

COMMUNITY PROJECT/ZONING

Ordinance Fact Sheet

220006

Ordinance Number

Brief Title

Approving the plat of Brighton Creek Crossing, an addition in Kansas City, Clay County, Missouri

<p>Specific Address Approximately 17.63 acres generally located at the southeast corner of N. Brighton Avenue & Highway 152, creating 4 lots and 1 tract.</p>	<p>Sponsor</p>	<p>Jeffrey Williams, AICP, Director Department of City Planning & Development</p>
<p>Reason for Project This final plat application was initiated by Beck-Cal LLC, in order to subdivide the property in accordance with the city codes and state statutes. (The developer intends to construct a 4 lot commercial development.)</p>	<p>Programs, Departments, or Groups Affected</p>	<p>City-Wide Council District(s) 1(CL) O'Neill - Hall Other districts (school, etc.)</p>
<p>Discussion This is a routine final plat ordinance that authorizes staff to continue to process the plat for recording. This plat can be added to the consent agenda.</p> <p>CONTROLLING CASE Ordinance No. 080473 - On June 26, 2008 the Council approved a rezoning of approximately 19.8 acres generally located at the southeast corner of Missouri Highway 152 and N. Brighton Avenue from District C-2 to District PD/C-2 and approved a preliminary development plan for the same. (13087-PD-7)</p>	<p>Applicants / Proponents</p>	<p>Applicant(s) BECK-CAL LLC, City Department City Planning and Development Other</p>
	<p>Opponents</p>	<p>Groups or Individuals None Known Basis of Opposition</p>
	<p>Staff Recommendation</p>	<p><input checked="" type="checkbox"/> For <input type="checkbox"/> Against Reason Against:</p>
	<p>Board or Commission Recommendation</p>	<p>By: City Plan Commission April 21, 2020 <input type="checkbox"/> Approval <input type="checkbox"/> Denial <input checked="" type="checkbox"/> Approval, with conditions</p>
	<p>Council Committee Actions</p>	<p><input type="checkbox"/> Do Pass <input type="checkbox"/> Do Pass (as amended) <input type="checkbox"/> Committee Sub. <input type="checkbox"/> Without Recommendation <input type="checkbox"/> Hold <input type="checkbox"/> Do not pass</p>

Details

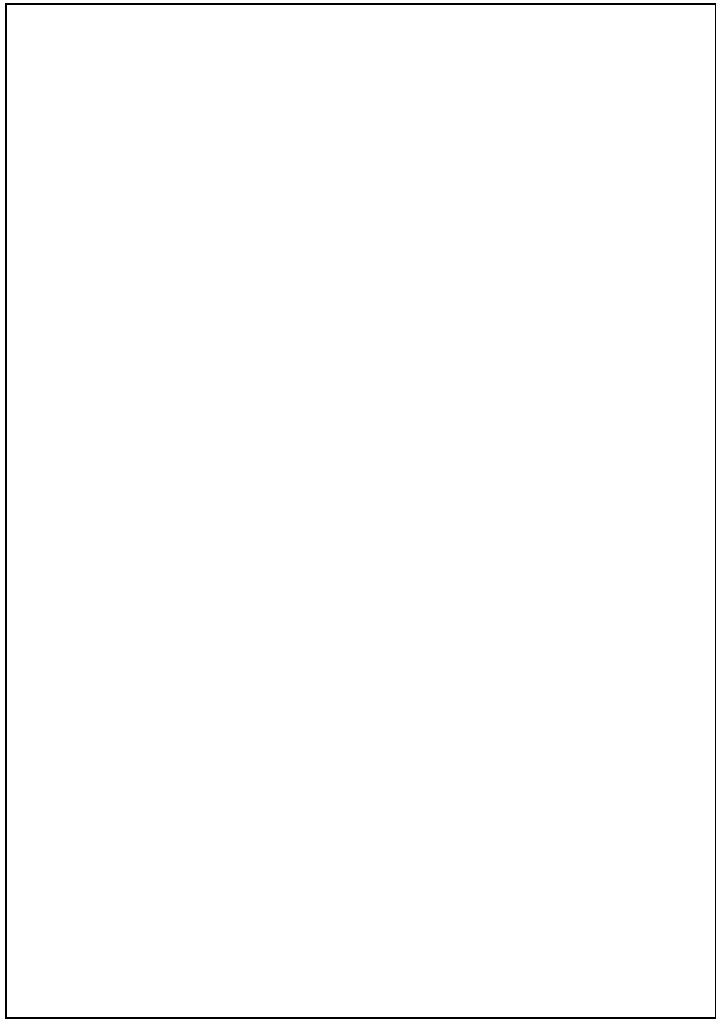
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Policy / Program Impact

Policy or Program Change N/A	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes
Operational Impact Assessment N/A	

Finances

Cost & Revenue Projections – Including Indirect Costs N/A	
Financial Impact N/A	
Fund Source and Appropriation Account Costs N/A	
Is it good for the children?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No



How will this contribute to a sustainable Kansas City?	<p>This project consists of public and private improvements for a 4 lot commercial development and one private open space tract on approximately 18 acres of previously undeveloped property. There is also an existing storm water detention facility constructed by an earlier plat. These facilities will reduce the overall storm water volume and attenuate the peak runoff rate to less than existing conditions. The private open space will also retain much of the existing natural vegetation and natural waterways. Runoff from within the development will be conveyed in an enclosed storm sewer system and released into the detention facilities. Common areas will be maintained by the owners through a covenant agreement. Modern and safe, walkable streets with sidewalks, curb and gutter and street lights will be constructed. New sanitary sewers will be constructed that will minimize infiltration and inflow within the system conveyed to the treatment facility. This development will increase the tax base for the developed lots.</p> <p>Written by Lucas Kaspar, PE</p>
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Project Start Date

Projected Completion or Occupancy Date

Fact Sheet Prepared by:
Thomas Holloway

Date: August 9, 2021

Reviewed by:
Lucas Kaspar, PE,
Land Development Division (LDD)
City Planning & Development

Reference or Case Numbers: CLD-FnPlat-2020-00009

**Final Plat of
BRIGHTON CREEK CROSSING**
South 1/2 of the Southeast 1/4
Section 8, Township 21 North, Range 32 West
Kansas City, Clay County, Missouri



LOCATION MAP
Section 8, Township 21 North, Range 32 West
Kansas City, Clay County, Missouri
(Not to scale)

STREET GRADES:

- Street Grades for a portion of NE Soccer Drive have been previously established by Ordinance Number 15244 being passed on June 16, 2011.
- Street Grades for a portion of Brighton Avenue have been previously established by Ordinance Number 011817 being passed on November 20, 2003.
- Street Grades for a portion of NE Link Road have been previously established by Ordinance Number 142681 being passed on August 28th, 2014.

Street Grades - NE Soccer Drive

Grade Point	Elevation	Description	V.C.P.
Top of 1st	1000.00	P.V.C.	250.00'

Lot / Tract Summary

Parcel	Square Feet	Acres
Lot 1	309700	7.11
Lot 2	31151	0.71
Lot 3	164542	3.78
Lot 4	78606	1.80
Tract A	58515	1.34
Right-of-Way	75814	1.74
Total	746038	17.23

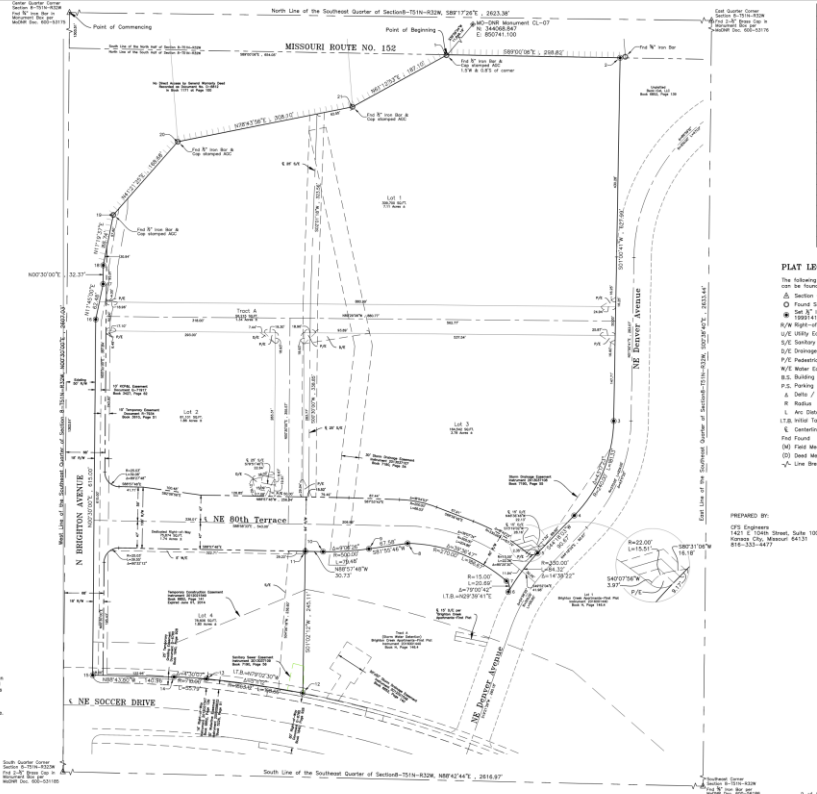
BOUNDARY CLOSURE REPORT:

Perimeter: 8,667.61 ft
 Area: 17,000,819.62 sq. ft.
 Error distance: 0.0077 ft
 Error distance: 0.0077 ft
 Area: 746,038 sq. ft.
 Perimeter: 294,120 ft

PLAT CERTIFICATION:

I hereby certify that the plat of "BRIGHTON CREEK CROSSING" subdivision is based on a careful survey made on the ground in accordance with the laws of Missouri and the rules and regulations of the Missouri Board of Architects, Professional Engineers, Professional Land Surveyors and Landscape Architects. I further certify that I have complied with all applicable provisions and regulations governing the practice of land surveying and the printing of subdivisions to the best of my professional knowledge and belief at this time.

RECORD # 2015001015-2988
 CFS Engineers, Corporate Auth.
 CFS-CLS 1999141100



State Plane Coordinate Table (in meters)

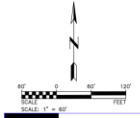
Type	Corner #	Side	Northing	Easting
Flag	1	341320.884	848320.453	
Set	2	341300.654	848311.995	
Set	3	341109.272	848308.811	
Set	4	341028.471	848307.853	
Set	5	341038.882	848308.522	
Set	6	341019.218	848313.124	
Set	7	341028.850	848312.120	
Set	8	341044.794	848309.888	
Set	9	341041.902	848319.282	
Set	10	341042.418	848318.462	
Set	11	341040.587	848344.075	
Set	12	340989.889	848344.212	
Set	13	340972.588	848313.827	
Set	14	340974.411	848278.897	
Set	15	340975.283	848313.897	
Set	16	341162.807	848310.583	
Set	17	341181.451	848239.471	
Set	18	341169.317	848239.627	
Set	19	341217.838	848244.889	
Set	20	341256.430	848278.841	
Set	21	341274.776	848276.893	

PLAT LEGEND:

- The following standard symbols and notations are to be found on this plat and are as follows:
- Station Corner (on notes)
- Fixed Survey Monument (see notes)
- Set 1" iron nail with Plastic Cap stamped CFS-CLS 1999141100, to be set upon completion of construction.
- R/W Right-of-Way
- U/E Utility Easement
- S/E Secondary Easement
- R/E Right-of-Way Easement
- P/E Poleline Easement
- R/E Right-of-Way Easement
- R/E Building Setback
- P/E Parking Setback
- A Delta / Central Angle
- R Radius
- L Arc Distance
- LTB Initial Tangent Bearing
- S. Centerline
- FM Found
- MM Field Measurement
- DM Deed Measurement
- ~ Low Break Symbol

PREPARED BY:
 CFS Engineers
 Paul E. Cook, State Reg. No. 100
 Patrick C. Wainman, State Reg. No. 1427

DEVELOPER:
 BICK-CAL, L.L.C.
 25 South Trade
 Claydon, Missouri 64119
 816-459-8551



CFS ENGINEERS
 cfs.com
 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024
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