



# CITY PLAN COMMISSION STAFF REPORT

City of Kansas City, Missouri  
City Planning & Development Department  
[www.kcmo.gov/cpc](http://www.kcmo.gov/cpc)

January 3, 2023

**Project Name**  
Project Royal

**Docket #2**

**Request**  
CD-CPC-2022-00194  
Development Plan

**Applicant**  
Dean Randolph  
Davidson Architecture and Engineering

**Owner**  
Brett Elifritz  
Platform Ventures

**Location** 14820 Thunderbird Rd  
**Area** About 53 acres  
**Zoning** M1-5  
**Council District** 6<sup>th</sup>  
**County** Jackson  
**School District** Grandview

## Surrounding Land Uses

**North:** Manufacturing, zoned UR  
**South:** Manufacturing, zoned M1-5  
**East:** Manufacturing, zoned M1-5  
**West:** Manufacturing, zoned M1-5

## Major Street Plan

The City's Major Street Plan does not identify any streets at this location

## Land Use Plan

The Martin City/Richards Gebaur Area Plan recommends Industrial uses for the subject property.

## APPROVAL PROCESS



## PROJECT TIMELINE

The application for the subject request was filed on October 28, 2022. Scheduling deviations from 2022 Cycle X have occurred due to needed revisions.

## NEIGHBORHOOD AND CIVIC ORGANIZATIONS NOTIFIED

There are no Neighborhood Associations tied to the subject site.

## REQUIRED PUBLIC ENGAGEMENT

Public engagement as required by 88-505-12 applies to this request. Applicant hosted a meeting on December 20, 2022. A summary of the meeting is attached to the staff report, see Attachment #3.

## EXISTING CONDITIONS

The subject site is currently undeveloped. It is within the existing CenterPoint Intermodal Development. Manufacturing uses are present in all directions surrounding the proposed development. There is no associated regulated stream with the subject site.

## SUMMARY OF REQUEST + KEY POINTS

The applicant is seeking approval of a development plan which also serves as a preliminary plat, in District M1-5 (Manufacturing) to allow for 500,000 square foot of office and warehouse development on one (1) lot and one (1) tract, on about 53 acres generally located at the southwest corner of 150 Hwy and Thunderbird Road.

## CONTROLLING CASE

There is no controlling case for the subject site.

## PROFESSIONAL STAFF RECOMMENDATION

Docket #2 Recommendation: **Approval Subject to Conditions**

**PLAN REVIEW**

The applicant is seeking approval of a Development Plan in District M1-5 acres generally located at the southwest corner of 150 Hwy and Thunderbird Road.

The applicant is requesting approval of a Development Plan to allow for the creation of a 500,000 SF warehouse. The plan is for "Project Royal" a food processing and warehouse distribution center. The warehouse portion of the building is proposed to be constructed of metal panel, while the office is proposed to be made architectural metal panels, stone veneer, and glass panels.

The plan proposes 1 lot and 1 tract with access from the existing Thunderbird public street. The plan shows two driveways off Thunderbird Road. There is a third driveway off of a private drive to the south. The plan does not propose any sidewalks on the exterior of the lot along Thunderbird Road. There are internal sidewalks for pedestrian connections.

**WAIVERS AND DEVIATIONS**

The applicant is not seeking any waivers or deviations to the Zoning and Development Code.

**PLAN ANALYSIS**

\*indicates adjustment/deviation requested

Standards	Applies	Meets	More Information
Lot and Building Standards (88-140)	Yes	Yes	Complies with M1-5 zoning standards
Accessory or Use- Specific Standards (88-305 – 385)	No		
Boulevard and Parkway Standards (88-323)	No		
Parkland Dedication (88-408)	No		
Parking and Loading Standards (88-420)	Yes	Yes	705 parking spaces provided. 20 short term bicycle parking spaces provided.
Landscape and Screening Standards (88-425)	Yes	Yes	Sufficient screening from public ROW is provided.
Outdoor Lighting Standards (88-430)	Yes	Yes	Plan conforms to standards
Sign Standards (88-445)	No		Signs must be permitted separately
Pedestrian Standards (88-450) *	Yes	No	Applicant is proposing internal sidewalks. No sidewalks are provided along Thunderbird Road.

**SPECIFIC REVIEW CRITERIA****Development Plans, Project Plan, or Site Plan (88-516-05)**

In order to be approved, a development plan, project plan, or site plan must comply with all of the following criteria:

**A. The plan must comply with all standards of the Zoning and Development Code and all other applicable city ordinances and policies;**

Proposed Preliminary Plat complies with all standards of the Zoning and Development Code as well as the Martin City/Richards Gebaur Area Plan.

**B. The proposed use must be allowed in the district in which it is located;**

Proposed use of Limited Manufacturing is allowed by Section 88-140 of the Zoning and Development Code.

**C. Vehicular ingress and egress to and from the site, and circulation within the site must provide for safe, efficient, and convenient movement of traffic not only within the site but on adjacent roadways;**

Proposed vehicular ingress and egress to and from the site allows for safe and efficient movement. Access to the site is proposed from Thunderbird Road and a private drive.

**D. The plan must provide for safe, efficient, and convenient non-motorized travel opportunities, being pedestrian and bicycle movement, on the subject site;**

The proposed Preliminary Plat does not inhibit pedestrian circulation and safety. Pedestrian Circulation has been provided internally. Access to the site is from Thunderbird Road which is not improved and does not provide sidewalks.

**E. The plan must provide for adequate utilities based on City standards for the particular development proposed.**

There is existing public infrastructure serving the site. Additional utilities and infrastructure will be brought to City Standards after the applicant obtains an approved Final Plat.

**F. The location, orientation, and architectural features, including design and material, of buildings and other structures on the site must be designed to be compatible with adjacent properties.**

Adjacent properties are all manufacturing buildings. The style and design of the proposed building is compatible for the area.

**G. Landscaping, berms, fences, and/or walls must be provided to buffer the site from undesirable views, noises, lighting, or other off-site negative influences and to buffer adjacent properties from negative influences that may be created by the plan.**

Proposed landscaping is in conformance with the requirements as set forth in Section 88-425 of the Zoning and Development Code.

**H. The design of streets, drives, and parking areas within the project should result in a minimum of area devoted to asphalt or other impervious surfaces consistent with the needs of the project and city code requirements.**

The proposed building is over 500,000 SF with the required parking being 705 spaces. The applicant has provided open space around the exterior of the lot to conserve open space.

**I. The plan must identify trees to be removed and trees to be preserved during the development of the subject property with the goal of saving trees that are not required to be removed for the development of the property.**

There are no existing trees on the site. The applicant has proposed a landscape plan which shows 197 trees to be planted.

#### **ATTACHMENTS**

1. Conditions Report
2. Applicants Submittal
3. Public Engagement Materials

#### **PROFESSIONAL STAFF RECOMMENDATION**

City staff recommends **Approval Subject to Conditions** as stated in the conditions report.

Respectfully Submitted,



Matthew Barnes  
Planner

# PROJECT ROYAL

## KCMO DEVELOPMENT PLAN RE-SUBMISSION

### DECEMBER 12, 2022

## A NEW SINGLE STORY FOOD PROCESSING AND WAREHOUSE/DISTRIBUTION BUILDING



500 West 5th Street  
Charlotte, North Carolina 28202  
Telephone: (704) 342-7600  
Facsimile: (704) 342-7601

Manufacturing - Automotive

**Manufacturing - Automotive  
Food & Beverage - Distribution  
Retail - Hospitality**



**ARCHITECTS AND ENGINEERS, P.S.C.**  
10 Quality Street  
Lexington, Kentucky 40507-1450  
Telephone: (859) 281-5000  
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## COVER SHEET

OB NUMBER	SHEET NUMBER
7934	G-001

# NOT FOR CONSTRUCTION



500 West 5th Street  
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Telephone: (704) 342-7600  
Facsimile: (704) 342-7601

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## **Retail - Hospitality**



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AL

# development

# Site Plan

OB NUMBER	SHEET NUMBER
7934	A1.1

A1.2

A1.3

**Project Synopsis**

Governing Municipality:	Kansas City, Missouri
Governing Code:	2018 IBC, 2018 IFGC, 2018 IPC, 2018 IMC, 2017 NEC, 2018 IECC
Zoning:	M1-5
Total Site Area:	2,296,447 sq. ft., 52.72 ac.
Total Building Area:	481,388 sq. ft.
Building Area Ratio:	22%
Impervious Area:	1,177,544 sq. ft., 51.3%
Pervious Area:	1,118,903 sq. ft., 48.7%
Parking Spaces:	705
ADA Parking:	15 req. (2%) 16 proposed
Trailer Spaces:	141
Dock Positions:	Up to 24
Drive-In Doors:	1
Short-term bicycle:	72 req. 20 proposed (28%)

Long term bicycle parking requirements to be determined by future tenant finish plans.

# 1 | Site Plan

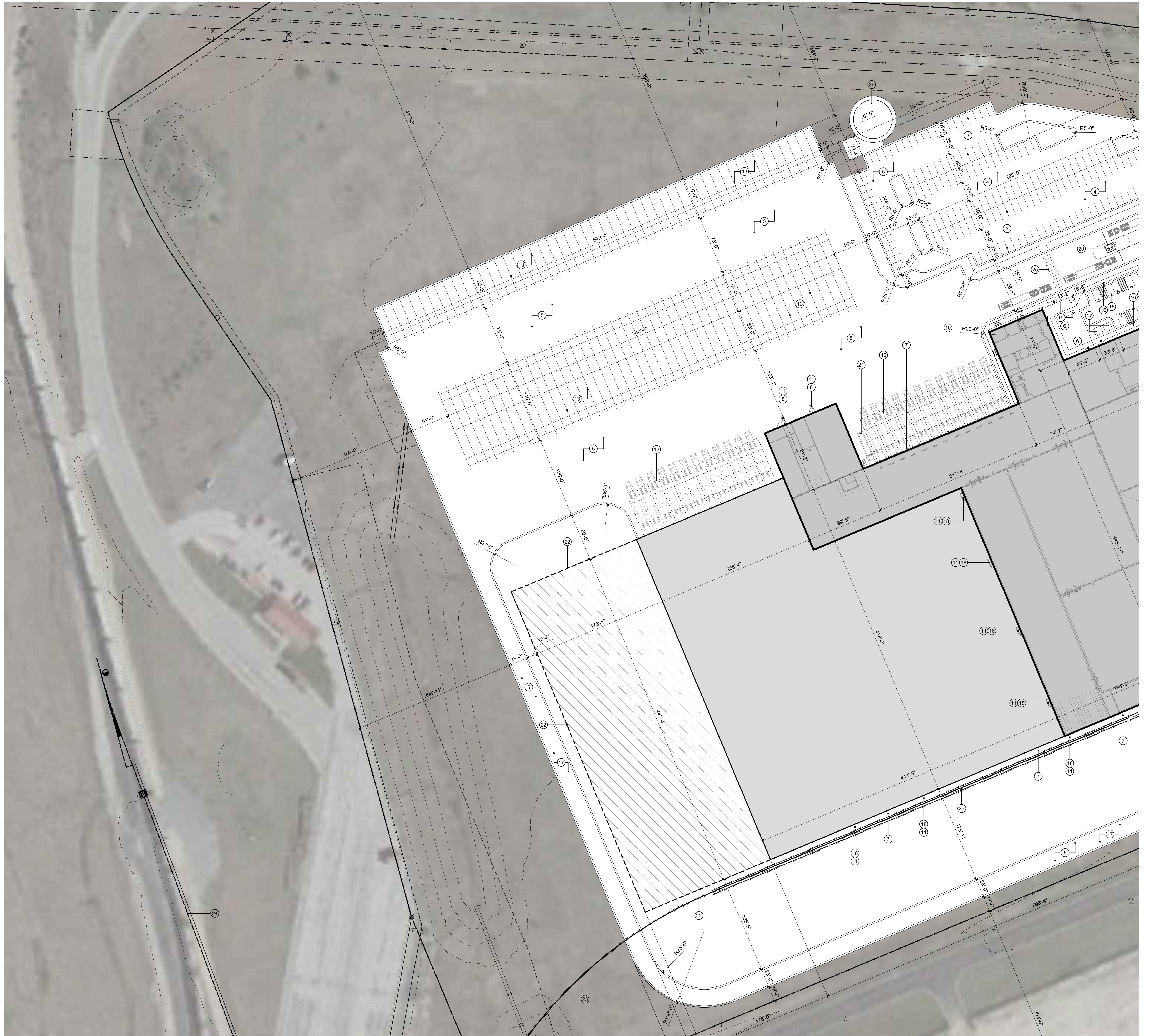
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scale: 1" = 100'-0"



north

# NOT FOR CONSTRUCTION



1 | Site Plan  
scale: 1" = 50'-0"



NOT FOR CONSTRUCTION

**Construction Notes**

1. Demolish portion of Thunderbird Road and construct new per plan.
2. Existing gravel road to be utilized for connections to internal private roads.
3. Parking lot striping to be painted white with 4" stroke.
4. Parking stall and drive aisle pavement design per geotechnical report recommendations.
5. Asphalt paving and concrete curb and gutters to meet Kansas City Missouri construction standards per Civil.
6. Provide 5'-0" x 6'-0" concrete stoop at all grade exit doors.
7. External downspout to be connected to storm sewer system below grade per civil engineering plans.
8. Exit doors to have a steel grate landing and stairs.
9. Provide 6' concrete filled galv. steel pipe bollards for all driveway entries.
10. Protect exposed downspouts within dock area. Install downspout protection per detail at dock downspouts.
11. Provide 6' concrete filled galv. steel pipe bollards (48" tall) on each side of bottom of exit stairs.
12. Provide 60'-0" deep concrete dock apron. Pavement design per geotechnical recommendations.
13. Provide 55'-0" deep trailer storage spaces. 12'-0" wide by 48' deep dock apron. Striping to be painted white with 4" stroke.
14. 36'-0" wide internal drive to be installed per plan with connections to Thunderbird Road.
15. Handicap and universal symbol painted white with 4" stroke.
16. Install handicap signage. Mount sign at not more than 60" a.f.g. to bottom. Sign to contain the universal handicap symbol and "Van accessible" as required by ADA and state laws.
17. Above ground transformer per civil.
18. Exit doors to have a steel grate landing and stairs. No concrete landing in these locations.
19. Location of short term bicycle parking rack. Total site wide.
20. Future tenant provided guard shack to monitor delivery services along Thunderbird extension with controlled gate access.
21. Trash cans to be 3' concrete filled galv. steel pipe bollards (48" tall) at corners.
22. Proposed KCS rail spur to terminate adjacent to building for cold storage loading.
23. Existing KCS rail spur located South.
24. Painted crosswalk through truck stacking at guard shack.
25. Private fire protection storage tank for sprinkler system and attached pump house.

DOC REL #	DATE	DESCRIPTION
	10/31/2022 12/12/2022	DEVELOPMENT PLAN DEVELOPMENT RE-SUBMITTAL

**Gray**

500 West 5th Street  
Charlotte, North Carolina 28202  
Telephone: (704) 342-7600  
Facsimile: (704) 342-7601

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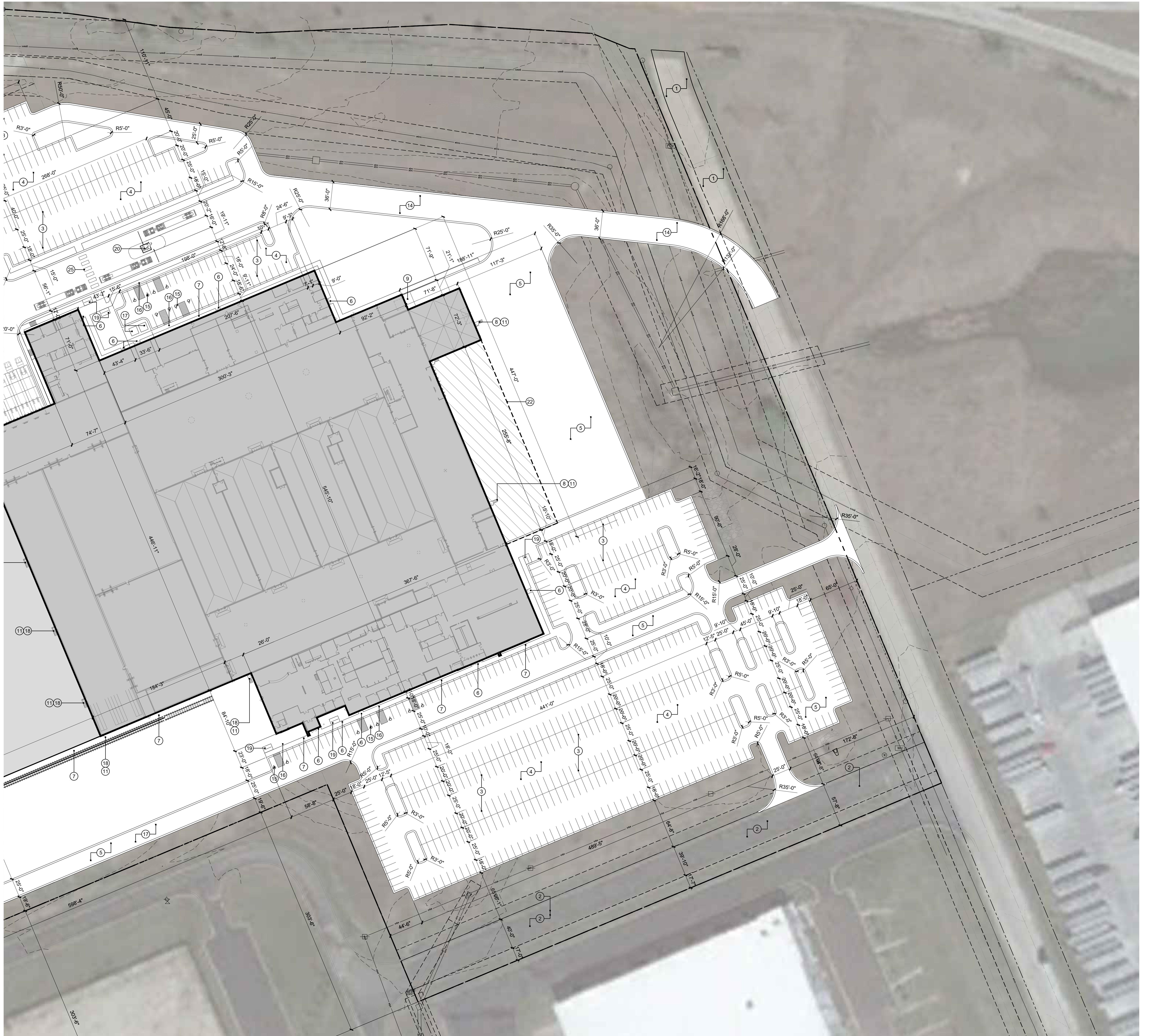
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CORP. SEAL

A Development Plan For:  
Project Royal  
KC MO

Enlarged Site Plan

JOB NUMBER	SHEET NUMBER
7934	A1.2



1 Site Plan  
scale: 1" = 50'-0"

NOT FOR CONSTRUCTION

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Enlarged Site Plan

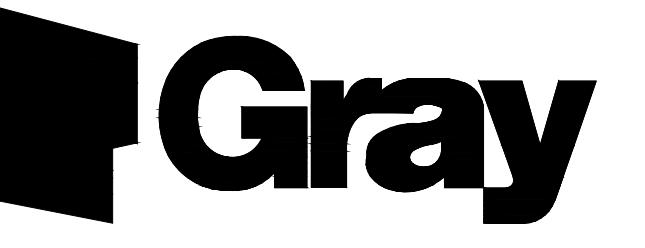
JOB NUMBER	SHEET NUMBER
7934	A1.3



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## Manufacturing - Automotive Food & Beverage, Distribution

## **Retail - Hospitality**

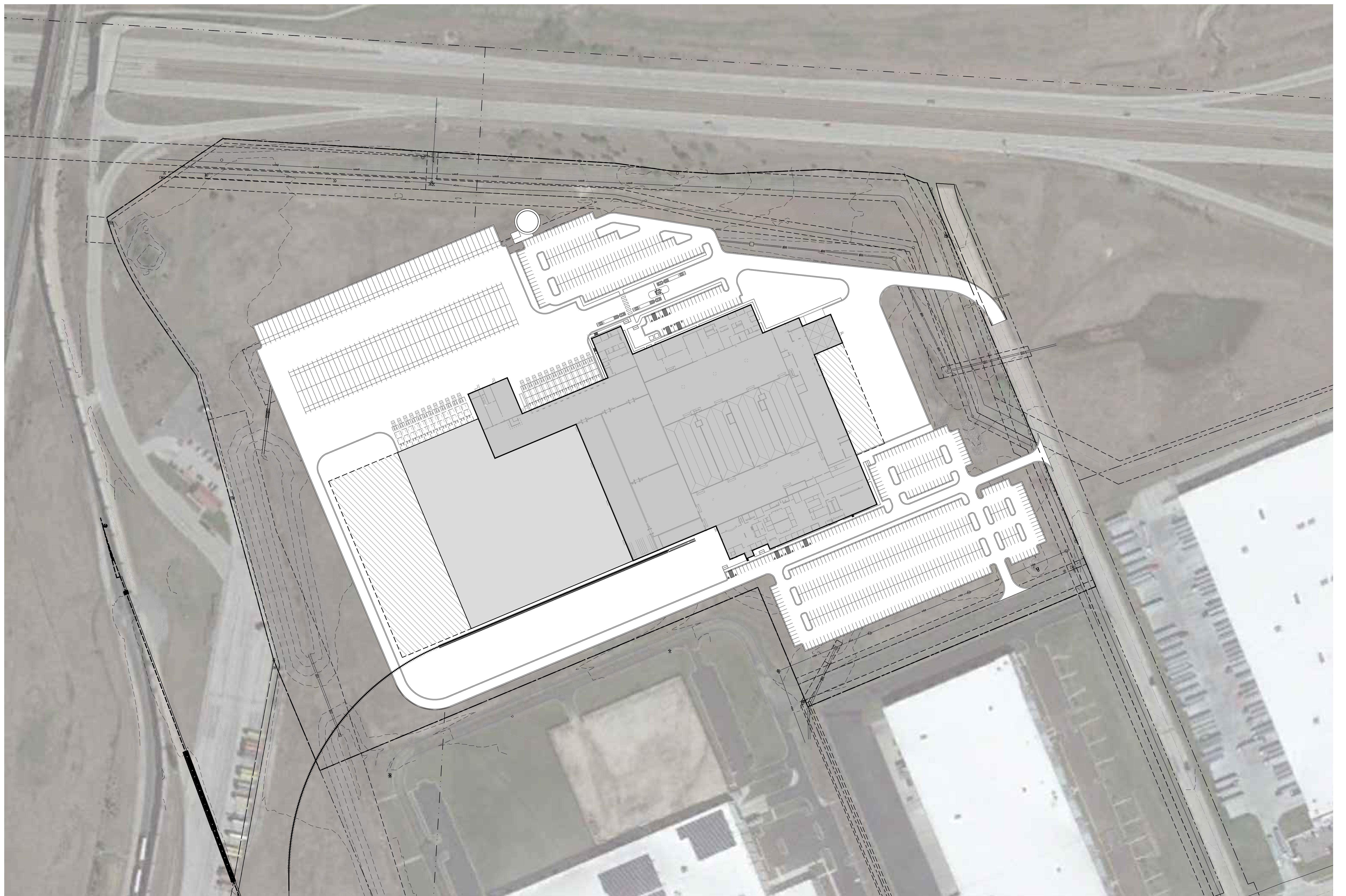


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# Phase 1 -

# Phase 2 -

# Phase 3 -

# 1 | Phasing Plan

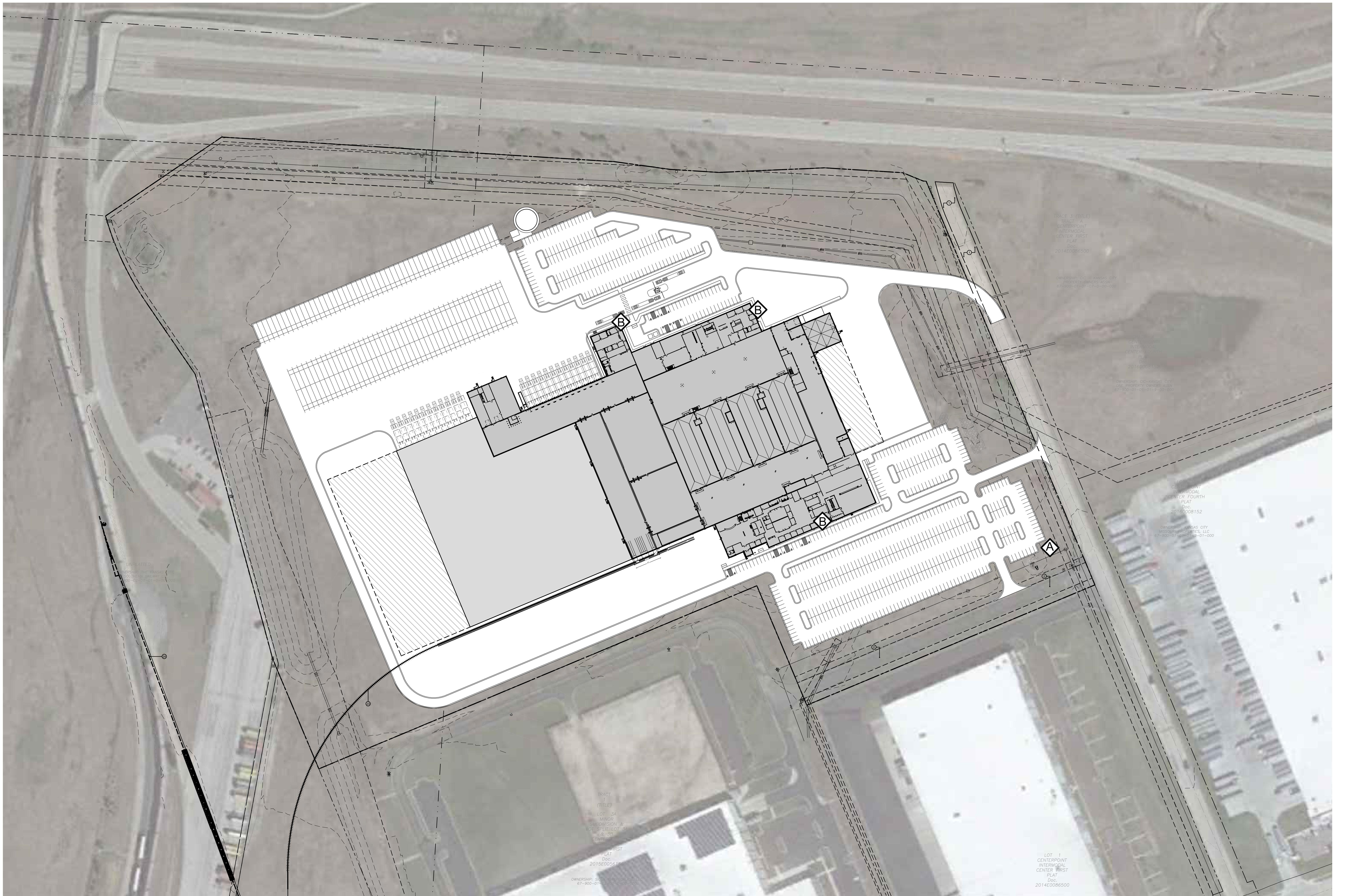
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scale: 1" = 100'-0"

# NOT FOR CONSTRUCTION

JOB NUMBER	SHEET NUMBER
7934	A1.4





# 1 Signage Plan

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scale: 1" = 100'-0"



north



Quantity:	1 per street frontage
Max Area:	50 sq. ft.
Setback:	10 ft.
Max Height:	6ft.
Illumination:	internal or external



Quantity:	2 (South and East Elevations)
Size:	11'-0" x 17'-4"
Area:	191 sq. ft.
Illumination:	Internally lit



Quantity: 1

Size: 5'-6" x 10'-0"

Area: 55 sq. ft.

Illumination: Internally lit

# 3 | A - Monument Signage

## 2 | B - Building Signage

# NOT FOR CONSTRUCTION



0 West 5th Street  
charlotte, North Carolina 28202  
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## Manufacturing - Automotive

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Food & Beverage - Distribution  
Retail - Hospitality**



**ARCHITECTS AND ENGINEERS, P.S.C.**  
**Quality Street**  
**Lexington, Kentucky 40507-1450**  
**Telephone: (859) 281-5000**  
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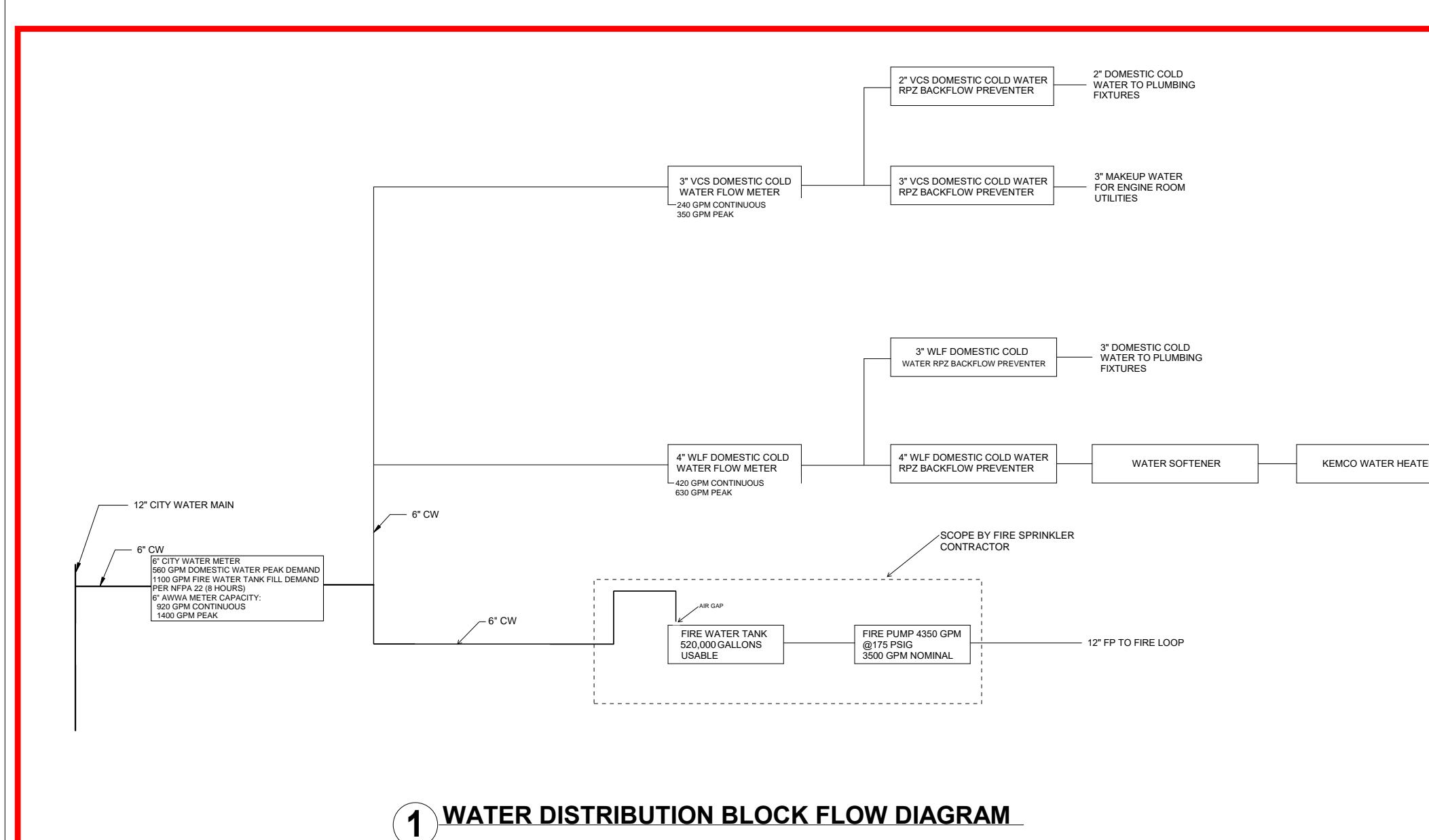
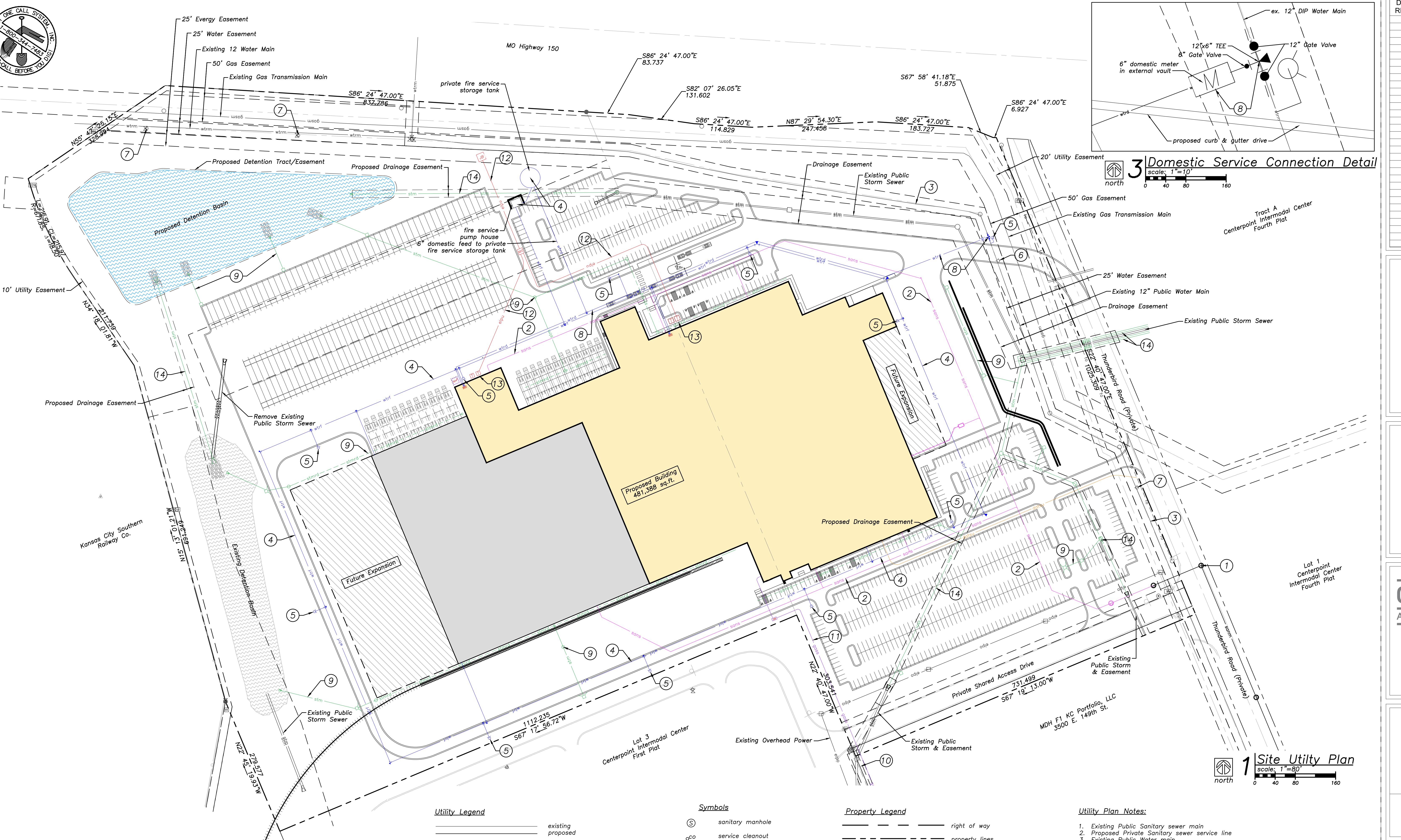
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# A Development Plan For: Project Royal KC MO

## Signage Details

JOB NUMBER	SHEET NUMBER
7934	A1.6





#### Utility Legend

#### Linetypes

sohm	sanitary main
sens	sanitary service
stsm	storm sewer (existing)
wtrf	storm sewer (solid wall, proposed)
wtrd	storm sewer (solid wall, proposed)
wtri	storm sewer (perforated, proposed)
gasm	natural gas main
gass	natural gas service schematic
elpu	underground primary electric
elsu	underground secondary electric
elpo	overhead electric
datu	underground cable/phone/data service
datsu	underground cable/phone/data service

#### Symbols

(5)	sanitary manhole
scn	service cleanout
fmrv	force main release valve
rect	rectangular structure
circ	circular structure
hydr	fire hydrant
gwv	water valve
mw	water meter
bfp	backflow preventer
ngm	natural gas meter
tp	service transformer (pad mount)
psg	primary switch gear
lp	light pole
cbj	cable/phone/data junction box
sl	street light
psl	pedestrian street light
ep	electric pole
gw	guy wire
es	end section

#### Property Legend

—	right of way
— - -	property lines
- - -	easements
- - -	setbacks

#### Grading Legend

—	existing minor contour
— - -	existing major contour
— - -	proposed minor contour

#### Utility Legend

sohm	existing sanitary main
wtrm	existing water main
stsm	existing storm sewer
gasm	existing gas main
elpu	existing underground electric
elsu	existing overhead electric
elpo	existing overhead electric
datu	existing underground data
datsu	existing underground data

#### Utility Plan Notes:

- Existing Public Sanitary sewer main
- Proposed Private Sanitary sewer service line
- Existing Public Water main
- Proposed Private Fire Protection Storage Tank & External Pump House.
- Proposed Private fire hydrant
- Existing Public fire hydrant to relocated.
- Proposed Domestic service line.
- Proposed Domestic service line, 12"x12"x6" TEE on 12" main w/ 12" sleeves on the main and gate valves matching branch diameters. 6" meter in external vault
- Proposed Private storm sewer system
- Existing Gas main
- Proposed Gas Service
- Primary underground electrical service
- Secondary underground electrical service
- Proposed public storm sewer

#### Water Service Note:

Fire Protection Note: Private Fire Protection Storage Tank will be filled via 6" domestic service tap connection on existing public 12" water main & 6" meter in external vault. No fire flow water service, including private fire hydrants, sprinkler systems, etc., will be drawn directly from the public main. See service schematic, this page.

#### Legal Description:

Lot 2A, Centerpoint Intermodal Center First Plat

#### Floodplain Note:

According to "Flood Insurance Rate Map" community Panel No. 29095C0510G, map revised January 20, 2017, by the Federal Emergency Management Agency, this property lies within flood zone X (areas of minimal flooding).

DOC REL. #	DATE	DESCRIPTION
0	10/31/2022	DEVELOPMENT PLAN
	12/12/2022	DEVELOPMENT RE-SUBMITTAL

**Gray**  
500 West 5th Street  
Charlotte, North Carolina 28202  
Telephone: (704) 342-7600  
Facsimile: (704) 252-5300  
Manufacturing - Automotive  
Food & Beverage - Distribution  
Retail - Hospitality

**Gray**  
ARCHITECTS AND ENGINEERS, P.S.C.  
10 Quality Street  
Lexington, Kentucky 40507-1450  
Telephone: (859) 281-5000  
Facsimile: (859) 252-5300

**davidson**  
ARCHITECTURE + ENGINEERING  
4301 Indian Creek Pkwy  
Overland Park, KS 66207  
913.451.9390  
www.davidsonae.com

POLLUTANTS FROM OWNER'S OPERATIONS. CUSTOMER KNOWLEDGE OF ITS ACTIVITIES THAT WILL BE CONDUCTED WITHIN THE FACILITY TO BE DESIGNED BY GRAY ARCHITECTS AND ENGINEERS, P.S.C. AND CONSTRUCTED BY GRAY, AND THE MATERIALS INVOLVED IN THOSE ACTIVITIES, SHALL NOT EXCUSE THE OWNER FROM THE RESPONSIBILITY FOR POLLUTION ACCORDINGLY, AND ANYTHING CONTAINED IN THE CONTRACT DOCUMENTS TO THE CONTRARY NOTWITHSTANDING. THE OWNER SHALL NOT DISCHARGE, SPREAD, ESCAPE, RELEASE OR SATURATE OF ANY POLLUTANT INTO THE ENVIRONMENT, INCLUDING, BUT NOT LIMITED TO, THE AIR, WATER, SOIL, GROUNDWATER, SUBSURFACE OF LAND, OR SURFACE OF LAND. FOR PURPOSES OF THIS SECTION, THE WORD "POLLUTANT" SHALL MEAN ANY SOLID, LIQUID, GASEOUS, OR THERMAL IRITANT, CONTAMINANT, INCLUDING BUT NOT LIMITED TO, DISEASE-CAUSING MICROORGANISMS, CHEMICALS, AND WASTE, AND SHALL INCLUDE ANY HAZARDOUS SUBSTANCE. THE CAPACITY OF THE FACILITY AND THE DESIGN OF THE SYSTEMS SHALL BE SO ARRANGED AS TO PREVENT THE DISCHARGE, SPREAD, ESCAPE, RELEASE OR SATURATION OF POLLUTANTS SHALL BE THE SOLE RESPONSIBILITY OF THE CUSTOMER.

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CORP. SEAL

A Development Plan For:  
Project Royal  
KC MO

Overall Site Utility Plan

JOB NUMBER: 7934 SHEET NUMBER: C1.3

NOT FOR CONSTRUCTION

## PLANT SCHEDULE

SHADE / EVERGREEN TREES					
KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
GB	57	<i>Ginkgo Biloba</i>	Ginko	5' - 6' ht	per plan
UA	30	<i>Ulmus americana 'New Harmony'</i>	New Harmony Elm	2" cal. b & b	per plan
WB	34	<i>Juniperus scopulorum 'Wichita Blue'</i>	Wichita Blue Juniper	5' - 6' ht	per plan
SM	40	<i>Acer Saccharum</i>	Sugar Maple	2" cal. b & b	per plan
PM	44	<i>Acer Griseum</i>	Paperbark Maple	2" cal. b & b	per plan

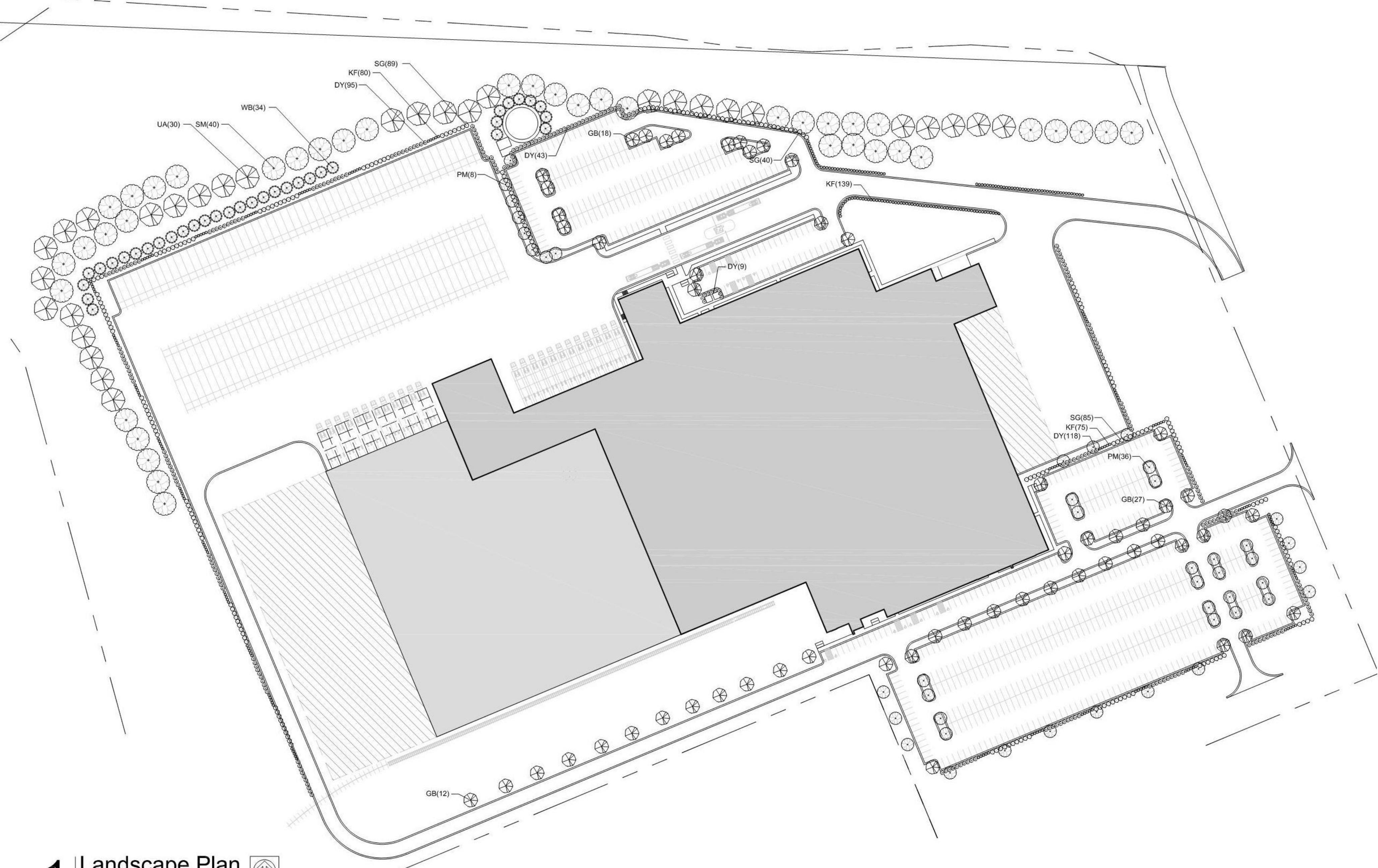
SHRUBS / GRASSES					
KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
KF	294	<i>Calamagrostis x acutiflora 'Karl Foerster'</i>	Karl Foerster Feather Reed Grass	3 gal.	per plan
SG	214	<i>Juniperus x pfitzeriana 'Sea Green'</i>	Sea Green Juniper	3 gal.	per plan
DY	265	<i>Taxus media 'Densiflora'</i>	Densiflora Yew	3 gal.	per plan

## LANDSCAPE CALCULATIONS:

LANDSCAPE ITEM	CODE REQUIREMENT	AS IT APPLIES TO THIS SITE	PROVIDED ITEMS
88-425-03 Street Trees	1 Tree per 30'	Missouri Highway 150 1,996 L.F. / 30 = 66 Street trees req.	66 Provided
88-425-06-B Min. Interior landscape area	35 S.F. of landscape area per parking space	653 (parking spaces) X 35 = 22,855 S.F. req.	25,642 S.F. Provided
88-425-06-E Interior parking plant material	1 Tree for every 5 parking spaces	653 / 5 = 131 Trees req.	131 Trees provided
88-425-06-E Interior parking plant material	1 Shrub for every parking space	653 Shrubs req.	653 Shrubs provided
88-425-06-E Interior parking plant material	Ground cover to cover all landscape areas	Covered	Covered
88-425-08-B Screening of mechanical equipment and utility cabinets	Any cabinet visible from the right-of-way must be screened from public view with landscaping	Continuous screen	9 plants provided
88-425-05-C Perimeter landscaping of parking	Continuous evergreen screen to be 4' in ht. after the first growing season	Continuous evergreen screen	120 evergreen shrubs provided

## LANDSCAPE NOTES:

1. LANDSCAPE NOTES SHALL APPLY TO ALL LANDSCAPE DRAWINGS.
2. LOCATION OF ALL UTILITIES ARE APPROXIMATE, THE CONTRACTOR SHALL FIELD VERIFY LOCATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION OPERATIONS.
3. LIMITS OF CONSTRUCTION ARE THE PROPERTY LINES, UNLESS OTHERWISE NOTED ON THE PLANS, EXCEPT WHERE ACCESS BEYOND IS REQUIRED FOR CONSTRUCTION RELATED TO UTILITY INSTALLATION AND EQUIPMENT ACCESS TO THE SITE.
4. REFER TO CIVIL DRAWINGS FOR ALL GRADING AND BERMING, EROSION CONTROL, STORM DRAINAGE, UTILITIES AND SITE LAYOUT.
5. THE CONTRACTOR SHALL ARRANGE AND CONDUCT A PRE-CONSTRUCTION MEETING ONSITE WITH LANDSCAPE ARCHITECT PRIOR TO ALL WORK.
6. PLANT QUANTITIES ARE FOR INFORMATION ONLY. DRAWING SHALL PREVAIL IF CONFLICT OCCURS. CONTRACTOR IS RESPONSIBLE FOR CALCULATING OWN QUANTITIES AND BID ACCORDINGLY.
7. THE CONTRACTOR IS TO NOTIFY LANDSCAPE ARCHITECT AFTER STAKING IS COMPLETED AND BEFORE PLANT PITS ARE EXCAVATED.
8. THE CONTRACTOR SHALL PLACE SHREDDED HARDWOOD BARK MULCH AROUND ALL TREES TO A DEPTH OF 3", AND IN ALL PLANTING BEDS TO A DEPTH OF 2". WALNUT PRODUCTS ARE PROHIBITED.
9. TREE LOCATIONS IN AREAS ADJACENT TO DRIVES, WALKS, WALLS AND LIGHT FIXTURES MAY BE FIELD ADJUSTED AS APPROVED BY THE LANDSCAPE ARCHITECT.
10. KIND, SIZE AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO AMERICAN STANDARD FOR NURSERY STOCK, ANSI-260-2004, OR MOST RECENT EDITION.
11. THE CONTRACTOR SHALL REPORT SUBSURFACE SOIL OR DRAINAGE PROBLEMS TO THE LANDSCAPE ARCHITECT.
12. THE PLAN IS SUBJECT TO CHANGES BASED ON PLANT SIZE AND MATERIAL AVAILABILITY. ALL CHANGES OR SUBSTITUTIONS MUST BE APPROVED BY THE CITY OF KANSAS CITY, MO AND THE LANDSCAPE ARCHITECT.
13. PLANTING OF TREES, SHRUBS, SODDED AND SEEDED TURFGRASS SHALL BE COMMENCED DURING EITHER THE SPRING (APRIL 15-JUNE 15) OR FALL (SEPTEMBER 1-NOVEMBER 15) PLANTING SEASON AND WITH WATER AVAILABLE FOR IRRIGATION PURPOSES.
14. STEEL EDGING TO BE USED ON ALL LANDSCAPE BEDS ABUTTING SODDED AREAS.
15. LANDSCAPE CONTRACTOR IS TO BE RESPONSIBLE FOR WATERING ALL PLANT MATERIALS UNTIL THE TIME THE PERMANENT IRRIGATION SYSTEM IS FULLY FUNCTIONAL AND ACCEPTANCE OF THE PROJECT HAS TAKEN PLACE. ANY MATERIAL WHICH DIES, DEFOLIATES (PRIOR TO ACCEPTANCE OF THE WORK) WILL BE PROMPTLY REMOVED AND REPLACE.
16. THE CONTRACTOR SHALL SHOW PROOF OF PROCUREMENT, SOURCES, QUANTITIES AND VARIETIES FOR ALL SHRUBS, PERENNIALS, ORNAMENTAL GRASSES AND ANNUALS WITHIN 21 DAYS FOLLOWING THE AWARD OF THE CONTRACT.
17. ALL TREES SHALL BE CALLIPERED AND UNDERSIZED TREES SHALL BE REJECTED. ALL PLANT MATERIAL SHALL BE NURSERY GROWN, SOUND, HEALTHY, VIGOROUS AND FREE FROM INSECTS, DISEASE AND INJURIES, WITH HABIT OF GROWTH THAT IS NORMAL FOR THE SPECIES. SIZES SHALL BE EQUAL TO OR EXCEEDING SIZES INDICATED ON THE PLANT LIST. THE CONTRACTOR SHALL SUPPLY PLANTS IN QUANTITY AS SHOWN ON THE DRAWINGS.
18. STAKE OR PLACE ALL PLANTS IN FIELD AS INDICATED ON THE DRAWINGS OR AS DIRECTED BY THE LANDSCAPE ARCHITECT FOR APPROVAL BY THE OWNER PRIOR TO PLANTING.
19. ALL DISTURBED AREAS, INCLUDING RIGHTS OF WAY, NOT OTHERWISE COVERED BY BUILDING, PAVEMENT AND LANDSCAPE BEDS SHALL BE SODDED WITH TURF TYPE TALL FESCUE AND IRRIGATED UNLESS OTHERWISE INDICATED BY THE OWNER.
20. ALL EXTERIOR GROUND OR BUILDING MOUNTED EQUIPMENT, INCLUDING BUT NOT LIMITED TO MECHANICAL EQUIPMENT AND UTILITY METER BANKS SHALL BE SCREENED FROM PUBLIC VIEW WITH EVERGREEN LANDSCAPING THAT IS 6" TALLER THAN THE EQUIPMENT BEING SCREENED AT THE TIME OF PLANTING.
21. PREPARE PLANTING BEDS BY INCORPORATING AN APPROVED COMPOSTED ORGANIC SOIL INTO EXISTING SOIL FOR ALL SHRUB, PERENNIAL AND ANNUAL PLANTING BEDS AT A MINIMUM DEPTH OF 6". THOROUGHLY MIX ORGANIC MATERIAL INTO THE EXISTING SOIL BY ROTOTILLING OR OTHER APPROVED METHOD TO A MINIMUM DEPTH OF 12".
22. APPLY A COMMERCIAL ROOT STIMULATOR (APPROVED BY LANDSCAPE ARCHITECT PRIOR TO USE) TO ALL SHRUBS AND GROUND COVERS AT RATES RECOMMENDED BY MANUFACTURER DURING FIRST PLANT WATERING FOLLOWING INSTALLATION.
23. ALL LANDSCAPE AREAS SHALL BE IRRIGATED WITH A HIGH EFFICIENCY AUTOMATIC IRRIGATION SYSTEM ACHIEVING 100% EVEN COVERAGE OF ALL LANDSCAPE AREAS. IRRIGATION SYSTEM SHALL BE DESIGN-BUILD TO MEET ALL CITY REQUIREMENTS.
24. TREE PROTECTION FENCING SHALL BE INSTALLED AND APPROVED BY THE CITY FORESTER PRIOR TO ANY LAND DISTURBANCE. TREE PROTECTION FENCING SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION IS COMPLETE ON THE PROJECT. NO PARKING OF VEHICLES, MATERIAL STORAGE, WASHOUTS OR GRADING ARE ALLOWED WITHIN THE FENCING. IF THE FENCING MUST BE REMOVED OR RELOCATED, THE CITY FORESTER SHALL BE CONTACTED FOR PRIOR APPROVAL.
25. A CERTIFIED ARBORIST SHALL PRUNE ALL EXISTING TREES TO REMAIN. TREES CONFLICTING WITH BUILDING OR OVERLAPPING LANDSCAPE BEDS SHALL BE PRUNED UP TO ALLOW FOR 12' OF CLEARANCE UNDER CANOPY.
26. ALL LAWN AREAS SHALL RECEIVE A MINIMUM OF 6-INCH DEPTH TOPSOIL COMPAKTED TO 85% MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT.
27. THE ENTIRE SURFACE TO BE SODDED SHALL BE REASONABLY SMOOTH AND FREE FROM STONES, ROOTS, OR OTHER DEBRIS.
28. SOD SHALL BE MACHINE STRIPPED AT A UNIFORM SOIL THICKNESS OF APPROXIMATELY ONE INCH (PLUS OR MINUS 1/4 INCH). THE MEASUREMENT FOR THICKNESS SHALL EXCLUDE TOP GROWTH AND THATCH, AND SHALL BE DETERMINED AT THE TIME OF CUTTING IN THE FIELD. PRECAUTIONS SHALL BE TAKEN TO PREVENT DRYING AND HEATING. SOD DAMAGED BY HEAT AND DRY CONDITIONS, SOD CUT MORE THAN 18 HOURS BEFORE BEING INCORPORATED INTO THE WORK SHALL NOT BE USED.
29. HANDLING OF SOD SHALL BE DONE IN A MANNER THAT WILL PREVENT TEARING, BREAKING, DRYING AND OTHER DAMAGE. PROTECT EXPOSED ROOTS FROM DEHYDRATION. DO NOT DELIVER MORE SOD THAN CAN BE LAID WITHIN 24 HOURS.
30. MOISTEN PREPARED SURFACE IMMEDIATELY PRIOR TO LAYING SOD. WATER THOROUGHLY AND ALLOW SURFACE TO DRY BEFORE INSTALLING SOD. FERTILIZE, HARROW OR RAKE FERTILIZER INTO TOP 1-1/2-INCHES OF TOPSOIL, AT A UNIFORM RATE OF ONE POUND OF NITROGEN PER 100 SF.
31. SOD SHALL BE CAREFULLY PLACED IN THE DIRECTION PARALLEL WITH THE SLOPE OF THE AREA TO BE SODDED. SOD STRIPS SHALL BE BUTTED TOGETHER BUT NOT OVERLAPPED WITH THE SEAMS STAGGERED ON EACH ROW.
32. FERTILIZER SHALL BE 10-10-5 COMMERCIAL FERTILIZER OF THE GRADE, TYPE AND FORM SPECIFIED AND SHALL COMPLY WITH THE RULES OF THE STATE OF KANSAS DEPARTMENT OF AGRICULTURE. FERTILIZER SHALL BE IDENTIFIED ACCORDING TO THE PERCENT N, P, K, IN THAT ORDER.
33. SATURATE SOD WITH FINE WATER SPRAY WITHIN TWO HOURS OF PLANTING. DURING FIRST WEEK AFTER PLANTING, WATER DAILY OR MORE FREQUENTLY AS NECESSARY TO MAINTAIN MOIST SOIL TO A MINIMUM DEPTH OF FOUR INCHES BELOW SOD.
34. CONTRACTOR SHALL PROVIDE FULL MAINTENANCE FOR SODDED TURF GRASS FOR A PERIOD OF 30 DAYS AFTER THE DATE OF FINAL ACCEPTANCE. AT THE END OF THE MAINTENANCE PERIOD, A HEALTHY, WELL-ROOTED, EVEN-COLORED, Viable TURF MUST BE ESTABLISHED. THE TURF GRASS SHALL BE FREE OF WEEDS, OPEN JOINTS, BARE AREAS AND SURFACE IRREGULARITIES.
35. IN THE EVENT OF WORK IN OR ON THE JCW SANITARY MAIN, ANY TREES OR PLANTINGS PLACED WITHIN THE SEWER EASEMENT MAY BE REMOVED WITHOUT REPLACEMENT OR COMPENSATION THERE-OF AND SHALL BE REPLACED BY THE PROPERTY OWNER AS REQUIRED BY THE CITY.
36. LANDSCAPE ADJACENT TO THE FIRE DEPARTMENT CONNECTION AND FIRE HYDRANT SHALL ALLOW FOR UNOBSTRUCTED VISIBILITY AND ACCESS, WITH NO SHRUBS OR TREES WITHIN A 3' RADIUS OF THE FIRE DEPARTMENT CONNECTION OR FIRE HYDRANT.

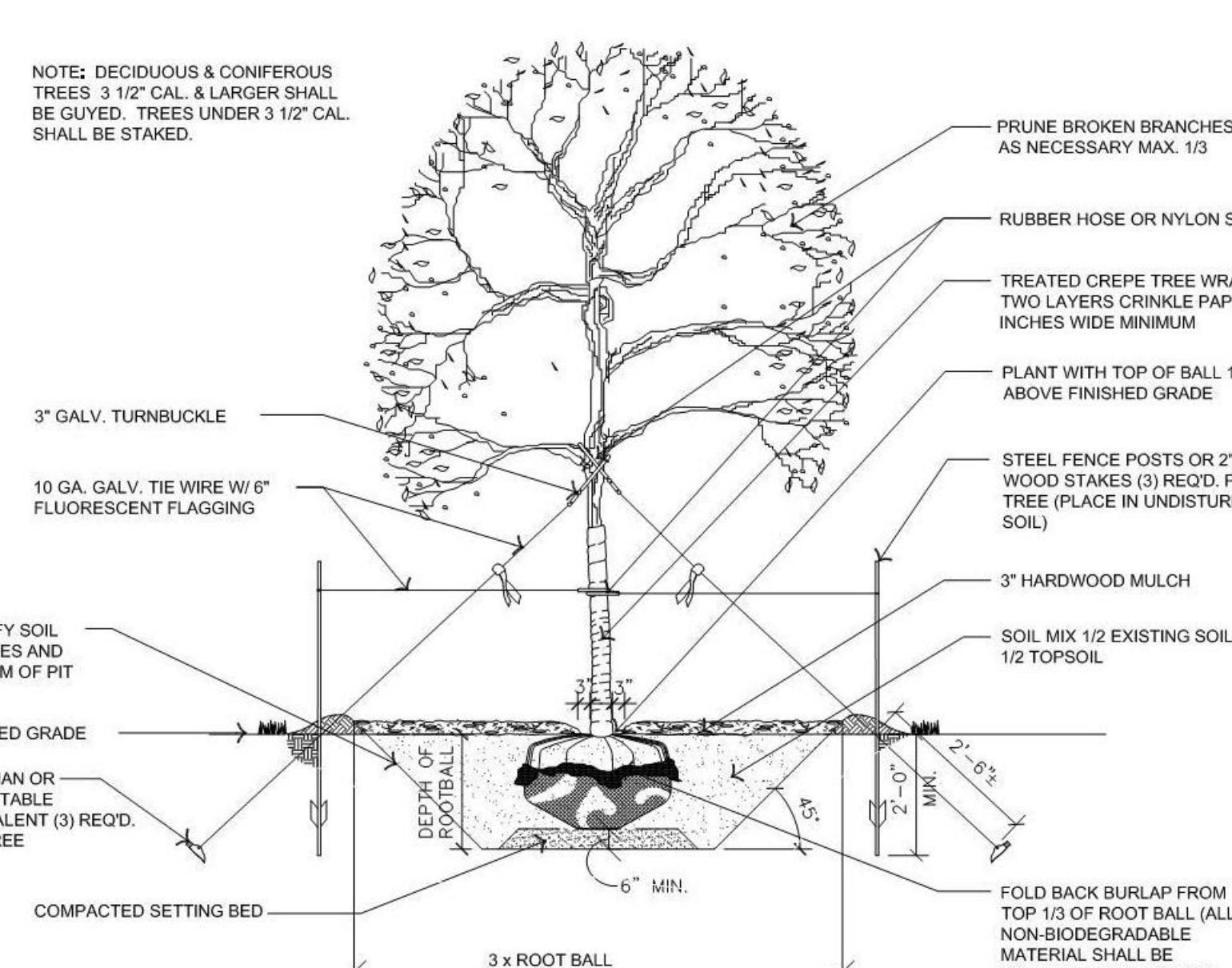


# 1 | Landscape Plan

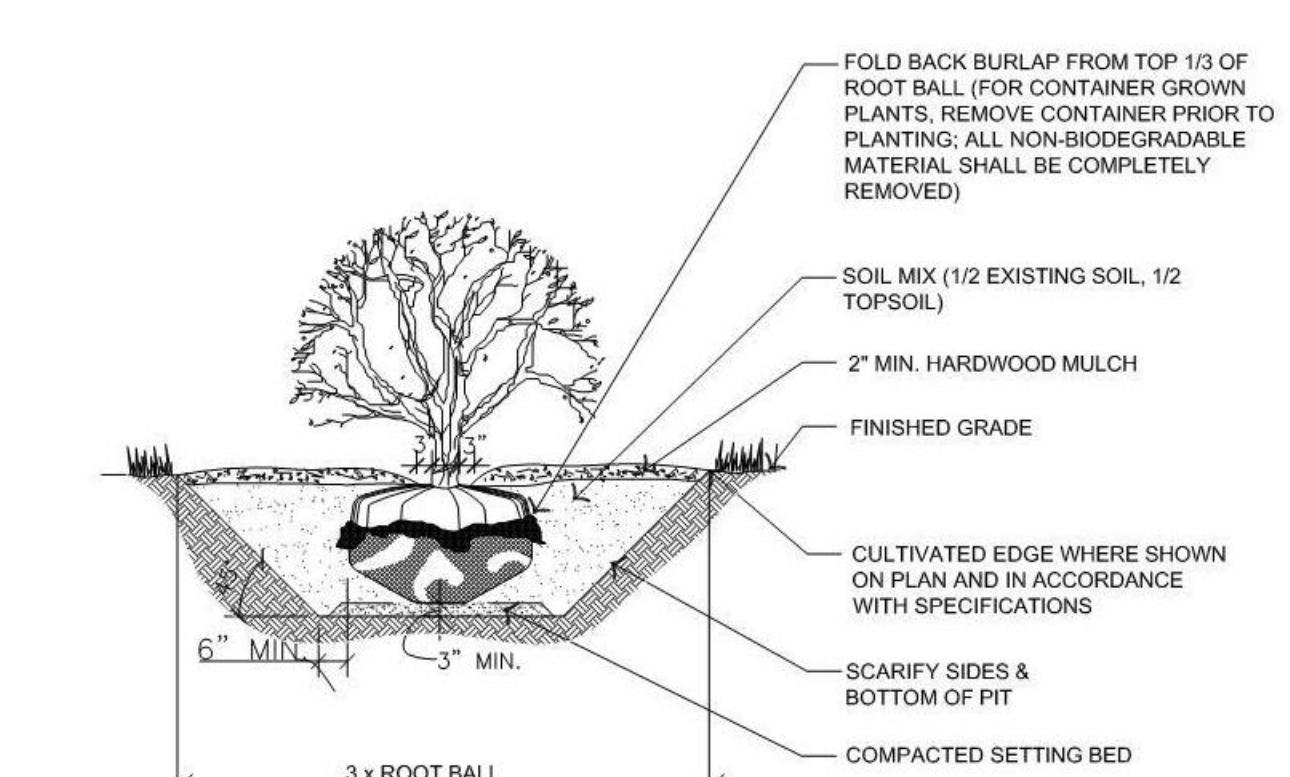
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north



## 3 Deciduous Tree Detail



## 2 | Shrub Detail

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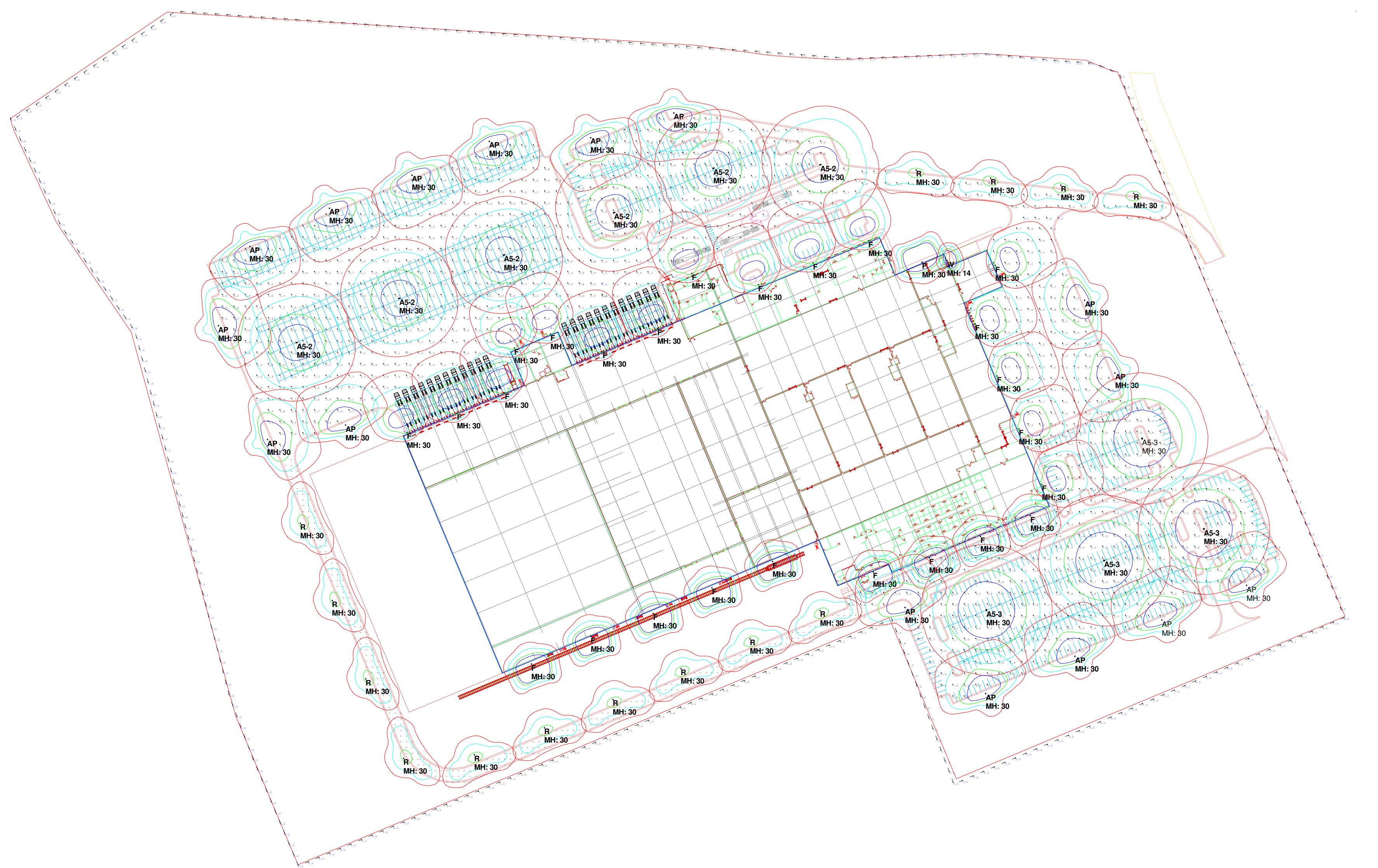
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PP SEAL

# A Development Plan For: Project Royal KC MO

# Landscape Plan



# TYPE F



# TYPE W



# TYPE R



# TYPE A'S

Luminaire Schedule											
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LF	Description	Tag	Lum. Watts	Total Watts	BUG Rating	
	26	RSXF2_LED_P6_40K_AWFD_BV	SINGLE	N.A.	0.950	LITHONIA RSXF2 LED P6 40K AWFD BV FLOOD	F	246.6347	6412502	B4-U3-G2	
	16	RSX2_LED_P6_40K_R4	SINGLE	N.A.	0.950	LITHONIA RSX2 LED P6 40K R4	AP	246.63	394608	B3-U0-G4	
	4	RSX2_LED_P6_40K_R5	3 @ 120 DEGREES	N.A.	0.950	RSX2 LED P6 40K R5	A5-3	246.63	295956	B5-U0-G4	
	6	RSX2_LED_P6_40K_R5_1	BACK-BACK	N.A.	0.950	RSX2 LED P6 40K R5	A5-2	246.63	295956	B5-U0-G4	
	14	RLX-3_T3_100W_4K	SINGLE	N.A.	0.950	VISIONAIRE LIGHTING ROADWAY	R	96	1344	B2-U0-G2	
	1	WPX2_LED_40K_Mvolt	SINGLE	N.A.	0.950	LITHONIA WPX2 LED 40K Mvolt	W	47.77	47.77	B1-U0-G1	

Numeric Summary								
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	
EAST SIDE OF BLDG	Illuminance	Fc	1.95	6.8	0.6	3.25	11.33	
NORTH EAST CAR PARKING LOT	Illuminance	Fc	2.32	5.5	0.8	2.90	6.88	
NORTH EAST ROADWAY	Illuminance	Fc	1.17	2.5	0.5	2.34	5.00	
NORTH EAST TRUCK ENTRANCE EX	Illuminance	Fc	1.76	5.2	0.9	1.96	5.78	
NORTH TRAILER PARKING LOT	Illuminance	Fc	1.80	6.1	0.5	3.60	12.20	
NORTH TRUCK DOCKS	Illuminance	Fc	2.22	5.6	0.5	4.44	11.20	
PROPERTY LINE	Illuminance	Fc	0.06	0.7	0.0	N.A.	N.A.	
SOUTH EAST CAR PARKING LOT	Illuminance	Fc	2.73	17.7	0.5	5.46	35.40	
WEST DRIVE	Illuminance	Fc	1.11	2.4	0.5	2.22	4.80	

**30FT MOUNTING HEIGHT ON ALL FIXTURES.  
ALL POLE MOUNTS ARE FULL CUTOFF LUMINAIRES.  
ROADWAY LUMINAIRES TYPE R3, HAVE 5 FT MAST ARMS.**

The logo for Gray Architects and Engineers, P.S.C. It features a large, stylized, blocky letter 'G' composed of several thick, black, three-dimensional rectangular blocks. To the right of the 'G', the word 'Gray' is written in a large, bold, black, sans-serif font. Below the logo, the company name 'ARCHITECTS AND ENGINEERS, P.S.C.' is printed in a bold, black, sans-serif font. Underneath that, the address '10 Quality Street' and city information 'Lexington, Kentucky 40507-1450' are listed. Below the address, the telephone number '(859) 281-5000' and facsimile number '(859) 252-5300' are provided.

The logo for MSKTD & Associates. It features a blue square containing a white 3D geometric cube design that looks like a stylized snowflake or a geometric flower. To the right of the square, the company name 'MSKTD' is written in a large, bold, black serif font. Below it, the word '& Associates' is written in a slightly smaller, but also bold, black serif font. A thin vertical line is positioned to the right of the company name.

POLLUTANTS FROM OWNER'S OPERATIONS - CUSTOMER'S KNOWLEDGE OF ITS ACTIVITIES THAT WILL BE CONDUCTED WITHIN THE FACILITY TO BE DESIGNED BY GRAY ARCHITECTS AND ENGINEERS, P.S.C. AND CONSTRUCTED BY GRAY, AND THE MATERIALS INVOLVED IN THOSE ACTIVITIES, IS SUPERIOR TO GRAY ARCHITECTS AND ENGINEERS AND GRAY'S KNOWLEDGE. ACCORDINGLY, AND ANYTHING CONTAINED IN THE CONTRACT DOCUMENTS TO THE CONTRARY NOTWITHSTANDING, ANY DUTY OR WARRANTY BY GRAY HEREIN SHALL NOT APPLY TO THE DISCHARGE, DISPERSAL, ESCAPE, RELEASE OR SATURATION OF ANY POLLUTANT INTO THE ATMOSPHERE OR ANY BODY OF WATER OR ON, ONTO, UPON, IN OR INTO THE SURFACE OR SUBSURFACE OF LAND. FOR PURPOSE OF THIS SECTION, THE WORD "POLLUTANT" SHALL MEAN ANY SOLID, LIQUID, GASEOUS, OR THERMAL IRRITANT OR CONTAMINANT, INCLUDING BUT NOT LIMITED TO SMOKE, VAPOR, SOOT, FUMES, ACIDS, ALKALIS, CHEMICALS AND WASTE AND SHALL INCLUDE ANY HAZARDOUS SUBSTANCE. THE CAPACITY OF THE FACILITY AND THE DESIGN OF ANY OF ITS PARTS, SO AS TO PREVENT THE ESCAPE, RELEASE, DISCHARGE, DISPERSAL OR SATURATION OF POLLUTANTS SHALL BE THE SOLE RESPONSIBILITY OF THE CUSTOMER.


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# A Development Plan For: Project Royal KC MO

## Photometric Plan

# NOT FOR CONSTRUCTION





10/28/2022 3:13:55 PM



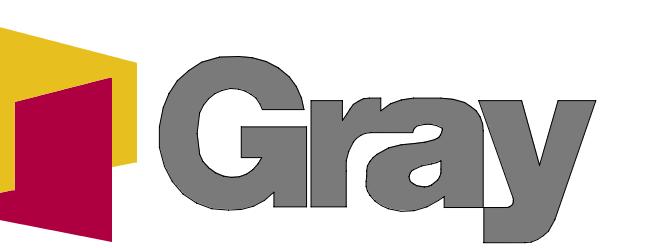
## PERSPECTIVE FROM SOUTHEAST CORNER



# WLF OFFICE SOUTHEAST CORNER



# WLF OFFICE SOUTHWEST CORNER



**500 West 5th Street  
Charlotte, North Carolina 28202  
Telephone: (704) 342-7600  
Facsimile: (704) 342-7601**

Ergonomics (2014) 57:12–30

**Manufacturing - Automotive  
Food & Beverage - Distribution  
Retail - Hospitality**



**ARCHITECTS AND ENGINEERS, P.S.C.**  
10 Quality Street  
Lexington, Kentucky 40507-1450  
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# A Development Plan For:

## Project Royal

### KC MO

## PENDERINGS

JOB NUMBER	SHEET NUMBER
7934	A-202

# NOT FOR CONSTRUCTION



## PERSPECTIVE FROM NORTHEAST CORNER



# VCS OFFICE NORTHEAST CORNER



# VCS OFFICE NORTHWEST CORNER



**500 West 5th Street  
Charlotte, North Carolina 28202  
Telephone: (704) 342-7600  
Facsimile: (704) 342-7601**

## Manufacturing - Automotive

**Manufacturing - Automotive  
Food & Beverage - Distribution  
Retail - Hospitality**



**ARCHITECTS AND ENGINEERS, P.S.C.**  
**10 Quality Street**  
**Lexington, Kentucky 40507-1450**  
**Telephone: (859) 281-5000**  
**Facsimile: (859) 252-5300**



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CORP. SEAL	
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## PENDING

JOB NUMBER	SHEET NUMBER
7934	A-203

# NOT FOR CONSTRUCTION



## Plan Conditions

Report Date: December 28, 2022

Case Number: CD-CPC-2022-00194

Project: Project Royal at I-49 Industrial Center

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*Condition(s) by City Planning and Development Department. Contact Matthew Barnes at (816) 513-8817 / matthew.barnes@kcmo.org with questions.*

1. That the developer shall submit an affidavit, prepared by an engineer licensed in the State of Missouri, verifying that all outdoor lighting has been installed in accordance with approved plans and that lighting levels do not exceed that shown on the approved lighting plan at the property lines prior to Certificate of Occupancy.
2. The developer shall submit an affidavit, completed by a landscape architect licensed in the State of Missouri, verifying that all landscaping required of the approved plan has been installed in accordance with the plan and is healthy prior to Certificate of Occupancy.

*Condition(s) by City Planning and Development Department. Contact Terry Thomas at / Terry.A.Thomas@kcmo.org with questions.*

3. The developer must pay impact fees as required by Chapter 39 of the City's Code of ordinances as required by the Land Development Division.
4. The developer shall cause the area to be platted and processed in accordance with Chapter 88, Code of Ordinances of the City of Kansas City, Missouri, as amended, commonly known as the Development Regulations.
5. The developer must enter into a covenant agreement for the maintenance of any stormwater detention area tracts as required by the Land Development Division, prior to recording the plat.
6. The owner/developer must submit plans for grading, siltation, and erosion control to Land Development Division for review and acceptance, and secure a Site Disturbance permit for any proposed disturbance area equal to one acre or more prior to beginning any construction activities.
7. The developer shall submit a detailed Micro storm drainage analysis from a Missouri-licensed civil engineer to the Land Development Division showing compliance with the current, approved Macro study on file with the City and with current adopted standards in effect at the time of submission, including Water Quality BMP's, prior to approval and issuance of any building permits to construct improvements on the site or prior to recording the plat, whichever occurs first. The developer shall verify and/or improve downstream conveyance systems or address solutions for impacted properties due to flow contributions from the site; and that the developer construct any other improvements as required by Land Development Division as necessary to mitigate impacts from rate, volume, and quality of runoff from each proposed phase.
8. The existing detention basin on west perimeter of the site and the proposed detention basin at northwest corner of the site will need to be platted in detention tracts and both will require a covenant agreement to maintain.

*Condition(s) by Fire Department. Contact Michael Schroeder at (816) 513-4604 / michael.schroeder@kcmo.org with questions.*

9. • The project shall meet the fire flow requirements as set forth in Appendix B of the International Fire Code 2018. (IFC-2018 § 507.1)
10. Buildings equipped with a fire standpipe system shall have an operable fire hydrant within 100 feet of the Fire Department Connection (FDC). (IFC2018 § 507.5.1.1)
11. Fire hydrant distribution shall follow IFC-2018 Table C102.1

Fire hydrants shall be installed and operable prior to the arrival of any combustible building materials onto the site. (IFC-2018 § 501.4 and 3312.1; NFPA -2013 § 8.7.2)

*Condition(s) by Fire Department. Contact Michael Schroeder at (816) 513-4604 / michael.schroeder@kcmo.org with questions.*

12. • A required fire department access roads shall be an all weather surface. (IFC-2012: § 503.2.3)
  - Fire Department access roads shall be provided prior to construction/demolition projects begin. (IFC-2018 § 501.4 and 3310.1; NFPA 241-2013 § 7.5.5)
  - Required fire department access roads shall be designed to support a fire apparatus with gross axle weight of 85,000 pounds. (IFC-2018: § 503.2.3)
13. • Aerial Fire Apparatus access roads shall be provided for any building that is 30 feet in height or greater. Aerial Fire Apparatus Roads are a minimum 26 feet wide, at least 15 feet away from the building but not more than 30 feet from the structure. (IFC-2018 § D105).
14. • Buildings exceeding 62,000 square feet in area shall have at least two means of fire apparatus access (IFC-2018: § D104.2)
15. New buildings shall have approved radio coverage for emergency responders within the building based on the existing coverage levels of the public safety communication systems utilized by the jurisdiction, measured at the exterior of the building. This section shall not require improvement of the existing public safety communication systems. (IFC 2018 510.1) and (NFPA1221)
16. • Buildings which have an occupiable floor greater than 75 feet above grade shall meet high-rise requirements ( IFC 2018 Sec 914.3).

*Condition(s) by Water Services Department. Contact Heather Massey at (816) 513-2111 / heather.massey@kcmo.org with questions.*

17. Branch service lines one-and-one-half inches and larger in diameter for domestic water services or fire protection lines shall be connected to the main by cutting in a minimum 6" branch service tee, installing three gate valves, and two solid sleeves on the main. Line valves on the main shall be the same nominal size as the main.
18. The developer shall have a water flow test done to ensure there is adequate water pressure to serve the development.  
South of River contact – Sean Allen - 816-513-0318  
North of River contact - Pedro Colato – 816-513-4892
19. A full flow fire meter will be required when the fire protection service line serves more than one building, or combination service lines 6 inches and larger, or that have private fire hydrants connected to them.
20. The developer shall ensure that water and fire service lines should meet current Water Services Department Rules and Regulations. Prior to C of  
[O.https://www.kcwater.us/wp-content/uploads/2022/05/2022-Rules-and-Regulations-for-Water-Service-Lines-Final.pdf](https://www.kcwater.us/wp-content/uploads/2022/05/2022-Rules-and-Regulations-for-Water-Service-Lines-Final.pdf)

*Condition(s) by Water Services Department. Contact Jerald Windsor at (816) 513-0413 / Jerald.Windsor@kcmo.org with questions.*

21. the max. domestic only water service shall be 1100 GPM through a maximum 6" domestic service without adding distribution system capacity with a water main extension.
22. The developer must submit Fire Hydrant relocation plans meeting the 300' maximum spacing along the adjacent public roadways. Plans shall be prepared by a registered professional Engineer in Missouri. They shall be submitted to the water main extension desk for review, acceptance and contracts per the KC Water Rules and Regulations for Water main extensions and Relocations.  
(<https://www.kcwater.us/wp-content/uploads/2022/05/2022-Rules-and-Regulations-for-Water-Main-Extensions-Final2.pdf>)

*Condition(s) by Water Services Department. Contact Lucas Kaspar at (816)513-2131 / Lucas.Kaspar@kcmo.org with questions.*

23. The developer provide acceptable easement, vacate existing easement, and secure permits to relocate sanitary sewers out from under proposed buildings and structures, etc., while continuing to ensure individual service is provided to all proposed lots as required by Land Development Division prior to recording the plat or issuance of a building permit, whichever occurs first.

## Meeting Sign-In Sheet

## Project Name and Address

## I-49 Industrial Center Building 9

14820 Thunderbird Road, Kansas City, Missouri





CITY OF  
KANSAS CITY,  
MISSOURI

## CITY PLANNING & DEVELOPMENT

### Public Meeting Summary Form

Project Case # CD-CPC-2022-00194

Meeting Date: December 20th, 2022

Meeting Location: Online - Microsoft Teams

Meeting Time (include start and end time): 5:30pm - 6:00pm

#### Additional Comments (optional):

Representatives listed for Davidson AE and Platform Ventures stayed on the virtual meeting for over 30 minutes before closing the call after there was no other attendance.