



BARRY ROAD TOWNHOMES

KANSAS CITY, MISSOURI

PROJECT TEAM

CONTRACTOR

PRISM REAL ESTATE SERVICES, LLC
8826 SANTA FE DRIVE, SUITE 300
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TEL: (913) 381-1170
FAX: (913) 381-1174
EMAIL: BSONNER@OLSSON.COM
CONTACT: BRAD SONNER

ARCHITECT

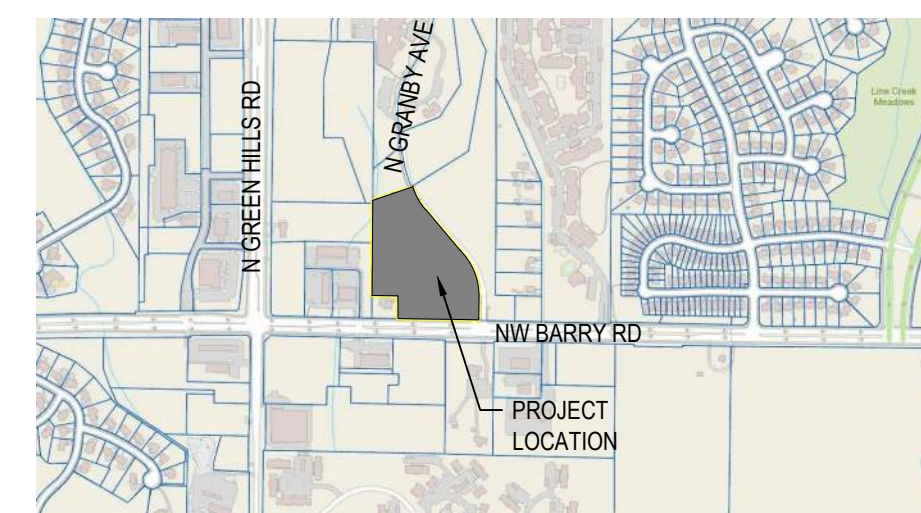
NSPJ ARCHITECTS, P.A.
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FAX: (913) 831-1563
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CONTACT: CLINT EVANS

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TEL: (913) 831-1415
FAX: (913) 831-1563
EMAIL: KMARTINOVIC@NSPJARCH.COM
CONTACT: KATIE MARTINOVIC

PROJECT LOCATION

PROJECT LOCATION:
8400 N. GRANDBY AVE
KANSAS CITY, MO 64154



VICINITY MAP

INDEX OF DRAWINGS

COVER

A0.00 COVER SHEET

CIVIL

C1.0 PRELIMINARY SITE PLAN
C1.1 PRELIMINARY PLAT
C1.2 DETAILED SITE PLAN
C2.0 PRELIMINARY UTILITY PLAN
C3.0 PRELIMINARY GRADING PLAN
C4.0 PRELIMINARY STREAM BUFFER PLAN
E1 SITE LIGHTING PHOTOMETRICS PLAN
E2 SITE LIGHTING PHOTOMETRICS PLAN

LANDSCAPE

L1.00 LANDSCAPE PLAN
L3.00 PLANTING DETAILS

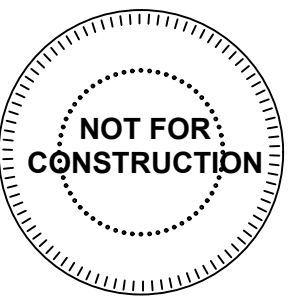
ARCHITECTURE

A3.00 BUILDING ELEVATIONS
A3.10 BUILDING ELEVATIONS
A3.20 BUILDING ELEVATIONS
A3.30 BUILDING ELEVATIONS

ARCHITECTURE
LANDSCAPE
ARCHITECTURE
INTERIORS
ENERGY SERVICES



ARCHITECTS^{PA}
3515 W. 75TH ST., SUITE 201
PRAIRIE VILLAGE, KS 66208



BARRY RD TOWNHOMES

DRAWING RELEASE LOG
05/02/2022 - DEVELOPMENT PLAN

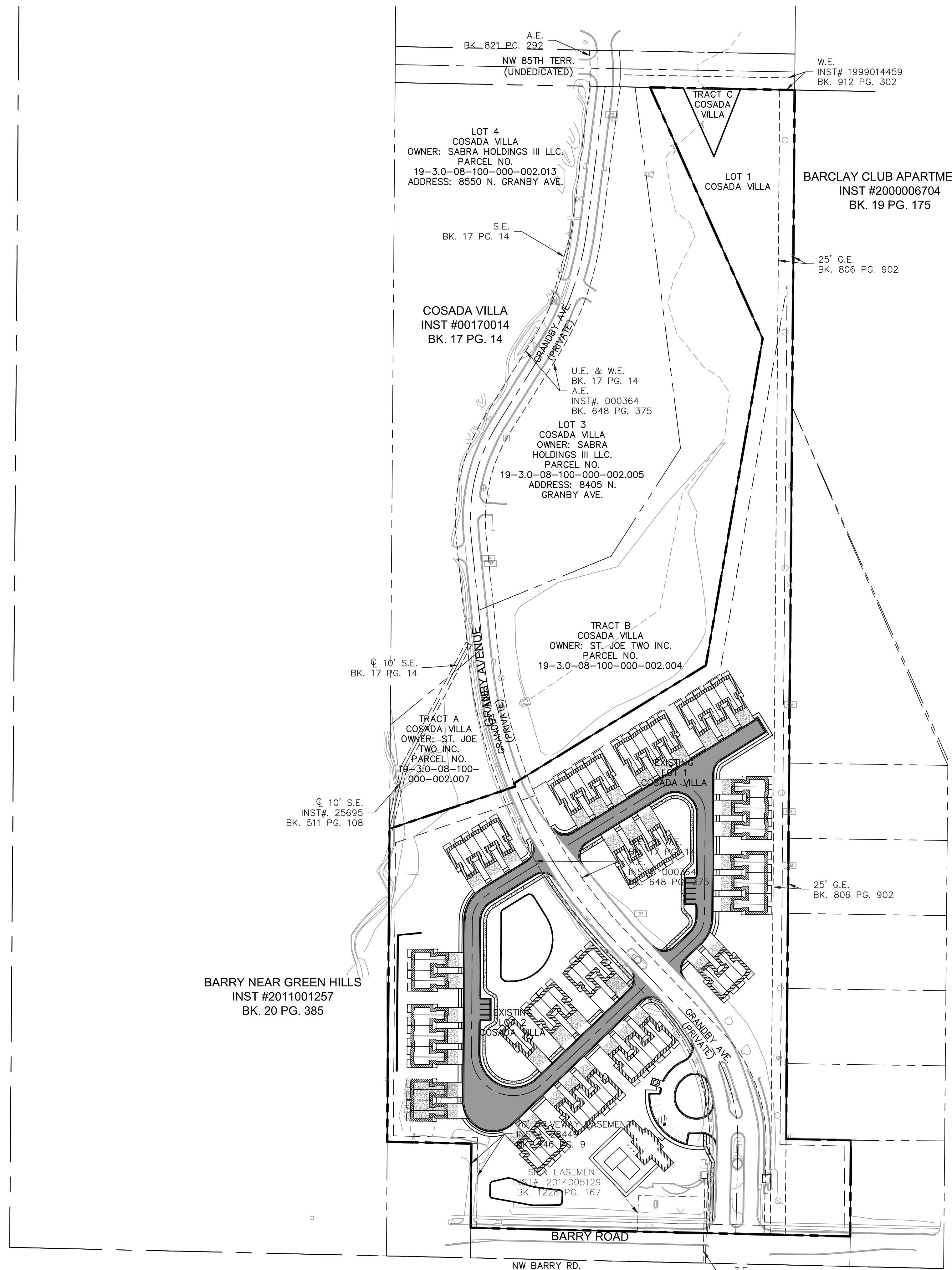
REVISIONS

DATE
05/02/2022
JOB NO.
673020

SHEET NO.

NOT FOR CONSTRUCTION **A0.00**

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 DATE: Jun 06, 2022 7:52am XREFS: C_PBASE_02107351 C_PUBK_02107351 C_PUTL_02107351 V_XPLAT_02107351



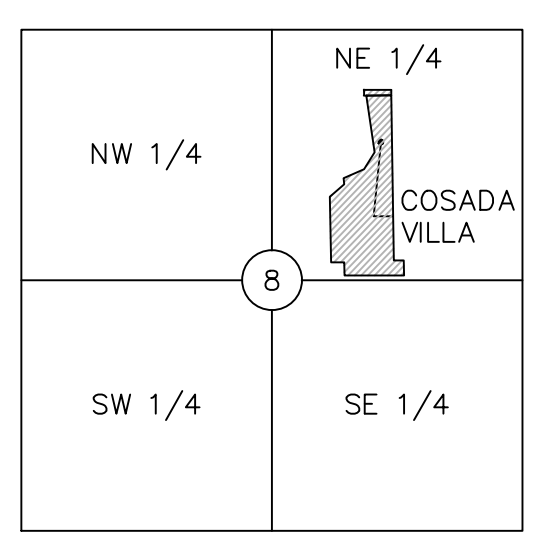
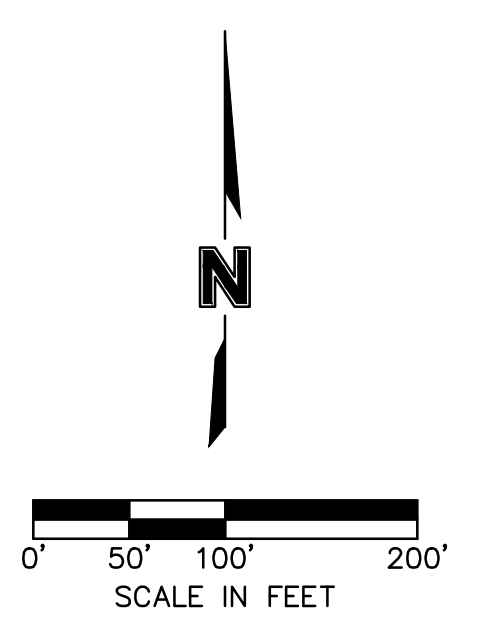
LEGEND

	PROPERTY LINE
	CONSTRUCT CONCRETE CURB & GUTTER
	INSTALL CONCRETE SIDEWALK
	INSTALL HEAVY DUTY CONCRETE
	INSTALL LIGHT DUTY ASPHALT PAVEMENT
	INSTALL HEAVY DUTY ASPHALT PAVEMENT

DEVELOPMENT SUMMARY

A	EXISTING ZONING: R-1.5	PROPOSED ZONING: R-1.5
B	TOTAL LAND AREA	896,026SF(20.57 ACRES) (LOT1 15 ACRES)
C	LAND AREA OR ACRES FOR EXISTING AND PROPOSED STREET RIGHT OF WAY	N/A
D	NET LAND AREA OR ACRES	15.0 ACRES (LOT 1)
E	PROPOSED USAGE	TOWNHOMES
F	HEIGHT ABOVE GRADE OF BUILDINGS AND STRUCTURES AND NUMBER OF FLOORS OF EACH BUILDING	30 FT ABOVE GRADE 2 FLOORS WITH UNFINISHED BASEMENT
G	GROSS FLOOR AREA PER FLOOR	2 BEDROOM: 1,354 SF 3 BEDROOM: 1,521 SF CLUBHOUSE: 2,423 SF (528 SF EQUIP./MECH)
H	BUILDING COVERAGE AND FLOOR AREA RATIO	SEE TABLE BELOW
I	RESIDENTIAL DEVELOPMENT SHALL IN ADDITION, IDENTIFY GROSS & NET DENSITY.	3.54 UNITS PER ACRE
J	RATIO OF REQUIRED NUMBER OF PARKING SPACES	1 SPACE PER UNIT (86 PARKING STALLS) PARKING PROVIDED- 172 (86 GARAGE) CLUBHOUSE- 1 SPACE PER 300 SF (8 STALLS) PARKING PROVIDED 9 STALLS (ADA) ADDITIONAL GUEST PARKING 9 STALLS
K	RATIO OF REQUIRED NUMBER OF SHORT TERM BICYCLE PARKING SPACES FOR EACH USE AND AMOUNT OF REQUIRED, PROPOSED SHORT TERM AND LONG TERM BICYCLE PARKING SPACES.	N/S
L	APPLICATIONS FOR AMENDMENTS TO DEVELOPMENT PLANS SHALL INCLUDE A WRITTEN DESCRIPTION OF THE CHANGES TO THE APPROVED DEVELOPMENT PLAN, INCLUDING ANY CHANGES IN USE, PHASES, PARKING, SIGNAGE OR SITE ARRANGEMENT	ACKNOWLEDGED

BUILDING DATA	#OF BUILDINGS	UNITS	BILDING FOOTPRINT	TOTAL SITE BUILDING FOOTPRINT	BUILDING GROSS SF	TOTAL SITE GROSS SF
DUPLEX	1	2	3,375	3,375	9,125	9,125
4-PLEX	6	24	6,750	40,500	18,250	109,500
6-PLEX	10	60	10,125	101,250	27,375	273,750
CLUBHOUSE	1	NA	2,423	2,423	2,423	2,423
TOTAL	18	86		147,548	57,173	1,375,798
FLOOR AREA RATIO						1.530



LOCATION MAP
 SEC 8 - T51N - R33W
 (N.T.S.)

olsson

7301 West 133rd Street, Suite 200
 Overland Park, KS 66213-4750
 TEL 913.381.1170 www.olson.com

REVISIONS

REV. NO.	DATE	REVISIONS DESCRIPTION

2022

PRELIMINARY SITE PLAN
 DEVELOPMENT PLAN

BARRY ROAD TOWNHOMES
 GRANBY AVE & BARRY RD

KANSAS CITY, MISSOURI

drawn by: jf

checked by: ENG

approved by: BS

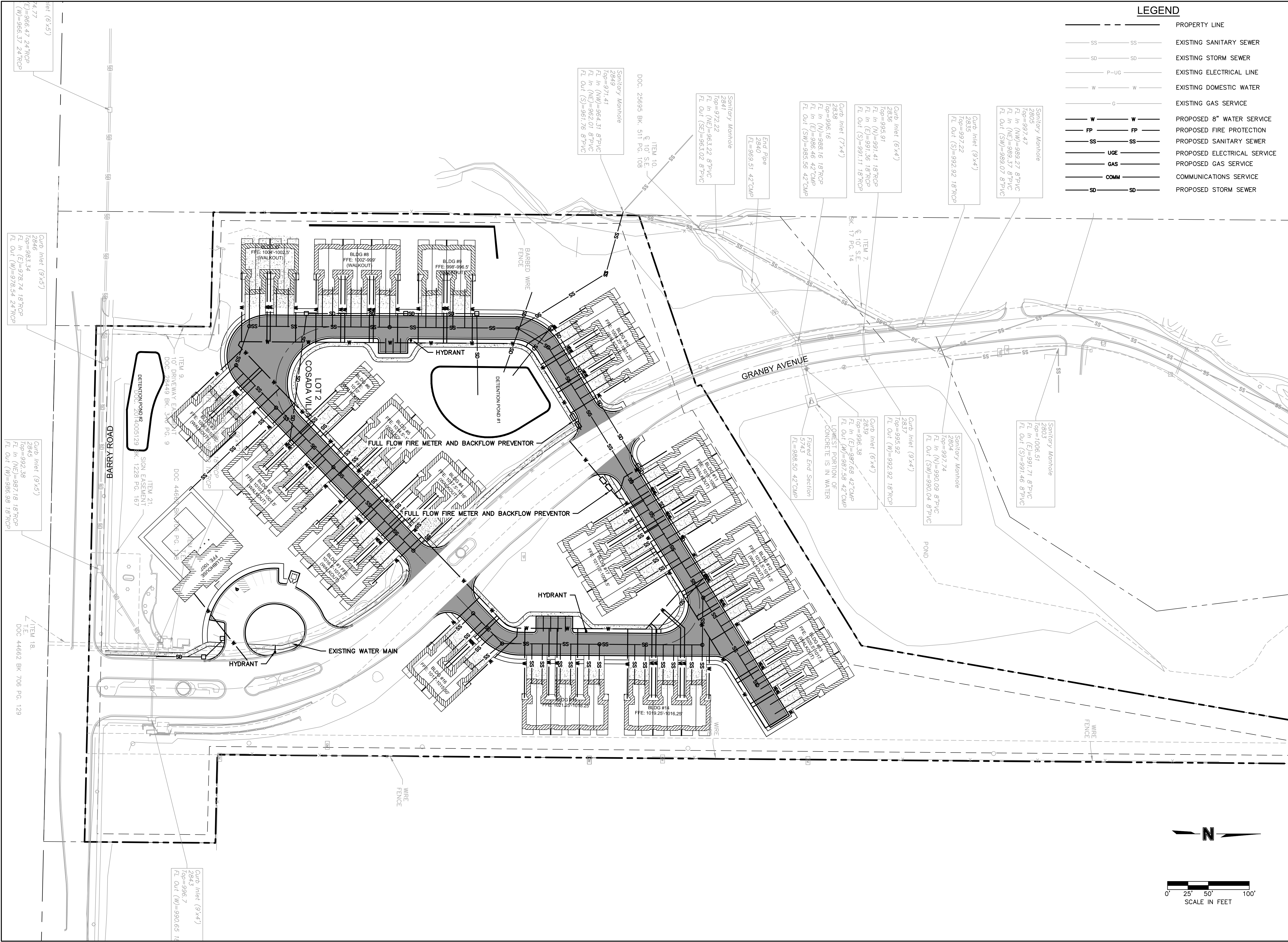
QA/QC by: ENG

project no.: 021-07351

drawing no.: SIT01_02107351.dwg

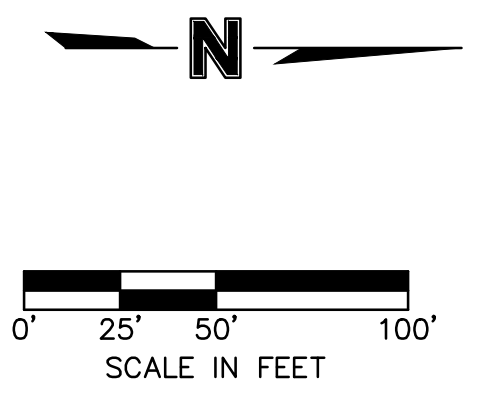
date: 05-02-22

SHEET
 C1.0



LEGEND

---	---	PROPERTY LINE
SS	SS	EXISTING SANITARY SEWER
SD	SD	EXISTING STORM SEWER
P-UG	---	EXISTING ELECTRICAL LINE
W	W	EXISTING DOMESTIC WATER
G	---	EXISTING GAS SERVICE
W	W	PROPOSED 8" WATER SERVICE
FP	FP	PROPOSED FIRE PROTECTION
SS	SS	PROPOSED SANITARY SEWER
UGE	---	PROPOSED ELECTRICAL SERVICE
GAS	---	PROPOSED GAS SERVICE
COMM	---	COMMUNICATIONS SERVICE
SD	SD	PROPOSED STORM SEWER



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REV. NO.	DATE	REVISIONS DESCRIPTION	BY

PRELIMINARY UTILITY PLAN
DEVELOPMENT PLAN

BARRY ROAD TOWNHOMES
GRANBY AVE & BARRY RD

KANSAS CITY, MISSOURI

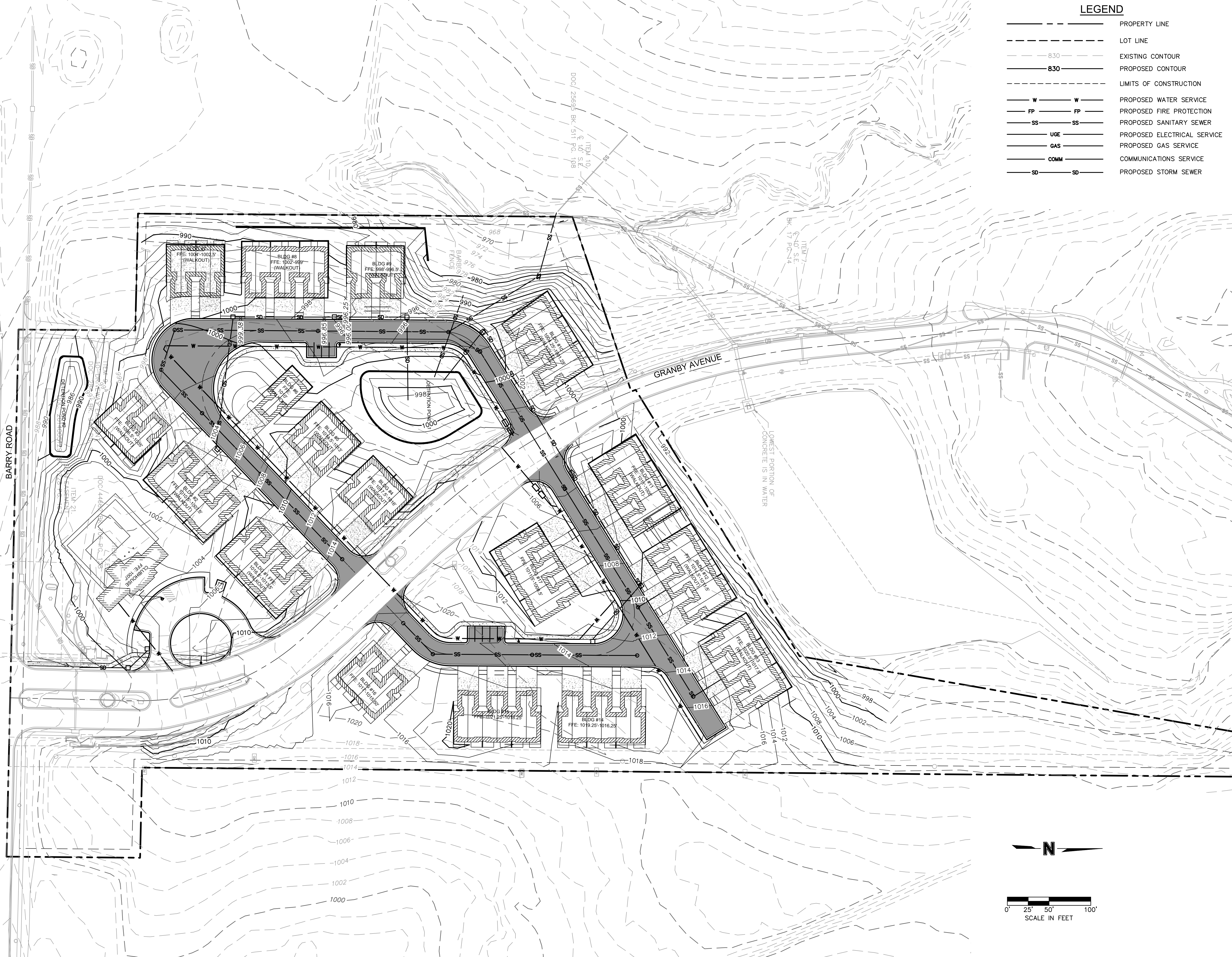
2022

drawn by: JF
checked by: BS
approved by: BS
QA/QC by: ENG
project no.: 021-07351
drawing no.: 1017351.dwg
date: 05.02.22

SHEET
C2.0

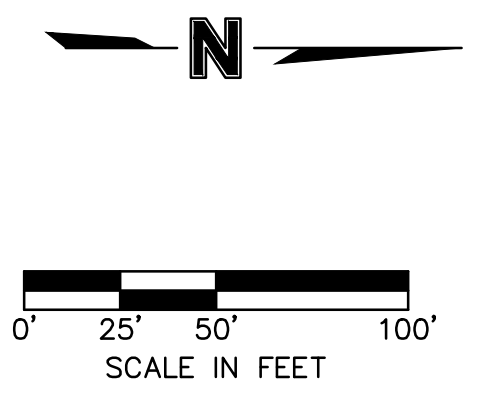
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ITEM 18
 DOC 44662-BK-208 PG. 129



LEGEND

---	PROPERTY LINE
---	LOT LINE
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
---	LIMITS OF CONSTRUCTION
W	PROPOSED WATER SERVICE
FP	PROPOSED FIRE PROTECTION
SS	PROPOSED SANITARY SEWER
UOE	PROPOSED ELECTRICAL SERVICE
GAS	PROPOSED GAS SERVICE
COMM	COMMUNICATIONS SERVICE
SD	PROPOSED STORM SEWER



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**PRELIMINARY GRADING PLAN
 DEVELOPMENT PLAN**

**BARRY ROAD TOWNHOMES
 GRANBY AVE & BARRY RD**

KANSAS CITY, MISSOURI

REV. NO.	DATE	REVISIONS DESCRIPTION	BY

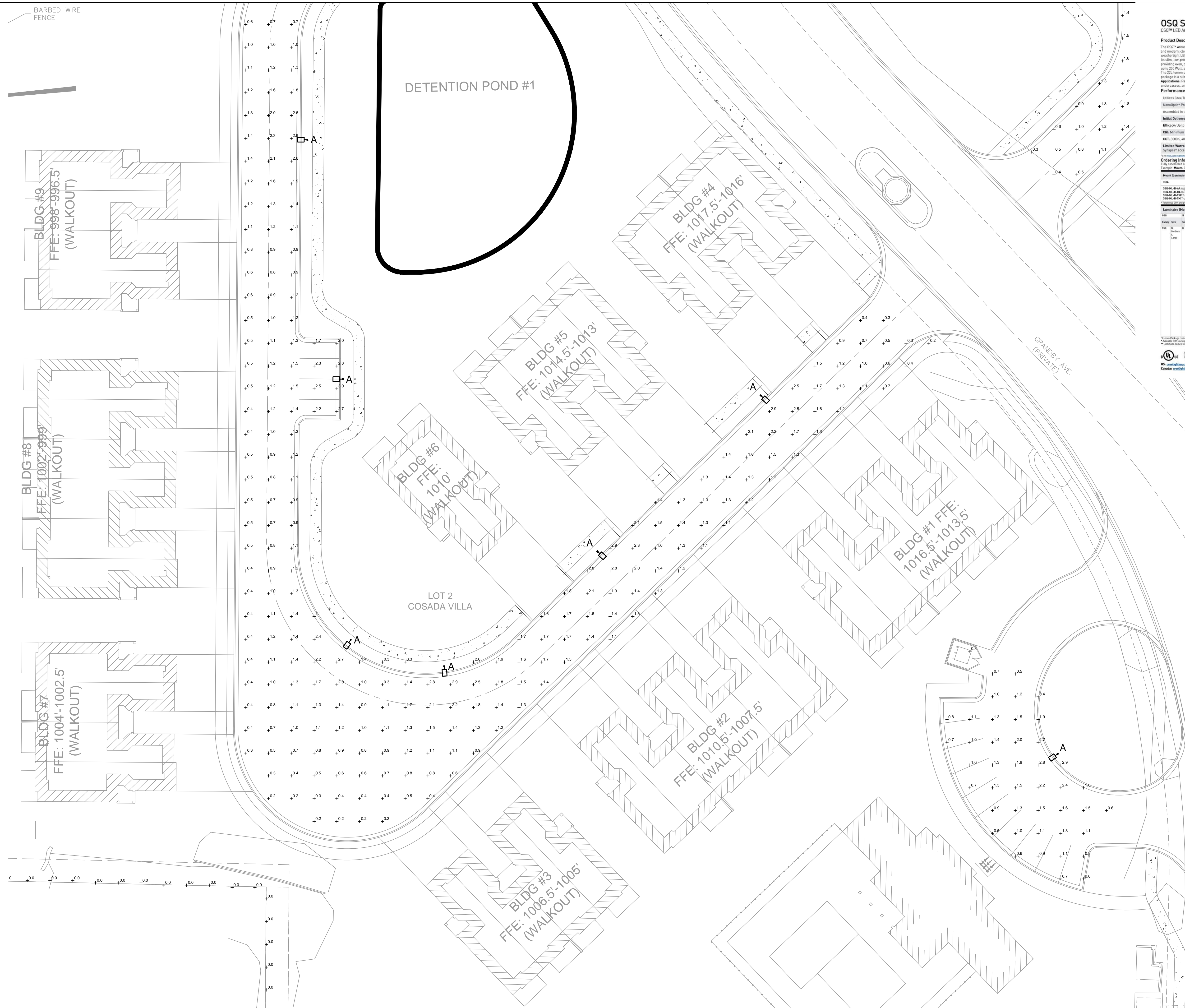
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 checked by: ENG
 approved by: BS
 QA/QC by: ENG

project no.: 021-07351
 drawing no.: GR001_02107351.dwg
 date: 05.02.22

2022

**SHEET
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1 SITE LIGHTING PHOTOMETRICS PLAN
 SCALE: 1" = 20'-0"

OSQ Series
 OSQ™ Area Flood Luminaire featuring Cree TrueWhite® Technology - Medium & Large

Product Description
 The OSQ™ Area Flood Luminaire blends extreme optical control, advanced thermal management and modern, clean aesthetics. Built to last, the housing is rugged cast aluminum with an integral, weathering LED driver compartment. Versatile mounting configurations offer unique installation options. The OSQ™ Area Flood Luminaire is available in a standard upgrade for HD applications up to 250 Watts, and the 115 lumen package is a suitable upgrade for HD applications up to 400 Watts. The 225 lumen package is a suitable upgrade for HD applications up to 750 Watts, and the 115 lumen package is a suitable upgrade for HD applications up to 1000 Watts.

Performance Summary
 Utilizes Cree TrueWhite® Technology on 5000K Luminaire
 NanoSpec™ Precision Delivery Grid™ optic
 Assembled in the U.S.A. of U.S. and imported parts
 Typical Delivered Lumens: 4,000 - 30,000
 Efficacy: 110 to 171 lm/W
 CRI: Minimum 90 CRI (3000K, 4000K & 5000K), 90 CRI (5000K)
 CCT: 3000K, 4000K, 5000K, 5700K
 Limited Warranty: 10 years on luminaire, 10 years on ColorCast DeltaGuard™ finish, up to 5 years for optional accessories, 5 year on luminaire accessories

Ordering Information
 Full specification is composed of two components that must be ordered separately:
 Luminaire Mount OSQ-M, OSQ-ML, OSQ-ML-BA, OSQ-ML-BA-DA, OSQ-ML-BA-DA-MOUNT

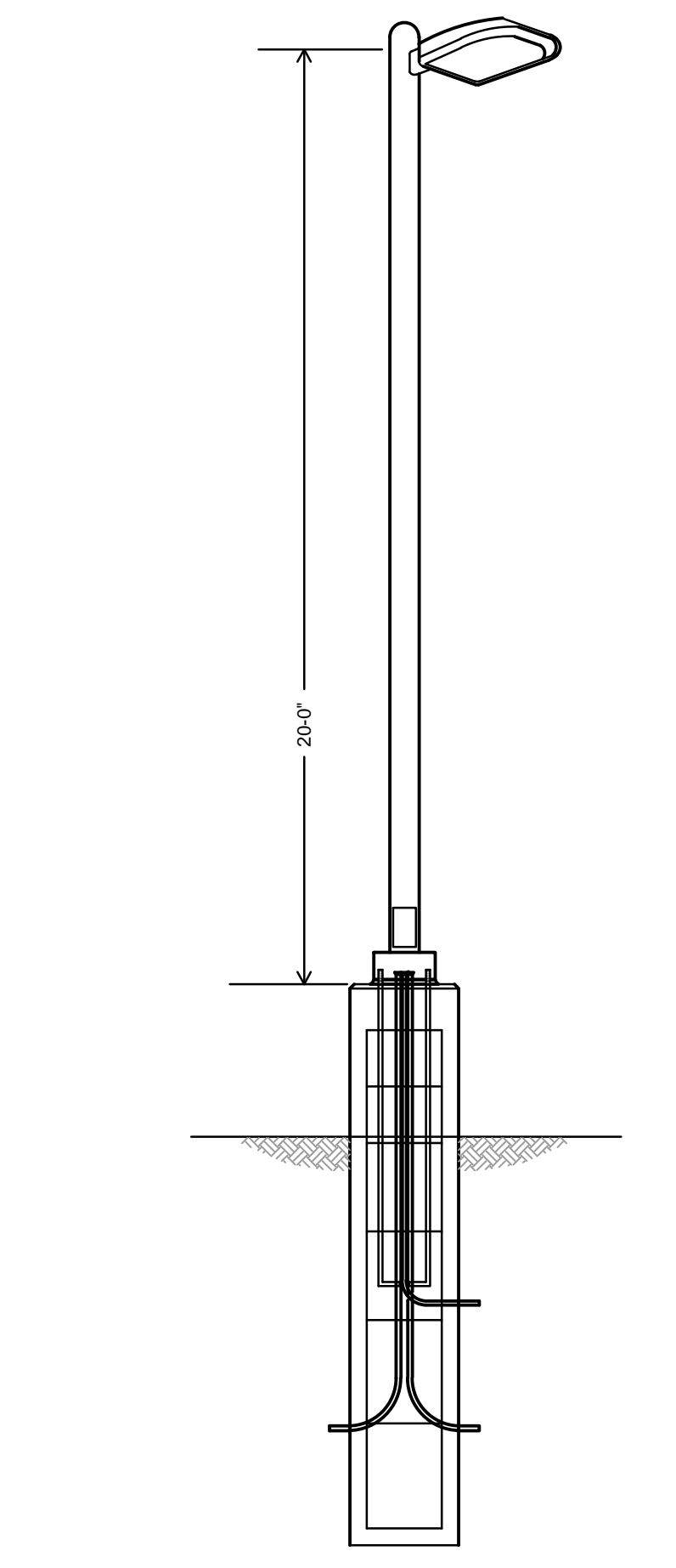
Mount Luminaire must be ordered separately!

OSQ-Mount	OSQ-Mount	OSQ-Mount	OSQ-Mount	OSQ-Mount
OSQ-M-BA-Adjustable Arm	OSQ-M-BA-Standard Mount	OSQ-M-BA-Standard Mount	OSQ-M-BA-Standard Mount	OSQ-M-BA-Standard Mount
OSQ-M-BA-Standard Mount	OSQ-M-BA-Standard Mount	OSQ-M-BA-Standard Mount	OSQ-M-BA-Standard Mount	OSQ-M-BA-Standard Mount
OSQ-M-BA-Standard Mount	OSQ-M-BA-Standard Mount	OSQ-M-BA-Standard Mount	OSQ-M-BA-Standard Mount	OSQ-M-BA-Standard Mount

Luminaire Weight

OSQ-Mount	Weight
OSQ-M-BA-Adjustable Arm	24.7 lbs (11.2 kg)
OSQ-M-BA-Standard Mount	22.5 lbs (10.2 kg)

CREE LIGHTING



2 LIGHT POLE DETAIL
 SCALE: NOT TO SCALE

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PROFESSIONAL ENGINEER
 DANIEL BANNER
 NUMBER PE-2019031265

REV. NO.	DATE	REVISIONS DESCRIPTION

SITE LIGHTING PHOTOMETRICS PLAN DEVELOPMENT PLAN
 COSADA VILLA
 GRANDBY AVE & BARRY RD
 KANSAS CITY, MISSOURI

drawn by: _____ SH
 checked by: _____ TB
 approved by: _____ TB
 QA/QC by: _____ TB
 project no.: 021-07351
 drawing no.: NSITE_2107351.dwg
 date: 05.02.22

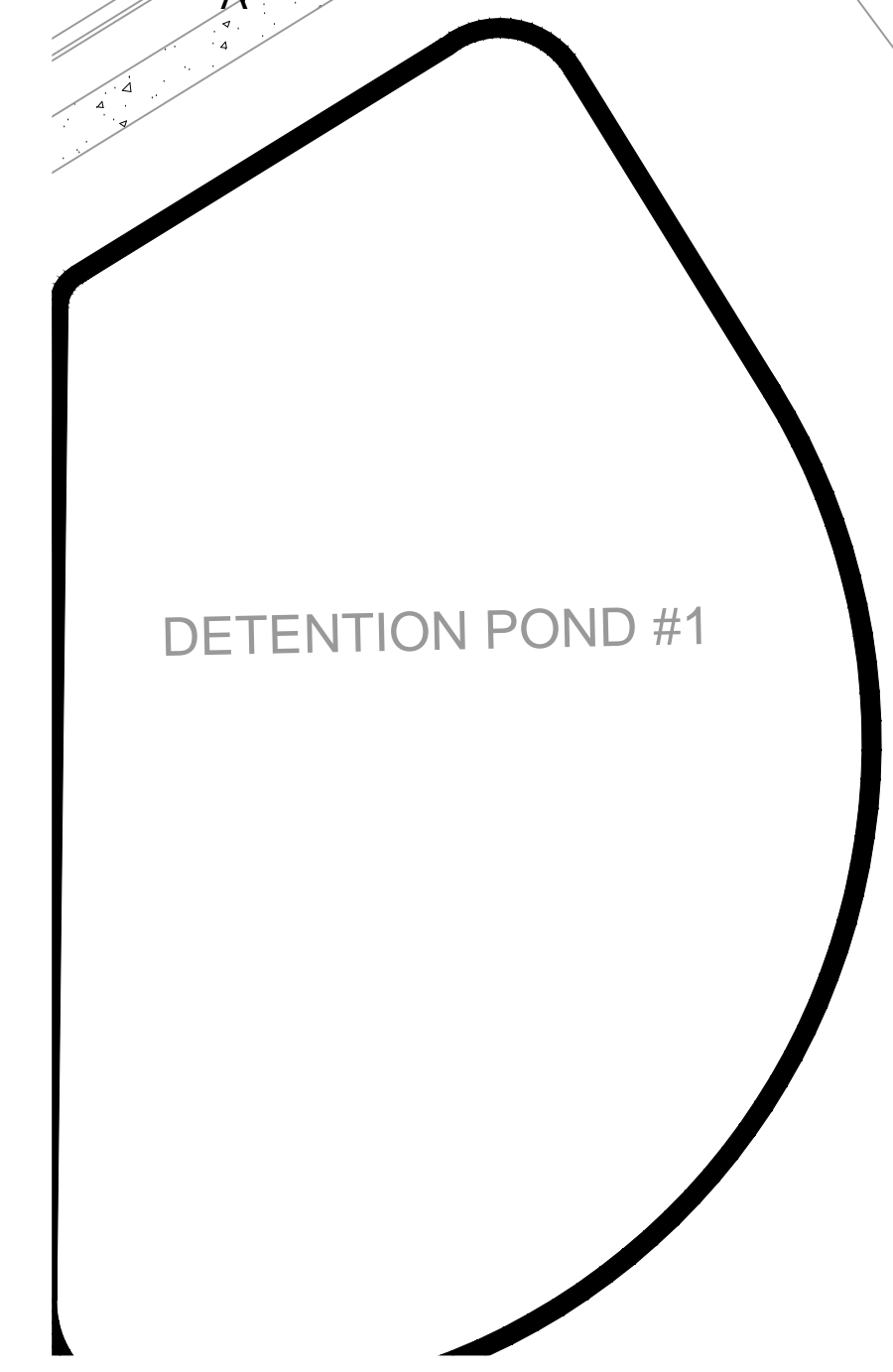
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2022
 REVISIONS

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 DATE: Jun 02, 2022 2:59pm XREFS: C_PBASE_02107351 E_PHOTO_02107351 USER: shoastert



25.00'



Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
EAST DRIVE	+	1.3 fc	3.1 fc	0.3 fc	10.3:1	4.3:1
PARKING	+	1.1 fc	3.0 fc	0.3 fc	10.0:1	3.7:1
PROPERTY LINE	+	0.0 fc	0.0 fc	0.0 fc	N/A	N/A
WEST DRIVE	+	1.2 fc	3.0 fc	0.2 fc	15.0:1	6.0:1

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
□	A	14	Cree Lighting	OSQM-B-11L-40K7-3M-Ux-xx-xx-xxxx w_ OSQBLSMF- CONFIGURED FROM OSQB-30L-40 Package, 40K CCT, Type III Medium w/ Backlight Shield	CONFIGURED FROM OSQ Large, 30L Lumen	1	8825	0.9	72

SITE LIGHTING PHOTOMETRICS PLAN
 SCALE: 1" = 20'-0"

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 TEL 913.381.1170 www.olsosn.com

MISSOURI
 DAN R. DANNEBERG
 PROFESSIONAL ENGINEER
 NUMBER PE-2019031265

BY: _____

REVISIONS DESCRIPTION

REV. NO.	DATE	DESCRIPTION

2022

SITE LIGHTING PHOTOMETRICS PLAN
 DEVELOPMENT PLAN

COSADA VILLA
 GRANDBY AVE & BARRY RD

KANSAS CITY, MISSOURI

drawn by: _____ SH

checked by: _____ TD

approved by: _____ TD

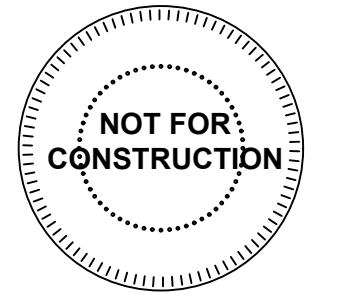
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drawing name: NSITE_2107351.dwg

date: 05.02.22

SHEET
E2



BARRY RD TOWNHOMES

DRAWING RELEASE LOG

- 05.02.2022 - DEVELOPMENT PLAN
- 06.06.2022 - REV. DEVELOPMENT PLAN

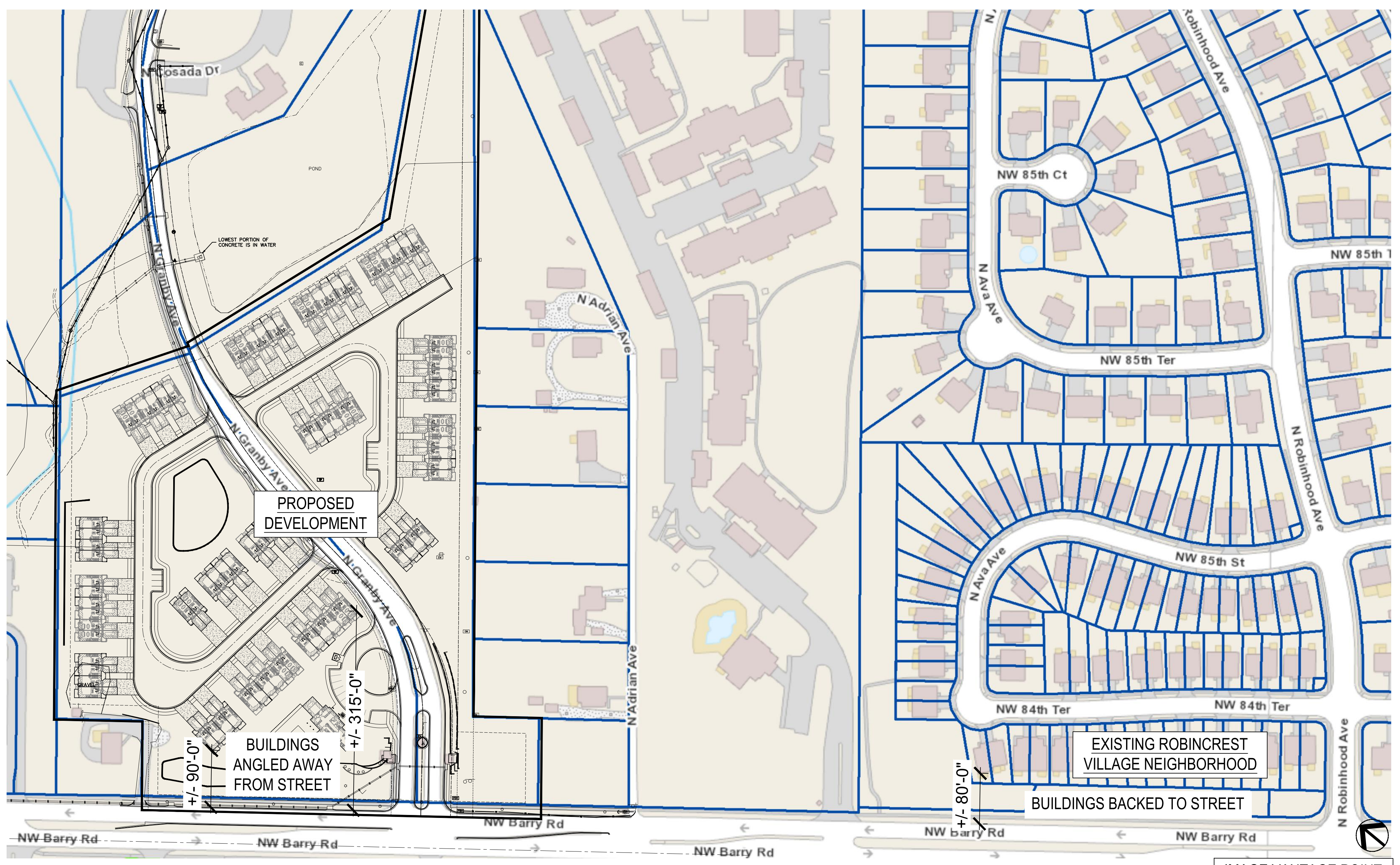
REVISIONS

DATE
06/06/2022
JOB No.
673020

SHEET NO.

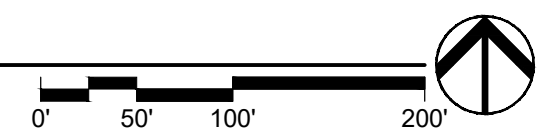


EXISTING ROBINCREST VILLAGE NEIGHBORHOOD



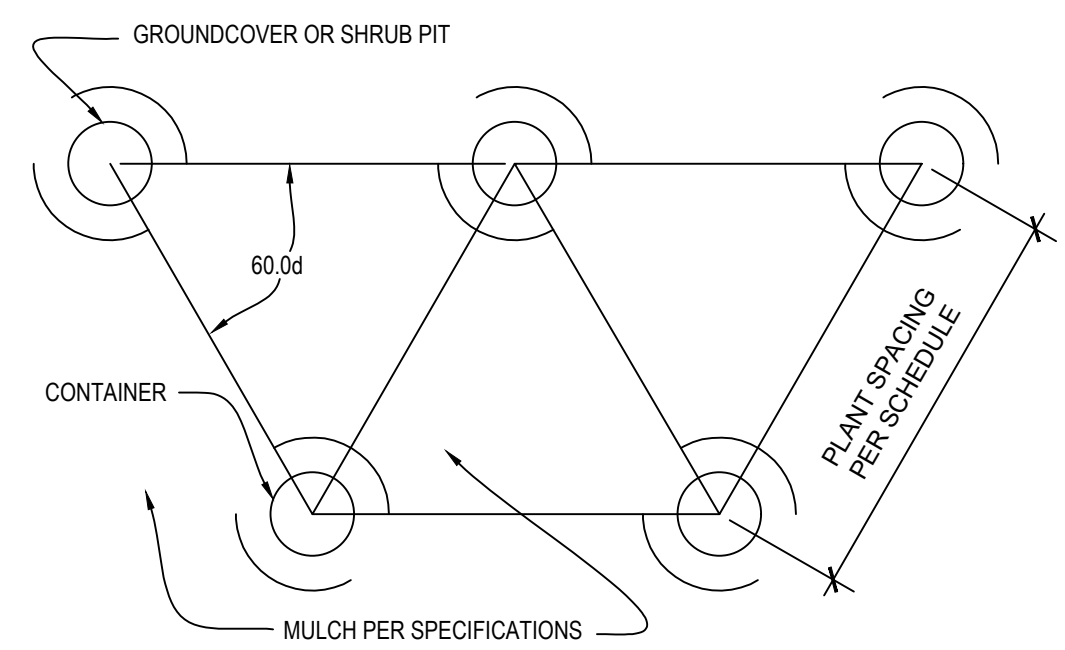
PRELIMINARY
AREA COMPARISON PLAN
1" = 100'-0"

IMAGE VANTAGE POINT



NOT FOR CONSTRUCTION

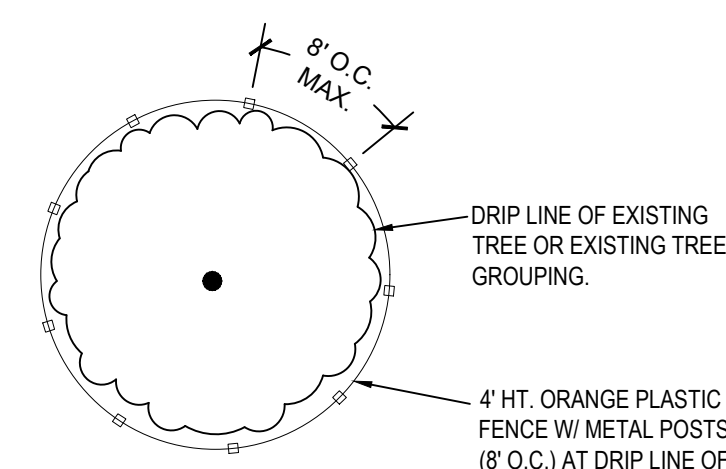
L1.10



- NOTES: 1. SPACING FOR GROUND COVERS, SHRUBS, AND PERENNIALS NOTED ON PLANS.
2. TILL SOIL IN BED TO A 12" MINIMUM DEPTH AND THOROUGHLY MIX IN SOIL AMENDMENTS AS SPECIFIED.

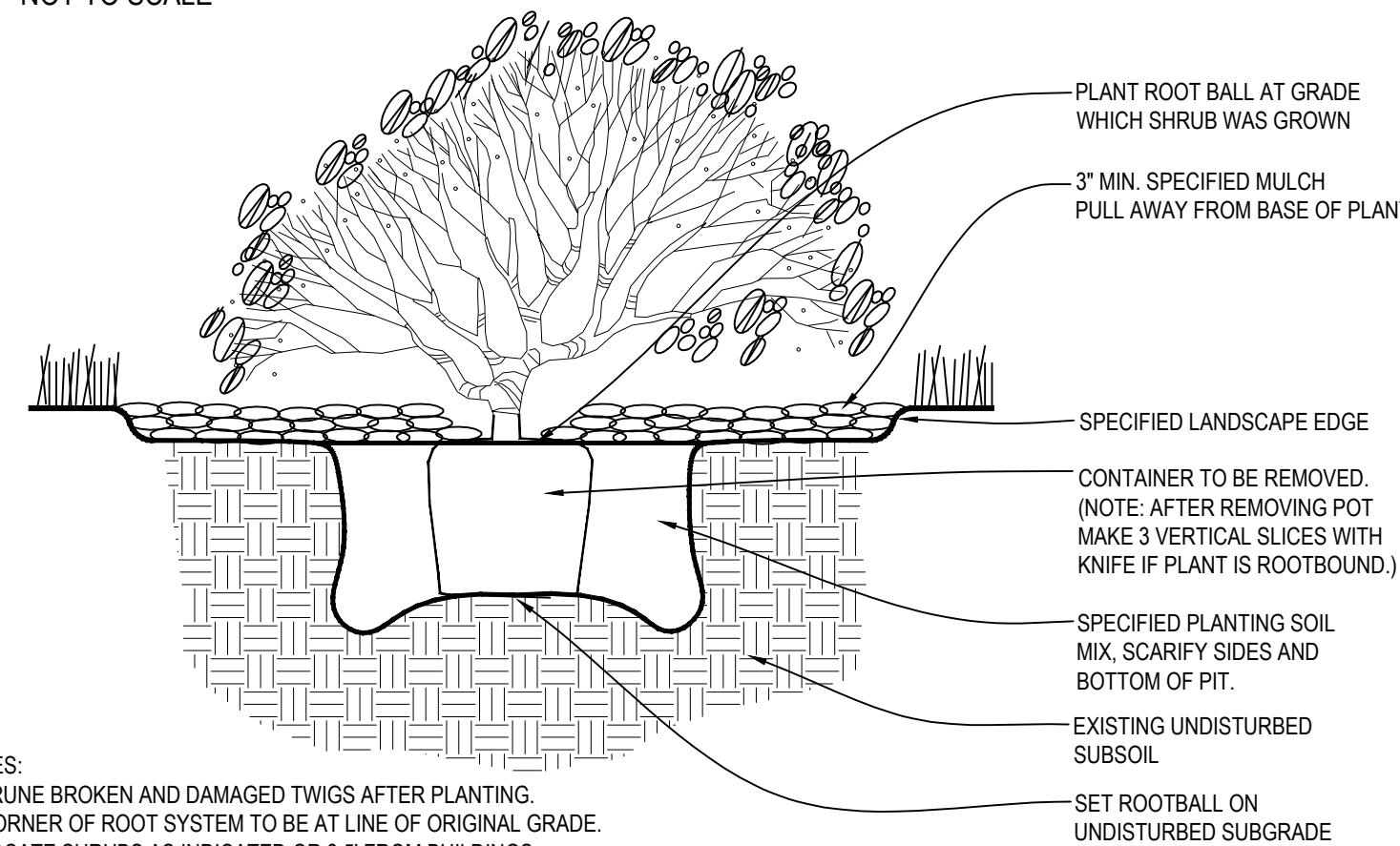
9 PLANT SPACING DETAIL
NOT TO SCALE

Inches Between Plants	Plant Quantities Per Square Foot
12"	Square Feet x 1.15
18"	Square Feet x .51
30"	Square Feet x .19
36"	Square Feet x .12
48"	Square Feet x .07



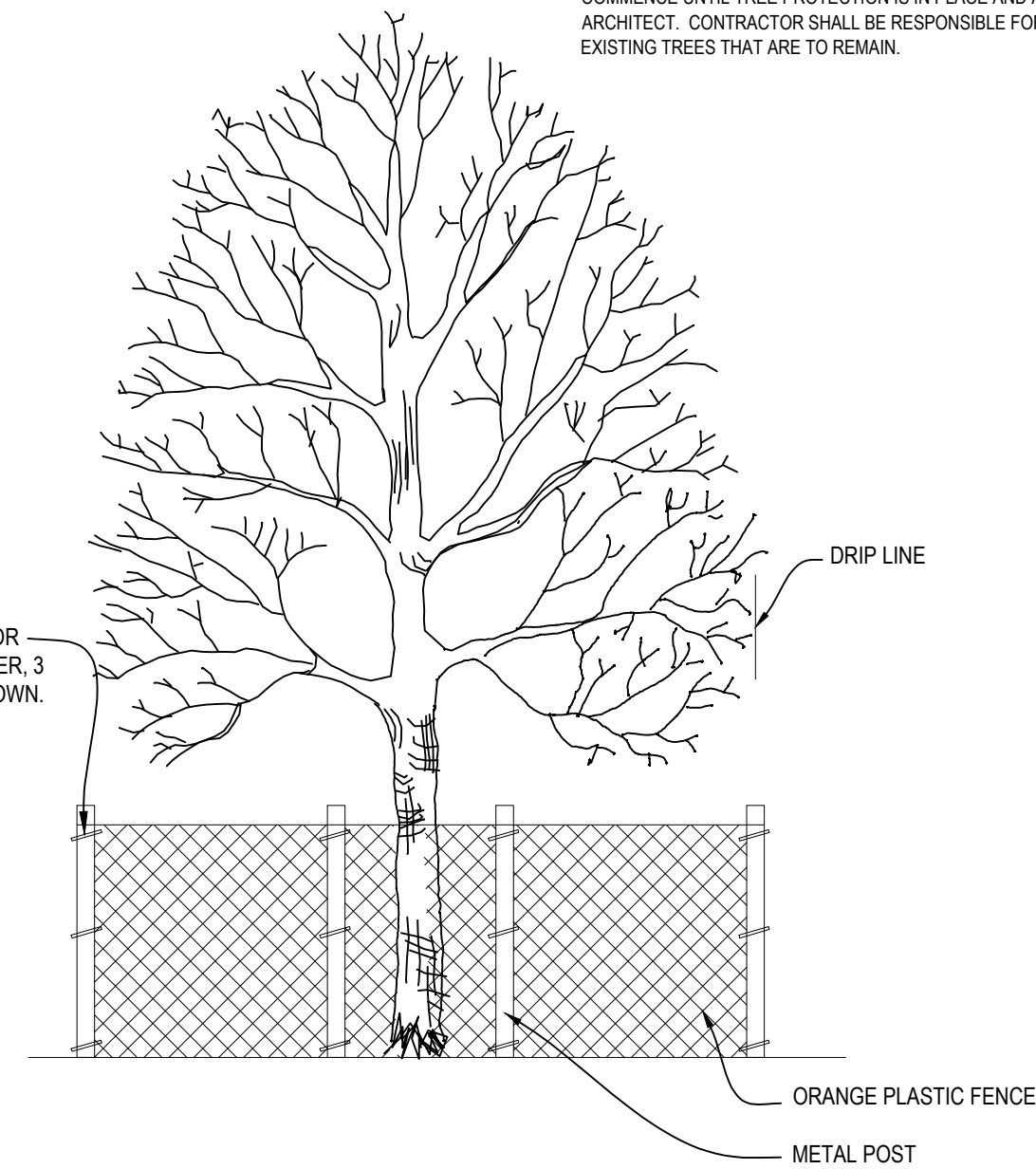
NOTE: PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL IDENTIFY, TAG AND PROTECT, EXISTING TREES TO BE SAVED. WORK CANNOT COMMENCE UNTIL TREE PROTECTION IS IN PLACE AND APPROVED BY THE ARCHITECT. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING TREES THAT ARE TO REMAIN.

3 TYPICAL FREESTANDING PLANTER
NOT TO SCALE



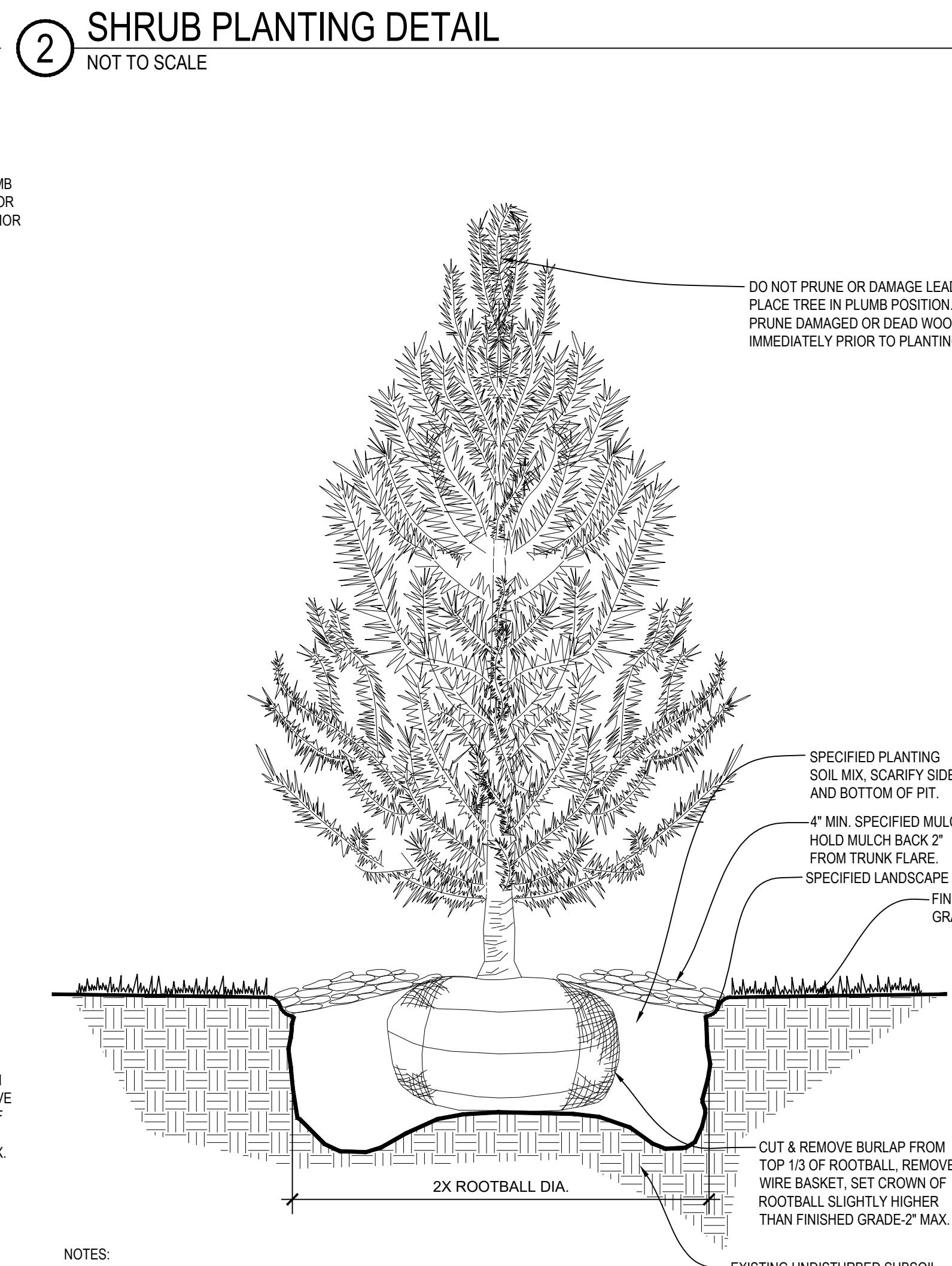
NOTE: STEEL EDGING TO BE USED TO SEPARATE HARDWOOD MULCH AND RIVER ROCK TYP. EDGE COLOR TO BE BLACK

8 STEEL EDGING DETAIL
NOT TO SCALE

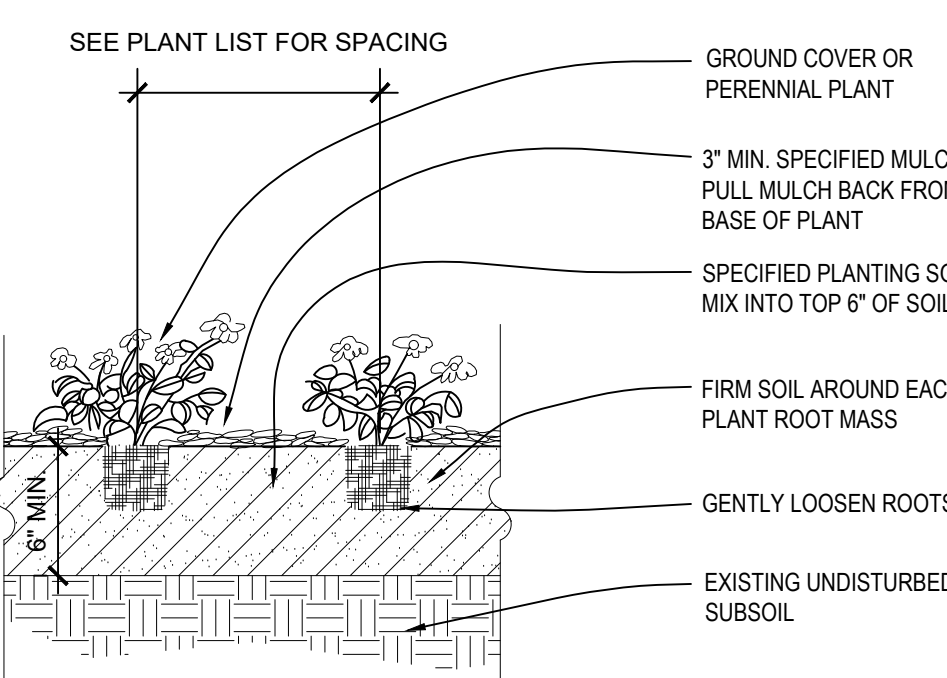


5 TREE PRESERVATION DETAIL
NOT TO SCALE

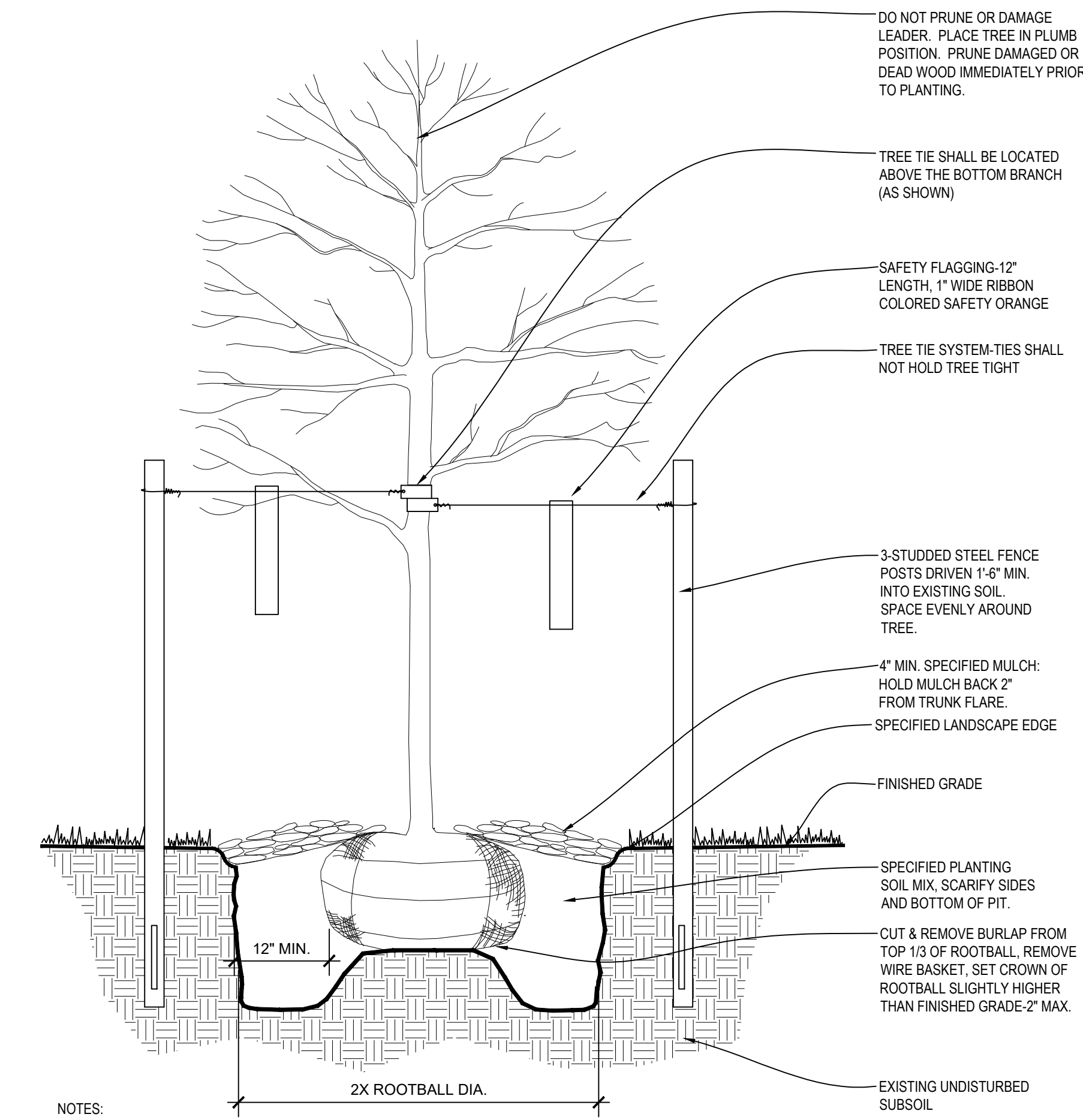
2 SHRUB PLANTING DETAIL
NOT TO SCALE



7 V-CUT EDGING DETAIL
NOT TO SCALE

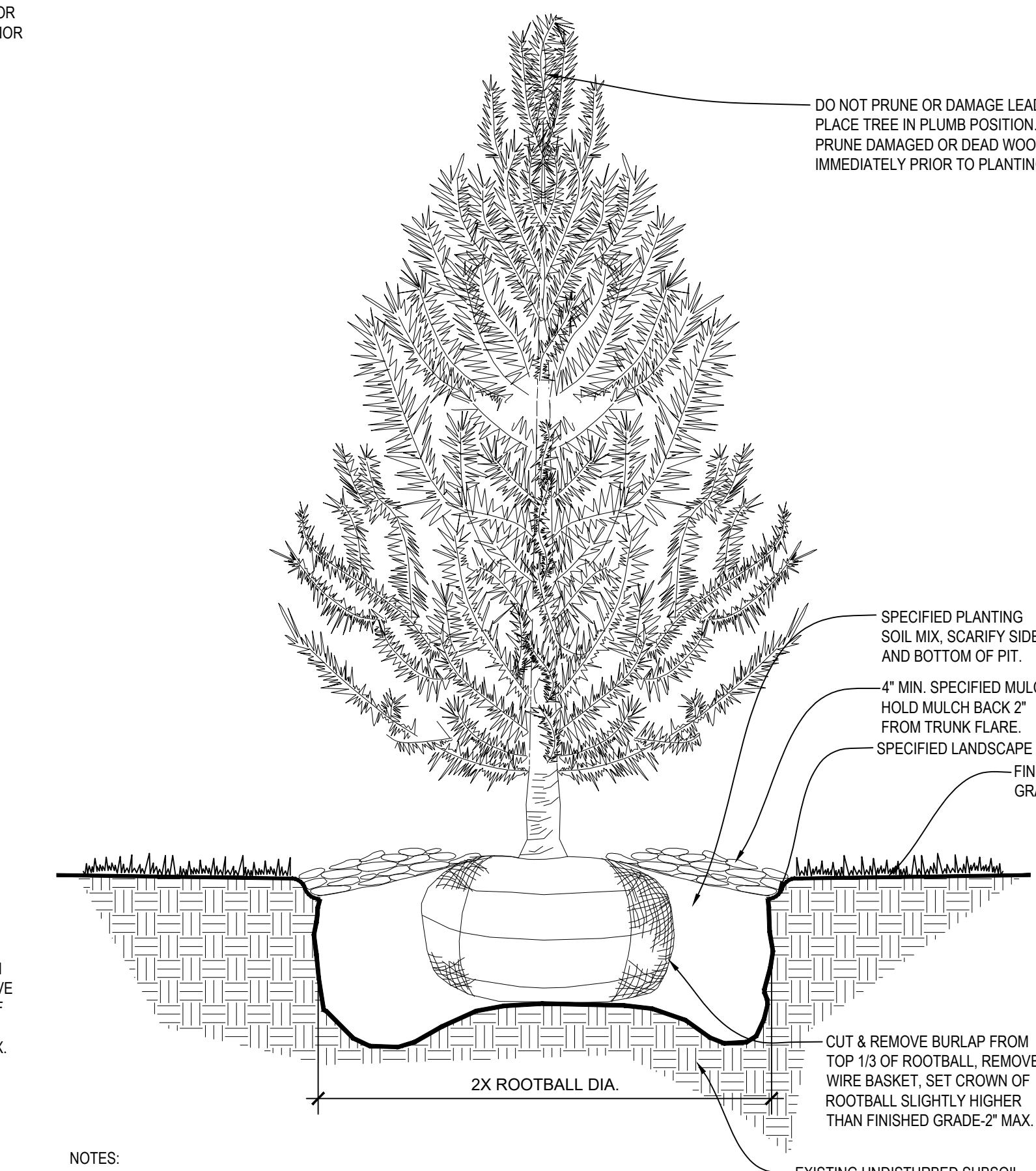


6 PERENNIAL & GROUND COVER PLANTING
NOT TO SCALE



- NOTES: 1. ALL DECIDUOUS TREES TO HAVE STRONG CENTRAL LEADER.
2. TREE STAKING AS REQUIRED PER SPECIFICATIONS.

4 DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE



- NOTES: 1. ALL EVERGREEN TREES TO HAVE STRONG CENTRAL LEADER.
2. TREE STAKING AS REQUIRED PER SPECIFICATIONS.

1 EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE

GENERAL NOTES:

- EACH BIDDER SHALL VISIT THE SITE OF THE PROPOSED WORK AND EXAMINE THE SITE CONDITIONS. HE SHALL ALSO CAREFULLY EXAMINE THE DRAWINGS FOR THE PROPOSED WORK AND FAMILIARIZE HIMSELF WITH ALL CONDITIONS, WHICH MAY AFFECT THE PROPOSED WORK.
- THE PLANTING PLAN GRAPHICALLY ILLUSTRATES OVERALL PLANT MASSING. EACH PLANT SPECIES MASSING SHALL BE PLACED IN THE FIELD TO UTILIZE GREATEST COVERAGE OF GROUND PLANE. THE FOLLOWING APPLIES FOR INDIVIDUAL PLANTINGS:
 - CREeping GROUND COVER SHALL BE A MINIMUM OF 6" FROM PAVING EDGE.
 - ALL TREES SHALL BE A MINIMUM OF 3' FROM PAVING EDGE.
 - ALL PLANTS OF THE SAME SPECIES SHALL BE EQUALLY SPACED APART AND PLACED FOR BEST AESTHETIC VIEWING.
 - ALL SHRUBS SHALL BE A MINIMUM OF 2' FROM PAVED EDGE.
- NOTIFY LANDSCAPE ARCHITECT 1 WEEK PRIOR TO ANTICIPATED START OF PLANT MATERIAL INSTALLATION. LANDSCAPE CONTRACTOR SHALL STAKE ALL PROPOSED PLANTING BED EDGES, SET OUT SHRUBS IN INTENDED LOCATIONS, AND STAKE TREE LOCATIONS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY AND ALL PLANT MATERIALS PROPOSED FOR USE ON THE PROJECT.
- CONTRACTOR WILL BE RESPONSIBLE FOR PLANTING ALL PLANT MATERIAL INDICATED ON THE PLANS. PLANT SCHEDULE IS FOR SUMMARY ONLY. VERIFY ALL PLANT QUANTITIES PRIOR TO BIDDING.
- CONTRACTOR WILL BE RESPONSIBLE FOR REMOVAL OF EXISTING TREES & PLANT MATERIAL AS INDICATED ON PLAN AND AS DIRECTED BY LANDSCAPE ARCHITECT. RELOCATE PERENNIALS & SHRUBS TO LOCATION INDICATED ON PLAN AND AS DIRECTED BY LANDSCAPE ARCHITECT.
- REPORT ANY DISCREPANCIES FOUND WITH REGARD TO EXISTING CONDITIONS OR PROPOSED DESIGN IMMEDIATELY TO THE LANDSCAPE ARCHITECT. DO NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED WHERE IT IS FOUND THAT KNOWN DISCREPANCIES EXIST. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH OTHER RELATED SITE WORK BEING PERFORMED TO ACCOMPLISH SITE CONSTRUCTION OPERATIONS.
- THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- PLANT MATERIAL SHALL BE MAINTAINED AND GUARANTEED FOR A PERIOD OF ONE YEAR AFTER OWNER'S ACCEPTANCE OF FINISHED JOB. ALL DEAD OR DAMAGED PLANT MATERIAL SHALL BE REPLACED AT LANDSCAPE CONTRACTOR'S EXPENSE PRIOR TO ACCEPTANCE. RECOMMENDED DATES FOR PLANT MATERIAL INSTALLATION SHALL BE FEBRUARY 15 - MAY 15 AND SEPTEMBER 15 - DECEMBER 15.
- THE PROJECT MAY BE AWARDED COMPLETION IN PHASES BUT IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNER & LANDSCAPE ARCHITECT WHEN A PHASE IS COMPLETE & A FINAL WALK THROUGH CAN TAKE PLACE. CONTRACTOR SHALL IDENTIFY ON THE PLANS THE LIMITS OF COMPLETED WORK AND/OR PHASES PRIOR TO THE WALK THROUGH.
- LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL PLANT MATERIAL UNTIL FINAL ACCEPTANCE, AT WHICH POINT THE ONE YEAR GUARANTEE BEGINS.

- MATERIALS:**
- PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, AND FREE OF DISEASE AND INSECTS AS PER AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
 - PLANT MATERIAL SHALL NOT BE PRUNED PRIOR TO INSTALLATION. AFTER PLANTS HAVE BEEN INSTALLED, EACH PLANT SHALL BE PRUNED TO UNIFORMITY.
 - SHREDDED BARK MULCH SHALL BE FINELY CHIPPED AND SHREDDED DARK BROWN HARDWOOD CHIPS CONSISTING OF PURE WOOD PRODUCTS AND FREE OF ALL FOREIGN SUBSTANCES.
 - CONTRACTOR SHALL USE AN APPROVED TREE TIE SYSTEM THAT IS EASILY ADJUSTABLE, STRONG IN ALL WEATHER, AND EASILY ATTACHED AND REMOVED. HOSE AND WIRE ARE NOT ACCEPTABLE FOR STAKED TREES. PROVIDED THE FOLLOWING OR APPROVED EQUAL: "CINCH TIES" BY J. LICHTENTHALER, "ADJA-TYPE" BY HEAVYWEIGHT ONLY, A PLASTIC CHAIN TWIST TIE, OR "PLASTIC BINDER TIE" A TIE WITH TAPERED BEADS THAT SNAP LOCK BY A.M. LEONARD AND SONS.
 - SOD SHALL BE CERTIFIED TURFGRASS SOD COMPLYING WITH ASPA SPECIFICATIONS FOR MACHINE-CUT THICKNESS, SIZE, STRENGTH, MOISTURE CONTENT, AND MOWED HEIGHT, AND FREE OF WEEDS AND UNDESIRABLE NATIVE GRASSES. SOD SHALL BE A BLENDED MIX OF NOT LESS THAN 3 IMPROVED KENTUCKY BLUEGRASS (POSPARTENSIS) VARIETIES, A NATIVE MIXTURE OF HOUNDDOG, REBEL, OR FALCON, FINE LEAFED TALL FESCUE (FESTUCA ARUNDINACEA), AND RYE (LOLIUM MULTIFLORUM AND PERENE DOMESTICA). IT SHALL BE A MIX OF 20% KENTUCKY BLUEGRASS, 70% FINELEAFED TALL FESCUE, AND 10% RYE. SOD SHALL BE WELL ROOTED, 2 YEAR OLD STOCK, HARVESTED IN ROLLS, FERTILIZED 2-3 WEEKS PRIOR TO CUTTING. ALL SOD SHALL BE MACHINE CUT AND VIGOROUSLY GROWING (NOT DORMANT). MAXIMUM TIME FROM STRIPPING TO PLANTING SHALL BE 24 HOURS.
 - ALL NEW PLANT BED AREAS TO BE IRRIGATED. REFER TO SPECIFICATIONS.
 - ROCK BEDS SHALL BE BUFFALO RIVER ROCK, 1"-2.5", BY HOUSE OF ROCKS OR APPROVED EQUAL. ALL ROCK BED AREAS SHALL HAVE FILTER FABRIC & BE 4" MIN. DEPTH.

- INSTALLATION:**
- STRIP TOP SOIL & SAVE FOR PLANTING AREAS. EXCAVATE TO A DEPTH OF 12" FOR ALL PLANTING BEDS AND REPLACE WITH PLANTING SOIL MIX. A 10-10-10 FERTILIZER SHALL BE SPREAD OVER ALL PLANTING AREAS PRIOR TO PLANTING, AT A RATE OF 50 POUNDS PER 2,000 SQUARE FEET.
 - AFTER PLANTS HAVE BEEN INSTALLED, ALL PLANTING BEDS SHALL BE TREATED WITH DACTHAL PRE-EMERGENT HERBICIDE PRIOR TO MULCH APPLICATION.
 - PLANT PIT BACKFILL FOR TREES AND SHRUBS SHALL BE 25% COTTON BOLL COMPOST, AND 25% TOPSOIL, AND 50% EXISTING SOIL. TOPSOIL SHALL BE NATURAL FERTILE, FRIABLE SOIL POSSESSING CHARACTERISTICS OF REPRESENTATIVE PRODUCTIVE SOILS IN THE AREA. SOIL SHALL NOT BE EXCESSIVELY ACID, ALKALINE OR TOXIC THAT MAY BE HARMFUL TO PLANT GROWTH. ALSO, FREE OF CLAY LUMPS, STONES, STUMPS, ROOTS OR SUBSTANCE 2" OR MORE IN DIAMETER.
 - PLANTED BED EDGES SHALL BE IN STRAIGHT LINES OR GENTLE FLOWING CURVES. SUDDEN CURVES OR SHARP ANGLES SHOULD BE AVOIDED.
 - V-CUT EDGE SHALL BE DUG TO 6" DEPTH WITH ANGLED EDGE ON LANDSCAPE BED SIDE, AND VERTICAL EDGE ON TURF SIDE. BACKFILL V-CUT EDGE WITH SHREDDED HARDWOOD MULCH TO GRADE.
 - MULCH ALL PLANTING BED AREAS TO A MINIMUM DEPTH OF 3". MULCH INDIVIDUAL TREES TO A MINIMUM DEPTH OF 4".

- IRRIGATION PERFORMANCE SPECIFICATIONS:**
PROVIDE 100% COVERAGE COMPLETE WORKING IRRIGATION SYSTEM FOR ALL NEW TURF AREAS (SEED AND/OR SOD), ALL NEW PLANTING BEDS, AND ALL NEW TREES AND EXISTING TREES TO REMAIN. INCLUDE ELECTRICAL CONNECTION AND IRRIGATION SLEEVES AS NECESSARY. DRIP IRRIGATE ALL PLANTING BEDS. PRIOR TO INSTALLATION, PROVIDE PLAN SHOWING ALL IRRIGATION MATERIALS INCLUDING ALL EQUIPMENT SIZES AND DETAILS TO LANDSCAPE ARCHITECT FOR APPROVAL. COMPLY WITH REQUIREMENTS OF AUTHORITY WITH JURISDICTION FOR IRRIGATION SYSTEMS & BACKFLOW PREVENTOR. CONTRACTOR SHALL SUBMIT AS-BUILT DRAWINGS TO LANDSCAPE ARCHITECT & OWNER AFTER FINAL INSTALLATION AND PRIOR TO FINAL ACCEPTANCE INCLUDING ALL HEAD & EQUIPMENT LOCATIONS & MAINTENANCE DATA FOR ALL EQUIPMENT PROVIDED. CONTRACTOR SHALL PROVIDE AN ON-SITE WALK THROUGH OF THE SYSTEM AND FULLY DESCRIBE ITS OPERATION WITH OWNER. CONTRACTOR SHALL ACHIEVE FINAL ACCEPTANCE WHEN SYSTEM IS FULLY OPERATIONAL, AND APPROVED BY OWNER, AND AS-BUILT DRAWINGS AND PROJECT MANUALS HAVE BEEN ACCEPTED AND APPROVED.
- PIPING SPECIFICATIONS:**
- MINIMUM WORKING PRESSURE RATINGS:
 - PRESSURE PIPING: 150 PSIG (1035 KPA)
 - CIRCUIT AND DRAIN PIPING: 100 PSIG (690 KPA)
 - MAIN LINE TO BE CL-200 POLYVINYL CHLORIDE PIPE OR ASTM D 1785, PVC 1120, SCHEDULE 40, SOCKET-TYPE FITTINGS; AND SOLVENT-CEMENTED JOINTS OR APPROVED EQUAL:
 - PIPE UP TO AND INCLUDING 2-1/2 INCHES IN DIAMETER SHALL HAVE BELL AND SOCKET JOINTS.
 - PIPE GREATER THAN 2-1/2 INCHES IN DIAMETER SHALL HAVE SNAP CONNECTIONS WITH RUBBER GASKET JOINTS.
 - THRUST BLOCKS SHALL BE REQUIRED IN CONJUNCTION WITH RUBBER GASKET JOINT PIPE.
 - LATERAL LINES TO BE CL-200 PVC PIPE OR APPROVED EQUAL.
 - DRIP TUBING: POLY TUBING OR APPROVED EQUAL.
 - SLEEVES: MINIMUM DIAMETER OF 2 TIMES LARGER THAN THE PIPE OR PIPE(S) SCHEDULED TO PASS THROUGH THEM. SLEEVES SHALL BE A MINIMUM OF 2 INCH DIAMETER AND SHALL BE SCHEDULE 40 PVC PIPE.
 - PLASTIC FITTINGS:
 - UTILIZED THROUGHOUT THE SYSTEM (MAINS AND LATERALS) IN WARM CLIMATES AND MAIN LINES IN COLDER CLIMATES: SCHEDULE 40 PVC PIPE.
 - UTILIZED FOR LATERALS OF FLEXIBLE POLYETHYLENE PIPE, TYPE 1 PVC INSERT FITTINGS DESIGNED FOR USE WITH THIS TYPE OF PIPE CONFORMING TO ASTM D 2609.
 - PIPE AND FITTINGS SHALL BE JOINED WITH STAINLESS STEEL LOCKING PINCH CLAMPS OR STAINLESS STEEL SCREW CLAMPS.
 - MINIMUM COVER:
 - IN LAWN AND PLANTING AREAS:
 - MAINS - MINIMUM 18 INCHES BELOW FINISH GRADE.
 - LATERALS AND CONTROL VALVES - MINIMUM 12 INCHES BELOW FINISH GRADE.
 - ROADWAYS OR PARKING AREAS: MINIMUM 24 INCHES BELOW FINISH GRADE.
 - CLEARANCES: MINIMUM OF 3-INCHES BETWEEN PARALLEL LINES IN THE SAME TRENCH OR VERTICAL CLEARANCE BETWEEN LINES CROSSING AT ANGLES.

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BARRY RD TOWNHOMES

DRAWING RELEASE LOG

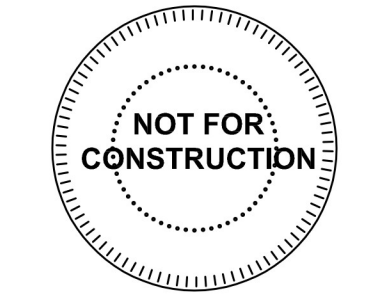
- 05.02.2022 - DEVELOPMENT PLAN
- 06.06.2022 - REV. DEVELOPMENT PLAN

REVISIONS

DATE
06/06/2022
JOB NO.
673020

SHEET NO.

NOT FOR CONSTRUCTION **L3.00**



DRAWING RELEASE LOG

- 05.02.2022 - DEVELOPMENT PLAN
- 06.06.2022 - REV. DEVELOPMENT PLAN

REVISIONS

- 06.24.2022 - CITY COMMENT RESPONSE

DATE
06/06/2022
JOB NO.
673020

SHEET NO.



CLUB FRONT ELEVATION

1/4" = 1'-0"



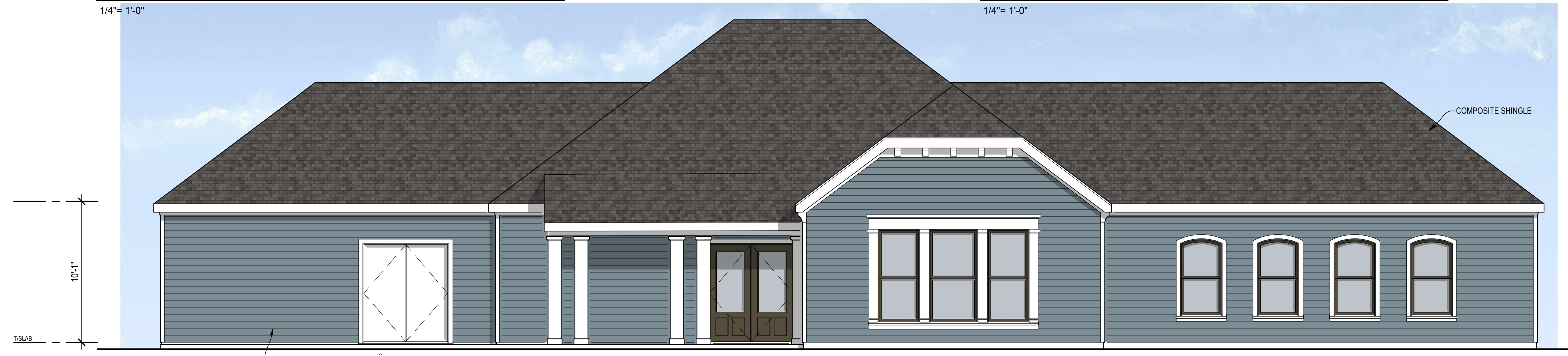
CLUB RIGHT ELEVATION

1/4" = 1'-0"



CLUB LEFT ELEVATION

1/4" = 1'-0"



CLUB REAR ELEVATION

1/4" = 1'-0"

CLADDING MATERIALS

- COLOR SCHEME 'CLUBHOUSE'
- [Blue Swatch] = ENGINEERED WOOD OR FIBER CEMENT LAP SIDING (BLUE)
 - [Gray Swatch] = ADHERED SIMULATED STONE (GRAY)
 - [Black Swatch] = ARCHITECTURAL SHINGLE (BLACK)
 - [Dark Bronze Swatch] = WINDOW FRAME / SASH (DARK BRONZE)
 - [White Swatch] = OVERHEAD DOOR (WHITE)
 - [White Swatch] = TRIM / DETAILING (WHITE)
 - [Dark Bronze Swatch] = ENTRY DOOR (DARK BRONZE)

NOT FOR CONSTRUCTION



DUPLEX FRONT ELEVATION

1/4" = 1'-0"



DUPLEX RIGHT ELEVATION

3/16" = 1'-0"



DUPLEX LEFT ELEVATION

3/16" = 1'-0"



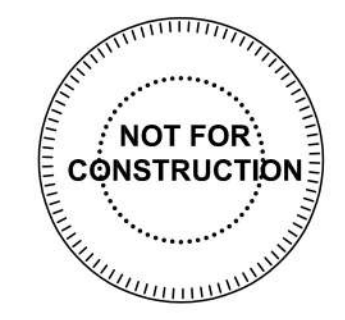
DUPLEX REAR ELEVATION

3/16" = 1'-0"

CLADDING MATERIALS

COLOR SCHEME 'A'

-  = VINYL SIDING OR SIMILAR (WHITE)
-  = ADHERED SIMULATED STONE (GREY)
-  = ARCHITECTURAL SHINGLE (BLACK)
-  = WINDOW FRAME / SASH (DARK BRONZE)
-  = OVERHEAD DOOR (WHITE)
-  = TRIM / DETAILING (WHITE)
-  = ENTRY DOOR (DARK BLUE)





4-PLEX FRONT ELEVATION (18" STEPS)
1/4" = 1'-0"



4-PLEX RIGHT ELEVATION
3/16" = 1'-0"










4-PLEX LEFT ELEVATION
3/16" = 1'-0"



4-PLEX REAR ELEVATION (18" STEPS)
3/16" = 1'-0"

CLADDING MATERIALS
COLOR SCHEME 'B'

-  = VINYL SIDING OR SIMILAR (LIGHT GRAY)
-  = ADHERED SIMULATED STONE (GRAY)
-  = ARCHITECTURAL SHINGLE (DARK GRAY)
-  = WINDOW FRAME / SASH (DARK BRONZE)
-  = OVERHEAD DOOR (WHITE)
-  = TRIM / DETAILING (WHITE)
-  = ENTRY DOOR (GRAY BLUE)



BARRY RD TOWNHOMES

DRAWING RELEASE LOG

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- 06.06.2022 - REV. DEVELOPMENT PLAN

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673020

SHEET NO.

A3.20

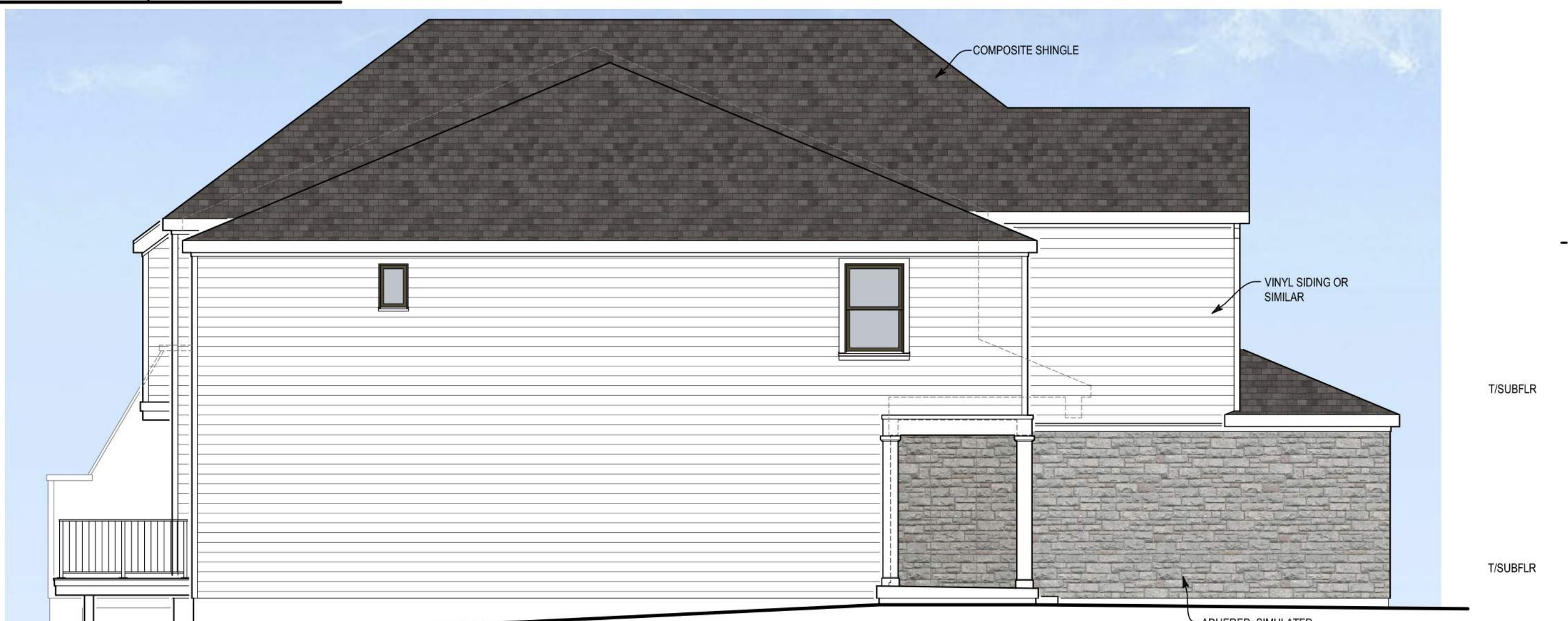
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6-PLEX FRONT ELEVATION (18" STEPS)
1/4" = 1'-0"



6-PLEX RIGHT ELEVATION
3/16" = 1'-0"



6-PLEX LEFT ELEVATION
3/16" = 1'-0"



6-PLEX REAR ELEVATION (18" STEPS)
3/16" = 1'-0"

CLADDING MATERIALS
COLOR SCHEME 'A'

-  = VINYL SIDING OR SIMILAR (WHITE)
-  = ADHERED SIMULATED STONE (GREY)
-  = ARCHITECTURAL SHINGLE (BLACK)
-  = WINDOW FRAME / SASH (DARK BRONZE)
-  = OVERHEAD DOOR (WHITE)
-  = TRIM / DETAILING (WHITE)
-  = ENTRY DOOR (DARK BLUE)

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