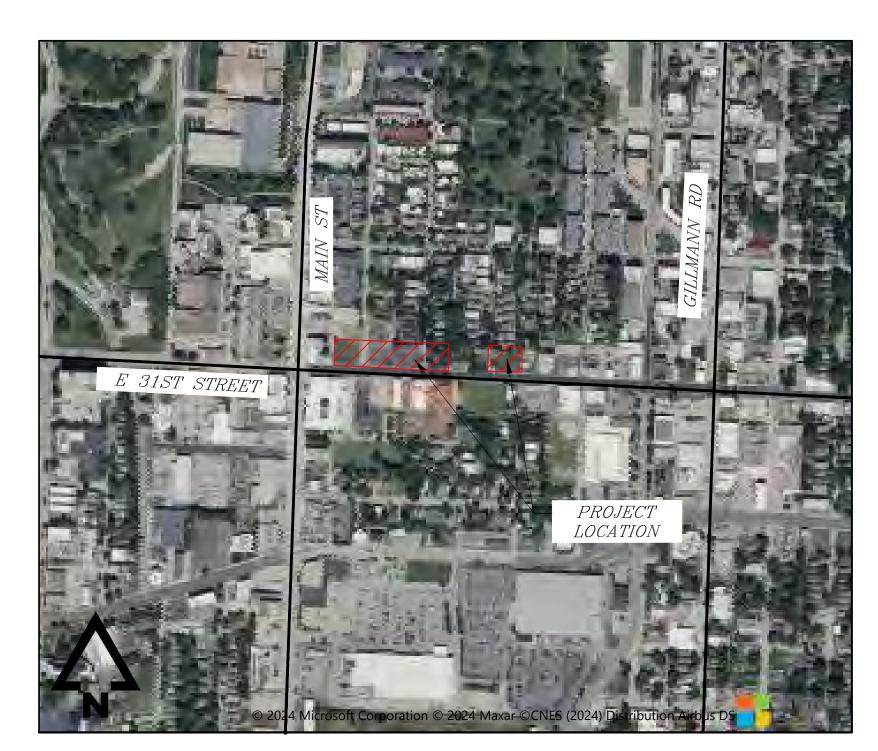
STREETCAR LOFTS UR PLAN

LOCATED IN SECTION 17 TOWNSHIP 49N, RANGE 33W KANSAS CITY, JACKSON COUNTY, MISSOURI

er of floors Above Grade	Zoning UR UR Total Land Area Right-of-Way Net Land Area Proposed Uses Commercial ructure Height & Number of Floors ross Floor Area & Number of Units	0 0 1.83 1.83 1.83 5 65 65 5 65 5 65	feet stories feet	Lot 1 Lot 2 Lot 3	
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er of floors Above Grade		5 65 6 77 5 65 5 65 5	feet stories feet stories feet stories feet	Lot 2	
Above Grade er of floors Above Grade	ross Floor Area & Number of Units	65 6 77 5 65 5 65 5	feet stories feet stories feet stories feet	Lot 2	
er of floors Above Grade	ross Floor Area & Number of Units	6 77 5 65 5 65 5	stories feet stories feet stories feet		
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er of floors : Above Grade Gr	ross Floor Area & Number of Units	5 65	1	Lot 4	
: Above Grade Gr	ross Floor Area & Number of Units	65			
Gı	ross Floor Area & Number of Units		stories	Lot 5	
	ross Floor Area & Number of Units		feet	2000	
		5			
Total Gross Area	1	14,700	SF	Bldg 1	49 U
Total Gross Area		14,250	SF	Bldg2	52 U
Total Gross Area		14,250	SF	Bldg3	48 U
Total Gross Area		12,200	SF	Bldg4	
Total Gross Area		14,650	SF	Bldg 5	
Project Total		70,050	SF		
	ildingCoverage & Floor Area Ratio				
age	Traing coverage of 1001 Alea Patro	70,050	SF		
aye		0.878	FAR		
	<u> </u>	0.070	FAR		
	Density	00.050			
3		38,250	SF per /		
		38,250	SF per /	4cre	
	Vehicle Garage Parking				
Min. Stalls Required		49	Stalls		
Stalls Provided		49	Stalls	Lot 1	
Min. Stalls Required		52	Stalls		
Stalls Provided			Stalls	Lot 2	
Min. Stalls Required			Stalls	-	
Stalls Provided			Stalls	Lot 3	
Min. Stalls Required			Stalls	ا الله	
Stalls Provided			Stalls	1044	
				Lot 4	
			1	,	
				Lot 5	
Total Provided		234	Stalls		
	Bike Parking		-		
	Long Term (80), Short term (25)		105		
Total Required		ın stage	110		
	<u> </u>		1		
	limeline				
	limeline	3/1/2025			
	Min. Stalls Required Stalls Provided Total Required Total Provided Total Required	Min. Stalls Required Stalls Provided Total Required Total Provided Bike Parking Total Required Long Term (80), Short term (25)	Min. Stalls Required 50 Stalls Provided 50 Total Required 234 Total Provided 234 Bike Parking Total Required Long Term (80), Short term (25) Total Provided To be provided at final project plan stage Timeline ated Start Date: 3/1/2025	Min. Stalls Required 50 Stalls Stalls Provided 50 Stalls Total Required 234 Stalls Total Provided 234 Stalls Total Provided 234 Stalls Bike Parking Total Required Long Term (80), Short term (25) 105 Total Provided To be provided at final project plan stage 110 Timeline ated Start Date: 3/1/2025	Min. Stalls Required 50 Stalls Stalls Provided 50 Stalls Total Required 234 Stalls Total Provided 234 Stalls Bike Parking Total Required Long Term (80), Short term (25) 105 Total Provided To be provided at final project plan stage 110 Timeline



VICINITY MAP
NOT TO SCALE
SECTIONS 17, TOWNSHIP 49N, RANGE 33W



LOCATION MAP

NOT TO SCALE

KANSAS CITY, JACKSON COUNTY, MISSOURI

Sheet List Table				
Sheet Number	Sheet Title			
C001	COVER SHEET			
C100	OVERALL UR SITE PLAN			
C200	SITE PLAN BLDG 1-5			
C201	SITE PLAN BLDG 2 LVL1			
C202	PRELIMINARY PLAT			
C203	PRELIMINARY PLAT			
C300	UTILITY PLAN BLDG 1-5			
C301	UTILITY PLAN BLDG 2 LVL 1			
C302	PHOTOMETRIC PLAN BLDG 1-5			
C303	PHOTOMETRIC PLAN BLDG 2 LVL 1			
C400	GRADING PLAN BLDG 1-3			
C401	GRADING PLAN BLDG 4-5			
C402	GRADING PLAN BLDG 2 LVL 1			
L100	LANDSCAPE PLAN - BUILDING 1			
L101	LANDSCAPE PLAN - BUILDINGS 2 & 3			
L102	LANDSCAPE PLAN - BUILDING 4			
L103	LANDSCAPE PLAN - BUILDING 5			
L500	LANDSCAPE DETAILS			
A102	BUILDING PLAN			
A103	BUILDING PLAN			
A104	BUILDING PLAN			
A105	BUILDING PLAN			
A200	BUILDING ELEVATIONS			
A201	BUILDING ELEVATIONS			
A202	BUILDING ELEVATIONS			
A203	BUILDING ELEVATIONS			
A204	BUILDING ELEVATIONS			
A205	BUILDING ELEVATIONS			
A206	BUILDING ELEVATIONS			
A207	BUILDING ELEVATIONS			

LEGAL DESCRIPTION

LOTS 9 AND 10, WARWICK RIDGE, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF.

LOTS 25, 26, 27, 28 AND 29, AND THE SOUTH 1/2 OF VACATED ALLEY LYING NORTH OF AND ADJACENT TO PART OF LOT 27 AND ALL OF LOTS 28 AND 29, WARWICK RIDGE, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF

LOTS 11, 12 & 13 AND THAT PART OF THE VACATED 7 FOOT ALLEY EAST OF AND ADJOINING LOT 11, WITHERS' ADDITION, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI.

THE NORTH 40 FEET OF LOT 33, TOGETHER WITH THE SOUTH HALF OF VACATED ALLEY LYING NORTH AND ADJOINING, WARWICK RIDGE, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF.

THE NORTH 32.2 FEET OF THE SOUTH 80 FEET OF LOT 33, WARWICK RIDGE, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF.

THE SOUTH 47.80 FEET OF LOT 33, WARWICK RIDGE, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI.

LOT 34, TOGETHER WITH THE SOUTH HALF OF VACATED ALLEY LYING NORTH AND ADJOINING, WARWICK RIDGE, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF.

FLOODPLAIN:

PER THE "FLOOD INSURANCE RATE MAP", COMMUNITY PANEL NO. 29095C0254G, HAVING AN EFFECTIVE JANUARY 20, 2017 AS PUBLISHED BY FEDERAL EMERGENCY MANAGEMENT AGENCY. OUR REVIEW OF THIS MAP INDICATES THAT THIS PARCEL OF LAND LIES WITHIN ZONE X WHICH IS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN."

DEVELOPER:	
SUNFLOWER DEVELOPM	ENT GROUP LLC
CONTACT NAME:	JASON SWORDS
ADDRESS:	1225 GRAND BLVD, SUITE 202
	KANSAS CITY, MO 64106
PHONE:	816.581.3992
EMAIL:	JSWORDS@SUNFLOWERKC.COM
PLANNER & CIVIL ENGIN	
MCCLURE ENGINEERING	i
CONTACT NAME:	MATT EBLEN
ADDRESS:	1700 SWIFT ST STE 100
	NORTH KANSAS CITY, MO 64116
PHONE:	(913) 307.2588
EMAIL:	MEBLEN@MCCLUREVISION.COM
SURVEYOR	
MCCLURE ENGINEERING	i
CONTACT NAME:	STEVE WHITAKER
ADDRESS:	1700 SWIFT ST STE 100
	NORTH KANSAS CITY, MO 64116
PHONE:	816.756.0444 EXT. 2850
EMAIL	SWHITAKER@MCCLUREVISION.COM



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Portsmouth, NH

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MISSOURI CERTIFICATE OF AUTHORITY NO. E-2006023253 EXPIRES: DECEMBER 31, 2024

REVISIO

DEVELOPMENT PLAN - 09/13/24
DEVELOPMENT PLAN - 09/24/24
DEVELOPMENT PLAN - 10/18/24
DEVELOPMENT PLAN - 10/28/24

PROJECT INFO

2024001836-000

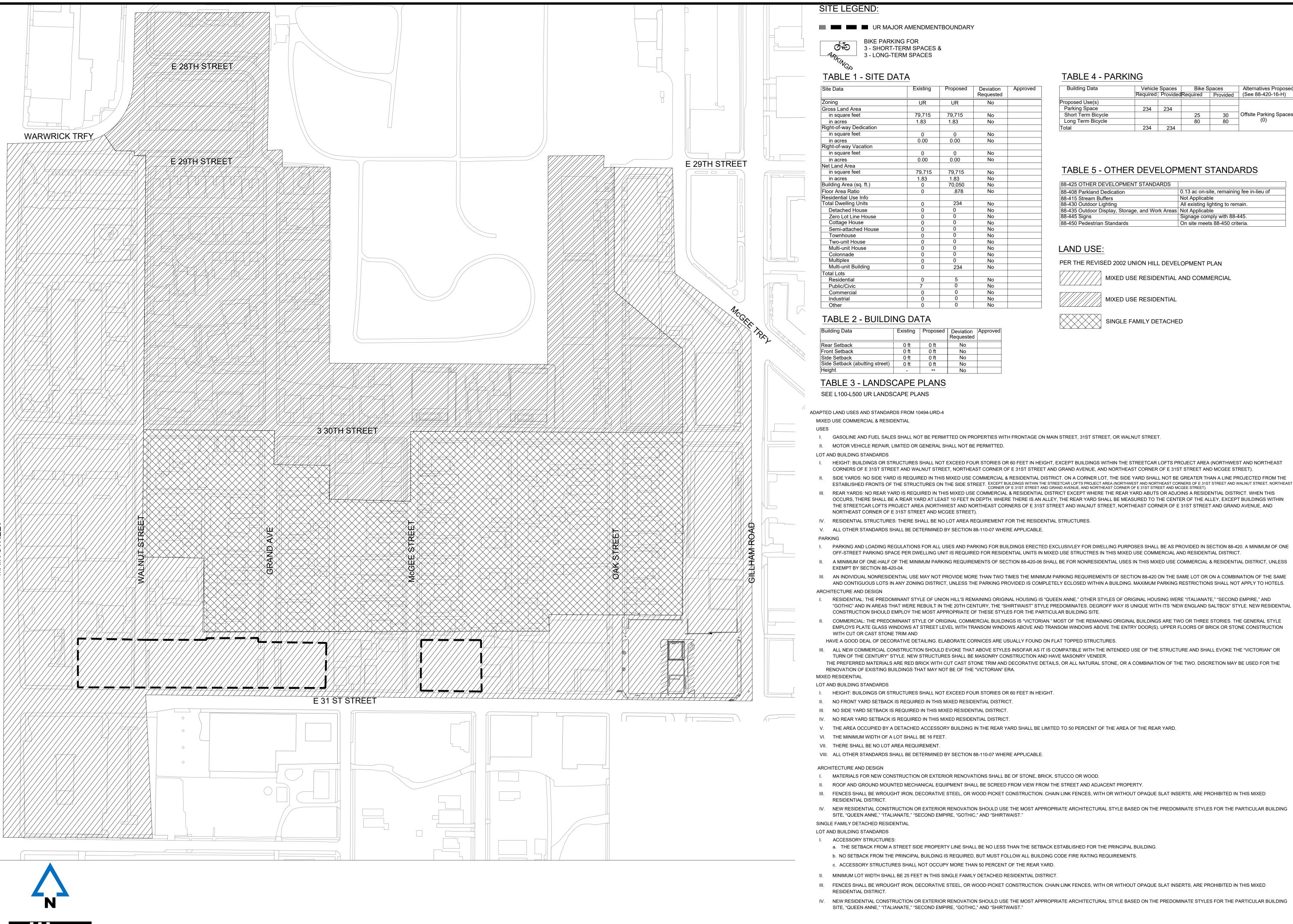
ENGINEER DRAWN BY CHECKED BY

CTD AVD / SKJ

STREETCAR LOFTS
3038 & 3042 WALNUT ST., 3045 MCGEE ST., 112 & 206 E. 31
ST., 12 E 31ST ST., 24 E 31ST ST., 12 E 31ST ST., 24 E 31ST
KANSAS CITY, MO
UR PLAN

DRAWING NO.

C00



SITE LEGEND:

■ ■ UR MAJOR AMENDMENTBOUNDARY



TABLE 1 - SITE DATA

Site Data	Existing	Proposed	Deviation Requested	Approved
Zoning	UR	UR	No	
Gross Land Area				
in square feet	79,715	79,715	No	
in acres	1.83	1.83	No	
Right-of-way Dedication				
in square feet	0	0	No	
in acres	0.00	0.00	No	
Right-of-way Vacation				
in square feet	0	0	No	
in acres	0.00	0.00	No	
Net Land Area				
in square feet	79,715	79,715	No	
in acres	1.83	1.83	No	
Building Area (sq. ft.)	0	70,050	No	
loor Area Ratio	0	.878	No	
Residential Use Info				
Total Dwelling Units	0	234	No	
Detached House	0	0	No	
Zero Lot Line House	0	0	No	
Cottage House	0	0	No	
Semi-attached House	0	0	No	
Townhouse	0	0	No	
Two-unit House	0	0	No	
Multi-unit House	0	0	No	
Colonnade	0	0	No	
Multiplex	0	0	No	
Multi-unit Building	0	234	No	
Fotal Lots				
Residential	0	5	No	
Public/Civic	7	0	No	
Commercial	0	0	No	
Industrial	0	0	No	
Other	0	0	No	

Existing | Proposed | Deviation | Approve

0 ft

TABLE 4 - PARKING

Building Data	Vehicle	Spaces	Bike S	Spaces	Alternatives Propose
	Required	Provided	Required	Provided	(See 88-420-16-H)
Proposed Use(s)					
Parking Space	234	234			
Short Term Bicycle			25	30	Offsite Parking Space
Long Term Bicycle			80	80	(0)
Total	234	234			

TABLE 5 - OTHER DEVELOPMENT STANDARDS

88-425 OTHER DEVELOPMENT STANDARDS	
88-408 Parkland Dedication	0.13 ac on-site, remaining fee in-lieu of
88-415 Stream Buffers	Not Applicable
88-430 Outdoor Lighting	All existing lighting to remain.
88-435 Outdoor Display, Storage, and Work Areas	Not Applicable
88-445 Signs	Signage comply with 88-445.
88-450 Pedestrian Standards	On site meets 88-450 criteria.

LAND USE:

PER THE REVISED 2002 UNION HILL DEVELOPMENT PLAN MIXED USE RESIDENTIAL AND COMMERCIAL



SINGLE FAMILY DETACHED

REVISIONS DEVELOPMENT PLAN - 09/13/24 DEVELOPMENT PLAN - 09/24/24 DEVELOPMENT PLAN - 10/18/24 DEVELOPMENT PLAN - 10/28/24

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Columbia,MO | Macon,MO lorth Kansas City,MO | Springfield,MO Lenexa, KS

Portsmouth, NH

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the Plans and Specifications.

MISSOURI CERTIFICATE OF AUTHORITY NO. E-2006023253 EXPIRES: DECEMBER 31, 2024

> PROJECT INFO 2024001836-000

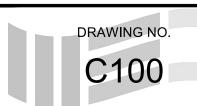
ENGINEER DRAWN BY CHECKED BY CTD AVD / SKJ

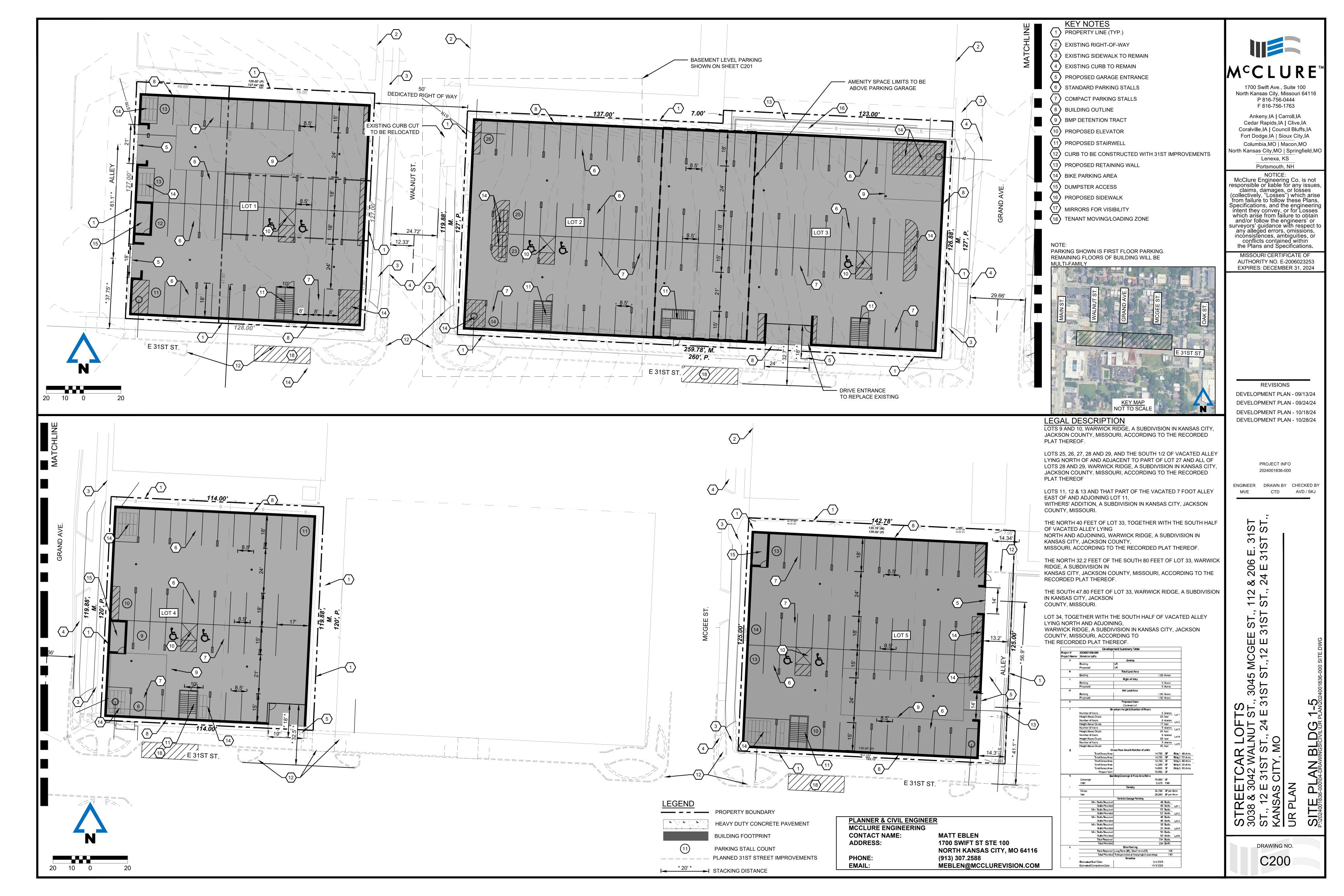
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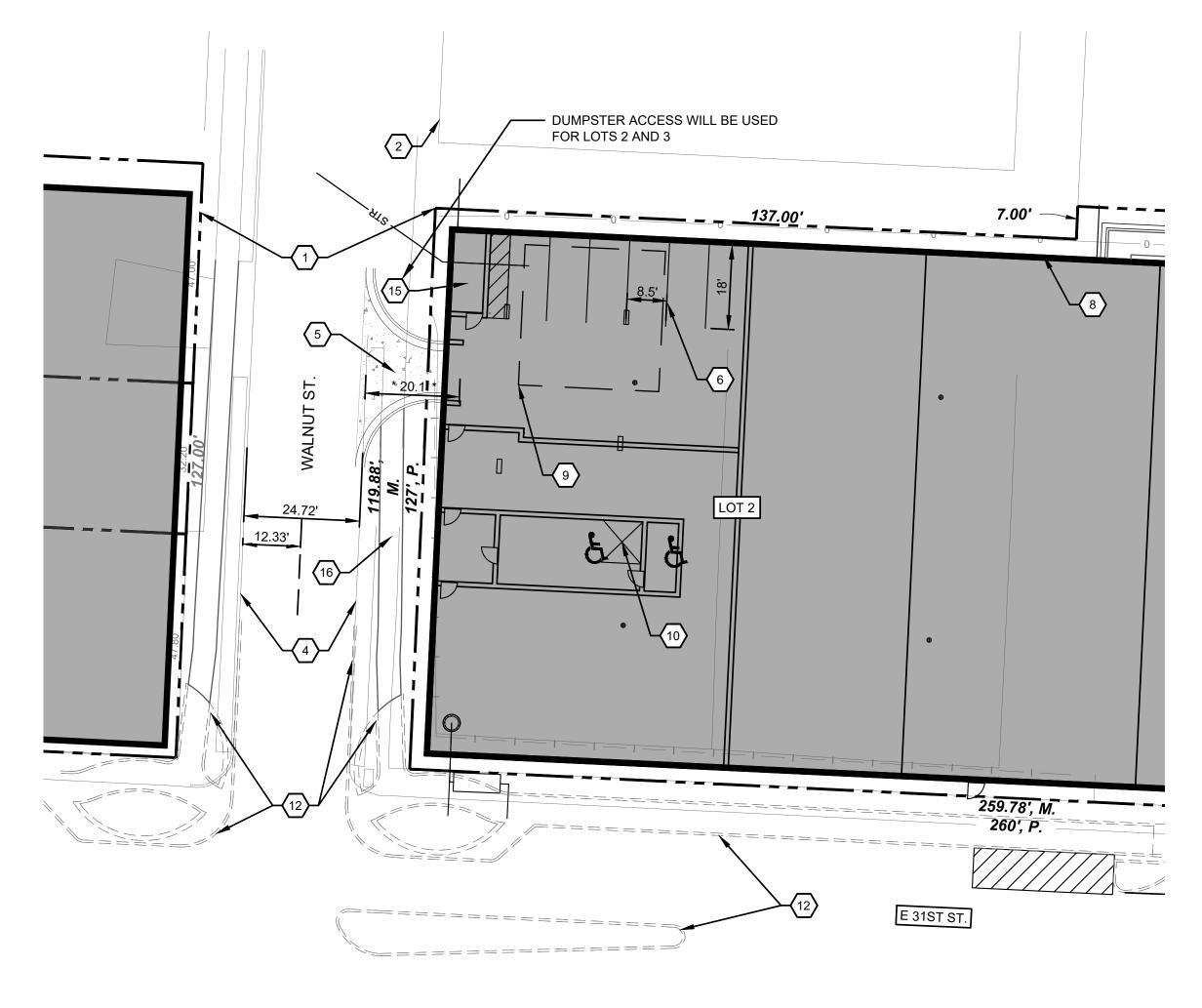
SITE, "QUEEN ANNE," "ITALIANATE," "SECOND EMPIRE, "GOTHIC," AND "SHIRTWAIST."

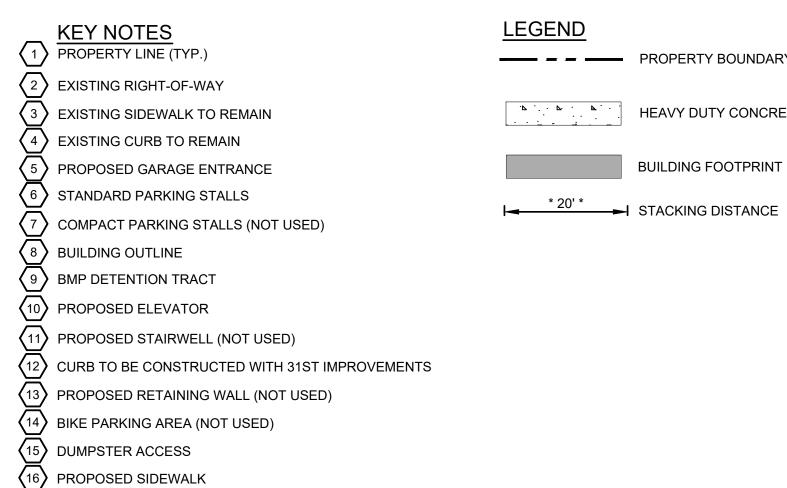
LOT AND BUILDING STANDARDS

- SINGLE FAMILY DETACHED RESIDENTIAL
- I. ACCESSORY STRUCTURES: a. THE SETBACK FROM A STREET SIDE PROPERTY LINE SHALL BE NO LESS THAN THE SETBACK ESTABLISHED FOR THE PRINCIPAL BUILDING.
- b. NO SETBACK FROM THE PRINCIPAL BUILDING IS REQUIRED, BUT MUST FOLLOW ALL BUILDING CODE FIRE RATING REQUIREMENTS
- c. ACCESSORY STRUCTURES SHALL NOT OCCUPY MORE THAN 50 PERCENT OF THE REAR YARD.
- II. MINIMUM LOT WIDTH SHALL BE 25 FEET IN THIS SINGLE FAMILY DETACHED RESIDENTIAL DISTRICT.
- III. FENCES SHALL BE WROUGHT IRON, DECORATIVE STEEL, OR WOOD PICKET CONSTRUCTION. CHAIN LINK FENCES, WITH OR WITHOUT OPAQUE SLAT INSERTS, ARE PROHIBITED IN THIS MIXED
- IV. NEW RESIDENTIAL CONSTRUCTION OR EXTERIOR RENOVATION SHOULD USE THE MOST APPROPRIATE ARCHITECTURAL STYLE BASED ON THE PREDOMINATE STYLES FOR THE PARTICULAR BUILDING SITE, "QUEEN ANNE," "ITALIANATE," "SECOND EMPIRE, "GOTHIC," AND "SHIRTWAIST."





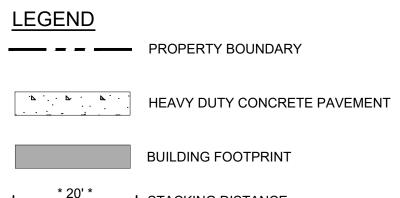




MIRRORS FOR VISIBILITY (NOT USED)

PARKING SHOWN IS FIRST FLOOR PARKING. REMAINING FLOORS OF BUILDING WILL BE MULTI-FAMILY

TENANT MOVING/LOADING ZONE (NOT USED)





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MISSOURI CERTIFICATE OF AUTHORITY NO. E-2006023253 EXPIRES: DECEMBER 31, 2024

REVISIONS DEVELOPMENT PLAN - 09/13/24

DEVELOPMENT PLAN - 09/24/24 DEVELOPMENT PLAN - 10/18/24 DEVELOPMENT PLAN - 10/28/24

PROJECT INFO

2024001836-000

ENGINEER DRAWN BY CHECKED BY MVE CTD AVD / SKJ

206 E. 31ST 24 E 31ST ST., & ~\di 112 ST.,

20

20 10 0

STREETCAR LOFTS
3038 & 3042 WALNUT ST., 3045 MCGEE ST., 11
ST., 12 E 31ST ST., 24 E 31ST ST.,12 E 31ST ST
KANSAS CITY, MO
UR PLAN

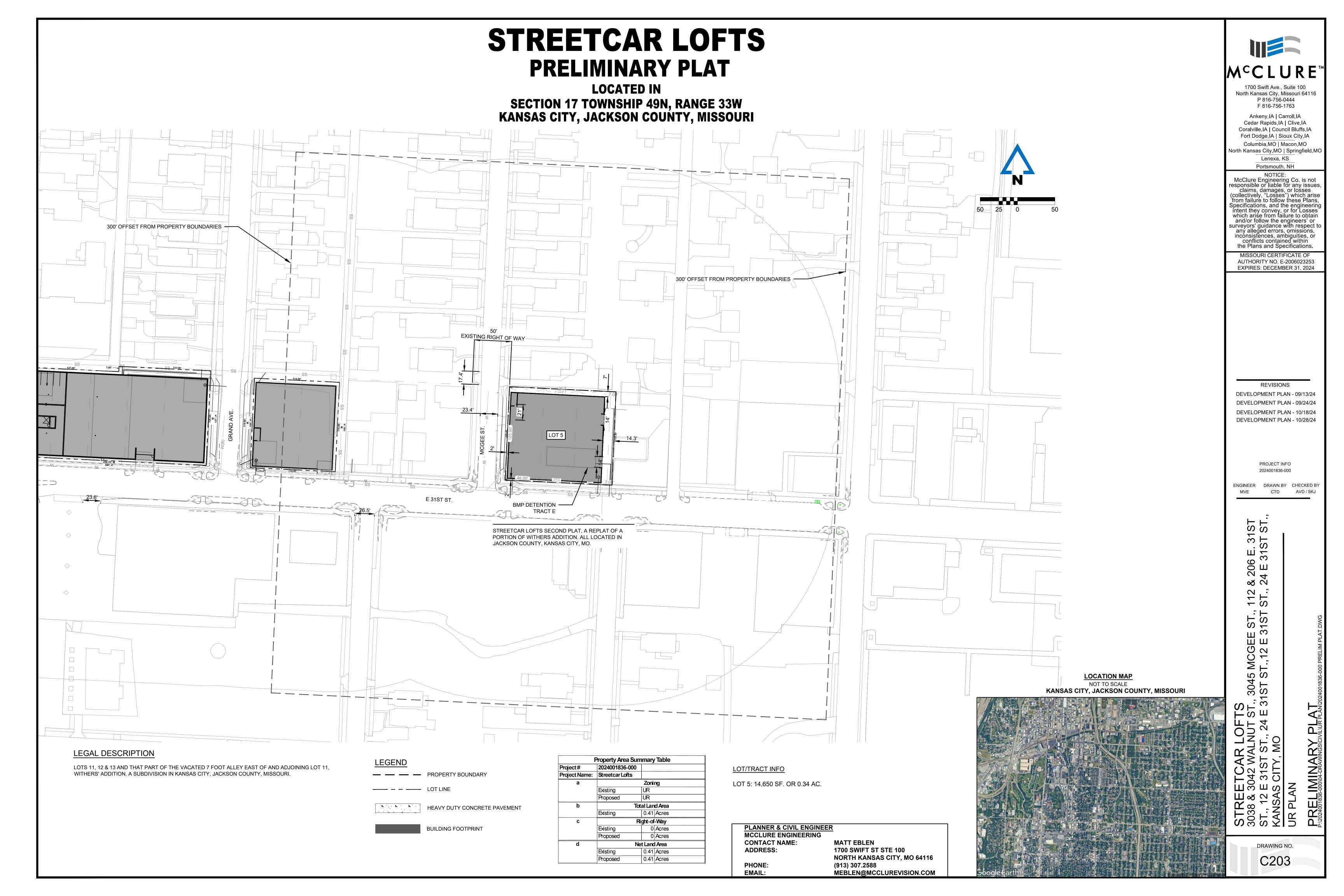
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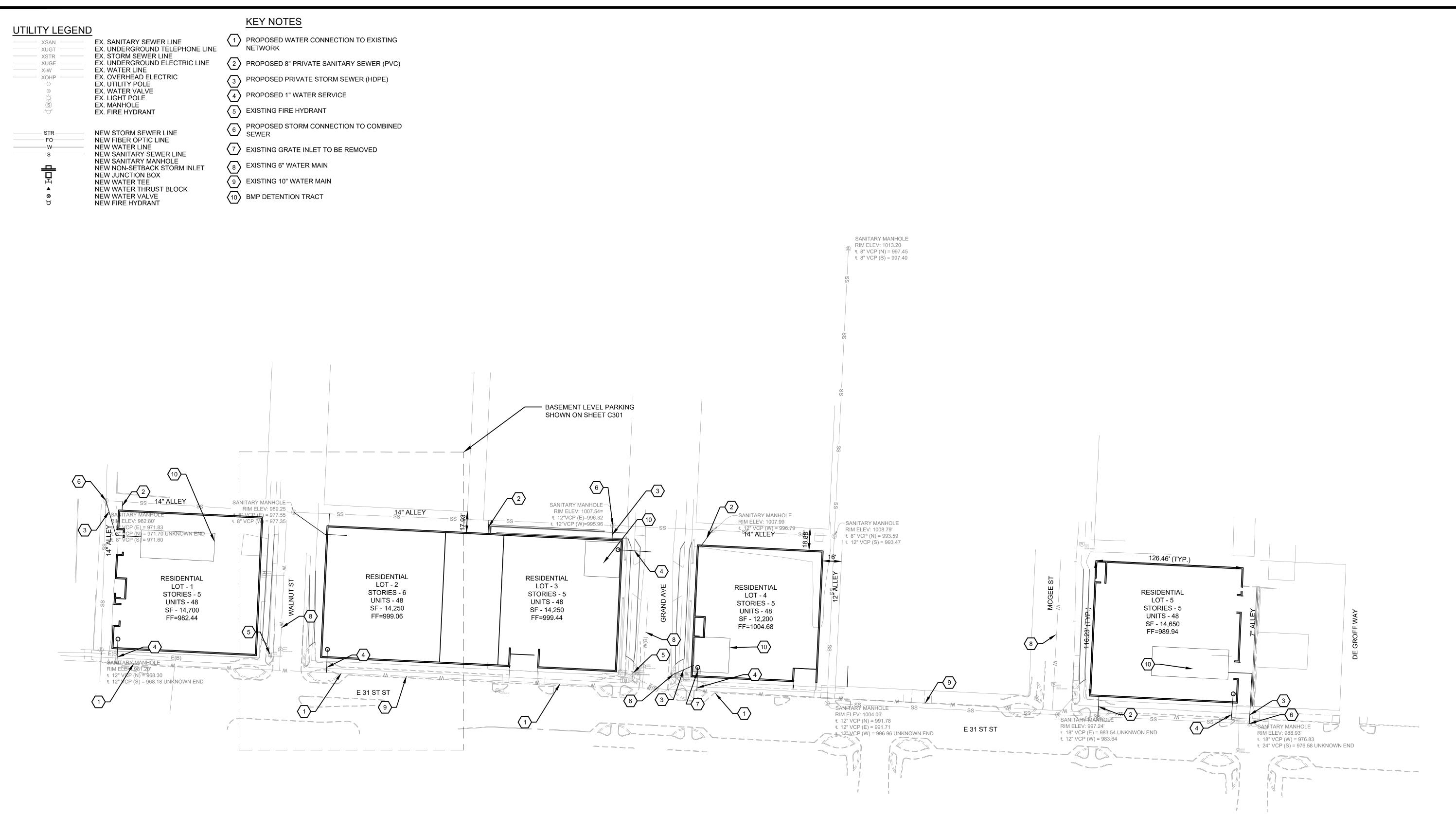
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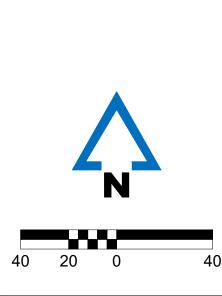
DRAWING NO.

C201

STREETCAR LOFTS PRELIMINARY PLAT **LOCATED IN** 1700 Swift Ave., Suite 100 North Kansas City, Missouri 64116 P 816-756-0444 **SECTION 17 TOWNSHIP 49N, RANGE 33W** F 816-756-1763 KANSAS CITY, JACKSON COUNTY, MISSOURI Ankeny,IA | Carroll,IA Cedar Rapids, IA | Clive, IA Coralville, IA | Council Bluffs, IA Fort Dodge, IA | Sioux City, IA Columbia,MO | Macon,MO lorth Kansas City,MO | Springfield,MO Portsmouth, NH NOTICE: McClure Engineering Co. is not responsible or liable for any issues claims, damages, or losses (collectively, "Losses") which arise from failure to follow these Plans, Specifications, and the engineering intent they convey, or for Losses which arise from failure to obtain 300' OFFSET FROM PROPERTY BOUNDARIES and/or follow the engineers' or surveyors' guidance with respect t 50 25 0 any alleged errors, omissions, inconsistences, ambiguities, or conflicts contained within the Plans and Specifications. AUTHORITY NO. E-2006023253 EXPIRES: DECEMBER 31, 2024 300' OFFSET FROM PROPERTY BOUNDARIES DIVIDING LINE BETWEEN LOT 2 AND LOT 3 — PARKLAND/AMENITY TRACT 1, ABOVE — ELEVATION 1011' (0.13 AC.) BMP DETENTION + BMP DETENTION — TRACT C EXISTING RIGHT OF WAY (EXISTING RIGHT OF WAY REVISIONS DEVELOPMENT PLAN - 09/13/24 DEVELOPMENT PLAN - 09/24/24 DEVELOPMENT PLAN - 10/18/24 DEVELOPMENT PLAN - 10/28/24 LOT 3 LOT 4 PROJECT INFO 2024001836-000 ENGINEER DRAWN BY CHECKED BY CTD AVD / SKJ E 31ST ST. BMP DETENTION -TRACT D .31 ST STREETCAR LOFTS FIRST PLAT, A REPLAT OF A PORTION OF WARWICK RIDGE. ALL LOCATED - IN JACKSON COUNTY, KANSAS CITY, MO. LOT/TRACT INFO LOT 1: 14,700 SF. OR 0.34 AC. LOT 2: 14,250 SF. OR 0.33 AC. LOT 3: 14,250 SF. OR 0.33 AC. LOT 4: 12,200 SF. OR 0.28 AC. PARKLAND AMENITY TRACT. 0.13 AC. S S **LOCATION MAP** NOT TO SCALE KANSAS CITY, JACKSON COUNTY, MISSOURI LEGAL DESCRIPTION PARKLAND DEDICATION (88-408) LOTS 9 AND 10, WARWICK RIDGE, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF. Property Area Summary Table LEGEND REQUIRED DEDICATION UNITS (MULTI) = 240 Project# 2024001836-000 LOTS 25, 26, 27, 28 AND 29, AND THE SOUTH 1/2 OF VACATED ALLEY LYING NORTH OF AND ADJACENT TO Project Name: | Streetcar Lofts PART OF LOT 27 AND ALL OF LOTS 28 AND 29, WARWICK RIDGE, A SUBDIVISION IN KANSAS CITY, JACKSON — — PROPERTY BOUNDARY 240 x 2 PEOPLE/UNIT x 0.006 = 2.81 AC. COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF TOTAL REQUIRED DEDICATION = 2.81 AC. THE NORTH 40 FEET OF LOT 33, TOGETHER WITH THE SOUTH HALF OF VACATED ALLEY LYING Proposed NORTH AND ADJOINING, WARWICK RIDGE, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, DEVELOPER INTENDS TO PROVIDE 0.13 AC. AS AN AMENITY, Total Land Area MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF. HEAVY DUTY CONCRETE PAVEMENT REMAINING 2.68 AC. WILL BE FEE IN LIEU OF 1.42 Acres THE NORTH 32.2 FEET OF THE SOUTH 80 FEET OF LOT 33, WARWICK RIDGE, A SUBDIVISION IN Right-of-Way KANSAS CITY, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF. 0 Acres PLANNER & CIVIL ENGINEER **BUILDING FOOTPRINT** Proposed 0 Acres MCCLURE ENGINEERING THE SOUTH 47.80 FEET OF LOT 33, WARWICK RIDGE, A SUBDIVISION IN KANSAS CITY, JACKSON Net Land Area **CONTACT NAME:** COUNTY, MISSOURI. PARKLAND AMENITY TRACT 1.42 Acres ADDRESS: 1700 SWIFT ST STE 100 LOT 34, TOGETHER WITH THE SOUTH HALF OF VACATED ALLEY LYING NORTH AND ADJOINING, 1.42 Acres NORTH KANSAS CITY, MO 64116 C202 WARWICK RIDGE, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI, ACCORDING TO (913) 307.2588 THE RECORDED PLAT THEREOF. MEBLEN@MCCLUREVISION.COM







MCCLURE TO Suite 100

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MISSOURI CERTIFICATE OF AUTHORITY NO. E-2006023253 EXPIRES: DECEMBER 31, 2024

REVISIONS
DEVELOPMENT PLAN - 09/13/24

DEVELOPMENT PLAN - 09/24/24 DEVELOPMENT PLAN - 10/18/24 DEVELOPMENT PLAN - 10/28/24

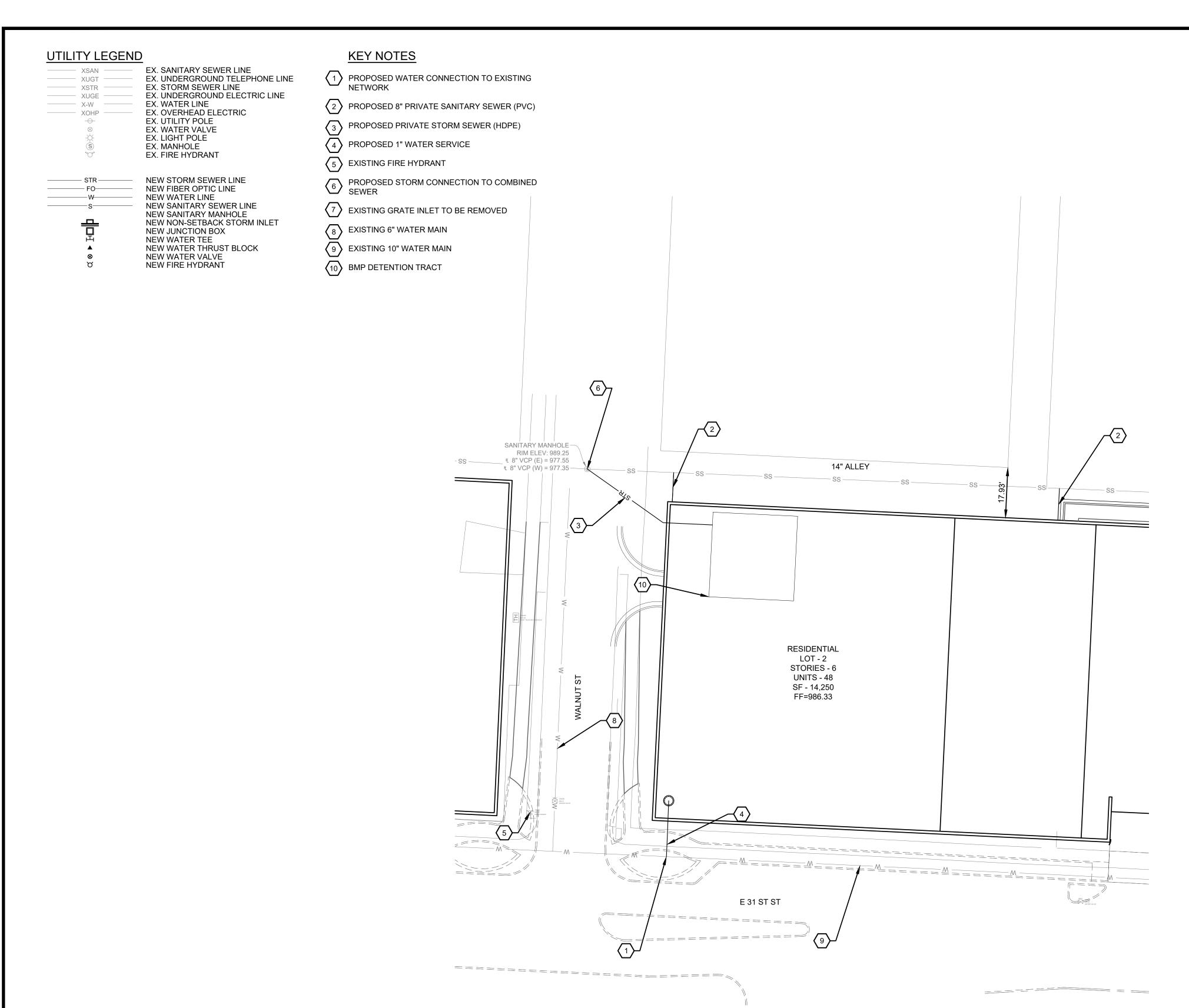
> PROJECT INFO 2024001836-000

ENGINEER DRAWN BY CHECKED BY
MVE CTD AVD / SKJ

045 MCGEE ST., 112 & 206 E. 31ST ST ST.,12 E 31ST ST., 24 E 31ST ST.,

STREETCAR LOFTS
3038 & 3042 WALNUT ST., 3045 MCGEE ST
ST., 12 E 31ST ST., 24 E 31ST ST.,12 E 31S
KANSAS CITY, MO
UR PLAN
UTILITY PLAN BLDG 1-5
P:2024001836-00004-DRAWINGS/CIVIL/UR PLAN/2024001836-000 UTILIDWG

C300





1700 Swift Ave., Suite 100 North Kansas City, Missouri 64116 P 816-756-0444 F 816-756-1763

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North Kansas City,MO | Springfield,MO Lenexa, KS Portsmouth, NH

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> PROJECT INFO 2024001836-000

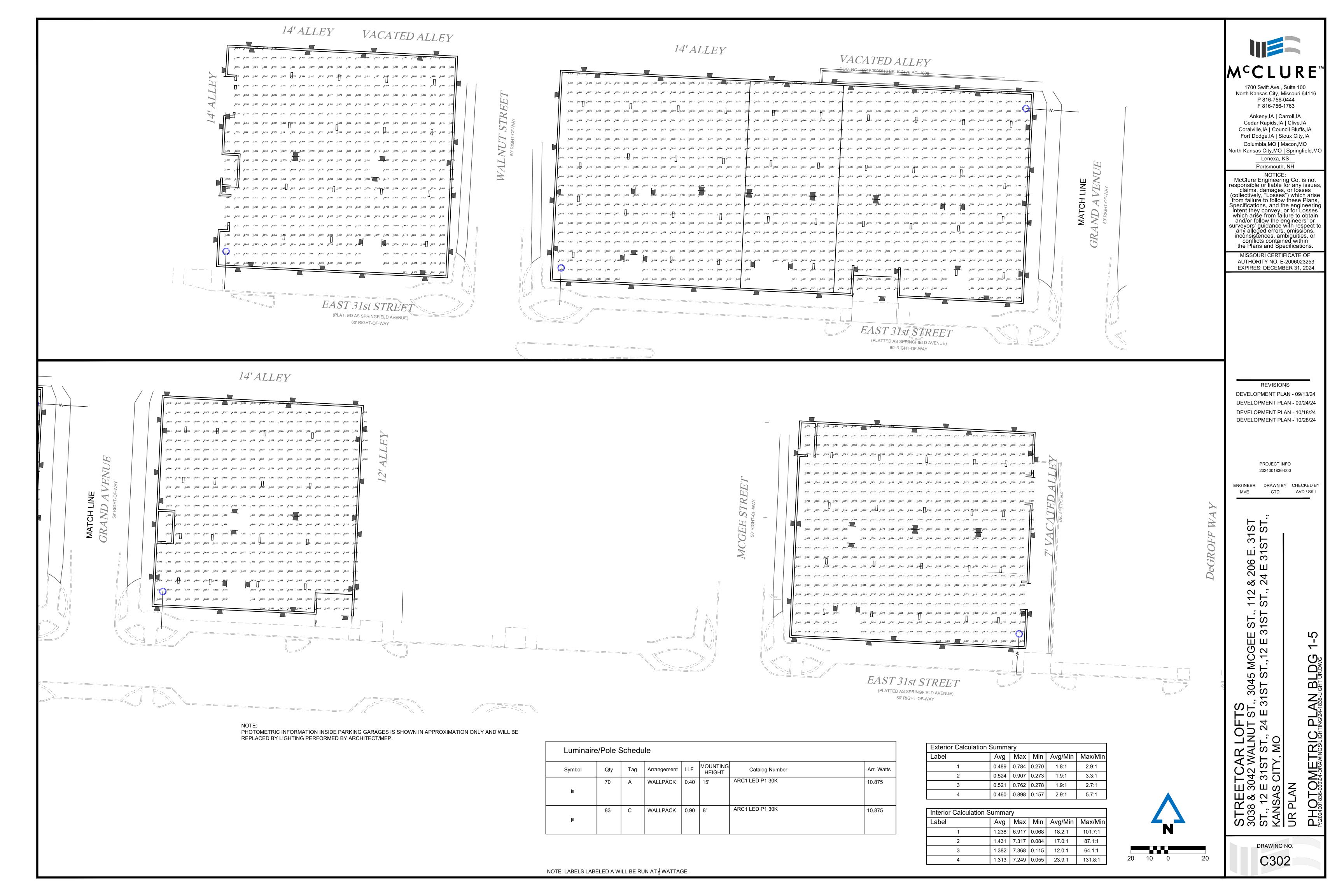
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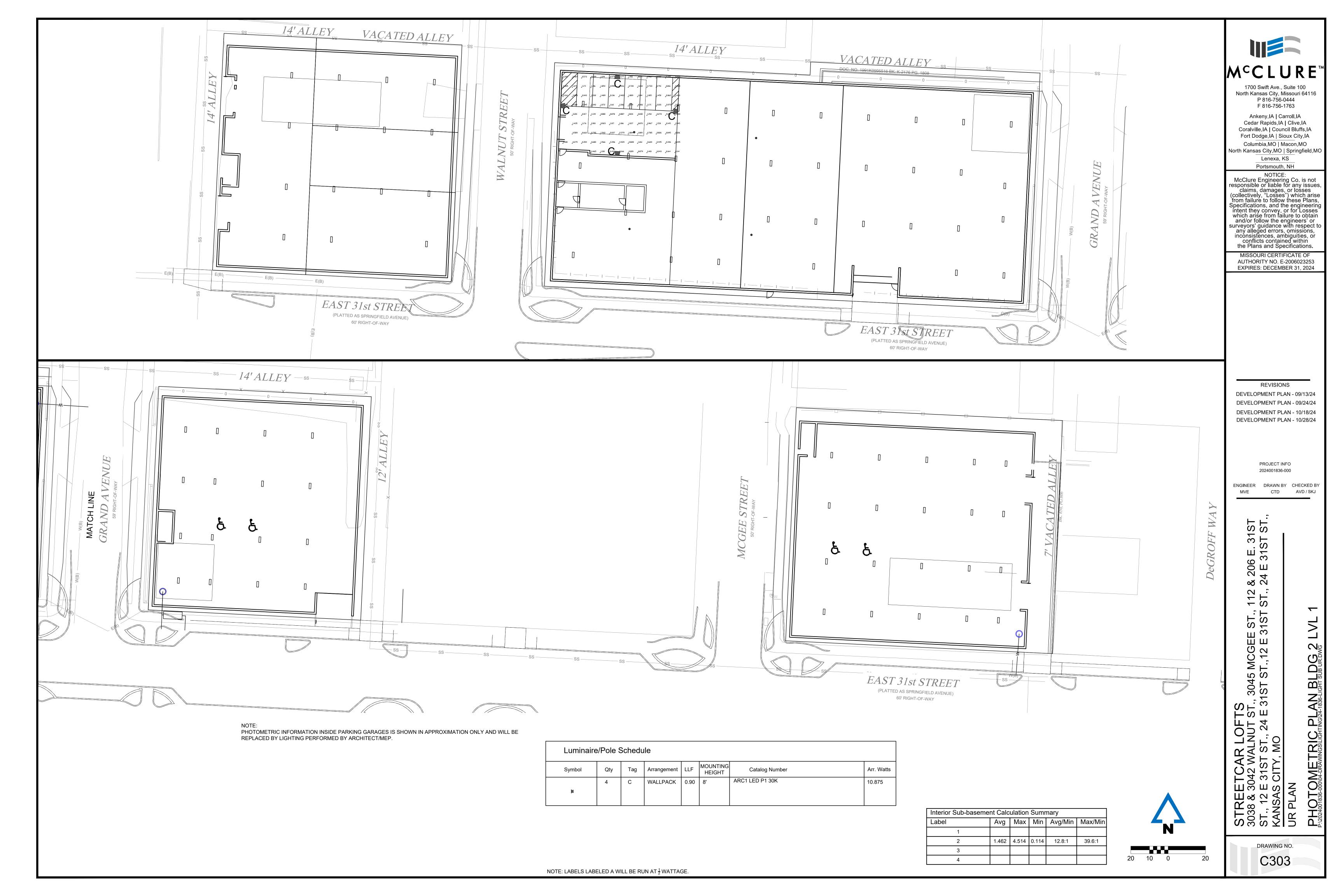
, 206 E. 31ST 24 E 31ST ST., & Å 112 ST.,

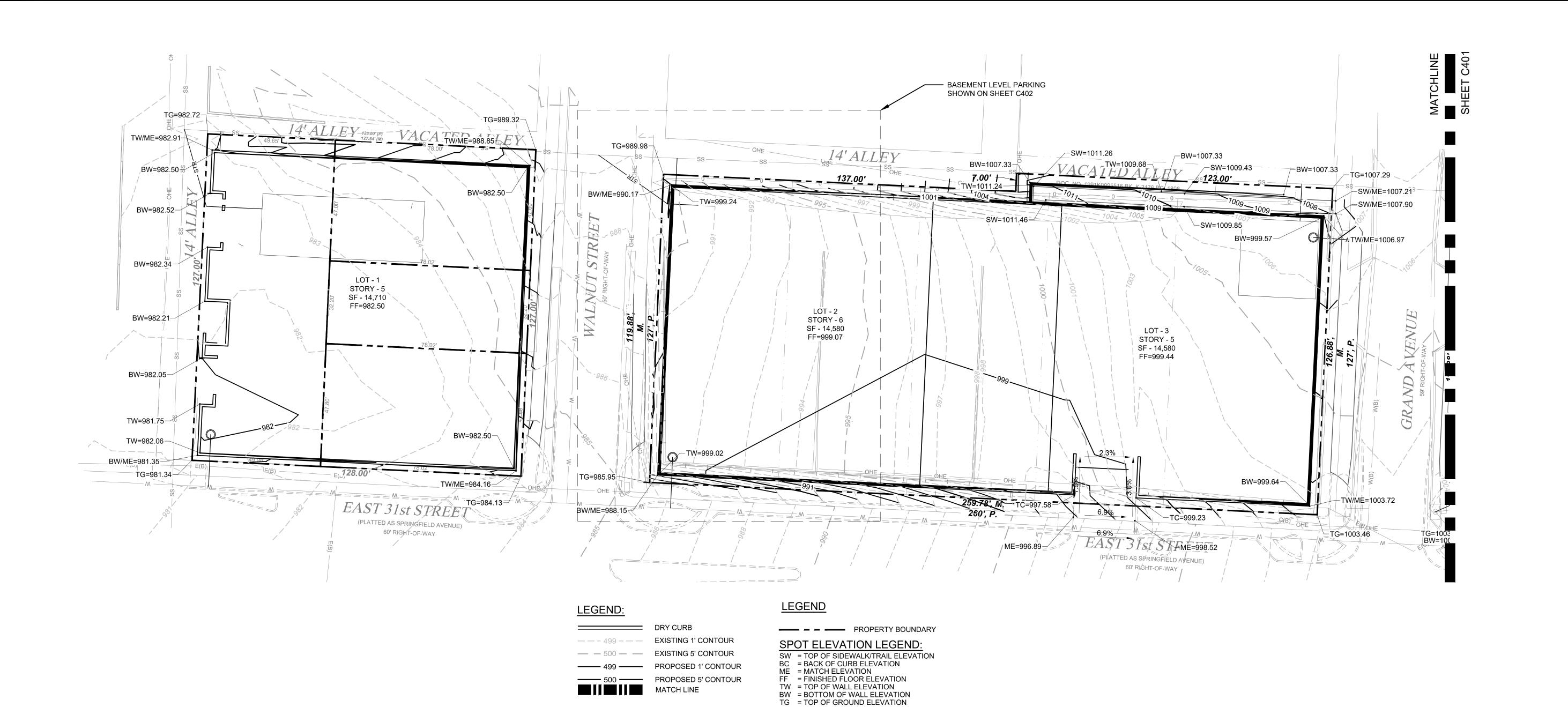
STREETCAR LOFTS
3038 & 3042 WALNUT ST., 3045 MCGEE ST., 11
ST., 12 E 31ST ST., 24 E 31ST ST.,12 E 31ST ST
KANSAS CITY, MO
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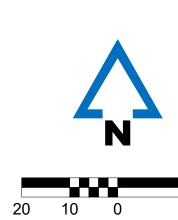
DRAWING NO.

C301









STREETCAR LOFTS
3038 & 3042 WALNUT ST., 3045 MCGEE ST
ST., 12 E 31ST ST., 24 E 31ST ST.,12 E 31S
KANSAS CITY, MO
UR PLAN

DRAWING NO.

GRADING PLAN BLDG

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MISSOURI CERTIFICATE OF

AUTHORITY NO. E-2006023253

EXPIRES: DECEMBER 31, 2024

REVISIONS
DEVELOPMENT PLAN - 09/13/24

DEVELOPMENT PLAN - 09/24/24

DEVELOPMENT PLAN - 10/18/24

DEVELOPMENT PLAN - 10/28/24

PROJECT INFO 2024001836-000

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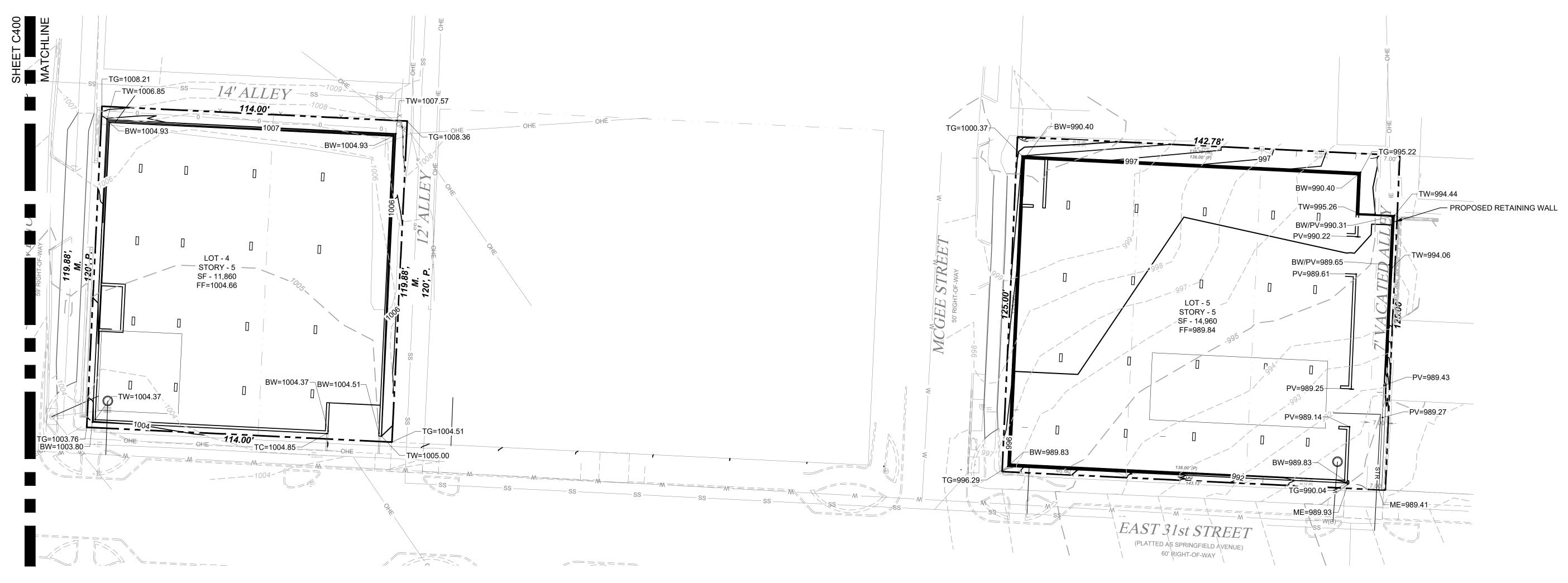
31ST ST ST

206 4 E 3

& Å

112 ST.,

CTD AVD / SKJ



<u>LEGEND</u>

DRY CURB ---499--- EXISTING 1' CONTOUR --500 -- EXISTING 5' CONTOUR —— 499 —— PROPOSED 1' CONTOUR PROPOSED 5' CONTOUR MATCH LINE

LEGEND:

PROPERTY BOUNDARY **SPOT ELEVATION LEGEND:**

SW = TOP OF SIDEWALK/TRAIL ELEVATION
BC = BACK OF CURB ELEVATION
ME = MATCH ELEVATION
FF = FINISHED FLOOR ELEVATION
TW = TOP OF WALL ELEVATION
BW = BOTTOM OF WALL ELEVATION
TG = TOP OF GROUND ELEVATION

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> PROJECT INFO 2024001836-000

ENGINEER DRAWN BY CHECKED BY

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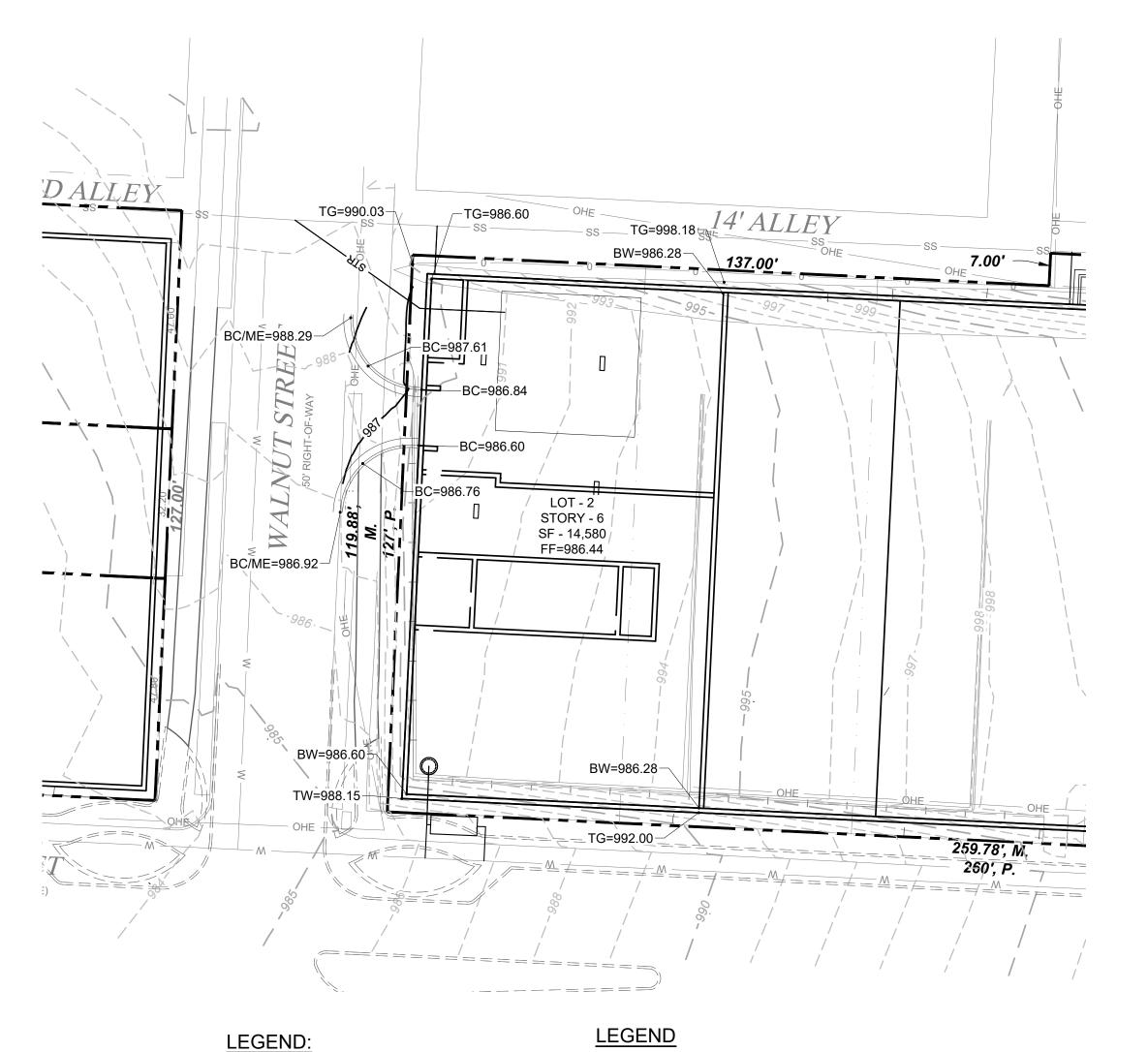
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STREETCAR LOFTS
3038 & 3042 WALNUT ST., 3045 MCGEE ST
ST., 12 E 31ST ST., 24 E 31ST ST.,12 E 31S
KANSAS CITY, MO
UR PLAN GRADING PLAN BLDG P:2024001836-000\04-DRAWINGS\CIVIL\UR PLAN\202400

DRAWING NO.

C401

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CONTOU
CONTOU
1' CONTO

—— 500 —— PROPOSED 5' CONTOUR

<u>LEGEND</u>

PROPERTY BOUNDARY **SPOT ELEVATION LEGEND:**

SW = TOP OF SIDEWALK/TRAIL ELEVATION
BC = BACK OF CURB ELEVATION
ME = MATCH ELEVATION
FF = FINISHED FLOOR ELEVATION
TW = TOP OF WALL ELEVATION
BW = BOTTOM OF WALL ELEVATION
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> PROJECT INFO 2024001836-000

ENGINEER DRAWN BY CHECKED BY MVE CTD AVD / SKJ

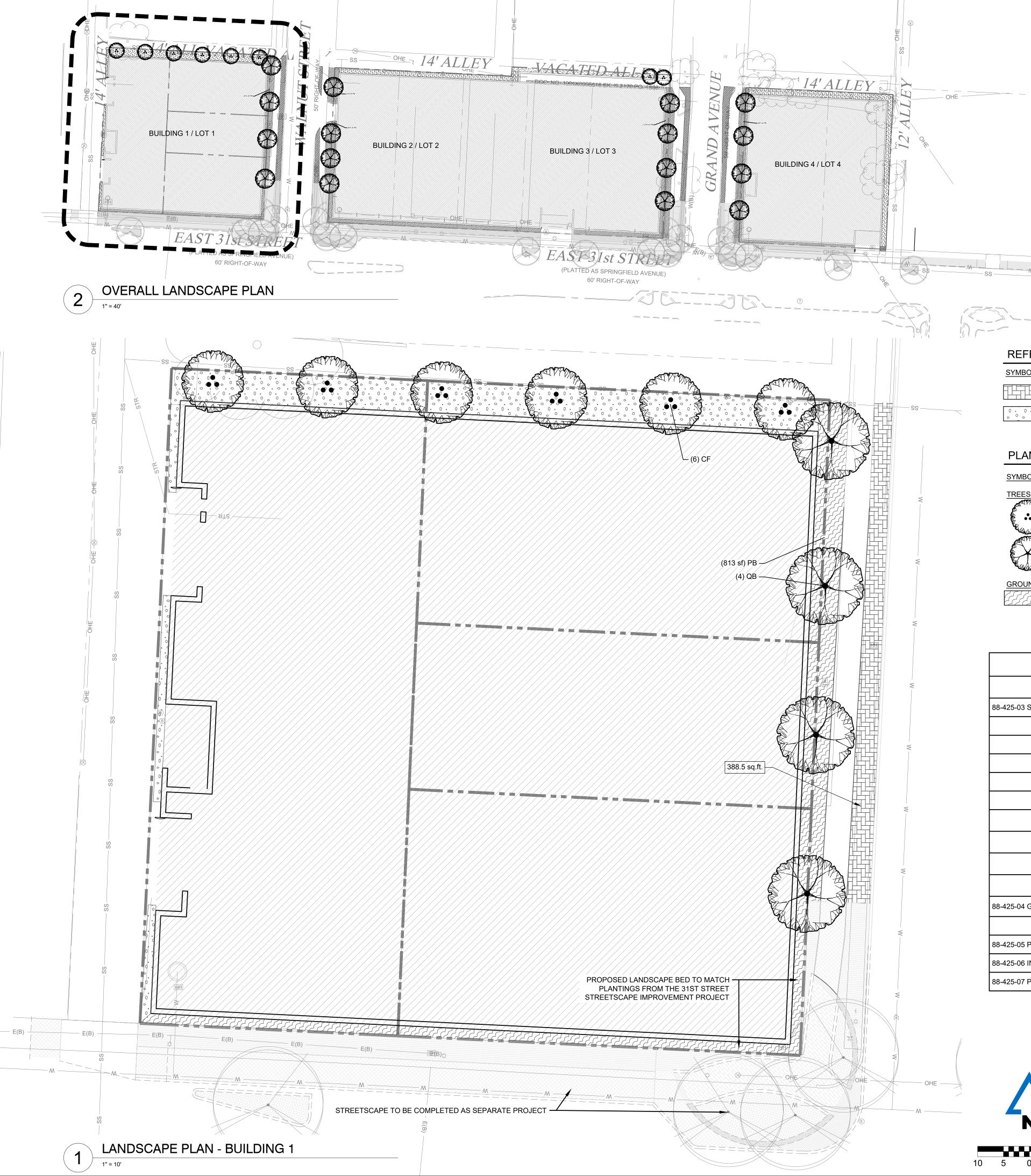
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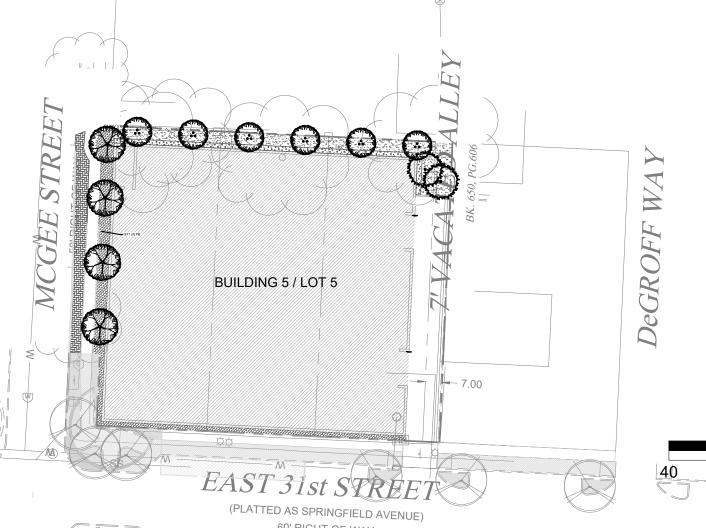
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STREETCAR LOFTS
3038 & 3042 WALNUT ST., 3045 MCGEE ST., 11
ST., 12 E 31ST ST., 24 E 31ST ST.,12 E 31ST ST
KANSAS CITY, MO
UR PLAN

20 10 0

DRAWING NO. C402





2024-10-17 15:51

2024-10-18 11:19

<u>CONT</u>

REFERENCE NOTES SCHEDULE BUILDING 1

<u>QTY</u> DESCRIPTION 389 sf Standard 3 5/8ths X 7 5/8ths Brick Herringbone Pattern 2-3" Native Missouri Rock Mulch @ 4" Depth 899 sf

PLANT SCHEDULE BUILDING 1

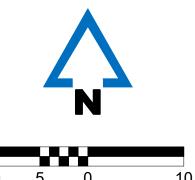
CODE QTY BOTANICAL / COMMON NAME

Carpinus betulus 'Frans Fontaine' / Frans Fontaine Hornbeam B&B, 2" Cal.

B&B, 2" Cal. Quercus bicolor 'Bonnie and Mike' / Beacon® Oak

813 sf Shrub/Perennial Bed / To Match 31st Street Planting Beds

OVERA	LL LANDSCAPE REQUIREMENTS	
	REQUIREMENT	PROPOSED
88-425-03 STREET TREES	ONE TREE REQUIRED PER 30LF OF STREET FRONTAGE	
- WALNUT STREET (EAST SIDE)	127 LF OF FRONTAGE 4.2 TREES REQUIRED	4 TREES PROVIDED
- WALNUT STREET (WEST SIDE)	120 LF OF FRONTAGE 4.0 TREES REQUIRED	4 TREES PROVIDED
- GRAND AVE (EAST SIDE)	127 LF OF FRONTAGE 4.2 TREES REQUIRED	4 TREES PROVIDED
- GRAND AVE (WEST SIDE)	120 LF OF FRONTAGE 4.0 TREES REQUIRED	4 TREES PROVIDED
- MCGEE STREET (EAST SIDE)	125 LF OF FRONTAGE 4.2 TREES REQUIRED	4 TREES PROVIDED
- 31ST STREET (LOT 1)	128 LF OF FRONTAGE 4.2 TREES REQUIRED	4 TREES PROVIDED (PER THE 31ST STREET IMPROVEMENT PROJECT)
- 31ST STREET (LOTS 2 & 3)	260 LF OF FRONTAGE 8.7 TREES REQUIRED	8 TREES PROVIDED (PER THE 31ST STREET IMPROVEMENT PROJECT)
- 31ST STREET (LOT 4)	114 LF OF FRONTAGE 3.8 TREES REQUIRED	4 TREES PROVIDED (PER THE 31ST STREET IMPROVEMENT PROJECT)
- 31ST STREET (LOT 5)	143 LF OF FRONTAGE 4.8 TREES REQUIRED	4 TREES PROVIDED (PER THE 31ST STREET IMPROVEMENT PROJECT)
88-425-04 GENERAL	ONE TREE PER 5,000 SQFT OF PRINCIPAL BUILDING COVERAGE	
- SITE	70,690 BUILDING SQFT 14.1 TREES REQUIRED	16 TREES PROVIDED
88-425-05 PERIMETER VEHICULAR USE AREA LANDSCAPE	NA	
88-425-06 INTERIOR VEHICLE USE AREA LANDSCAPE	NA	
88-425-07 PARKING GARAGE SCREENING	DENSELY PLANTED LANDSCAPE BUFFER @ 10' W. MIN.	NOT PROVIDED





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> PROJECT INFO 2024001836-000

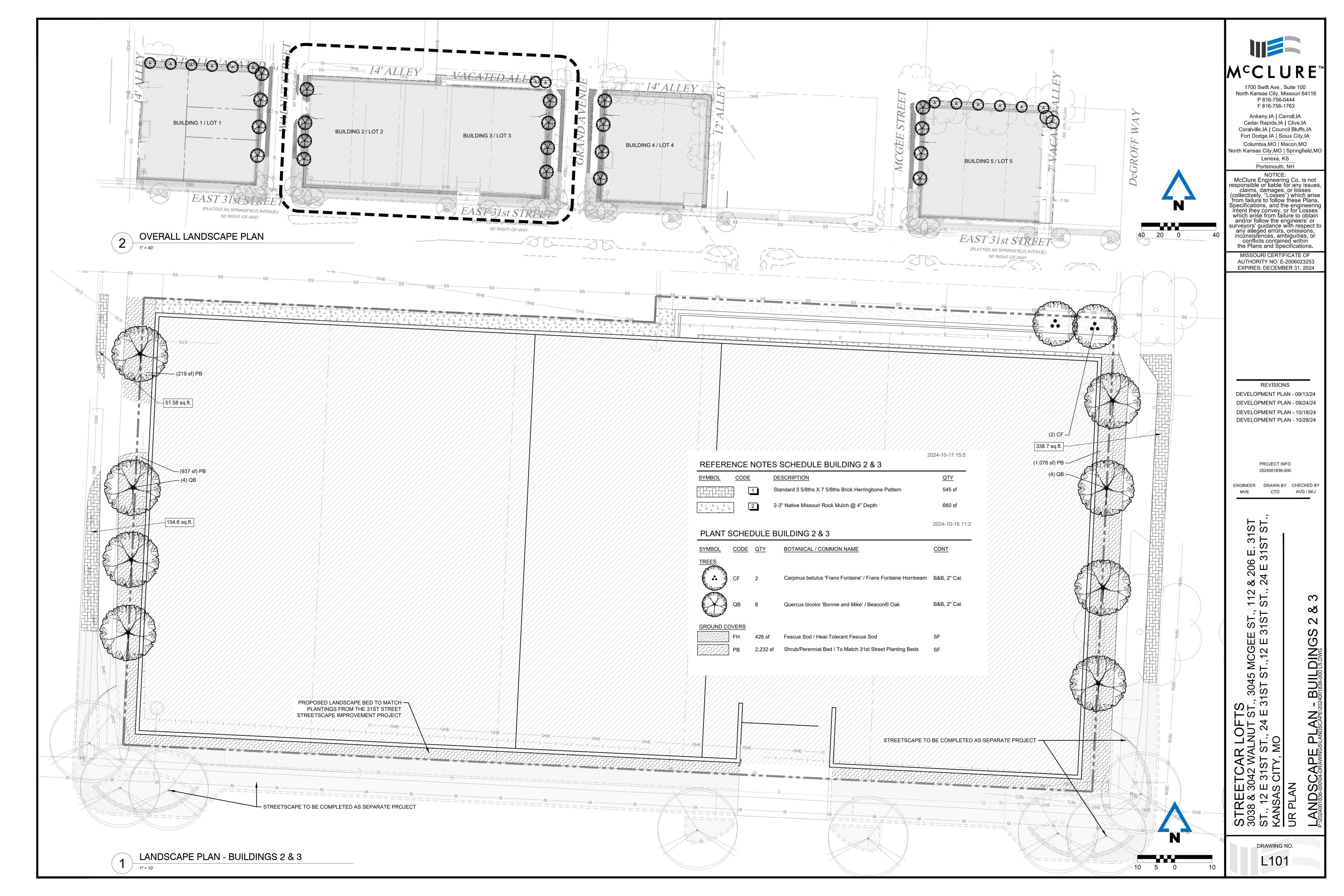
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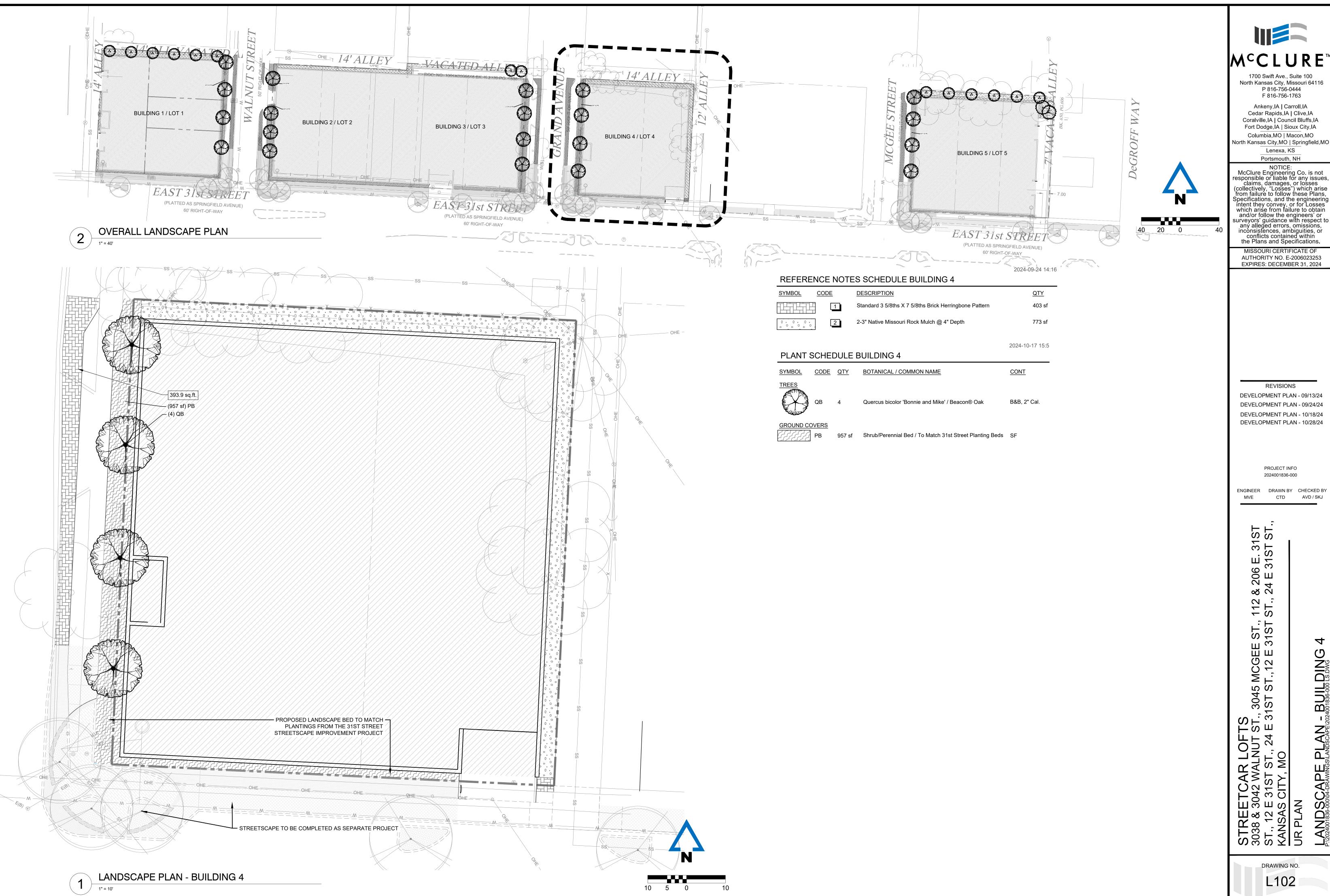
206 E. 31ST 4 E 31ST ST. & ~\div 112 ST., STREETCAR LOFTS
3038 & 3042 WALNUT ST., 3045 MCGEE ST., 11
ST., 12 E 31ST ST., 24 E 31ST ST.,12 E 31ST ST
KANSAS CITY, MO
UR PLAN

BUILDING 4001836-000 LS.DWG

LANDSCAPE PLAN P. 2.72024001836-000004-DRAWINGS\LANDSCAPE\L

L100





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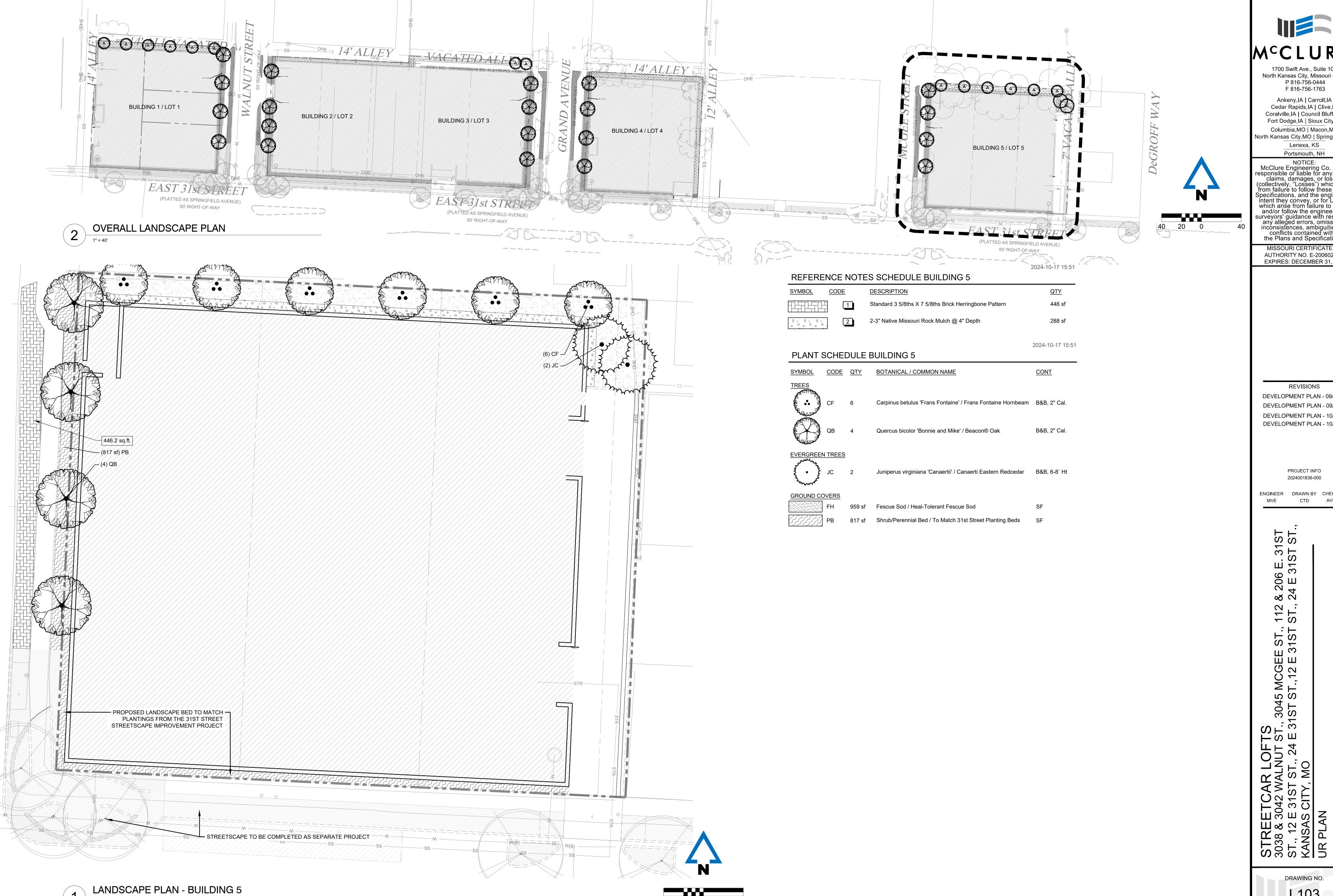
DEVELOPMENT PLAN - 09/24/24 DEVELOPMENT PLAN - 10/18/24 DEVELOPMENT PLAN - 10/28/24

ENGINEER DRAWN BY CHECKED BY

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LANDSCAPE PLAN - 5:2024001836-00004-DRAWINGS\LANDSCAPE\202



1" = 10'

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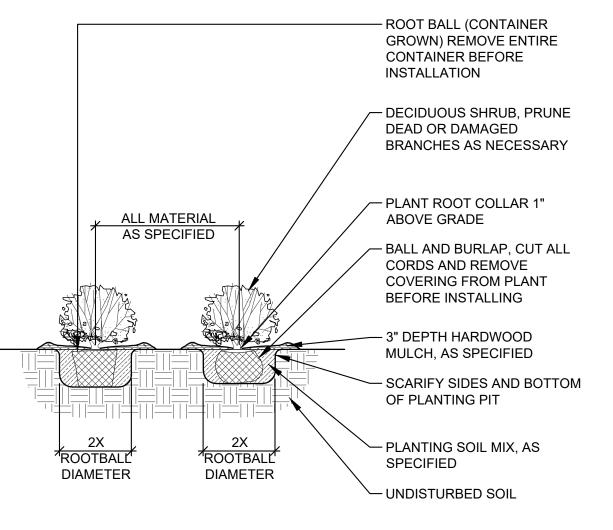
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206 E. 31ST 4 E 31ST ST. & Å 112 ST.,

BUILDING 4001836-000 LS.DWG

LANDSCAPE PLAN
PS. (2024001836-000\04-DRAWINGS\LANDSCAPE\)

DRAWING NO. L103



- EXTERIOR FACE OF WALL - FOUNDATION ROCK MOW BAND MIN 3" DEPTH WITH FABRIC WEED BARRIER UNDERPAYMENT; RE PLANT SCHEDULE FOR ROCK TYPE - METAL EDGING, TYP. - SUBGRADE TYP. 2'-0" #\`````````````````````````\

SHRUB AND PERENNIAL PLANTING

FOUNDATION ROCK MOW BAND 329413.01-09

LANDSCAPE NOTES:

1. FIELD VERIFY UTILITIES SHOWN ON PLANS PRIOR TO WORK COMMENCEMENT, INFORMATION SHOWN ON PLAN IS FROM AVAILABLE INFORMATION AND ALL LOCATIONS SHOWN SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE TO UTILITIES MADE FROM CONSTRUCTION ACTIVITY. IMMEDIATELY NOTIFY PROJECT LANDSCAPE ARCHITECT AND ENGINEER IF DISCREPANCIES ARISE.

2. COMPLETE REQUIRED LANDSCAPING FOR THE ENTIRE SITE IN CONFORMANCE TO THE PLANS AND SPECIFICATIONS, INCLUDING BUT NOT LIMITED TO: SEEDED AREAS, SODDED AREAS, SHRUB BEDS, AND SITE CLEAN-UP.

- 3. VERIFY QUANTITIES PRIOR TO COMMENCING WORK. REPORT DISCREPANCIES TO THE LANDSCAPE ARCHITECT. PLANT MATERIAL TO BE SPACED AS SHOWN, UNLESS OTHERWISE NOTED.
- 4. PLANT MATERIAL SHALL COMPLY WITH ALL SIZING AND GRADING STANDARDS OF LATEST EDITION OF AMERICAN STANDARD FOR NUSERY STOCK (A.S.N.S.) LATEST EDITION PUBLISHED BY (ANLA) ANSI 260.1. THIS IS A REPRESENTATIVE GUIDELINE SPECIFICATION ONLY AND WILL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR THE PLANT MATERIAL.
- 5. THE OWNER RESERVES THE RIGHT TO SUBSTITUTE PLANT MATERIAL, TYPE, SIZE AND/OR QUANTITY. LARGER SIZED PLANT MATERIALS OF THE SPECIES LISTED MAY BE USED IF THE STOCK CONFORMS TO A.S.N.S. VEGETATION SUBSTITUTIONS SHALL BE APPROVED BY PROJECT LANDSCAPE ARCHITECT. SUBSTITUTIONS MADE WITHOUT WRITTEN APPROVAL WILL BE REPLACED WITH APPROVED SELECTIONS AT CONTRACTOR'S COST.
- 6. DISTURBED AREAS DUE TO CONSTRUCTION ACTIVITIES NOT IDENTIFIED ON THESE PLANS SHALL BE REPAIRED AND RESTORED TO ORIGINAL OR BETTER CONDITIONS AT CONTRACTOR'S COST. SOD WITH A TURF-TYPE TALL FESCUE BLEND SHALL BE PROVIDED FOR AREAS NOT DESIGNATED AS BEDS & PAVEMENT.
- 7. CONTRACTOR SHALL COMPLY WITH APPLICABLE CODES AND ORDINANCES REGARDING LANDSCAPING. REFER TO SPECIFICATIONS FOR PLANT MATERIAL, SOILS, AND INSTALLATION
- 8. INSTALL PLANT MATERIAL IN ACCORDANCE WITH A.S.N.S. STANDARDS.
- 9. INSTALL FINISHED GRADES OF SOD, LANDSCAPE BEDS, AND MULCH 1" BELOW ABUTTING PAVEMENT SURFACES TO ALLOW UNINHIBITED DRAINAGE TO NON-PAVEMENT SURFACES.
- 10. REMOVE ALL TWINE, WIRE, AND BURLAP FROM TREE AND SHRUB ROOT BALLS. REMOVE ALL PLASTIC WRAP, FABRIC ROPE, ROT PROOF WRAP, AND PLANT IDENTIFICATION TAGS.
- 11. TREES SHALL NOT BE PLANTED CLOSER THAN EIGHT HORIZONTAL FEET OF UNDERGROUND UTILITIES UNLESS OTHERWISE NOTED OR PER PLANS. MODIFICATIONS TO TREE PLACEMENT SHALI BE COORDINATED WITH THE LANDSCAPE ARCHITECT AND CAN BE SUBJECT TO CITY REVIEW AND APPROVAL. CONTRACTOR IS RESPONSIBLE FOR UNAPPROVED RELOCATION(S) OR MODIFICATION(S) TO TREE LOCATIONS.
- 12. PROVIDE NATURAL TOPSOIL THAT IS FERTILE, FRIABLE, WITHOUT MIXTURE OF SUBSOIL MATERIALS, AND OBTAINED FROM A WELL DRAINED, AVAILABLE SITE. IT SHALL NOT CONTAIN SUBSTANCES WHICH MAY BE HARMFUL TO PLANT GROWTH. TOPSOIL SHALL BE SCREENED AND FREE FROM CLAY, LUMPS, STONES, ROOTS, PLANTS, OR SIMILAR SUBSTANCES 1" OR MORE IN DIAMETER, DEBRIS, OR OTHER OBJECTS WHICH MIGHT BE A HINDRANCE TO PLANTING OPERATIONS. TOPSOIL SHALL CONTAIN AT LEAST 4-6% ORGANIC MATTER BY WEIGHT AND HAVE A PH RANGE OF 5.5 TO 7.0.
- 13. PLANT MATERIAL AND IRRIGATION SYSTEM TO BE GUARANTEED FOR ONE (1) YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION AND ACCEPTANCE. PLANT MATERIALS SHALL BE A ONE-TIME-REPLACEMENT AND RECORDS KEPT BY THE LANDSCAPE CONTRACTOR FOR ALL REPLACEMENTS.
- 14. PLANT MATERIAL SHALL BE OF EXCELLENT QUALITY, FREE OF DISEASE & INFESTATION-TRUE TO TYPE, VARIETY, SIZE SPECIFIED, & FORM PER ANSI STANDARDS.
- 15. WATER-IN EACH PLANT IMMEDIATELY FOLLOWING INSTALLATION AND CONTINUE WATERING ROUTINE UNTIL SUBSTANTIAL PROJECT COMPLETION. CONTRACTOR IS REQUIRED TO COORDINATE WATERING REQUIREMENTS TO THE OWNER THEREAFTER.

2024-10-17 15:55

329333.01-04

REFERENCE NOTES SCHEDULE					
SYMBOL CODE	DESCRIPTION	QTY			
1	Standard 3 5/8ths X 7 5/8ths Brick Herringbone Pattern	1,790 sf			
0 . 0 . 0 . 2	2-3" Native Missouri Rock Mulch @ 4" Depth	2.845 sf			

	1	Standard 3 5/8ths X 7 5/8ths Brick Herringbone Pattern	1,790 sf
0.0.0.	2	2-3" Native Missouri Rock Mulch @ 4" Depth	2,845 sf

		2024-10-17 15:53
ANT SCHEDULE		

SYMBOL	CODE	<u>QTY</u>	BOTANICAL / COMMON NAME	CONT
TREES	CF	14	Carpinus betulus 'Frans Fontaine' / Frans Fontaine Hornbeam	B&B, 2" Cal.

QB	20	Quercus bicolor 'Bonnie and Mike' / Beacon® Oak	B&B, 2" Cal.

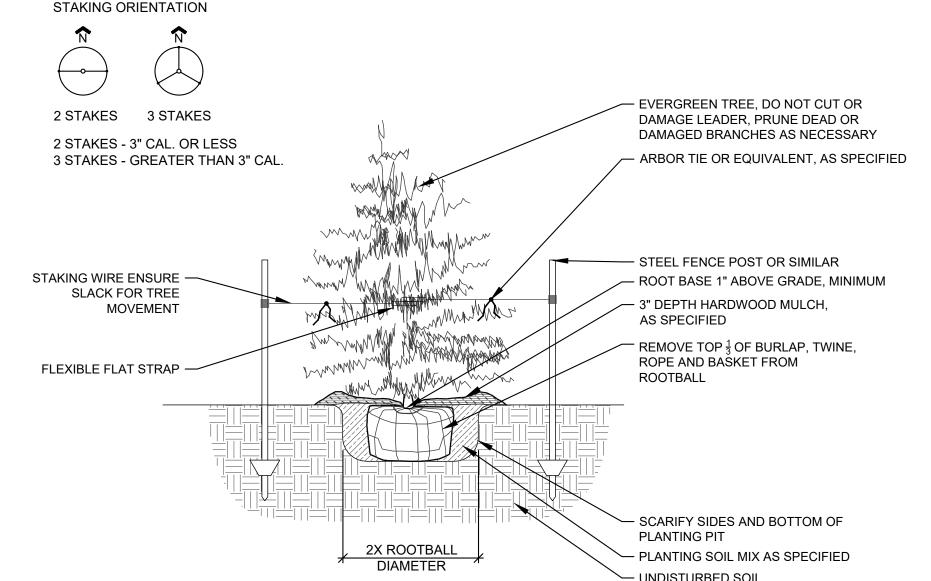


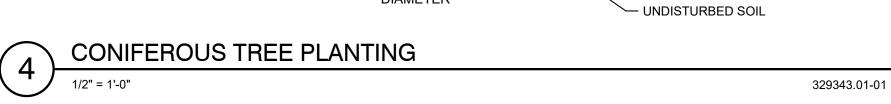
GROUND COVERS			
FH	1,385 sf	Fescue Sod / Heal-Tolerant Fescue Sod	SF

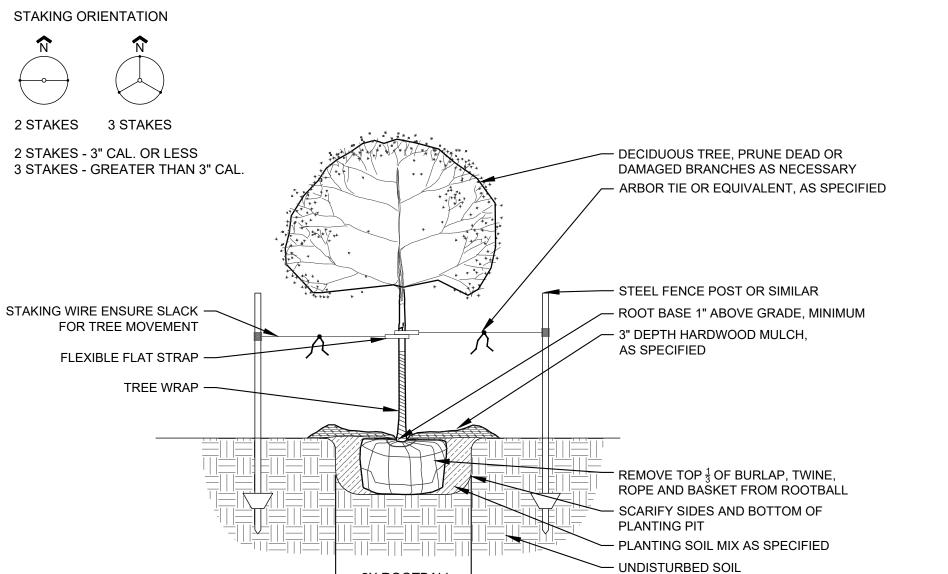
FH	1,385 sf	Fescue Sod / Heal-Tolerant Fescue Sod	SF
PB	4,819 sf	Shrub/Perennial Bed / To Match 31st Street Planting Beds	SF

PLANTING AND REFERENCE SCHEDULE

LANSCAPE NOTES







DECIDUOUS TREE PLANTING

329343.01-03

1700 Swift Ave., Suite 100 North Kansas City, Missouri 64116

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EXPIRES: DECEMBER 31, 2024

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DEVELOPMENT PLAN - 09/13/24 DEVELOPMENT PLAN - 09/24/24 DEVELOPMENT PLAN - 10/18/24 DEVELOPMENT PLAN - 10/28/24

REVISIONS

PROJECT INFO 2024001836-000

ENGINEER DRAWN BY CHECKED BY CTD

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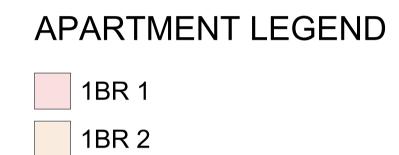
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ETC, 3042 E 318 S CIT

DRAWING NO





STUDIO 1

STUDIO 2

1BR 2
653 SF

STUDIO 1
516 SF

STUDIO 2
452 SF

STUDIO 1
516 SF

STREETCAR LOFTS

SHEET TITLE BUILDING 1 - TYPICAL OVERALL PLAN RESIDENTIAL

PROJECT NUMBER: 24136

SHEET NUMBER:

A-102



STREETCAR LOFTS

SHEET TITLE BUILDING 2/3 - TYPICAL OVERALL PLAN RESIDENTIAL

PROJECT NUMBER: 24136

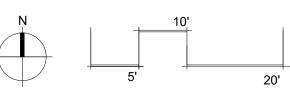
SHEET NUMBER:

A-103



BUILDING 1 - UPPER FLOORS - TYPICAL OVERALL PLAN

1" = 10'-0"



1BR 1

1BR 2

STUDIO 1

APARTMENT LEGEND





APARTMENT LEGEND

1BR 1

1BR 2

STUDIO 1



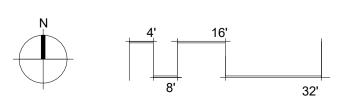
STREETCAR LOFTS

SHEET TITLE BUILDING 4 - TYPICAL OVERALL PLAN RESIDENTIAL

PROJECT NUMBER: 24136

SHEET NUMBER:

A-104



BUILDING 1 - UPPER FLOORS - TYPICAL OVERALL PLAN

1" = 10'-0"



STREETCAR LOFTS

SHEET TITLE BUILDING 5 - TYPICAL OVERALL PLAN RESIDENTIAL

PROJECT NUMBER: 24136

SHEET NUMBER:

A-105



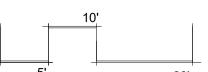
APARTMENT LEGEND

1BR 1 1BR 2

1BR 2 STUDIO 1

BUILDING 1 - UPPER FLOORS TYPICAL OVERALL PLAN
1" = 10'-0"





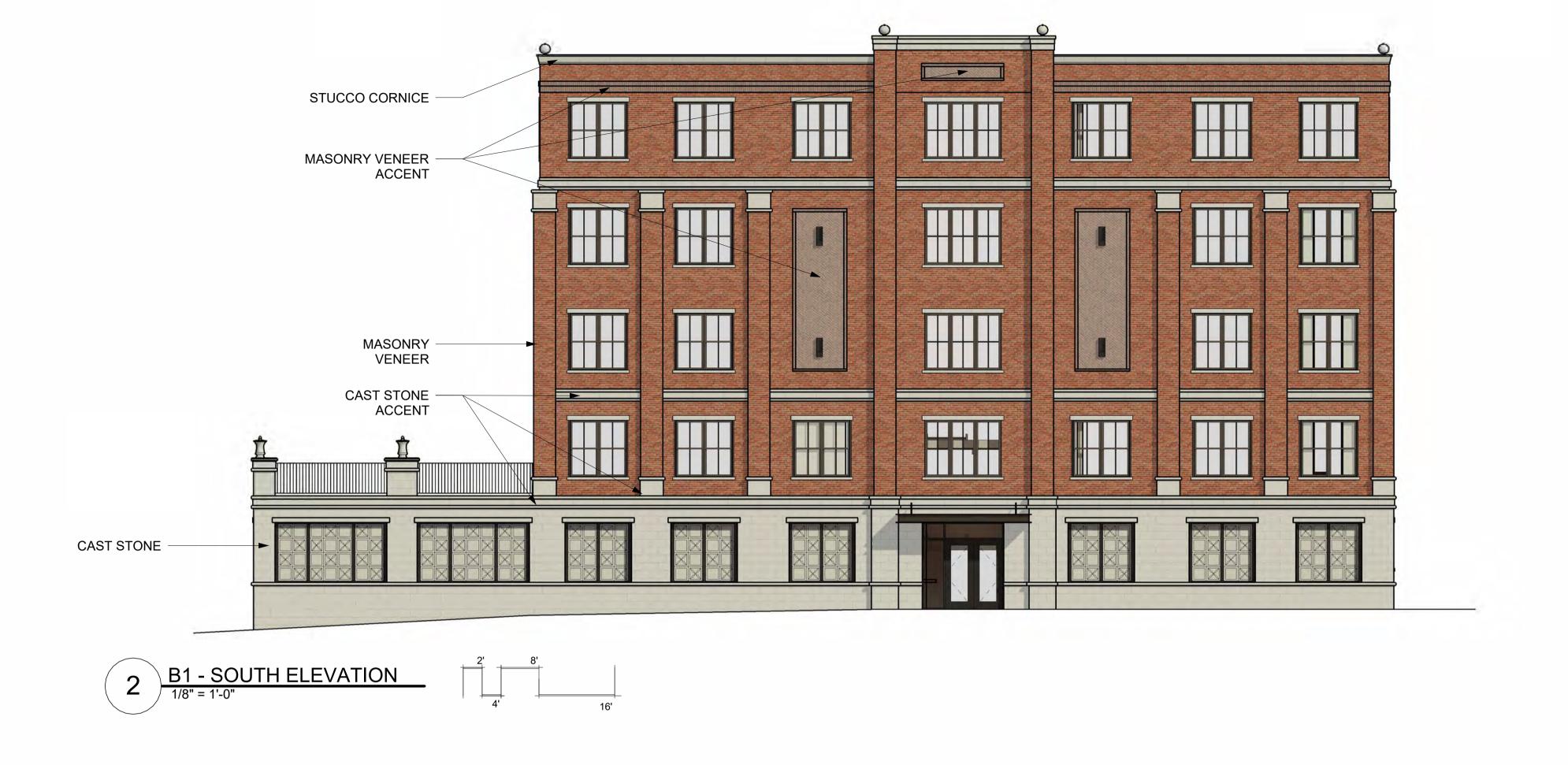


SHEET TITLE
BUILDING 1 - EXTERIOR
ELEVATIONS

PROJECT NUMBER: 24136

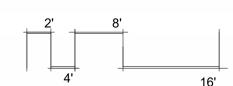
SHEET NUMBER:

A-200





1 B1 - NORTH ELEVATION
1/8" = 1'-0"





31ST STREET, WALNUT JACKSON COUNTY STREETCAR

SHEET TITLE BUILDING 1 - EXTERIOR ELEVATIONS

PROJECT NUMBER: 24136

SHEET NUMBER:

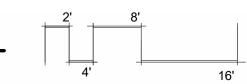
A-201

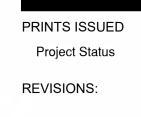






B1 - WEST ELEVATION
1/8" = 1'-0"

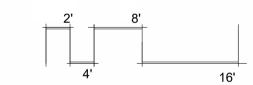


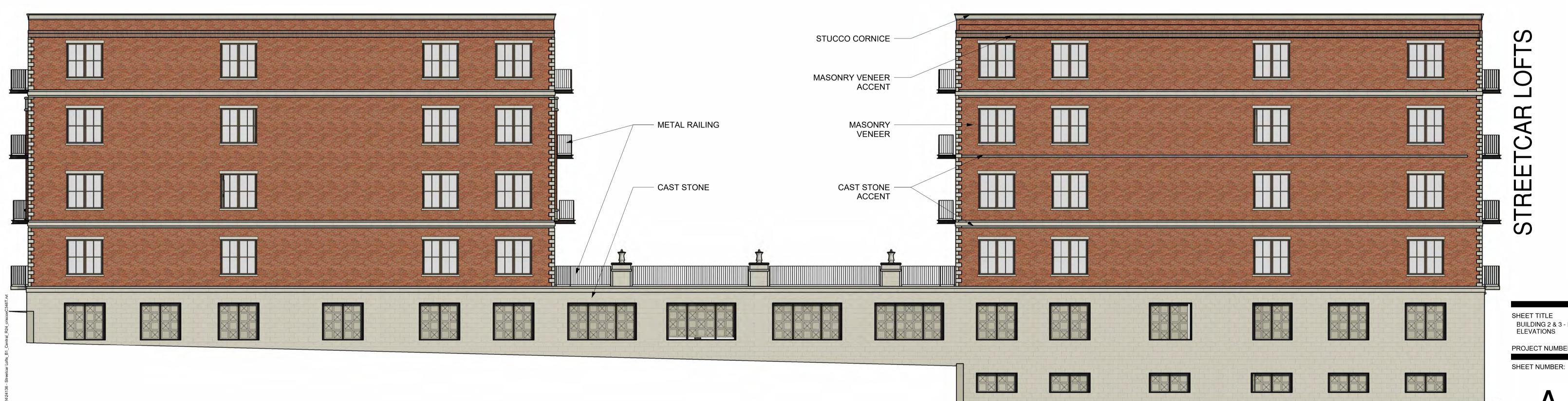






B2&3 - SOUTH ELEVATION
1/8" = 1'-0"





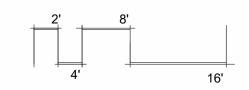
SHEET TITLE
BUILDING 2 & 3 - EXTERIOR
ELEVATIONS

PROJECT NUMBER: 24136

A-202

EAST 31ST STREET, WALNUT JACKSON COUNTY

B2&3 - NORTH ELEVATION
1/8" = 1'-0"



REVISIONS:

SHEET TITLE
BUILDING 2 & 3 - EXTERIOR
ELEVATIONS

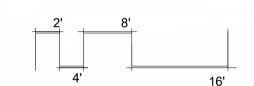
PROJECT NUMBER: 24136

SHEET NUMBER:

A-203

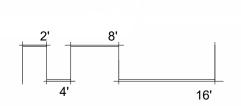


2 B2&3 - EAST ELEVATION
1/8" = 1'-0"





1 B2&3 - WEST ELEVATION
1/8" = 1'-0"





STREETCAR

SHEET TITLE BUILDING 4 - EXTERIOR ELEVATIONS

PROJECT NUMBER: 24136

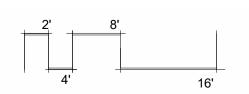
SHEET NUMBER:

A-204





B4 - NORTH ELEVATION
1/8" = 1'-0"



SHEET TITLE
BUILDING 4 - EXTERIOR
ELEVATIONS

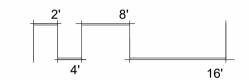
PROJECT NUMBER: 24136

SHEET NUMBER:

A-205

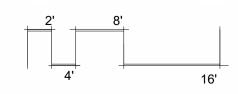














SHEET TITLE BUILDING 5 - EXTERIOR ELEVATIONS

PROJECT NUMBER: 24136

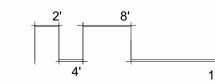
SHEET NUMBER:

A-206





B5 - NORTH ELEVATION
1/8" = 1'-0"





SHEET TITLE BUILDING 5 - EXTERIOR ELEVATIONS

PROJECT NUMBER: 24136

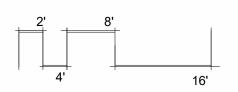
SHEET NUMBER:

A-207



B5 - EAST ELEVATION
1/8" = 1'-0"





B5 - WEST ELEVATION
1/8" = 1'-0"