LEGEND

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- ACCESSIBILITY ROUTE
- 1 HOUR FIRE RATED PARTITION: NOTE, ALL UNIT DEMISING WALLS ARE RATED TO 1 HOUR
- 1 HOUR FIRE RATED BARRIER:
- 2 HOUR FIRE WALL:

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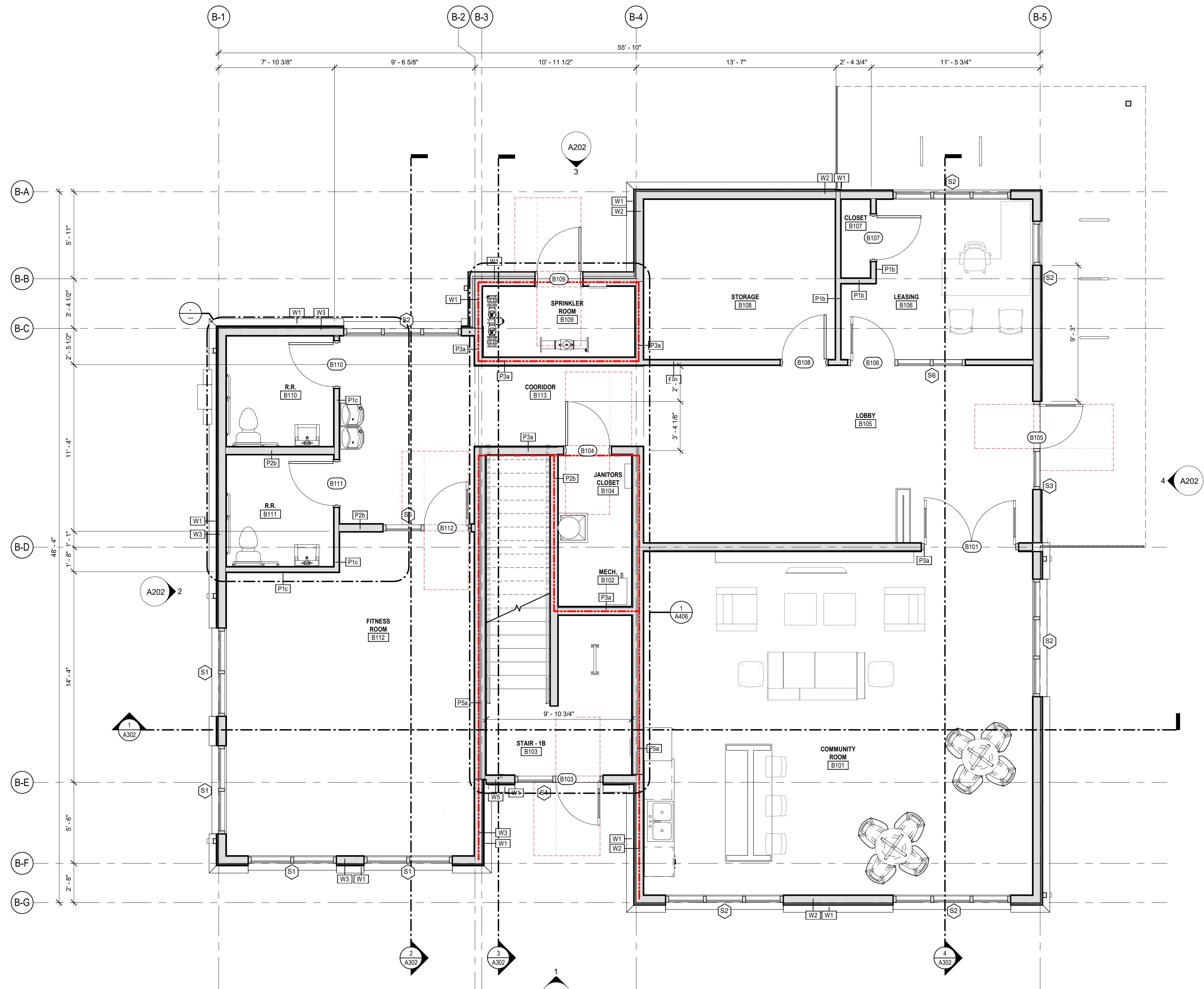
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BLDG B - 1ST FLOOR
 PLAN

A104



1 1ST FLOOR - BLDG B
 1/4" = 1'-0"

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FIRE RATING / EGRESS LEGEND

- EGRESS ROUTE
- ACCESSIBILITY ROUTE
- 1 HOUR FIRE RATED PARTITION: NOTE: ALL UNIT DEMISING WALLS ARE RATED TO 1 HOUR
- 1 HOUR FIRE RATED BARRIER:
- 2 HOUR FIRE WALL:

GENERAL NOTES

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2. PROVIDE LEVEL 03 GYPSUM BOARD FINISH WITH ORANGE PEEL TEXTURE / FINISH (TYPE X) IN ALL UNITS. FINISHES PRIMED AND PAINTED.
3. INSTALL MOLD & MOISTURE RESISTANT GYPSUM BOARD AT BATHROOM WALL FACES. GYPSUM BOARD SHALL BE U.L. CLASSIFIED AS RATED ASSEMBLIES.
4. U.L. CLASSIFIED GLASS FIBER BATT INSULATION MAY BE SUBSTITUTED WITH MINERAL WOOL BATT INSULATION (SILICATE R' VALUE). REFER TO U.L. ASSEMBLIES FOR INSTALLATION REQUIREMENTS.
5. UNIT DEMISING WALLS AND CORRIDOR WALLS SHALL HAVE A 50 STC RATING (MINIMUM).
6. PROVIDE LEVEL 03 GYPSUM BOARD FINISH WITH ORANGE PEEL TEXTURE / FINISH (TYPE X) IN ALL UNITS. FINISHES PRIMED AND PAINTED.
7. THE BUILDING ENVELOPE AND INTERIOR DWELLING UNIT DEMISING / CORRIDOR WALLS MUST BE THOROUGHLY SEALED TO PASS AIR INfiltrATION TESTING AS REQUIRED UNDER THE EARTHCRAFT CERTIFICATION PROCESS. INSTALL WATER-BASED ELASTOMERIC FOAM GASKET EQUAL TO GREAT STUFF PRO GASKET BY DOW TO TOP PLATE AND BOTTOM PLATE AT DOORS AND PERIMETER PENETRATION OPENINGS (INSTALL PER MANUFACTURE REQUIREMENTS). GREAT STUFF PRO GASKET MUST BE INSTALLED BY TRAINED APPLICATORS. INSTALL FULL STRIPS OF SILL SEAL FOAM GASKET ALONG TOP PLATES AND BOTTOM PLATES INTERIOR AND EXTERIOR. CAULK ALL EXTERIOR JOINTS, ELECTRICAL PENETRATIONS, PLUMBING PENETRATIONS, AND LIGHT FIXTURE BOX PENETRATIONS. CONTRACTOR TO CONSULT WITH PROJECT'S EARTHCRAFT RATER REGARDING APPLICATION AREAS, BEST PRACTICES, AND METHODS PRIOR TO PROCEEDING WITH INSTALLATION.
8. ALL WALL AND CEILING ASSEMBLIES (FIRE-RATED AND NOT RATED) THROUGH WALL PENETRATIONS, PLUMBING, HVAC, ELECTRICAL, WINDOW AND DOOR OPENINGS, AND ROOF ASSEMBLY PENETRATIONS SHALL HAVE HIGH-GRADE, LOW / NO VOC PERIMETER SEALANT INSTALLED (USE FIRESTOP SEALANT WHERE REQUIRED) TO FORM AN AIR-TIGHT ENVELOPE. COORDINATE FRAMERS, PLUMBERS, HVAC, INSULATORS, AND CONTRACTOR TO MINIMIZE UNCONTROLLED AIR LEAKAGE PATHWAYS BETWEEN RESIDENTIAL UNITS BY SEALING ALL PENETRATIONS IN WALLS, CEILINGS, AND FLOORS IN THE UNITS.
9. NOTE: DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.
10. REFER TO ENLARGED UNIT PLANS FOR ADDITIONAL DETAILS.

KEYNOTE LEGEND

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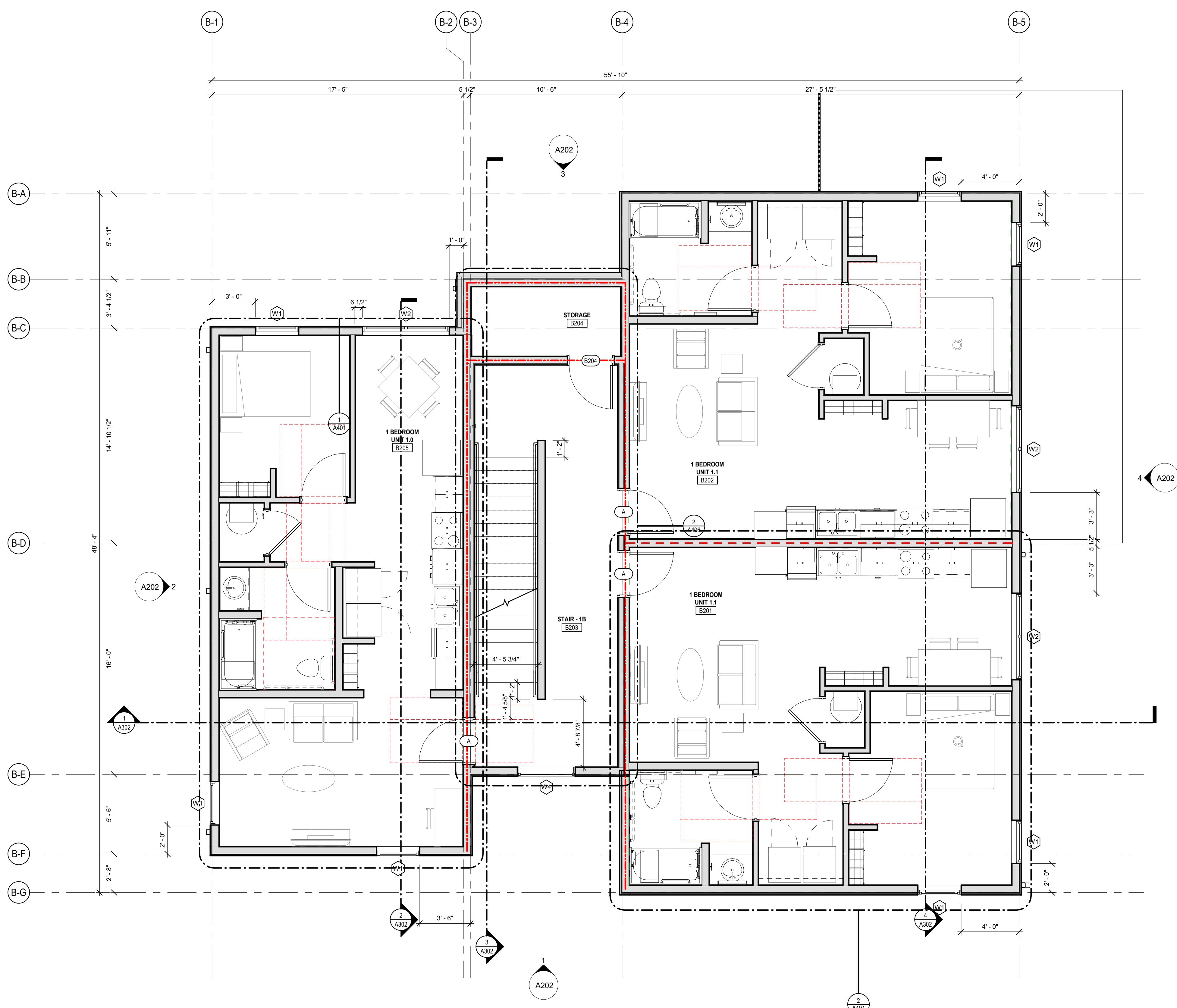
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BLDG B - 2ND FLOOR
PLAN

A105



1 BLDG B - 2ND FLOOR PLAN

FIRE RATING / EGRESS LEGEND

- EGRESS ROUTE
- ACCESSIBILITY ROUTE
- 1 HOUR FIRE RATED PARTITION: NOTE, ALL UNIT DEMISING WALLS ARE RATED TO 1 HOUR
- 1 HOUR FIRE RATED BARRIER:
- 2 HOUR FIRE WALL:

GENERAL NOTES

1. PROVIDE WALL BLOCKING/REINFORCING AT TOILETS AND SHOWERS IN ALL UNITS PER SHEET G-002 AND G003 GRAB BARS ARE TO BE UNINSTALLED IN TYPE A UNITS.
2. PLUMBING FIXTURE CONTROLS AND BATHROOM ACCESSORIES SHALL HAVE A POLISHED/BRIGHT CHROME FINISH. GRAB BARS SHALL HAVE A SATIN CHROME / STAINLESS FINISH.

GENERAL WALL AND PARTITION NOTES

1. CONTRACTOR SHALL REFERENCE SPECIFIED U.L. ASSEMBLIES ON G-SERIES SHEETS OR IN SPECIFICATIONS FOR ALLOWABLE PRODUCTS / MATERIALS AND THEIR RESPECTIVE FIRE RATED ASSEMBLIES.
2. INSTALL MOLD & MOISTURE RESISTANT GYPSUM BOARD AT BATHROOM WALL FACES. GYPSUM BOARD SHALL BE U.L. CLASSIFIED AS RATED ASSEMBLIES.
3. U.L. CLASSIFIED GLASS FIBER BATT INSULATION MAY BE SUBSTITUTED WITH MINERAL WOOL BATT INSULATION (SAME R' VALUE). REFER TO U.L. ASSEMBLIES FOR INSTALLATION REQUIREMENTS.
4. UNIT DEMISING WALLS AND CORRIDOR WALLS SHALL HAVE A 50 STC RATING (MINIMUM).
5. PROVIDE LEVEL 03 GYPSUM BOARD FINISH WITH ORANGE PEEL TEXTURE / FINISH (TYPE X) AND MOLD & MOISTURE RESISTANT PRIMER AND PAINT.
6. THE BUILDING ENVELOPE AND INTERIOR DWELLING UNIT DEMISING / CORRIDOR WALLS MUST BE THOROUGHLY SEALED TO PASS AIR INfiltrATION TESTING AS REQUIRED UNDER THE EARTH CRAFT CERTIFICATION PROCESS. INSTALL WATER-BASED ELASTOMERIC FOAM GASKET EQUAL TO GREY STUFF PRO GASKET BY DOW TO TOP PLATE AND BOTTOM PLATE AT DOORS AND CORRIDOR PERIMETER OPENINGS (INSTALL PER MANUFACTURE REQUIREMENTS). GREAT STUFF PRO GASKET MUST BE INSTALLED BY TRAINED APPLICATORS. INSTALL FULL STRIPS OF SILL SEAL FOAM GASKET ALONG TOP PLATES AND BOTTOM PLATES INTERIOR AND EXTERIOR. CAULK ALL JOINTS, PLATES, ETC. ENSURE THAT ALL PENETRATIONS, DUCTS, DUCTS, PENETRATIONS, AND LIGHT FIXTURE BOX PENETRATIONS. CONTRACTOR TO CONSULT WITH PROJECT'S EARTH CRAFT RATER REGARDING APPLICATION AREAS, BEST PRACTICES, AND METHODS PRIOR TO PROCEEDING WITH INSTALLATION.
7. ALL WALL AND CEILING ASSEMBLIES (FIRE RATED AND NOT RATED) THROUGH WALL PENETRATIONS, PLUMBING, HVAC, ELECTRICAL, DOOR, WINDOW, DOOR OPENINGS, AND ROOF ASSEMBLY PENETRATIONS SHALL HAVE HIGH-GRADE, LOW / NO VOC PERIMETER SEALANT INSTALLED (USE FIRESTOP SEALANT WHERE REQUIRED) TO FORM AN AIR-TIGHT ENVELOPE. COORDINATE FRAMERS, PLUMBERS, HVAC, INSULATORS, AND CONTRACTOR TO MINIMIZE UNCONTROLLED AIR LEAKAGE PATHWAYS BETWEEN RESIDENTIAL UNITS BY SEALING ALL PENETRATIONS IN WALLS, CEILINGS, AND FLOORS IN THE UNITS.
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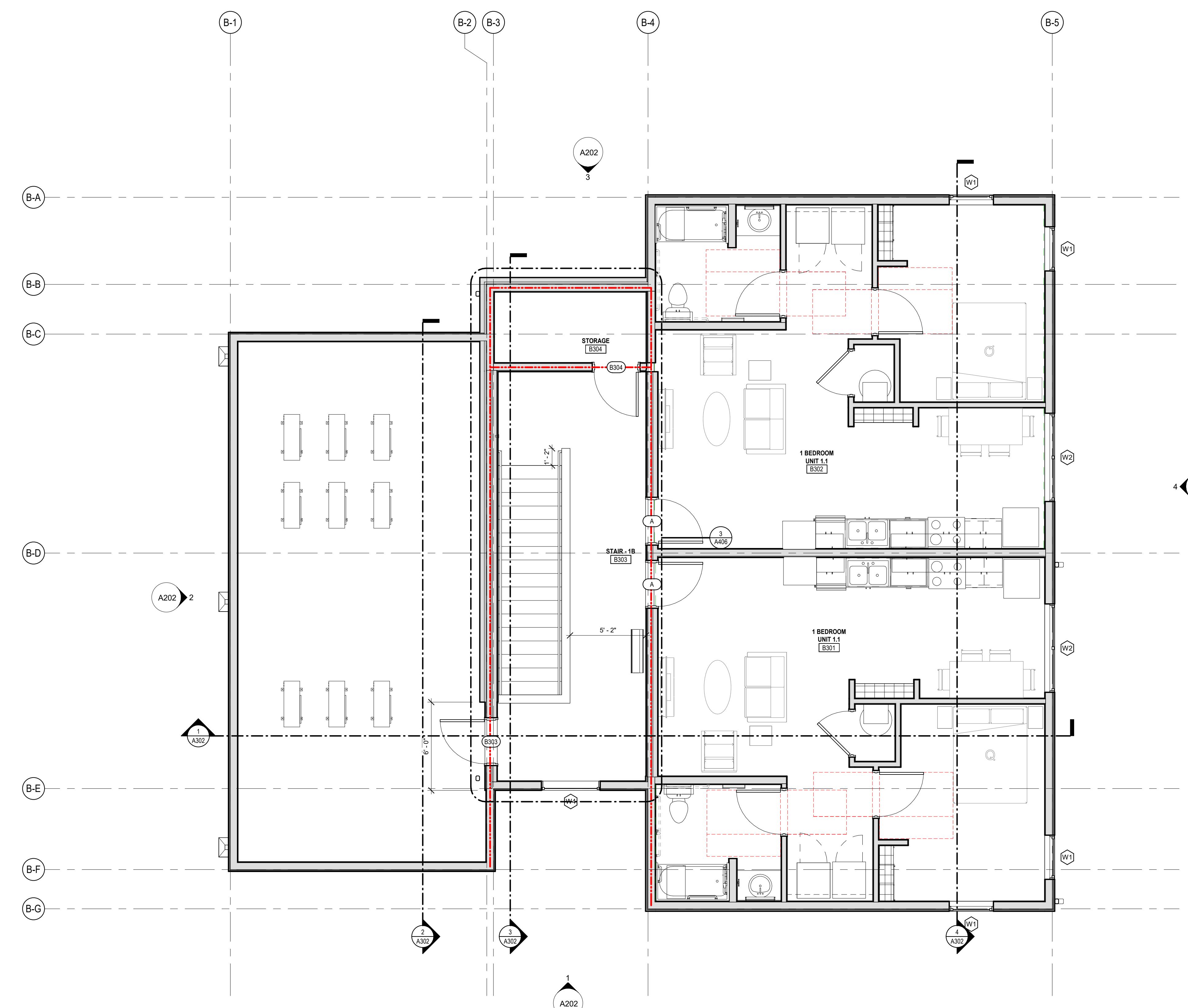
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BLDG B - 3RD FLOOR
PLAN

A106



1 BLDG B - 3RD FLOOR PLAN
1/4" = 1'-0"

FIRE RATING / EGRESS LEGEND

- EGRESS ROUTE
- ACCESSIBILITY ROUTE
- 1 HOUR FIRE RATED PARTITION: NOTE: ALL UNIT DEMISING WALLS ARE RATED TO 1 HOUR
- 1 HOUR FIRE RATED BARRIER:
- 2 HOUR FIRE WALL:

GENERAL NOTES

1. PROVIDE WALL BLOCKING/REINFORCING AT TOILETS AND SHOWERS IN ALL UNITS PER SHEET G-002 AND G003 GRAB BARS ARE TO BE UNINSTALLED IN TYPE A UNITS. PLUMBING FIXTURE CONTROLS AND BATHROOM ACCESSORIES SHALL HAVE A POLISHED/BLACK CHROME FINISH. GRAB BARS SHALL HAVE A SATIN CHROME / STAINLESS FINISH.

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6. THE BUILDING ENVELOPE AND INTERIOR DWELLING UNIT DEMISING / CORRIDOR WALLS MUST BE THOROUGHLY SEALED TO PASS AIR INfiltrATION TESTING AS REQUIRED UNDER THE EARTHCRAFT CERTIFICATION PROCESS. INSTALL WATER-BASED ELASTOMERIC FOAM GASKET EQUAL TO GREEN STUFF PRO GASKET BY DOW TO WALL TOP AND BOTTOM PLATES AND DOOR AND WINDOW PERIMETER OPENINGS (INSTALL PER MANUFACTURE REQUIREMENTS). GREAT STUFF PRO GASKET MUST BE INSTALLED BY TRAINED APPLICATORS. INSTALL FULL STRIPS OF SILL SEAL FOAM GASKET ALONG TOP PLATES AND BOTTOM PLATES INTERIOR AND EXTERIOR. CAULK ALL JOINTS AND PENETRATIONS. ELETRICAL, PLUMBING, AND AIR DUCT PENETRATIONS, AND LIGHT FIXTURE BOX PENETRATIONS. CONTRACTOR TO CONSULT WITH PROJECT'S EARTHCRAFT RATER REGARDING APPLICATION AREAS, BEST PRACTICES, AND METHODS PRIOR TO PROCEEDING WITH INSTALLATION.
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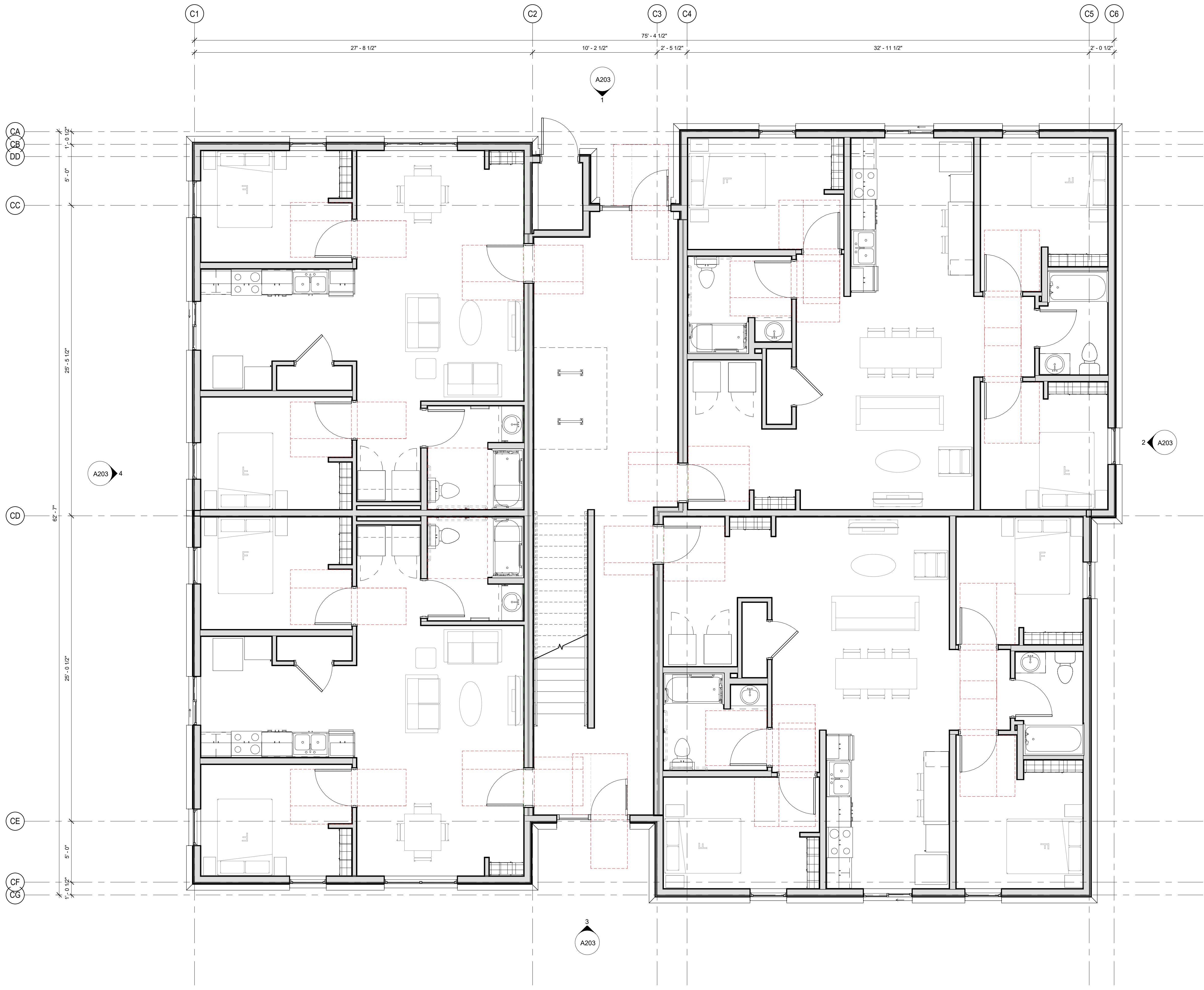
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BLDG C - 1ST FLOOR
PLAN

A107



FIRE RATING / EGRESS LEGEND

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BLDG C - 2ND FLOOR
PLAN

A108

1 BLDG C - 2ND FLOOR PLAN

1/4" = 1'-0"

6/20/2022 3:28:00 PM

BLDG C - 2ND FLOOR PLAN

Promise Place KCMO

KEYNOTE LEGEND

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CONTACT: NAOMI FISHER

EXTERIOR MATERIAL LEGEND

	B1	BRICK
	M1	METAL PANEL SIDING 1
	M2	METAL 2
	S1	STUCCO
	FC1	FIBER CEMENT SIDING
	FC2	FIBER CEMENT WOOD SIDING
	ASR	ASPHALT SHINGLE ROOF

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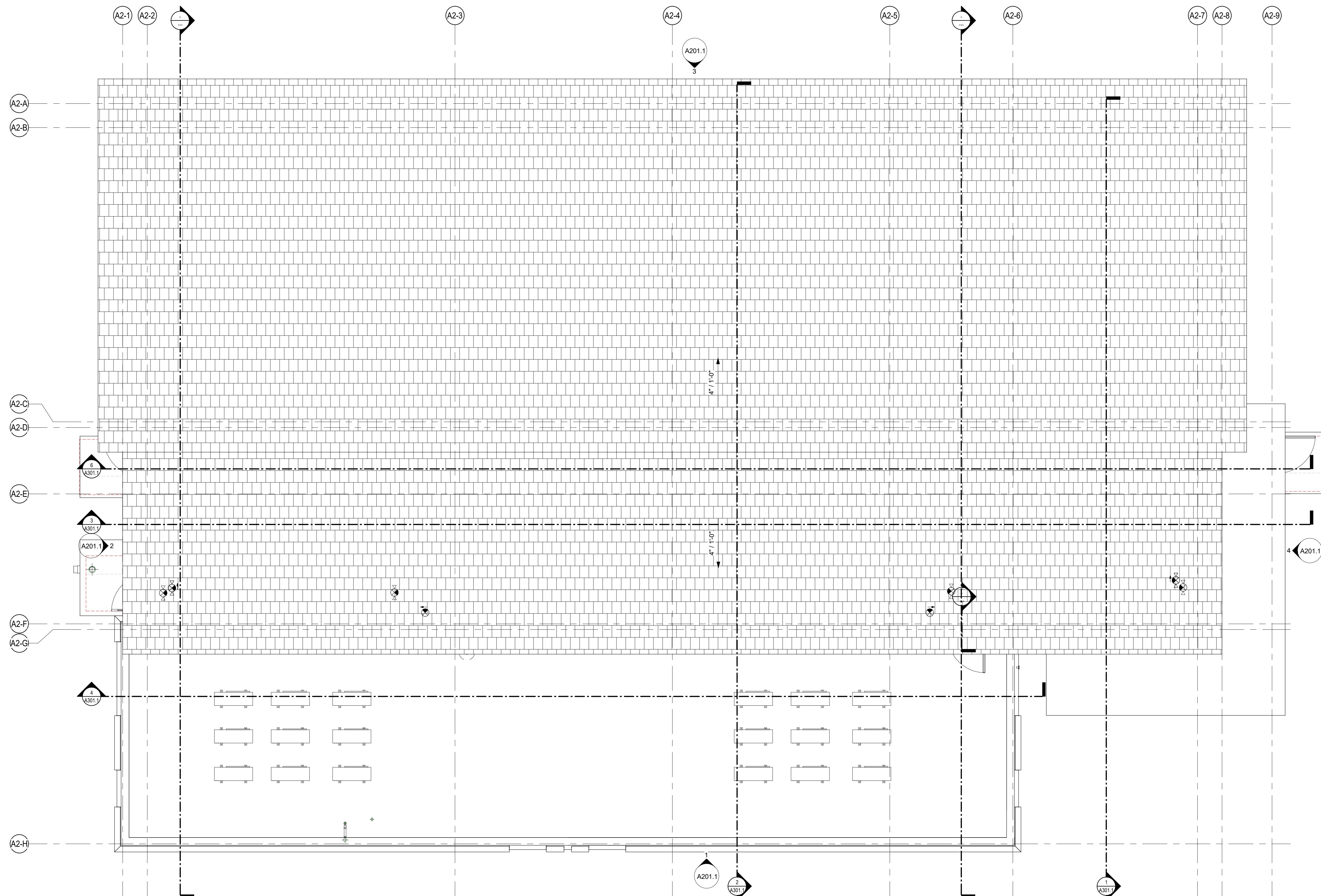
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BLDG A2 - ROOF
PLAN

A109.1



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EXTERIOR MATERIAL LEGEND

	B1	BRICK
	M1	METAL PANEL SIDING 1
	M2	METAL 2
	S1	STUCCO
	FC1	FIBER CEMENT SIDING
	FC2	FIBER CEMENT WOOD SIDING
	ASR	ASPHALT SHINGLE ROOF

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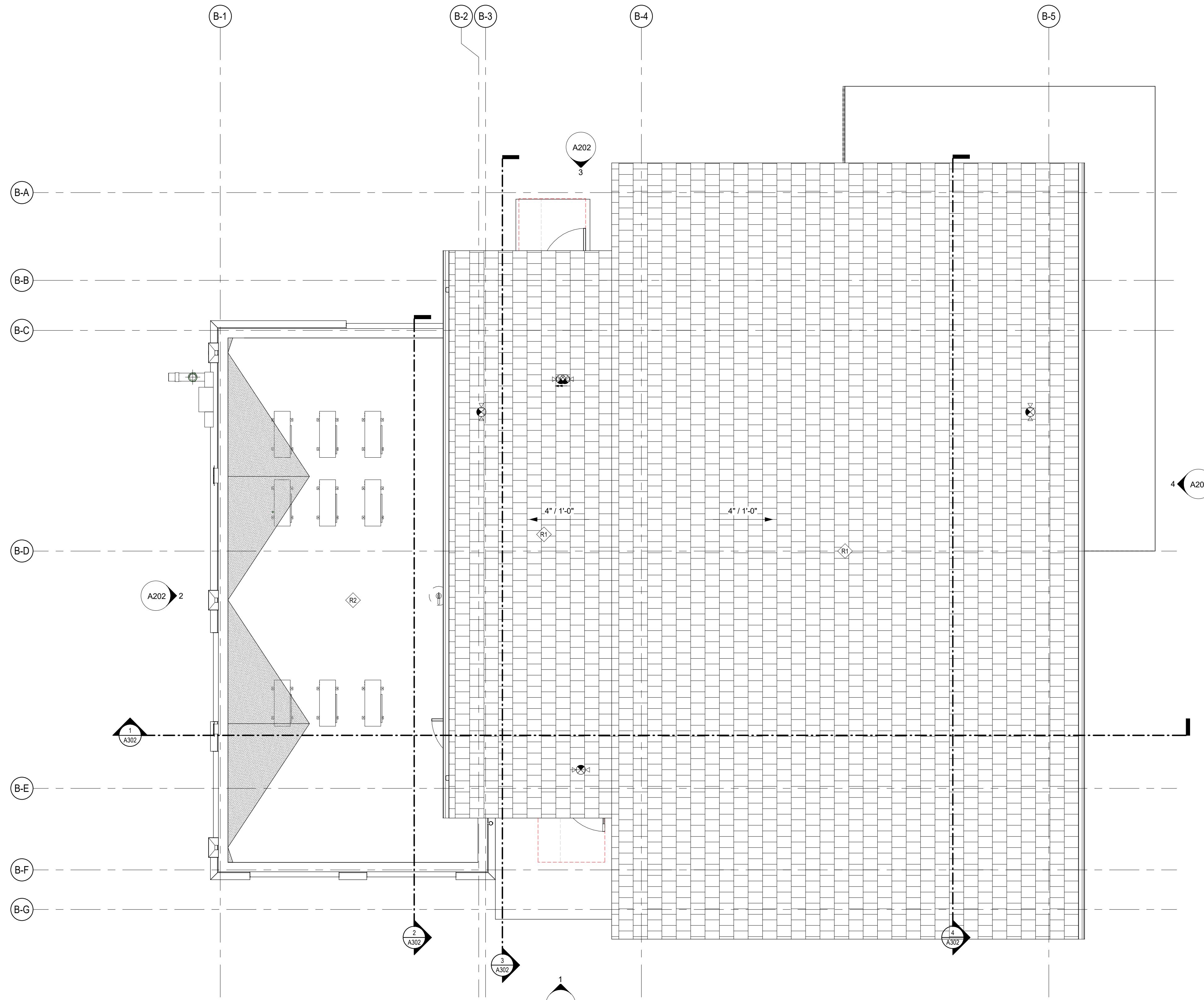
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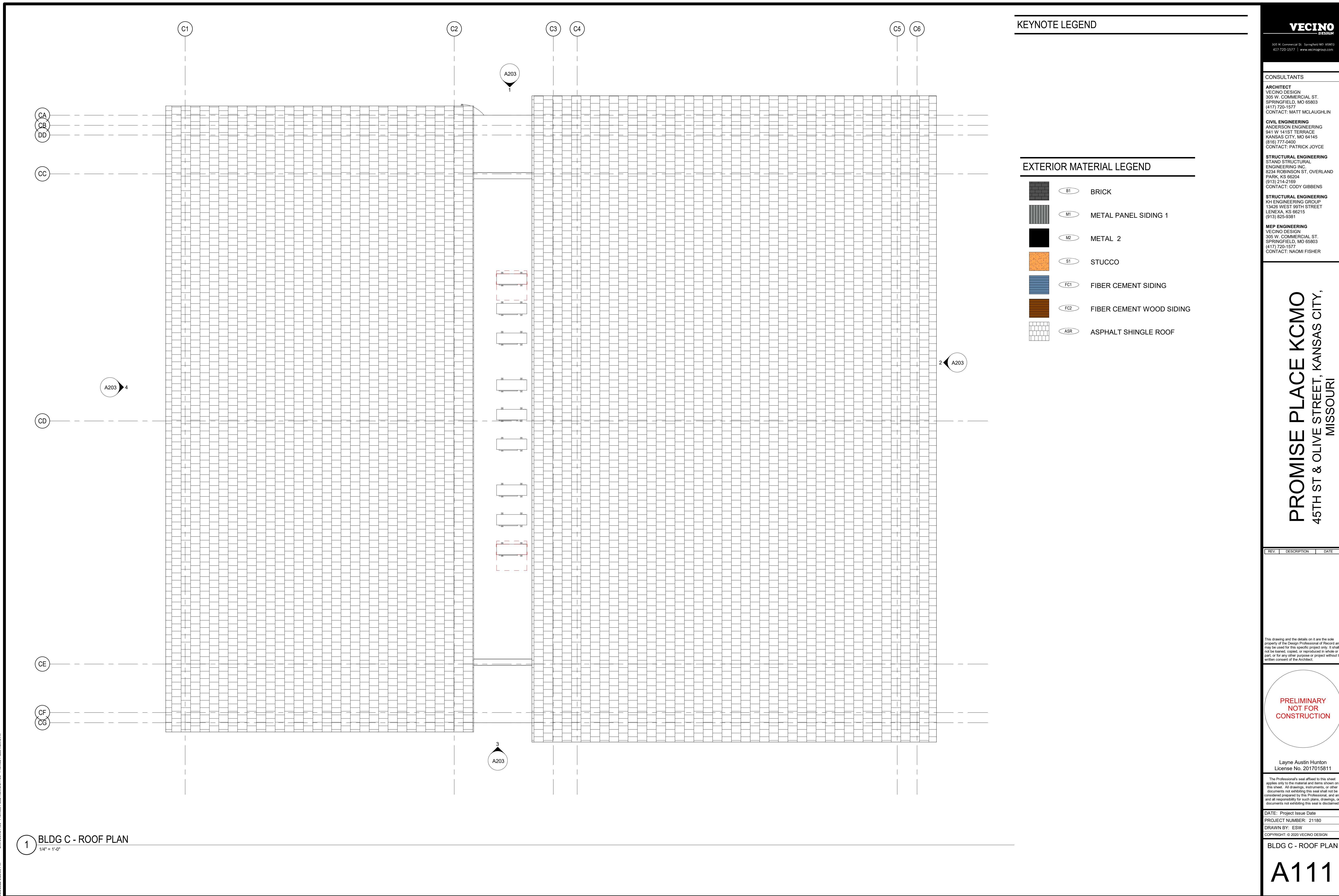
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BLDG B - ROOF PLAN

A110





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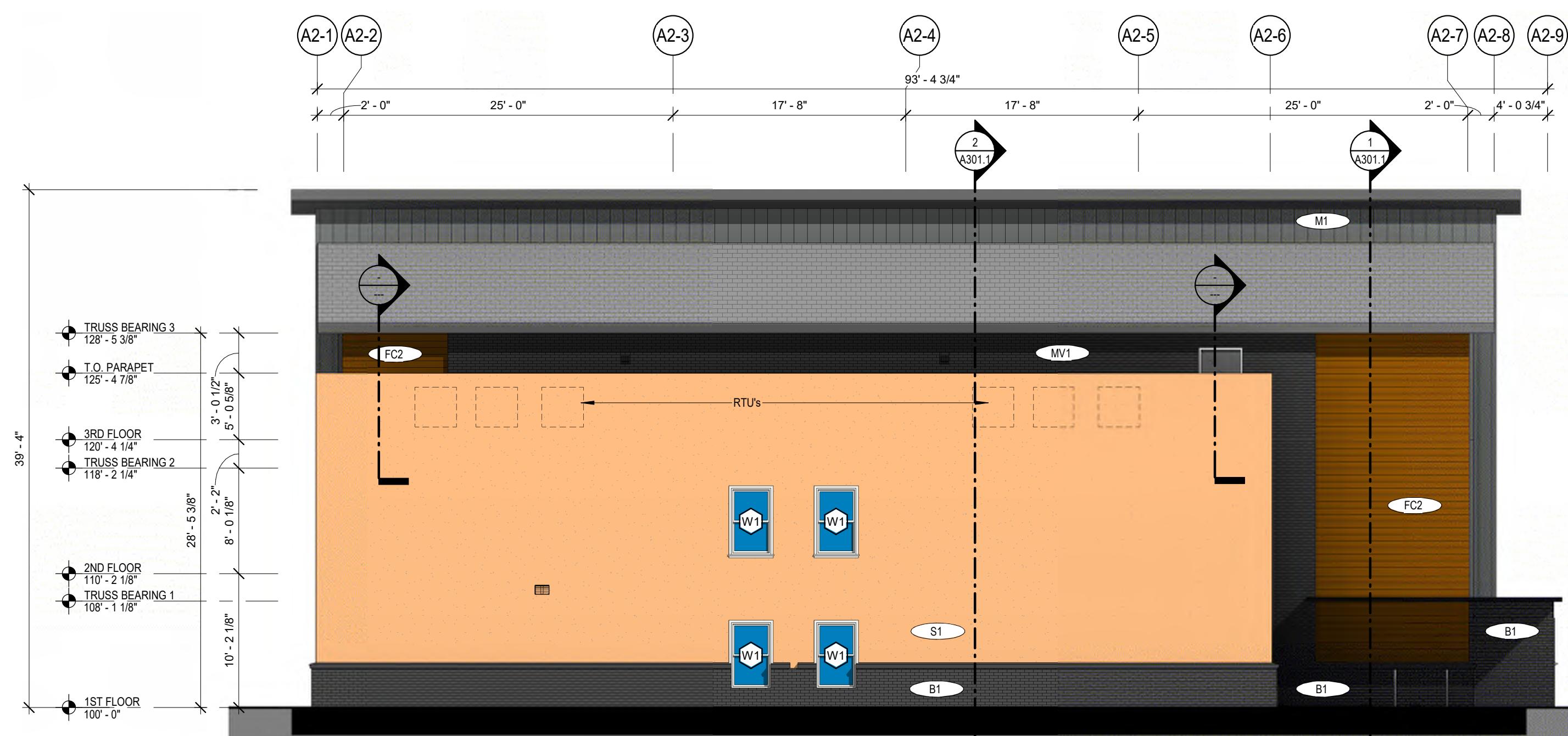
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MISSOURI

EXTERIOR MATERIAL LEGEND

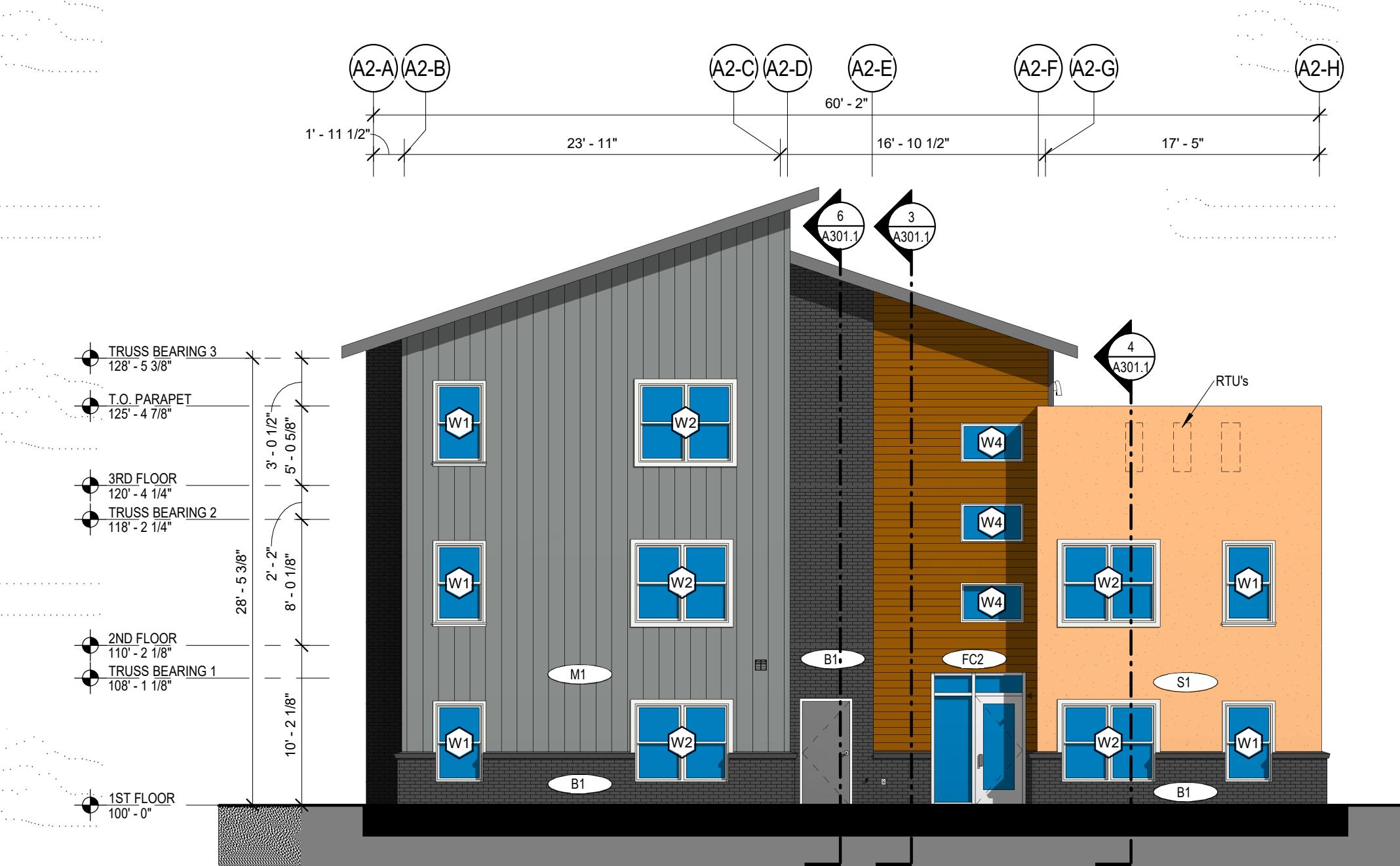
B1	BRICK
M1	METAL PANEL SIDING 1
M2	METAL 2
S1	STUCCO
FC1	FIBER CEMENT SIDING
FC2	FIBER CEMENT WOOD SIDING
ASR	ASPHALT SHINGLE ROOF

KEYNOTE LEGEND



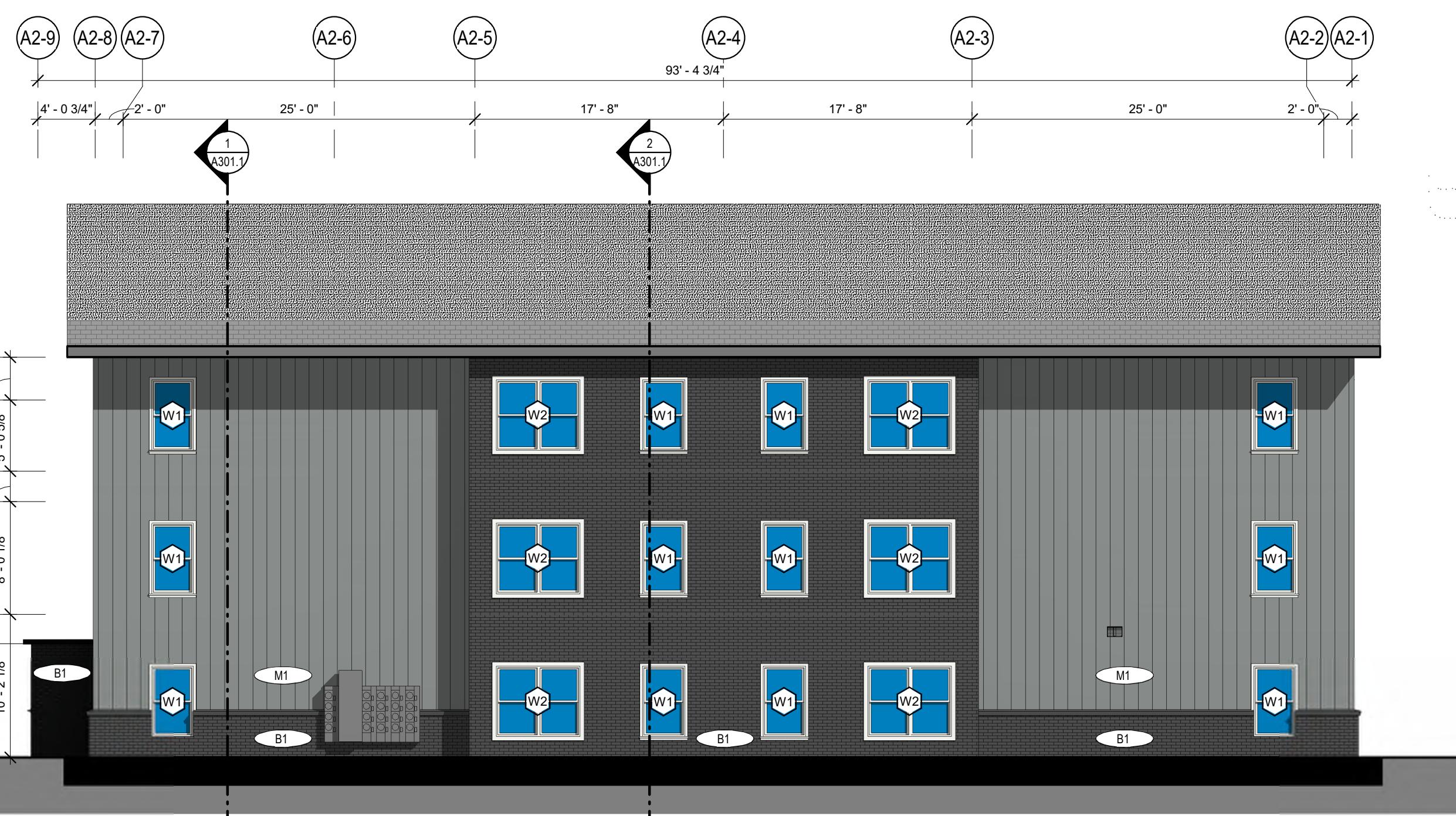
1 BLDG A2 - FRONT ELEVATION

1/8" = 1'-0"



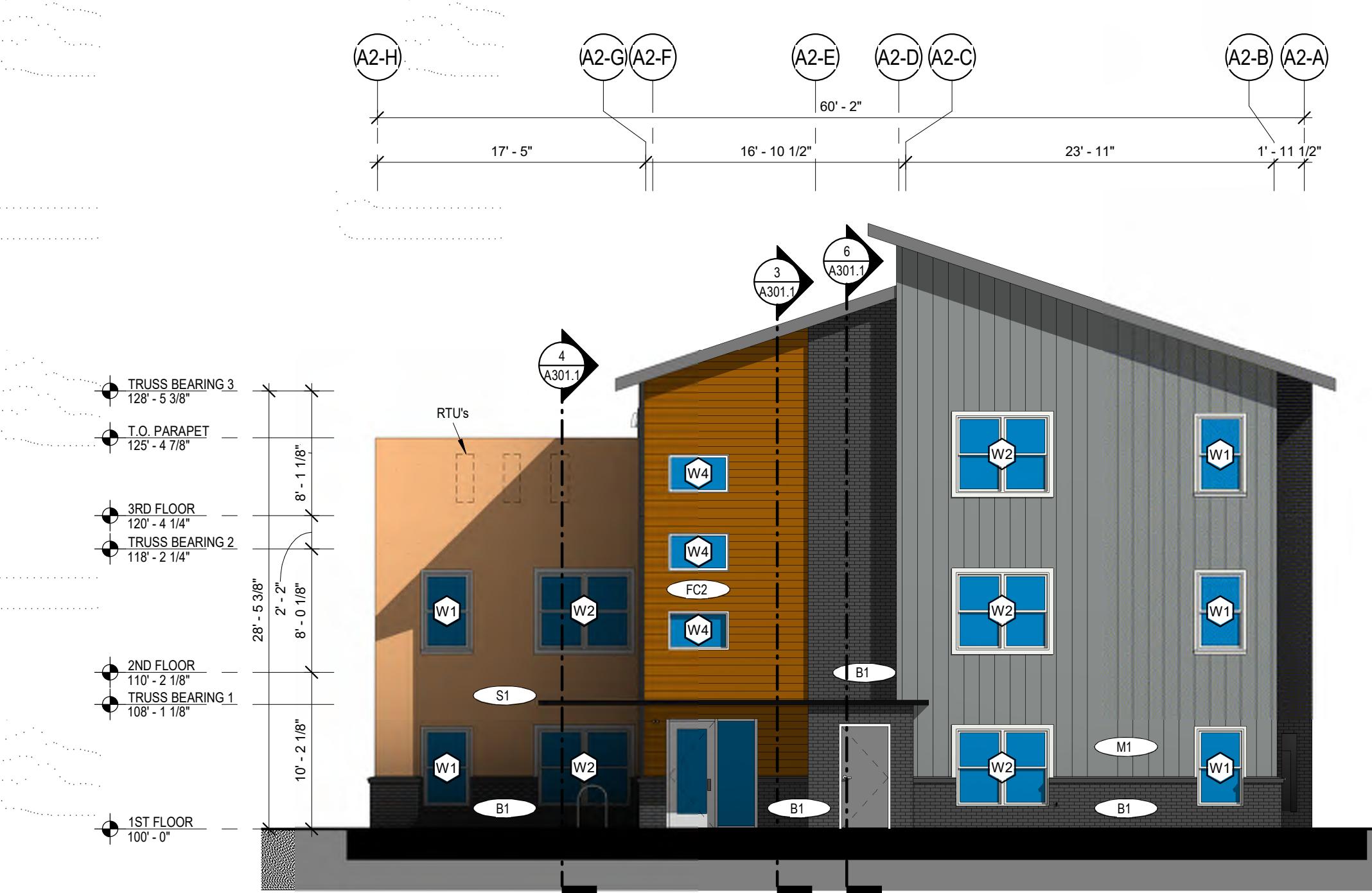
2 BLDG A2 - LEFT ELEVATION

1/8" = 1'-0"



3 BLDG A2 - REAR ELEVATION

1/8" = 1'-0"



4 BLDG A2 - RIGHT ELEVATION

1/8" = 1'-0"

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BLDG A2
ELEVATIONS

A201.1

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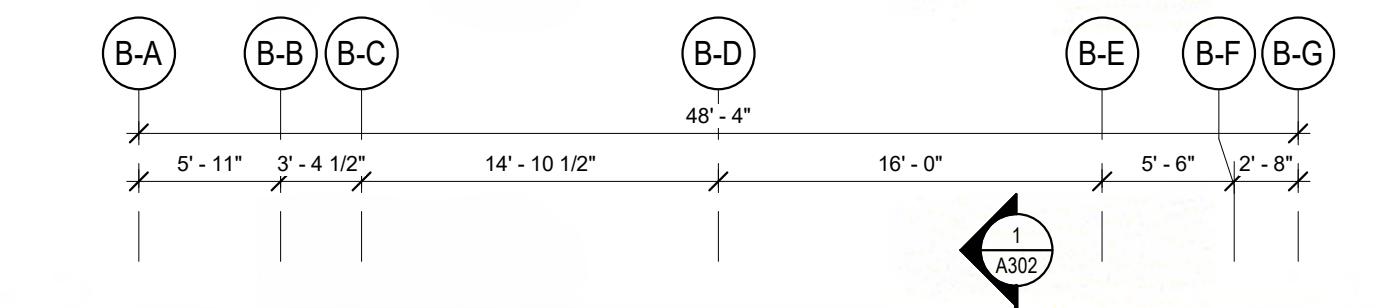
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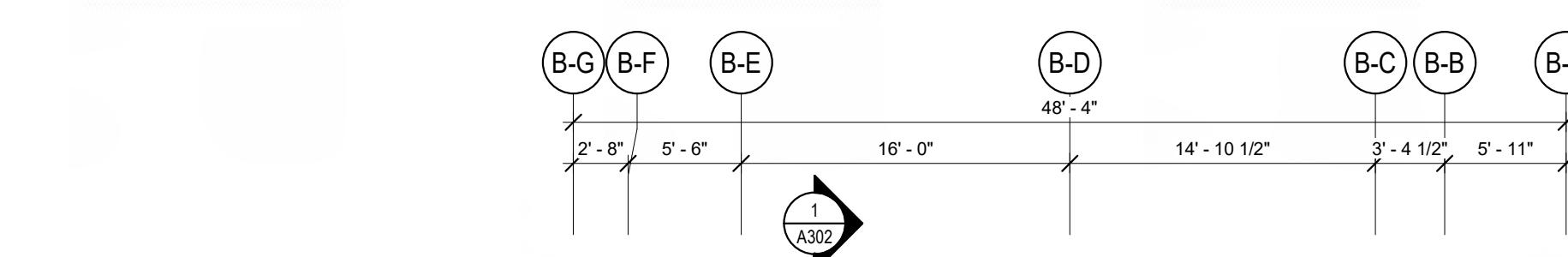
EXTERIOR MATERIAL LEGEND

	B1 BRICK
	M1 METAL PANEL SIDING 1
	M2 METAL 2
	S1 STUCCO
	FC1 FIBER CEMENT SIDING
	FC2 FIBER CEMENT WOOD SIDING
	ASR ASPHALT SHINGLE ROOF

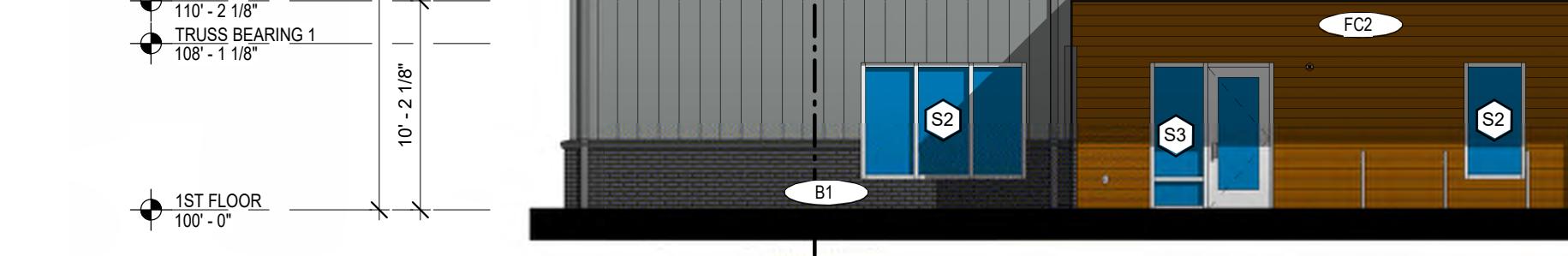
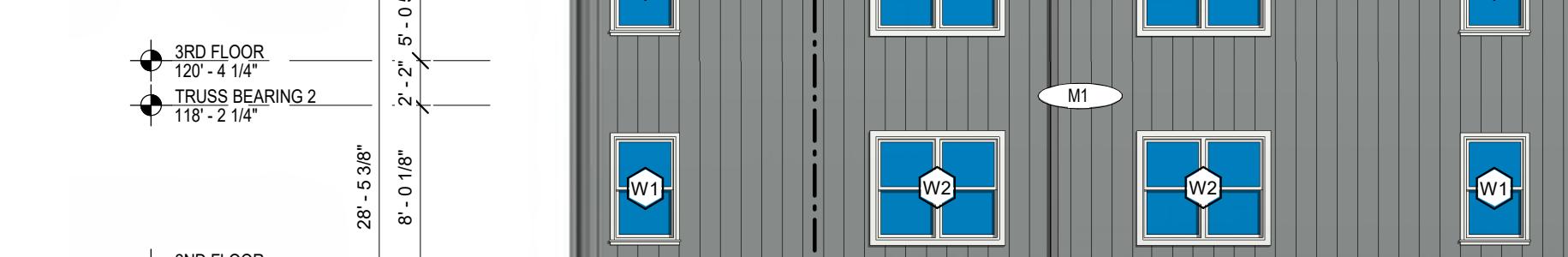
KEYNOTE LEGEND



1 BLDG B - FRONT ELEVATION



2 BLDG B - LEFT ELEVATION



3 BLDG B - REAR ELEVATION

4 BLDG B - RIGHT ELEVATION

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BLDG B ELEVATIONS

A202

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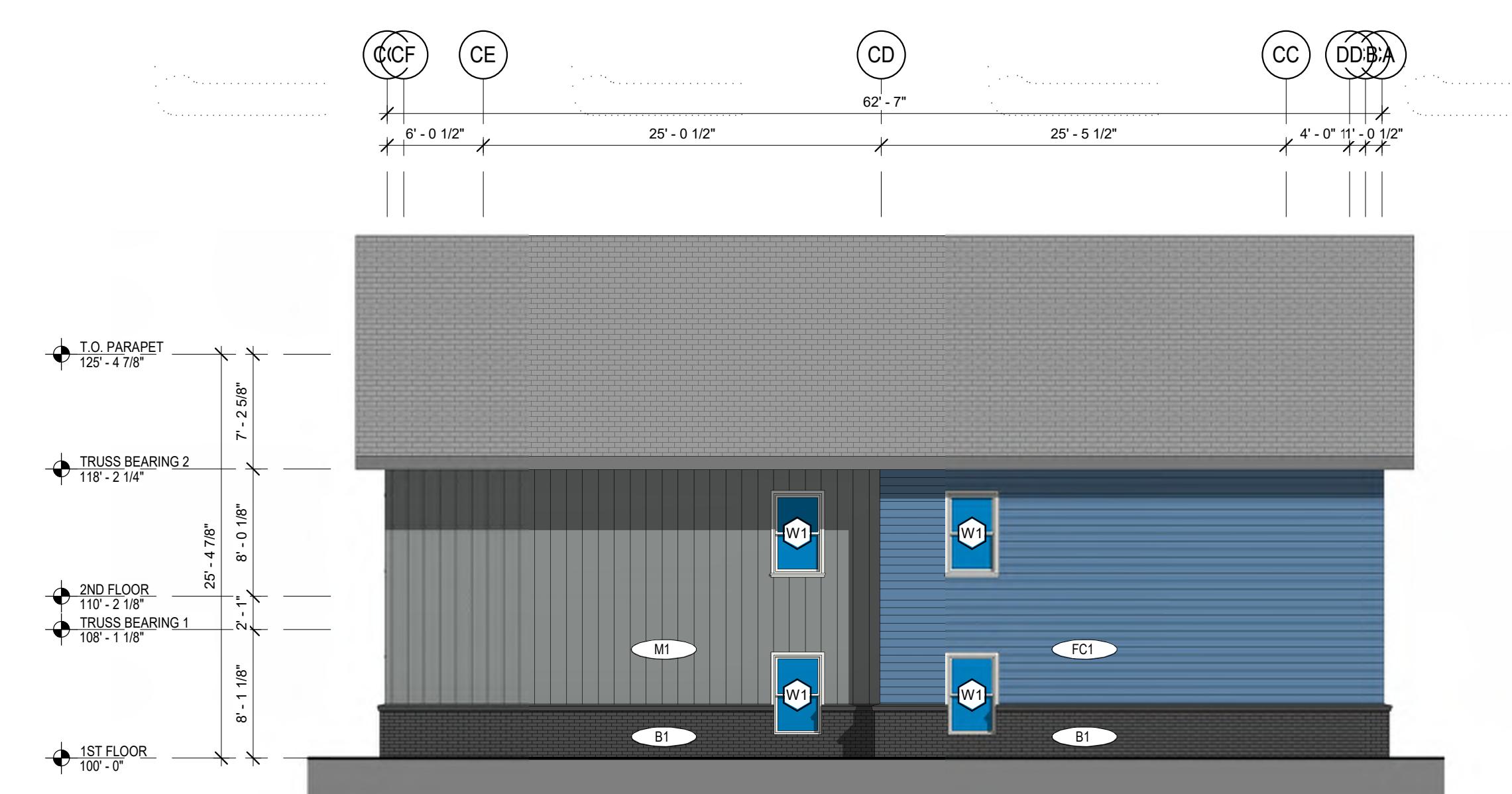
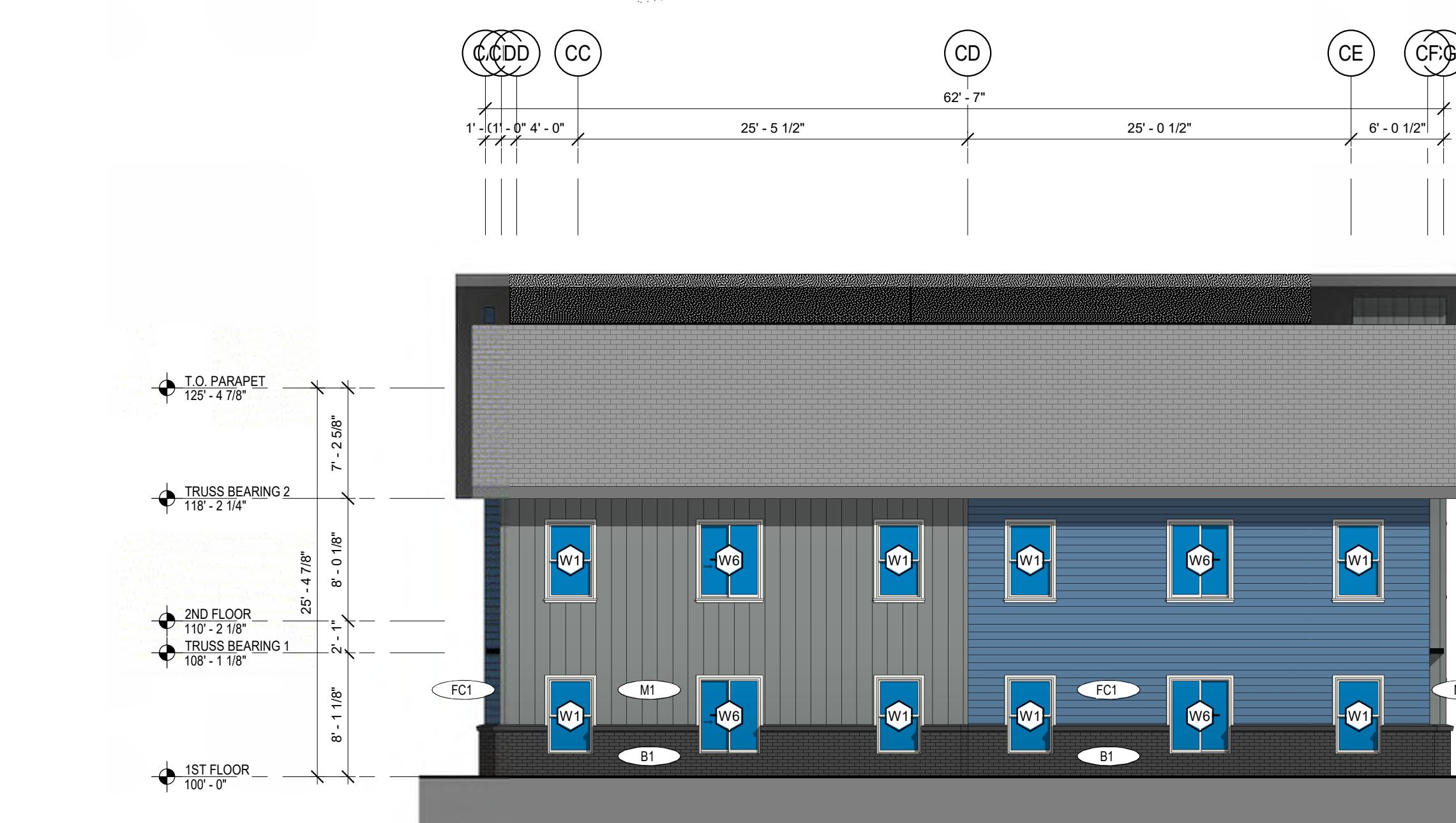
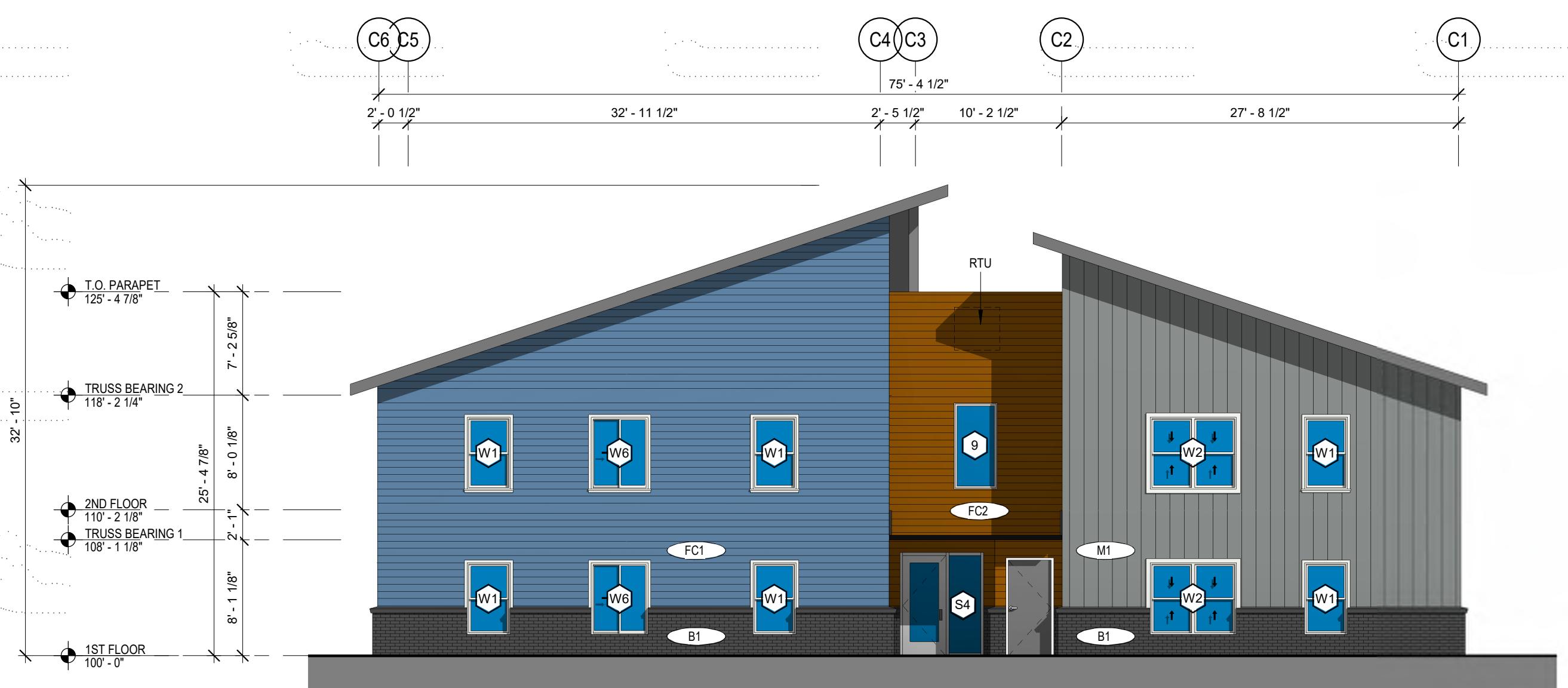
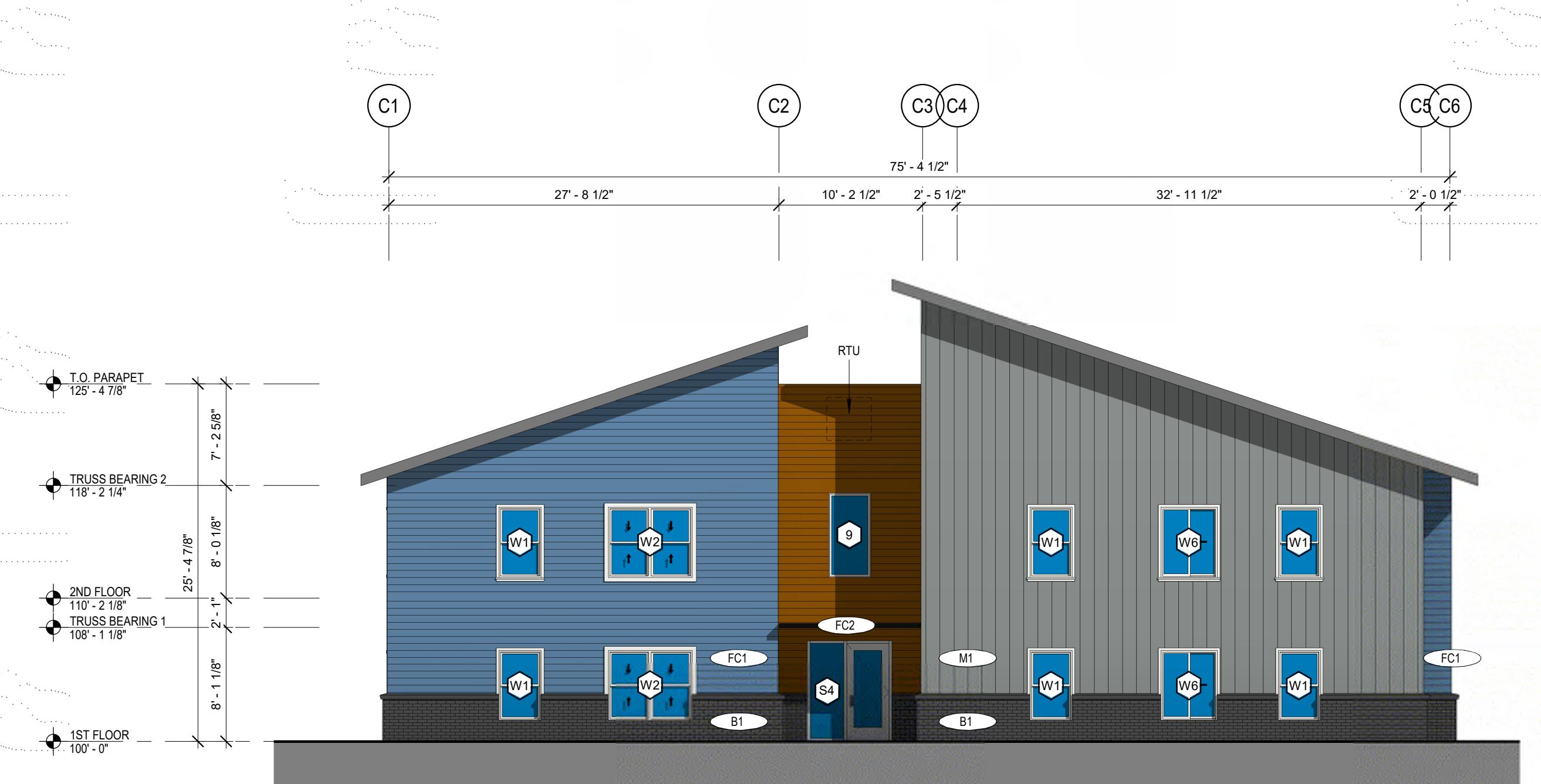
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 305 W. COMMERCIAL ST.
 SPRINGFIELD, MO 65803
 (417) 720-1577
 CONTACT: NAOMI FISHER

PROMISE PLACE KCMO
 45TH ST & OLIVE STREET, KANSAS CITY,
 MISSOURI

EXTERIOR MATERIAL LEGEND

	B1 BRICK
	M1 METAL PANEL SIDING 1
	M2 METAL 2
	S1 STUCCO
	FC1 FIBER CEMENT SIDING
	FC2 FIBER CEMENT WOOD SIDING
	ASR ASPHALT SHINGLE ROOF

KEYNOTE LEGEND

2 BLDG C - RIGHT ELEVATION
1/8" = 1'-0"4 BLDG C - LEFT ELEVATION
1/8" = 1'-0"1 BLDG C - REAR ELEVATION
1/8" = 1'-0"3 BLDG C - FRONT ELEVATION
1/8" = 1'-0"

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DATE: Project Issue Date
PROJECT NUMBER: 21180
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BLDG C ELEVATIONS

A203

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PROMISE PLACE KCMO
45TH ST & OLIVE STREET, KANSAS CITY,
MISSOURI

REV. DESCRIPTION DATE

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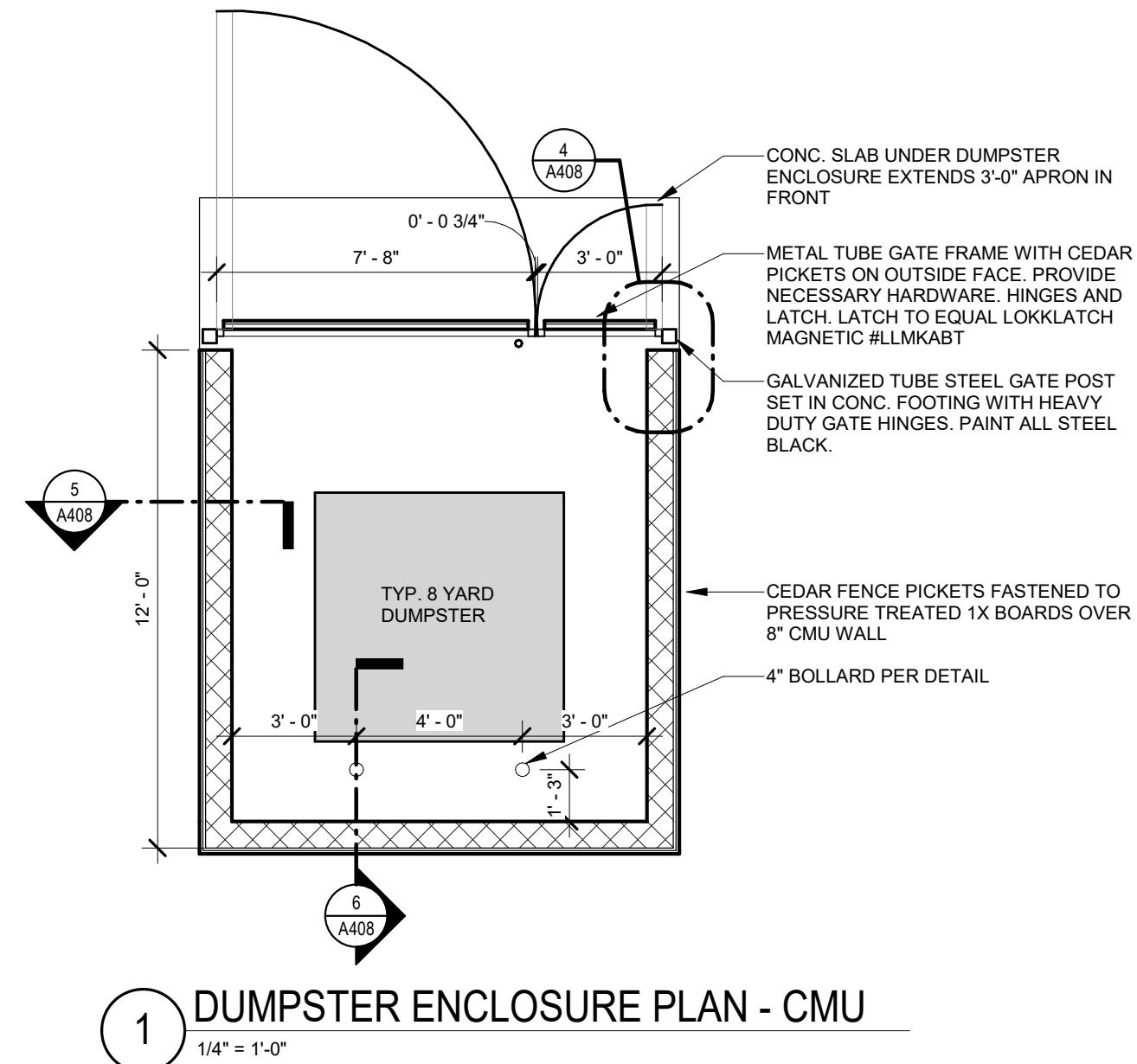
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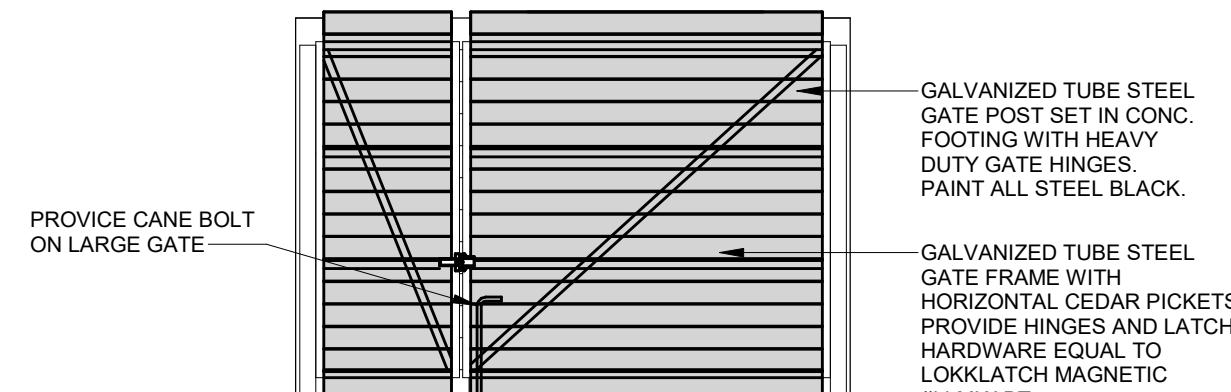
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DUMPSTER
ENCLOSURE

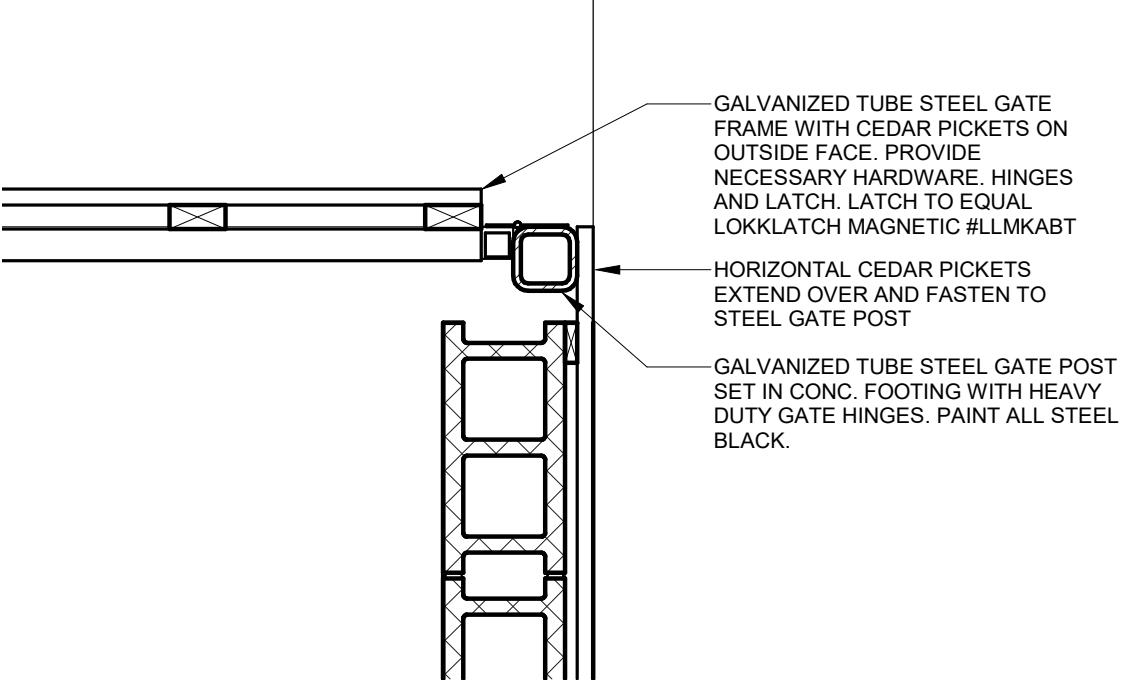
A408



1 DUMPSTER ENCLOSURE PLAN - CMU

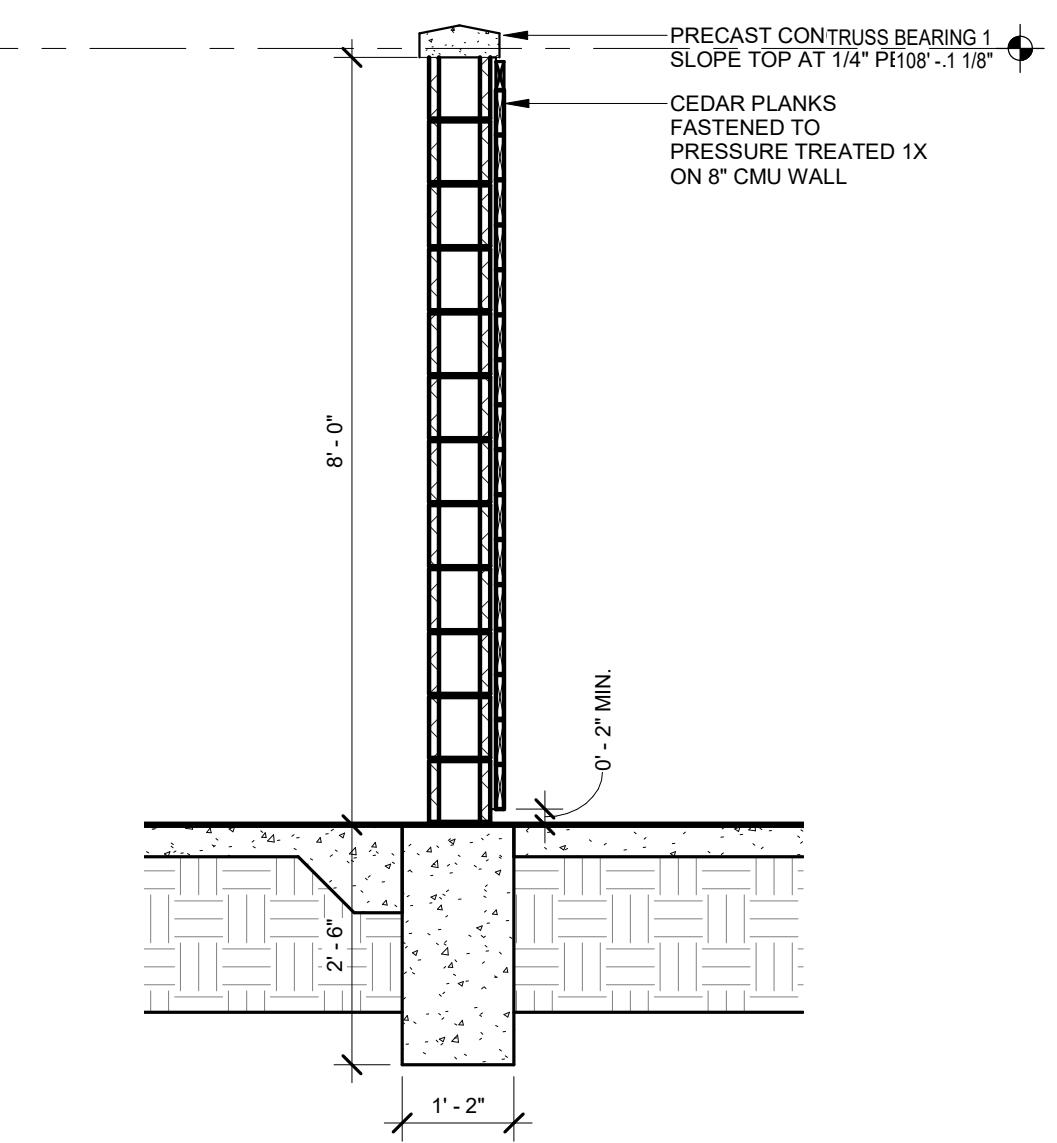
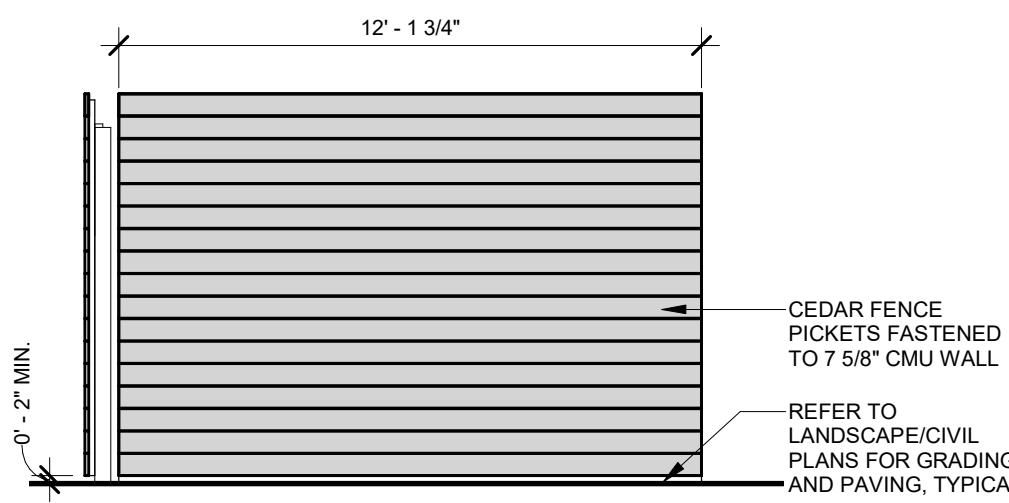


2 DUMPSTER SIDE ELEVATION - CMU

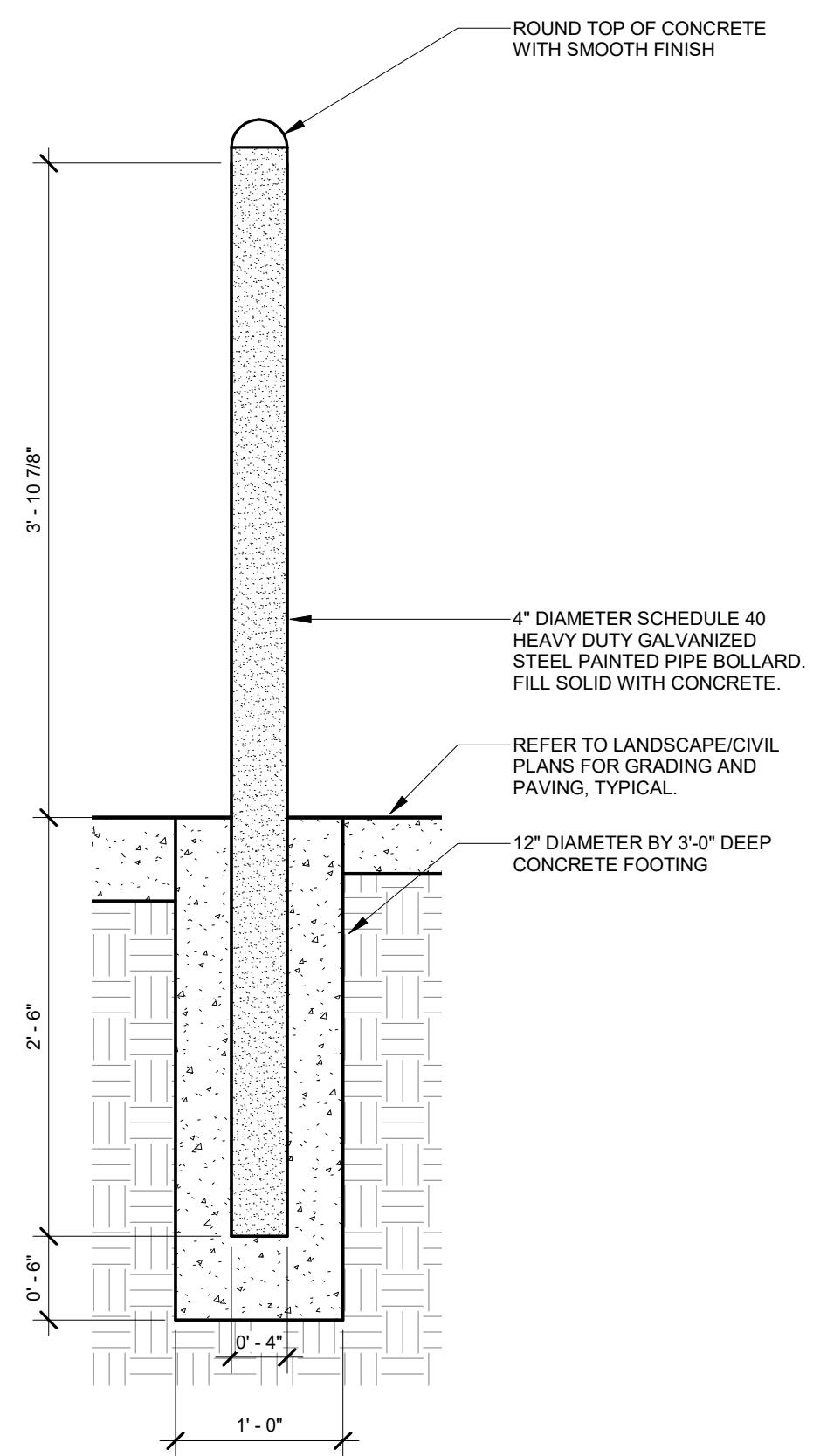


3 DUMPSTER FRONT ELEVATION - CMU

4 DUMPSTER GATE JAMB DETAIL - CMU

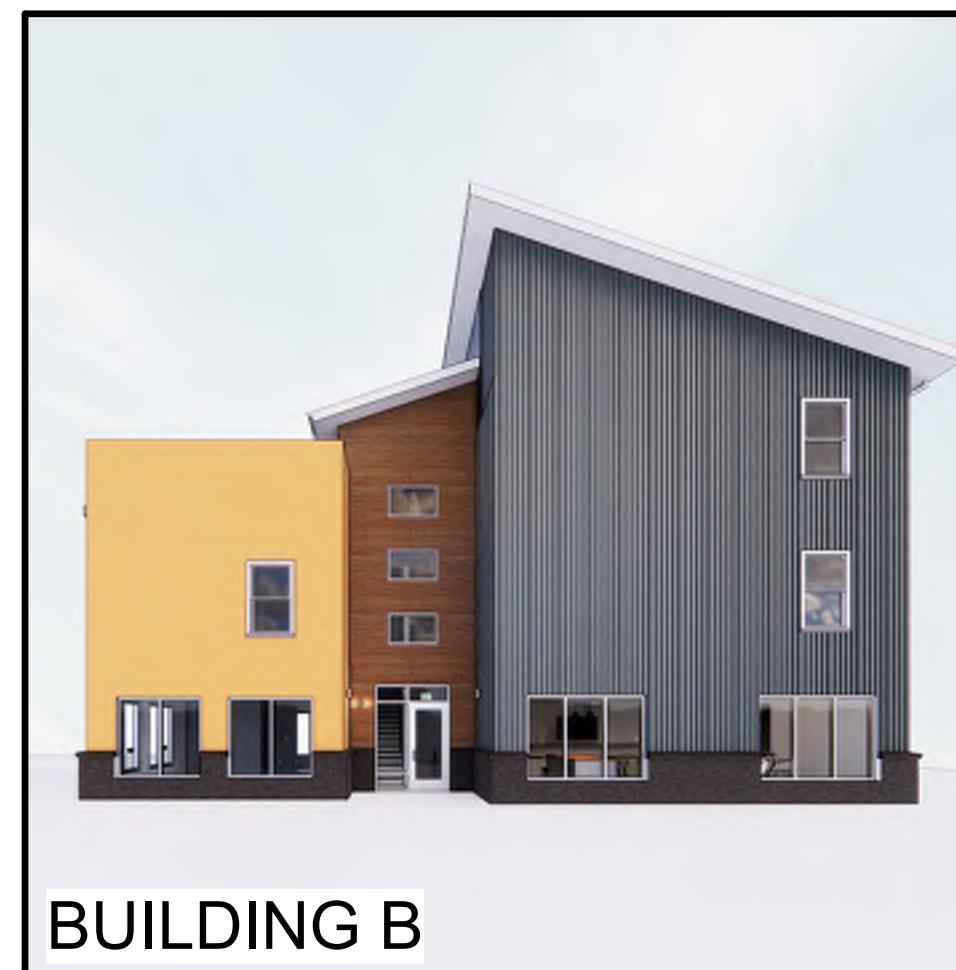
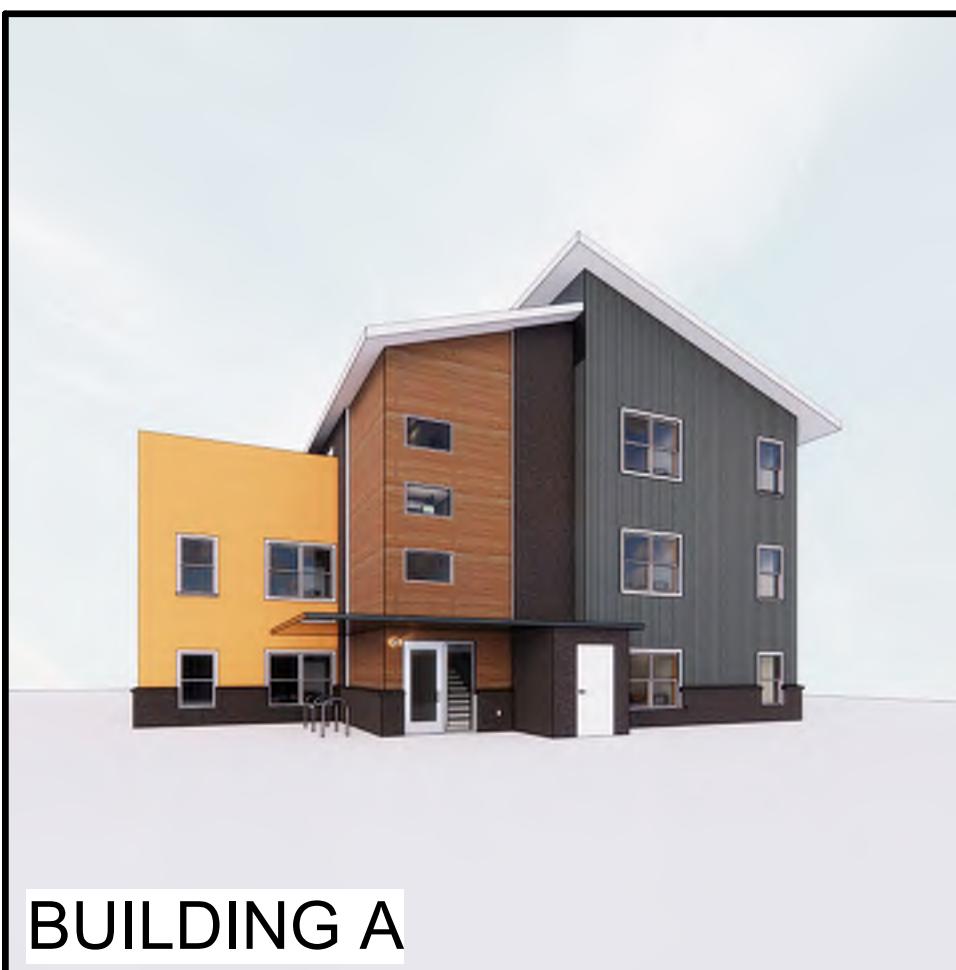


5 DUMPSTER WALL SECTION - CMU



6 DUMPSTER ENCLOSURE BOLLARD DETAIL

BUILDING TYPES



MATERIALS



PROMISE PLACE - KCMO

45TH & OLIVE STREET

VECINO
DESIGN



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PROMISE PLACE
KANSAS CITY, MO

4423 OLIVE STREET
KANSAS CITY, MO 64130

current submittal

issued:

revisions

Date

No.

professional seal



LANDSCAPE PLAN
L100

88-425 Landscape Requirements				
Landscape and Screening (Section 88-425, Kansas City, Missouri Zoning and Development Code)				
	Required	Proposed	Alternative Requested	Approved
88-425-03 Street Trees	34	34		
88-425-04 General Landscape Trees	7	7		
88-425-05 Perimeter Vehicular Use Area Adjacent to Streets				
Buffer Width Minimum	10'	10'		
Trees *street trees may be counted toward this requirement	1	1		
Evergreen Shrubs	10	10		
88-425-06 Interior Vehicular Use Area				
Interior Area	1960	1960		
Trees	11	11		
Shrubs	56	56		
88-425-07 Parking Garage Screening	N/A			
88-425-08 Mechanical/Utility Equipment Screening	Evergreen shrubs to be used to screen utilities.			
88-425-09 Outdoor Use Screening	N/A			

