



# CITY PLAN COMMISSION STAFF REPORT

City of Kansas City, Missouri  
City Planning & Development Department  
[www.kcmo.gov/cpc](http://www.kcmo.gov/cpc)

June 18, 2024

**Project Name**

LivSmart Studios KCI

**Docket #1****Request**

CD-CPC-2024-00019

Non-Residential Development Plan

**Applicant**

Kaitlin Raynor

Kimley Horn

**Owner**

Paroya Petroleum Inc

Location 10000 North Polo Drive

Area About 2.4 Acres

Zoning B3-3

Council District 1<sup>st</sup>

County Platte

School District Park Hill

**Surrounding Land Uses**

**North:** NW Tiffany Springs Parkway, zoned B3-3

**South:** Commercial, zoned B3-3

**East:** Commercial, zoned B3-3

**West:** Interstate 29, zoned B3-3

**KC Spirit Playbook Alignment**

CD-CPC-2024-00019

LRP determination: NA

**Land Use Plan**

The KCIA Area Plan recommends

Commercial for this location.

**Major Street Plan**

NW Tiffany Springs Parkway identified as an Established Parkway on the City's Major Street Plan.

**APPROVAL PROCESS****PROJECT TIMELINE**

The application for the subject request was filed on 02/23/2024. Scheduling deviations from 2024 Cycle 4.2 have occurred to provide the applicant with additional time to submit updated plans.

**NEIGHBORHOOD AND CIVIC ORGANIZATIONS NOTIFIED**

The subject site is not located within a registered neighborhood or homes association.

**REQUIRED PUBLIC ENGAGEMENT**

Public engagement as required by 88-505-12 does apply to this request. Applicant hosted a meeting on March 12, 2024. A summary of the meeting is attached to the staff report, see Attachment #3.

**EXISTING CONDITIONS**

The subject property has an existing surface parking lot.

**SUMMARY OF REQUEST + KEY POINTS**

The applicant is seeking approval of a development plan to allow for the construction of a hotel (lodging) in district B3-3.

**CONTROLLING + RELATED CASES**

Ordinance No. 951109 – City Council moved to hold the application on docket for an amendment to the ShoLodge GP-3 plan on October 19, 1995.

**PROFESSIONAL STAFF RECOMMENDATION**

Docket #1 Approval with Conditions

**PLAN REVIEW**

The applicant is requesting approval of a four-story hotel with 109 guest rooms and associated amenities. The hotel amenities include an outdoor patio, eating area, indoor pool, gym, and surface parking. The site has an future trail easement along the western property line.

NW Tiffany Springs is identified as an established parkway in the City's Major Street Plan. The applicant has worked with staff to revise the site layout and building materials. The applicant is proposing parking on the eastern side of the building, there are approximately 10 parking spaces in front of the building approximately 11 feet from the parkway. The Zoning and Development Code does not allow for parking to be in front of the building when adjacent to and within 150 feet of a parkway. The applicant has stated they would like to proceed with a variance request to allow for the parking to remain, staff is including a condition requiring approval of a variance to the parkway standard. Staff has also added a condition requiring the applicant to work with the Police Department regarding outstanding corrections regarding addressing and standard operating procedures prior to ordinance request.

There are two existing accesses off North Polo Drive. There is an existing sidewalk on North Polo Drive and NW Tiffany Springs Parkway, the applicant is proposing to connect to the sidewalk on North Polo and is providing a connection to the future trail to the west. The applicant is providing bicycle parking in compliance with the Zoning and Development Code.

The proposed hotel has four-sided architecture, the applicant has revised their elevations to minimize the amount of blank walls on the building. The proposed building materials include dark brick, different colors of EIFS, Nichiha wood cedar, and louver finish.

**PLAN ANALYSIS**

*\*indicates adjustment/deviation*

Standards	Applicability	Meets	More Information
Lot and Building Standards (88-120)*	Yes	Yes	See Below
Accessory or Use- Specific Standards (88-305 – 385)	No	NA	NA
Boulevard and Parkway Standards (88-323)	Yes	No	See below
Parkland Dedication (88-408)	No	NA	
Tree Preservation and Protection (88-424)	No	NA	NA
Parking and Loading Standards (88-420)	Yes	Yes	
Landscape and Screening Standards (88-425)	Yes	Yes, subject to conditions	
Outdoor Lighting Standards (88-430)	Yes	Yes, subject to conditions	

Sign Standards (88-445)	Yes	Yes, subject to conditions	
Pedestrian Standards (88-450)	Yes	Yes, subject to conditions	

**Lot and Building Standards (88-120-04):** Per Table 120-2 the maximum allowed building height for all buildings that are not mixed use is 55' (feet). The applicant is requesting approval of a deviation to allow for a 60' (foot) tall building.

**Surface Parking – Boulevard and Parkway Standards (88-323-02-B):** If adjacent to and within 150 feet of a parkway, parking located on the side of the building shall be set back a minimum of 10 feet behind the front building line or 30 feet from the right-of-way, whichever is greater. The site plan shows parking on the east side of the building that is not compliant with this section of code. The applicant will be required to apply for and receive approval of a variance to the parkway standards.

**SPECIFIC REVIEW CRITERIA**

**Development Plans, Project Plan, or Site Plan (88-516-05)**

In order to be approved, a development plan, project plan, or site plan must comply with all of the following criteria:

- A. The plan must comply with all standards of the Zoning and Development Code and all other applicable city ordinances and policies;**  
The plan does not comply with the parkway standards as previously discussed in this staff report. Staff has included a condition requiring the applicant to apply for and receive approval of a variance to the parkway standards. The applicant worked with staff to improve not only the site layout but also the elevations facing Interstate 29 and NW Tiffany Springs Parkway, approval of the variance will make the plan compliant with the standards in the Zoning and Development Code.
- B. The proposed use must be allowed in the district in which it is located;**  
The proposed use is allowed in a B3-3 district, a development plan is required due to the size of the proposed structure.
- C. Vehicular ingress and egress to and from the site, and circulation within the site must provide for safe, efficient, and convenient movement of traffic not only within the site but on adjacent roadways;**  
There are two vehicular accesses off North Polo Drive, both provide efficient, convenient, and safe movement of vehicles on and off the site.
- D. The plan must provide for safe, efficient, and convenient non-motorized travel opportunities, being pedestrian and bicycle movement, on the subject site;**  
The plan is providing safe, efficient, and convenient non-motorized travel opportunities. There is a future trail easement on the site, the applicant is proposing a connection from the future trail to the back of

the proposed building. The site also provides connectivity around the entirety of the building and to the existing sidewalk on North Polo Drive.

**E. The plan must provide for adequate utilities based on City standards for the particular development proposed.**

Adequate utilities based on City Standards will be provided for the proposed development.

**F. The location, orientation, and architectural features, including design and material, of buildings and other structures on the site must be designed to be compatible with adjacent properties.**

The location and orientation of the proposed structure is compatible with the adjacent properties. The proposed structure backs onto Interstate 29 and faces a parkway. The applicant worked with staff to provide four-sided architecture to avoid blank walls along the back (Interstate 29). Additionally, the applicant revised the side of the building facing NW Tiffany Spring Parkway to include more transparency along the ground floor to comply with the parkway standards.

**G. Landscaping, berms, fences, and/or walls must be provided to buffer the site from undesirable views, noises, lighting, or other off-site negative influences and to buffer adjacent properties from negative influences that may be created by the plan.**

The applicant is proposing landscaping in compliance with the Zoning and Development Code, the proposed landscaping provides a sufficient buffer from the parking areas to adjacent properties.

**H. The design of streets, drives, and parking areas within the project should result in a minimum of area devoted to asphalt or other impervious surfaces consistent with the needs of the project and city code requirements.**

There is an existing surface parking lot on the site that the applicant is using as a part of their development. The proposed use is increasing the impervious surfaces on the site, the applicant is providing excessive parking spaces for the proposed use. The applicant has stated that the amount of parking provided is less than what the operating requirements are for the hotel brand.

**I. The plan must identify trees to be removed and trees to be preserved during the development of the subject property with the goal of saving trees that are not required to be removed for the development of the property.**

The landscape plan submitted shows the trees to be preserved and removed.

## **ATTACHMENTS**

1. Conditions Report
2. Applicants Submittal
3. Public Engagement Materials

## **PROFESSIONAL STAFF RECOMMENDATION**

City staff recommends **Approval with Conditions** as stated in the conditions report.

Respectfully Submitted,

A handwritten signature in black ink that reads "Larisa Chambi". The signature is written in a cursive, flowing style.

Larisa Chambi, AICP  
Lead Planner



## Plan Conditions

Report Date: May 30, 2024

Case Number: CD-CPC-2024-00019

Project: LivSmart Studios KCI

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*Condition(s) by City Planning and Development Department. Contact Larisa Chambi at (816) 513-8822 / Larisa.Chambi@kcmo.org with questions.*

1. Signage has not been reviewed with this application, all signage shall conform to 88-445 and shall require a sign permit prior to installation.
2. The developer shall screen all roof and/or ground mounted mechanical and utility equipment in compliance with 88-425-08.
3. The developer shall submit an affidavit, completed by a landscape architect licensed in the State of Missouri, verifying that street trees have been installed in accordance with the approved street tree planting plan and are healthy prior to Certificate of Occupancy.
4. The developer shall submit an affidavit, completed by a landscape architect licensed in the State of Missouri, verifying that all landscaping required of the approved plan has been installed in accordance with the plan and is healthy prior to Certificate of Occupancy.
5. The developer shall submit an affidavit, prepared by an engineer licensed in the State of Missouri, verifying that all outdoor lighting has been installed in accordance with approved plans and that lighting levels do not exceed that shown on the approved lighting plan at the property lines prior to Certificate of Occupancy.
6. The developer shall work with the Police Department to resolve the following remain conditions prior to ordinance request:
  - a. Provide standard operating characteristics including but not limited to: security measure, lighting, hours of operation, noise, access requirements (keycard access/code access).
  - b. Confirm addressing location on proposed structures.
  - c. Dumpster screening needs to be raised 6 inches to 1 foot from the ground on at least one side if solid screening materials are proposed.
7. The developer shall apply for and receive approval of a variance to 88-323-02-B-2, prior to certificate of occupancy. Should a variance be denied by the Board of Zoning Adjustment the developer shall revise the plans to be compliant with the Zoning and Development Code.
8. Approving a deviation to Table 120-2 (Lot and Building Standards for O and B Districts) to allow a 60' (foot) tall building.

*Condition(s) by City Planning and Development Department. Contact Terry Thomas at (816) 513-2510 / Terry.A.Thomas@kcmo.org with questions.*

9. The developer shall submit plans for grading, siltation, and erosion control to Land Development Division for review and acceptance, provide a copy of the Storm Water Pollution Prevention (SWPP) plan submitted to the Missouri Dept. of Natural Resources (MDNR) and secure a Site Disturbance permit for any proposed disturbance area equal to one acre or more prior to beginning any construction activities.
10. The developer shall submit verification of vertical and horizontal sight distance for the drive connection to public right-of-way to the Land Development Division and make improvements to ensure local jurisdiction and/or minimum AASHTO adequate sight distance standards are met, prior to issuance of any certificate of occupancy.
11. The developer shall submit a letter to the Land Development Division from a Licensed Civil Engineer, Licensed Architect, or Licensed Landscape Architect, who is registered in the State of Missouri, that identifies sidewalks, curbs, and gutters in disrepair as defined by Public Works Department's "OUT OF REPAIR CRITERIA FOR SIDEWALK, DRIVEWAY AND CURB revised 11/5/2013" and based on compliance with Chapters 56 and 64 of the Code of Ordinances for the sidewalks, curbs, and gutters where said letter shall identify the quantity and location of sidewalks, curbs, gutters that need to be constructed, repaired, or reconstructed to remedy deficiencies and/or to remove existing approaches no longer needed by this project. The developer shall secure permits to repair or reconstruct the identified sidewalks, curbs, and gutters as necessary along all development street frontages as required by the Land Development Division and prior to issuance of any certificate of occupancy permits including temporary certificate occupancy permits.

*Condition(s) by City Planning and Development Department. Contact Terry Thomas at (816) 513-2510 / Terry.A.Thomas@kcmo.org with questions.*

12. The developer shall submit a storm drainage analysis from a Missouri-licensed civil engineer to the Land Development Division, in accordance with adopted standards, including a BMP level of service analysis prior to approval and issuance of any building permits, and that the developer secure permits to construct any improvements as required by the Land Development Division prior to issuance of any certificate of occupancy.
13. The developer shall obtain the executed and recorded City approved grading, temporary construction, drainage/sewer, or any other necessary easements from the abutting property owner(s) that may be required prior to submitting any public improvements crossing properties not controlled by the developer and include said document(s) within the public improvement applications submitted for permitting
14. The developer shall submit a streetscape plan for approval and permitting by the Land Development Division prior to beginning construction of the streetscape improvements in the public right of way, and construct ADA compliant ramps at all required locations where new private drives are being added, or where existing sidewalks are modified or repaired.
15. The developer shall grant a BMP and/or Surface Drainage Easement to the City as required by the Land Development Division, prior to recording the plat or issuance of any building permits.
16. The developer shall submit an analysis to verify adequate capacity of the existing sewer system as required by the Land Development Division prior to issuance of a building permit to connect private system to the public sewer main and depending on adequacy of the receiving system, make other improvements as may be required.
17. The developer shall pay impact fees as required by Chapter 39 of the City's Code of ordinances as required by the Land Development Division.

*Condition(s) by Fire Department. Contact Michael Schroeder at (816) 513-4604 / michael.schroeder@kcmo.org with questions.*

18. The developer shall meet the fire flow requirements as set forth in Appendix B of the project International Fire Code 2018. (IFC-2018 § 507.1)
19. Buildings equipped with a fire standpipe system shall have an operable fire hydrant within 100 feet of the Fire Department Connection (FDC). (IFC2018 § 507.5.1.1) All Fire Department Connections (FDC) shall be threaded connections, Storz connections are not allowed in the City of Kansas City, Missouri (IFC-2018 § 903.3.6; NFPA 13-2010 § 6.8.1).
20. A required fire department access roads shall be an all weather surface. (IFC-2012: § 503.2.3) Fire Department access roads shall be provided prior to construction/demolition projects begin. (IFC-2018 § 501.4 and 3310.1; NFPA 241-2013 § 7.5.5) Required fire department access roads shall designed to support a fire apparatus with gross axle weight of 85,000 pounds. (IFC-2018: § 503.2.3) The turning radius for fire department access roads shall be 30 feet inside and 50 feet outside radius. (IFC-2018: § 503.2.4) Shall provide fire lane signage on fire access drives.
21. Aerial Fire Apparatus access roads shall be provided for any building that is 30 feet in height or greater. Aerial Fire Apparatus Roads are a minimum 26 feet wide, at least 15 feet away from the building but not more than 30 feet from the structure. (IFC-2018 § D105).

*Condition(s) by Water Services Department. Contact Heather Massey at (816) 513-2111 / heather.massey@kcmo.org with questions.*

22. The developer shall have a water flow test done to ensure there is adequate water pressure to serve the development.  
South of River contact - Patrick Lewis 816-513-0423  
North of River contact - Pedro Colato 816-513-4892
23. The developer shall ensure that water and fire service lines should meet current Water Services Department Rules and Regulations. Prior to C of O.  
<https://www.kcwater.us/wp-content/uploads/2022/05/2022-Rules-and-Regulations-for-Water-Service-Lines-Final.pdf>

*Condition(s) by Water Services Department. Contact Kirk Rome at (816) 513-0368 / kirk.rome@kcmo.org with questions.*

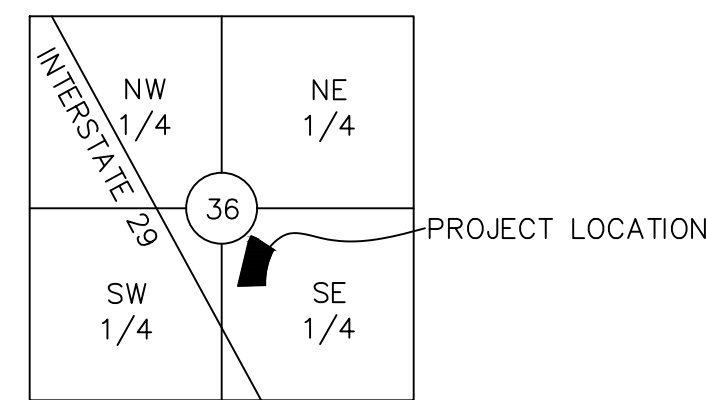
24. Obtain KC Water approval of the final grading plan within the existing 24" transmission main easement along the west side of the property. The grading plan shall retain 5' min. cover and no more than 15' of cover. Follow the requirements of the existing water easement such as no structures within the easement. Storm drain pipes parallel to the water main shall be located a minimum of 10' away.

*Condition(s) by Water Services Department. Contact Lucas Kaspar at (816) 513-2131 / Lucas.Kaspar@kcmo.org with questions.*

25. The developer must grant a BMP Easement to the City prior to issuance of any building permits.

# DEVELOPMENT PLANS FOR LIVSMART STUDIOS KANSAS CITY

## SECTION 36, TOWNSHIP 52, RANGE 34 CITY OF KANSAS CITY, PLATTE COUNTY, MISSOURI



**VICINITY MAP**

### PROJECT TEAM

**DEVELOPER**

ALTIRA HOTELS KCI, LLC  
2323 GRAND BOULEVARD, SUITE 1100  
KANSAS CITY, MO 64108  
CONTACT: MIKE PATEL  
EMAIL: MIKEPATEL@MARQUEEHOSPITALITY.COM

**CIVIL ENGINEER, LANDSCAPE ARCHITECT**

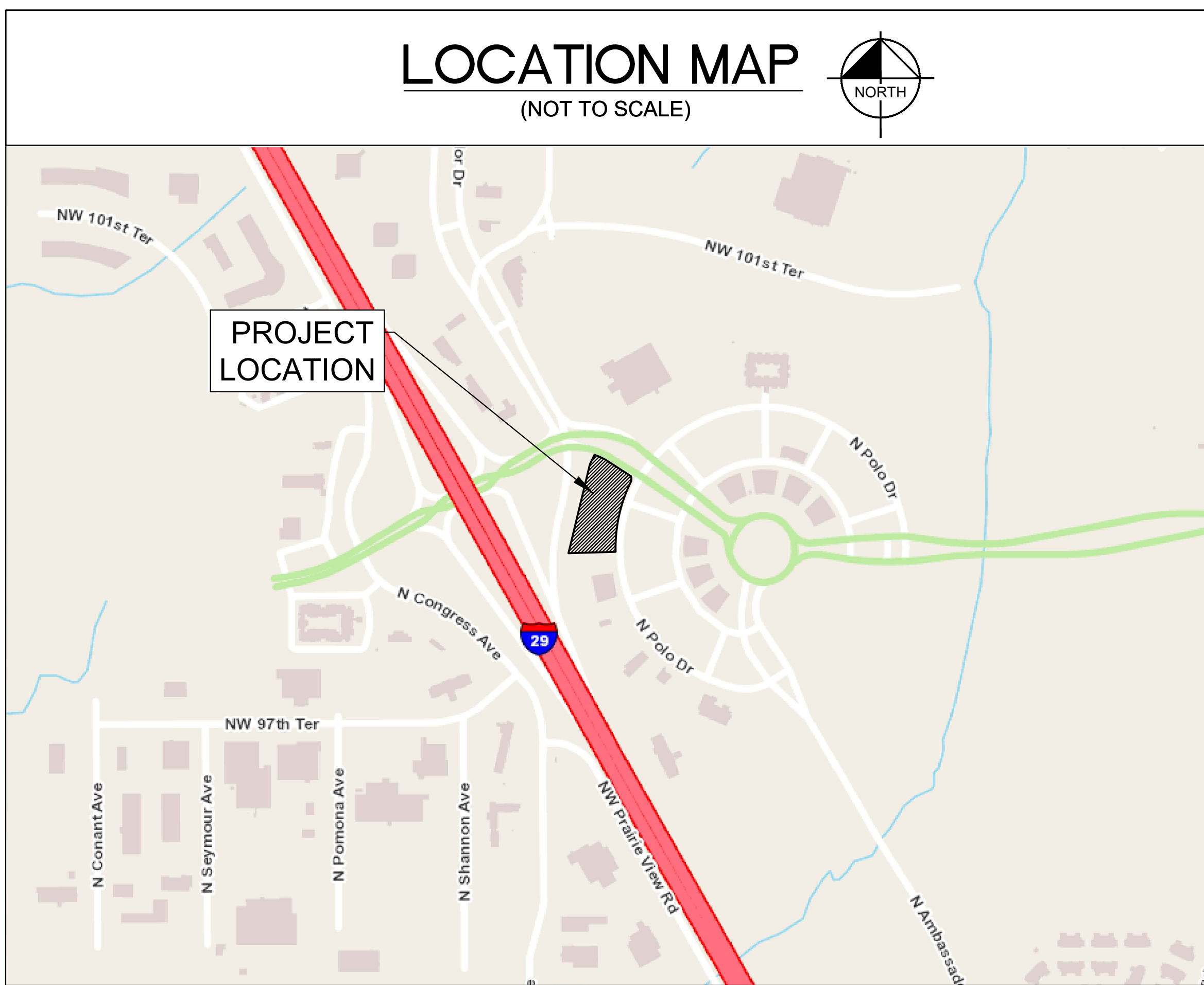
KIMLEY-HORN & ASSOCIATES, INC.  
805 PENNSYLVANIA AVENUE, SUITE 150  
KANSAS CITY, MO 64105  
TEL: (816) 652-0350  
PRIMARY CONTACT: MATTHEW KIST, P.E.  
EMAIL: MATT.KIST@KIMLEY-HORN.COM  
SECONDARY CONTACT: KAITLIN RAYNOR  
EMAIL: KAITLIN.RAYNOR@KIMLEY-HORN.COM

**ARCHITECT, LIGHTING**

TYPE SIX  
920 S MAIN ST, SUITE 150  
GRAPEVINE TX, 76051  
TEL: (852) 365-3381  
PRIMARY CONTACT: JAMES LUSTY  
EMAIL: JAMES.LUSTY@TYPE-SIX.COM  
SECONDARY CONTACT: DYLAN SCOTT  
EMAIL: DYLAN.SCOTT@TYPE-SIX.COM

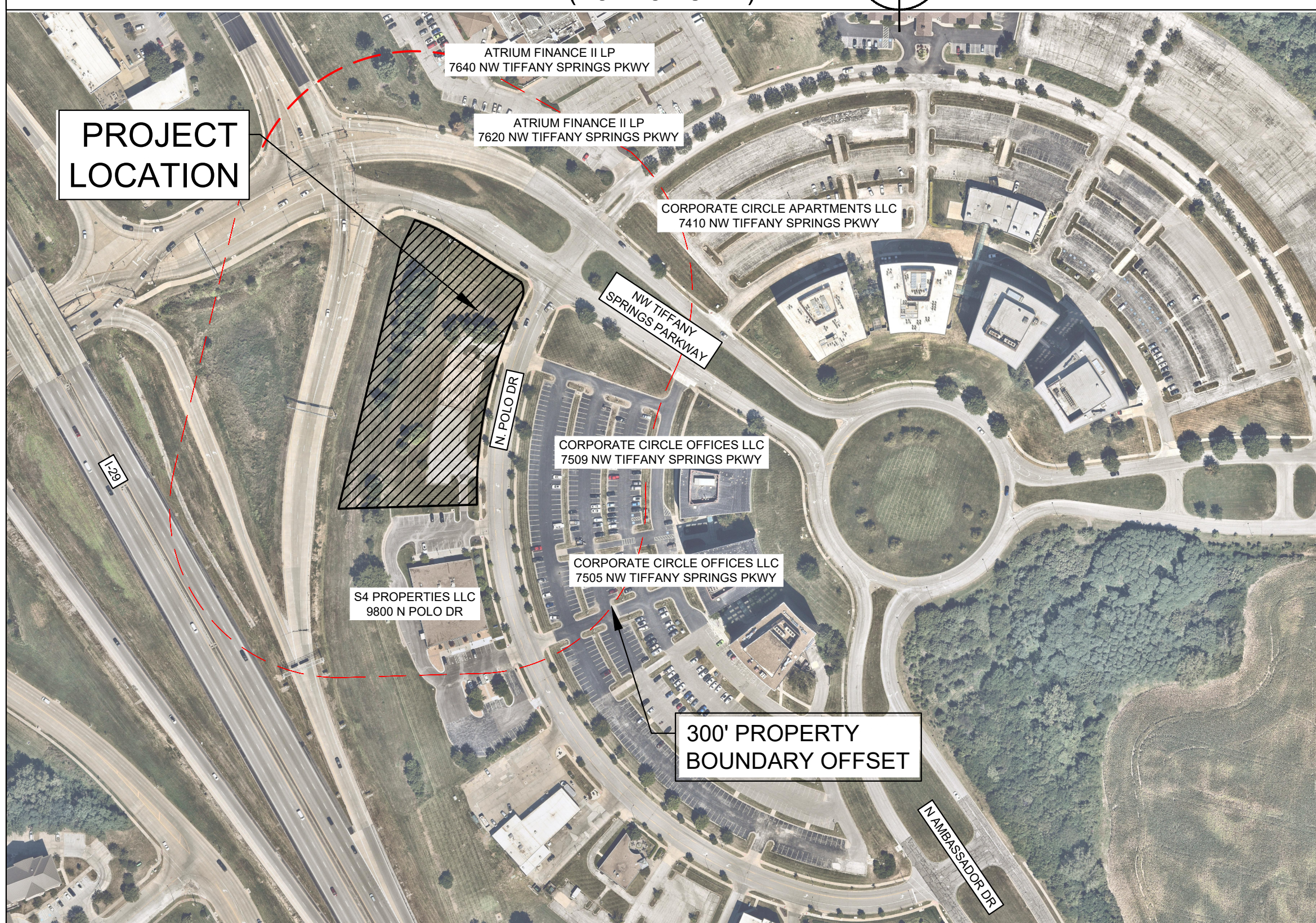
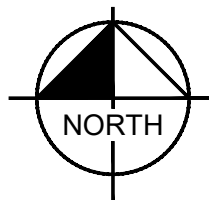
### LEGAL DESCRIPTION

TRACT A OF THE CERTAIN LOT SPLIT SURVEY OF LOTS 12D, 12E AND 12F, EXECUTIVE HILLS NORTH, BLOCKS 12 AND 26, KANSAS CITY, PLATTE COUNTY, MISSOURI MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT SPLIT, THENCE NORTH 13 DEGREES 32 MINUTES 44 SECONDS EAST, A DISTANCE OF 512.96 FEET; THENCE NORTH 25 DEGREES 46 MINUTES 55 SECONDS EAST, A DISTANCE OF 54.91 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF TIFFANY SPRINGS PARKWAY SAID POINT ALSO BEING A POINT OF CURVATURE, THENCE CONTINUING WITH SAID SOUTHERLY RIGHT-OF-WAY LINE OF TIFFANY SPRINGS PARKWAY, ON A CURVE TO THE RIGHT, HAVING A RADIUS OF 272.00 FEET, A CENTRAL ANGLE OF 15 DEGREES 26 MINUTES 25 SECONDS, AN INITIAL TANGENT BEARING SOUTH 72 DEGREES 36 MINUTES 33 SECONDS EAST, AN ARC DISTANCE OF 73.38 FEET; THENCE CONTINUING WITH SAID SOUTHERLY RIGHT-OF-WAY LINE OF TIFFANY SPRINGS PARKWAY, SOUTH 57 DEGREES 00 MINUTES 00 SECONDS EAST, A DISTANCE OF 146.18 FEET TO A POINT OF CURVATURE SAID POINT ALSO BEING ON THE WESTERLY RIGHT-OF-WAY LINE OF NORTH POLO DRIVE, THENCE CONTINUING WITH SAID WESTERLY RIGHT-OF-WAY LINE OF NORTH POLO DRIVE, ON A CURVE TO THE RIGHT, HAVING A RADIUS OF 35.00 FEET, A CENTRAL ANGLE OF 53 DEGREES 28 MINUTES 54 SECONDS, AN INITIAL TANGENT BEARING OF SOUTH 27 DEGREES 18 MINUTES 29 SECONDS EAST, AN ARC DISTANCE OF 32.67 FEET; THENCE ON A CURVE TO LEFT, HAVING A RADIUS OF 734.67 FEET, A CENTRAL ANGLE OF 29 DEGREES 56 MINUTES 16 SECONDS, AN ARC DISTANCE OF 375.91 FEET; THENCE SOUTH 88 DEGREES 18 MINUTES 00 SECONDS WEST, A DISTANCE OF 246.12 FEET TO THE POINT OF BEGINNING. THE ABOVE DESCRIBED TRACT CONTAINS 103.622 SQUARE FEET OR 2.38 ACRES.



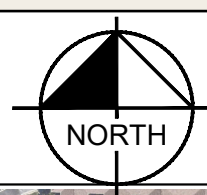
**LOCATION MAP**

(NOT TO SCALE)



**AERIAL MAP**

(NOT TO SCALE)



Sheet List Table	
Sheet Number	Sheet Title
C0	COVERSHEET
C1	EXISTING CONDITIONS
C2	SITE PLAN
C3	GRADING PLAN
C4	UTILITY PLAN
C5	FIRE TRUCK TURNING
L1	LANDSCAPE ARCHITECTURAL PLAN
A20.00	3D BUILDING VIEWS
A1.01	01 DIMENSION PLAN
A1.02	02 DIMENSION PLAN
A5.01	BUILDING ELEVATIONS
A5.02	BUILDING ELEVATIONS
A0.03	SITE ELEMENTS
PH1.01	PHOTOMETRICS
PH1.02	LIGHT FIXTURE DETAILS

Property Owner	Property Address	Mailing Address
S4 Properties LLC	9800 N Polo Dr	118 N Conistor Ln Ste B #504 Liberty, MO 64068
Corporate Circle Offices LLC	7505 NW Tiffany Springs Pkwy, 7509 NW Tiffany Springs Pkwy	7505 NW Tiffany Springs Pkwy Ste 100 Kansas City, MO 64153
Corporate Circle Apartments LLC	7410 NW Tiffany Springs Pkwy	7505 NW Tiffany Springs Pkwy Ste 100 Kansas City, MO 64153
Atrium Finance II LP	7620 NW Tiffany Springs Pkwy, 7640 NW Tiffany Springs Pkwy	12735 Morris Rd, Ext, Ste 400 Alpharetta, GA 30004

### DEVELOPMENT PLAN DEVIATIONS

- BUILDING HEIGHT EXCEEDS MAXIMUM HEIGHT OF 55' ALLOWED FOR ZONING B3-3. REQUESTING DEVIATION TO ALLOW FOR INCREASE OF MAXIMUM BUILDING HEIGHT BY 5' TO ALLOW FOR 60' MAX.
- 
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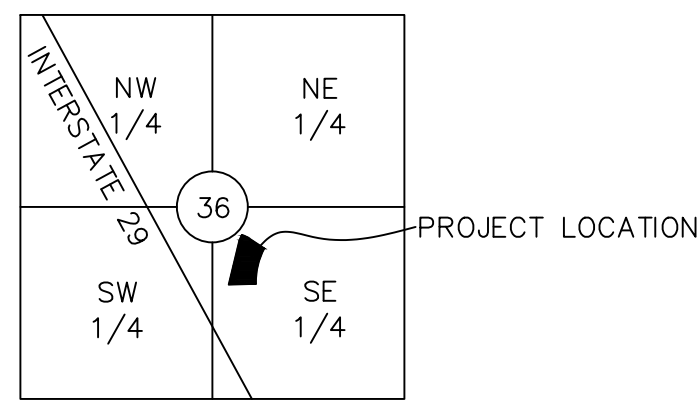
### DEVELOPMENT PLAN VARIANCES

- PER SECTION 88-323-02-B, IF ADJACENT TO AND WITHIN 150 FEET OF A PARKWAY, PARKING LOCATED ON THE SIDE OF A BUILDING SHALL BE SET BACK A MINIMUM OF 10 FEET BEHIND THE FRONT BUILDING LINE OR 30 FEET FROM THE RIGHT-OF-WAY, WHICHEVER IS GREATER. WITH THE PLATTED 50' BUILDING SETBACK FROM NW TIFFANY SPRING PARKWAY, THIS REQUIREMENT CREATES A 60' PARKING SETBACK (10' FURTHER THAN THE PLATTED SETBACK). DUE TO SITE CONSTRAINTS, THE PLAN IS SEEKING A VARIANCE FROM THE ABOVE SECTION, TO ALLOW PARKING WITHIN 10' OF THE EXISTING R/W LINE. IF THE VARIANCE IS NOT GRANTED BY THE BZA, THE PLAN WILL BE REVISED TO RECONFIGURE THE 10 PARKING SPACES IDENTIFIED IN THIS PLAN, LOCATED OFF THE NORTH-EAST CORNER OF THE BUILDING.

<p style="font-size: 8px;">© 2023 KIMLEY-HORN AND ASSOCIATES, INC. 805 PENNSYLVANIA AVENUE, SUITE 150 KANSAS CITY, MO 64105 WWW.KIMLEY-HORN.COM</p>	<p><b>COVERSHEET</b></p>									
<p>SCALE: AS NOTED DESIGNED BY: KMR DRAWN BY: KMR CHECKED BY: MDK</p>	<p>PRELIMINARY NOT FOR CONSTRUCTION</p>									
<p>CITY COMMENTS 05/17/24 KMR</p> <p>REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>No.</th> <th>DATE</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>05/17/24</td> <td>KMR</td> </tr> <tr> <td>2</td> <td>05/29/24</td> <td>KMR</td> </tr> </tbody> </table>	No.	DATE	BY	1	05/17/24	KMR	2	05/29/24	KMR	<p>ORIGINAL ISSUE: 02/23/2024</p> <p>KHA PROJECT NO. 268432000</p> <p>SHEET NUMBER <b>C0</b></p>
No.	DATE	BY								
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2	05/29/24	KMR								

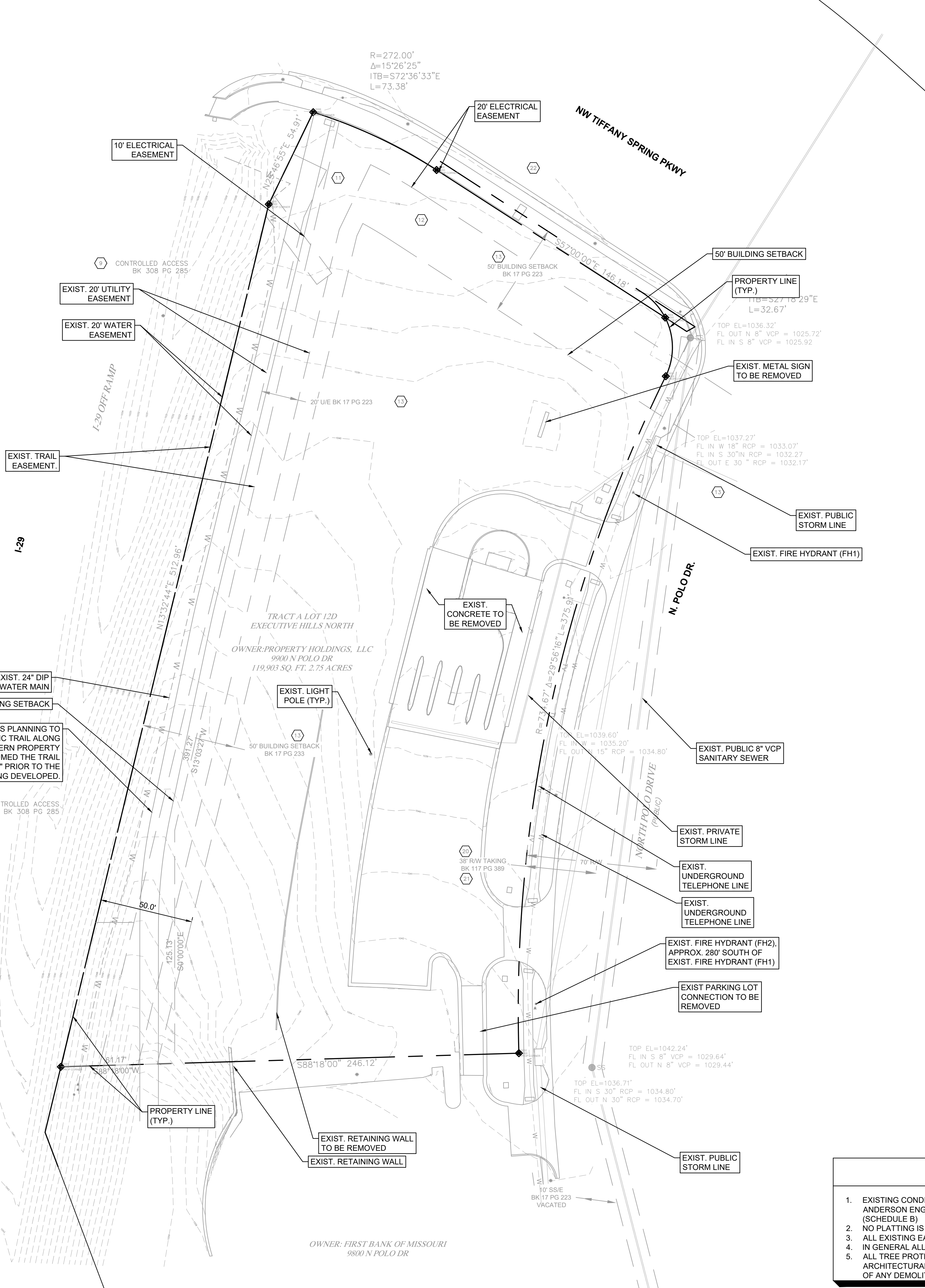
Drawing name: K:\KAC\_LIVSMART\268432000\_COVERSHEET.dwg 00 COVERSHEET May 29, 2024 3:48pm by: Kaitlin Raynor  
This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Review of and proper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.





### VICINITY MAP

LEGEND	
●	BENCHMARK
○	COMMUNICATION PULL BOX
△	CONTROL POINT
●	FIRE HYDRANT
○	FOUND AS NOTED
⊙	LIGHT POLE
⊙	MAILBOX
⊙	METAL SIGN
⊙	PULL BOX
⊙	SPB
⊙	SANITARY SEWER MANHOLE
⊙	ST
⊙	STORM MANHOLE
⊙	TREE (SIZE/TYPE)
⊙	VERTICAL PIPE
⊙	WATER METER
⊙	WATER VALVE
⊙	YARD LIGHT
⊙	COLUMN
---	BURIED WATER LINE
---	BURIED FIBER OPTIC LINE
---	BURIED TELEPHONE LINE
---	BURIED GAS LINE
---	BURIED CABLE TELEVISION LINE
---	BURIED POWER LINE



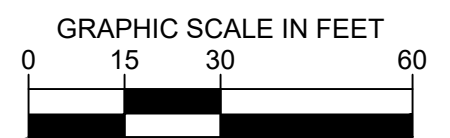
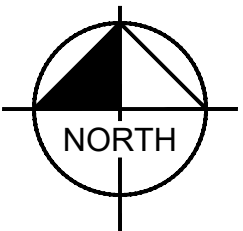
- KEY NOTE:**
- Any defect, lien, encumbrance, adverse claim, or other matter that appears for the first time in the Public Records or is created, attaches, or is disclosed between the Commitment Date and the date on which all of the Schedule B, Part I-Requirements are met. This exception is not a survey matter.
  - Rights or claims of parties in possession not shown by the Public Records. This exception is not a survey matter.
  - Easements, or claims of easements, not shown by the Public Records. This exception is not a survey matter.
  - Any encroachment, encumbrance, violation, variation or adverse circumstances affecting Title that would be disclosed by an accurate and complete survey of the Land or that could be ascertained by an inspection of the Land. This exception is not a survey matter.
  - Any lien or right to a lien for services, labor, material or equipment, unless such lien is shown by the Public Records at Date of Policy and not otherwise excepted from coverage herein. This exception is not a survey matter.
  - Taxes, or special assessments, if any, not shown as existing liens by the Public Records. This exception is not a survey matter.
  - The lien of the general taxes for the year 2022, and thereafter. General, state, county and city taxes and assessments for the year 2021 in the amount of \$14,793.82 are PAID. Parcel No. 17-7.0-36-000-015-004.000. This exception is not a survey matter.
  - Lack of direct access to Highway No. I-29 from the land, such right of access having been taken by the State of Missouri by condemnation Suit No. C-11015 filed in the Circuit Court of Platte County, Missouri at Platte City and recorded in the Recorder of Deeds Office of Platte County as Document No. 39002 in Book 225, Page 441. This exception does not affect the subject property.
  - Lack of direct access to Highway No. I-29 from the land, such right of access having been granted to the State of Missouri, acting by and through the State Highway Commission of Missouri by the deed recorded November 29, 1967 as Document No. 18138 in Book 307, Page 501 and by the deed recorded January 15, 1968 as Document No. 18552 in Book 308, Page 285. This exception affects the subject property and is plotted heron.
  - Limitation on direct access to Tiffany Springs Parkway and lack of direct access to Highway I-29 from the premises in question as set forth in the Report of Commissioners as Document No. 19214 in Book 309, Page 225. This exception does not affect the subject property.
  - Electric line easement granted to Missouri Public Service Company, a Missouri corporation recorded September 10, 1968 as Document No. 21217 in Book 313, Page 333. This exception affects the subject property and is plotted heron.
  - Electric line easement granted to Missouri Public Service Company recorded September 10, 1968 as document No. 21218 in Book 313, Page 335. This exception affects the subject property and is plotted heron.
  - Easements, restrictions and setback lines as per plat, recorded August 20, 1987 as Document No. 045729 in Plat Book 17, Page 223. Ordinance No. 100230, recorded May 3, 2010 as Document No. 2010005039 in Book 1156, Page 486, releasing easements. This exception affects the subject property and is plotted heron.
  - Aviation and Noise Easement granted to Kansas City, Missouri a municipal corporation recorded August 20, 1987 as Document No. 045733 in Book 307, Page 381. This easement encompassed the entire property.
  - Terms and Provisions as set forth in Agreement for Deferral of Construction for N. Executive Hills Boulevard, recorded August 20, 1987 as Document No. 045734 in Book 707, Page 382. This easement encompassed the entire property. Not a survey matter.
  - Terms and Provisions as set forth in Cross Easement Agreement, by and between Livestock Executive Partners, a Missouri general partnership and Executive Hills North, Inc., a Kansas corporation, recorded March 23, 1988 as Document No. 002511 in Book 715, Page 739. Does not affect the subject property.
  - Boundaries, descriptions and matters depicted on Certificate of Survey recorded January 25, 2000, as Document No. 0001067, in Survey Book 3, Page 14. This exception affects the subject property and is plotted heron.
  - Terms and Provisions as set forth in Road Agreement, by and between North Properties, Inc., a Missouri corporation and First Bank of Missouri, a Missouri banking corporation, recorded March 13, 2000 as Document No. 0003141 in Book 922, Page 867. This exception does not affect the subject property.
  - Restrictive Covenant Agreement, recorded March 13, 2000, as Document No. 0003142 in Book 922, Page 868 but deleting any covenant, condition or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status, or national origin to the extent such covenants, conditions or restrictions violate 42USC 3604(c) or any similar state statute or local ordinance. This exception affects the subject property, but is not a survey matter. Refer to document.
  - Ordinance No. 110011 for condemnation and taking private property interests for public use, recorded March 8, 2011 as Document No. 2011002933 in Book 117, Page 389, which provides for the levy of assessments. This exception affects the subject property and is plotted heron.
  - Terms and Provisions as set forth in Temporary Construction Easement as contained in the Warranty Deed, recorded January 30, 2013 as Document No. 2013001555 in Book 1205, Page 289.
  - Tenancy rights, either as month to month, or by virtue of written leases of persons in possession of any part of the subject property. This exception is not a survey matter.

#### SURVEYOR'S REPORT

- The basis of bearing for this survey is Missouri State Plane, West Zone, NAD 83.
- A 1/2" x 24" rebar with a plastic cap stamped LS-62 has been set at every property corner unless noted otherwise.
- The address of the subject property is 10000 North Polo Drive as shown on the Kansas City, Missouri Parcel Viewer and 9900 North Polo Drive on the Jackson County Missouri Parcel Viewer.
- The subject property lies in Zone X, Other Areas, Areas determined to be outside the 0.2% annual chance floodplain, as shown on Flood Insurance Rate Map 29095C0043G effective January 20th 2017.
- The subject property contains 119,903 square feet, or 2.75 acres.
- The contour information shown here was taken from traditional survey methods. The vertical datum is NAVD 1988.
- The subject property is zoned B3-3, Community Business, as shown on the Kansas City, Missouri GIS Website.
- There 0 buildings on the subject property.
- All substantial visible improvements have been shown on this survey.
- There are zero visible parking spaces on the subject property.
- The utility information shown on this survey has S.U.E. (Subsurface Utility Engineering) Level of C. Utility information shown on this survey was taken from utility maps provided to this surveyor by various utility companies and utility line locate markings provided by various utility locating companies per Missouri One Call or Kansas 811 utility Locate Ticket Number 221021059. This surveyor does not warrant or guarantee the location or size of any underground utility shown hereon. This surveyor does not warrant or guarantee that all utility lines, cables, pipes or wires (active or inactive) are shown on this survey.
- The names of the adjoining owners have been taken from the Kansas City, Missouri GIS.
- The Northeast corner of the subject property is located at the intersection of North Polo Drive and Northwest Tiffany Springs Parkway.
- There no evidence of earth moving work on the subject property.
- The surveyor is not aware of any proposed changes in street right of way lines.
- Professional liability insurance policy obtained by the surveyor in the minimum amount of \$1,000,000 to be in effect throughout the contract term.
- The easements, covenants, restrictions and entitlements shown on this survey were taken from the title commitment prepared by First American Title Insurance Company in File No. NCS-1121669-KCTY, dated 03/23/2022 at 8:00 a.m., and we have relied solely on said information.
- No wetlands have been delineated on the subject property. The National Wetlands Inventory map does/does not show any wetlands on the subject property.
- The subject property shown on this survey is the same as described in title commitment no. NCS-1121669-KCTY, prepared by First American Title Insurance Company. The subject tracts shown hereon are contiguous, with no gaps, gores or overlaps.
- The subject property has direct access to N. Polo Dr., a publicly dedicated and constructed street. There is no direct access to Highway I-29.
- The wall that encroaches on the subject property from the South is approximately encroaches 8 feet onto the subject property.
- No easement was provided for the brick drive between the subject property, and the property to the south.

#### NOTES

- EXISTING CONDITIONS IN THESE PLANS ARE BASED UPON AN ALTA SURVEY PREPARED BY ANDERSON ENGINEERING DATED 7/27/2023. SEE ALTA SURVEY FOR ADDITIONAL TITLE INFORMATION (SCHEDULE B)
- NO PLATTING IS ANTICIPATED FOR THIS PROJECT.
- ALL EXISTING EASEMENTS ARE INTENDED TO REMAIN, UNLESS SPECIFICALLY NOTED OTHERWISE
- IN GENERAL ALL EXISTING FEATURES ARE TO BE REMOVED
- ALL TREE PROTECTION MEASURES ARE TO BE INSTALLED AND APPROVED PER THE LANDSCAPE ARCHITECTURAL PLANS AND TREE PRESERVATION DETAILS/SPECIFICATIONS PRIOR TO THE START OF ANY DEMOLITION OR CONSTRUCTION ACTIVITY.



NO.	CITY COMMENTS	DATE
1		
2		

**Kimley»Horn**  
 © 2024 KIMLEY-HORN AND ASSOCIATES, INC.  
 800 PENNSYLVANIA AVE. SUITE 150  
 KANSAS CITY, MO 64105  
 PHONE: 816.462.0300  
 WWW.KIMLEY-HORN.COM

SCALE: AS NOTED  
 DESIGNED BY: KMR  
 DRAWN BY: KMR  
 CHECKED BY: MDK

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

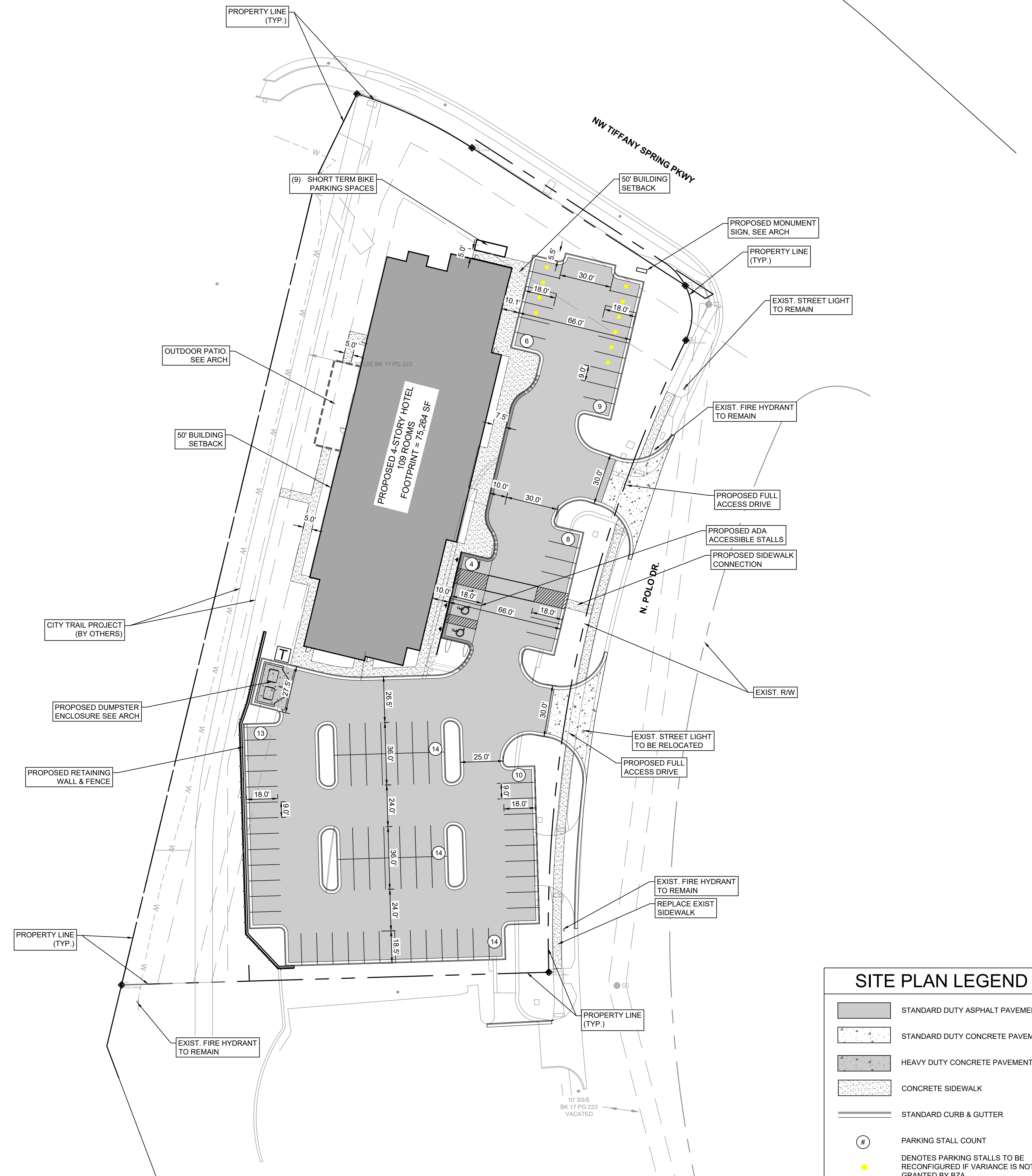
**EXISTING  
CONDITIONS**

**LIVSMART STUDIOS  
KANSAS CITY  
DEVELOPMENT PLAN**  
 10000 N POLO DR.  
 KANSAS CITY, MO 64153

ORIGINAL ISSUE:  
02/23/2024  
 KHA PROJECT NO.  
268432000  
 SHEET NUMBER

Drawing name: K:\KAC\_LB\2024\32000\_Marquee Hotel KCMQ2 Design\CAD\ParSheet\CI EXISTING CONDITIONS.dwg CI EXISTING CONDITIONS May 29, 2024 3:48pm by: Kaitlin Raynor  
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Drawing name: K:\KHA\_LB\268432000\_Marquee Hotel KCM202\_SitePlan.dwg CT SITE PLAN May 20, 2024 3:49pm by: Kaitlin Raynor  
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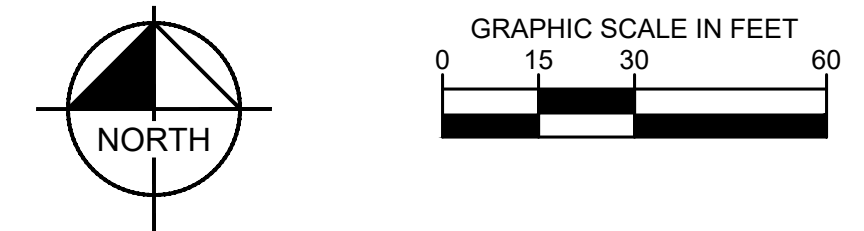
Development Summary Table			
A	Zoning		
	Existing		B3-3
	Proposed		B3-3
B	Total Land Area		
	Existing	2.37	Acres
	Proposed	0.00	Acres
C	Right-of-way		
	Existing	0.00	Acres
	Proposed	0.00	Acres
D	Net Land Area		
	Existing	2.37	Acres
	Proposed	2.37	Acres
E	Proposed Uses		
	Hotel		
F	Structure Height & # of floors		
	Number of Floors		4
	Structure Height		60'-0"
	Number of Rooms		109
G	Gross Floor Area & # of Rooms		
	Gross Floor Area (SF)		75,264
	Ground Level Building Footprint (SF)		18,816
H	Building Coverage & FAR		
	Coverage		18%
	FAR		0.73
I	Vehicle Parking		
	Stalls Required (1 per 6 rooms)		19
	Traditional Stalls Provided		87
	ADA Stalls Provided		4 (1 Van Accessible)
	Total Stalls Provided		91
J	Bike Parking		
	Short Term Stalls Required (10% of Veh. Stalls)		9
	Short Term Stalls Provided		9
	Long Term Stalls Required (1+1 per 30 rooms)		5
	Long Term Stalls Provided		5
K	Parkway Development Standards		
	Total Frontage Adjacent to Parkway (LF)		235
	Vehicular Use Area Adjacent to Parkway (LF)		66
	% Parkway Frontage for Vehicular Use		28%
	% 1st Floor Transparency Adjacent to Parkway		38%
L	Timeline		
	Estimated Start Date		9/1/2024
	Estimated Completion Date		12/31/2025
M	Requested Deviations & Variances		
	SEE COVER SHEET		

- ### GENERAL NOTES
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIAL AND LABOR TO CONSTRUCT THE IMPROVEMENTS AS SHOWN AND AS DESCRIBED IN THE FINAL CONSTRUCTION DOCUMENTS.
  - THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE, AT ALL TIMES, A COPY OF THE CONSTRUCTION DOCUMENTS, INCLUDING PLANS, SPECIFICATIONS, AND ASSOCIATED PERMITS.
  - ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER, BEFORE PROCEEDING WITH THE WORK. NO FIELD CHANGES OR DEVIATIONS FROM THE DESIGN ARE TO BE MADE WITHOUT APPROVAL FROM THE OWNER.
  - IT IS THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE, AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS.
  - THE CONTRACTOR SHALL PROVIDE FOR A SECURED PROJECT SITE, THROUGH TEMPORARY CONSTRUCTION FENCING, GATES, AND TRAFFIC CONTROL MEASURES.
  - ALL WORK WITHIN PUBLIC RIGHT-OF-WAY, SHALL CONFORM TO THE AHJ (AUTHORITY HAVING JURISDICTION) REQUIREMENTS.
  - THE CONTRACTOR SHALL COORDINATE ALL PHASING AND SEQUENCING LOGISTICS. IF ADJUSTMENTS TO THE DESIGN ARE REQUIRED, TO ALLOW FOR THE CONTRACTOR'S DESIRED PHASING OR SEQUENCING, THESE DESIGN ADJUSTMENTS SHALL BE COORDINATED WITH THE ENGINEER AND OWNER.

- ### SITE PLAN NOTES
- ALL DIMENSIONS AND COORDINATES ARE TO BACK OF CURB, UNLESS NOTED OTHERWISE.
  - BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF CIVIL ENGINEER'S INTERPRETATION OF THE BUILDING UNLESS OTHERWISE NOTED.
  - REFER TO ARCHITECTURAL AND STRUCTURAL PLANS TO VERIFY ALL BUILDING DIMENSIONS.
  - RADII ADJACENT TO PARKING STALL AND NOT DIMENSIONED ON THIS PLAN SHALL BE 3-FEET, TYPICAL.
  - REFER TO ARCHITECTURAL PLANS FOR MONUMENT SIGN DETAILS.
  - SEE ELECTRICAL PLANS FOR SITE LIGHTING AND SITE ELECTRICAL.
  - ALL PARKING STALL PAVEMENT MARKINGS SHALL BE PAINTED WITH 4" SOLID WHITE STRIPING.
  - ALL ADA PARKING STALL PAVEMENT MARKINGS SHALL BE PAINTED WITH 4" SOLID BLUE STRIPES, AND ADA COMPLIANT ACCESSIBLE PARKING SYMBOLS.
  - ALL DIRECTIONAL PAVEMENT MARKINGS (STOP BARS, TURN ARROWS, ETC.) SHALL BE PAINTED WITH SOLID WHITE PAVEMENT MARKINGS.
  - ALL PROPOSED SIGNAGE (STOP SIGNS, YIELD SIGNS, ETC.) SHALL CONFORM TO MUTCD STANDARDS.
  - CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS, BONDS AND INSURANCE AS REQUIRED BY THE CITY AND OWNER.

### SITE PLAN LEGEND

	STANDARD DUTY ASPHALT PAVEMENT
	STANDARD DUTY CONCRETE PAVEMENT
	HEAVY DUTY CONCRETE PAVEMENT
	CONCRETE SIDEWALK
	STANDARD CURB & GUTTER
	PARKING STALL COUNT
	DENOTES PARKING STALLS TO BE RECONFIGURED IF VARIANCE IS NOT GRANTED BY BZA



<p>DESIGNED BY: KMR</p> <p>DRAWN BY: KMR</p> <p>CHECKED BY: MDK</p>	<p>SCALE: AS NOTED</p> <p>DATE: 05/17/24</p> <p>DATE: 05/29/24</p>
<p><b>PRELIMINARY NOT FOR CONSTRUCTION</b></p>	
<p><b>SITE PLAN</b></p>	
<p><b>LIVSMART STUDIOS KANSAS CITY DEVELOPMENT PLAN</b></p> <p>10000 N POLO DR. KANSAS CITY, MO 64153</p>	
<p>ORIGINAL ISSUE: 02/23/2024</p> <p>KHA PROJECT NO. 268432000</p> <p>SHEET NUMBER <b>C2</b></p>	

Drawing name: K:\KAC\_LBET\268432000\_Marquee Hotel KCMD02 Design\CAD\Plan\Sheet\02 GRADING PLAN.dwg    C2 GRADING PLAN    May 29, 2024 3:48pm    by: William Raynor  
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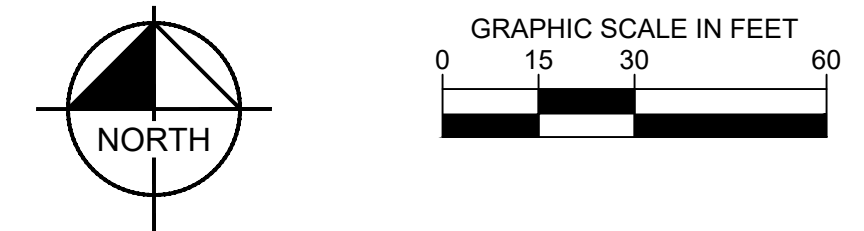


Preliminary Earthwork Quantities							
Description	Cut	Fill	Thickness	Cut	Fill	Net	Notes
	SF	SF	Feet	CY	CY	CY	
"Exist. Grade" vs "Finished Grade"	-	-	-	2,763.84	3,954.72	(1,190.88)	FILL
Building Pad	17,028.00	0.00	2.00	1,261.33	0.00	1,261.33	CUT Assume 6" Concrete Slab, 18" LVC
Pavement Section	37,500.00	0.00	1.17	1,620.83	0.00	1,620.83	CUT Assume 8" Asphalt, 6" Base Rock
Sidewalk Section	4,056.00	0.00	0.33	50.07	0.00	50.07	CUT Assume 4" Sidewalk Section
Additional Cut Under Curbs	1,806.67	0.00	1.00	66.91	0.00	66.91	CUT Assume 6" Concrete Gutter Thickness, 6" Base Rock
<b>Total =</b>	<b>60,390.67</b>	<b>0.00</b>	<b>-</b>	<b>5,762.99</b>	<b>3,954.72</b>	<b>1,808.27</b>	<b>CUT HAUL OFF</b>

- ### GRADING NOTES
- CONTRACTOR TO VERIFY ALL EXISTING TOPOGRAPHY ON THE SITE AND IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING WORK.
  - ALL ELEVATIONS SHOWN ARE TO FINISHED GRADE. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING SUB-GRADE ELEVATIONS FOR ALL PAVED AND UN-PAVED AREAS.
  - ALL GRADING OPERATIONS (EXCAVATION, FILL, COMPACTION, ETC.) SHALL BE OBSERVED AND TESTED BY A QUALIFIED GEOTECHNICAL ENGINEER. THE GEOTECHNICAL ENGINEER WILL BE DESIGNATED AND PAID FOR BY THE OWNER.
  - NO PAVEMENTS SHALL BE PLACED PRIOR TO APPROVAL OF THE SUB-GRADE BY THE GEOTECHNICAL ENGINEER.
  - NO EARTHEN SLOPE SHALL BE GREATER THAN 3:1.
  - ALL FILL MATERIAL AND TRENCH BACKFILL SHALL BE IN COMPLIANCE WITH THE CITY SPECIFICATIONS, OR THE GEOTECHNICAL ENGINEER'S RECOMMENDATION.
  - ALL GRADING OPERATIONS SHALL BE STAKED BY A LICENSED LAND SURVEYOR OR ENGINEER.
  - ALL ACCESSIBLE PARKING STALLS, AISLES, AND SIDEWALK LANDING AREAS SHALL HAVE A CROSS SLOPE OF 1.5%, WITH CONSTRUCTION TOLERANCE FOR 0.5% MINIMUM, AND 2.0% MAXIMUM.
  - ALL CURB RAMPS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2.00%.
  - ALL SIDEWALKS SHALL HAVE A RUN SLOPE OF 4% WITH CONSTRUCTION TOLERANCE OF 1.0% MINIMUM, AND 5.0% MAXIMUM.
  - WHEN NATURAL FLOW OF DRAINAGE IS AWAY FROM CURB, CONTRACTOR TO INSTALL "DRY" CURB & GUTTER.
  - MATCH EXISTING ELEVATIONS AT THE PROPERTY LIMITS UNLESS OTHERWISE INDICATED.
  - ALL EXISTING UTILITY BOXES, HANDHOLES, MANHOLES VALVE BOXES, METERS AND OTHER APPURTENANCES SHALL BE ADJUSTED TO FINISHED GRADE.
  - ALL DISTURBED LIMITS SHALL BE RE-SEEDING OR LANDSCAPED UPON PROJECT COMPLETION. SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
  - ALL GRADING AND EARTHWORK SHALL CONFORM TO THE GEOTECHNICAL ENGINEER'S RECOMMENDATION.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL CITY REQUIRED INSPECTIONS, MATERIAL TESTING, AND SPECIAL INSPECTIONS.
  - ALL EXCESS OR UNSUITABLE MATERIAL SHALL BE REMOVED AND LEGALLY DISPOSED OF FROM THE SITE.
  - THE CONTRACTOR SHALL COORDINATE ALL TESTING AND APPROVAL FOR IMPORT AND EXPORT OF MATERIAL TO THE PROJECT SITE.

### GRADING LEGEND

	EXISTING CONTOUR
	PROPOSED CONTOUR
	TOP OF CURB ELEVATION
	PAVEMENT ELEVATION
	GUTTER ELEVATION
	SIDEWALK ELEVATION
	FINISHED GRADE ELEVATION
	MATCH EXISTING ELEVATION
	FINISHED FLOOR ELEVATION
	ACCESSIBLE ROUTE

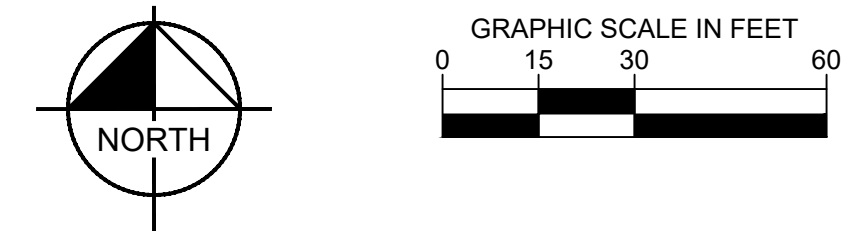
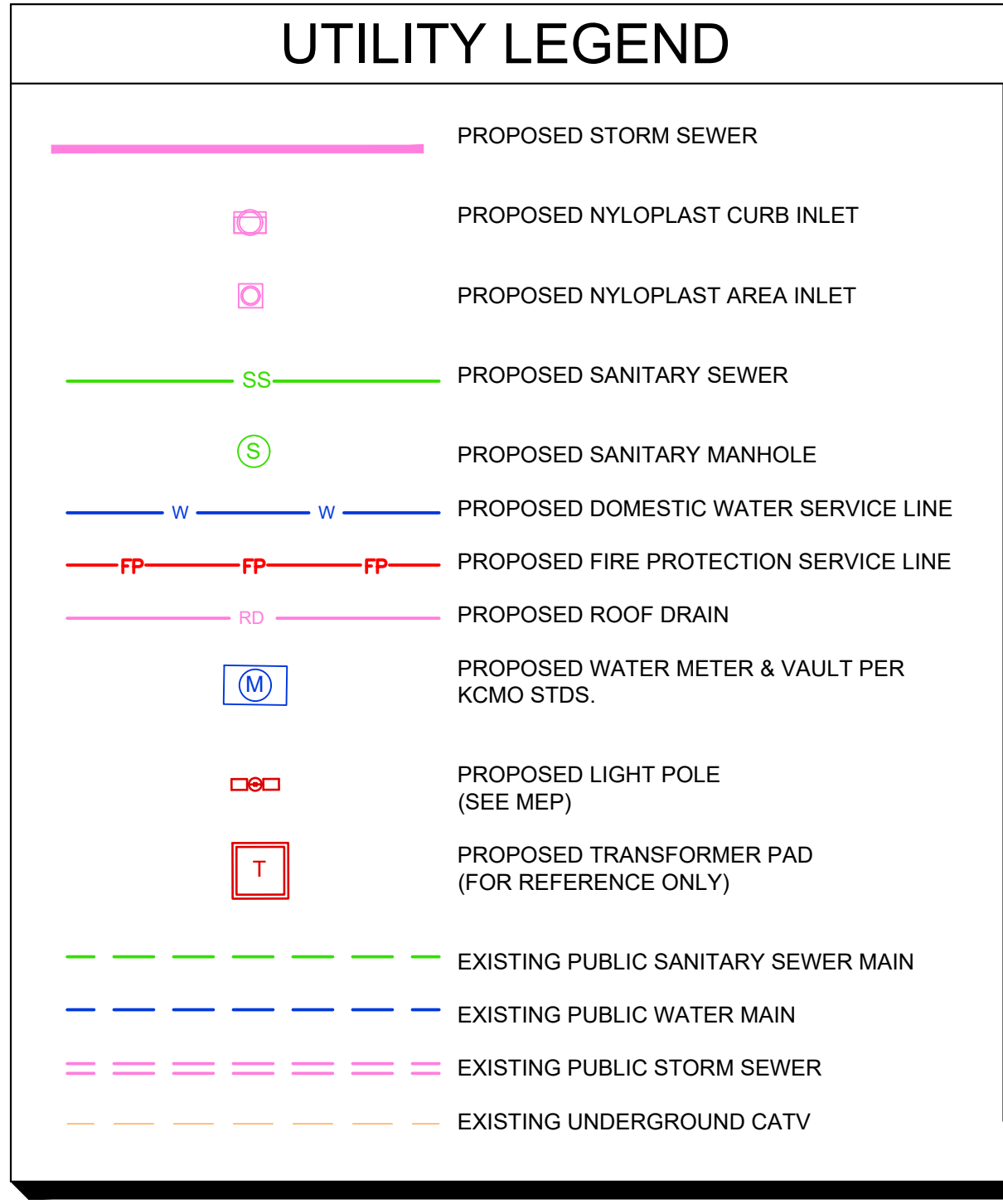


KMR	05/17/24	KMR	05/29/24	KMR	DATE	BY
CITY COMMENTS		CITY COMMENTS		REVISIONS		No.
1		2				
		<small>© 2024 KIMLEY-HORN AND ASSOCIATES, INC. 800 PENNSYLVANIA AVE, SUITE 150 PHILADELPHIA, PA 19106 PHONE: 814-625-0350 WWW.KIMLEY-HORN.COM</small>		<small>SCALE: AS NOTED</small> <small>DESIGNED BY: KMR</small> <small>DRAWN BY: KMR</small> <small>CHECKED BY: MDK</small>		<div style="border: 1px solid black; padding: 5px; transform: rotate(-45deg); display: inline-block;">           PRELIMINARY NOT FOR CONSTRUCTION         </div>
GRADING PLAN						
<b>LIVSMART STUDIOS</b> <b>KANSAS CITY</b> <b>DEVELOPMENT PLAN</b> <small>10000 N POLO DR. KANSAS CITY, MO 64153</small>						
<small>ORIGINAL ISSUE: 02/23/2024</small> <small>KHA PROJECT NO. 268432000</small> <small>SHEET NUMBER</small>						
C3						

Drawing name: K:\KHA\_LIEV\268432000\_Marquee Hotel KCMO\2 Design\CAD\Plan\Sheet\C4 UTILITY PLAN.dwg C:\UTILITY PLAN May 29, 2024 3:48pm by: Mallin Raynor  
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- ### UTILITY NOTES
- STORMWATER BMP'S AND STORMWATER DETENTION ARE BEING PROVIDED THROUGH AN ON-SITE UNDERGROUND DETENTION CHAMBER SYSTEM. THE PEAK FLOW WILL BE REDUCED AND LEVEL OF SERVICE WILL BE MET FOR A REDEVELOPED SITE.
  - ALL PROPOSED UTILITIES (WATER, SEWER, STORM, ETC.) ARE CONSIDERED PRIVATE, UNLESS NOTED OTHERWISE.
  - THE EXISTING FIRE HYDRANTS ALONG POLO DRIVE PROVIDE A MINIMUM 350' OF HOSE LENGTH COVERAGE AROUND THE BUILDING.
  - SEE ELECTRICAL FOR SITE LIGHTING & PHOTOMETRICS.

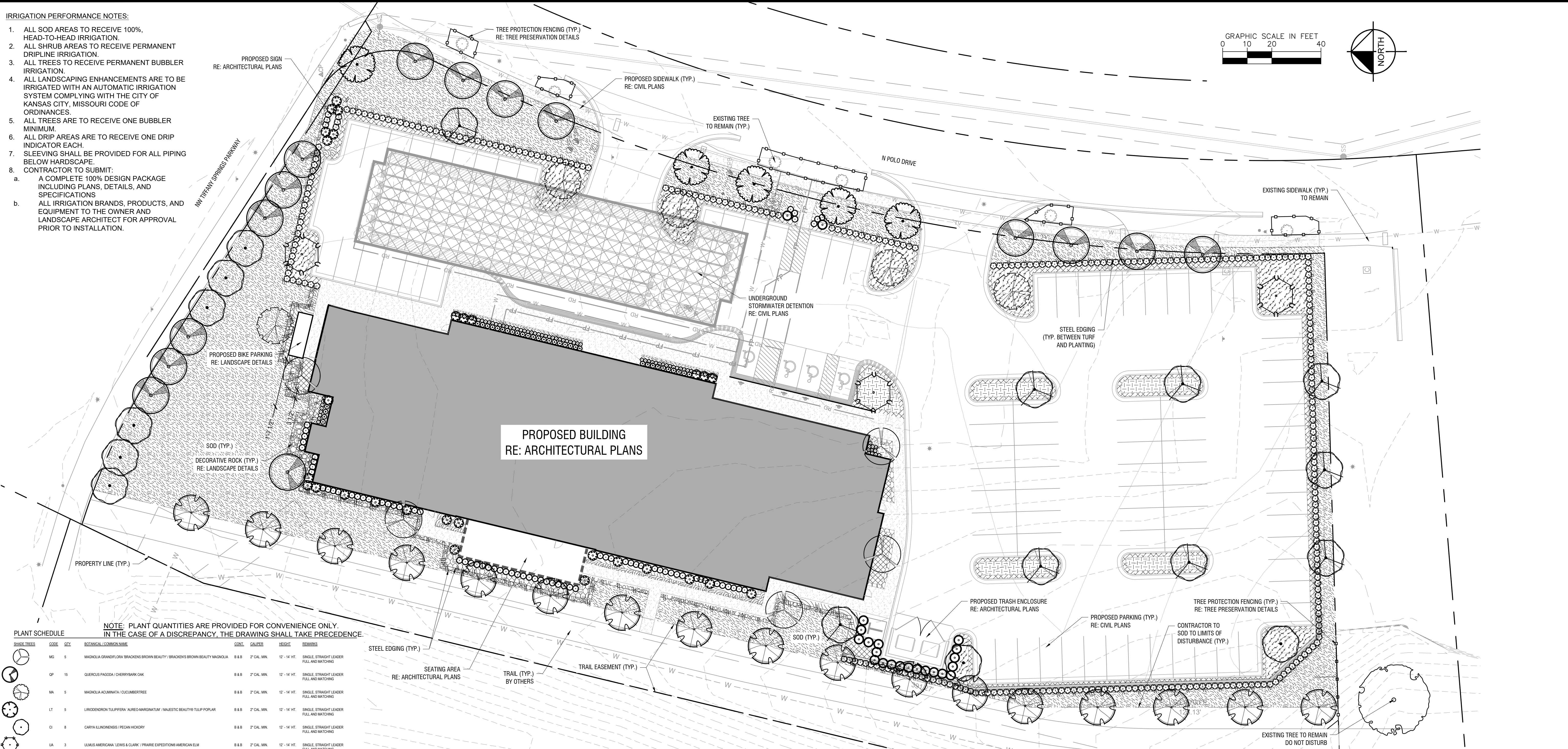
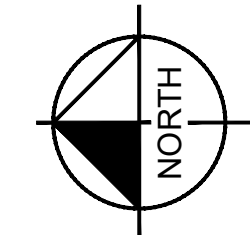


CITY COMMENTS		KMR	05/17/24	BY
1		KMR	05/29/24	
2				
REVISIONS		No.	DATE	BY
		DESIGNED BY: KMR		
		DRAWN BY: KMR		
		CHECKED BY: MDK		
<b>PRELIMINARY</b> <b>NOT FOR CONSTRUCTION</b>				
<b>UTILITY PLAN</b>				
<b>LIVSMART STUDIOS</b> <b>KANSAS CITY</b> <b>DEVELOPMENT PLAN</b> 10000 N POLO DR. KANSAS CITY, MO 64153		ORIGINAL ISSUE: 02/23/2024 KHA PROJECT NO. 268432000 SHEET NUMBER <b>C4</b>		



**IRRIGATION PERFORMANCE NOTES:**

1. ALL SOD AREAS TO RECEIVE 100% HEAD-TO-HEAD IRRIGATION.
2. ALL SHRUB AREAS TO RECEIVE PERMANENT DRIPLINE IRRIGATION.
3. ALL TREES TO RECEIVE PERMANENT BUBBLER IRRIGATION.
4. ALL LANDSCAPING ENHANCEMENTS ARE TO BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM COMPLYING WITH THE CITY OF KANSAS CITY, MISSOURI CODE OF ORDINANCES.
5. ALL TREES ARE TO RECEIVE ONE BUBBLER MINIMUM.
6. ALL DRIP AREAS ARE TO RECEIVE ONE DRIP INDICATOR EACH.
7. SLEEVING SHALL BE PROVIDED FOR ALL PIPING BELOW HARDSCAPE.
8. CONTRACTOR TO SUBMIT:
  - a. A COMPLETE 100% DESIGN PACKAGE INCLUDING PLANS, DETAILS, AND SPECIFICATIONS
  - b. ALL IRRIGATION BRANDS, PRODUCTS, AND EQUIPMENT TO THE OWNER AND LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.



**NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE CASE OF A DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.**

PLANT SCHEDULE	SHRUB TREES	SHRUBS	ROCKS	GROUNDCOVERS	SOD		
CODE	QTY	BOTANICAL / COMMON NAME	CONT.	SIZE	SPACING	REMARKS	
MG	5	MAGNOLIA GRANDIFLORA BRACKENS BROWN BEAUTY / BRACKENS BROWN BEAUTY MAGNOLIA	8.8	2" CAL. MIN.	12" - 14" HT.	SINGLE STRAIGHT LEADER FULL AND MATCHING	
QP	15	QUERCUS PRINCEPIA / CHERRYBARK OAK	8.8	2" CAL. MIN.	12" - 14" HT.	SINGLE STRAIGHT LEADER FULL AND MATCHING	
MA	5	MAGNOLIA ACUMINATA / COLUMBIAN MIGNON	8.8	2" CAL. MIN.	12" - 14" HT.	SINGLE STRAIGHT LEADER FULL AND MATCHING	
LT	1	LIRIODENDRON TULIPIFERA AUREA / NAESTIC BEAUTY TULIP POPLAR	8.8	2" CAL. MIN.	12" - 14" HT.	SINGLE STRAIGHT LEADER FULL AND MATCHING	
CI	8	CARYA LACINIOSA / PECAN HONEYCREEPER	8.8	2" CAL. MIN.	12" - 14" HT.	SINGLE STRAIGHT LEADER FULL AND MATCHING	
UA	3	ULMUS AMERICANA LEWIS & CLARK / PRINCE EXPOSITION AMERICAN ELM	8.8	2" CAL. MIN.	12" - 14" HT.	SINGLE STRAIGHT LEADER FULL AND MATCHING	
PA	17	PLATANUS ACERIFOLIA / GREEN / HOODWOOD ROAD LONDON PLANETREE	8.8	2" CAL. MIN.	12" - 14" HT.	SINGLE STRAIGHT LEADER FULL AND MATCHING	
QD	9	QUERCUS SHUMARDII / SHUMARD OAK	8.8	2" CAL. MIN.	12" - 14" HT.	SINGLE STRAIGHT LEADER FULL AND MATCHING	
HO	78	HOSTA 'BLUE VIOLET' / BLUE VIOLET HOSTA	CONT.	2" HT. MIN.	18" O.C.	FULL AND MATCHING	
IG	312	ILEX GLABRA 'SINENSIS' / SENSITIVE HOLLY	CONT.	3" HT. MIN.	30" O.C.	FULL AND MATCHING	
JS	22	JUNIPERUS SCOPULORUM GRAY CLEAR / GRAY CLEAR JUNIPER	CONT.	4" HT. MIN.	48" O.C.	FULL AND MATCHING	
HO	72	HYDRANGEA QUERCIFOLIA / OAKLEAF HYDRANGEA	CONT.	2" HT. MIN.	30" O.C.	FULL AND MATCHING	
MR	29	MAGNOLIA ROSE MAE / ROSE MAE MAGNOLIA	CONT.	3" HT. MIN.	60" O.C.	FULL AND MATCHING	
RO	35	RHOXODENDRON 'SWEET' / SWEET RHOXODENDRON	CONT.	3" HT. MIN.	30" O.C.	FULL AND MATCHING	
DR	67	DECORATIVE ROCK	CONT.	SIZE	SPACING	REFER TO LANDSCAPE DETAILS	
LS	1,828	LIRIOPE SPICATA / ORIENTAL LIRIOPE	CONT.	12" HT. X 18" W.	12" O.C.	FULL AND MATCHING	
IC	332	IRIS CRISTATA / DWARF CRISTATED IRIS	CONT.	12" HT. X 18" W.	12" O.C.	FULL AND MATCHING	
AG	389	AGAPANTHUS 'WALTER WHITE' / WALTER WHITE AGAPANTHUS	CONT.	8" HT. X 12" W.	12" O.C.	FULL AND MATCHING	
HO	34	HEUCHERA 'SULTAN' / SULTAN HEUCHERA	CONT.	8" HT. X 12" W.	12" O.C.	FULL AND MATCHING	
PT	47	PARTHENOCISSUS TRICOLORATA / JAPANESE CREEPER	CONT.	4" HT. X 8" W.	12" O.C.	FULL AND MATCHING	
LF	722	LEUCODON FORNANESII LITTLE FLAMES / LEAFSCAPE LITTLE FLAMES LEUCODON	CONT.	8" HT. X 18" W.	12" O.C.	FULL AND MATCHING	
PS	17	PAEDALIA 'SMITH'S' / SMITH'S PASTURE PASTURE	CONT.	4" HT. X 18" W.	12" O.C.	FULL AND MATCHING	
SK	18	SIBIRIAN KAMISCHNAILA / SIBIRIAN KAMISCHNAILA	CONT.	4" HT. X 18" W.	12" O.C.	FULL AND MATCHING	
NP	428	NARCISSUS PETIT FOUR / PETIT FOUR NARCISSUS	CONT.	4" HT. X 18" W.	12" O.C.	FULL AND MATCHING	
LI	461	LAVANDULA 'INTERMEDIA' / SENSATIONAL LAVENDER	CONT.	12" HT. X 18" W.	30" O.C.	FULL AND MATCHING	
HE	9	HELLEBORUS 'HYBRIDUS' / WINTER JEWEL HYBRIDUS HELLEBORUS	CONT.	8" HT. X 18" W.	12" O.C.	FULL AND MATCHING	
SOD	CODE	QTY	BOTANICAL / COMMON NAME	CONT.	SIZE	SPACING	REMARKS
SOD	16,349 SF	TALL FESCUE / PESTICIDA RESISTANT	SOD	NA	NA	NA	SOD TO HAVE TIGHT SAND-FILLED JOINTS. ROLLED AND WATERED IMMEDIATELY AFTER INSTALLATION. PERKS AND DISEASE.

Kansas City, Missouri - Landscape Data Table		REQUIRED	PROVIDED
<b>Section 88-425 Landscape and Screening</b>			
<b>88-425-03-C - Tree Planting Requirements</b>			
At least one street tree is required for each 30' of street frontage.		Yes	Yes
NW Tiffany Springs Parkway: 285' Int / 30' = 10 Trees		NW Tiffany Springs Pkwy. - 10 Trees	NW Tiffany Springs Pkwy. - 10 Trees
N Polo Drive: 400' Int / 30' = 14 Trees		N Polo Dr. - 14 Trees	N Polo Dr. - 14 Trees
Required street trees must be installed within the ROW or within 10' of the street ROW. (If street trees are located outside the ROW the city is authorized to require the establishment of a 15' landscape maintenance easement)			
<b>88-425-04 - General Landscaping Requirements</b>		Yes	Yes
At least one tree must be provided per 5,000 square feet of principle building coverage (building footprint), consisting of:		4 Trees	4 Trees
16,145 sqft Building Footprint / 5,000 sqft = 4 Trees			
<b>88-425-05 - Perimeter Landscaping of Vehicular Use Areas</b>			
<b>88-425-05-B - Adjacent to Streets</b>			
A 10' landscape buffer strip with one tree per 30' linear feet of landscape strip and enough evergreen shrubs to form a continuous visual screen at least 3' in height at the time of planting.			
385' Int Landscape Buffer (N Polo Drive) / 30' Int = 13 Trees		N Polo Dr. - 13 Trees	N Polo Dr. - 13 Trees
510' Int Landscape Buffer (E-29) / 30' = 17 Trees		E-29 - 17 Trees	E-29 - 17 Trees
* Trees planted to satisfy the street tree planting requirements of 88-425-03 may be counted towards satisfying the tree planting requirements of 88-425-05-B			
<b>88-425-05-D - Adjacent to Parkways</b>			
When a vehicular use area is adjacent to a parkway, perimeter landscaping must be provided for a physical and visual separation between the vehicular use area and the parkway ROW in the form of trees (deciduous and evergreen) and shrubs to form a continuous visual screen at least 4' in height at the first growing season, consisting of:			
1. A berm with a minimum height of 4' and a maximum slope of 3:1, planted with at least 3 trees and 25 shrubs per 100' of berm.		Yes	Yes
2. A landscape buffer strip with a minimum width of 30', planted with at least 6 trees and 35 shrubs per 100' of buffer length.			
(230' Int Landscape Buffer (NW Tiffany Springs Parkway) / 100' Int) x 6 = 14 Trees		14 Trees	14 Trees
(230' Int Landscape Buffer (NW Tiffany Springs Parkway) / 100' Int) x 35 = 81 Shrubs		81 Shrubs	81 Shrubs
<b>88-425-06 - Minimum Interior Landscaping Area</b>			
At least 35 sqft of interior landscape area must be provided for each parking space.		3,185 sqft Landscape Area	3,185 sqft Landscape Area
97' Parking Spaces x 33 sqft = 3,185 sqft Landscape Area			
<b>88-425-06-E - Minimum Interior Landscaping Area</b>			
One tree is required per 5 parking spaces.		19 Parking Lot Trees	19 Parking Lot Trees
97' Parking Spaces / 5 = 19 Trees			
One shrub is required per parking space.		91 Shrubs	91 Shrubs
97' Parking Spaces x 1 = 97 Shrubs			
Ground cover plants must cover all interior landscape areas.		Yes	Yes
<b>88-425-08-A - Screening</b>			
Trash containers, dumpsters, trash compactors, and recycling bins associated with multiple, multi-unit residential and non-residential uses must be screened from public ROW on all sides with a solid fence, wall, or other constructed of cedar, redwood, masonry or other similar building material reflecting the overall design of the site.		Yes	Yes
<b>88-425-08-B - Screening of Mechanical Equipment and Utility Cabinets</b>			
Above-ground utility cabinets that are 30" or more inches in height or width and visible from the right-of-way must be screened from public view with landscaping or with an architectural treatment.		Yes	Yes
<b>88-425-10-B - Trees</b>			
If more than 8 trees are required, no more than 40% may be of a single species. If more than 20 trees are required, no more than 25% may be of a single species.		Yes	Yes

**PLANTING NOTES:**

1. CONTRACTOR TO SOD TO LIMITS OF DISTURBANCE.
2. ALL PLANT MATERIAL SHALL BE INSTALLED ACCORDING TO SOUND NURSERY PRACTICES AND SHALL MEET ALL STANDARDS AS STATED IN THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
3. NO SUBSTITUTIONS IN PLANT MATERIALS SHALL BE MADE WITHOUT WRITTEN AUTHORIZATION FROM OWNER OR LANDSCAPE ARCHITECT. IN THE EVENT OF DISCREPANCIES BETWEEN DRAWING AND PLANT LIST, THE DRAWING SHALL PREVAIL.
4. LOCATE ALL UTILITIES PRIOR TO ANY AND ALL PLANTING OR DIGGING OPERATIONS. HAND DIG TREES AND SHRUBS IN AREAS WITHIN 5' OF UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES TO EXISTING UTILITIES INCURRED BY HIS WORK.
5. TREE STAKING: REFER TO TYPICAL TREE PLANTING DETAIL FOR TREE STAKING. CONTRACTOR SHALL REPLACE, PLANT, OR UPRIGHT ANY TREES BLOWN OVER OR DAMAGED DUE TO INADEQUATE STAKING AT NO ADDITIONAL COST TO OWNER.
6. PLANTS MASSED IN BEDS SHALL BE ARRANGED USING TRIANGULAR SPACING.
7. PROVIDE A LANDSCAPE EDGE BETWEEN ALL PLANTING BEDS AND LAWN AREAS—REFERENCE LANDSCAPE PLAN.
8. ALL PLANTING BEDS TO BE TYPICAL TO REMAIN ALIVE AND HEALTHY FOR A PERIOD OF ONE YEAR AFTER FINISHING LANDSCAPE PLAN.
9. LAY TALL FESCUE SOD FOR PROPOSED LAWN AREAS TO ALL EDGES OF PAVEMENT AND/OR LIMITS SPECIFIED IN LANDSCAPE PLAN. ALL DISTURBED AREAS WITHIN CITY R.O.W. SHALL RECEIVE TALL FESCUE SOD.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPING UNTIL FINAL ACCEPTANCE. ALL REQUIRED LANDSCAPING SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THE WORK SHALL INCLUDE, BUT NOT BE LIMITED TO, MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING, AND OTHER SUCH ACTIVITIES COMMON TO THE MAINTENANCE OF LANDSCAPING. ALL PLANT MATERIALS SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR. PLANT MATERIAL THAT DIES SHALL BE REPLACED WITH PLANT MATERIAL OF SIMILAR SIZE AND VARIETY.
11. CONTRACTOR SHALL WARRANT PLANT MATERIAL TO REMAIN ALIVE AND HEALTHY FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE. WARRANTY SHALL NOT INCLUDE DAMAGE FOR LOSS OF PLANT MATERIAL DUE TO ACTS OF VANDALISM OR NEGLIGENCE ON THE PART OF OWNER.
12. ALL LANDSCAPE BED AREAS TO BE PREPARED USING "ORGANICALLY ENRICHED TOP SOIL" BY MISSOURI ORGANIC (OR APPROVED EQUAL). INSTALL TO DEPTHS PER PLANTING DETAILS (12" DEPTH MIN.). FINISHED GRADES OF PLANTING BEDS TO BE 2" BELOW FINISHED GRADE OF ADJACENT PAVING OR AS SHOWN ON GRADING PLAN. CONTRACTOR TO SUBMIT 1 GALLON (MIN.) SAMPLE TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO PURCHASE.
13. ALL SOD AREAS TO RECEIVE 4" DEPTH (MIN.) TOPSOIL PRIOR TO INSTALLATION. TOPSOIL SHALL BE NATURAL, FRIABLE, AND FERTILE; POSSES A pH RANGE OF 7.0-7.5; AND BE FREE OF TRASH, DEBRIS, STONES, WEEDS, AND TWIGS/BRANCHES.
14. FERTILIZER: FERTILIZE SEEDBED AREAS WITH AN APPROVED COMMERCIAL TYPE, SLOW RELEASE, AT A RATE OF 400 LBS/ACRE. FERTILIZE SODDED AREAS WITH THE SAME FERTILIZER TYPE AT A RATE OF 200 LBS/ACRE. REFER TO LANDSCAPE SPECIFICATIONS SECTION G FOR REQUIRED SUBMITTALS. USE PHOSPHOROUS-FREE FERTILIZER IF REQUIRED BY LOCAL CODE.
15. REFER TO THE LANDSCAPE SPECIFICATIONS FOR REQUIRED SUBMITTALS.

**TREE PROTECTION NOTES:**

1. CONTRACTOR SHALL ADHERE TO ALL TREE PRESERVATION REQUIREMENTS LISTED IN THE TREE PRESERVATION SPECIFICATIONS AND/OR THE CITY OR COUNTY ZONING CODE (LATEST EDITION)—WHICHEVER IS MORE STRINGENT SHALL APPLY.
2. CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION PROCEDURES WITH THE PROJECT ARBORIST PRIOR TO BEGINNING WORK.
3. ANY DEMOLITION OR EXCAVATION WITHIN THE DRIP LINE OF AN EXISTING TREE SHALL PROCEED WITH EXTREME CARE EITHER BY THE USE OF HAND TOOLS, DIRECTIONAL BORING, AIR KNIFE EXCAVATION, AND/OR WITH OTHER LOW IMPACT EQUIPMENT THAT WILL NOT CAUSE DAMAGE TO THE TREE, ROOTS, OR SOIL; CONTRACTOR SHALL COORDINATE SUCH PROCEDURES WITH THE PROJECT ARBORIST.
4. EXISTING TREE LOCATIONS AND SIZES ARE ESTIMATES BASED ON A SURVEY PROVIDED BY THE OWNER SELECTED SURVEYOR.
5. NO SIGNS, BUILDING PERMITS, WIRES, OR OTHER ATTACHMENTS OF ANY KIND SHALL BE ATTACHED TO ANY TREE. GUY WIRES DESIGNED TO PROTECT TREES ARE EXCLUDED FROM THIS PROHIBITION.
6. CONTRACTOR SHALL COORDINATE TREE REMOVAL WITH PERMITTING AGENCY AND PROJECT ARBORIST PRIOR TO CONSTRUCTION. NO PERSON MAY REMOVE OR CAUSE TO BE REMOVED ANY PROTECTED TREE WITHOUT FIRST HAVING PROCURED A PERMIT AS PROVIDED BY THE APPROPRIATE PERMITTING AGENCY.
7. DO NOT INSTALL CONDUIT, DRAIN OR IRRIGATION LINE, OR ANY UTILITY LINE WITHIN THE TREE PROTECTION ZONE WITHOUT THE APPROVAL OF THE PROJECT ARBORIST. IF LINES MUST TRAVERSE THE PROTECTION AREA, THEY SHALL BE TUNNELED OR BORED UNDER THE TREE UNLESS OTHERWISE NOTED—REFERENCE TREE PRESERVATION DETAILS.
8. CONSTRUCTION ACTIVITY SHALL NOT DESTROY OR IRREVERSIBLY HARM THE ROOT SYSTEM OF PROTECTED TREES. POST HOLES AND TRENCHES LOCATED CLOSE TO PROTECTED TREES SHALL BE ADJUSTED TO AVOID DAMAGE TO MAJOR ROOTS.
9. IF TREE ROOT ZONE IS TO BE DISTURBED, AFFECTED ROOTS MUST BE SEVERED BY CLEAN PRUNING CUTS AT THE POINT WHERE CONSTRUCTION IMPACTS THE ROOTS.
10. ROOT PRUNING/TRENCHING LOCATIONS SHALL BE APPROVED IN THE FIELD BY THE PROJECT ARBORIST.
11. CONTRACTOR TO COORDINATE ALL EARTHWORK OPERATIONS WITH THE PROJECT ARBORIST PRIOR TO BEGINNING WORK.
12. IF ANY DAMAGE TO TREE PROTECTION FENCING SHOULD OCCUR BY ACCIDENT OR NEGLIGENCE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMMEDIATE REPAIRS.
13. CONTRACTOR'S ACCESS TO FENCED TREE PROTECTION AREAS SHALL BE PERMITTED ONLY WITH APPROVAL OF THE PROJECT ARBORIST.
14. NO MATERIALS, EQUIPMENT, SPOIL, WASTE, OR WASHOUT WATER MAY BE DISPOSED, STORED, OR PARKED WITHIN 20 FEET OF ANY TREE PROTECTION ZONE.
15. CONTRACTOR SHALL COORDINATE WITH THE PROJECT ARBORIST PRIOR TO REMOVAL OF TREE PROTECTION FENCING.

**LANDSCAPE ARCHITECTURAL DEVELOPMENT PLAN**

**LIVSMART STUDIOS KANSAS CITY**

10000 N POLO DR. KANSAS CITY, MO 64153

**Kimley»Horn**

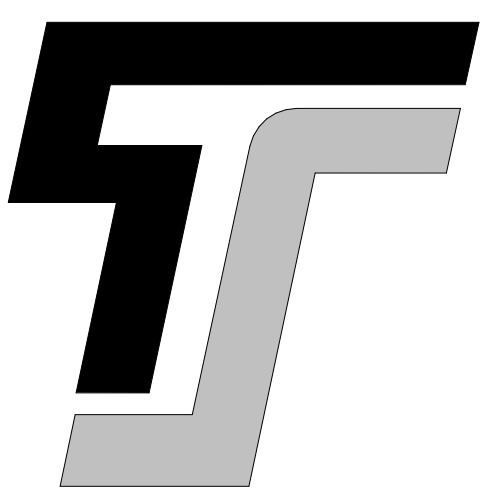
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CHECKED BY: SAR

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ORIGINAL ISSUE: 05/16/2024  
KHA PROJECT NO: 26843200  
SHEET NUMBER: L1

NO. REVISIONS BY DATE



**TYPE-SIX**

TYPE-SIX  
DEVELOPMENT SERVICES, LLC  
910 SOUTH MAIN STREET #150  
GRAPEVINE, TEXAS 76054  
972.677.9075



**LIVSMART STUDIOS  
MARQUEE HOSPITALITY**

10000 N POLO DR  
KANSAS CITY, MO 64153

PROJECT # 00000

ARCHITECT  
D. HAYES HINKLE

ISSUE DATE  
17 MAY 2024

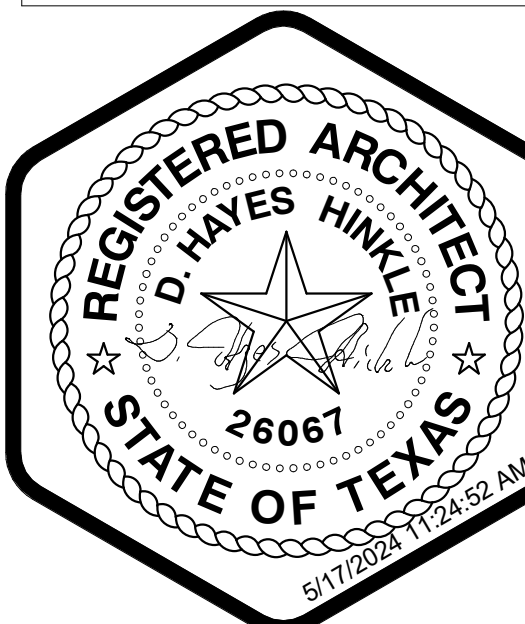
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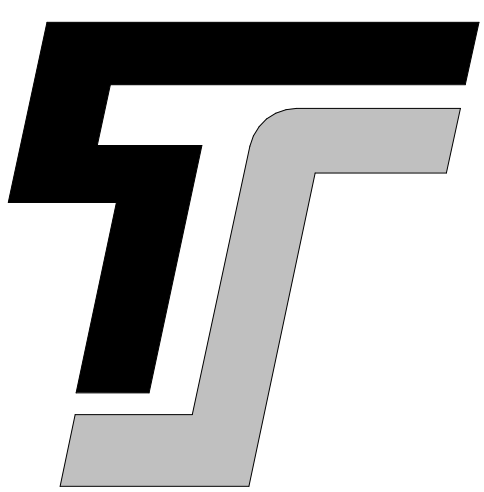
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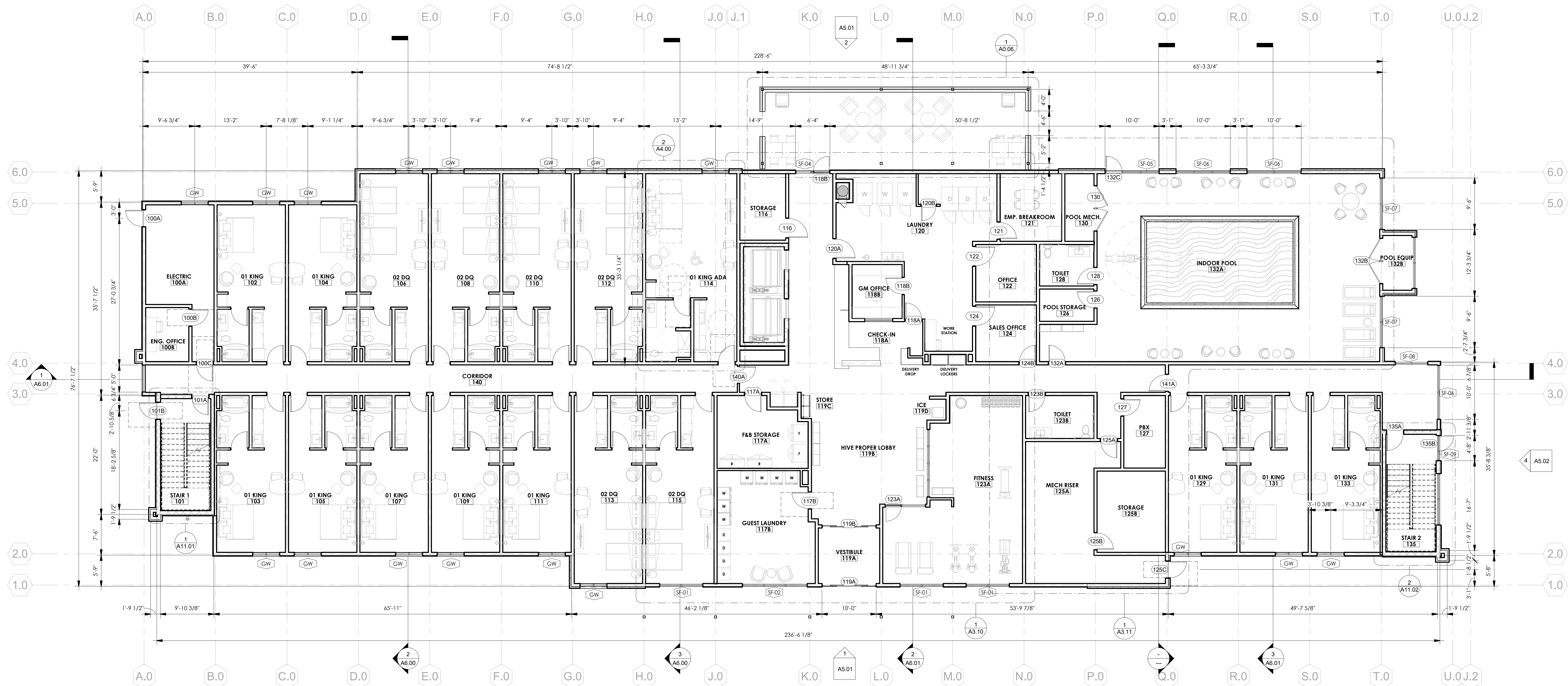
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TYPE-SIX

TYPE-SIX DEVELOPMENT SERVICES, LLC  
910 SOUTH MAIN STREET #150  
GRAPEVINE, TEXAS 76054  
972.677.9075



1 01 KING - DIMENSION PLAN  
1/8" = 1'-0"

GENERAL FLOOR PLAN NOTES

- THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DRAWINGS, THESE NOTES AND FIELD CONDITIONS BEFORE COMMENCING ANY WORK AND REQUEST CLARIFICATION.
- REFER TO A8.00 FOR PARTITION TYPES
- REFER TO SHEET A15.00 FOR DOOR SCHEDULES, DOOR FRAMES AND DOOR TYPES
- REFER TO G SERIES SHEETS FOR CODE REFERENCES, CODE COMPLIANCE PLANS, PENETRATION DETAILS AND ACCESSIBILITY INFORMATION.
- PROVIDE ACCESSIBLE GUEST ROOMS PER THE TEXAS ACCESSIBILITY STANDARDS. REFER TO G SERIES SHEETS FOR ADDITIONAL INFORMATION.
- ALL DIMENSIONS ARE TO FACE OF STUD, CONCRETE, MASONRY OR TO THE GRID LINE, UNLESS NOTED OTHERWISE. REFER TO STRUCTURAL FOR SLAB DIMENSIONS.
- ALL GRID LOCATIONS AND GRID DIMENSIONS ARE TO BE VERIFIED BY CONTRACTOR PRIOR TO COMMENCEMENT OF WORK.
- ALL MISCELLANEOUS SUPPORT STEEL EXPOSED TO THE EXTERIOR SHALL BE GALVANIZED AND COATED WITH A HIGH-PERFORMANCE COATING, UNLESS NOTED OTHERWISE.
- PROVIDE AUTOMATIC FIRE SUPPRESSION SYSTEM FOR ENTIRE BUILDING PER NFPA 13. SYSTEM SHALL BE UNDER SEPARATE PERMIT. COORDINATE WITH CERTIFIED FIRE SPRINKLER CONTRACTOR.
- ALL STRUCTURAL STEEL COLUMNS AND BEAMS REQUIRED TO BE PROTECTED TO MEET A FIRE RATING SHALL BE INDIVIDUALLY PROTECTED PRIOR TO INSTALLATION OF ADJACENT PARTITIONS, WALLS, CEILINGS OR ROOF FRAMING.
- FURNITURE, FIXTURES AND EQUIPMENT (FFE) ARE TO BE COORDINATED WITH OWNER. CONTRACTOR TO PROVIDE RESPONSIBILITY MATRIX TO ENSURE ALL ELEMENTS ARE ACCOUNTED FOR.
- PROVIDE NECESSARY BLOCKING FOR SURFACE MOUNTED FIXTURES, ACCESSORIES, AND EQUIPMENT.
- FINISHES SHALL MEET PROPER FLAME SPREAD AND SMOKE SPREAD, 2015 IFC, SECTION 803.
- CAULK CONTINUOUSLY AT PERIMETER OF DOOR AND WINDOW FRAMES. CAULK AFTER WALL COVERING IS INSTALLED.
- REFER TO MOUNTING HEIGHT SCHEDULE FOR TOILET AND BATH ACCESSORIES IN ALL BATHROOMS.
- SIGNAGE IS OWNER PROVIDED. SIGNAGE SHALL MEET BUILDING CODE REQUIREMENTS AND ANSI A117.1 REQUIREMENTS FOR ACCESSIBILITY.
- PROVIDE TACTILE EXIT SIGNS AT EXIT DOOR LOCATIONS. SIGNAGE SHALL COMPLY WITH ICC/ANSI A117.1 AT STOREFRONT LOCATION. PROVIDE TACTILE SIGN THAT FITS WITHIN THE STOREFRONT MULLION FRAME WIDTH. MOUNT BOTTOM OF CHARACTERS AT 48" MIN. AND 60" MAX. ABOVE FINISH FLOOR.
- PROVIDE TACTILE SIGNAGE OUTSIDE THE TOILET ROOM PER 1110.1 AND ICC/ANSI A117.1. MOUNT BOTTOM OF CHARACTERS AT 48" MIN. AND 60" MAX ABOVE FLOOR.
- PROVIDE STAINLESS STEEL CORNER GUARDS AT ALL OUTSIDE CORNERS IN KITCHEN, LAUNDRY ROOMS, STORAGE, MAINTENANCE AND BACK-OF-HOUSE CORRIDORS. PROVIDE PLASTIC CORNER GUARDS AT ALL OUTSIDE CORNERS IN BACK-OF-HOUSE WORK ROOMS AND OFFICES. REFERENCE SPECIFICATION SECTION 102600 FOR TYPES AND HEIGHTS OF CORNER GUARD. ALL OUTSIDE CORNERS AT BACK-OF-HOUSE AREAS ARE TO HAVE CORNER GUARDS. REFER TO INTERIOR DESIGN DRAWING FOR CORNER GUARDS AT PUBLIC AREAS TO BE PROVIDED BY GC.
- ALL WALL OUTLETS ON ELEVATIONS ARE DIMENSIONED TO CENTER LINE, UNLESS NOTED OTHERWISE.
- ALL DEVICES ADJACENT TO WET AREAS SHALL BE GFCI PER NEC REQUIREMENTS.
- ALL WOOD BLOCKING AND PLYWOOD IN EXTERIOR WALLS, PARAPETS, AND ROOF CONSTRUCTION SHALL BE EXTERIOR (PRESSURE) AND FIRE RETARDANT-TREATED (FRTW). ALL INTERIOR PLYWOOD SHALL BE FIRE RETARDANT-TREATED (FRTW). ONLY INTERIOR MISCELLANEOUS WOOD BLOCKING SHALL BE ALLOWED TO BE NON-FIRE-RETARDANT TREATED AND INTERIOR WOOD BLOCKING ADJACENT TO CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
- WHERE MECHANICAL AND ELECTRICAL DEVICES AND PARTS ARE CONCEALED AND REQUIRE ACCESS, PROVIDE ACCESS DOORS AND FRAMES PER SPECIFICATIONS. FIRE RATED ASSEMBLIES SHALL BE MAINTAINED.
- TYPICAL AT EXPOSED SIDES OF CONCRETE COLUMNS UNLESS OTHERWISE NOTED. PROVIDE 5/8" GYPSUM BOARD OVER 1 1/2" METAL STUDS AT 16" O.C. AND EXTEND ABOVE CEILING.
- ALL GYPSUM BD. FINISH FACES OF DIFFERING SUBSTRATES (i.e. 1 1/2" MTL. FURRING ADJACENT TO 3 5/8" METAL STUDS) SHALL ALIGN.
- REFER TO A9 SHEETS FOR ENLARGED GUESTROOM INFORMATION.
- FINAL ROOM NAMES AND SIGNAGE SHALL BE CONFIRMED BY OWNER PRIOR TO PURCHASE AND INSTALLATION.

HOTEL INFORMATION	
BUILDING SF	FIRST FLOOR SF: 18,816 SF UPPER FLOOR SF: 18,816 SF TOTAL SF: 75,264 SF
BUILDING INFORMATION	NUMBER OF FLOORS: 4 FLOORS NUMBER OF GUESTROOMS: 109
AMENITIES	INDOOR POOL OUTDOOR LOUNGE FITNESS CORPORATE OFFICE
GUESTROOM MIX	
FLOOR	1 2 3 4 TOTAL
QQ	6 20 19 20 65
K	11 11 11 11 44
TOTAL GUESTROOMS 109	

GENERAL FLOOR PLAN SYMBOLS	
(B)	KEYNOTE TAG - REFERENCE KEYNOTE SCHEDULE
(101)	DOOR TAG - REFERENCE DOOR SCHEDULE A15.00
SF-00	STOREFRONT TAG - REFERENCE WINDOW SCHEDULE A16.00
(A)	WINDOW TAG - REFERENCE WINDOW SCHEDULE A16.00
(P)	PARTITION TAG - REFERENCE PARTITION SCHEDULE A8.00
(R)	ROOM ADA SYMBOL
(H)	ROOM HEARING IMPAIRED SYMBOL
CR	CARD READER
FE	FIRE EXTINGUISHER

LIVSMART STUDIOS  
MARQUEE HOSPITALITY  
10000 N POLO DR  
KANSAS CITY, MO 64153  
PROJECT # 00000

ARCHITECT  
D. HAYES HINKLE

ISSUE DATE  
29 MAY 2024

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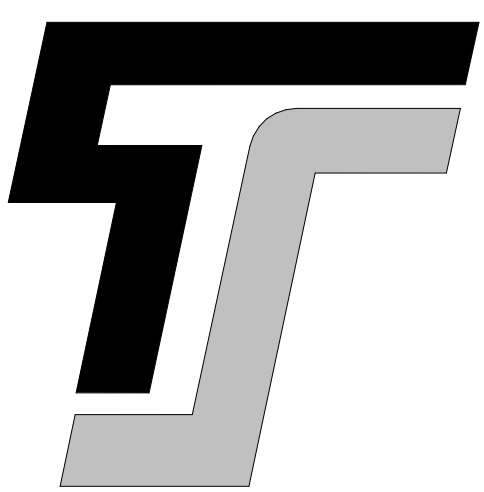
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SHEET NAME  
01 DIMENSION PLAN

SHEET NUMBER  
A1.01







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TYPE-SIX  
DEVELOPMENT SERVICES, LLC  
910 SOUTH MAIN STREET #150  
GRAPEVINE, TEXAS 76054  
972.677.9075

LIVSMART STUDIOS  
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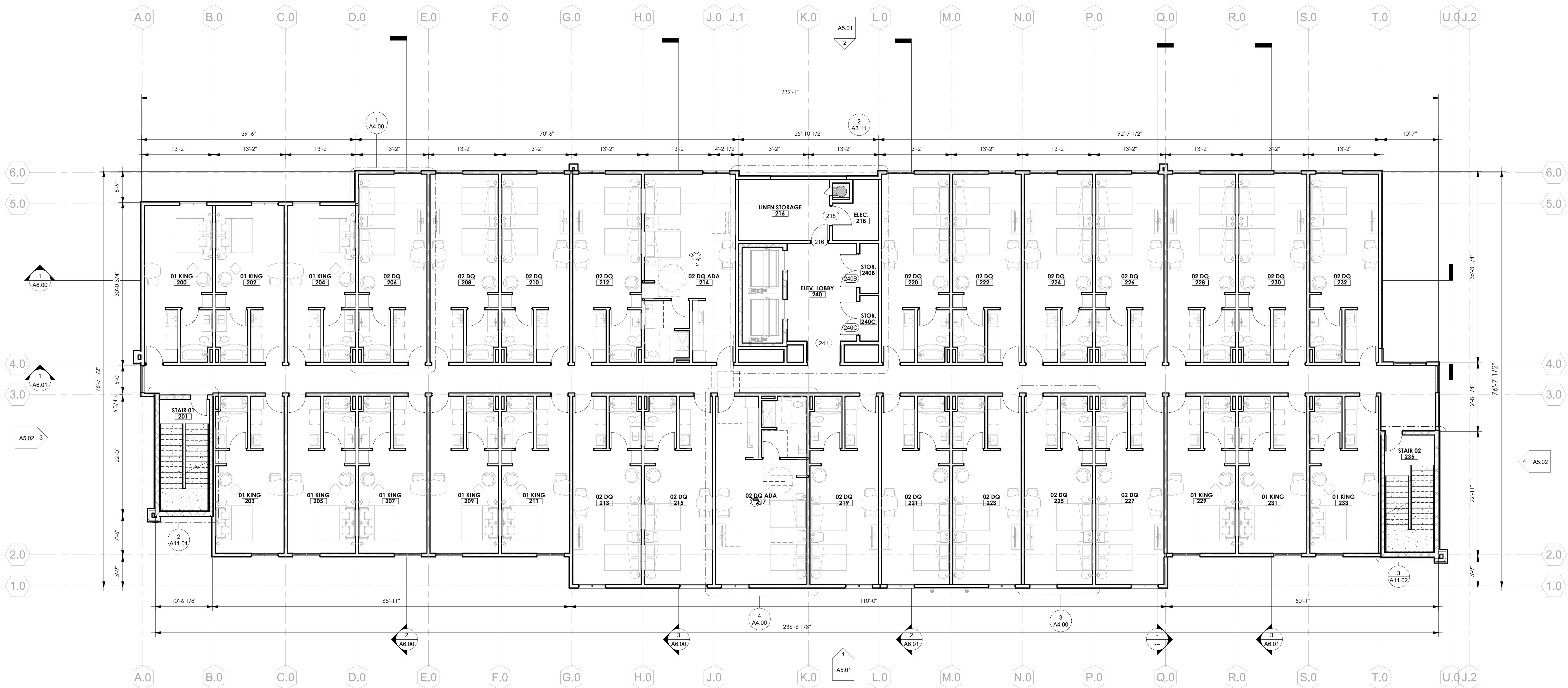
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SHEET NAME

02 DIMENSION PLAN

SHEET NUMBER

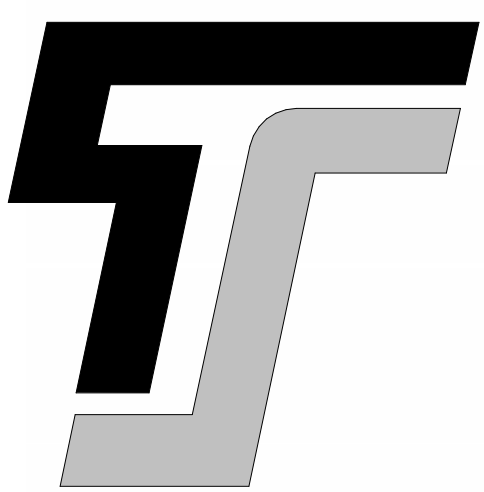
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1 TYPICAL UPPER FLOOR - DIMENSION PLAN  
1/8" = 1'-0"

HOTEL INFORMATION		GENERAL FLOOR PLAN SYMBOLS	
BUILDING SF	FIRST FLOOR SF: 18,816 SF UPPER FLOOR SF: 18,816 SF TOTAL SF: 75,264 SF	(6)	KEYNOTE TAG - REFERENCE KEYNOTE SCHEDULE
BUILDING INFORMATION	NUMBER OF FLOORS: 4 FLOORS NUMBER OF GUESTROOMS: 109	(101)	DOOR TAG - REFERENCE DOOR SCHEDULE A15.00
AMENITIES	INDOOR POOL OUTDOOR LOUNGE FITNESS CORPORATE OFFICE	(SF-00)	STOREFRONT TAG - REFERENCE WINDOW SCHEDULE A16.00
GUESTROOM MIX		(A)	WINDOW TAG - REFERENCE WINDOW SCHEDULE A16.00
FLOOR	1 2 3 4 TOTAL	(A-1)	PARTITION TAG - REFERENCE PARTITION SCHEDULE A8.00
QQ	6 20 19 20 65	(A-2)	ROOM ADA SYMBOL
K	11 11 11 11 44	(A-3)	ROOM HEARING IMPAIRED SYMBOL
	TOTAL GUESTROOMS 109	(CR)	CARD READER
		(FE)	FIRE EXTINGUISHER

- GENERAL FLOOR PLAN NOTES**
- THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DRAWINGS, THESE NOTES AND FIELD CONDITIONS BEFORE COMMENCING ANY WORK AND REQUEST CLARIFICATION.
  - REFER TO A8.00 FOR PARTITION TYPES
  - REFER TO SHEET A15.00 FOR DOOR SCHEDULES, DOOR FRAMES AND DOOR TYPES
  - REFER TO G SERIES SHEETS FOR CODE REFERENCES, CODE COMPLIANCE PLANS, PENETRATION DETAILS AND ACCESSIBILITY INFORMATION.
  - PROVIDE ACCESSIBLE GUEST ROOMS PER THE TEXAS ACCESSIBILITY STANDARDS. REFER TO G SERIES SHEETS FOR ADDITIONAL INFORMATION.
  - ALL DIMENSIONS ARE TO FACE OF STUD, CONCRETE, MASONRY OR TO THE GRID LINE, UNLESS NOTED OTHERWISE. REFER TO STRUCTURAL FOR SLAB DIMENSIONS.
  - ALL GRID LOCATIONS AND GRID DIMENSIONS ARE TO BE VERIFIED BY CONTRACTOR PRIOR TO COMMENCEMENT OF WORK.
  - ALL MISCELLANEOUS SUPPORT STEEL EXPOSED TO THE EXTERIOR SHALL BE GALVANIZED AND COATED WITH A HIGH-PERFORMANCE COATING, UNLESS NOTED OTHERWISE.
  - PROVIDE AUTOMATIC FIRE SUPPRESSION SYSTEM FOR ENTIRE BUILDING PER NFPA 13. SYSTEM SHALL BE UNDER SEPARATE PERMIT. COORDINATE WITH CERTIFIED FIRE SPRINKLER CONTRACTOR.
  - ALL STRUCTURAL STEEL COLUMNS AND BEAMS REQUIRED TO BE PROTECTED TO MEET A FIRE RATING SHALL BE INDIVIDUALLY PROTECTED PRIOR TO INSTALLATION OF ADJACENT PARTITIONS, WALLS, CEILINGS OR ROOF FRAMING.
  - FURNITURE, FIXTURES AND EQUIPMENT (FFE) ARE TO BE COORDINATED WITH OWNER. CONTRACTOR TO PROVIDE RESPONSIBILITY MATRIX TO ENSURE ALL ELEMENTS ARE ACCOUNTED FOR.
  - PROVIDE NECESSARY BLOCKING FOR SURFACE MOUNTED FIXTURES, ACCESSORIES, AND EQUIPMENT.
  - FINISHES SHALL MEET PROPER FLAME SPREAD AND SMOKE SPREAD. 2015 IFC, SECTION 803.
  - CAULK CONTINUOUSLY AT PERIMETER OF DOOR AND WINDOW FRAMES. CAULK AFTER WALL COVERING IS INSTALLED.
  - REFER TO MOUNTING HEIGHT SCHEDULE FOR TOILET AND BATH ACCESSORIES IN ALL BATHROOMS.
  - SIGNAGE IS OWNER PROVIDED. SIGNAGE SHALL MEET BUILDING CODE REQUIREMENTS AND ANSI A117.1 REQUIREMENTS FOR ACCESSIBILITY.
  - PROVIDE TACTILE EXIT SIGNS AT EXIT DOOR LOCATIONS. SIGNAGE SHALL COMPLY WITH ICC/ANSI A117.1. AT STOREFRONT LOCATION, PROVIDE TACTILE SIGN THAT FITS WITHIN THE STOREFRONT MULLION FRAME WIDTH. MOUNT BOTTOM OF CHARACTERS AT 48" MIN. AND 60" MAX. ABOVE FINISH FLOOR.
  - PROVIDE TACTILE SIGNAGE OUTSIDE THE TOILET ROOM PER 110.1 AND ICC/ANSI A117.1. MOUNT BOTTOM OF CHARACTERS AT 48" MIN. AND 60" MAX ABOVE FLOOR.
  - PROVIDE STAINLESS STEEL CORNER GUARDS AT ALL OUTSIDE CORNERS IN KITCHEN, LAUNDRY ROOMS, STORAGE, MAINTENANCE AND BACK-OF-HOUSE CORRIDORS. PROVIDE PLASTIC CORNER GUARDS AT ALL OUTSIDE CORNERS IN BACK-OFF-HOUSE WORK ROOMS AND OFFICES. REFERENCE SPECIFICATION SECTION 110260 FOR TYPES AND HEIGHTS OF CORNER GUARD. ALL OUTSIDE CORNERS AT BACK-OF-HOUSE AREAS ARE TO HAVE CORNER GUARDS. REFER TO INTERIOR DESIGN DRAWING FOR CORNER GUARDS AT PUBLIC AREAS TO BE PROVIDED BY GC.
  - ALL WALL OUTLETS ON ELEVATIONS ARE DIMENSIONED TO CENTER LINE, UNLESS NOTED OTHERWISE.
  - ALL DEVICES ADJACENT TO WET AREAS SHALL BE GFCI PER NEC REQUIREMENTS.
  - ALL WOOD BLOCKING AND PLYWOOD IN EXTERIOR WALLS, PARAPETS, AND ROOF CONSTRUCTION SHALL BE EXTERIOR (PRESSURE) AND FIRE RETARDANT-TREATED (FRTW). ALL INTERIOR PLYWOOD SHALL BE FIRE RETARDANT-TREATED (FRTW). ONLY INTERIOR MISCELLANEOUS WOOD BLOCKING SHALL BE ALLOWED TO BE NON FIRE RETARDANT TREATED AND INTERIOR WOOD BLOCKING ADJACENT TO CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
  - WHERE MECHANICAL AND ELECTRICAL DEVICES AND PARTS ARE CONCEALED AND REQUIRE ACCESS, PROVIDE ACCESS DOORS AND FRAMES PER SPECIFICATIONS. FIRE RATED ASSEMBLIES SHALL BE MAINTAINED.
  - TYPICAL AT EXPOSED SIDES OF CONCRETE COLUMNS UNLESS OTHERWISE NOTED - PROVIDE 5/8" GYPSUM BOARD COVER 1 1/2" METAL STUDS AT 16" O.C. AND EXTEND ABOVE CEILING.
  - ALL GYPSUM BD. FINISH FACES OF DIFFERING SUBSTRATES (i.e. 1 1/2" MIL FURRING ADJACENT TO 3 5/8" METAL STUDS) SHALL ALIGN.
  - REFER TO A9 SHEETS FOR ENLARGED GUESTROOM INFORMATION.
  - FINAL ROOM NAMES AND SIGNAGE SHALL BE CONFIRMED BY OWNER PRIOR TO PURCHASE AND INSTALLATION.



**TYPE-SIX**

**TYPE-SIX DEVELOPMENT SERVICES, LLC**  
910 SOUTH MAIN STREET #150  
GRAPEVINE, TEXAS 76054  
972.677.9075

**LIVSMART STUDIOS  
MARQUEE HOSPITALITY**  
10000 N POLO DR  
KANSAS CITY, MO 64153  
PROJECT # 00000

ARCHITECT

D. HAYES HINKLE

ISSUE DATE

29 MAY 2024

ISSUED FOR

REVIEW

# Revision Date

#	Revision	Date

SHEET NAME

BUILDING ELEVATIONS

SHEET NUMBER

**A5.01**

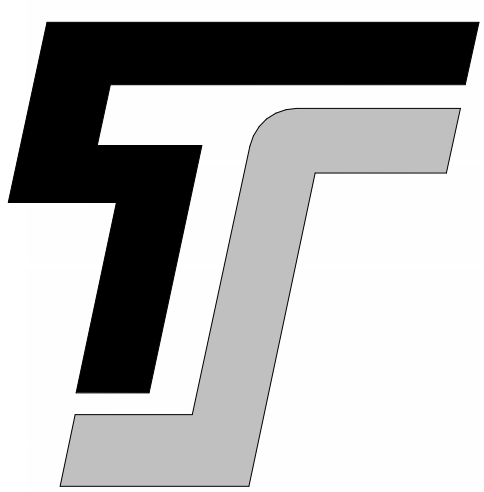


**1 EAST ELEVATION**  
1/8" = 1'-0"



**2 WEST ELEVATION**  
1/8" = 1'-0"

MATERIAL CALLOUTS	ADDITIONAL NOTES:	ELEVATION KEYNOTES
<b>B-1</b> DARK BRICK - KING SIZE ACME MANGANESE IRONSPOT OR SIMILAR	<ul style="list-style-type: none"> <li>ALL SIGNAGE SUBJECT TO BUILDING INSPECTION DEPARTMENT APPROVAL.</li> <li>MECHANICAL UNITS SHALL BE SCREENED IN ACCORDANCE WITH LOCAL CITY AND ZONING ORDINANCES.</li> <li>UTILITY BOXES AND CONDUIT SHALL BE PAINTED TO MATCH BUILDING COLOR.</li> <li>KING SIZE, FACE BRICK, WITH 3/8" CONCAVE GROUT JOINT-MORTAR TO BE MATCHED TO GROUT.</li> <li>CONTRACTOR TO ENSURE METAL PANELS ARE INSTALLED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATION.</li> <li>SIGN DESIGNED AND FABRICATED BY APPROVED VENDOR TO MEET BRAND STANDARDS. FOR LOCATION ONLY.</li> <li>ALL UTILITY BOXES AND METERS SHALL BE PAINTED TO MATCH SURROUNDING BUILDING FACADE.</li> <li>FINAL SIGN DESIGN TO BE DRAFTER BY THIRD PARTY CONTRACTOR TO ENSURE FINAL SIGN PACKAGE IS SUBMITTED APPROVED BY THE BRAND.</li> </ul>	
<b>EF-1</b> DARK COLOR EIFS		
<b>EF-2</b> GREY COLOR EIFS		
<b>EF-3</b> WHITE EIFS		
<b>EF-4</b> TAUPE COLOR EIFS		
<b>NH-1</b> NICHHA VINTAGE WOOD CEDAR OR SIMILAR		
<b>LF-1</b> LOUVER FINISH - DARK BRONZE TO MATCH STOREFRONT		
<b>AF-1</b> ALUMINUM PARAPET FLASHING TO MATCH STOREFRONT		
<b>GL</b> EXTERIOR WINDOWS: STOREFRONT WINDOW SYSTEM		
<b>SF</b> STOREFRONT - KAWNEER - "DARK BRONZE # 40"		
<b>SP</b> SPANDREL	38% TRANSPARENCY ON 1ST FLOOR > 33% PARKWAY REQUIREMENTS	



**TYPE-SIX**

**TYPE-SIX  
DEVELOPMENT SERVICES, LLC**  
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**LIVSMART STUDIOS  
MARQUEE HOSPITALITY**  
10000 N POLO DR  
KANSAS CITY, MO 64153  
PROJECT # 00000

ARCHITECT

D. HAYES HINKLE

ISSUE DATE

29 MAY 2024

ISSUED FOR

REVIEW

# Revision Date

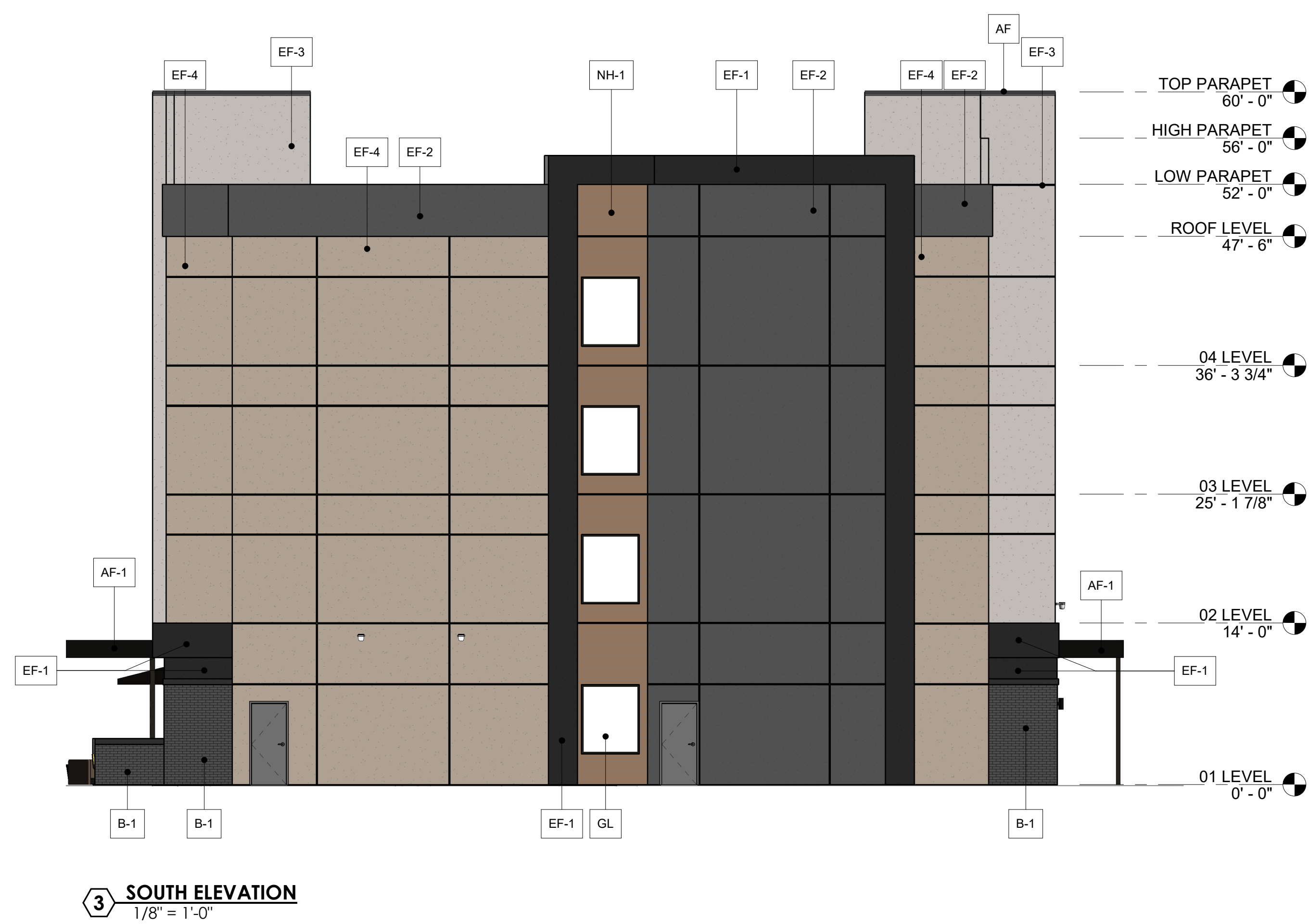
#	Revision	Date

SHEET NAME

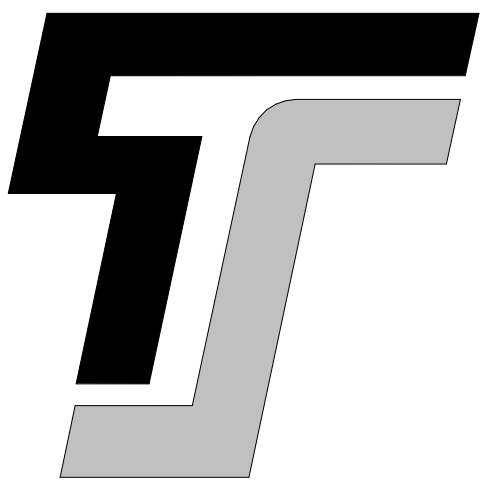
BUILDING ELEVATIONS

SHEET NUMBER

**A5.02**

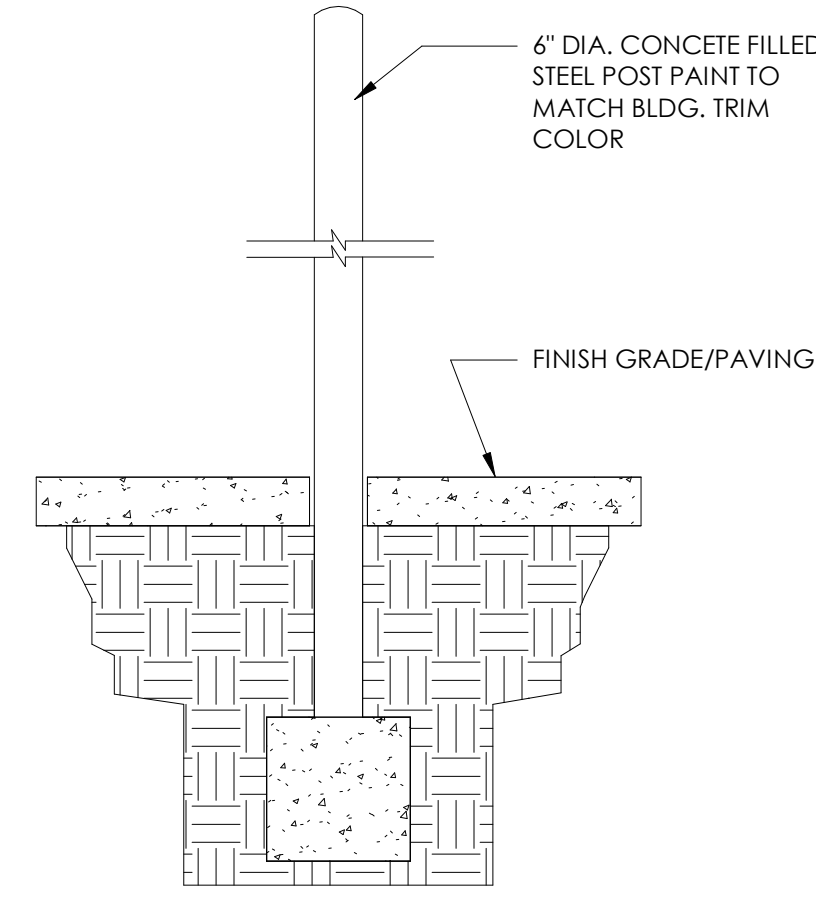


MATERIAL CALLOUTS	ADDITIONAL NOTES:	ELEVATION KEYNOTES
<b>B-1</b> DARK BRICK - KING SIZE ACME MANGANESE IRONSPOT OR SIMILAR	<ul style="list-style-type: none"> <li>ALL SIGNAGE SUBJECT TO BUILDING INSPECTION DEPARTMENT APPROVAL.</li> <li>MECHANICAL UNITS SHALL BE SCREENED IN ACCORDANCE WITH LOCAL CITY AND ZONING ORDINANCES.</li> <li>UTILITY BOXES AND CONDUIT SHALL BE PAINTED TO MATCH BUILDING COLOR.</li> <li>KING SIZE FACE BRICK, WITH 3/8" CONCAVE GROUT JOINT-MORTAR TO BE MATCHED TO GROUT.</li> <li>CONTRACTOR TO ENSURE METAL PANELS ARE INSTALLED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATION.</li> <li>SIGN DESIGNED AND FABRICATED BY APPROVED VENDOR TO MEET BRAND STANDARDS, FOR LOCATION ONLY.</li> <li>ALL UTILITY BOXES AND METERS SHALL BE PAINTED TO MATCH SURROUNDING BUILDING FACADE.</li> <li>FINAL SIGN DESIGN TO BE DRAFTER BY THIRD PARTY CONTRACTOR TO ENSURE FINAL SIGN PACKAGE IS SUBMITTED APPROVED BY THE BRAND.</li> </ul> 38% TRANSPARENCY ON 1ST FLOOR > 33% PARKWAY REQUIREMENTS	
<b>EF-1</b> DARK COLOR EIFS		
<b>EF-2</b> GREY COLOR EIFS		
<b>EF-3</b> WHITE EIFS		
<b>EF-4</b> TAUPE COLOR EIFS		
<b>NH-1</b> NICHIIHA VINTAGE WOOD CEDAR OR SIMILAR		
<b>LF-1</b> LOUVER FINISH - DARK BRONZE TO MATCH STOREFRONT		
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<b>GL</b> EXTERIOR WINDOWS: STOREFRONT WINDOW SYSTEM		
<b>SP</b> STOREFRONT - KAWNEER - "DARK BRONZE #40"		
<b>SP</b> SPANDREL		

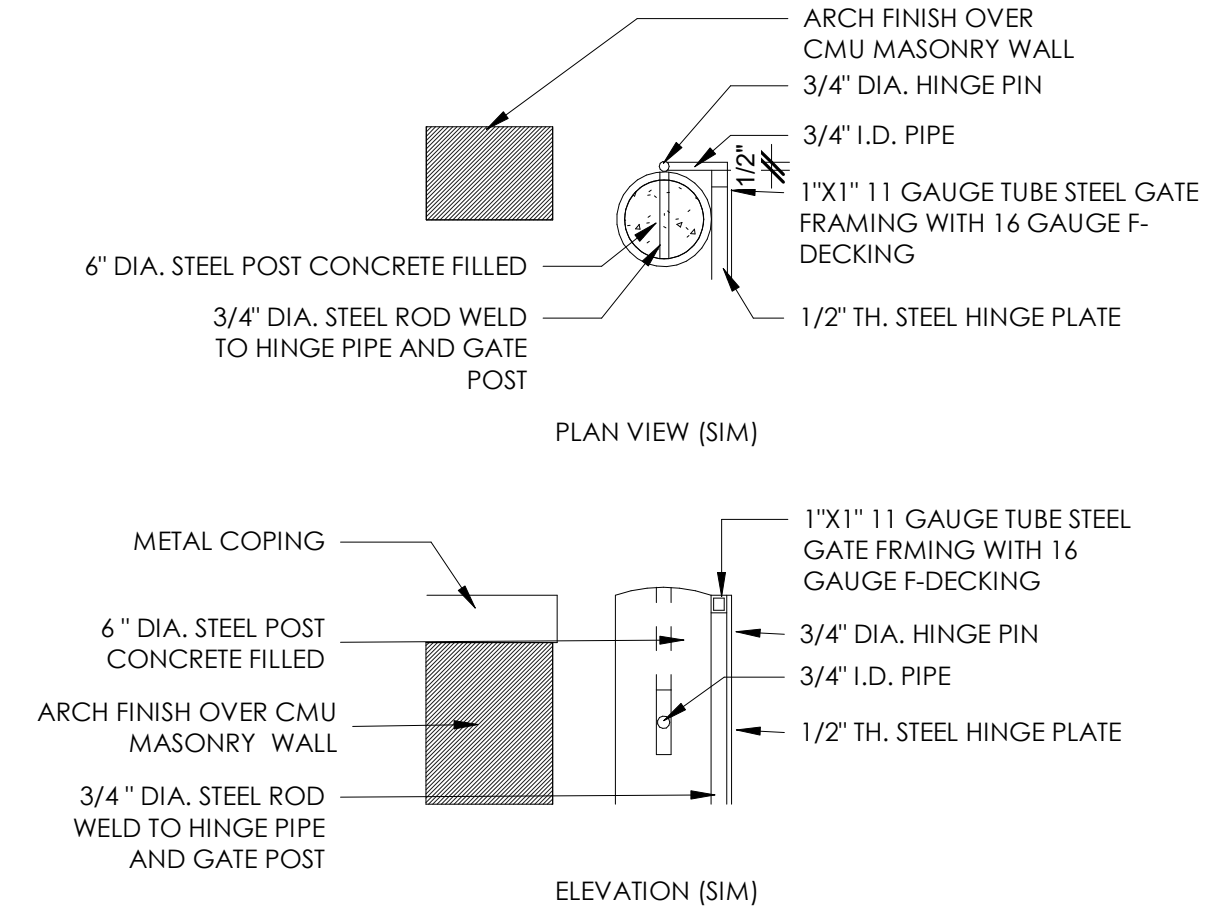


**TYPE-SIX**

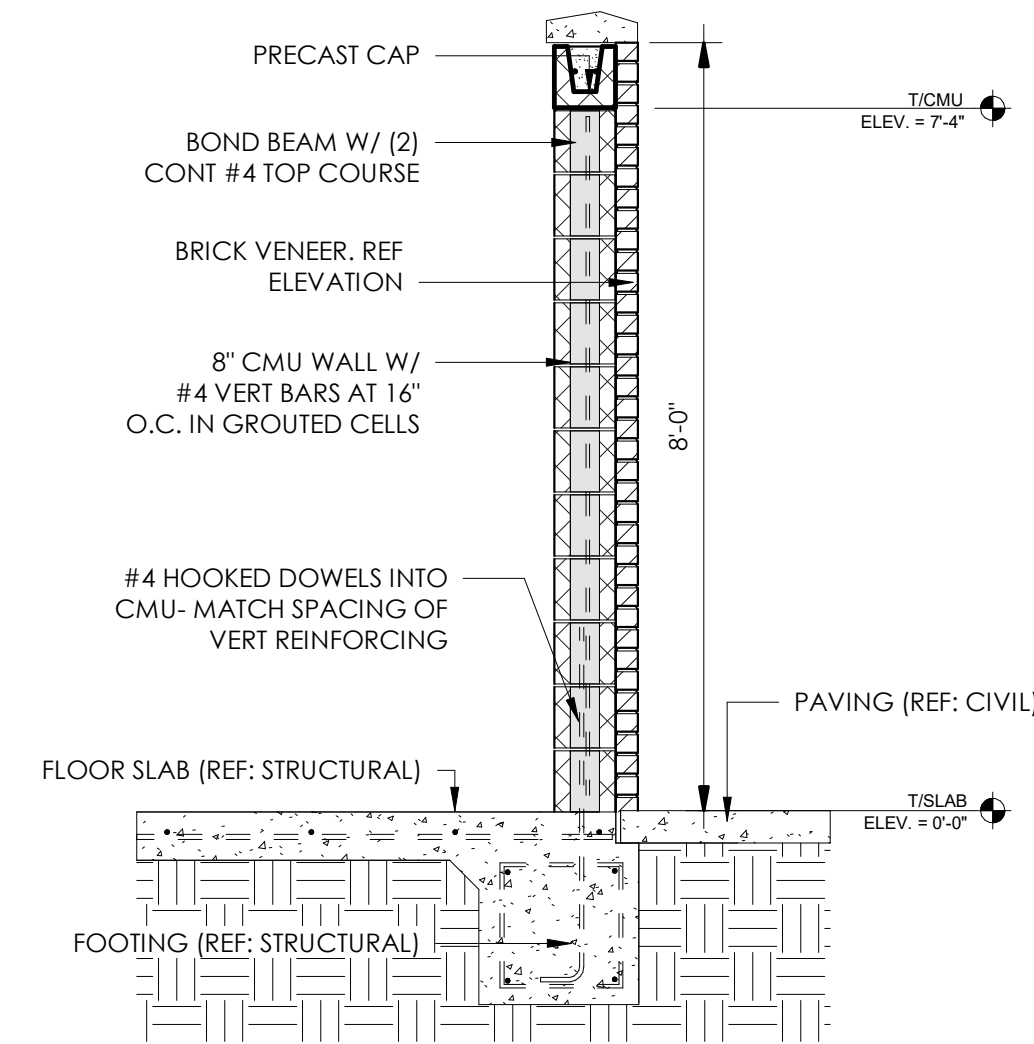
**TYPE-SIX  
DEVELOPMENT SERVICES, LLC**  
910 SOUTH MAIN STREET #150  
GRAPEVINE, TEXAS 76054  
972.677.9075



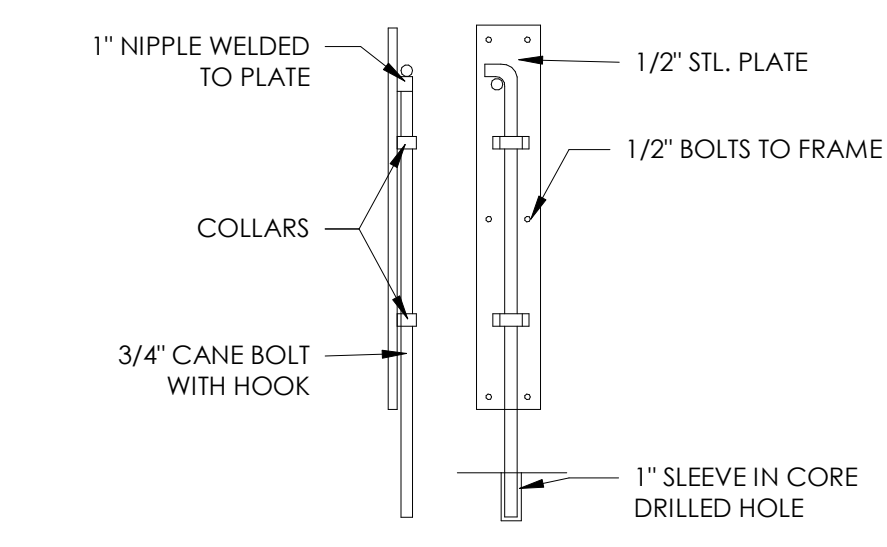
**1 BOLLARD DETAIL**  
1/2" = 1'-0"



**4 DUMPSTER GATE HINGE**  
1" = 1'-0"

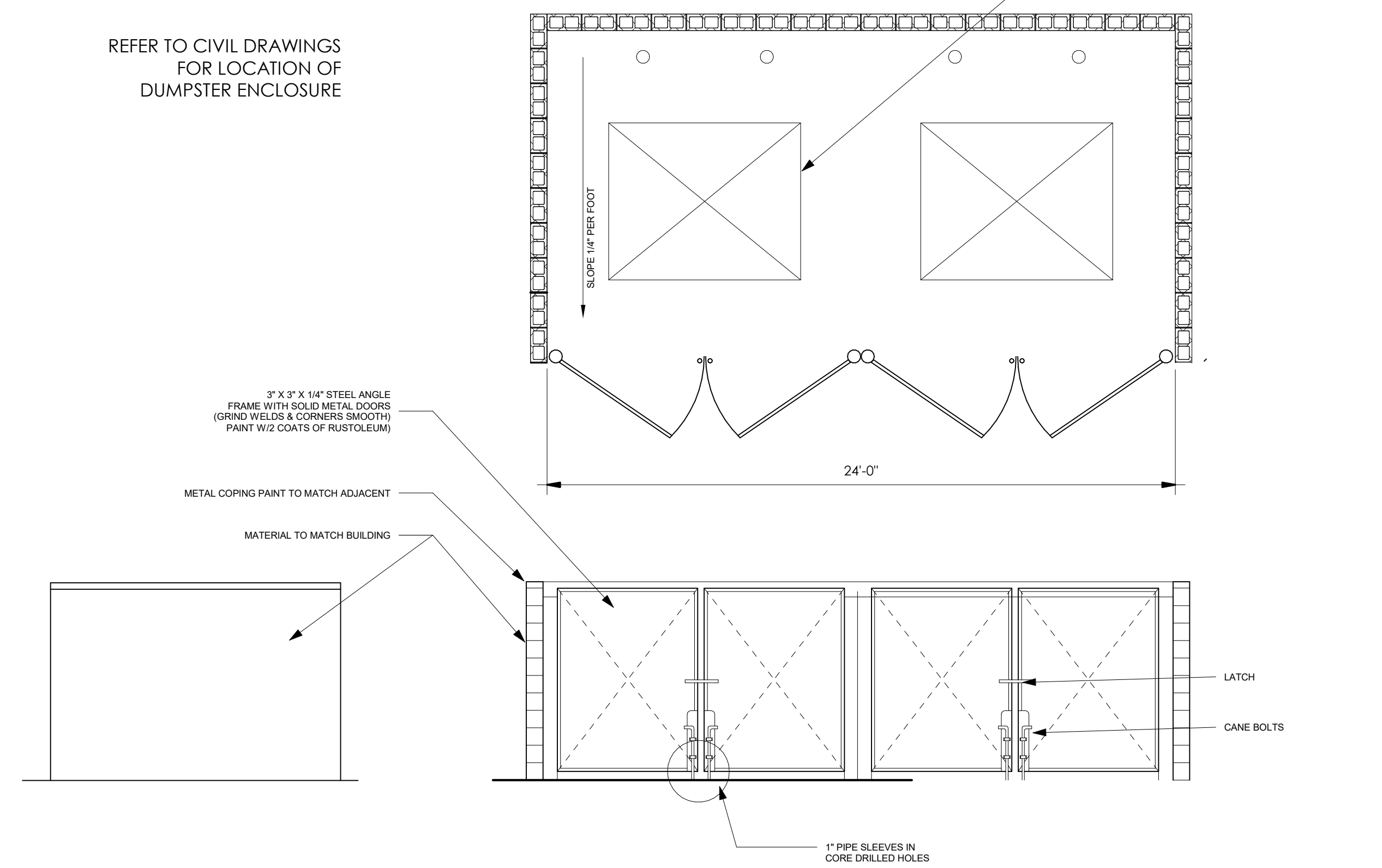


**9 DUMPSTER ENCLOSURE SECTION**  
1/2" = 1'-0"



**2 CANE BOLT**  
1" = 1'-0"

REFER TO CIVIL DRAWINGS  
FOR LOCATION OF  
DUMPSTER ENCLOSURE



**3 DUMPSTER ENCLOSURE**  
1/4" = 1'-0"

**LIVSMART STUDIOS  
MARQUEE HOSPITALITY**  
10000 N POLO DR  
KANSAS CITY, MO 64153

PROJECT # 00000

ARCHITECT  
D. HAYES HINKLE

ISSUE DATE  
29 MAY 2024

ISSUED FOR  
REVIEW

#	Revision	Date
1		

SHEET NAME  
SITE ELEMENTS

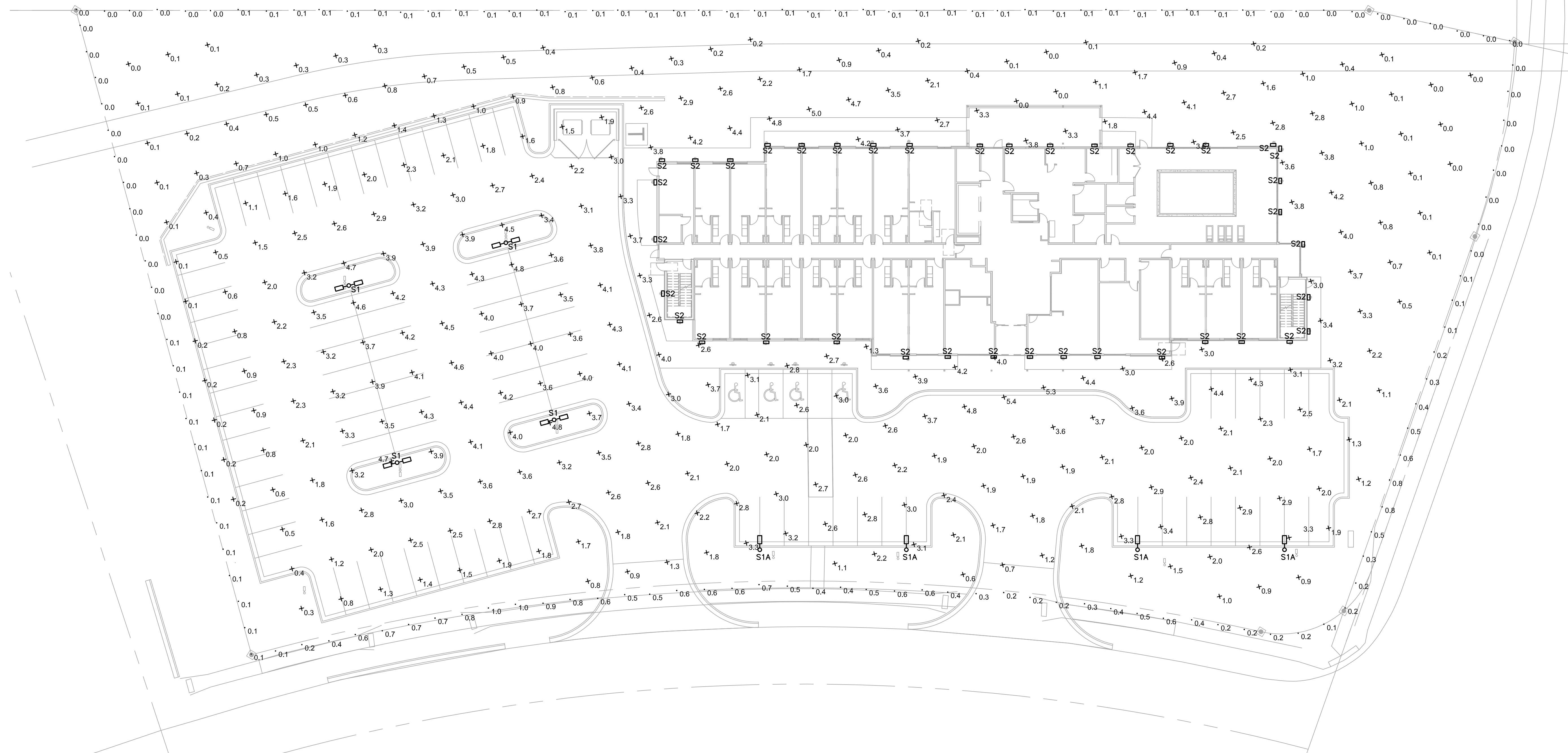
SHEET NUMBER  
**A0.03**





TYPE-SIX

TYPE-SIX  
DEVELOPMENT SERVICES, LLC  
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GRAPEVINE, TEXAS 76054  
972.677.9075



1 SITE PLAN - PHOTOMETRICS  
SCALE: 1"=20'-0"

LIGHTING SCHEDULE						
TYPE	DESCRIPTION	VOLTAGE	LAMP		FIXTURE	
			NO.	TYPE	MOUNTING	MANUFACTURER/ CAT. #
S1	LED POLE MOUNTED SITE LIGHT	120	1	104W LED	POLE 20'	LITHONIA DSX1-LED-P3-40K-80CRI-T2M-XXX-XX-XX
S1A	LED POLE MOUNTED SITE LIGHT	120	1	104W LED	POLE 20'	LITHONIA DSX1-LED-P3-40K-80CRI-T4M-MVOLT-XX-XX-XX
S2	LED BUILDING MOUNTED SITE LIGHT	120	1	LED	SURFACE 13'	LITHONIA DSXW1-LED-10C-700-40K-TFTM-MVOLT-XX-XX-XX
<b>GENERAL NOTES</b> 1.) ALL REQUESTS FOR SUBSTITUTIONS/ALTERNATES MUST BE SUBMITTED TO ENGINEER 7 DAYS PRIOR TO BID FOR APPROVAL. ALL SUBMISSION SHALL INCLUDE DETAILED CUT SHEETS AND PERFORMANCE DATA FOR CONSIDERATION. 2.) CONTRACTOR MUST SUBMIT LAMPS AND BALLAST WITH FIXTURE SUBMITTALS. 3.) LIGHTING PACKAGE MUST BE ENERGY STAR LISTED FIXTURES AND/OR LAMPS						

LIVSMART STUDIOS  
MARQUEE HOSPITALITY  
10000 N POLO DR  
KANSAS CITY, MO 64153  
PROJECT # 23028

ARCHITECT  
D. HAYES HINKLE  
ISSUE DATE  
17 MAY 2024  
ISSUED FOR  
REVIEW

#	Revision	Date

SHEET NAME  
SITE PLAN  
PHOTOMETRICS  
SHEET NUMBER  
PH1.01





TYPE-SIX

TYPE-SIX DEVELOPMENT SERVICES, LLC

910 SOUTH MAIN STREET #150 GRAPEVINE, TEXAS 76054 972.677.9075

Introduction The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with your environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficiency, long-life luminaire.

The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.



Specifications table with columns: EPA, Length, Width, Height H1, Height H2, Weight.

Ordering Information EXAMPLE: DSX1 LED P7 40K 70CM T3M MVOLT SPA NLTAR2 PIRHN DDBXC

Ordering Information table with columns: Series, LED, Color Temperature, Color Rendering Index, Distribution, Voltage, Mounting.

Control options table with columns: Control options, Other options, Finish choice.

DSX1 LED Rev. 09/2023 Page 1 of 10

Performance Data

Lumen Output

Lumen values from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of configurations shown within the brackets located within LM79. Contact factory for performance data on any configurations not shown here.

Performance Data table with columns: System Name, LED Count, Distribution Type, and various lumen output values.

Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Lumen Ambient Temperature (LAT) Multipliers table with columns: Ambient, Lumen Multiplier, Lumen Output.

Projected LED Lumen Maintenance

Projected LED Lumen Maintenance table with columns: Operating Hours, Lumen Maintenance Factor.

FAO Dimming Settings

FAO Dimming Settings table with columns: LED Min, % Voltage, % Lumen Output.

Note: Certain lumens are based on original packaging data. When calculating new values for given FAO position, use manufacturer published values by package type and specification sheet input with Lumens by Opt. Type.

Motion Sensor Default Settings

Motion Sensor Default Settings table with columns: Option, Detection Delay, Sensitivity, Preset, Stand Time, Ramp-up Time, Delaying Roll-Off.

Controls Options

Controls Options table with columns: Substitution, Description, Feasibility, Primary control device, Notes.

Electrical Load

Electrical Load table with columns: Power Factor, LED Count, Driver, Wattage, Current (A).

LED Color Temperature / Color Rendering Multipliers

LED Color Temperature / Color Rendering Multipliers table with columns: LED, Lumen Multiplier, Availability, Lumens Multiplier, Availability, Lumen Multiplier, Availability.

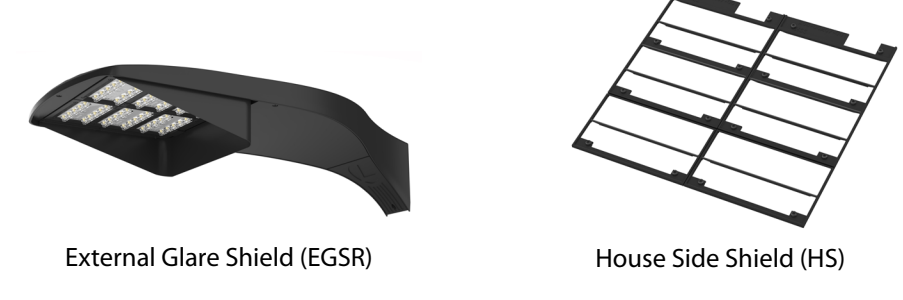
Note: Some LED types may be available as an open spec item. Contact Technical Support for information.

Ordering Information

Accessories

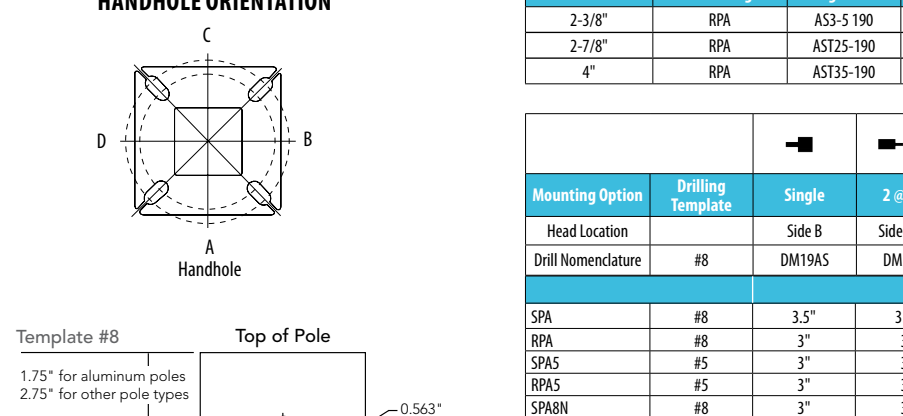
- Notes section with numbered list of accessories and their specifications.

Shield Accessories



Drilling

HANDHOLE ORIENTATION



Tenon Mounting Splitter

Tenon Mounting Splitter table with columns: Mounting Option, Tenon, Single, 2 in 100, 3 in 90, 4 in 90, 5 in 90, 6 in 90.

DSX1 Area Luminaire - Area

DSX1 Area Luminaire table with columns: Feature, Color Temperature, Single, 2 in 100, 3 in 90, 4 in 90, 5 in 90, 6 in 90.

DSX1 LED Rev. 09/2023 Page 1 of 10

DSX1 LED Rev. 09/2023 Page 1 of 10

DSX1 LED Rev. 09/2023 Page 1 of 10



Specifications Luminaire table with columns: Depth, Weight, Back Box (BBW, E20WC), Height, Weight.

Introduction The D-Series Wall luminaire is a stylish, fully integrated LED solution for building-mount applications. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance.

With an expected service life of over 20 years of nighttime use and up to 74% in energy savings over comparable 250W metal halide luminaires, the D-Series Wall is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

Ordering Information EXAMPLE: DSW1 LED 20C 1000 40M T3M MVOLT DDBXT6

Ordering Information table with columns: Series, LED, Watt Count, Color Temperature, Distribution, Voltage, Mounting.

Other Options table with columns: Shipped/Installed, Shipped separately, Finish choice.

Accessories table with columns: Shipped/Installed, Shipped separately, Finish choice.

DSW1 LED Rev. 11/2023

Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Lumen Ambient Temperature (LAT) Multipliers table with columns: Ambient, Lumen Multiplier, Lumen Output.

Projected LED Lumen Maintenance

Projected LED Lumen Maintenance table with columns: Operating Hours, Lumen Maintenance Factor.

Note: Certain lumens are based on original packaging data. When calculating new values for given FAO position, use manufacturer published values by package type and specification sheet input with Lumens by Opt. Type.



FEATURES & SPECIFICATIONS

FEATURES & SPECIFICATIONS text describing luminaire features and specifications.

DSW1 LED Rev. 11/2023

Performance Data

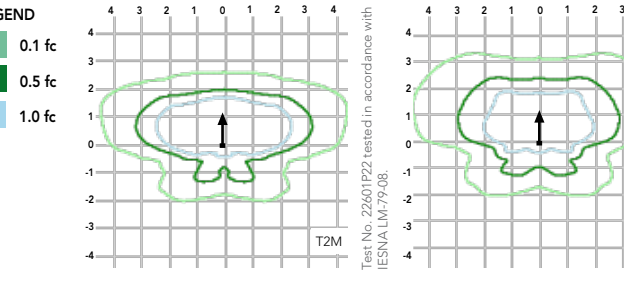
Lumen Ambient Temperature (LAT) Multipliers

Lumen Ambient Temperature (LAT) Multipliers table with columns: Ambient, Lumen Multiplier, Lumen Output.

Projected LED Lumen Maintenance

Projected LED Lumen Maintenance table with columns: Operating Hours, Lumen Maintenance Factor.

Note: Certain lumens are based on original packaging data. When calculating new values for given FAO position, use manufacturer published values by package type and specification sheet input with Lumens by Opt. Type.



FEATURES & SPECIFICATIONS

FEATURES & SPECIFICATIONS text describing luminaire features and specifications.

DSW1 LED Rev. 11/2023

Performance Data

Lumen Output

Performance Data table with columns: System Name, LED Count, Distribution Type, and various lumen output values.

DSW1 LED Rev. 11/2023

DSW1 LED Rev. 11/2023

LIVSMART STUDIOS MARQUEE HOSPITALITY 10000 N POLO DR KANSAS CITY, MO 64153 PROJECT # 23028

ARCHITECT D. HAYES HINKLE ISSUE DATE 17 MAY 2024 ISSUED FOR REVIEW

Revision table with columns: #, Revision, Date.

SHEET NAME LIGHT FIXTURE DETAILS SHEET NUMBER PH1.02



3 CONSULTING ENGINEERS VIGILANT - VIABLE - VIRTUOUS VP PROJECT #: 24010



# CITY PLANNING & DEVELOPMENT

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## Public Meeting Summary Form

Project Case #

Meeting Date:

Meeting Location:

Meeting Time (include start and end time):

Additional Comments (optional):





