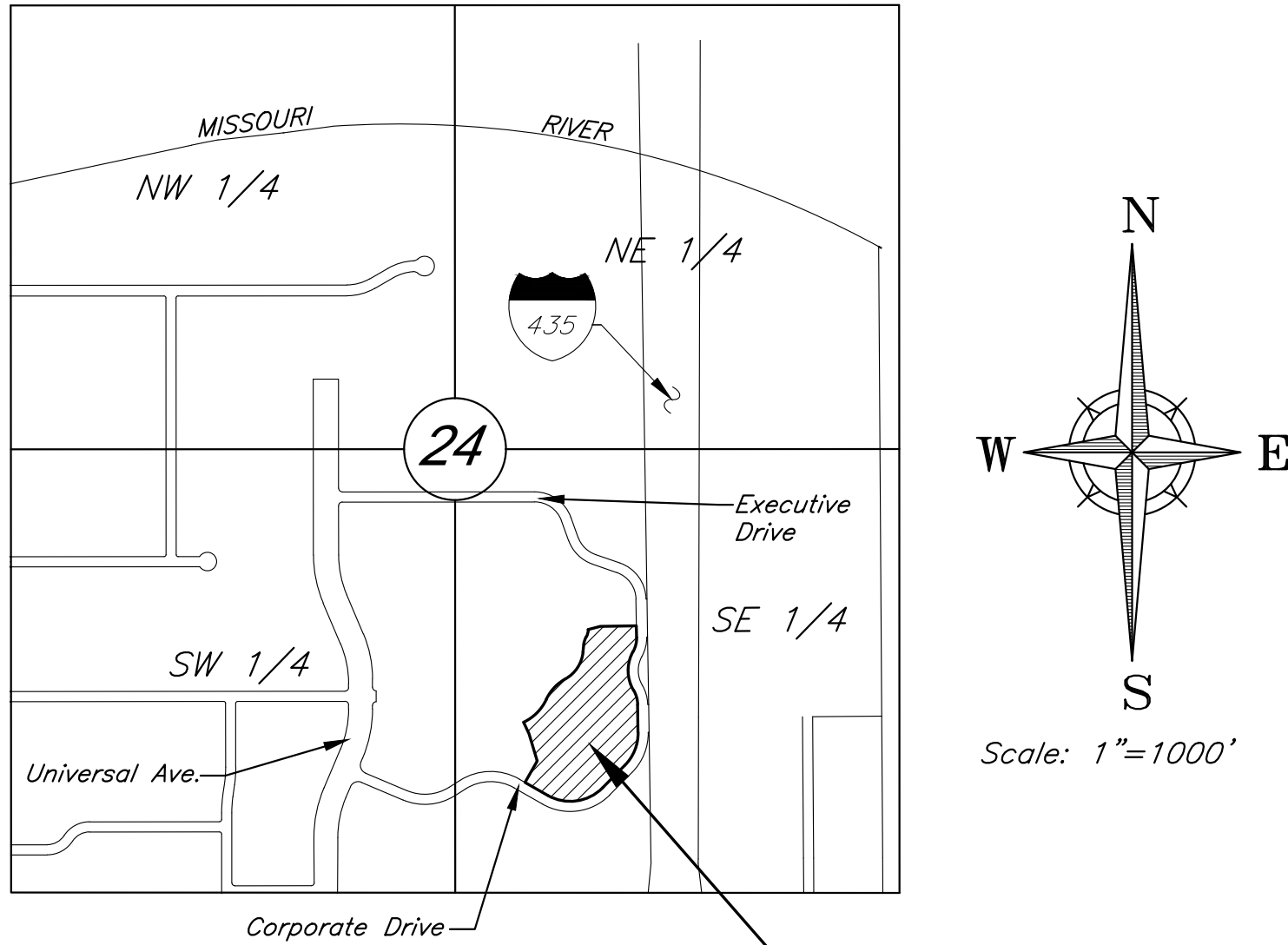


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URD PRELIMINARY DEVELOPMENT PLAN
FOR
BLACK & McDONALD NEW BUILDING

Part of the SE 1/4
Section 24-Township 50S-Range 33E
in the
City of Kansas City
Jackson County, Missouri



VICINITY MAP
Section 24-Township 50-Range 33

INDEX OF SHEETS

<i>Sht. No.</i>	<i>Description</i>
<i>C0</i>	<i>TITLE SHEET</i>
<i>C1.00</i>	<i>SITE PLAN</i>
<i>L1.00</i>	<i>LANDSCAPE PLAN</i>
<i>L1.01</i>	<i>LANDSCAPE DETAILS</i>
<i>A3.01</i>	<i>BUILDING ELEVATIONS</i>
<i>E1.00</i>	<i>LIGHTING PLAN</i>

PREPARED FOR:
BLACK & McDONALD
4101 MAIN STREET
GRANDVIEW, MISSOURI 64030
PHONE: 816-410-8606
CONTACT: BRYAN EITZMANN
EMAIL: beitzmann@blackandmcdonald.com

PREPARED BY:
GEORGE BUTLER ASSOCIATES, INC.
9801 RENNER BOULEVARD
LENEXA, KANSAS 66219
PHONE: 913-492-0400
CONTACT: JACOB SCHWEIKERT
EMAIL: jschweikert@gbateam.com

FLOODPLAIN:

According to FEMA Flood Insurance Rate Map Number 2909SC0163H, Map Revised December 7, 2023, and Map Number 2909SC0144H, Map Revised December, 2023, the site lies partially within Zone X, Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood; and partially within Zone AH, Flood depths of 1 to 3 feet (usually areas of ponding); Base Flood Elevations determined.

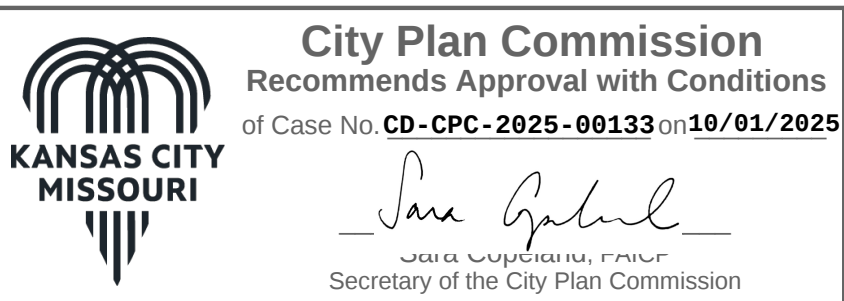
PROJECT ENGINEER: JACOB SCHWEIKERT, P.E.

DATE:

APPROVED BY:

MANAGER, ENGINEERING SERVICES DIVISION:

DATE:



GBA

9801 Renner Boulevard
Lenexa, Kansas 66219
913.492.0400
www.gbateam.com

0630 N. CORPORATE DRIVE
PART OF TRACT A, EXECUTIVE PARK FIFTH PLAT,
A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI

PREPARED FOR:
Black & McDonald
4101 Main Street
Grandview. Mo. 64030

VISION

PROJECT NUMBER
16874.00

DATE
09/02/25

SITE PLAN

EET NUMBER

£1.00

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Architect 00212, Professional Engineer 000133
Landscape Architect 000025, Professional Land Surveyor 000059

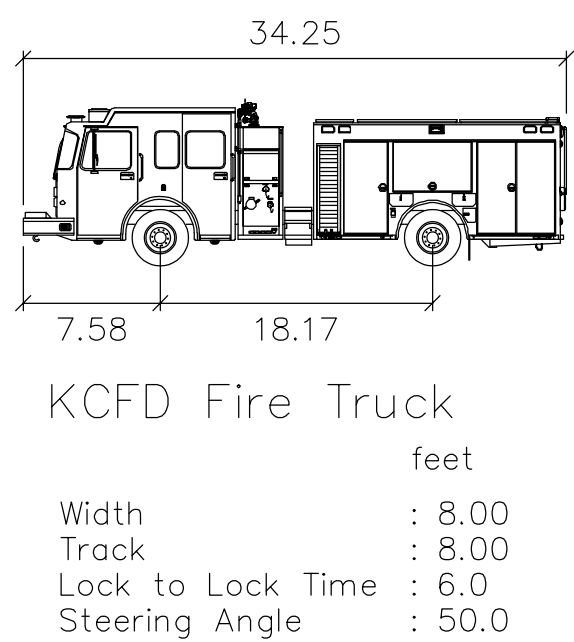
SITE DATA	Existing	Proposed	Deviation Requested?	Approved
Zoning	M3-5	M3-5	N/A	
Gross Land Area (SFT)	4769668.24	4769668.24	N/A	
Gross Land Area (AC)	10.94	10.94	N/A	
Right-of-way Dedication (SFT)	0	0	N/A	
Right-of-way Dedication (AC)	0	0	N/A	
Net Land Area (SFT)	4769668.24	4769668.24	N/A	
Net Land Area (AC)	10.94	10.94	N/A	
Building Area (SFT)	N/A	45600	N/A	
Floor Area Ratio	N/A	0.096	N/A	
Residential Use Info	N/A	N/A	N/A	
Total Dwelling Units	0	0	N/A	
Total Lots			N/A	
Residential	0	0	N/A	
Public/ Civic	0	0	N/A	
Commercial	0	0	N/A	
Industrial	3 tracts	3 tracts	N/A	
Other	0	0	N/A	

BUILDING DATA	Required	Proposed	Deviation Requested?	Approved
Rear Setback	None	258.67'	N/A	
Front Setback	None	76.68'	N/A	
Side Setback	None	120.97'	N/A	
Side Setback (abutting street)	N/A	N/A	N/A	
Height	None	38'	N/A	

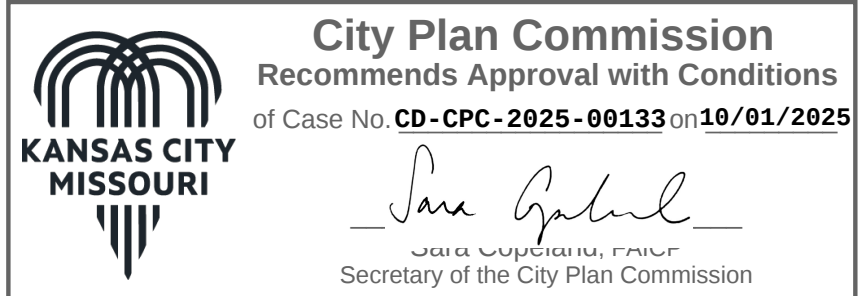
88-420 - PARKING	Vehicle Spaces		Bike Spaces		Alternatives Proposed? (See 88-420-16)
	Required	Proposed	Required	Proposed	
Proposed Use(s)	Employees		Employees		No
Total	15	67	10	0	

88-425 - OTHER DEVELOPMENT STANDARDS	Method of Compliance
88-430 Outdoor Lighting	See Photometric Plan
88-435 Outdoor Display, Storage and Work Areas	See Photometric Plan
88-445 Signs	
88-450 Pedestrian Standards	

According to FEMA Flood Insurance Rate Map Number 29095C0163H, Map Revised December 7, 2023, and Map Number 29095C0144H, Map Revised December, 2023, the site lies partially within Zone X, Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 7 square mile; and areas protected by levees from 1% annual chance flood; and partially within Zone AH, Flood depths of 1 to 3 feet (usually areas of ponding); Base Flood Elevations determined.



<u>Legend</u>		
		Wood plank fence
		Chain Link Fence
	SAN	Sanitary Sewer Line
	OHE	Over Head Electric
	G	Gas Line
	W	Water Line
	UGE	Underground Electric
	UGT	Underground Telephone
	UGTV	Underground Cable TV
		Denotes Property Corner found as noted
		Lack of Direct Access



Landscape Notes:

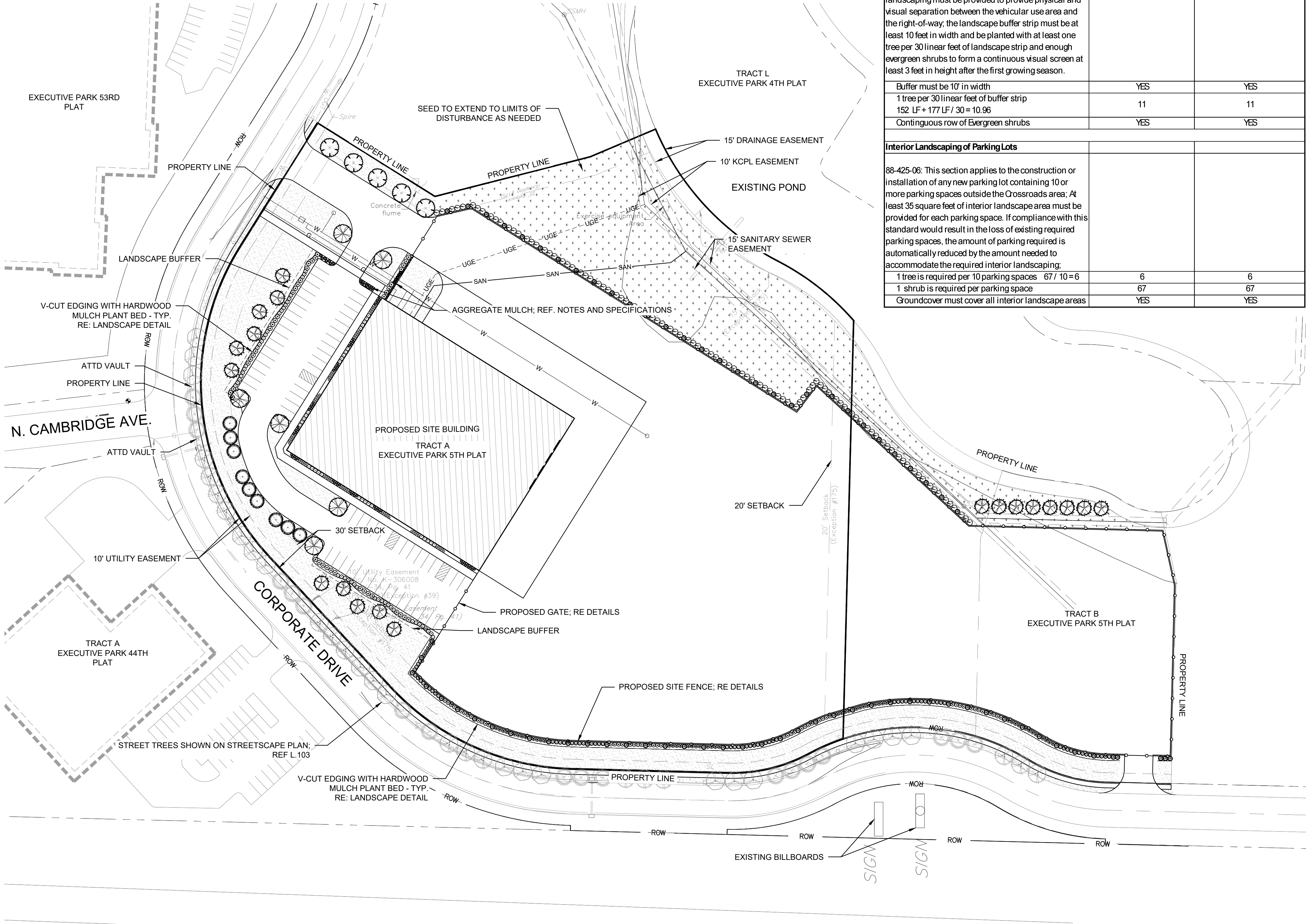
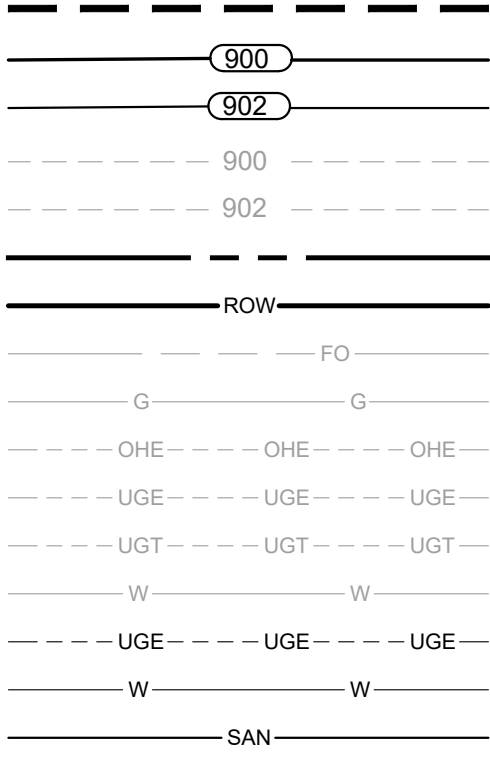
- ALL WORK SHALL BE COORDINATED WITH THE WORK OF OTHER TRADES.
- THE CONTRACTOR SHALL LOCATE AND VERIFY ALL EXISTING AND NEW UTILITY LOCATIONS PRIOR TO PLANTING, AND SHALL REPORT ANY UTILITY CONFLICTS TO THE OWNER'S REPRESENTATIVE. ANY DAMAGE TO UTILITIES OR OTHER SITE IMPROVEMENTS CAUSED BY THE CONTRACTOR WILL BE REPAIRED AT NO COST TO THE OWNER. REFER TO CIVIL AND ELECTRICAL DRAWINGS FOR PROPOSED UTILITY LOCATIONS AND EXTERIOR LIGHTING LOCATIONS.
- THE CONTRACTOR SHALL KEEP ROOT BALLS INTACT PRIOR TO AND DURING PLANTING OPERATIONS. PLANTS WITH BROKEN OR DAMAGED ROOT BALLS SHALL BE REJECTED AND IMMEDIATELY REMOVED FROM THE SITE. KEEP ROOT BALLS DAMP AND PROTECTED FROM DAMAGE DUE TO WIND AND SUN. DO NOT SHAVE ROOT BALL. ALL WIRE BASKETS SHALL BE CUT AND REMOVED FROM THE ENTIRE TOP AND 2/3 OF SIDES OF ROOT BALLS PRIOR TO INSTALLATION.
- THE OWNER RESERVES THE RIGHT TO SUBSTITUTE PLANT MATERIAL TYPE, SIZE, AND / OR QUANTITY. CONTRACTOR CANNOT SUBSTITUTE PLANT MATERIAL WITHOUT WRITTEN APPROVAL OF THE OWNER.
- THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL NOT CONFORMING TO THE SPECIFICATIONS.
- ALL PLANT MATERIAL MUST CONFORM TO THE AMERICAN STANDARDS FOR NURSERY STOCK (A.S.N.S.), LATEST EDITION PUBLISHED BY THE (ANLA) ANSI Z60.1. THIS IS A REPRESENTATIVE GUIDELINE SPECIFICATION ONLY AND WILL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR THE PLANT MATERIAL.
- LARGER SIZED PLANT MATERIALS OF THE SPECIES LISTED MAY BE USED IF THE STOCK CONFORMS TO THE A.S.N.S. ALL SPECIES SUBSTITUTIONS MUST BE APPROVED IN WRITING BY THE OWNER'S REPRESENTATIVE.
- ANY MATERIAL WHICH DIES, OR DEFLIATES (PRIOR TO ACCEPTANCE OF THE WORK) WILL BE PROMPTLY REMOVED AND REPLACED FREE OF CHARGE.
- ALL PLANT MATERIAL SHALL BE GUARANTEED TO BE IN LIVE AND HEALTHY CONDITION FOR ONE FULL YEAR AFTER FINAL PROJECT ACCEPTANCE OR SHALL BE REPLACED FREE OF CHARGE WITH SAME GRADE AND SPECIES.
- THE LOCATION OF PLANT MATERIAL IS CRITICAL AND SHALL BE INSTALLED AS INDICATED ON THE DRAWINGS. STAKE OR MARK LOCATION OF ALL PLANT MATERIAL AND BED LINE LOCATIONS. OBTAIN APPROVAL OF OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION OF ALL MATERIAL.
- THE LANDSCAPE CONTRACTOR SHALL REMOVE ALL CONSTRUCTION DEBRIS AND MATERIALS DETRIMENTAL TO PLANT GROWTH FROM PLANTING PITS AND BEDS PRIOR TO BACKFILLING WITH PLANTING MIX.
- PROVIDE DOUBLE SHREDDED HARDWOOD MULCH IN ALL TREE SAUCERS AND PLANTING BEDS TO A 3-INCH MINIMUM DEPTH. APPLY PRE-EMERGENT TO ALL PLANTING BEDS PRIOR TO MULCHING.
- ALL SOIL SURFACES NOT DESIGNATED FOR PLANTING OF TREES, SHRUBS, AND/OR GROUNDCOVERS PER THIS PLAN ARE TO BE SODDED WITH A TURF-TYPE TALL FESCUE BLEND.
- THE LANDSCAPE CONTRACTOR SHALL TEST PROPOSED PLANTING AREAS FOR SOIL NUTRIENT DEFICIENCIES AND UNDESIRABLE SOIL. TEXTURE AND STRUCTURE. BASED ON THE RESULTS OF THIS TESTING, THE LANDSCAPE CONTRACTOR SHALL PROVIDE AND INCORPORATE SOIL CONDITIONING MATERIALS (IE: FERTILIZER, SAND, COMPOST, ETC.) AS NECESSARY TO DEVELOP A PLANT GROWTH MEDIUM OF ADEQUATE FERTILITY, STRUCTURE, AND TEXTURE FOR THE ESTABLISHMENT OF LANDSCAPE MATERIALS. PEAT IS NOT ACCEPTABLE.
- THE LANDSCAPE CONTRACTOR SHALL REMOVE FROM THE SITE ALL ROCK GREATER THAN 1-INCH AND ALL DEBRIS IN THE AREAS OF PROPOSED NEW PLANTINGS.
- FINAL GRADE OF PLANTER SOIL SURFACES ARE TO BE 2 INCHES BELOW ADJACENT CURBING, WALKS, PAVEMENTS AND TURF AREAS TO ACCOMMODATE A TOP DRESSING OF MULCH AND 1-INCH FOR SOD AREAS.
- REMOVE AND DISPOSE OF ALL PLANT MATERIAL ON PROJECT AREA INCLUDING BUT NOT LIMITED TO: TURF, SHRUBS, AND GROUND COVER.
- FINAL GRADE OF PLANTER SOIL SURFACES ARE TO BE 2 INCHES BELOW ADJACENT CURBING, WALKS, PAVEMENTS AND TURF AREAS TO ACCOMMODATE A TOP DRESSING OF MULCH AND 1-INCH FOR SOD AREAS.
- DAMAGED TURF AREAS ADJACENT TO PLANTING AREAS SHALL BE RESTORED AND SODDED TO MATCH EXISTING ADJACENT TOPOGRAPHY AND TURF TYPE.
- IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO PROVIDE THE OWNER WITH HORTICULTURAL INFORMATION AS A GUIDE TO THE MAINTENANCE OF ALL PLANTS IN THIS PLAN FOR OPTIMUM GROWTH AND VIGOR.
- THE TERMS AND CONDITIONS OF A WARRANTY PERIOD GUARANTEEING THE SURVIVAL OF THE PLANTS OF THIS PLAN SHALL BE PROVIDED BY THE LANDSCAPE CONTRACTOR AND AGREED TO BY THE OWNER. THE OWNER SHALL PROVIDE FOR THE MAINTENANCE OF PLANTINGS PER THIS PLAN COMMENCING WITH THE END OF THE WARRANTY PERIOD.
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR REPLANTING AND MULCHING ANY AREAS OF GROWTH THAT HAS NOT BECOME ESTABLISHED DURING THE NEXT PERMANENT PLANTING SEASON.
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR COMPLETELY MAINTAINING HIS SCOPE OF WORK UNTIL FINAL ACCEPTANCE OF THE WORK BY THE LANDSCAPE ARCHITECT AND OWNER. THIS WORK SHALL INCLUDE, BUT IS NOT LIMITED TO, WATERING, MULCHING, SPRAYING, WEEDING, AND FERTILIZING PLANTING AND TURF AREAS.
- PLANTING SCHEDULE:
TREE PLANTING: MARCH 15 - JUNE 15 OR SEPTEMBER 15 - DECEMBER 31
SHRUB PLANTING: APRIL 15 - JUNE 15 OR AUGUST 15 - OCTOBER 15
SOD/SEED PLANTING: MARCH 15 - JUNE 15 OR SEPTEMBER 15 - DECEMBER 1
- NATIVE GRASSES PLANTING: BROADCAST SEED AT A RATE OF 1 PLS LB. / 3,000 SF. LIGHTLY ROLL SEED INTO NOT 1/8-INCH OF SOIL AND WATER WITH A FINE SPRAY.
- NATIVE GRASSES MYCORRHIZAL INOCULUM: APPLY GRO-POWER INC. OR APPROVED EQUAL USING MANUFACTURER'S RECOMMENDED RATE.
- NATIVE GRASS FERTILIZER: APPLY PRAIRIE FORMULATION 0-3-1 BY GRO-POWER INC. OR APPROVED EQUAL USING MANUFACTURER'S RECOMMENDED RATE.
- NATIVE GRASS EROSION BLANKET: INSTALL A BIODEGRADING EROSION BLANKET OVER THE NATIVE GRASS SEEDED AREAS (PHOTODEGRADING TYPES ARE NOT ACCEPTABLE). APPROVED PRODUCT INCLUDES BIONET S150BN BY NORTH AMERICAN GREEN.
- METAL EDGER - STEEL EDGING, SIZE: 3/16-INCH WIDE BY 4-INCH DEEP, 15-INCH LONG STAKES, FINISH: GREEN POWDERCOATED, ACCEPTABLE MANUFACTURERS INCLUDE: BORDER CONCEPTS, RUSSEL, J.D. COMPANY (THE), OR SURE-LOC EDGING CORPORATION.
- ALL PLANTING METHODS SHALL COMPLY WITH CITY OF KANSAS CITY, MO STANDARDS.

EXTRAS FOR CONSIDERATION

- SEED: ALL SOIL SURFACES NOT DESIGNATED FOR PLANTING OF TREES, SHRUBS, AND/OR GROUNDCOVERS PER THIS PLAN ARE TO BE MECHANICALLY SPREAD WITH KC ENDURANCE TALL TURF-TYPE FESCUE.

- SOD: FOR AREAS LABELED AROUND THE BUILDING, SOD WITH A 90% TURF-TYPE TALL FESCUE AND 10% BLUEGRASS BLEND.
- SEED/HYDROMULCH: MECHANICALLY SPREAD SEED AT A RATE OF 10-12 LBS PER 1,000 SF. HYDROMULCH WITH A WOOD OR PAPER CELLULOSE COMMERCIAL MULCH MATERIAL AT A RATE OF 3,000 LBS/ACRE.

LEGEND:



Kansas City, MO - Landscape Ordinance 88-425 Executive Park URD Parcel 6		
Street Trees	Required	Provided
88-425-03: At least one street tree is required for each 30 feet of street frontage. Required Street Trees must be installed within the street right of way or within 10 feet of the street right of way 1 tree per 30 linear feet *per URD, street trees not required	52	52
General Landscape Requirements		
88-425-04: Trees must be planted within general landscaping areas on sites used or zoned for public, civic, office, business, or commercial use. At least one tree must be provided per 5,000 square feet of principal building coverage (building footprint). 1 tree per 5,000 of principle building coverage 45,600 SF / 5,000 = 9.12	9	9
Perimeter Landscaping of Vehicular Use Areas		
88-425-05: When a vehicular use area is located adjacent to a public right-of-way, perimeter landscaping must be provided to provide physical and visual separation between the vehicular use area and the right-of-way, the landscape buffer strip must be at least 10 feet in width and be planted with at least one tree per 30 linear feet of landscape strip and enough evergreen shrubs to form a continuous visual screen at least 3 feet in height after the first growing season. Buffer must be 10' in width 1 tree per 30 linear feet of buffer strip 152 LF + 177 LF / 30 = 10.96 Contiguous row of Evergreen shrubs	YES 11 YES	YES 11 YES
Interior Landscaping of Parking Lots		
88-425-06: This section applies to the construction or installation of any new parking lot containing 10 or more parking spaces outside the Crossroads area; At least 35 square feet of interior landscape area must be provided for each parking space. If compliance with this standard would result in the loss of existing required parking spaces, the amount of parking required is automatically reduced by the amount needed to accommodate the required interior landscaping: 1 tree is required per 10 parking spaces 67 / 10 = 6 1 shrub is required per parking space 67 Groundcover must cover all interior landscape areas	6 67 YES	6 67 YES

GBA
architects
engineers

9801 Renner Boulevard
Lenexa, Kansas 66219
913.492.0400
www.gbateam.com

BLACK & McDONALD
NEW BUILDING CONCEPT PLAN

6830 N. CORPORATE DRIVE
PART OF TRACT A, EXECUTIVE PARK FIFTH PLAT,
A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI

PREPARED FOR:
Black & McDonald
4101 Main Street
Grandview, Mo. 64030

REVISION

PROJECT NUMBER

16874.00

DATE

09/02/25

DESIGNED

NJF

DRAWN

NJF

REVIEWED

JS

SHEET TITLE

LANDSCAPE PLAN

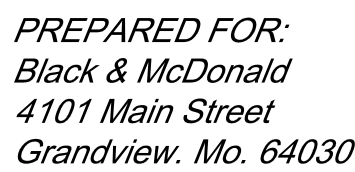
SHEET NUMBER

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Engineering COA# E-92

TREES

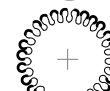
NOTE: PLANTS ARE SPECIFIED BY HEIGHT, SPREAD AND/OR CONTAINER SIZE. ALL PLANTINGS ARE EXPECTED TO MEET ALL SPECIFICATIONS PROVIDED.



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Engineering COA# E-92

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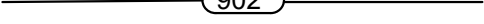
PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONT.	QTY	REMARKS
TREES						
	AB	Acer saccharum 'Bailista' / Fall Fiesta® Sugar Maple	2" Cal.	B&B	16	B&B, NURSERY GROWN, MATCHED, FULL, WELL-BRANCHED, STRONG CENTRAL LEADER
	GP	Ginkgo biloba 'Princeton Sentry' / Princeton Sentry Maidenhair Tree	2" Cal.	B&B	18	B&B, NURSERY GROWN, MATCHED, FULL, WELL-BRANCHED, STRONG CENTRAL LEADER
	TB	Tilia americana 'Boulevard' / Boulevard American Linden	2" Cal.	B&B	19	B&B, NURSERY GROWN, MATCHED, FULL, WELL-BRANCHED, STRONG CENTRAL LEADER

NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY IN THE CASE OF A DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.

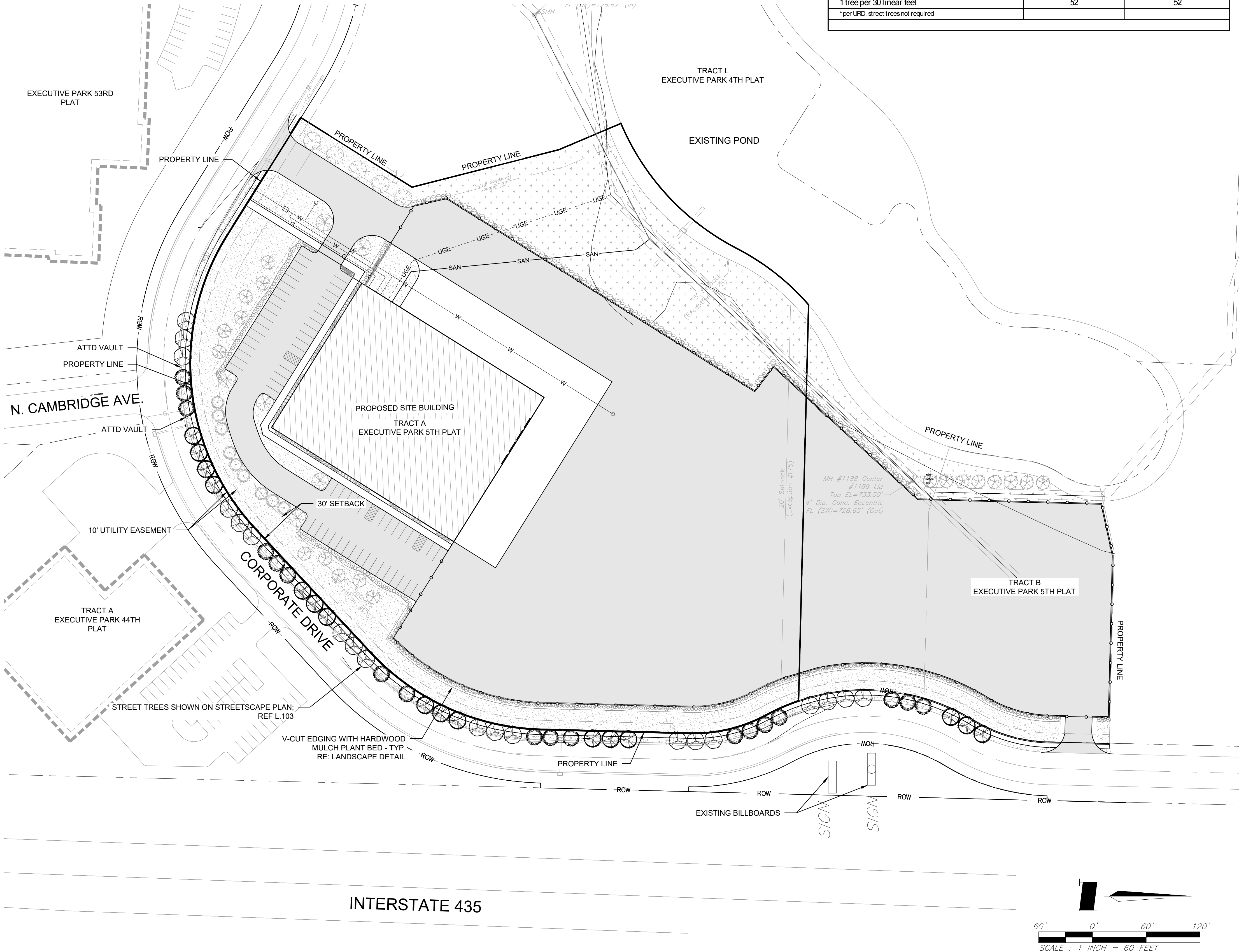
NOTE: PLANTS ARE SPECIFIED BY HEIGHT, SPREAD AND/OR CONTAINER SIZE. ALL PLANTINGS ARE EXPECTED TO MEET ALL SPECIFICATIONS PROVIDED.

LEGEND:

	LIMITS OF DISTURBANCE
	PROPOSED CONTOUR MAJOR
	PROPOSED CONTOUR MINOR
	EXISTING CONTOUR MAJOR
	EXISTING CONTOUR MINOR
	PROPERTY LINE
	RIGHT-OF-WAY
	EXISTING FIBER OPTIC
	EXISTING GAS
	EXISTING OVERHEAD ELECTRIC
	EXISTING UNDERGROUND ELECTRIC
	EXISTING UNDERGROUND TELECOMM
	EXISTING WATER LINE
	PROPOSED UNDERGROUND ELECTRIC
	PROPOSED WATER LINE
	PROPOSED SANITARY SEWER

Kansas City, MO - Landscape Ordinance 88-425 | Executive Park URD Parcel 6

Street Trees	Required	Provided
88-425-03: At least one street tree is required for each 30 feet of street frontage. Required Street Trees must be installed within the street right of way or within 10 feet of the street right of way		
1 tree per 30 linear feet	52	52
*per URD, street trees not required		



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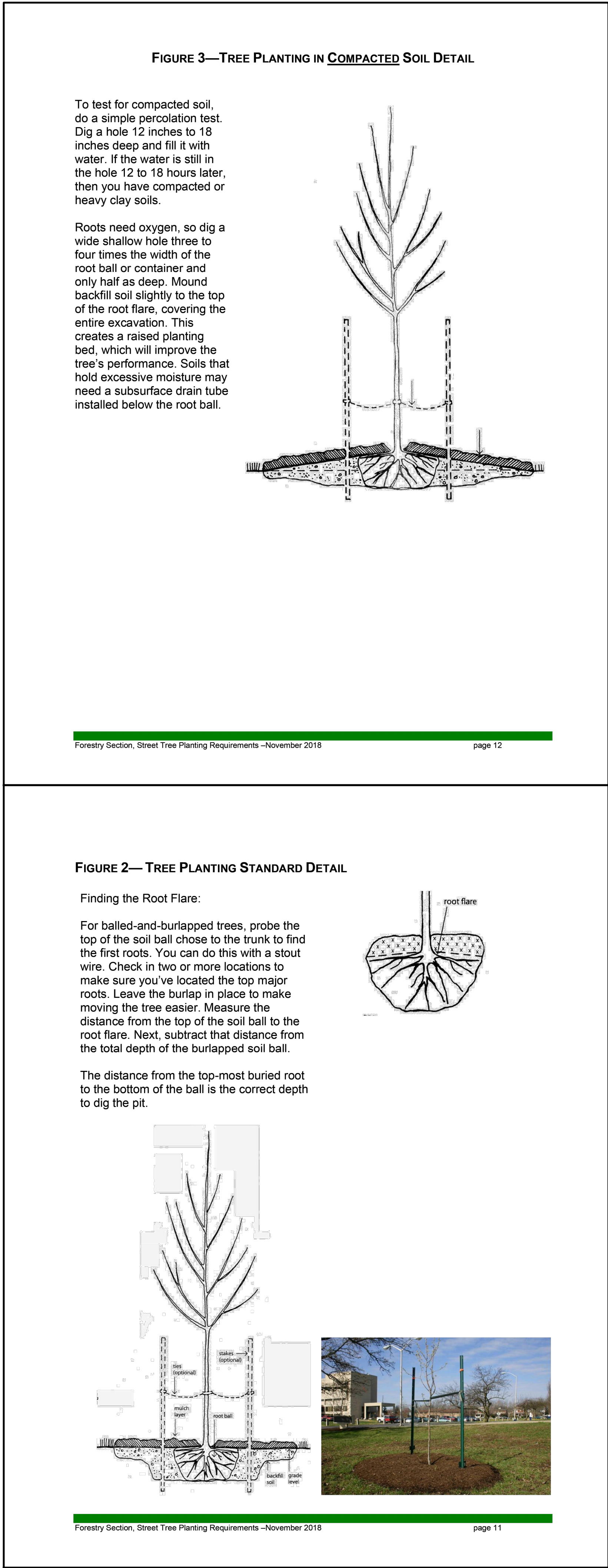
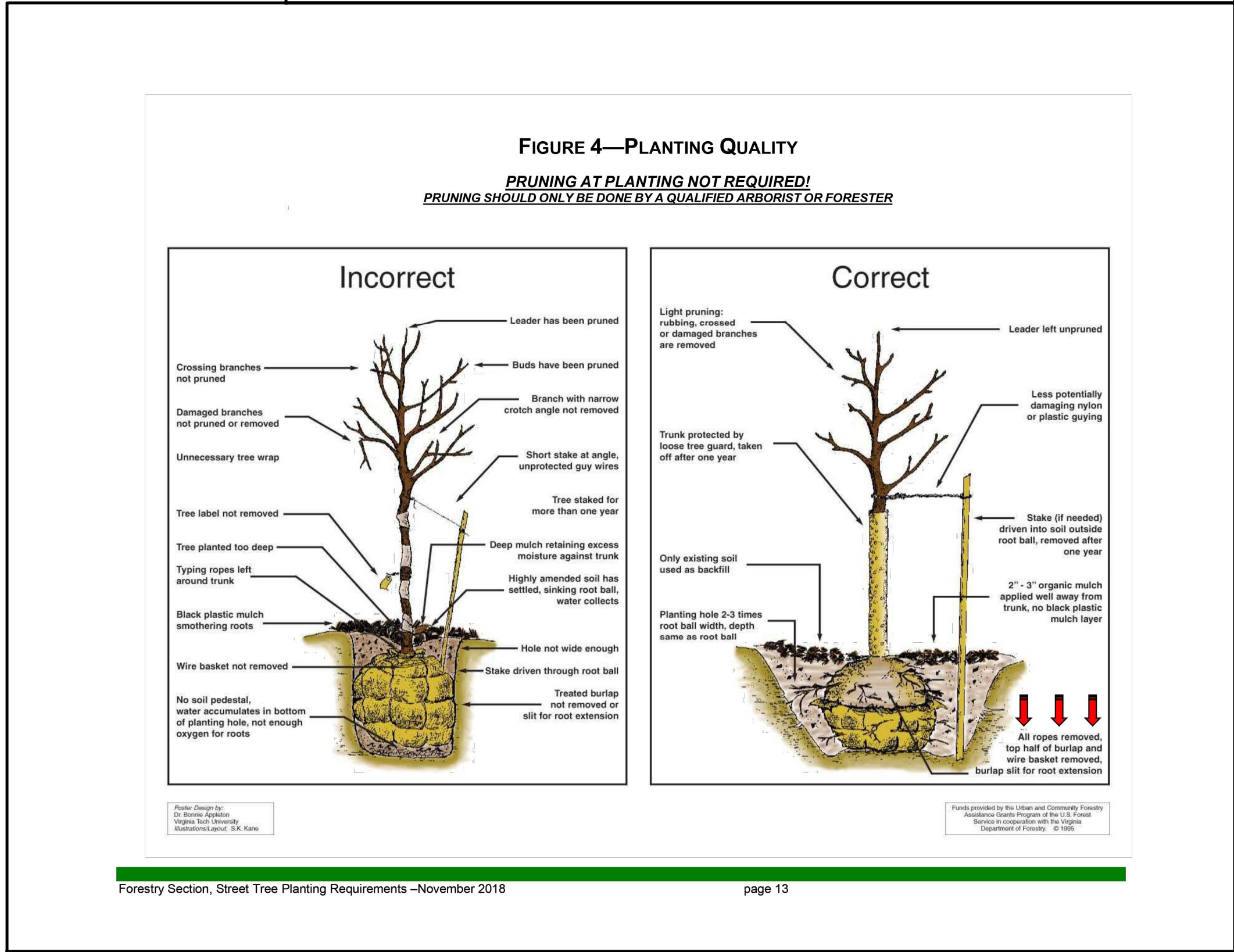
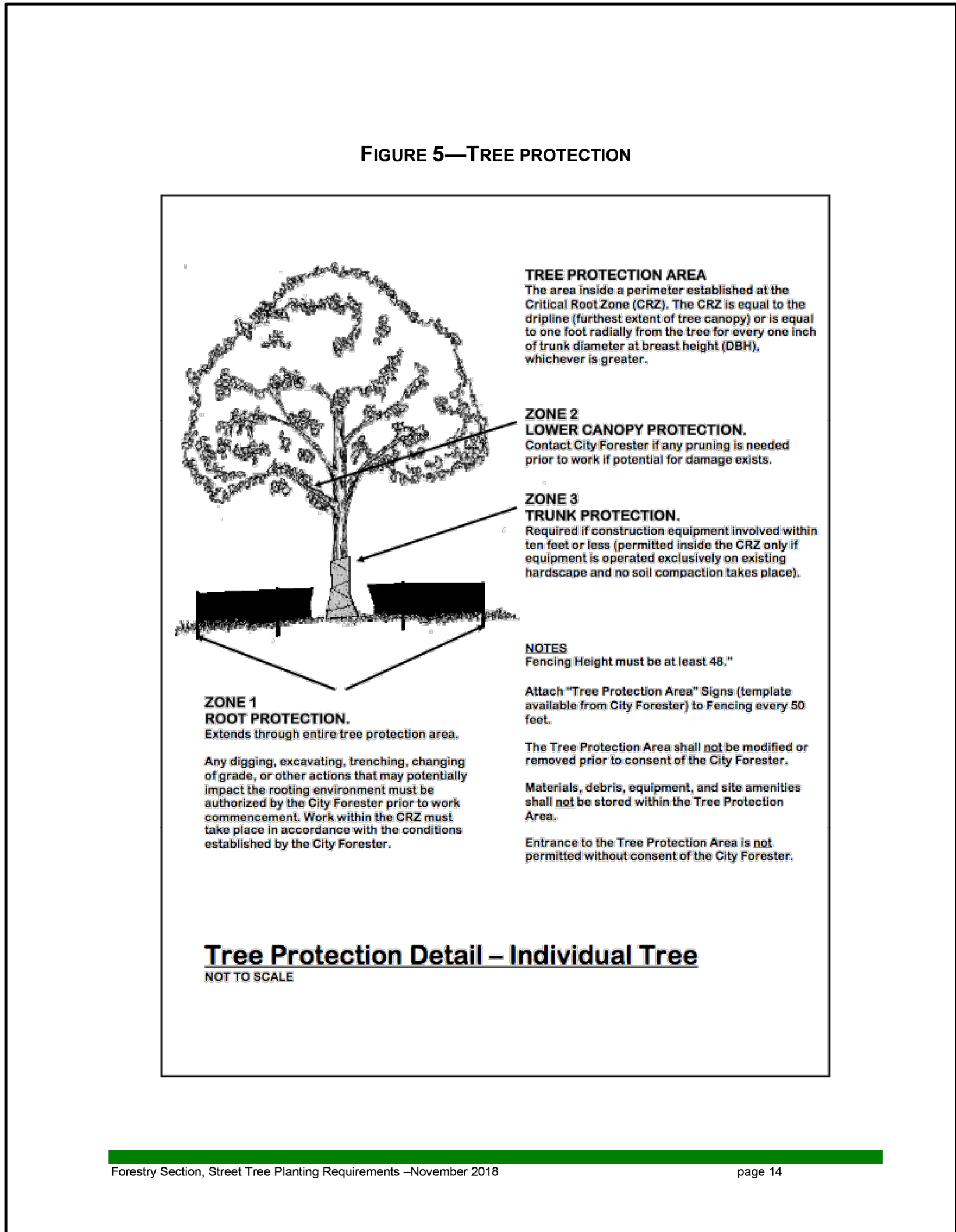
DESIGNED
NJF
DRAWN
NJF
REVIEWED
JS

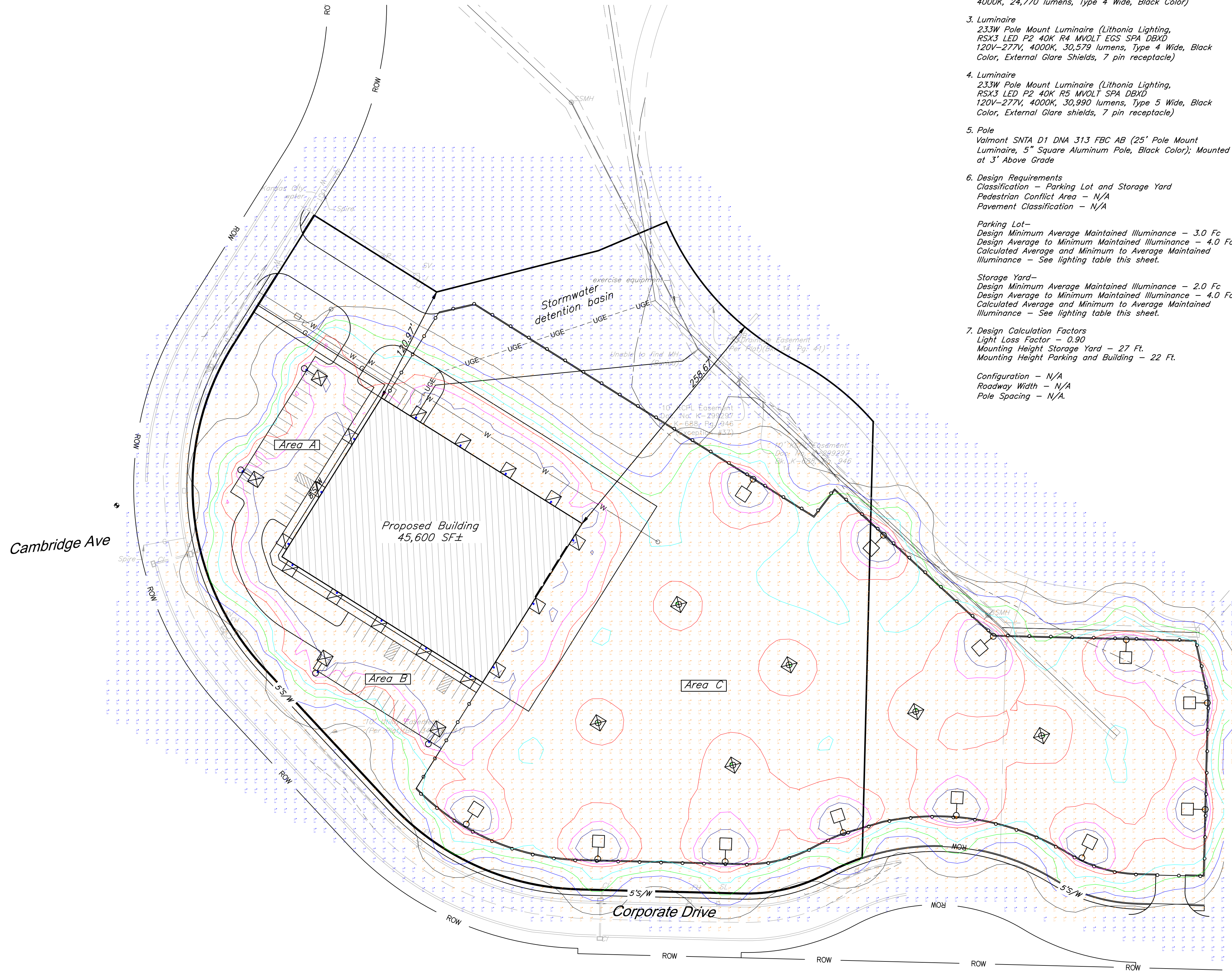
SHEET TITLE
LANDSCAPE PLAN

SHEET NUMBER
L1.00



City Plan Commission
Recommends Approval with Conditions
of Case No. **CD-CPC-2025-00133** on **10/01/2025**
Janet G. Butler
JANET G. BUTLER, FICP
Secretary of the City Plan Commission





LIGHTING DESIGN PARAMETERS

Parking Lot

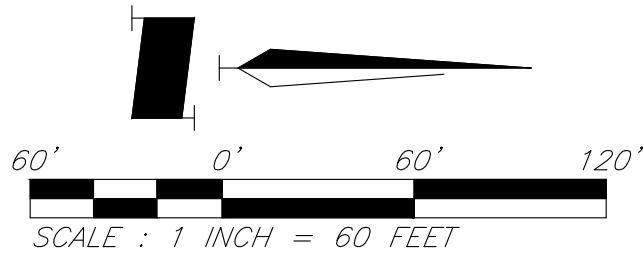
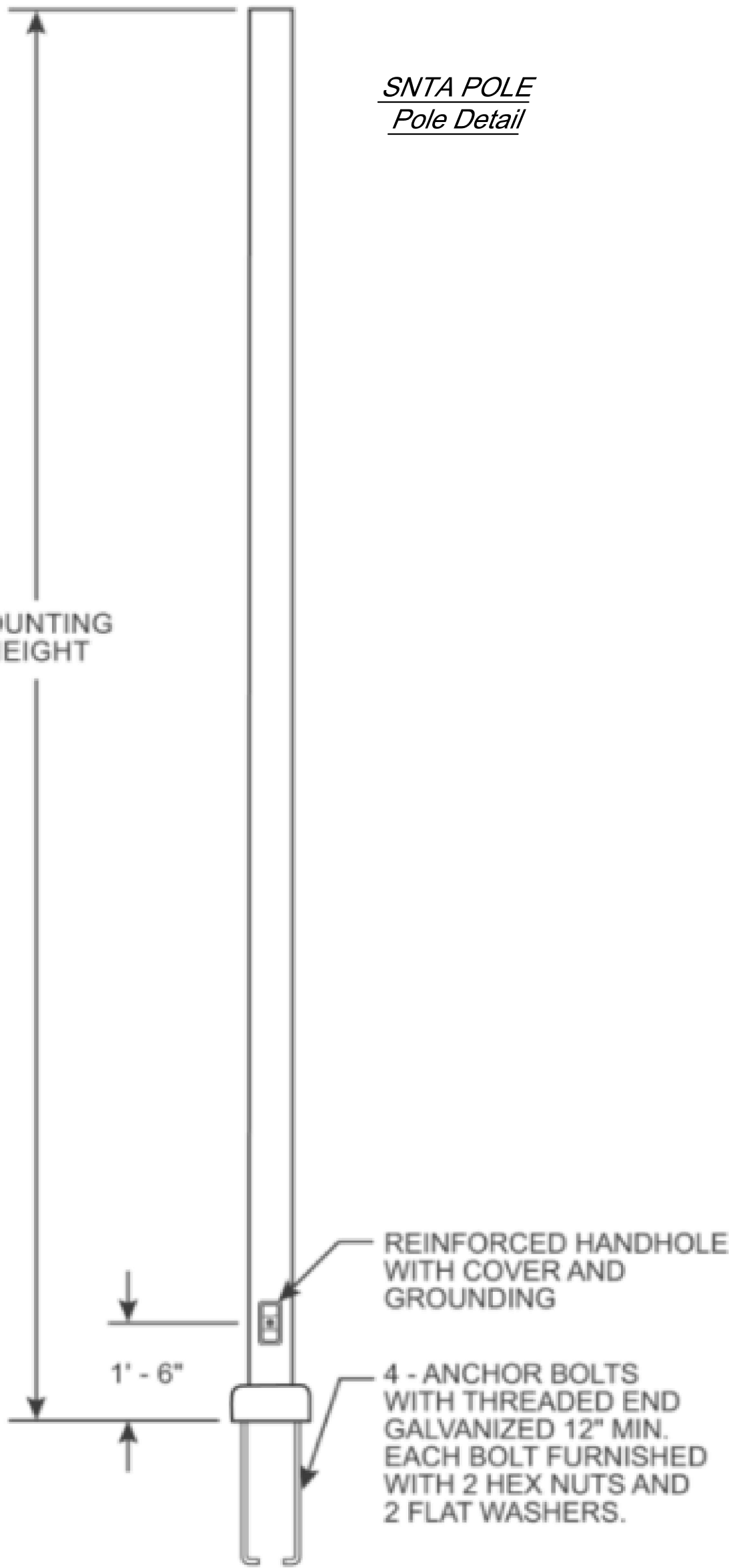
- Luminaire
166W Wall Mount Luminaire (Cooper Lighting Solutions, McGraw-Edison, GALLEON Area and Roadway Luminaire, GLEON-AF-03-LED-E1-T4W 4000K, 24,770 lumens, Type 4 Wide, Black Color)
- Luminaire
166W Pole Mount Luminaire (Cooper Lighting Solutions, McGraw-Edison, GALLEON Area and Roadway Luminaire, GLEON-AF-03-LED-E1-T4W 4000K, 24,770 lumens, Type 4 Wide, Black Color)
- Luminaire
233W Pole Mount Luminaire (Lithonia Lighting, RSX3 LED P2 40K R4 MVOLT EGS SPA DBXD 120V-277V, 4000K, 30,579 lumens, Type 4 Wide, Black Color, External Glare Shields, 7 pin receptacle)
- Luminaire
233W Pole Mount Luminaire (Lithonia Lighting, RSX3 LED P2 40K R5 MVOLT SPA DBXD 120V-277V, 4000K, 30,990 lumens, Type 5 Wide, Black Color, External Glare shields, 7 pin receptacle)
- Pole
Valmont SNTA D1 DNA 313 FBC AB (25' Pole Mount Luminaire, 5" Square Aluminum Pole, Black Color); Mounted at 3' Above Grade
- Design Requirements
Classification - Parking Lot and Storage Yard
Pedestrian Conflict Area - N/A
Pavement Classification - N/A

Parking Lot-
Design Minimum Average Maintained Illuminance - 3.0 Fc
Design Average to Minimum Maintained Illuminance - 4.0 Fc
Calculated Average and Minimum to Average Maintained Illuminance - See lighting table this sheet.

Storage Yard-
Design Minimum Average Maintained Illuminance - 2.0 Fc
Design Average to Minimum Maintained Illuminance - 4.0 Fc
Calculated Average and Minimum to Average Maintained Illuminance - See lighting table this sheet.
- Design Calculation Factors
Light Loss Factor - 0.90
Mounting Height Storage Yard - 27 Ft.
Mounting Height Parking and Building - 22 Ft.

Configuration - N/A
Roadway Width - N/A
Pole Spacing - N/A

SNTA POLE
Pole Detail



LEGEND

- Storage Yard Light Pole
RSX3 LED P2 40K R4 MVOLT EGS SPA DBXD
Mounted at 27'
- Storage Yard Light Pole
RSX3 LED P2 40K R5 MVOLT EGS SPA DBXD
Mounted at 27'
- Parking Light Pole
GLEON-AF-03-LED-E1-T4W
Mounted at 22'
- Wall Package Light
GLEON-AF-03-LED-E1-T4W
Mounted at 22'

Lighting Table

Proposed Lighting Area	A	B	C
Design Minimum Average Maintained Illuminance	3.0 Fc	3.0 Fc	2.0 Fc
Calculated Average Maintained Illuminance	3.66 Fc	4.19 Fc	2.13 Fc
Calculated Average/Min	3.33	4.66	4.26

Lighting Quantities*

		Quantity
166W Wall Mount Luminaire (GLEON-AF-03-LED-E1-T4W)	Each	15
166W Pole Mount Luminaire (GLEON-AF-03-LED-E1-T4W)	Each	4
233W Pole Mount Luminaire (RSX3 LED P2 40K R4 MVOLT EGS SPA DBXD)	Each	12
233W Pole Mount Luminaire (RSX3 LED P2 40K R5 MVOLT SPA DBXD)	Each	6
25' Steel Pole (Valmont DS330 400W250 D1 FP MB FBC CB)	Each	22
24" Dia. Concrete Foundation (Pedestal with 3' Above Grade)	Each	22

* These approximate quantities were prepared solely for information only. It is not guaranteed that this list of materials constitutes all items required for the completion of the work.

BLACK & McDONALD
NEW BUILDING CONCEPT PLAN

6830 N. CORPORATE DRIVE
PART OF TRACT A, EXECUTIVE PARK FIFTH PLAT,
A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI

PREPARED FOR:
Black & McDonald
4101 Main Street
Grandview, Mo. 64030

REVISION

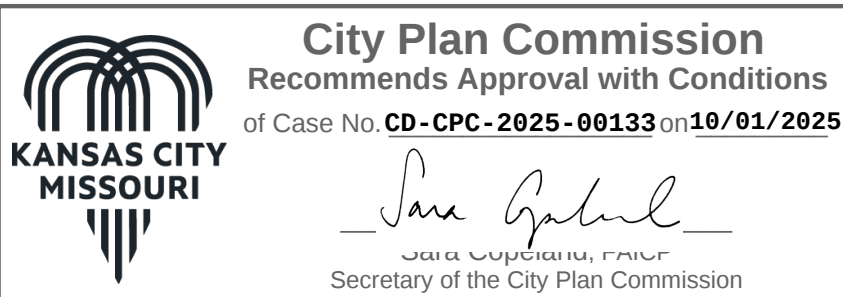
PROJECT NUMBER
16874.00
DATE
09/02/25

DESIGNED
NJF
DRAWN
NJF
REVIEWED
JS

SHEET TITLE
LIGHTING PLAN

SHEET NUMBER

E1.00



REV	DATE	DESCRIPTION
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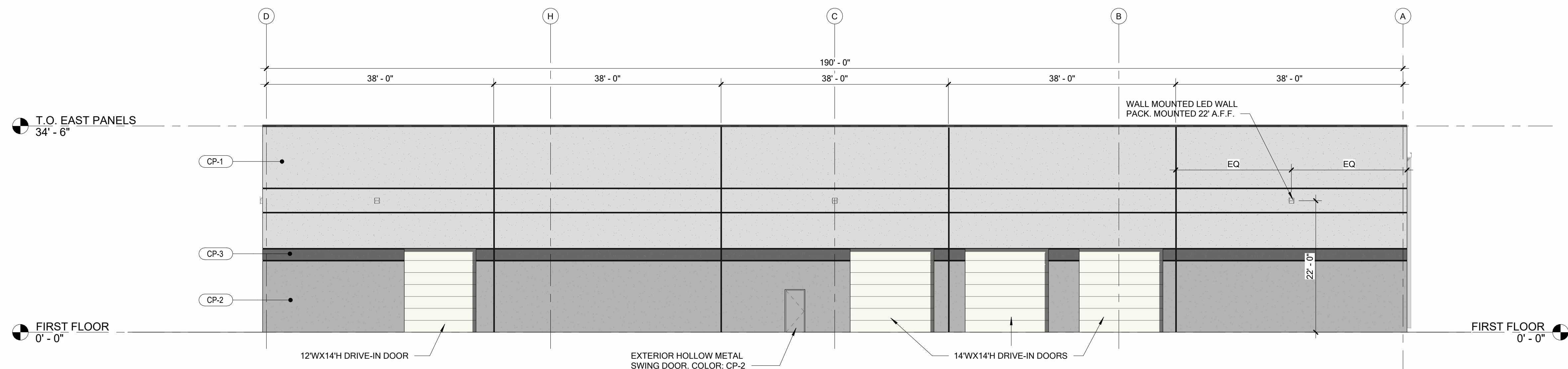
PROJECT NUMBER	16874
DATE	9/2/2025
CONCEPT	

DESIGNED:	RJR
DRAWN:	RJR
REVIEWED:	RJR
SHEET TITLE	

BUILDING ELEVATIONS

SHEET NUMBER

A3.01

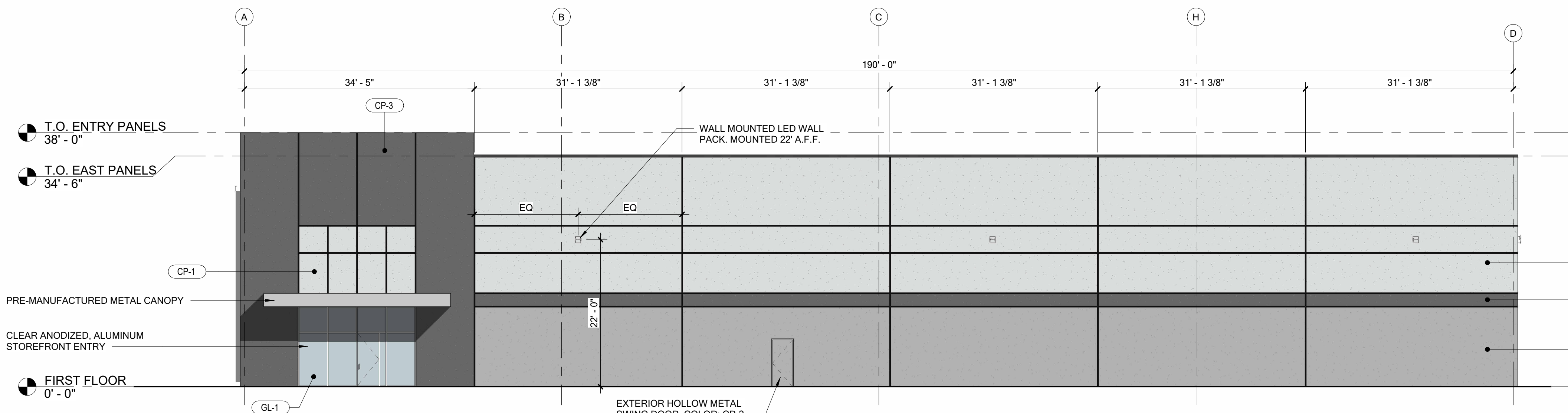


NORTH ELEVATION

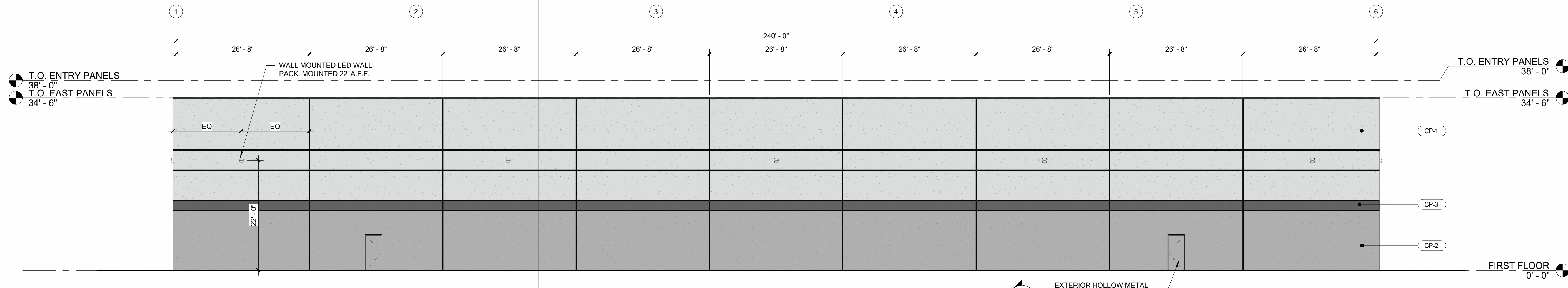
A1.00 | A3.01
SCALE : 3/32" = 1'-0"

MATERIAL & FINISH LEGEND

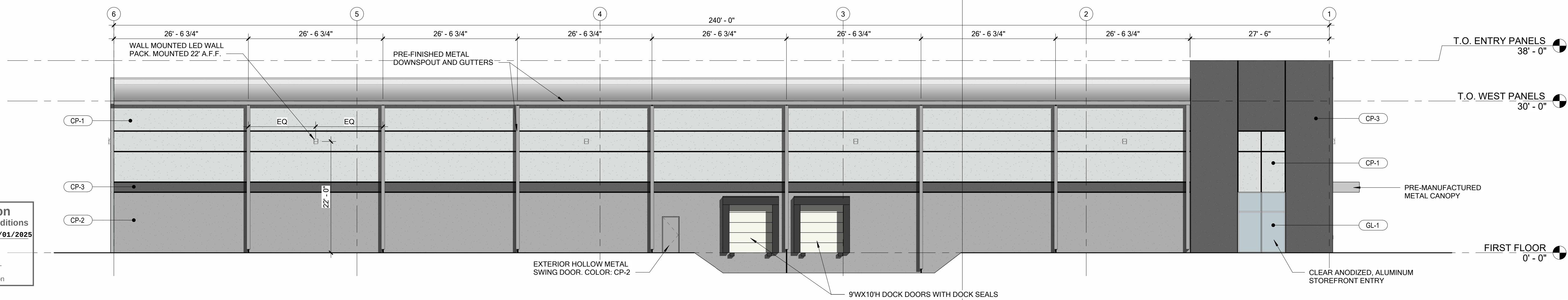
CP-1	CONCRETE TILT-UP, PAINTED 1: LIGHT GRAY - (PPG, THIN ICE, 1001-3)
CP-2	CONCRETE TILT-UP, PAINTED 2: MEDIUM GRAY - (PPG, FLAGSTONE, 1001-4)
CP-3	CONCRETE TILT-UP, PAINTED 3: DARK GRAY - (PPG, KNIGHTS ARMOR, 1001-6)
GL-1	GLAZING 1



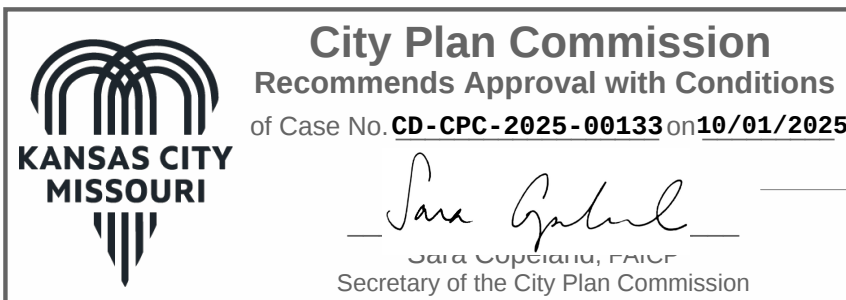
SOUTH ELEVATION

A1.00 | A3.01
SCALE : 3/32" = 1'-0"

EAST ELEVATION

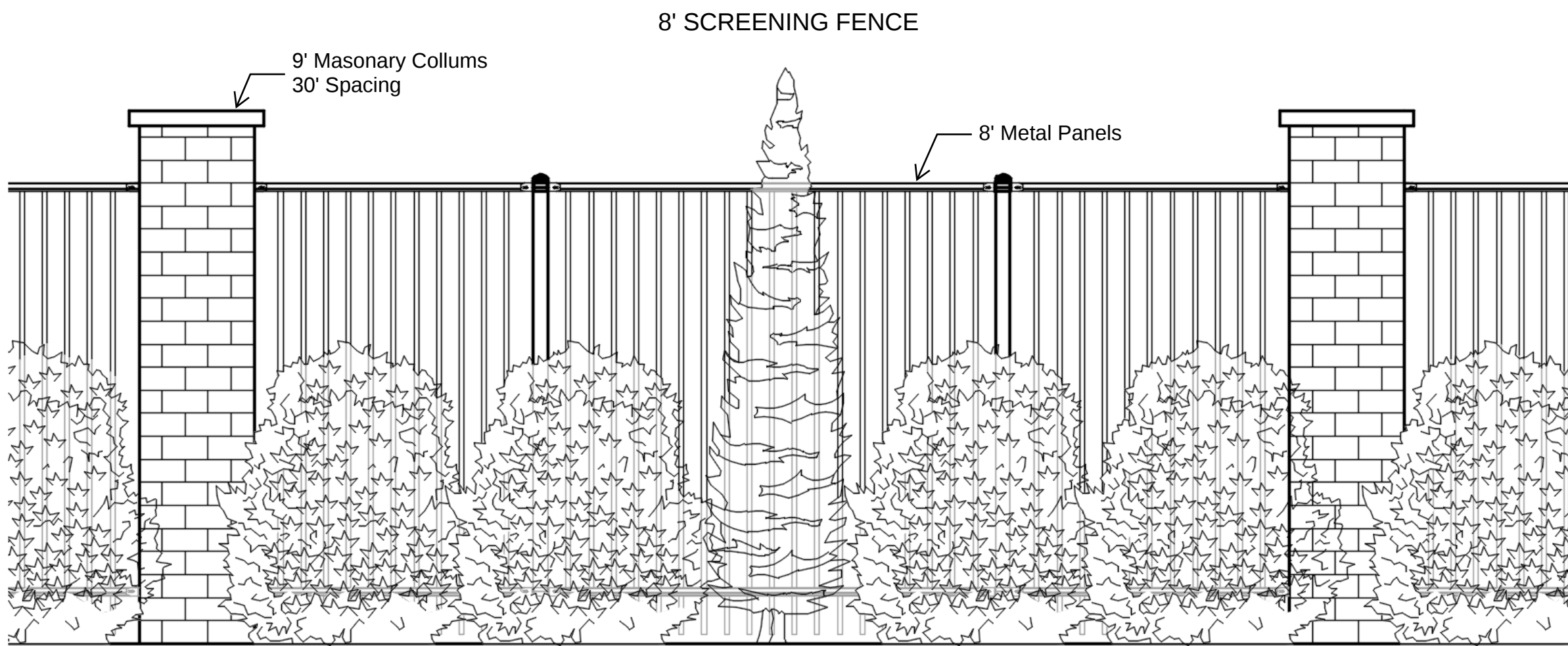
A1.00 | A3.01
SCALE : 3/32" = 1'-0"

WEST ELEVATION

A1.00 | A3.01
SCALE : 3/32" = 1'-0"

City Plan Commission
Recommends Approval with Conditions
of Case No. **CD-CPC-2025-00133** on **9/01/2025**
James G. Butler
Secretary of the City Plan Commission

G:\16874\Civil 3D\Production Drawings\URD\16874\0300.dwg Layout: L1.01 LANDSCAPE DETAILS -- Friday, September 12, 2025, 4:33pm -- Copyright 2025, George Butler Associates, Inc.

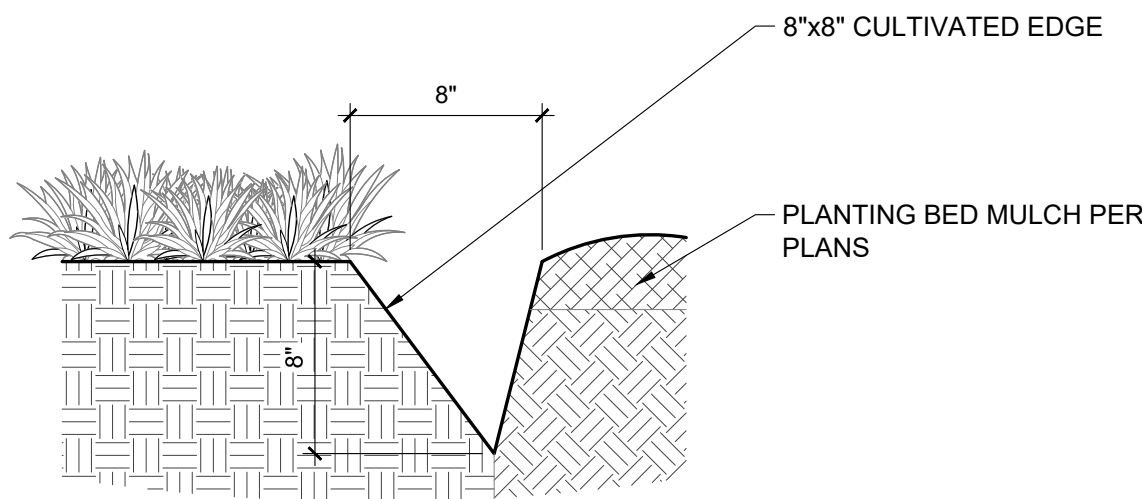


PLANT SCHEDULE

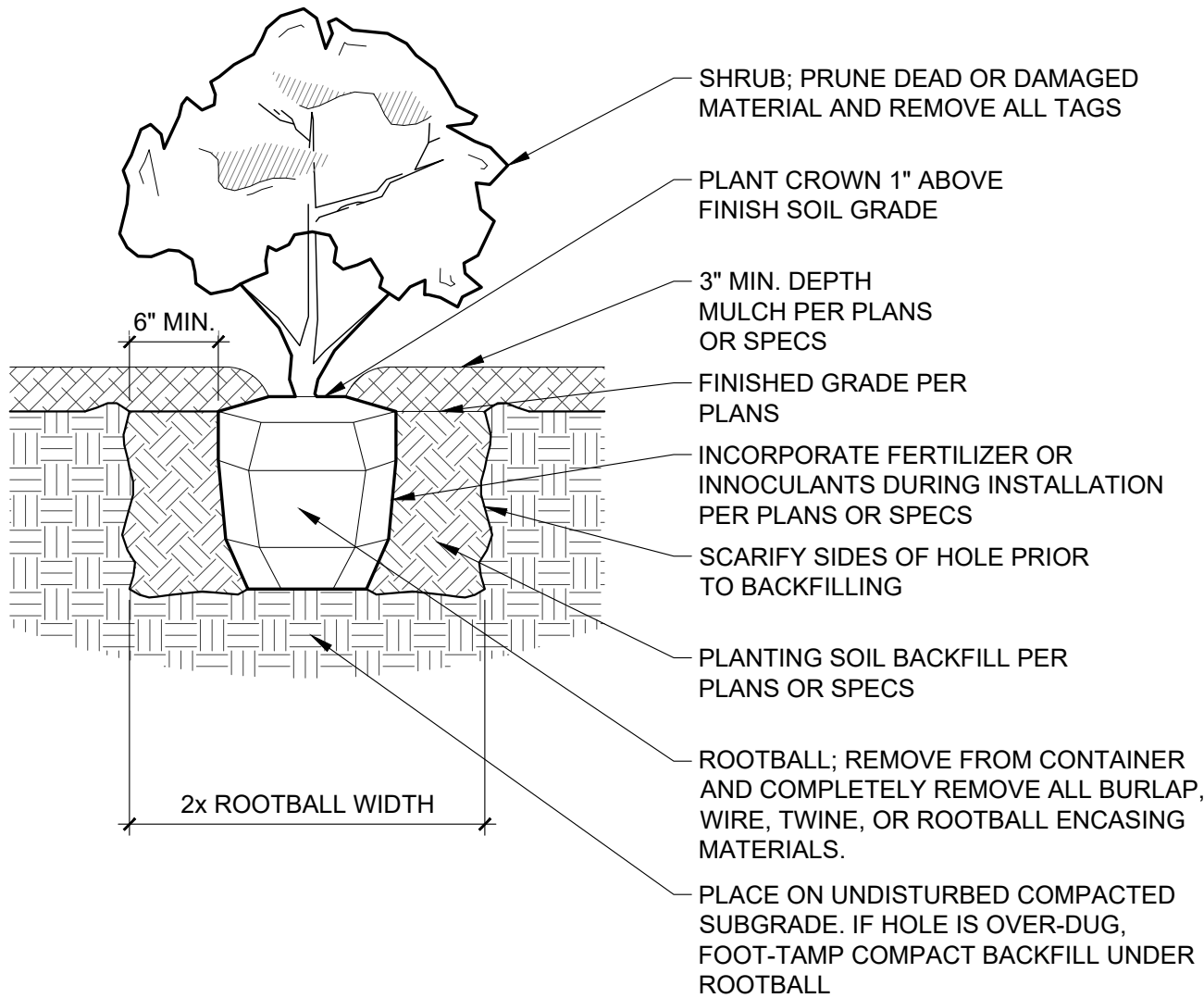
SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONT.	QTY	REMARKS
TREES						
	CE	Cercis canadensis / Eastern Redbud Multi-trunk	2" Cal.	B&B	9	B&B, NURSERY GROWN, MATCHED, FULL, WELL-BRANCHED, STRONG CENTRAL LEADER
	GS	Gleditsia triacanthos inermis 'Skyline' / Skyline Honey Locust	2" Cal.	B&B	5	B&B, NURSERY GROWN, MATCHED, FULL, WELL-BRANCHED, STRONG CENTRAL LEADER
	JS	Juniperus chinensis 'Spartan' / Spartan Juniper	5'-6" Ht.	Container	75	CONTAINER, NURSERY GROWN, MATCHED, FULL, WELL-BRANCHED, STRONG CENTRAL LEADER
	JT	Juniperus virginiana 'Taylor' / Taylor Eastern Redcedar	5'-6" Ht.	Container	5	CONTAINER, NURSERY GROWN, MATCHED, FULL, WELL-BRANCHED, STRONG CENTRAL LEADER
	QS	Quercus shumardii / Shumard Oak	2" Cal.	B&B	6	B&B, NURSERY GROWN, MATCHED, FULL, WELL-BRANCHED, STRONG CENTRAL LEADER
	TD	Taxodium distichum / Bald Cypress	2" Cal.	B&B	19	B&B, NURSERY GROWN, MATCHED, FULL, WELL-BRANCHED, STRONG CENTRAL LEADER
SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY	REMARKS
SHRUBS						
	BBA	Bouteloua gracilis 'Blonde Ambition' / Blonde Ambition Blue Grama	3 gal.	Pot	54	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED
	BSW	Buxus sinica insularis 'Wintergreen' / Wintergreen Korean Boxwood	5 gal.	Pot	45	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED
	CKA	Calamagrostis x acutiflora 'Karl Foerster' / Karl Foerster Feather Reed Grass	3 gal.	Pot	7	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED
	CA	Callicarpa americana / American Beautyberry	3 gal.	Pot	52	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED
	CF	Cornus sericea 'Farrow' / Arctic Fire® Red Twig Dogwood	3 gal.	Pot	60	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED
	HBA	Hydrangea paniculata 'ILVOBO' / Bobo® Panicle Hydrangea	3 gal.	Pot	30	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED
	JLC	Juniperus chinensis 'Gold Lace' / Gold Lace Juniper	5 gal.	Pot	42	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED
	JFC	Juniperus chinensis 'Sea Green' / Sea Green Juniper	5 gal.	Pot	95	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED
	SHD	Sporobolus heterolepis / Prairie Dropseed	3 gal.	Pot	55	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED
	TMD	Taxus x media 'Densiflora' / Dense Anglo-Japanese Yew	5 gal.	Pot	48	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED
GROUND COVERS						
	AO	Aggregate Mulch; Ref. Notes and Specifications / 1'-3' Missouri Rainbow Rock	Mulch		169 sf	REFER TO NOTES AND SPECIFICATIONS
	FE2	Turfgrass Fescue Seed Mix / Fescue Seed Mix	Seed		55,822 sf	REFER TO NOTES AND SPECIFICATIONS
	FE	Turfgrass Fescue Sod / Fescue Sod	Sod		68,475 sf	REFER TO NOTES AND SPECIFICATIONS

NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY IN THE CASE OF A DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.

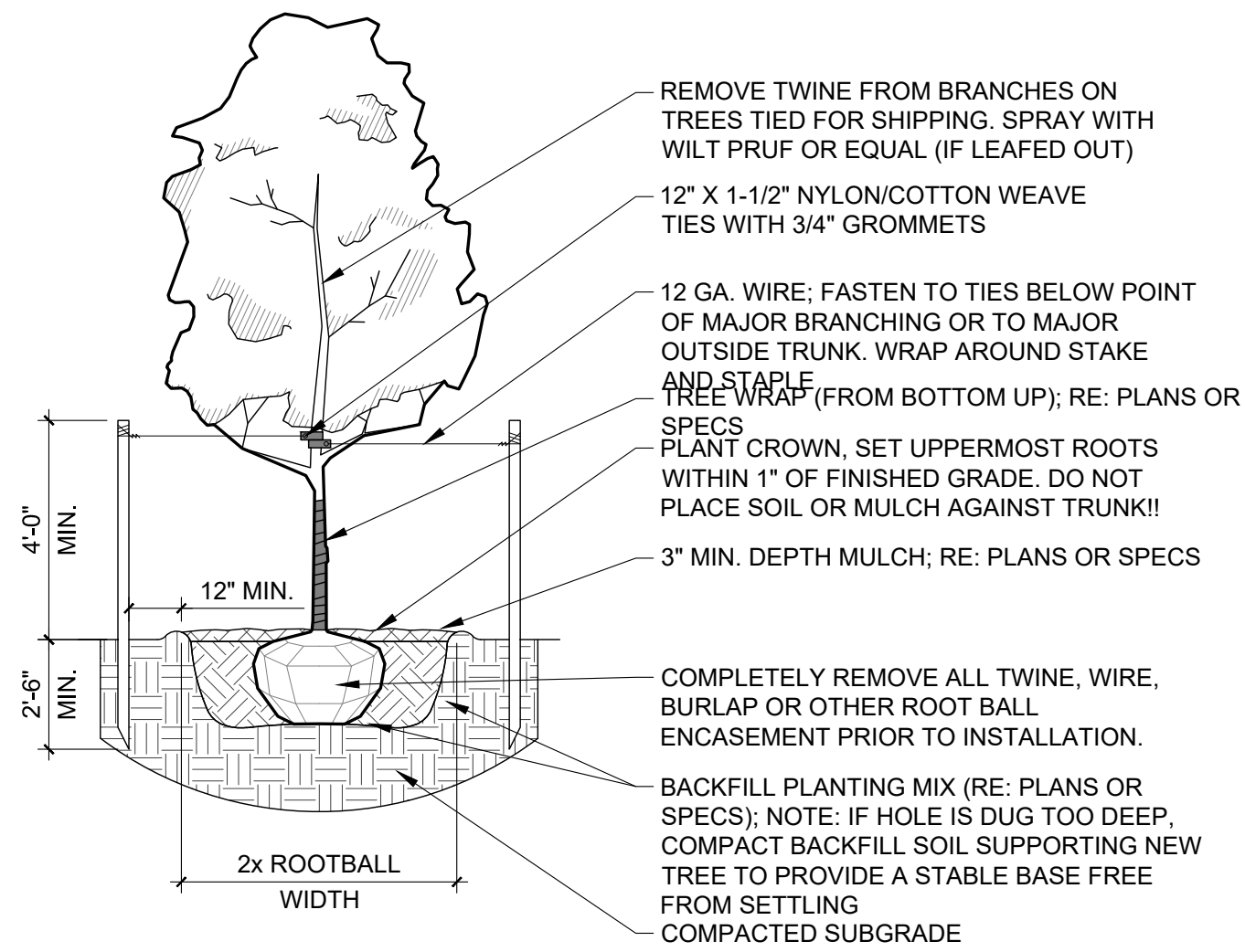
NOTE: PLANTS ARE SPECIFIED BY HEIGHT, SPREAD AND/OR CONTAINER SIZE. ALL PLANTINGS ARE EXPECTED TO MEET ALL SPECIFICATIONS PROVIDED.



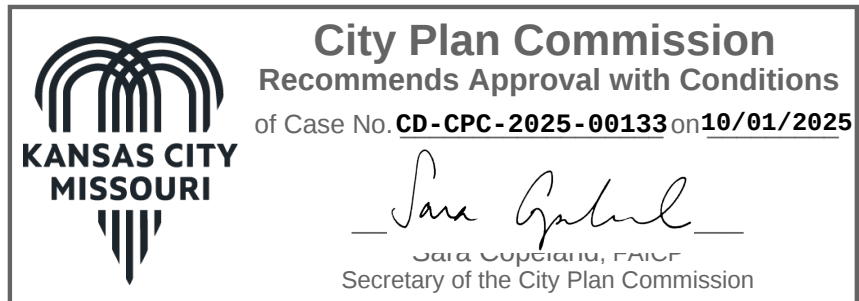
3 V-CUT NATURAL EDGE
1 1/2" = 1'-0"



2 SHRUB PLANTING
1" = 1'-0"



1 DECIDUOUS TREE
3" = 1'-0"



REVISION

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