

# MASTER PLANNED DEVELOPMENT (MPD) PLAN FOR BRIGHTON INDUSTRIAL PARK

CASE NUMBER: CD-CPC-2021-00049

LOCATED AT  
3363 N. BRIGHTON AVE & 3511 N. BRIGHTON AVE  
KANSAS CITY, MO 64117

PROJECT STATEMENT: THE PROPOSED SITE IS PLANNED FOR LIGHT INDUSTRIAL USE, FOR SPECULATIVE WAREHOUSE USERS.

## LEGAL DESCRIPTION

A TRACT OF LAND LOCATED IN THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 50 NORTH, RANGE 32 WEST, IN KANSAS CITY, CLAY COUNTY, MISSOURI, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID SOUTHEAST QUARTER; THENCE SOUTH 89°37'47" EAST, ALONG THE NORTH LINE OF SAID SOUTHEAST QUARTER, 30.00 FEET TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF N. BRIGHTON AVENUE, AS NOW ESTABLISHED, SAID POINT ALSO BEING THE POINT OF BEGINNING; THENCE SOUTH 89°37'47" EAST, ALONG SAID NORTH LINE, 930.00 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF SEARCY CREEK PARKWAY, AS NOW ESTABLISHED; THENCE SOUTH 07°23'18" EAST, ALONG SAID WEST RIGHT-OF-WAY LINE, 1405.34 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF 210 HIGHWAY, AS NOW ESTABLISHED; THENCE ALONG SAID NORTH RIGHT-OF-WAY LINE THE FOLLOWING SIX COURSES: THENCE SOUTH 81°51'19" WEST, 78.65 FEET; THENCE SOUTH 79°35'00" WEST, 529.86 FEET; THENCE SOUTH 66°38'52" WEST, 518.97 FEET; THENCE ON A CURVE TO THE RIGHT, HAVING AN INITIAL TANGENT BEARING NORTH 12°31'00" WEST, A RADIUS OF 1352.41 FEET AND AN ARC LENGTH OF 193.46 FEET; THENCE NORTH 04°19'10" WEST, 195.10 FEET; THENCE SOUTH 85°40'50" WEST, 16.34 FEET TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF SAID N. BRIGHTON AVENUE; THENCE ALONG SAID EAST RIGHT-OF-WAY LINE THE FOLLOWING SIX COURSES: THENCE NORTH 01°02'14" EAST, 117.17 FEET; THENCE NORTH 09°54'47" EAST, 24.57 FEET; THENCE ON A CURVE TO THE LEFT, TANGENT TO THE LAST DESCRIBED COURSE, HAVING A RADIUS OF 2430.00 FEET AND AN ARC LENGTH OF 564.78 FEET; THENCE NORTH 03°24'12" WEST, 215.46 FEET; THENCE ON A CURVE TO THE RIGHT, TANGENT TO THE LAST DESCRIBED COURSE, HAVING A RADIUS OF 2970.00 FEET AND AN ARC LENGTH OF 228.23 FEET; THENCE NORTH 01°02'14" EAST, 180.69 FEET TO THE POINT OF BEGINNING. CONTAINS 1,560,560 SQUARE FEET OR 35.83 ACRES MORE OR LESS.

## PROJECT TEAM

**DEVELOPER**  
STAR DEVELOPMENT CORPORATION  
244 WEST MILL STREET, SUITE 101  
LIBERTY, MO 64068  
TEL: (816) 781-3322  
CONTACT: ROBERT DE LA FUENTE

**CIVIL ENGINEER, LANDSCAPE ARCHITECT, & LIGHTING**  
KIMLEY-HORN AND ASSOCIATES, INC.  
1828 WALNUT STREET, SUITE 06-100  
KANSAS CITY, MO 64108  
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PRIMARY CONTACT: MATT KIST, P.E.  
EMAIL: MATT.KIST@KIMLEY-HORN.COM  
SECONDARY CONTACT: TYLER WYSONG, P.E.  
EMAIL: TYLER.WYSONG@KIMLEY-HORN.COM

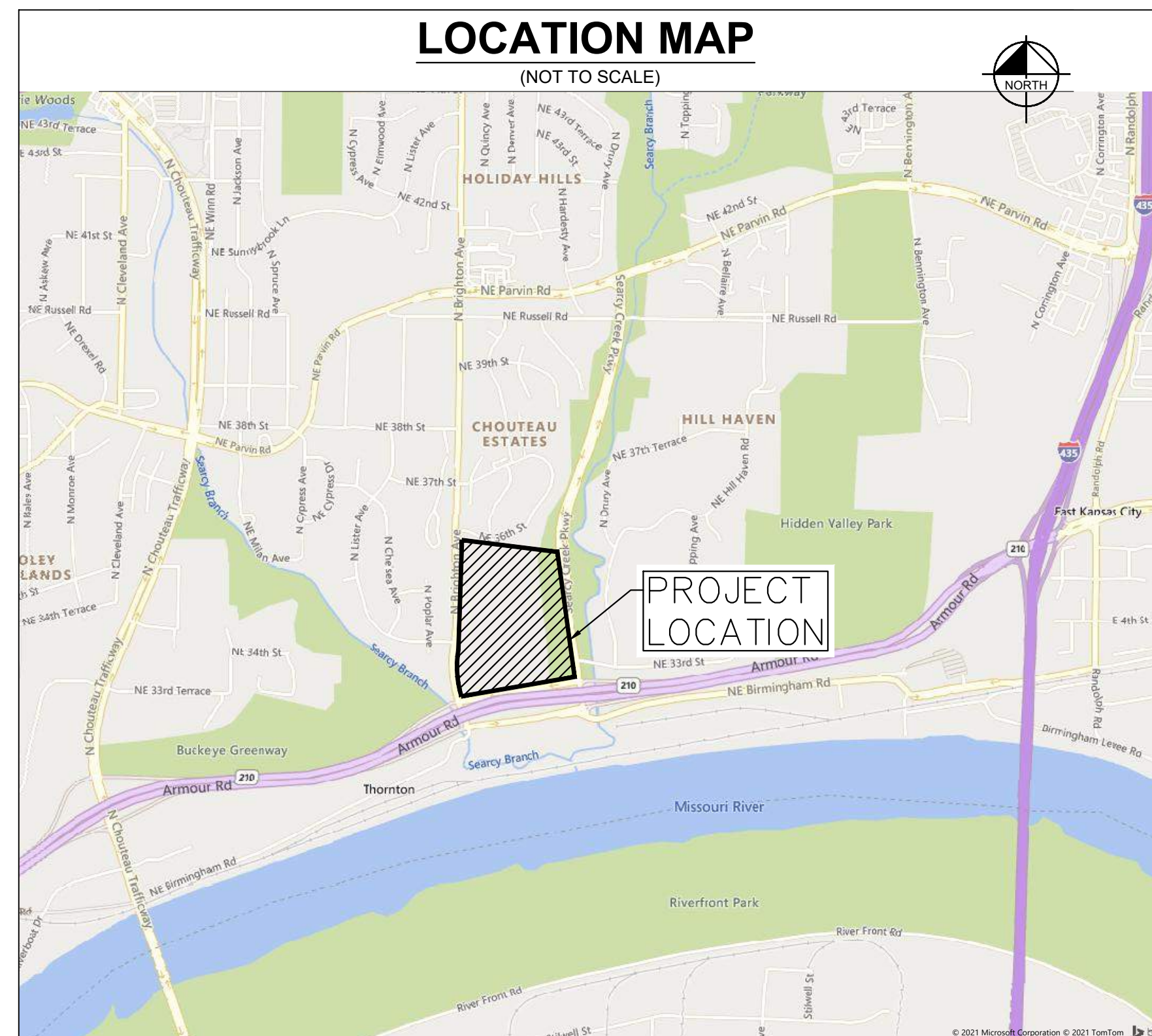
**TRAFFIC ENGINEER**  
MERGE MIDWEST ENGINEERING, LLC  
2668 WEST CATALPA STREET  
OLATHE, KS 66061  
(913) 788-1985  
PRIMARY CONTACT: JANELLE CLAYTON, PE, PTOE  
EMAIL: JCLAYTON@MERGEMIDWEST.COM

**ARCHITECT**  
BRR ARCHITECTURE  
8131 METCALF AVENUE #300  
OVERLAND PARK, KS 66204  
(913) 262-9095  
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EMAIL: DAN.POPP@BRRARCH.COM

**ATTORNEY**  
ROUSE FRETS WHITE GOSS GENTILE RHODES  
4510 BELLEVIEW AVENUE #300  
KANSAS CITY, MO 64111  
TEL: (816) 753-9200  
CONTACT: PATRICIA JENSEN  
EMAIL: PJENSEN@ROUSEPC.COM

## LOCATION MAP

(NOT TO SCALE)



## AERIAL MAP

(NOT TO SCALE)



## Sheet List Table

Sheet Number	Sheet Title
C001	COVER SHEET
C002	EXISTING CONDITIONS
C003	SITE PLAN
C004	GRADING AND UTILITY PLAN
C005	PEDESTRIAN CONNECTIVITY PLAN
C006	TURNING TEMPLATES
E001	SITE LIGHTING PHOTOMETRIC PLAN
E002	LIGHT FIXTURE SPEC SHEETS
L001	LANDSCAPE PLAN
L002	LANDSCAPE NOTES AND DETAILS
A001	BUILDING ELEVATIONS
A002	BUILDING SITE PERSPECTIVES

## SURVEY LEGEND

- - MONUMENT FOUND AS NOTED
- - SET MONUMENT AS NOTED
- - FOUND 1/2" IRON BAR AT CORNER UNLESS OTHERWISE NOTED
- - SET 1/2" IRON BAR AT CORNER W/ J & J CAP
- (P) - PLATTED DISTANCE
- (M) - MEASURED DISTANCE
- (R) - RECORD DISTANCE
- (D) - DEED DISTANCE
- B/L - BUILDING SETBACK LINE
- U/E - UTILITY EASEMENT
- W - WATER METER
- ⊗ - WATER VALVE
- ⊕ - FIRE HYDRANT
- ⊕ - POWER POLE
- ⊕ - GUY WIRE
- OHE — - OVERHEAD ELECTRIC

## MPD STATEMENT OF INTENT

Brighton Industrial—Northeast Corner of Highway 210 and N. Brighton Avenue

This MPD Plan provides for the preparation and approval of an approximately 36 acre development located at the northeast corner of Highway 210 and N. Brighton Avenue. The property is uniquely situated and is bounded by Missouri Highway 210 on the south which carries high traffic volumes, single family residential across N. Brighton to the west, multi-family units to the north and Searcy Creek Parkway to the east. The property and surrounding area have significant topographical issues and requires a plan which provides for a reasonable use of the property while balancing interests involved in the development of this property. With the adjacency of this property to the highly traveled Highway 201, development of this property for single family residential is not possible and not marketable. The proposed MPD Plan provides for the development of the 36 acre property for two industrial buildings with a total square feet of 576,400 sq. ft. By using MPD, this allows the integration of features addressing this site, buffering of the uses adjacent to this site and providing for a reasonable use of the property while respecting the surrounding uses. This MPD Plan provides greater community benefits by providing assurances of the type of industrial use, number of buildings, sizes, and heights that be permitted and constructed within this planned area and the buffering of the site to the adjacent properties.

**Kimley-Horn**  
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EXPIRES 12/31/21

SCALE: AS NOTED  
DESIGNED BY: TW  
DRAWN BY: AS  
CHECKED BY: MK

ENTITLEMENT PLAN  
NOT FOR CONSTRUCTION

**STAR Development**

COVER SHEET

BRIGHTON INDUSTRIAL PARK  
3363 N. BRIGHTON AVE.  
KANSAS CITY, MO 64117

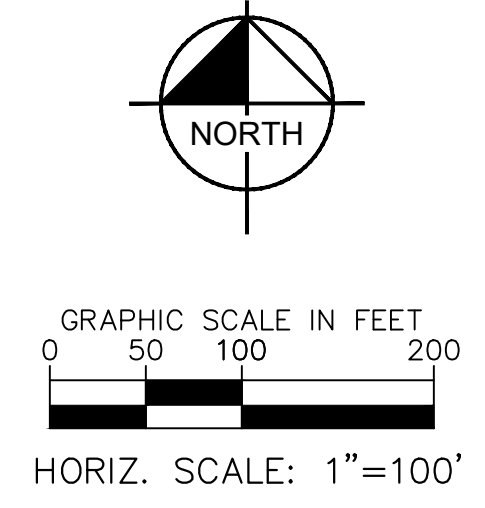
ORIGINAL ISSUE:  
4/5/2021  
KHA PROJECT NO.  
168916004

SHEET NUMBER

C001

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Layout: Apr 28, 2021 9:11am by Tyler Woyong  
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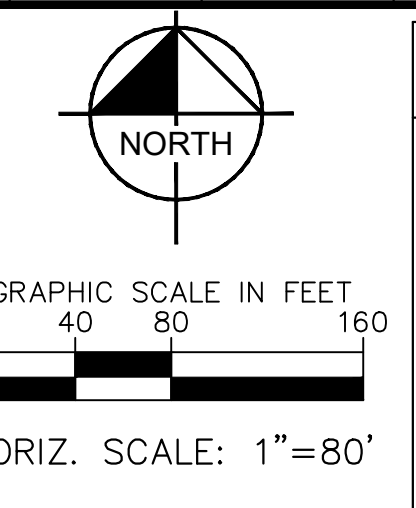
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NOTE: TOPOGRAPHIC & BOUNDARY SURVEY PROVIDED BY J&J SURVEY. EXISTING INFORMATION SHOW HEREIN, IS BASED ON A COMBINATION OF EXISTING CITY GIS DATA AND PARTIAL TOPOGRAPHIC AND BOUNDARY SURVEY

BRIGHTON INDUSTRIAL PARK		3663 N. BRIGHTON AVE. KANSAS CITY, MO 64117	
EXISTING CONDITIONS		ORIGINAL ISSUE: 4/5/2021	
STAR Development		KHA PROJECT NO. 168916004	
ENTIREMENT PLAN NOT FOR CONSTRUCTION		SHEET NUMBER C002	
Kimley»Horn		DESIGNED BY: TW	
© 2021 KIMLEY-HORN AND ASSOCIATES, INC. 1828 WALNUT STREET, SUITE 08-100 PHOENIX, AZ 85003 WWW.KIMLEY-HORN.COM AUTHORITY # 60152 EXPIRES 12/31/21		DRAWN BY: AS	
SCALE: AS NOTED		CHECKED BY: MK	
NO.		DATE	
REVISIONS			

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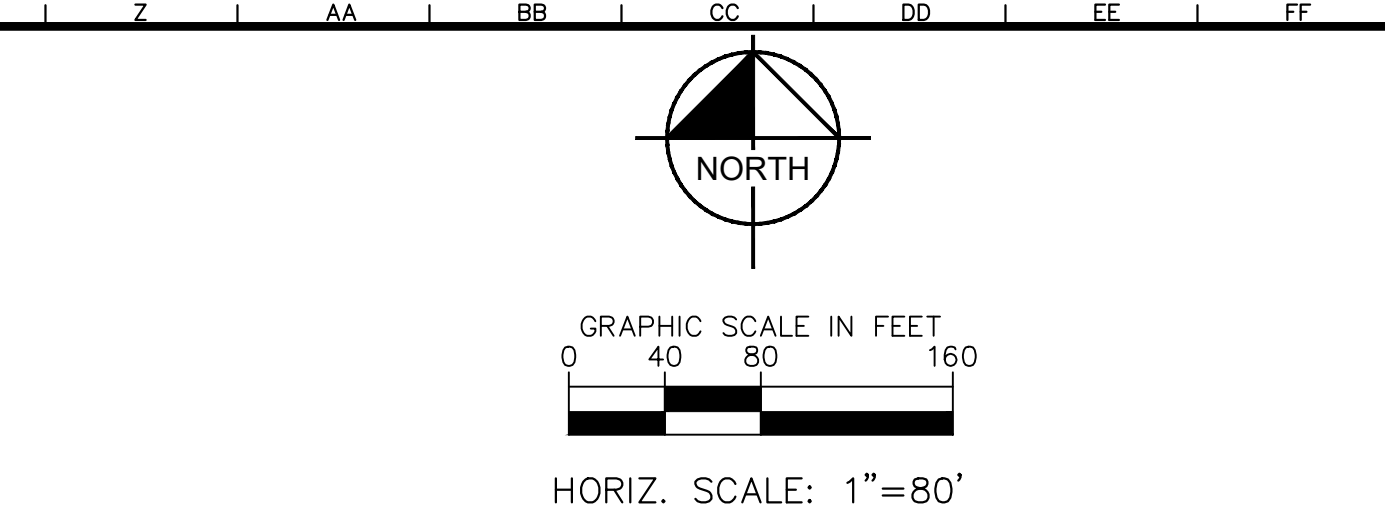
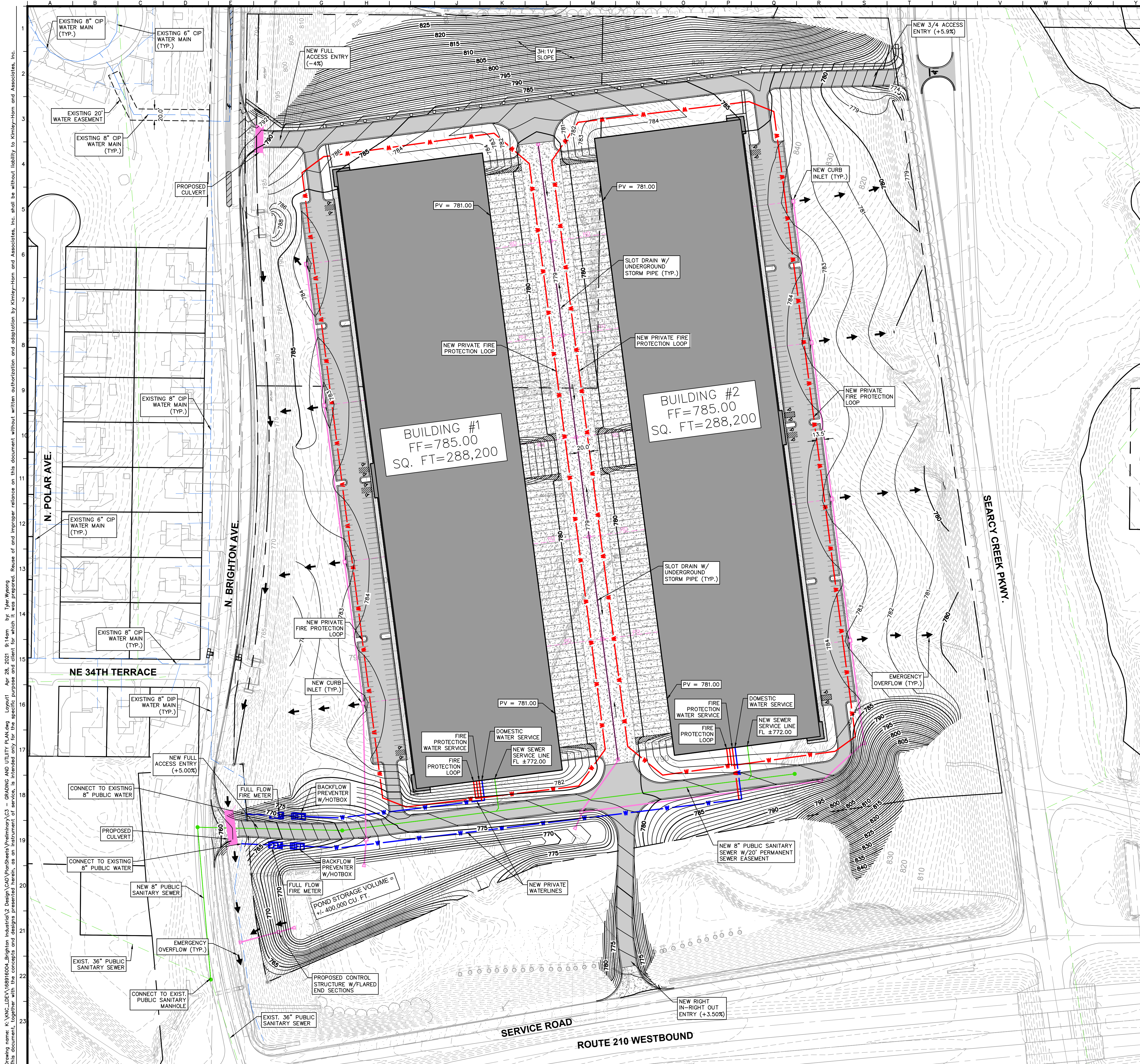
- ### GENERAL NOTES
- ALL DIMENSIONS REFER TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
  - BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
  - REFER TO ARCHITECTURAL PLANS TO VERIFY ALL BUILDING DIMENSIONS.
  - RADI ADJACENT TO PARKING STALL AND NOT DIMENSIONED ON THIS PLAN SHALL BE 3'-FEET, TYPICAL.
  - REFER TO ARCHITECTURAL PLANS FOR MONUMENT SIGN DETAILS. SEE ELECTRICAL PLANS FOR SITE LIGHTING & PHOTOMETRIC DRAWINGS.
  - ALL PROPOSED ON-SITE STRIPING SHALL BE PAINTED UNLESS OTHERWISE NOTED.

LEGEND

	ASPHALT PAVEMENT
	CONCRETE SIDEWALK
	CONCRETE PAVEMENT
	CURB & GUTTER
	DETENTION POND
	PROPOSED R/W ACQUISITION

A	Zoning	
	Existing	RG
B	Proposed	
	MPD	
C	Total Land Area	
	Existing	35.83 Acres
D	Right-of-way	
	Existing	0.00 Acres
	Brighton Ave R/W Dedication	0.59 Acres
	Searcy Creek R/W Acquisition	6.82 Acres
E	Net Land Area	
	Existing	35.83 Acres
F	Proposed	
	42.06 Acres	
G	Proposed Uses	
	Industrial	
H	Structure Number of Floors	
	Number of Floors	1
	Structure Height (FT)	42
I	Gross Floor Area & # of Units	
	Building #1 Gross Area (SF)	288,200
	Building #2 Gross Area (SF)	288,200
J	Total Building Gross Area (SF)	
	576,400	
K	Building Coverage & FAR	
	Coverage	576,400
L	FAR	
	0.37	
M	Density	
	Gross Density (lots/land area)	N/A
N	Net Density (lots/net land area)	
	N/A	
O	Passenger Vehicle Parking	
	Building #1 Vehicle Parking Provided	212
	Building #2 Vehicle Parking Provided	212
	Total Passenger Vehicle Parking Provided	424
P	Truck Vehicle Parking	
	Building #1 Truck Parking	78
	Building #2 Truck Parking	78
	Total Truck Parking	156
Q	Total Parking Required*	
	400	
R	Total Parking Provided	
	580	
S	Bike Parking	
	Short Term Stalls Required	43
	Short Term Stalls Provided	43
	Long Term Stalls Required	80
T	Long Term Stalls Provided	
	80	
U	Timeline	
	Estimated Start Date	7/1/2021
V	Estimated Completion Date	
	12/31/2024	
W	Requested Deviations	
	1. Per 88-425-05-D; adjacent to Parkways: A landscape buffer strip with a minimum width of 30 feet, planted with at least trees and 35 shrubs per 100 feet of buffer length shall be provided. (Provided: 10' wide by 1162.83' long buffer strip with 70 trees and 407 shrubs)	
	2. Curb cut and median removal along Searcy Creek Parkway will require Parks Board Approval	
	3. Per 88-323-02-B; no more than 30% of the site's frontage adjacent to the boulevard or parkway may be used for vehicular use area. (Provided: +/- 90%)	
	4. Per 88-323-02-E(6); if adjacent to and within 150 feet of a parkway, structure shall provide a minimum of 33% transparency on the ground level facade facing the parkway. (Provided: +/- 8%)	
	5. Per 88-323-02-I(1); any structure or vehicular use areas must be setback a minimum of 75 feet from the boulevard or parkway and the area shall be landscaped per 88-425 (Provided: Landscaping meeting 88-425 with a setback of 10 feet)	
X	6. Grading within Searcy Creek Parkway right-of-way will require Parks Board Approval.	
	*Required Parking for Industrial Warehousing, Wholesaling, & Freight Movement = 1 Space/4 Employees (Assuming 1600 Employees)	

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SCALE: AS NOTED	DESIGNED BY: TW	DRAWN BY: AS	CHECKED BY: MK	<div style="border: 1px solid black; padding: 2px; text-align: center;">             ENTITLEMENT PLAN              NOT FOR CONSTRUCTION           </div>				
<b>STAR Development</b>								
<b>SITE PLAN</b>								
<b>BRIGHTON INDUSTRIAL PARK</b> <small>3363 N. BRIGHTON AVE.          KANSAS CITY, MO 64117</small>								
ORIGINAL ISSUE: 4/5/2021								
KHA PROJECT NO. 168916004								
SHEET NUMBER								
<b>C003</b>								



### STORM WATER NOTES

THE EXISTING SITE CONTAINS A RIDGE IN THE CENTRAL PORTION OF THE SITE. THE EAST SIDE OF THE SITE SURFACE DRAINS TO AN ENCLOSED STORM SYSTEM ALONG SEARCY CREEK PARKWAY. THIS SYSTEM ULTIMATELY CROSSES UNDER 210 HIGHWAY DISCHARGING INTO THE MISSOURI RIVER. THE WEST SIDE OF THE SITE SURFACE DRAINS TO A CHANNEL ALONG THE EAST SIDE OF N. BRIGHTON AVENUE. THE CHANNEL EVENTUALLY DRAINS TO A SERIES OF 5'X4' CULVERTS LOCATED UNDER N. BRIGHTON AVENUE AND 210 HIGHWAY. THE PORTION SOUTH OF THE RIDGE DRAINS SOUTH TOWARD 210 HIGHWAY.

THE PROPOSED DRAINAGE PATTERNS WILL BE LARGELY UNCHANGED FROM EXISTING CONDITIONS. THE PROPOSED DEVELOPMENT WILL BE INCREASING IMPERVIOUS AREA SO WILL BE SUBJECT TO PROVIDING STORMWATER DETENTION AND BMP'S FOR WATER QUALITY. DETENTION FOR THE PROPOSED DEVELOPMENT WILL BE ACHIEVED USING ABOVE GROUND EXTENDED DRY DETENTION POND DISCHARGING BETWEEN 48-72 HOURS AT PRE-DEVELOPMENT FLOW RATES. DETENTION VOLUME FOR THE PROPOSED DEVELOPMENT WILL BE ACHIEVED BY UTILIZING THE SCS RUNOFF CURVE NUMBER METHOD TO ACCOUNT FOR THE TOTAL SITE DISTURBANCE AREA. BELOW ARE THE CALCULATIONS FOR THE TOTAL VOLUME REQUIRED AND TOTAL VOLUME PROVIDED BY THE DETENTION BASIN:

A. REQUIRED VOLUME REDUCTION: (1.5" OVER THE DISTURBED AREA)

#### SCS Runoff Curve Number Method

$$Q = \frac{(P - Ia)^2}{(P - Ia) + S}$$

$$Ia = 0.2 \times S$$

$$Q = \frac{(P - 0.2 \times S)^2}{(P + 0.8 \times S)}$$

$$S = \frac{1000}{CN} - 10$$

$$Req. Volume = \frac{Q \times A}{12}$$

Q = Runoff (in)  
P = Rainfall (in)  
S = Potential Maximum Retention After Runoff Begins (in)  
Ia = Initial Abstraction (in)  
A = Disturbed Area (SF)

A =	1730033.4 (SF)
P =	1.5 (IN)
CN =	92
S =	0.870
Ia =	0.174
Q =	0.801 (IN)
Req. Volume =	115466 (CF)

B. TOTAL STORAGE PROVIDED USING DRY DETENTION POND: (AVERAGE END AREA)

STAGE STORAGE TABLE						
ELEV.	AREA (sq. ft.)	DEPT H (ft)	AVG END INC. VOL. (cu. ft.)	AVG END TOTAL VOL. (cu. ft.)	CONIC INC. VOL. (cu. ft.)	CONIC TOTAL VOL. (cu. ft.)
768.00	26388.68	N/A	N/A	0.00	N/A	N/A
769.00	32782.45	1.000	30585.72	30585.72	N/A	N/A
770.00	37567.87	1.000	35175.16	65760.88	N/A	N/A
771.00	42742.99	1.000	40155.43	105916.31	N/A	N/A
772.00	48307.78	1.000	45525.39	151441.69	N/A	N/A
773.00	56562.40	1.000	24155.97	175597.66	N/A	N/A

TOTAL STORAGE PROVIDED = 175,597.66 CU. FT WHICH EXCEEDS THE 115,466 CU.FT REQUIRED AND MEETS THE CITY'S REQUIREMENT FOR STORMWATER VOLUME REDUCTION. THE DESIGN TEAM WILL CONTINUE TO CONSIDER APPROACHES TO MEET BMP REQUIREMENTS BASED ON APWA/MARC BMP MANUAL.

### UTILITY NOTES

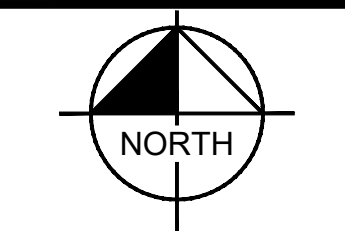
- ALL PROPOSED WATER & STORM LINES SHOWN ARE PRIVATELY OWNED & PRIVATELY MAINTAINED (TYP.)
- THE PROPOSED SANITARY SEWER SERVICE LINES ARE CONSIDERED PRIVATE, HOWEVER THE PROPOSED SEWER MAIN IS CONSIDERED PUBLIC.

LEGEND	
	EXISTING CONTOUR
	PROPOSED CONTOUR
	EXISTING STORM SEWER
	EXISTING SANITARY SEWER
	EXISTING WATER LINE
	PROPOSED STORM SEWER
	PROPOSED SANITARY SEWER
	PROPOSED WATER LINE
	PROPOSED FIRE PROTECTION LOOP
	PROPOSED CATCH BASIN
	PROPOSED FLARED END SECTION
	PROPOSED SANITARY MANHOLE

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<p>ENTITLEMENT PLAN        NOT FOR CONSTRUCTION</p>	
<p><b>BRIGHTON INDUSTRIAL PARK</b>        GRADING AND UTILITY PLAN</p>	
<p>3363 N. BRIGHTON AVE.        KANSAS CITY, MO 64117</p>	
<p>ORIGINAL ISSUE: 4/5/2021        KHA PROJECT NO. 168916004        SHEET NUMBER C004</p>	

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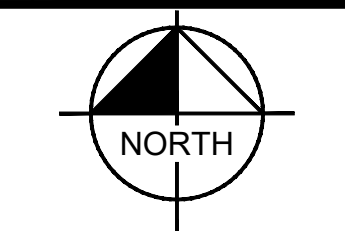
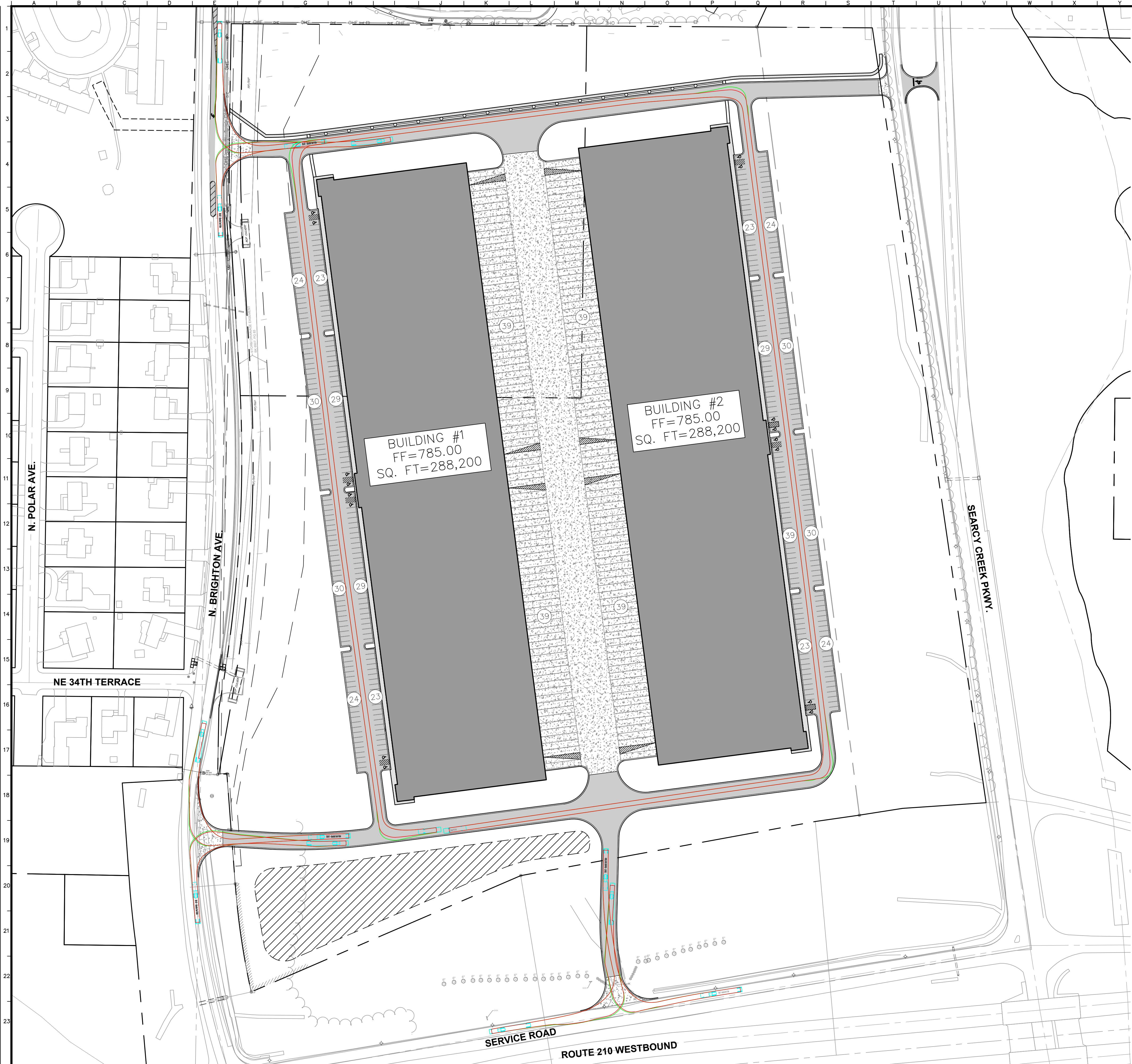


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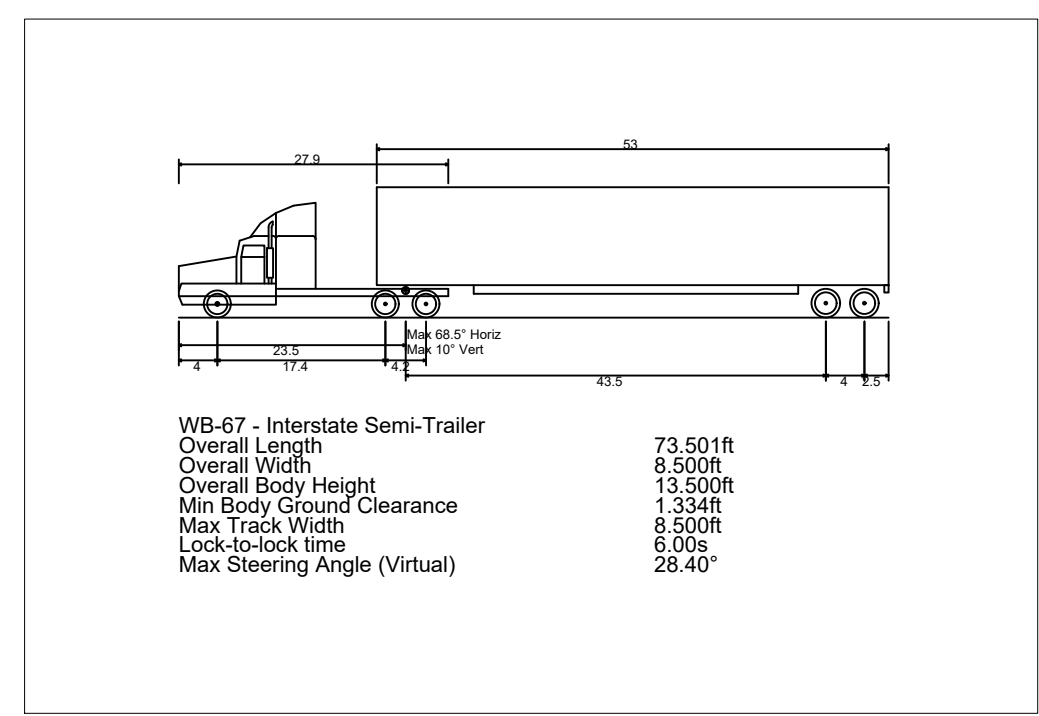
LEGEND	
	ASPHALT PAVEMENT
	CONCRETE SIDEWALK
	CONCRETE PAVEMENT
	CURB & GUTTER
	DETENTION POND
	PROPOSED R/W ACQUISITION
	PEDESTRIAN PATHWAY

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<b>BRIGHTON          INDUSTRIAL PARK</b> <small>3363 N. BRIGHTON AVE.          KANSAS CITY, MO 64117</small>	ORIGINAL ISSUE: 4/5/2021 KHA PROJECT NO. 168916004	SHEET NUMBER <h1 style="margin: 0;">C005</h1>		
			REVISIONS No. DATE BY	

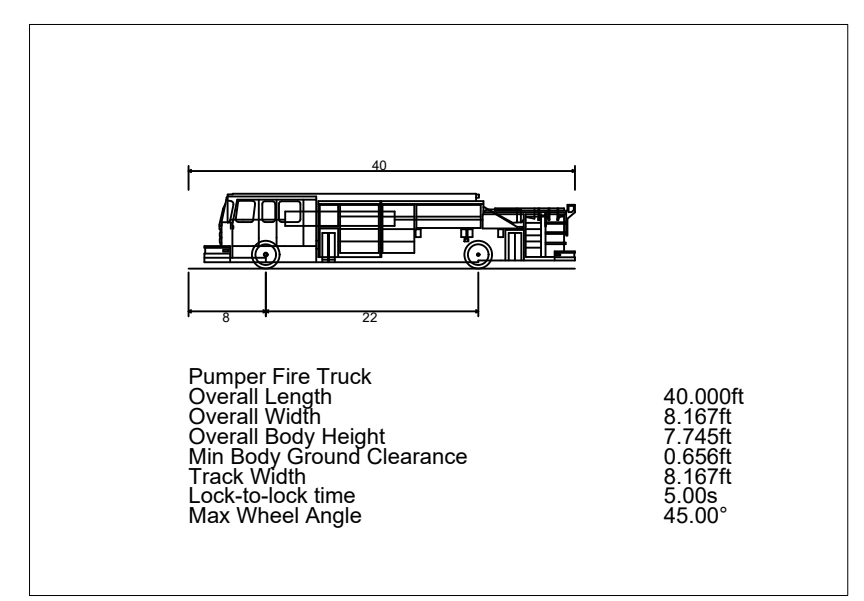
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GRAPHIC SCALE IN FEET  
0 40 80 160  
HORIZ. SCALE: 1"=80'



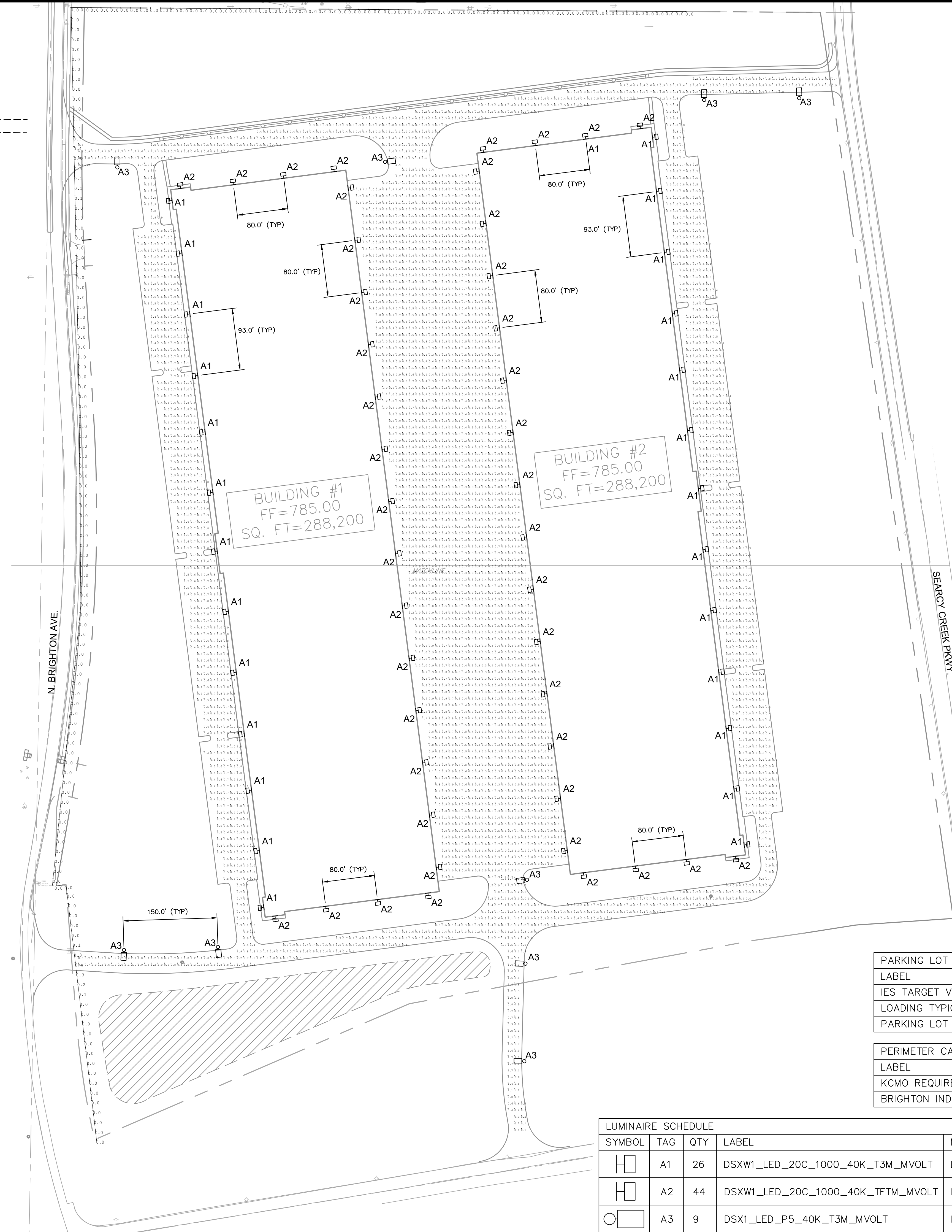
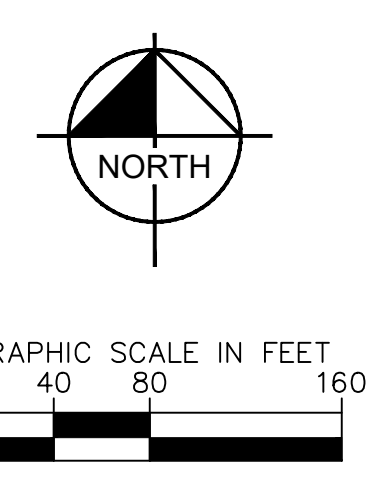
SEMI-TRUCK PROFILE  
N.T.S.



FIRE TRUCK PROFILE  
N.T.S.

No.		DATE		BY	
No.		DATE		BY	
<b>Kimley»Horn</b>					
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SCALE:	AS NOTED	DESIGNED BY:	TW	DRAWN BY:	AS
		CHECKED BY:	MK		
<b>ENTIREMENT PLAN</b> NOT FOR CONSTRUCTION					
<b>STAR Development</b>					
<b>BRIGHTON INDUSTRIAL PARK</b> 3363 N. BRIGHTON AVE. KANSAS CITY, MO 64117					
<b>TURNING TEMPLATES</b>					
ORIGINAL ISSUE: 4/5/2021					
KHA PROJECT NO. 168916004					
SHEET NUMBER <b>C006</b>					

Drawing name: K:\KNC\_DEVELOPMENT\Brighton Industrial\2 Design\CAD\Sheets\Preliminary\1 - LIGHTING PLAN.dwg E001 Apr 28, 2021 9:16am by: Tyler Woyong  
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**PHOTOMETRIC NOTES**

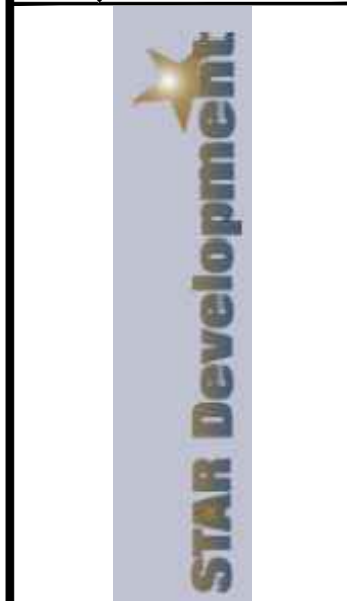
- LIGHTING LOCATIONS SHALL BE COORDINATED WITH FINAL ARCHITECTURAL DRAWINGS TO ALLOW FOR CONSISTENT SPACING AND COVERAGE OVER DOORWAYS AND BETWEEN COLUMN LINES ON BUILDING FACADE.

NO.	REVISIONS	DATE	BY

**Kimley»Horn**  
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 EXPIRES 12/31/21

SCALE: AS NOTED  
 DESIGNED BY: ER  
 DRAWN BY: AS  
 CHECKED BY: MK

ENTITLEMENT PLAN  
 NOT FOR CONSTRUCTION



**BRIGHTON INDUSTRIAL PARK**  
**SITE LIGHTING PHOTOMETRIC PLAN**

**BRIGHTON INDUSTRIAL PARK**  
 3363 N. BRIGHTON AVE.  
 KANSAS CITY, MO 64117

ORIGINAL ISSUE:  
 4/5/2021  
 KHA PROJECT NO.  
 168916004

SHEET NUMBER

LABEL	CALC TYPE	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN
IES TARGET VALUES	ILLUMINANCE	FC			0.5		15
LOADING TYPICAL	ILLUMINANCE	FC	0.67	2.7	0.3	2.27	9.00
PARKING LOT TYPICAL	ILLUMINANCE	FC	0.80	3.2	0.3	2.67	10.67

LABEL	CALC TYPE	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN
KCMO REQUIREMENTS	ILLUMINANCE	FC		1.0			
BRIGHTON INDUSTRIAL ROW	ILLUMINANCE	FC	0.02	0.60	0		

SYMBOL	TAG	QTY	LABEL	MANUFACTURER	LLF	LUMENS	WATTAGE	COLOR	BUG RATING	DESCRIPTION
	A1	26	DSXW1_LED_20C_1000_40K_T3M_MVOLT	LITHONIA	0.800	7572	73.2	4000K	B2-U0-G2	WALL MOUNT AT 25' AFF.
	A2	44	DSXW1_LED_20C_1000_40K_TFTM_MVOLT	LITHONIA	0.800	7711	73.2	4000K	B1-U0-G2	WALL MOUNT AT 25' AFF.
	A3	9	DSX1_LED_P5_40K_T3M_MVOLT	LITHONIA	0.800	15376	138	4000K	B3-U0-G3	MOUNT AT 25' AFF ON POLE.



### D-Series Size 1 LED Wall Luminaire



d-series

**Specifications Luminaire**  
Width: 13.3/4" (34.9 cm) Weight: 12 lbs (5.4 kg)  
Depth: 10" (25.4 cm) Height: 6.3/8" (16.2 cm)

**Back Box (BBW, ELCW)**  
Width: 13.3/4" (34.9 cm) Weight: 5 lbs (2.3 kg)  
Depth: 4" (10.2 cm) Height: 6.3/8" (16.2 cm)

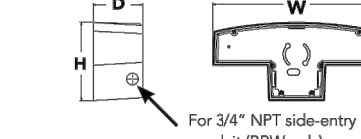
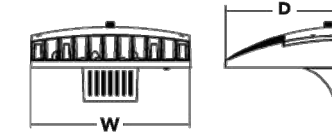


Table with 2 columns: Catalog Number, Notes, Type

Hit the Tab key or mouse over the page to see all interactive elements.

#### Introduction

The D-Series Wall Luminaire is a stylish, fully integrated LED solution for building-mount applications. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance. With an expected service life of over 20 years of nighttime use and up to 74% in energy savings over comparable 250W metal halide luminaires, the D-Series Wall is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

#### Ordering Information

Table with columns: Series, LED, Drive Current, Color Temperature, Distribution, Voltage, Mounting, Control Options. Includes example: DSXW1 LED 20C 1000 40K T3M MVOLT DBDXTD

Table with columns: Other Options, Finish

Table with columns: Shipped installed, Shipped separately, Finish

Table with columns: Accessories, NOTES

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### D-Series Size 1 LED Area Luminaire



d-series

**Specifications**  
EPA: 1.01 ft<sup>2</sup> (0.09 m<sup>2</sup>) Length: 33" (83.8 cm) Width: 13" (33.0 cm) Height H1: 7.1/2" (17.8 cm) Height H2: 3.1/2" (8.9 cm) Weight (max): 27 lbs (12.3 kg)

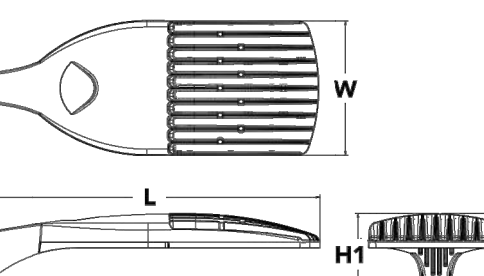


Table with 2 columns: Catalog Number, Notes, Type

Hit the Tab key or mouse over the page to see all interactive elements.

#### Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficiency, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 750W metal halide in pedestrian and area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

#### Ordering Information

Table with columns: Series, LED, Color Temperature, Distribution, Voltage, Mounting, Control Options. Includes example: DSX1 LED P7 40K T3M MVOLT SPA NLTAIRZ PIRHN DDBXD

Table with columns: Other Options, Finish

Table with columns: Shipped installed, Shipped separately, Finish

Table with columns: Accessories, NOTES

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#### Performance Data

##### Lumen Output

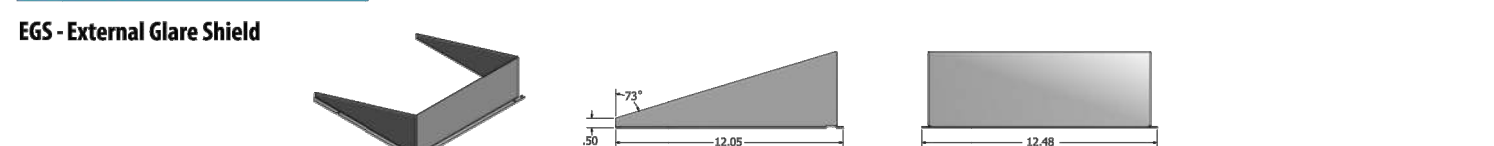
Lumen values are from photometric tests performed in accordance with IESNA LM-79-02. Contact factory for performance data on any configurations not shown here.

Large table with columns: Luminaire, Temp, Voltage, Power, Lumen, etc. for various configurations.

#### Ordering Information

Table with columns: Accessories, NOTES

#### Options



#### Drilling

Table with columns: Tonon Mounting Slipfitter, Dimensions

#### DSX1 Area Luminaire - EPA

Table with columns: Mounting Options, Dimensions

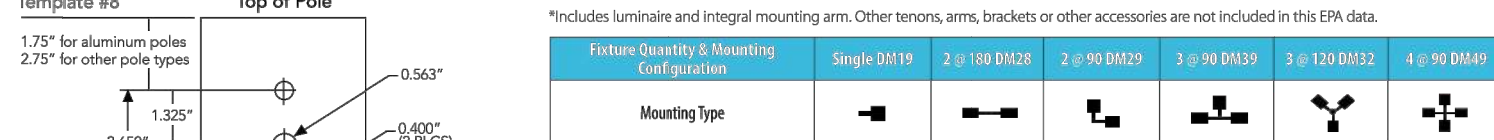


Table with columns: In-Bay Template, Dimensions

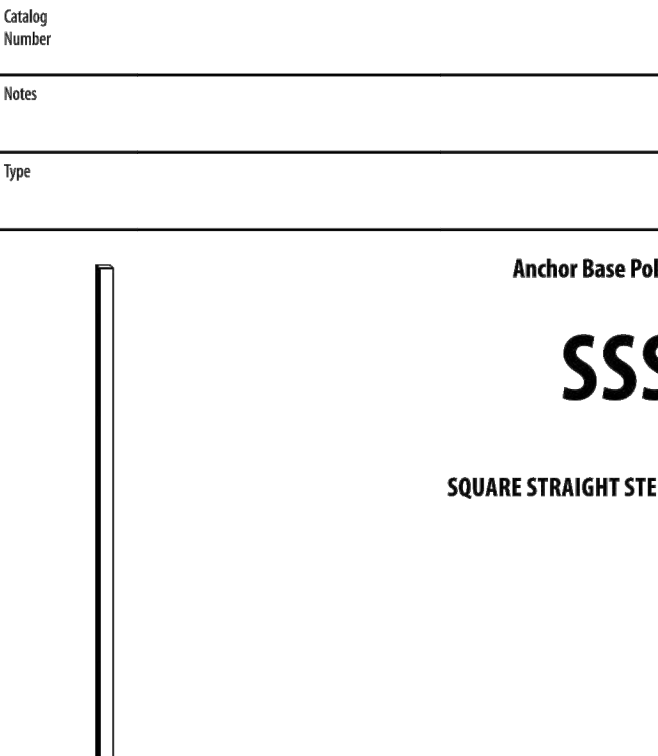
Table with columns: Mounting Options, Dimensions

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### FEATURES & SPECIFICATIONS

**INTENDED USE** - These specifications are for USA standards only. Square Straight Steel is a general purpose light pole for up to 39-foot mounting heights. This pole provides a robust yet cost effective option for mounting area lights and floodlights. **CONSTRUCTION** - Pole shaft: The pole shaft is of uniform dimension and wall thickness and is made of a weldable-galv. hot-dip, commercial-quality steel tubing with a minimum yield of 55 KSI (11-gauge, 1196"), or 50 KSI (7-gauge, 1793"). Shaft is one-piece with a full-length longitudinal high-frequency electric resistance weld. Uniformly square in cross-section with flat sides, small corner radii and excellent torsional qualities. Available shaft widths are 4", 5" and 6". **Pole Top**: A flush non-metallic black top cap is provided for all poles that will receive drilling patterns for side-mount luminaire arm assemblies or when ordered with FT option. **Handhole**: A reinforced handhole with grounding provision is provided at 18" from the base on side A. Positioning the handhole lower may not be possible and requires engineering review; consult Tech Support. Outdoor for further information. Every handhole includes a cover and cover attachment hardware. The handhole has a nominal dimension of 2.5" x 5". **Base Cover**: A durable ABS plastic two-piece full base cover, finished to match the pole, is provided with each pole assembly. Additional base cover options are available upon request. **Anchor Base Bolts**: Anchor base is fabricated from steel that meets ASTM A36 standards and can be altered to match existing foundations; consult factory for modifications. Anchor bolts are manufactured to ASTM F1554 Standards grade SS, (55 KSI minimum yield strength and tensile strength of 75-95 KSI). Top threaded portion (nominal 12") is hot-dipped galvanized per ASTM A-153. **HARDWARE** - All structural fasteners are high-strength galvanized carbon steel. All non-structural fasteners are galvanized or zinc-plated carbon steel stainless steel. **FINISH** - Extra durable standard powder-coat finishes include Dark Bronze, White, Black, Medium Bronze and Natural Aluminum colors. Classic finishes include Sandstone, Charcoal, Gray, Tennis Green, Bright Red and Steel Blue colors. Architectural Colors and Special Finishes are available by quote and include, but are not limited to: Hot-Dipped Galvanized, Paint over Hot-Dipped Galvanized, RAL Colors, Custom Colors and Extended Warranty Finishes. Factory-applied primer paint finish is available for customer field-paint applications. **WARRANTY** - 1-year limited warranty. Complete warranty terms located at: www.lithonia.com/support/warranty.html#warranty-conditions **NOTE**: Actual performance may differ as a result of end-user environment and application. Specifications subject to change without notice.



#### ORDERING INFORMATION

Table with columns: Series, Nominal fixture mounting height, Nominal shaft base size/wall thickness, Mounting, Options, Finish

Table with columns: Other Options, Finish

Table with columns: Shipped installed, Shipped separately, Finish

Table with columns: Accessories, NOTES

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### A1/A2 WALL MOUNTED LUMINAIRE

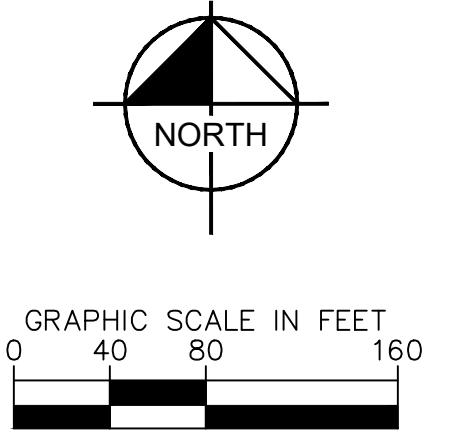
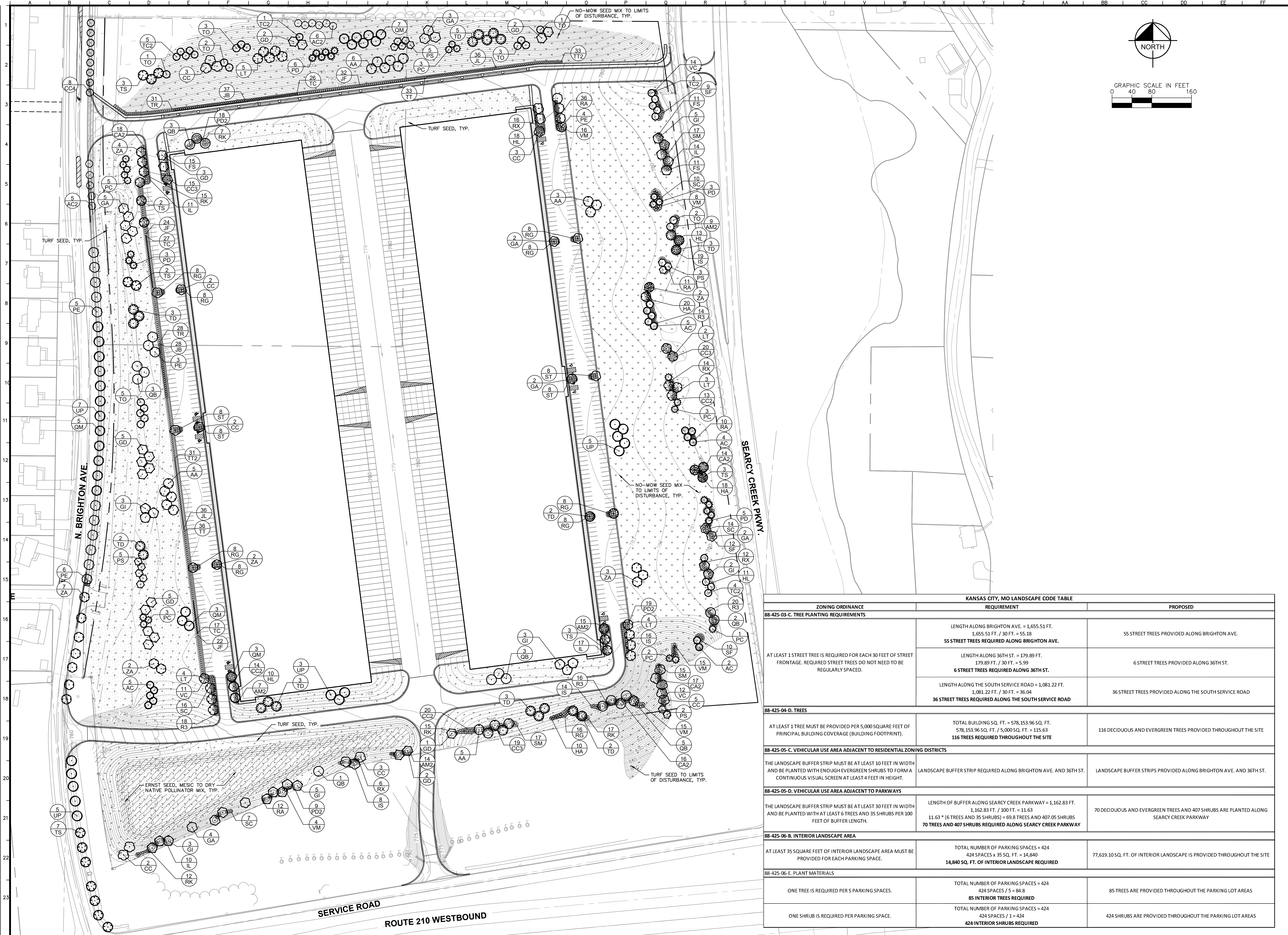
### A3 POLE MOUNTED LUMINAIRE

### A3 SQUARE LIGHT POLE

Vertical sidebar containing: SCALE: AS NOTED, DESIGNED BY: ER, DRAWN BY: AS, CHECKED BY: MK, ENTITLEMENT PLAN: NOT FOR CONSTRUCTION, STAR Development, LIGHT FIXTURE SPEC SHEETS, BRIGHTON INDUSTRIAL PARK, 3365 N. BRIGHTON AVE., KANSAS CITY, MO 64117, ORIGINAL ISSUE: 4/5/2021, KHA PROJECT NO. 168916004, SHEET NUMBER, E002



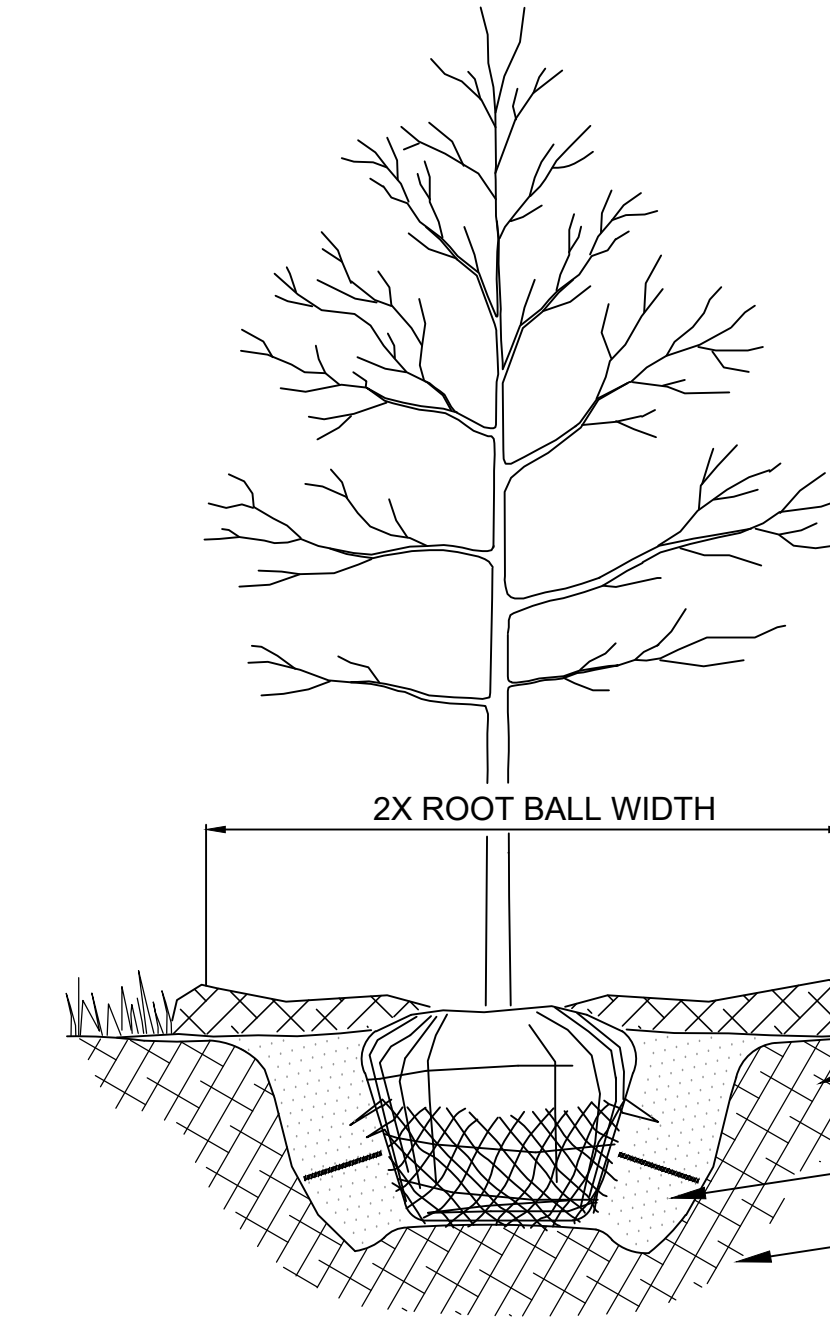
Drawing name: K:\VNC\168916004-Brighton Industrial\2 Design\CAD\Planting\Sheets\Premier\1 - LANDSCAPE PLAN.dwg  
 L001 LANDSCAPE PLAN  
 Apr 28, 2021 11:56am by Tye-Wyong  
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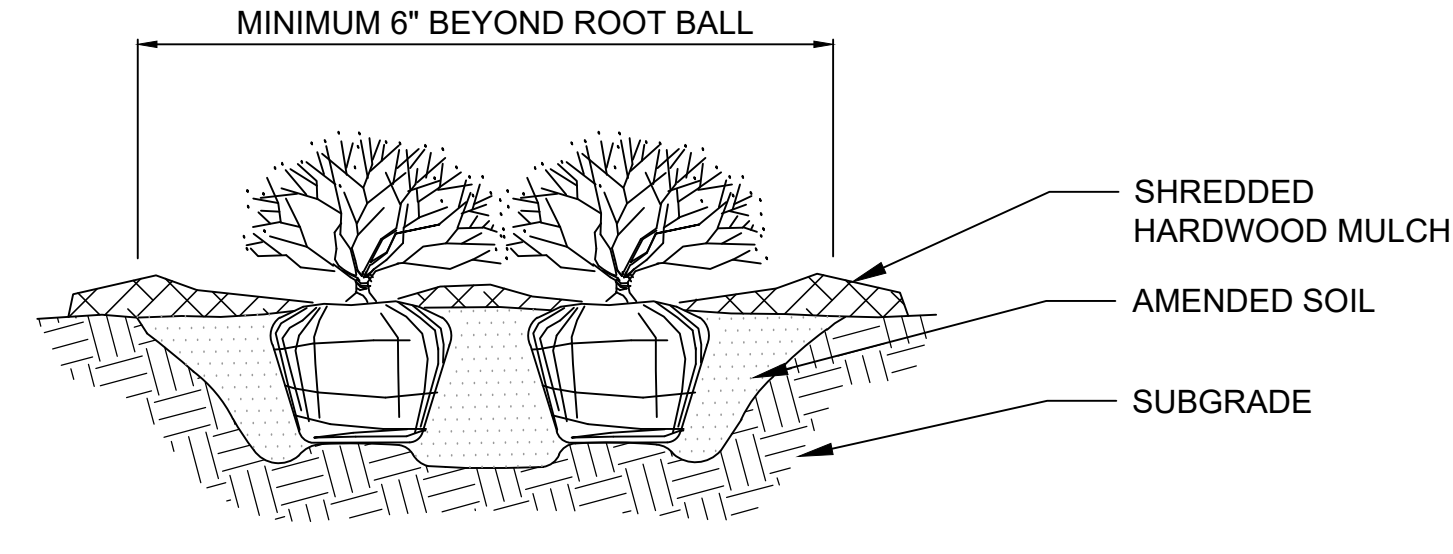
KANSAS CITY, MO LANDSCAPE CODE TABLE		
ZONING ORDINANCE	REQUIREMENT	PROPOSED
<b>88-425-03-C. TREE PLANTING REQUIREMENTS</b>		
AT LEAST 1 STREET TREE IS REQUIRED FOR EACH 30 FEET OF STREET FRONTAGE. REQUIRED STREET TREES DO NOT NEED TO BE REGULARLY SPACED.	LENGTH ALONG BRIGHTON AVE. = 1,655.51 FT. 1,655.51 FT. / 30 FT. = 55.18 <b>55 STREET TREES REQUIRED ALONG BRIGHTON AVE.</b>	55 STREET TREES PROVIDED ALONG BRIGHTON AVE.
	LENGTH ALONG 36TH ST. = 179.89 FT. 179.89 FT. / 30 FT. = 5.99 <b>6 STREET TREES REQUIRED ALONG 36TH ST.</b>	6 STREET TREES PROVIDED ALONG 36TH ST.
	LENGTH ALONG THE SOUTH SERVICE ROAD = 1,081.22 FT. 1,081.22 FT. / 30 FT. = 36.04 <b>36 STREET TREES REQUIRED ALONG THE SOUTH SERVICE ROAD</b>	36 STREET TREES PROVIDED ALONG THE SOUTH SERVICE ROAD
<b>88-425-04-D. TREES</b>		
AT LEAST 1 TREE MUST BE PROVIDED PER 5,000 SQUARE FEET OF PRINCIPAL BUILDING COVERAGE (BUILDING FOOTPRINT).	TOTAL BUILDING SQ. FT. = 578,153.96 SQ. FT. 578,153.96 SQ. FT. / 5,000 SQ. FT. = 115.63 <b>116 TREES REQUIRED THROUGHOUT THE SITE</b>	116 DECIDUOUS AND EVERGREEN TREES PROVIDED THROUGHOUT THE SITE
<b>88-425-05-C. VEHICULAR USE AREA ADJACENT TO RESIDENTIAL ZONING DISTRICTS</b>		
THE LANDSCAPE BUFFER STRIP MUST BE AT LEAST 10 FEET IN WIDTH AND BE PLANTED WITH ENOUGH EVERGREEN SHRUBS TO FORM A CONTINUOUS VISUAL SCREEN AT LEAST 4 FEET IN HEIGHT.	LANDSCAPE BUFFER STRIP REQUIRED ALONG BRIGHTON AVE. AND 36TH ST.	LANDSCAPE BUFFER STRIPS PROVIDED ALONG BRIGHTON AVE. AND 36TH ST.
<b>88-425-05-D. VEHICULAR USE AREA ADJACENT TO PARKWAYS</b>		
THE LANDSCAPE BUFFER STRIP MUST BE AT LEAST 30 FEET IN WIDTH AND BE PLANTED WITH AT LEAST 6 TREES AND 35 SHRUBS PER 100 FEET OF BUFFER LENGTH.	LENGTH OF BUFFER ALONG SEARCY CREEK PARKWAY = 1,162.83 FT. 1,162.83 FT. / 100 FT. = 11.63 11.63 * (6 TREES AND 35 SHRUBS) = 69.8 TREES AND 407.05 SHRUBS <b>70 TREES AND 407 SHRUBS REQUIRED ALONG SEARCY CREEK PARKWAY</b>	70 DECIDUOUS AND EVERGREEN TREES AND 407 SHRUBS ARE PLANTED ALONG SEARCY CREEK PARKWAY
<b>88-425-06-B. INTERIOR LANDSCAPE AREA</b>		
AT LEAST 35 SQUARE FEET OF INTERIOR LANDSCAPE AREA MUST BE PROVIDED FOR EACH PARKING SPACE.	TOTAL NUMBER OF PARKING SPACES = 424 424 SPACES x 35 SQ. FT. = 14,840 <b>14,840 SQ. FT. OF INTERIOR LANDSCAPE REQUIRED</b>	77,619.10 SQ. FT. OF INTERIOR LANDSCAPE IS PROVIDED THROUGHOUT THE SITE
<b>88-425-06-E. PLANT MATERIALS</b>		
ONE TREE IS REQUIRED PER 5 PARKING SPACES.	TOTAL NUMBER OF PARKING SPACES = 424 424 SPACES / 5 = 84.8 <b>85 INTERIOR TREES REQUIRED</b>	85 TREES ARE PROVIDED THROUGHOUT THE PARKING LOT AREAS
ONE SHRUB IS REQUIRED PER PARKING SPACE.	TOTAL NUMBER OF PARKING SPACES = 424 424 SPACES / 1 = 424 <b>424 INTERIOR SHRUBS REQUIRED</b>	424 SHRUBS ARE PROVIDED THROUGHOUT THE PARKING LOT AREAS

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<p>ENTITLEMENT PLAN NOT FOR CONSTRUCTION</p>	
<p><b>BRIGHTON INDUSTRIAL PARK LANDSCAPE PLAN</b></p>	
<p>3363 N. BRIGHTON AVE. KANSAS CITY, MO 64117</p>	
<p>ORIGINAL ISSUE: 4/5/2021 KHA PROJECT NO. 168916004 SHEET NUMBER</p>	
<p><b>L001</b></p>	
<p>NO. _____</p> <p>DATE _____</p> <p>REVISIONS _____</p>	

Drawing name: K:\VNC\LDV\168916004\Brighton Industrial\2 Design\CAD\Planting\Planting.dwg - LANDSCAPE PLAN.dwg  
Date: 4/28/2021 11:56am  
by: Tyler Weisong  
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**1 TREE PLANTING**  
NTS



**2 SHRUB PLANTING**  
NTS

**LANDSCAPE NOTES**

- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING MATERIALS AND PLANTS SHOWN ON THE LANDSCAPE PLAN. THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT LANDSCAPE, PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION OR DURING THE SPECIFIED MAINTENANCE PERIOD. CALL FOR UTILITY LOCATIONS PRIOR TO ANY EXCAVATION.
- THE CONTRACTOR SHALL REPORT ANY DISCREPANCY IN PLAN VS. FIELD CONDITIONS IMMEDIATELY TO THE LANDSCAPE ARCHITECT, PRIOR TO CONTINUING WITH THAT PORTION OF WORK.
- NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
- ALL PLANTS TO BE SPECIMEN GRADE, WELL BRANCHED, HEALTHY, FULL, PRE-INOCULATED AND FERTILIZED. PLANTS SHALL BE FREE FROM DISEASE, PESTS, WOUNDS, AND SCARS. PLANTS SHALL BE FREE FROM NOTICEABLE GAPS, HOLES, OR DEFORMITIES. PLANTS SHALL BE FREE FROM BROKEN OR DEAD BRANCHES. TRUNKS WILL BE WRAPPED IF NECESSARY TO PREVENT SUN SCALD AND INSECT DAMAGE. THE LANDSCAPE CONTRACTOR SHALL REMOVE THE WRAP AT THE PROPER TIME AS PART OF THIS CONTRACT.
- THE OWNER'S REPRESENTATIVE MAY REJECT ANY PLANT MATERIALS THAT ARE DISEASED, DEFORMED, OR OTHERWISE NOT EXHIBITING SUPERIOR QUALITY.
- ALL NURSERY STOCK SHALL BE GUARANTEED, BY THE CONTRACTOR, FOR ONE YEAR FROM DATE OF FINAL INSPECTION. THE GUARANTEE BEGINS ON THE DATE OF THE LANDSCAPE ARCHITECT'S OR OWNERS WRITTEN ACCEPTANCE OF THE INITIAL PLANTING. REPLACEMENT PLANT MATERIAL SHALL HAVE A ONE YEAR GUARANTEE COMMENCING UPON PLANTING.
- PLANTS TO MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014 OR MOST CURRENT VERSION) REQUIREMENTS FOR SIZE AND TYPE SPECIFIED.
- PRUNE PLANTS AS NECESSARY- PER STANDARD NURSERY PRACTICE AND TO CORRECT POOR BRANCHING OF EXISTING AND PROPOSED TREES.
- TOPSOIL SHALL BE PROVIDED AND GRADED BY THE GENERAL CONTRACTOR UP TO 6 INCHES BELOW FINISHED GRADE IN TURF AREAS AND 18 INCHES IN PLANTING AREAS.
- PLANTING AREA TOPSOIL SHALL BE AMENDED WITH 25% SPHAGNUM PEATMOSS, 5% HUMUS AND 70% PULVERIZED SOIL FOR ALL NON TURF SEED MIX AREAS, SHRUB, ORNAMENTAL GRASS, PERENNIAL AND ANNUAL BEDS.
- SEED/SOD LIMIT LINES ARE APPROXIMATE. CONTRACTOR SHALL SEED/SOD ALL AREAS WHICH ARE DISTURBED BY GRADING WITH THE SPECIFIED SEED/SOD MIXES.
- EDGING TO BE SPADED EDGE UNLESS INDICATED OTHERWISE ON THE PLANS. SPADED EDGE TO PROVIDE V-SHAPED DEPTH AND WIDTH TO CREATE SEPARATION BETWEEN MULCH AND GRASS. A SPADED BED EDGE SHALL SEPARATE MULCH BEDS FROM TURF OR SEEDED AREAS. A SPADED EDGE IS NOT REQUIRED ALONG CURBED EDGES.
- CONTRACTOR SHALL INSTALL SHREDDED HARDWOOD MULCH AT A 3" DEPTH TO ALL TREES, SHRUB, PERENNIAL, AND GROUNDCOVER AREAS. TREES PLACED IN AREA COVERED BY TURF SHALL RECEIVE A 4 FT WIDE MAXIMUM TREE RING WITH 3" DEPTH SHREDDED HARDWOOD MULCH.
- INSTALLATION OF TREES WITHIN PARKWAYS SHALL BE COORDINATED IN THE FIELD WITH LOCATIONS OF UNDERGROUND UTILITIES. TREES SHALL NOT BE LOCATED CLOSER THAN 5' FROM UNDERGROUND UTILITY LINES AND NO CLOSER THAN 10' FROM UTILITY STRUCTURES.
- DO NOT DISTURB THE EXISTING PAVING, LIGHTING, OR LANDSCAPING THAT EXISTS ADJACENT TO THE SITE UNLESS OTHERWISE NOTED ON PLAN.
- ALL DISTURBED AREAS TO BE SODDED OR SEEDED, UNLESS OTHERWISE NOTED. SOD/SEED SHALL BE LOCAL HARDY TURF GRASS MIX UNLESS, OTHERWISE NOTED.
- PLANT QUANTITIES SHOWN ARE FOR THE CONVENIENCE OF THE OWNER AND JURISDICTIONAL REVIEW AGENCIES. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES AS DRAWN.
- THE CONTINUED MAINTENANCE OF ALL REQUIRED LANDSCAPING SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY ON WHICH SAID MATERIALS ARE REQUIRED. ALL PLANT MATERIALS REQUIRED BY THIS SECTION SHALL BE MAINTAINED AS LIVING VEGETATION AND SHALL BE PROMPTLY REPLACED IF THE PLANT MATERIAL HAS DIED PRIOR TO FINAL ACCEPTANCE. PLANTING AREAS SHALL BE KEPT FREE OF TRASH, LITTER, AND WEEDS AT ALL TIMES.

**PLANT SCHEDULE**

TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
	AA	19	ACER X FREEMANII 'JEFFSRED' TM / AUTUMN BLAZE FREEMAN MAPLE	B & B		2" CAL. MIN
	AC2	11	AMELANCHIER CANADENSIS / CANADIAN SERVICEBERRY	B & B		2" CAL. MIN
	CC	20	CELTIS OCCIDENTALIS 'CHICAGOLAND' / CHICAGOLAND COMMON HACKBERRY	B & B		2" CAL. MIN
	CC4	8	CERCIS CANADENSIS / EASTERN REDBUD	B & B		2" CAL. MIN
	GA	18	GINKGO BILOBA 'AUTUMN GOLD' TM / AUTUMN GOLD MAIDENHAIR TREE	B & B		2" CAL. MIN
	GD	20	GYMNOCLADUS DIOICA 'ESPRESSO' / KENTUCKY COFFEETREE	B & B		2" CAL. MIN
	GI	21	GLEDITSIA TRIACANTHOS INERMIS / THORNLESS HONEYLOCUST	B & B		2" CAL. MIN
	LT	18	LIRIODENDRON TULIPIFERA / TULIP POPLAR	B & B		2" CAL. MIN
	PE	18	PLATANUS X ACERIFOLIA 'EXCLAMATION' TM / EXCLAMATION LONDON PLANE TREE	B & B		2" CAL. MIN
	QB	17	QUERCUS BICOLOR / SWAMP WHITE OAK	B & B		2" CAL. MIN
	QM	18	QUERCUS MACROCARPA / BURR OAK	B & B		2" CAL. MIN
	TD	23	TAXODIUM DISTICHUM / BALD CYPRESS	B & B		2" CAL. MIN
	TS	20	TILIA TOMENTOSA / SILVER LINDEN	B & B		2" CAL. MIN
	UP	20	ULMUS AMERICANA 'PRINCETON' / PRINCETON AMERICAN ELM	B & B		2" CAL. MIN
	ZA	20	ZELKOVA SERRATA 'AUTUMN GLOW' / AUTUMN GLOW JAPANESE ZELKOVA	B & B		2" CAL. MIN

EVERGREEN TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
	AC	16	ABIES CONCOLOR / WHITE FIR	B & B		5' HT MIN
	PC	17	PICEA PUNGENS / COLORADO SPRUCE	B & B		5' HT MIN
	PD	17	PSEUDOTSUGA MENZIESII / DOUGLAS FIR	B & B		5' HT MIN
	PS	15	PINUS STROBUS / WHITE PINE	B & B		5' HT MIN
	TC2	15	TSUGA CANADENSIS / CANADIAN HEMLOCK	B & B		5' HT MIN
	TO	17	THUJA OCCIDENTALIS / AMERICAN ARBORVITAE	B & B		5' HT MIN

SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	SIZE
	AM2	45	ARONIA MELANOCARPA 'MORTON' TM / IROQUIS BEAUTY BLACK CHOKEBERRY	3 GAL	SEE PLAN	24" HT MIN
	CA2	65	CEANOTHUS AMERICANUS / NEW JERSEY TEA	3 GAL	SEE PLAN	24" HT MIN
	CC2	47	CORNUS SANGUINEA 'CATO' / ARCTIC SUN DOGWOOD	3 GAL	SEE PLAN	24" HT MIN
	CC3	54	COTONEASTER APICULATUS / CRANBERRY COTONEASTER	3 GAL	SEE PLAN	24" HT MIN
	FS	37	FORSYTHIA X 'SUNRISE' / SUNRISE FORSYTHIA	3 GAL	SEE PLAN	24" HT MIN
	HA	48	HYDRANGEA QUERCIFOLIA 'ALICE' / ALICE OAKLEAF HYDRANGEA	5 GAL	SEE PLAN	36" HT MIN
	HL	52	HYDRANGEA PANICULATA 'LITTLE QUICK FIRE' / LITTLE QUICK FIRE HYDRANGEA	3 GAL	SEE PLAN	24" HT MIN
	IL	52	ITEA VIRGINICA 'LITTLE HENRY' TM / VIRGINIA SWEETSPICE	3 GAL	SEE PLAN	24" HT MIN
	IS	57	ILEX GLABRA 'SHAMROCK' / INKBERRY	3 GAL	SEE PLAN	24" HT MIN
	PD2	46	PHYSCARPUS OPULIFOLIUS 'DONNA MAY' TM / LITTLE DEVIL NINEBARK	3 GAL	SEE PLAN	24" HT MIN
	R3	68	ROSA X 'RADRAZZ' TM / KNOCK OUT SHRUB ROSE	3 GAL	SEE PLAN	24" HT MIN
	RA	69	RIBES ALPINUM 'GREEN MOUND' / GREEN MOUND ALPINE CURRRANT	5 GAL	SEE PLAN	24" HT MIN
	RG	80	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	3 GAL	SEE PLAN	24" HT MIN
	RK	66	RHODODENDRON X 'KARENS' / KARENS AZALEA	3 GAL	SEE PLAN	24" HT MIN
	RX	48	RHODODENDRON X 'LEMON LIGHTS' / LEMON LIGHTS AZALEA	3 GAL	SEE PLAN	24" HT MIN
	SC	47	STEPHANANDRA INCISA 'CRISPA' / CUTLEAF STEPHANANDRA	2 GAL	SEE PLAN	24" HT MIN
	SF	31	SPIRAEA JAPONICA 'NEON FLASH' / NEON FLASH JAPANESE SPIREA	3 GAL	SEE PLAN	24" HT MIN
	SM	49	SYRINGA MEYERI 'PALIBIN' / DWARF KOREAN LILAC	5 GAL	SEE PLAN	36" HT MIN
	ST	32	SPIRAEA BETULIFOLIA 'TOR GOLD' TM / GLOW GIRL BIRCHLEAF SPIREA	3 GAL	SEE PLAN	24" HT MIN
	VC	37	VIBURNUM CARLESII 'COMPACTUM' / KOREAN SPICE VIBURNUM	3 GAL	SEE PLAN	24" HT MIN
	VM	58	VIBURNUM DENTATUM 'BLUE MUFFIN' / SOUTHERN ARROWWOOD	5 GAL	SEE PLAN	36" HT MIN

EVERGREEN SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	SIZE
	JB	65	JUNIPERUS VIRGINIANA 'BLUE MOUNTAIN' / BLUE MOUNTAIN JUNIPER	5 GAL	SEE PLAN	24" HT MIN
	JF	78	JUNIPERUS CHINENSIS 'SEA GREEN' / SEA GREEN JUNIPER	5 GAL	SEE PLAN	36" HT MIN
	JL	72	JUNIPERUS CHINENSIS 'GOLD LACE' / GOLD LACE JUNIPER	5 GAL	SEE PLAN	24" HT MIN
	TC	70	THUJA OCCIDENTALIS 'CONGABE' TM / FIRE CHIEF ARBORVITAE	5 GAL	SEE PLAN	24" HT MIN
	TR	59	TAXUS X MEDIA 'RUNYAN' / RUNYAN MEDIA YEW	5 GAL	SEE PLAN	24" HT MIN
	TT	69	TAXUS X MEDIA 'TAUNTONII' / TAUNTON YEW	5 GAL	SEE PLAN	24" HT MIN
	TT2	64	THUJA OCCIDENTALIS 'HETZ MIDGET' / AMERICAN ARBORVITAE	5 GAL	SEE PLAN	24" HT MIN

GROUND COVERS	BOTANICAL / COMMON NAME
	NO-MOW SEED MIX
	ERNST SEED - ERNMX-105 / MESIC TO DRY NATIVE POLLINATOR MIX
	TURF SEED

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EXPIRES 12/31/21

SCALE: AS NOTED  
DESIGNED BY: TW  
DRAWN BY: AS  
CHECKED BY: MK

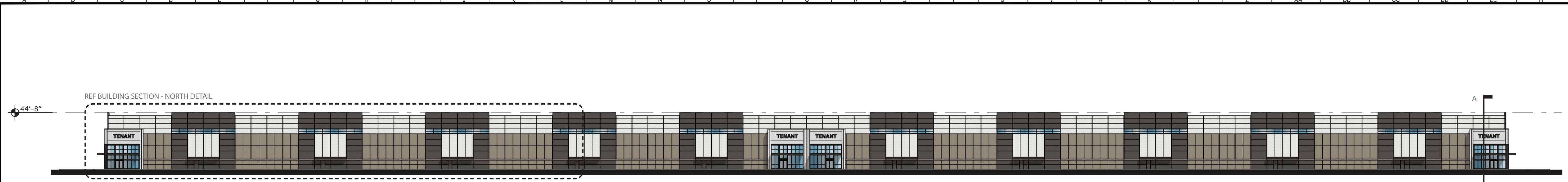
**STAR Development**

**LANDSCAPE NOTES AND DETAILS**

**BRIGHTON INDUSTRIAL PARK**  
3363 N. BRIGHTON AVE.  
KANSAS CITY, MO 64117

ORIGINAL ISSUE: 4/5/2021  
KHA PROJECT NO. 168916004  
SHEET NUMBER **L002**

Drawing name: K:\WORK\DETA\168916004\_Brighton Industrial Park\Drawings\168916004\_Site Plan.dwg, Layout: 168916004\_Site Plan.dwg, Plot Date: 3/5/2021, 2:46pm, by: Tyler W. Young  
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**Front Elevation**

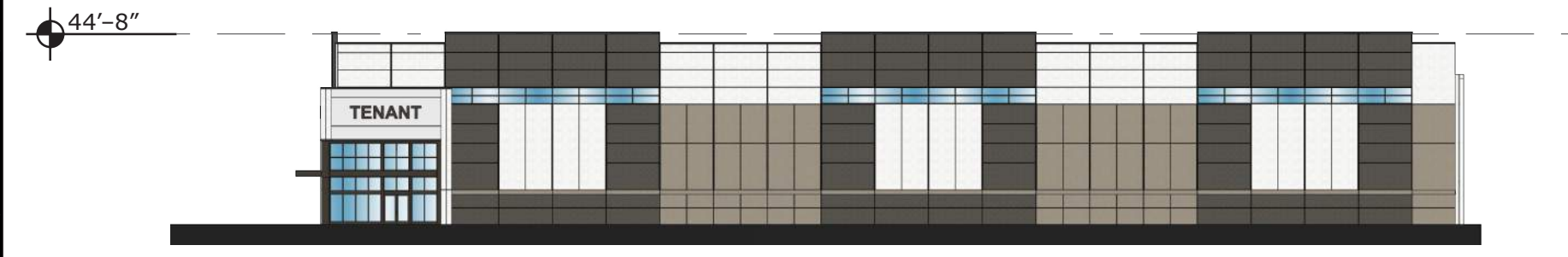
NTS



**Rear Elevation**

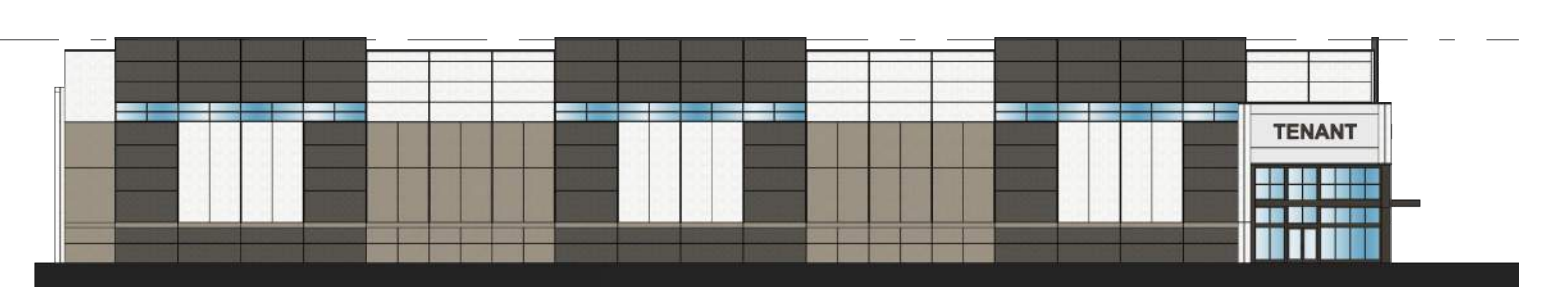
NTS

**NOTE:** Both Buildings will be of a similar design aesthetic, but mirrored along the east/west axis to ensure the Front elevation faces the N Brighton Ave and Searcy Creek Pkwy



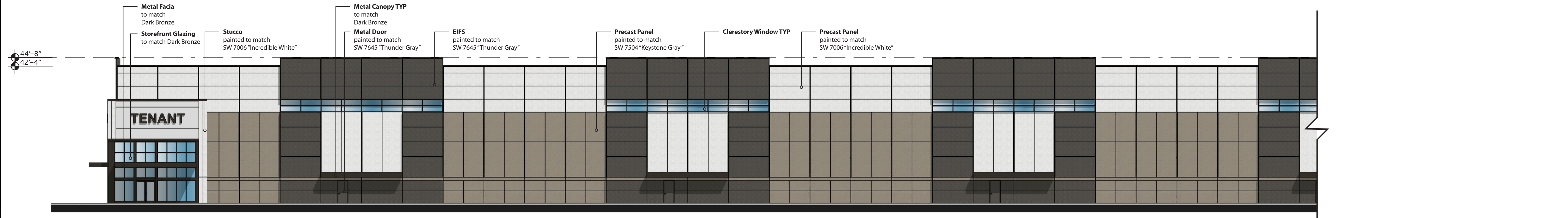
**Right Elevation**

NTS



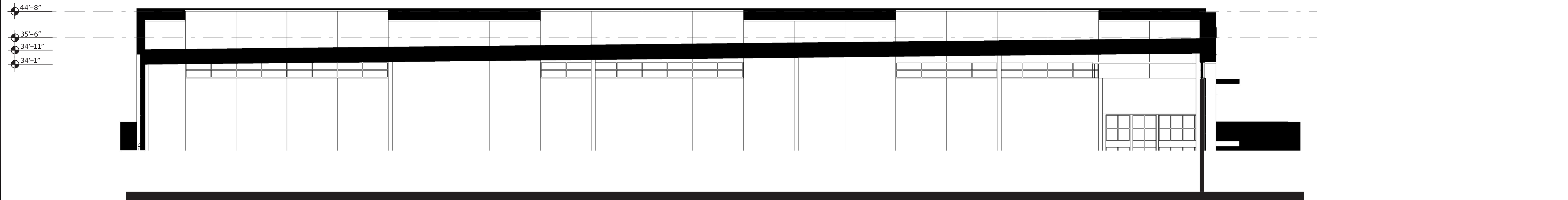
**Left Elevation**

NTS



**Front Elevation - North Detail**

NTS



**Building Section - AA**

NTS

**NOTE:** Ceiling Structure shown as solid for clarity. Structure will be steel joists and decking

No.	REVISIONS	DATE	BY

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 DESIGNED BY: TW  
 DRAWN BY: AS  
 CHECKED BY: MK

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NOT FOR CONSTRUCTION



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ORIGINAL ISSUE:  
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 168916004  
 SHEET NUMBER  
**A001**

Drawing name: K:\WORK\168916004\_Brighton\_Industrial\2\_Design\Sub\Plan\Sheet\2\_Schematic\2\_Site\B1\_Arch\_Layout\2021\_3-4-2021.rvt, 3-4-2021, 2:46pm, by: Tyler, Myung  
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Perspective - Northwest Building Entrance



Perspective - West Building Entrance Looking North



Perspective - Northwest Looking Southeast on N Brighton Ave



Perspective - Southwest Looking Northeast on N Brighton Ave



Perspective - Looking East from N Brighton Ave



Perspective - Northeast Looking Southwest on Searcy Creek Pkwy

No.	REVISIONS	DATE	BY

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