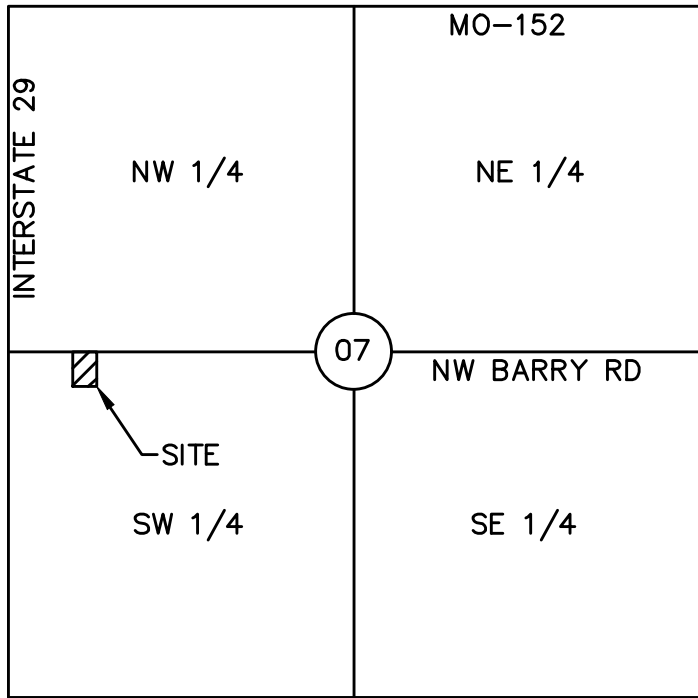




CONTACT INFORMATION	
OWNER / DEVELOPER	
OWNER: <u>CLUB CARWASH OPERATING, LLC</u>	
REPRESENTATIVE: <u>JUSTIN BARNES</u>	
ADDRESS: <u>1591 E PRATHERSVILLE RD. COLUMBIA, MO 65202</u>	
PHONE: <u>(573) 999-5178</u>	
SEWER	
OWNER: <u>KC WATER</u>	
REPRESENTATIVE: <u>LUCAS KASPER</u>	
ADDRESS: <u>4800 EAST 63RD STREET; KANSAS CITY, MO 64130</u>	
PHONE: <u>(816) 513-1313</u>	
WATER	
OWNER: <u>KC WATER</u>	
REPRESENTATIVE: <u>KIRK ROME</u>	
ADDRESS: <u>4800 EAST 63RD STREET; KANSAS CITY, MO 64130</u>	
PHONE: <u>(816) 513-1313</u>	
ELECTRIC	
OWNER: <u>EVERGY</u>	
REPRESENTATIVE: <u>ERIC BOWEN</u>	
ADDRESS: <u>4400 E. FRONT ST, KANSAS CITY, MO 64120</u>	
PHONE: <u>(816) 652-1608</u>	
GAS	
OWNER: <u>SPIRE</u>	
REPRESENTATIVE: _____	
ADDRESS: <u>7500 E 35TH TERRACE, KANSAS CITY, MO 64129</u>	
PHONE: <u>(816) 756-5261</u>	
TELEPHONE	
OWNER: <u>AT&T DISTRIBUTION</u>	
REPRESENTATIVE: <u>CUSTOMER SERVICE</u>	
ADDRESS: _____	
PHONE: <u>(800) 288-2020</u>	
SPECIAL NOTES :	
PROJECT BENCHMARK: THE SURVEYED BEARINGS SHOWN ON THIS PLAT WERE ESTABLISHED FROM GRID NORTH OF THE 'MISSOURI COORDINATE SYSTEM OF 1983' AND ELEVATIONS REFERENCED TO NAVD 1988 BY UTILIZING GNSS RECEIVER INSTRUMENTATION, THE MODOT GNSS RTK NETWORK, AND MONUMENTS FOR STATION (PL-08).	
SITE BENCHMARK: ELEVATION = 1050.70 (NAVD88) CUT SQUARE AND CROSS ON THE SOUTHWEST CORNER OF A CURB INLET ON THE EAST SIDE OF THE NORTHEAST ENTRANCE TO THE SUBJECT PARCEL. THE SQUARE AND CROSS IS APPROXIMATELY 7 FEET FROM THE BACK OF CURB OF THE NORTHEAST ENTRANCE AND APPROXIMATELY 25.1 FEET FROM THE SOUTHEAST CORNER OF THE SUBJECT PARCEL.	
VICINITY MAP NO SCALE	

PROPERTY DESCRIPTION:
A TRACT OF LAND BEING LOT 4 OF BARRYWOODS CROSSING, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 18 PAGE 261 OF THE PLATTE COUNTY, MISSOURI RECORDS IN THE SOUTHWEST QUARTER OF SECTION 7, TOWNSHIP 51 NORTH, RANGE 33 WEST, KANSAS CITY, PLATTE COUNTY, MISSOURI, ARE BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT A CUT CROSS AT THE NORTHEAST CORNER OF SAID LOT 4' SAID POINT ALSO BEING ON THE SOUTH LINE OF NW BARRY ROAD, A PUBLIC ROAD OF VARIABLE WIDTH; THENCE ALONG THE EAST LINE OF SAID LOT SOUTH 00 DEGREES 59 MINUTES 30 SECONDS WEST 290.00 FEET; THENCE SOUTH 17 DEGREES 26 MINUTES 52 SECONDS EAST 32.84 FEET TO A POINT ON THE NORTH LINE OF NW ROANRIDGE ROAD, A 60 FOOT WIDE PUBLIC ROAD; THENCE ALONG SAID NORTH LINE SOUTH 72 DEGREES 33 MINUTES 08 SECONDS WEST 47.68 FEET TO A POINT ON A CURVE TO THE LEFT WITH A RADIUS OF 330.00 FEET AND A CHORDS THAT BEARS SOUTH 57 DEGREES 12 MINUTES 13 SECONDS WEST 174.70 FEET; THENCE ALONG SAID CURVE 176.80 FEET TO A POINT ON THE EAST LINE OF INTERSTATE HIGHWAY 129, A PUBLIC ROAD OF VARIABLE WIDTH; THENCE NORTH 78 DEGREES 42 MINUTES 47 SECONDS WEST 44.58 FEET; THENCE NORTH 11 DEGREES 43 MINUTES 45 SECONDS EAST 142.68 FEET; THENCE NORTH 00 DEGREES 59 MINUTES 30 SECONDS EAST 285.24 FEET TO A POINT ON THE AFOREMENTIONED SOUTH LINE OF NW BARRY ROAD; THENCE ALONG SAID SOUTH LINE SOUTH 89 DEGREES 00 MINUTES 30 SECONDS EAST 197.31 FEET TO THE POINT OF BEGINNING AND CONTAINING 75,576 SQUARE FEET, OR 1.735 ACRES ACCORDING TO CALCULATIONS MADE BY COCHRAN ENGINEERING DURING APRIL, 2025.



LOCATION MAP
SECTION 07-T51N-R33W
NO SCALE

DEVELOPMENT AND PROJECT PLAN

CLUB CARWASH

KANSAS CITY, MISSOURI



PROJECT ADDRESS
8340 NW ROANRIDGE
KANSAS CITY, MISSOURI 64136

PROJECT NO. M24-8896A



- CIVIL ENGINEERING
- LAND SURVEYING
- ARCHITECTURE
- SITE DEVELOPMENT
- MASTER PLANNING
- GENERAL CONSULTING

8 EAST MAIN STREET, WENTZVILLE, MISSOURI 63385
TELEPHONE (636) 332-4574
FAX (636) 327-0760
E-MAIL wentmail@cochraneng.com

MAY, 2025
REVISED JUNE 11, 2025
REVISED JUNE 17, 2025
REVISED SEPTEMBER 3, 2025

SHEET INDEX	SHEET
EXISTING CONDITIONS	1 OF 6
SITE PLAN	2 OF 6
UTILITY PLAN	3 OF 6
GRADING PLAN	4 OF 6
PHOTOMETRICS PLAN	5 OF 6
LANDSCAPE PLAN	6 OF 6

All OSHA rules & regulations established for the type of construction required by these plans shall be strictly followed (i.e. Trenching, Blasting, etc.)

CALL OR CLICK 3 DAYS BEFORE YOU DIG!
1-800-DIG-RITE or 811
www.mo1call.com



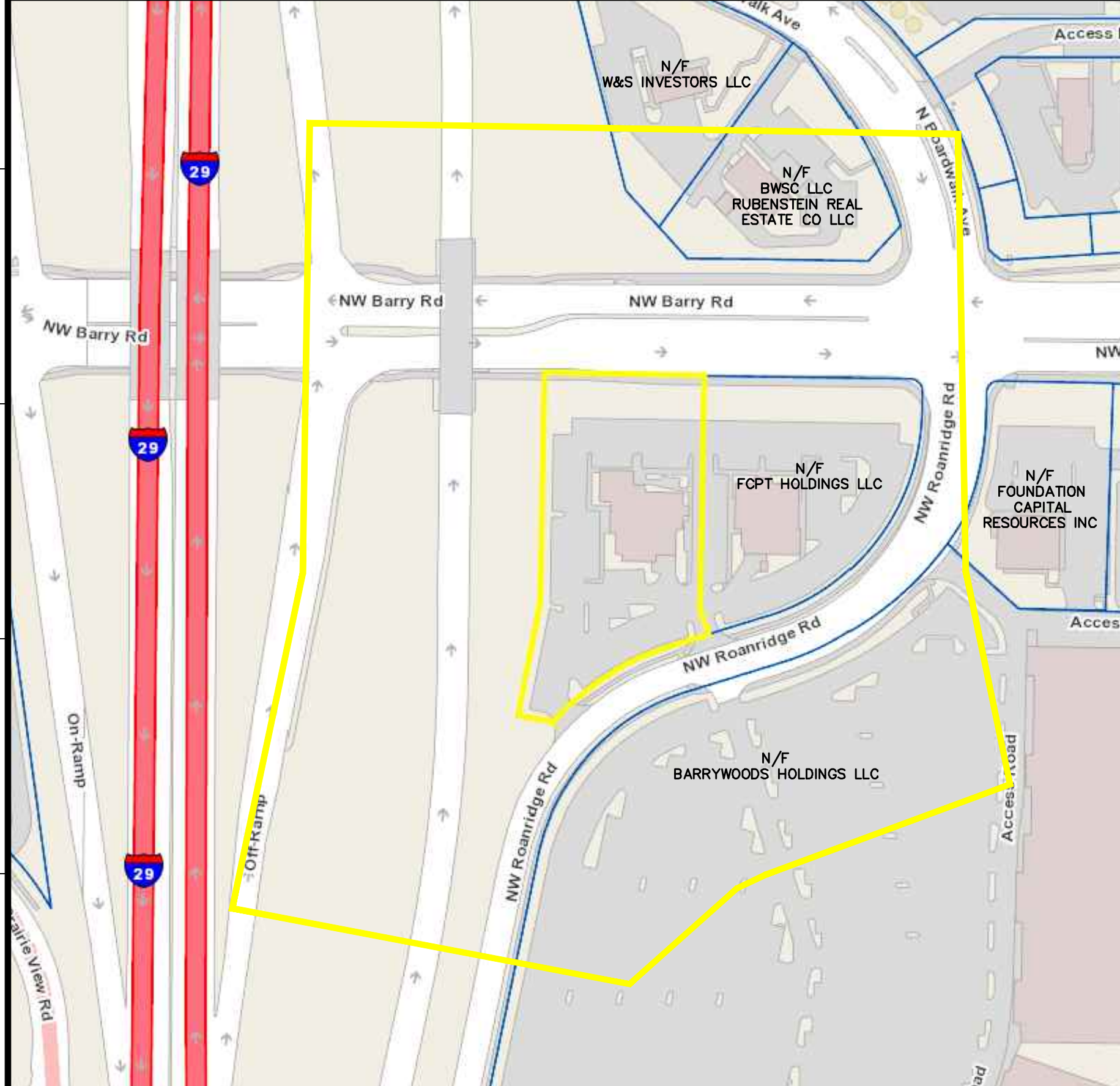
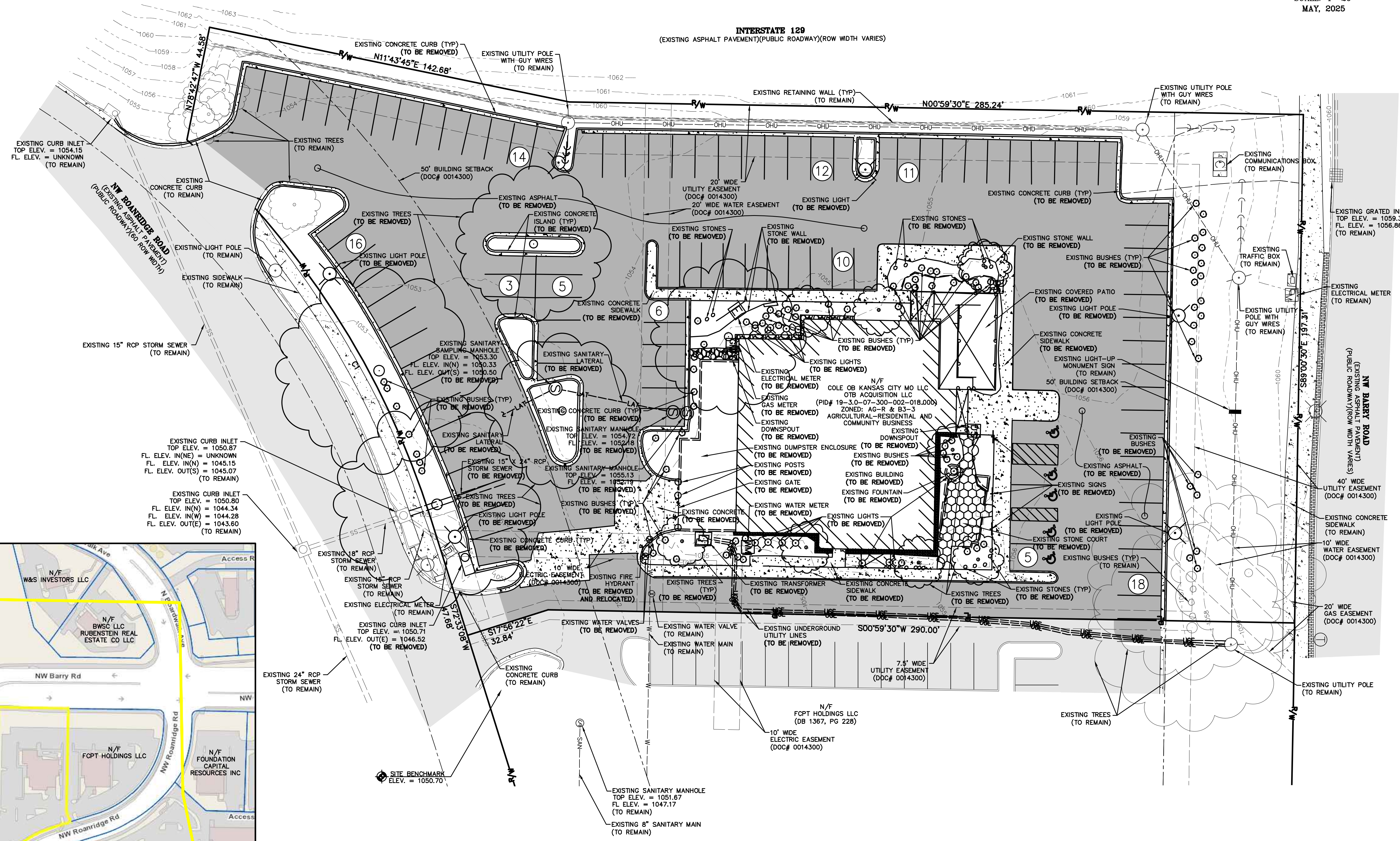
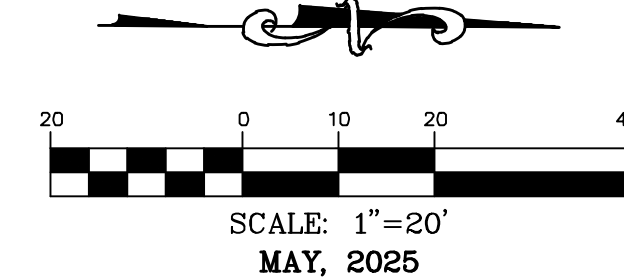
DATE
Eric S. Kirchner No. E-2001004618
Registered Professional Engineer
State of Missouri
for Cochran Engineering & Surveying

DWG NAME: \\2024\\M24-8896 - COW 8340 NW Roanridge, Kansas City, MO\\M24-8896\\ENGINEERING\\AUTOCAD DRAWINGS\\02_Preliminary\\M24-8896_1_EXISTING CONDITIONS PRELIM.dwg LAYOUT TAB: 1 OF 6 EXISTING CONDITIONS PLOTTED ON: Sep 03, 2025 - 10:35am PLOTTED BY: abuller

C1
RADIUS=330.00'
ARC LENGTH=176.80'
CHORD BEARING= S57°12'13"W
CHORD LENGTH=174.70'

A
B
C
D
E
F
G
H
I
J
K
L

EXISTING CONDITIONS



OWNER:
COLE OB KANSAS CITY MO LLC
OTB ACQUISITION LLC
6820 LBJ FREEWAY
DALLAS, TX 75240

DEVELOPER:
CLUB CARWASH OPERATIONS
1591 PRATHERSVILLE RD.
COLUMBIA, MO 65202

300 FT RADIUS PROPERTY MAP
1" = 150'

636-332-4574 (tel.)
636-327-0760 (fax)
westmo@ochran.com

North Office
8 East Main Street
Wentzville, Missouri 63385

UCHRAN

Missouri State Certificate
of Authority Numbers:
2010000046

Two working days prior to
the start of any excavation
call 1-800-DIG-RITE for full
utility location information.

All OSHA rules & regulations
must be strictly followed by these
plans and be strictly followed
(ie. trenching, blasting, etc.)

ERIC SCOTT
KIRCHNER
E-2001004618

ERIC S. KIRCHNER
E-2001004618

DEVELOPMENT/ PROJECT PLAN
CLUB CARWASH
KANSAS CITY MISSOURI

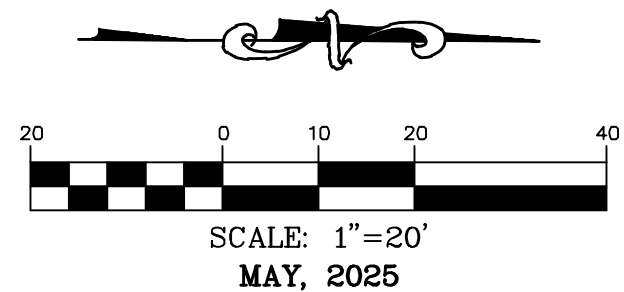
DATE	BY	APPD. BY
06/11/25	KAF	ESK

DATE: MAY, 2025
SCALE: 1:20
PROJ. NO: M24-8896A
DWG. NO:

1 OF 6

CALL OR CLICK 3 DAYS BEFORE YOU DIG!
MISSOURI
ONE CALL SYSTEM
1-800-DIG-RITE OR 811
www.motcall.com

SITE PLAN



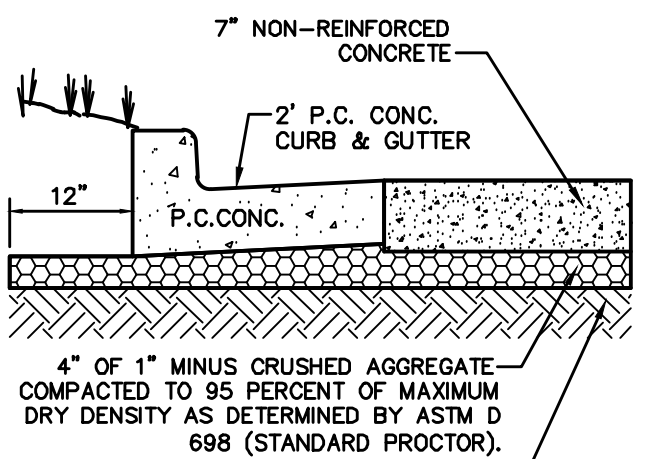
VICINITY MAP NO SCALE

SITE LEGEND

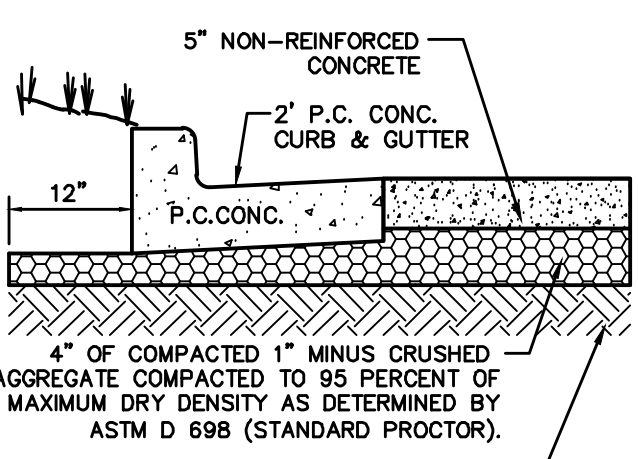
- A NEW STANDARD DUTY CONCRETE PAVEMENT. SEE DETAIL, THIS SHEET.
B NEW HEAVY DUTY CONCRETE PAVEMENT. SEE DETAIL, THIS SHEET.
C NEW 4" THICK CONCRETE SIDEWALK. SEE DETAIL, SHEET 3 OF 6.
D NEW 6" THICK CONCRETE SIDEWALK. SEE DETAIL, SHEET 3 OF 6.
E NEW 3' WIDE CONCRETE ISLAND. SEE DETAIL, THIS SHEET.
F NEW 6" VERTICAL CURB AND GUTTER. SEE DETAIL, THIS SHEET.
G NEW ADA RAMP. PER KANSAS CITY REQUIREMENTS.
H NEW VACUUM ARMS. BY OWNER.
I NEW STOP ARMS. BY OWNER.
J NEW 7'x17' CONCRETE PAD FOR VACUUM TURBINE. SEE MEP PLANS.
K NEW METAL TURBINE SCREENING. SEE DETAIL, SHEET 4 OF 6.
L NEW 3'x3'x4" CONCRETE PADS FOR SIGNS AND TRASH CANS.
M NEW 3'x3'x6" CONCRETE PADS FOR CAMERA ARCH.
N NEW TRELLIS STRUCTURE FOR VACUUM BAYS. BY OWNER.
O NEW TRAFFIC FLOW ARROWS. SEE DETAIL, SHEET 3 OF 6.
P NEW ACCESSIBLE PARKING STALL WITH SIGNAGE AND STRIPING. SEE DETAILS, SHEET 3 OF 6.
Q NEW TRASH ENCLOSURE. SEE DETAIL, SHEET 4 OF 6.
R NEW BOLLARDS. SEE DETAIL, SHEET 3 OF 6.
S NEW BIKE RACK. SEE DETAIL, SHEET 4 OF 6.
T NEW PRE-FABRICATED STRUCTURE. BY OWNER.
U NEW LIGHT STANDARD. SEE DETAIL, SHEET 5 OF 6.
V NEW ATTENDANT KIOSK. BY OWNER.
W NEW 12" BLACK STACKING LANE STRIPING WITH 4" RED CENTER STRIPE.
X NEW CROSSWALK. SEE DETAIL, THIS SHEET.
Y NEW CONVEX MIRROR IN TRASH ENCLOSURE.
Z CONTRACTOR TO SAW CUT EXISTING PAVEMENT FULL DEPTH TO ENSURE A SMOOTH JOINT.
AA NEW 4" WHITE STRIPE TO DIVIDE ENTRANCE.

NOTES:

- TOTAL SITE ACREAGE: ±75,794 SQ. FT. OR ±1.74 ACRES
- EXISTING ZONING: AG-R AND B3-3, AGRICULTURAL-RESIDENTIAL AND COMMUNITY BUSINESS
PROPOSED ZONING: B3-3 COMMUNITY BUSINESS
- BUILDING SETBACKS
FRONT - 50'
REAR - 50'
SIDE - 0'
- THE SITE LAND USE SHALL BE AN AUTOMATIC CARWASH WITH VACUUMS.
- THIS SITE IS SERVED BY:
WATER - KC WATER
SEWER - KC WATER
TELEPHONE - AT&T DISTRIBUTION
ELECTRIC - EVERGY
GAS - SPIRE MO WEST
FIBEROPTIC - AT&T DISTRIBUTION
FIRE - KANSAS CITY FIRE DEPT STATION 44
- THIS SITE FALLS WITHIN UNSHADED "ZONE X," AREAS DETERMINED TO BE OUTSIDE THE ANNUAL 0.2% CHANCE FLOOD. PER FIRM, FLOOD INSURANCE RATE MAP, FOR JACKSON COUNTY, MISSOURI AND INCORPORATED AREAS, MAP NUMBER 2909501076G, MAP REVISED DATE OF JANUARY 20, 2017 AND PER FIRM, FLOOD INSURANCE RATE MAP, FOR JACKSON COUNTY, MISSOURI, AND INCORPORATED AREAS, MAP NUMBER 2909501076G, MAP REVISED DATE OF JANUARY 20, 2017
- ALL UTILITIES ARE TO BE LOCATED UNDERGROUND.
- THE SITE SHALL CONFORM TO THE CITY OF KANSAS CITY STANDARDS.
- NO INVESTIGATION HAS BEEN PERFORMED BY COCHRAN REGARDING HAZARDOUS WASTE, UNDERGROUND CONDITIONS OR UTILITIES AFFECTING THE TRACT SHOWN HEREON. THIS DRAWING DOES NOT CONSTITUTE A BOUNDARY SURVEY.
- ALL PAVEMENT STRIPING SHALL BE 4" WIDE PAINTED WHITE LINES AND THE ADA STRIPING SHALL BE BLUE
- LOCATION, REPLACEMENT, AND CONNECTION OF THE UTILITIES SHALL BE COORDINATED WITH THE UTILITY COMPANIES.
- ALL MECHANICAL, HVAC, AND UTILITY EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW ACCORDING TO CITY REQUIREMENTS.
- STORMWATER SHALL BE DIRECTED TO EXISTING STORMWATER SYSTEM.
- ALL DISTURBED AREAS INTENDED FOR GRASS SHALL BE SOODED.
- THE ADMINISTRATION OF THE LANDSCAPING PLAN FOR THIS PROJECT WILL BE ACCOMPLISHED VIA THE PROVIDED PLAN FOR LOCATION, TYPE, SIZE AND QUANTITY.
- UNDERGROUND STRUCTURES, FACILITIES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS, DEEDS AND RECORDS. THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS NOT KNOWN. ALL SIGNAGE SHALL BE PERMITTED VIA A SEPARATE PERMIT APPLICATION.
- ALL VACUUM STATIONS AND EQUIPMENT SHALL BE PAINTED BLACK.
- A LIGHTING PLAN WILL BE PREPARED ACCORDING TO CITY REQUIREMENTS AND SUBMITTED TO THE CITY FOR REVIEW. ALL EXTERIOR LIGHTING, BUILDING AND PARKING LOT LIGHTS & LANDSCAPING LIGHTS, SHALL BE DIRECTED AWAY FROM HIGHWAYS, PUBLIC ROADS & PROPERTIES SO THAT NO LIGHT IS CAST ON ADJOINING PROPERTIES OR PUBLIC ROADWAYS. MAX LIGHT HEIGHT IS 22'-6". THE POLES, POLES BASE & FIXTURES SHALL BE BLACK. ALL LIGHTING SHALL BE LED & SERVE WITH UNDERGROUND ELECTRIC.
- ALL OPEN SPACE AND LANDSCAPE BEDS SHALL BE IRRIGATED. ALL LANDSCAPING MATERIAL AND DESIGN WILL FOLLOW THE APPROVED LANDSCAPING PLAN, INCLUDING TYPES OF PLANTS AND SPACING.



HEAVY DUTY CONCRETE PAVING
NO SCALE



STANDARD DUTY CONCRETE PAVING
NO SCALE

OWNER:
COLE OB KANSAS CITY MO LLC
OTB ACQUISITION LLC
6820 LBJ FREEWAY
DALLAS, TX 75240

DEVELOPER:
CLUB CARWASH OPERATIONS
1591 PRATHERSVILLE RD.
COLUMBIA, MO 65202

EXISTING DRAWING LEGEND

- RIGHT-OF-WAY
PROPERTY LINE
EXISTING MAJOR CONTOUR
EXISTING MINOR CONTOUR
EXISTING EASEMENT
EXISTING OVERHEAD UTILITIES
EXISTING WATER LINE
EXISTING STORM SEWER
EXISTING SANITARY LINE
EXISTING UNDERGROUND ELECTRIC
EXISTING SANITARY MANHOLE
EXISTING ELECTRICAL BOX
EXISTING DOWN SPOUT
EXISTING GAS METER
EXISTING TRANSFORMER
EXISTING CURB INLET
EXISTING ELECTRIC METER
EXISTING SIGN
EXISTING WATER VALVE
EXISTING FIRE HYDRANT
EXISTING WATER METER
EXISTING UTILITY POLE
EXISTING LIGHT
BENCHMARK
EXISTING TREE
EXISTING BUSH
EXISTING PARKING SYMBOL
EXISTING BUILDING
EXISTING ASPHALT PAVEMENT
EXISTING CONCRETE PAVEMENT

PROPOSED DRAWING LEGEND

- NEW MAJOR CONTOUR
NEW MINOR CONTOUR
NEW SETBACK LINE
NEW FENCE
NEW STORM SEWER PIPE
NEW WATER LINE
NEW SANITARY LATERAL
NEW SANITARY MAIN
NEW GAS SERVICE
NEW SANITARY MANHOLE
NEW SANITARY SAMPLING MANHOLE
NEW SANITARY CLEAN OUT
NEW STORM MANHOLE
NEW STORM INLET
NEW GRATED INLET WITH SIDE INTAKE
NEW GRATED INLET
NEW SIGN
NEW WATER METER
NEW BACKFLOW PREVENTER
NEW CONVEX MIRROR IN TRASH ENCLOSURE
NEW LIGHT
NEW ACCESSIBLE PARKING SYMBOL
NEW BUILDING
NEW HEAVY DUTY CONCRETE
NEW STANDARD DUTY CONCRETE
NEW CONCRETE SIDEWALK

DEVELOPMENT DATA TABLE

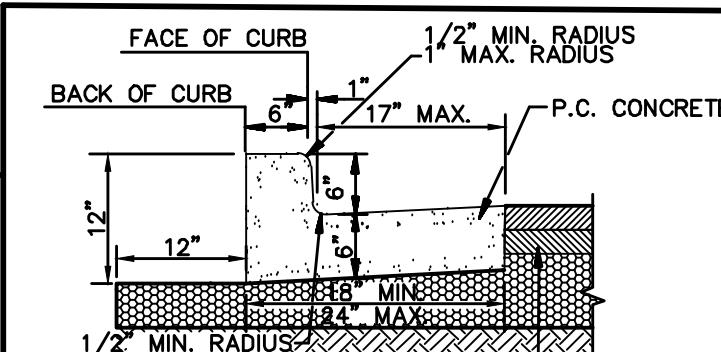
EX. ZONING	PR. ZONING	GROSS AREA (AC.)	EXISTING R/W (AC.)	PROPOSED R/W (AC.)	NET AREA (AC.)	USE	NUMBER OF FLOORS	MAX. BUILDING HEIGHT (FT.)	GROSS BUILDING AREA (SF.)	BUILDING COVERAGE (SF.)	F.A.R.	PARKING RATIO	STALLS REQUIRED	REQUIRED PROVIDED	LONG-TERM BICYCLE STALLS REQUIRED RATIO	REQUIRED PROVIDED	SHORT-TERM BICYCLE STALLS REQUIRED RATIO	REQUIRED PROVIDED	COMMENCEMENT DATE	COMPLETION DATE		
AG-R B3-3	B3-3	1.74	0.00	0.00	1.74	CAR WASH	1	55	5,164	5,164	0.07	NONE	0	9	1+1 PER 10,000 SF	2	2	10% OF VEHICULAR (MIN. 3)	3	3	OCTOBER 2025	APRIL 2026

BUILDING DATA

	EXISTING	PROPOSED	DEVIATION REQUESTED	APPROVED
REAR SETBACK	50 FT.	50 FT.	NO	N/A
FRONT SETBACK	50 FT.	50 FT.	NO	N/A
SIDE SETBACK	30' / NONE	NONE	NO	N/A
SIDE SETBACK (ABUTTING STREET)	30 FT.	30 FT.	NO	N/A
HEIGHT	35' / 55'	55'	NO	N/A

NOTE:
SEE PLAN SHEET 5 OF 6 FOR SITE LIGHTING PHOTOMETRICS.

IMPERVIOUS AREA:
EXISTING = 54,697 SF (1.26 AC)
PROPOSED = 48,207 SF (1.11 AC)



TYPE "A" CONCRETE CURB AND GUTTER
NO SCALE

PARKING DATA

88-420 PARKING	VEHICLE SPACES		BIKE SPACES		ALTERNATIVES PROPOSED?
	REQUIRED	PROPOSED	REQUIRED (LONG/SHORT)	PROPOSED (LONG/SHORT)	
	0	9	2/3	2/3	NO

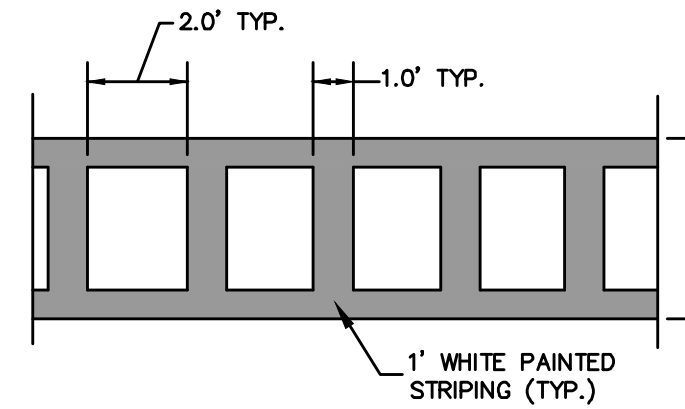
NOTE:
EXISTING FRONT SETBACK PER DOC# 0014300.

NOTE:
ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED. ALL RADIUS CALLOUTS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.

MINIMUM PARKING DIMENSIONS:
REGULAR PARKING - 8.5'x18'
ADA PARKING - 8'x18'
ADA VAN PARKING - 11'x18'
ADA ACCESSIBLE STRIPING - 5'x18'
PARKING DRIVE AISLES (TWO-WAY) - 24'W MIN.
PARKING DRIVE AISLES (ONE-WAY) - 22'W MIN.

PARKING REQUIREMENTS:
TOTAL SPACES REQUIRED: = 0 SPACES
TOTAL SPACES PROVIDED: = 10 SPACES
TOTAL ACCESSIBLE SPACES REQUIRED: = 0 SPACES
TOTAL STACKING SPACES PROVIDED: = 34 SPACES
ADA TOTAL SPACES REQUIRED: = 1 SPACES
ADA TOTAL SPACES PROVIDED: = 1 SPACES

VACUUM STATIONS:
PROVIDED = 26 VACUUM STATIONS



CROSSWALK DETAIL
NO SCALE

CALL OR CLICK 3 DAYS BEFORE YOU DIG!
MISSOURI ONE CALL SYSTEM
1-800-DIG-RITE OR 811
www.motcall.com

636-332-4574 (fax)
636-327-0760 (cell)
www.motcall.com
Civil Engineering
Land Surveying
Architecture
Site Development
General Consulting
Master Planning



Missouri State Certificate
of Authority Numbers:
2010000046

Two working days prior to
the start of any excavation
call 1-800-DIG-RITE for
utility location information.
All OSHA rules & regulations
and construction required by these
plans shall be strictly followed
(ie. trenching, blasting, etc.)



ERIC S. KIRCHNER
E-2001004618

DEVELOPMENT/ PROJECT PLAN CLUB CARWASH KANSAS CITY MISSOURI

DATE	BY	APP'D. BY	DATE	BY	APP'D. BY
06/11/25	KAF	ESK	09/03/25	KAF	ESK
DATE: MAY, 2025					
SCALE: 1:20					
PROJ. NO.: M24-8896A					
DWG. NO.: 2 OF 6					

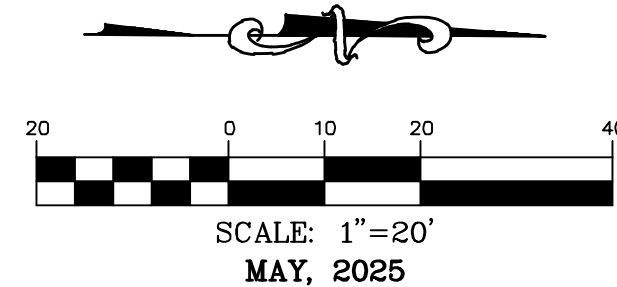
DWG NAME: J:\2024\M24-8896 - COW 8340 NW Roanridge, Kansas City, MO\M24-8896A\ENGINEERING\AUTOCAD DRAWINGS\02_Preliminary\M24-8896A 3.UTILITY PLAN PRELIM.dwg LAYOUT TAB: 3 OF 6 UTILITY PLAN PLOTTED ON: Sep 03, 2025 - 10:24am PLOTTED BY: abulter

UTILITY LEGEND

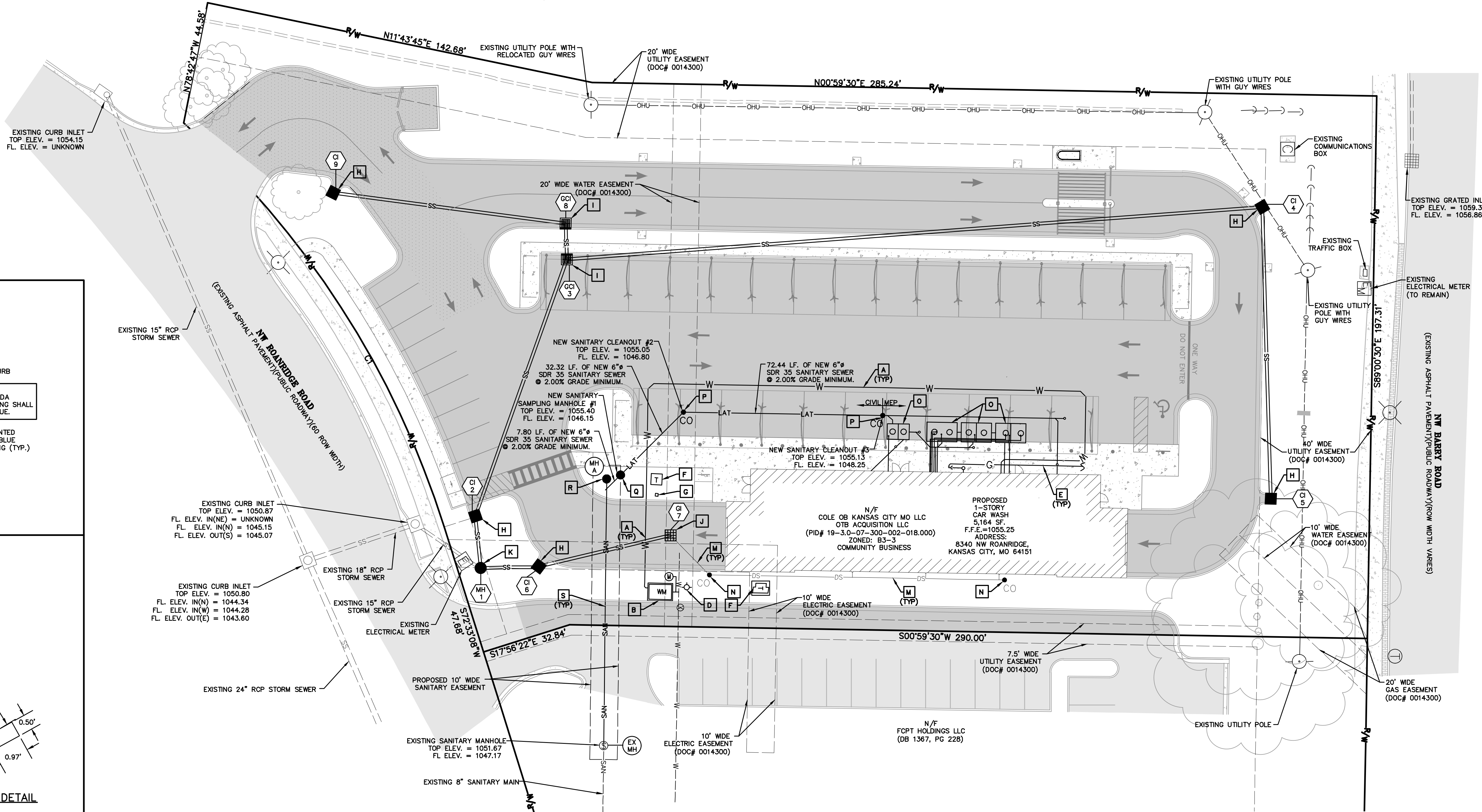
- A NEW 4" DUCTILE IRON WATER SERVICE LINE.
- B NEW 4" WATER METER.
- C NOT USED.
- D RELOCATED FIRE HYDRANT.
- E NEW GAS LINE.
- F NEW TRANSFORMER PAD.
- G NEW TELEPHONE PEDESTAL.
- H NEW CURB INLET.
- I NEW GRATED INLET WITH SIDE INTAKE.
- J NEW GRATED INLET.
- K NEW STORM MANHOLE.
- L NEW NYLOPLAST 30" DRAIN STRUCTURE.
- M NEW 8" SDR 35 PVC DOWNSPOUT COLLECTOR.
- N NEW DOWNSPOUT CLEAN-OUT.
- O NEW SAND AND GREASE INTERCEPTORS.
- P NEW SANITARY CLEAN-OUT.
- Q NEW SANITARY SAMPLING MANHOLE.
- R NEW SANITARY MANHOLE.
- S NEW 8" SDR 26 PVC SANITARY MAIN.

C1
RADIUS=330.00'
ARC LENGTH=176.80'
CHORD BEARING= S57°12'13"W
CHORD LENGTH=174.70'

UTILITY PLAN



INTERSTATE 129
(EXISTING ASPHALT PAVEMENT)(PUBLIC ROADWAY)(ROW WIDTH VARIES)

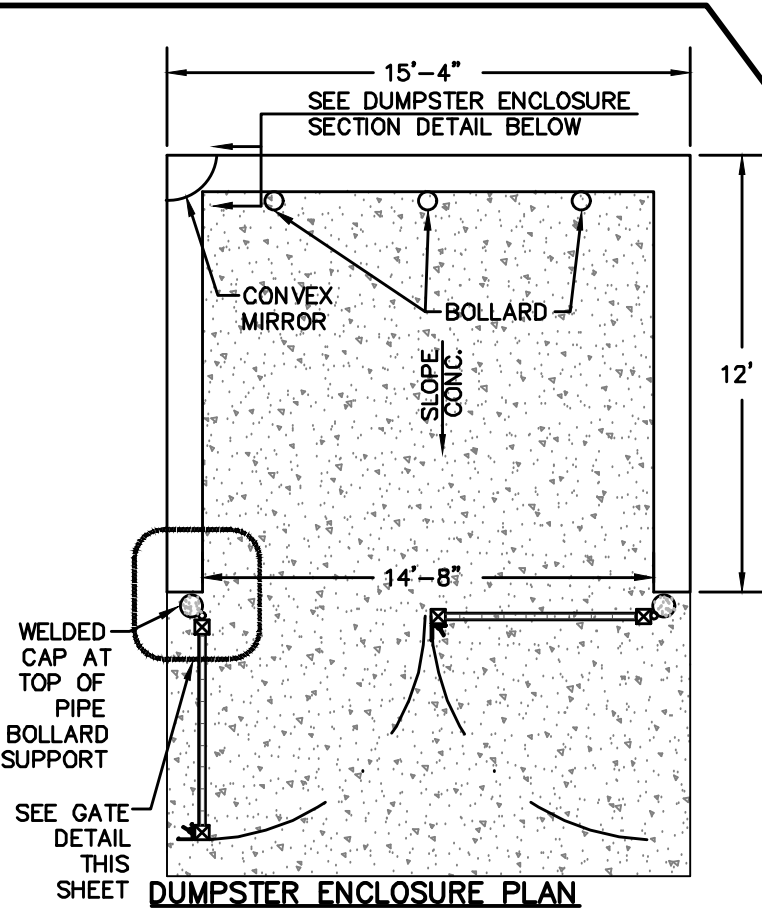


DWG NAME: J:\2024\W24-8896 - COW 8340 NW Roanridge, Kansas City, MO\W24-8896\ENGINEERING\AUTOCAD DRAWINGS\02_Preliminary\W24-8896A 4_GRADING PLAN PRELIM.dwg LAYOUT TAB: 4 OF 6 GRADING PLAN PLOTTED ON: Sep 03, 2025 - 10:24am PLOTTED BY: ebuller

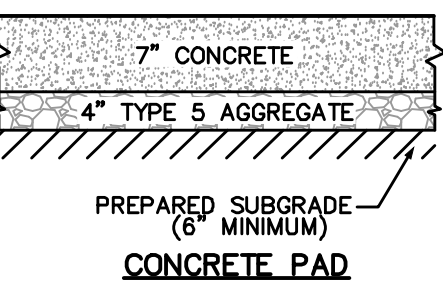
C1
RADIUS=330.00'
ARC LENGTH=178.80'
CHORD BEARING= S57°12'13"W
CHORD LENGTH=174.70'

SWPPP LEGEND

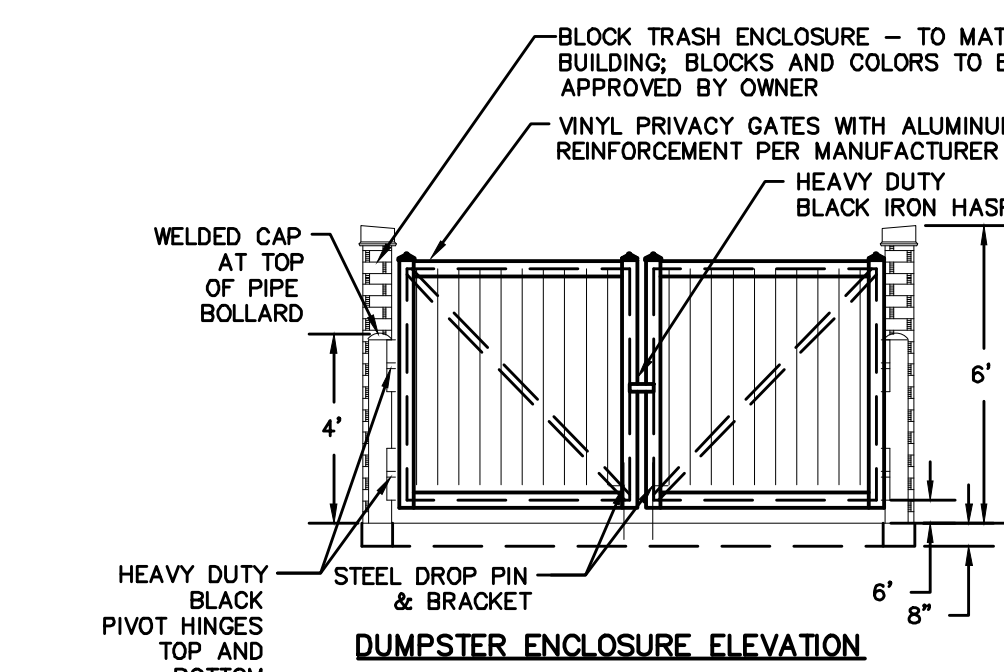
- IP1 NEW DANDY CURB SACK GRATED CURB INLET PROTECTION.
- IP2 NEW DANDY CURB INLET PROTECTION.
- IP3 NEW FILTREXX INLET PROTECTION.
- SF NEW SILT FENCE.
- CE TEMPORARY CONSTRUCTION ENTRANCE.
- LD LIMITS OF DISTURBANCE.



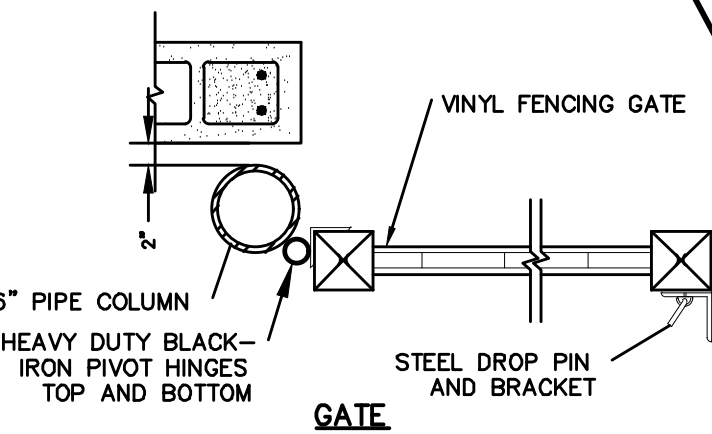
DUMPSTER ENCLOSURE PLAN



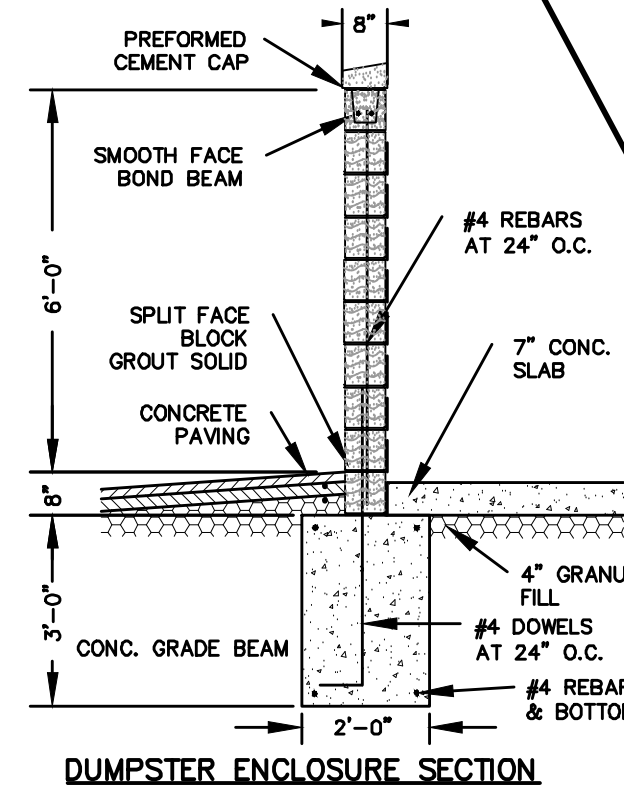
CONCRETE PAD



DUMPSTER ENCLOSURE ELEVATION

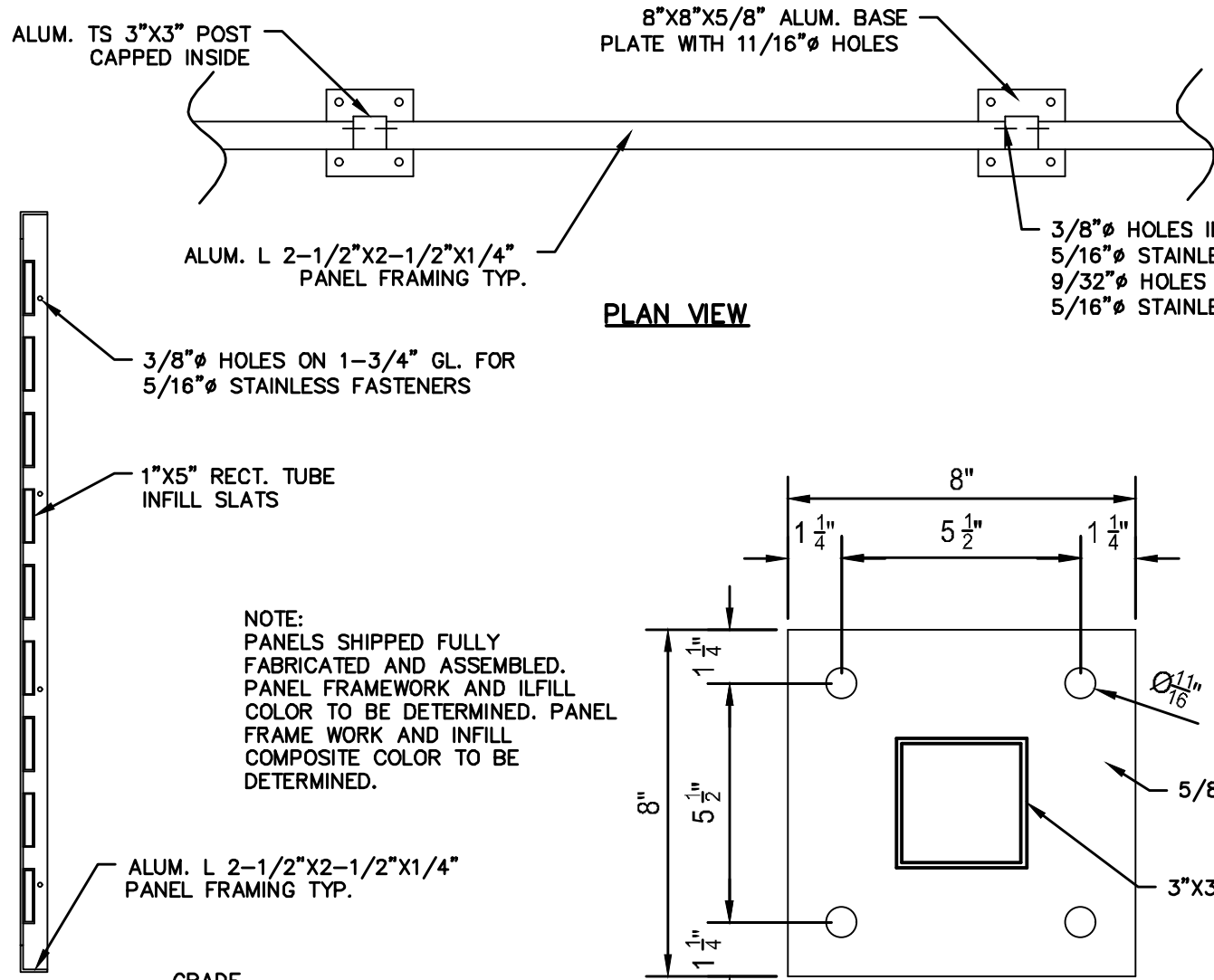


GATE

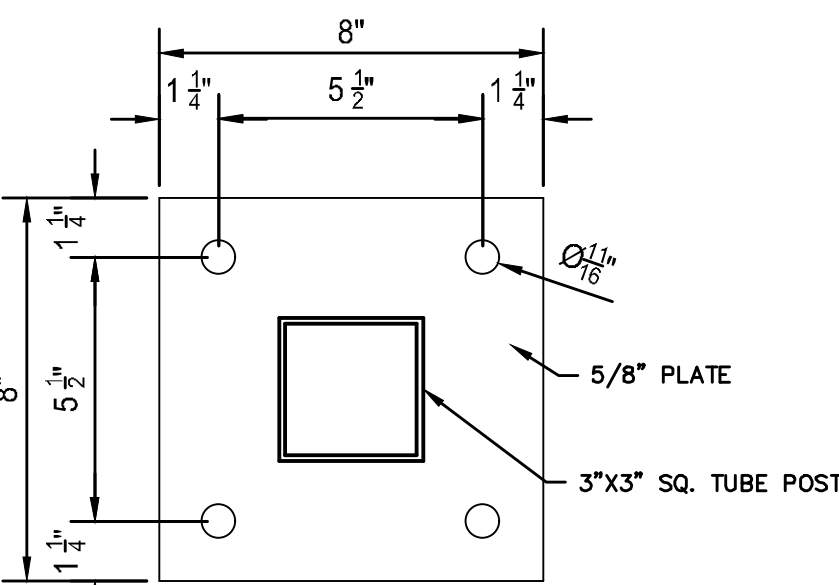


DUMPSTER ENCLOSURE DETAIL

NO SCALE



TYPICAL PANEL SECTION



TYPICAL BASE PLATE DETAIL

TYPICAL METAL TURBINE SCREENING DETAIL

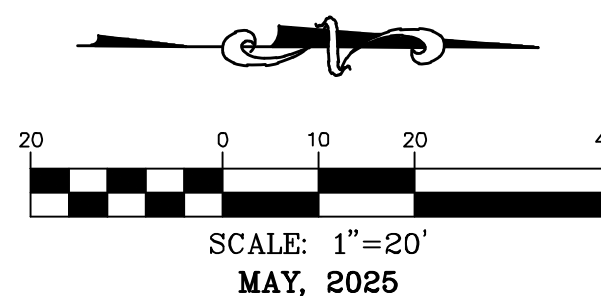
NO SCALE

OWNER:
COLE OB KANSAS CITY MO LLC
OTB ACQUISITION LLC
6820 LBJ FREEWAY
DALLAS, TX 75240

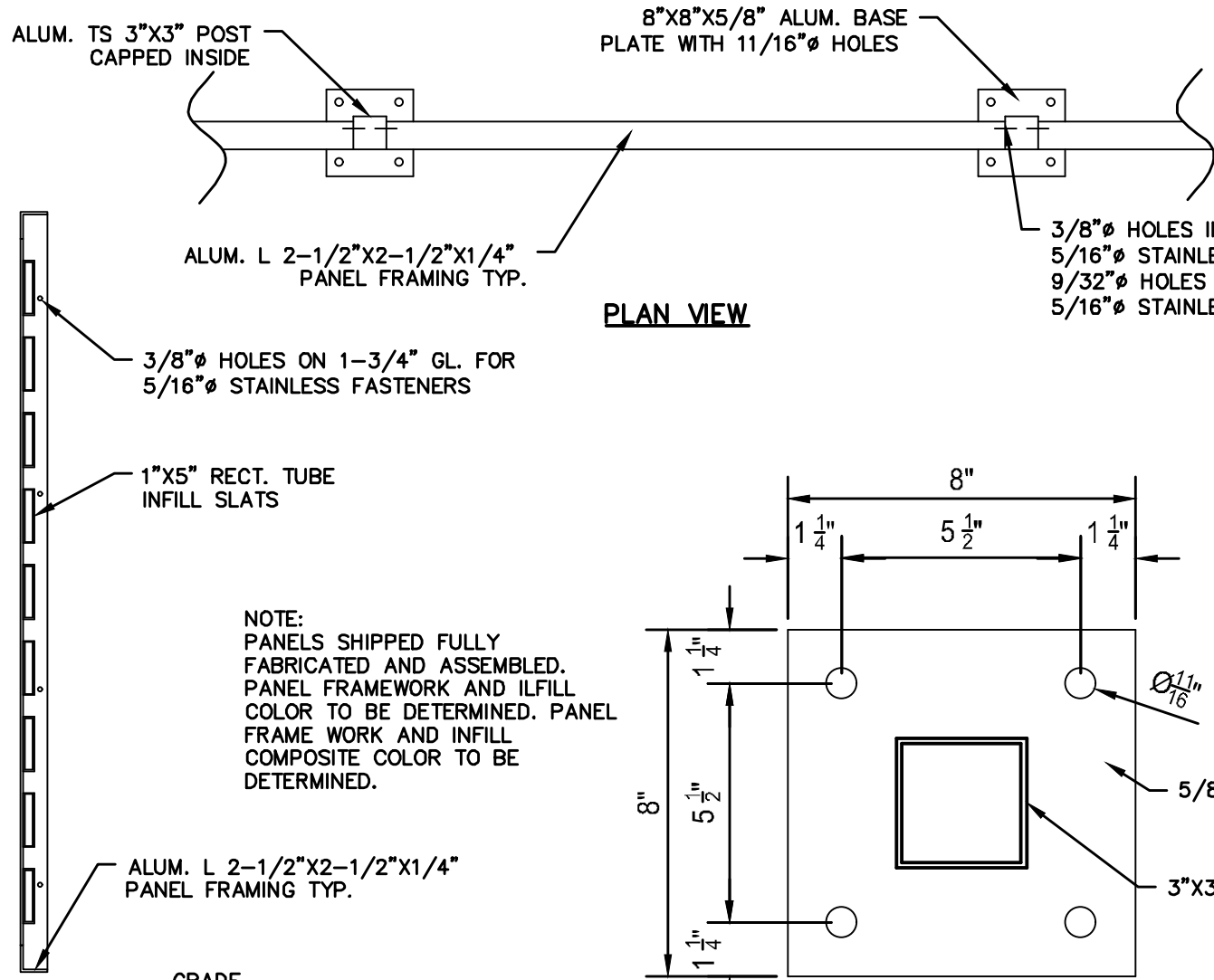
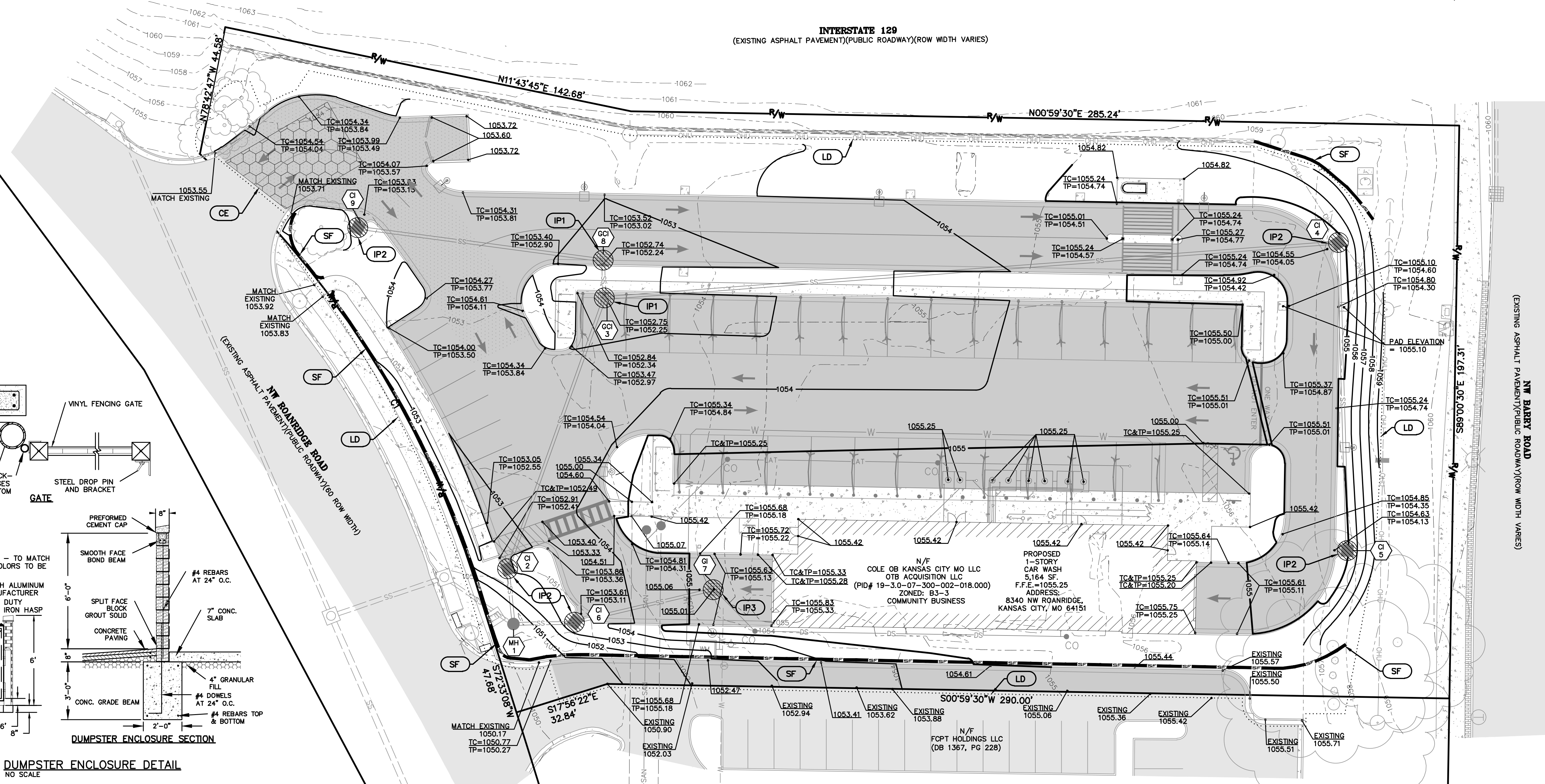
DEVELOPER:
CLUB CARWASH OPERATIONS
1591 PRATHERSVILLE RD.
COLUMBIA, MO 65202

GRADING PLAN

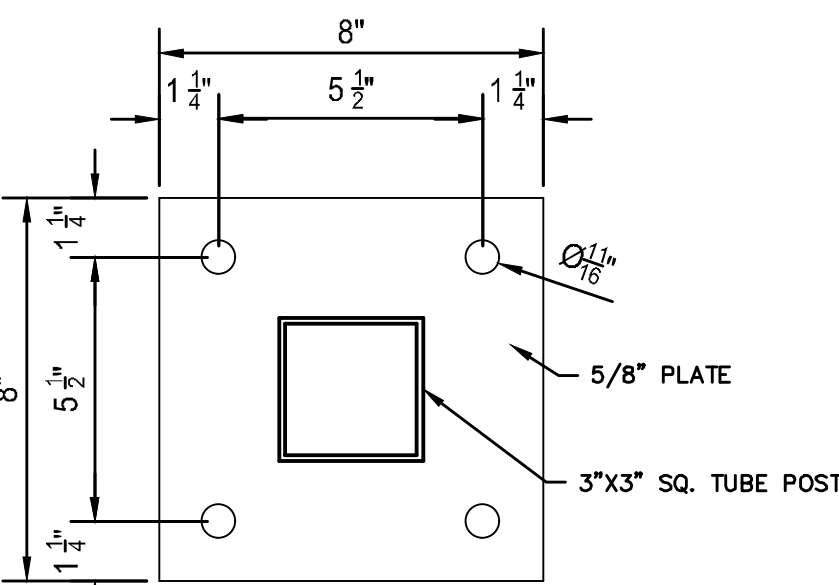
INTERSTATE 129
(EXISTING ASPHALT PAVEMENT)(PUBLIC ROADWAY)(ROW WIDTH VARIES)



SCALE: 1"=20'
MAY, 2025



TYPICAL PANEL SECTION



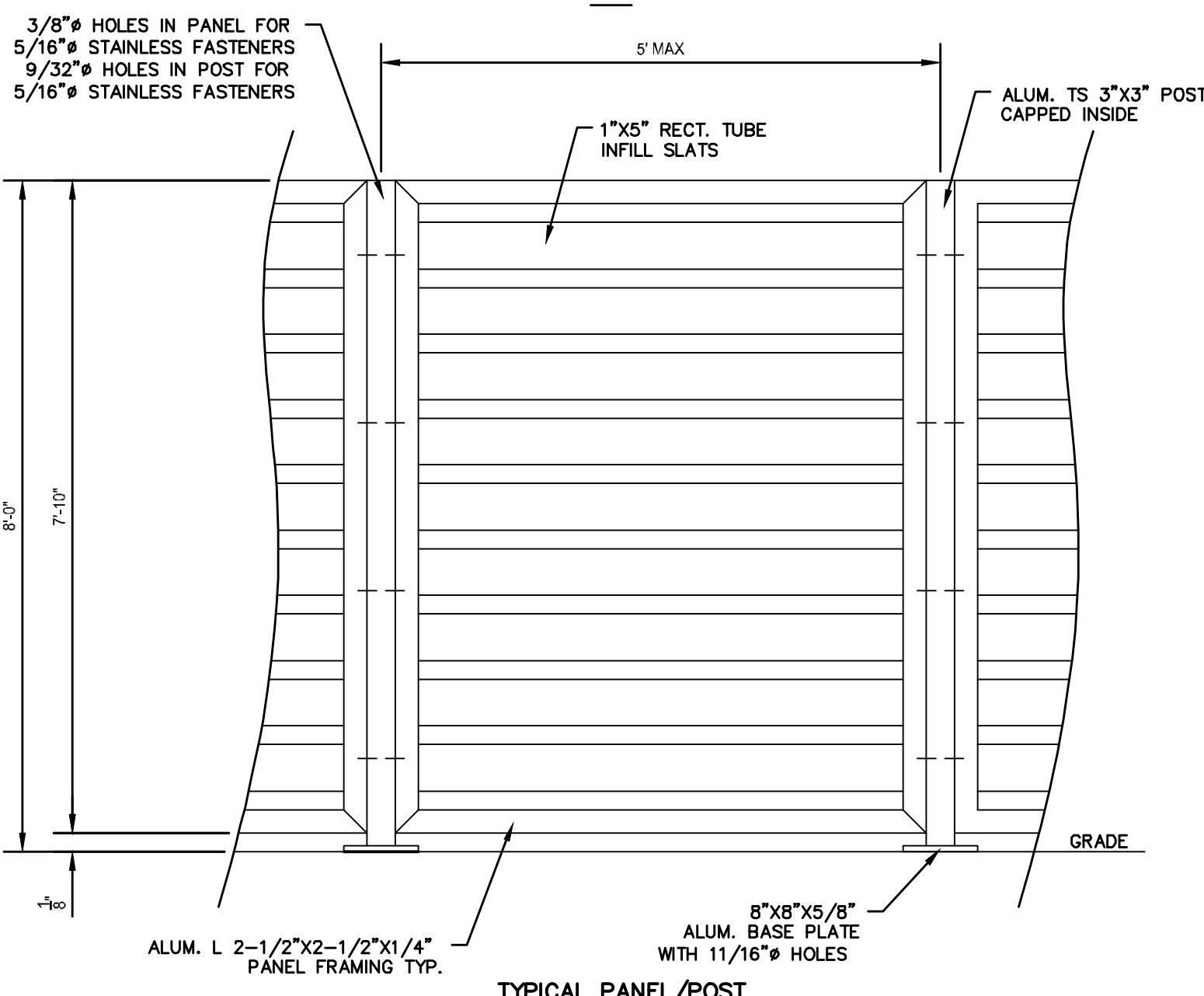
TYPICAL BASE PLATE DETAIL

TYPICAL METAL TURBINE SCREENING DETAIL

NO SCALE

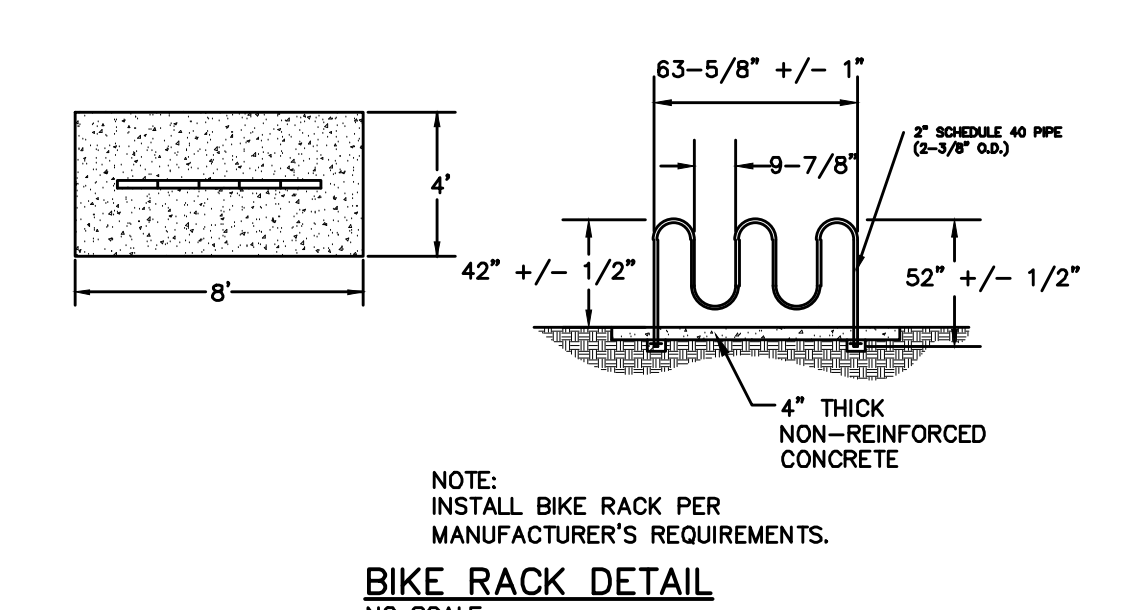
OWNER:
COLE OB KANSAS CITY MO LLC
OTB ACQUISITION LLC
6820 LBJ FREEWAY
DALLAS, TX 75240

DEVELOPER:
CLUB CARWASH OPERATIONS
1591 PRATHERSVILLE RD.
COLUMBIA, MO 65202



TYPICAL PANEL/POST

SOIL EROSION/SEDIMENTATION CONTROL OPERATION TIME SCHEDULE										
NOTE: GENERAL CONTRACTOR TO COMPLETE TABLE WITH THEIR SPECIFIC PROJECT SCHEDULE										
CONSTRUCTION SEQUENCE	OCT.	NOV.	DEC.	JAN.	FEB.	MAR.	APR.	MAY	JUN.	JUL.
TEMPORARY CONTROL MEASURES										
ROUGH GRADE / SEDIMENT CONTROL										
PERMANENT CONTROL MEASURES										
SEED AND FINAL STABILIZATION										



BIKE RACK DETAIL

NO SCALE

NOTE: ALL TRUCKS SHOULD BE WASHED DOWN BEFORE LEAVING SITE.

NOTE: PROVIDE CITY WITH A COPY OF GRADING COMPACTION TEST RESULTS.

NOTE: ALL SPOT ELEVATIONS SHOWN ON THIS PLAN ARE TOP OF PAVEMENT UNLESS OTHERWISE NOTED.

SITE DISTURBANCE
TOTAL SITE AREA = 1.74 AC.
DISTURBED AREA = 1.53 AC.

GRADING QUANTITY:

CUT - 1,191 CY.
FILL - 578 CY.

NOTE: THESE QUANTITIES ARE RAW NUMBERS. THE CONTRACTOR SHALL NOT USE THESE NUMBERS AS THEIR BID QUANTITIES. THE CONTRACTOR SHALL DETERMINE THEIR OWN QUANTITIES.

CALL OR CLICK 3 DAYS BEFORE YOU DIG!
1-800-DIG-RITE OR 811
www.motcall.com

636-332-4574 (tel.)
636-327-0760 (fax)
westmo@ochran.com

North Office
8 East Main Street
Wentzville, Missouri 63385

• Civil Engineering
• Land Surveying
• Architecture
• Site Development
• General Consulting
• Master Planning

Missouri State Certificate
of Authority Number:
20100004618

Two working days prior to
the start of any excavation
call 1-800-DIG-RITE for
utility location information.

All OSHA rules & regulations
must be followed by these
plans and be strictly followed
(ie. trenching, blasting, etc.)

ERIC SCOTT
KIRCHNER
E-2001004618
9/3/2025

ERIC S. KIRCHNER
E-2001004618

DEVELOPMENT/ PROJECT PLAN
CLUB CARWASH
KANSAS CITY MISSOURI

GRADING PLAN

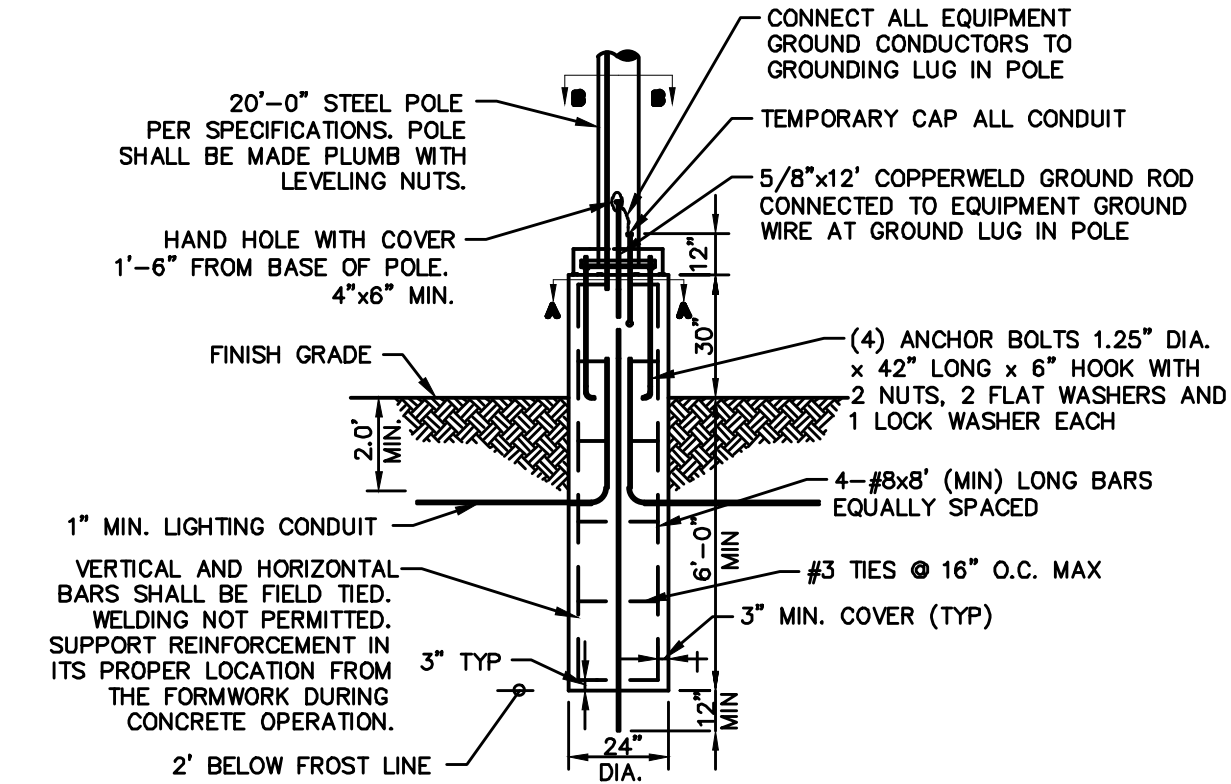
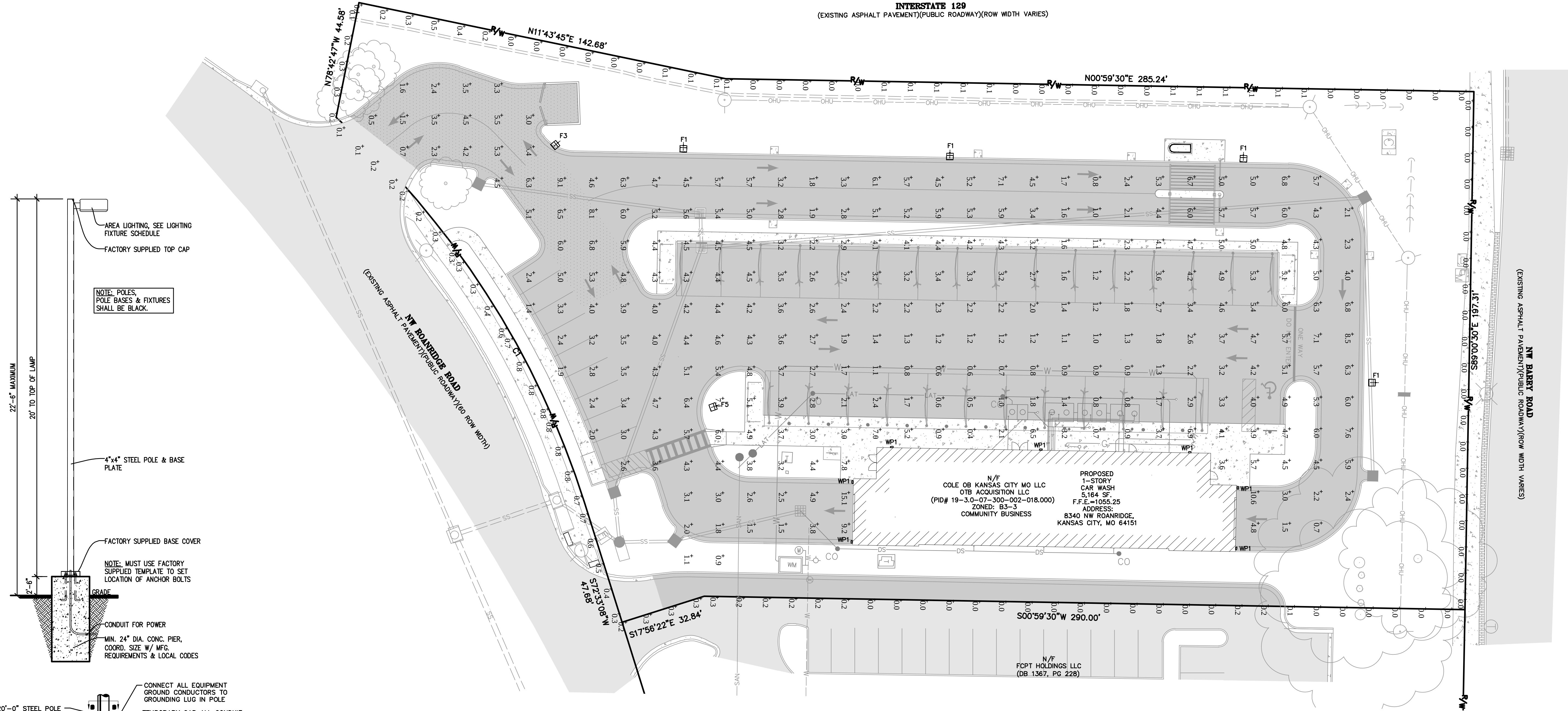
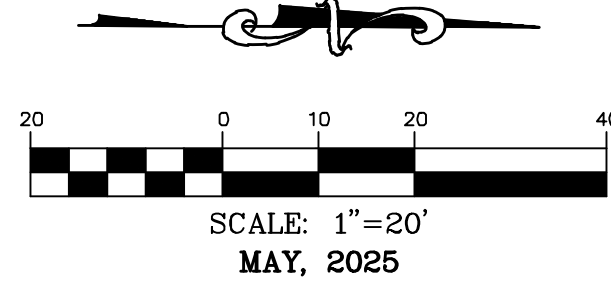
REV.	DATE	BY	APPD. BY	REVISION
1	06/11/25	KAF	ESK	PER CITY COMMENTS
2	09/03/25	EBB	ESK	PER CITY COMMENTS

DATE: MAY, 2025
SCALE: 1:20
PROJ. NO.: M24-8896A
DWG. NO.: 4 OF 6

DWG NAME: J:\2024\W24-8896 - COW 8340 NW Roanridge, Kansas City, MO\W24-8896A 5-PHOTOMETRICS PLAN PRELIM.dwg LAYOUT TAB: 5 OF 6 PHOTOMETRICS PLAN PLOTTED ON: Sep 03, 2025 - 10:24am PLOTTED BY: ebuller

C1
RADIUS=330.00'
ARC LENGTH=176.80'
CHORD BEARING=S57°12'13"W
CHORD LENGTH=174.70'

PHOTOMETRICS PLAN



Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
PROPERTY LINE	Illuminance	Fc	0.15	0.8	0.0	N.A.
SITE	Illuminance	Fc	3.74	15.1	0.4	9.4

Luminaire Schedule							
Symbol	Qty	Label	Arrangement	LLF	Lum. Watts	Total Watts	Description
	4	F1	Single	0.912	321	1284	GALN-SA6C-740-U-T4FT-HSS
	1	F3	Single	0.912	213	213	GALN-SA4C-740-U-SL3-HSS
	1	F5	Single	0.912	269	269	GALN-SA5C-740-U-5MQ
	7	WP1	Single	0.900	37.7	263.9	XTOR4B-W

OWNER:
COLE OB KANSAS CITY MO LLC
OTB ACQUISITION LLC
6820 LBJ FREEWAY
DALLAS, TX 75240

DEVELOPER:
CLUB CARWASH OPERATIONS
1591 PRATHERSVILLE RD.
COLUMBIA, MO 65202

CALL OR CLICK 3 DAYS BEFORE YOU DIG!
MISSOURI ONE CALL SYSTEM
1-800-DIG-RITE OR 811
www.motcall.com

636-332-4574 (tel.)
636-327-0760 (fax)
westmo@ochran.com

North Office
8 East Main Street
Wentzville, Missouri 63385

• Civil Engineering
• Land Surveying
• Architecture
• Site Development
• General Consulting
• Master Planning

Missouri State Certificate
of Authority Numbers:
2010000046

Two working days prior to
the start of any excavation
call 1-800-DIG-RITE for
utility location information.

All OSHA rules & regulations
must be followed. All safety
plans and be strictly followed
(ie. trenching, blasting, etc.)

ERIC SCOTT
KIRCHNER
E-2001004618

ERIC S. KIRCHNER
E-2001004618

DEVELOPMENT/ PROJECT PLAN
CLUB CARWASH
KANSAS CITY MISSOURI

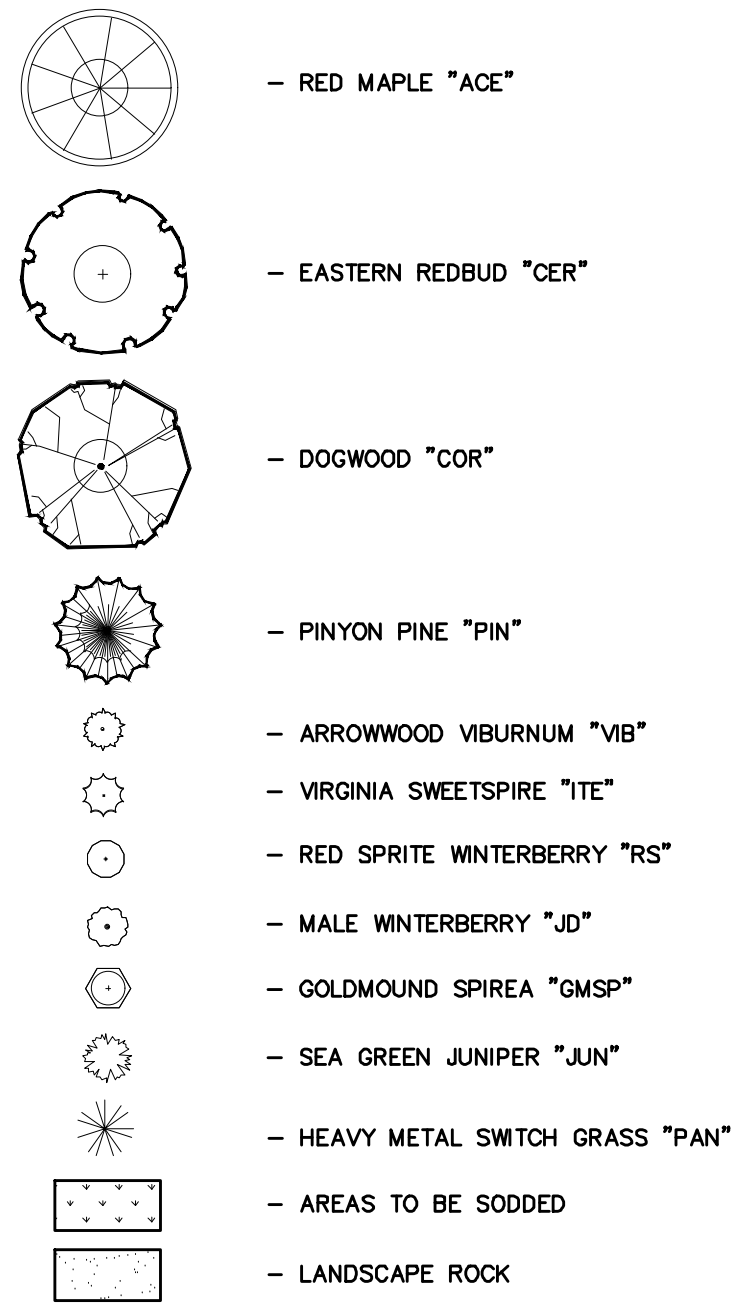
PHOTOMETRICS PLAN

DATE:	06/11/25	PER CITY COMMENTS	
DWN. BY:	KAF	APPR. BY:	ESK
DATE:	MAY, 2025		
SCALE:	1:20		
PROJ. NO.:	M24-8896A		
DWG. NO.:	5 OF 6		

DWG NAME: J:\2024\W24-8896 - COW 8340 NW Roanridge, Kansas City, MO\W24-8896A\ENGINEERING\AUTOCAD DRAWINGS\02_Preliminary\W24-8896A 6 LANDSCAPE PLAN PRELIM.dwg LAYOUT TAB: 6 OF 6 LANDSCAPE PLAN PLOTTED ON: Sep 03, 2025 - 10:24am PLOTTED BY: ebuller

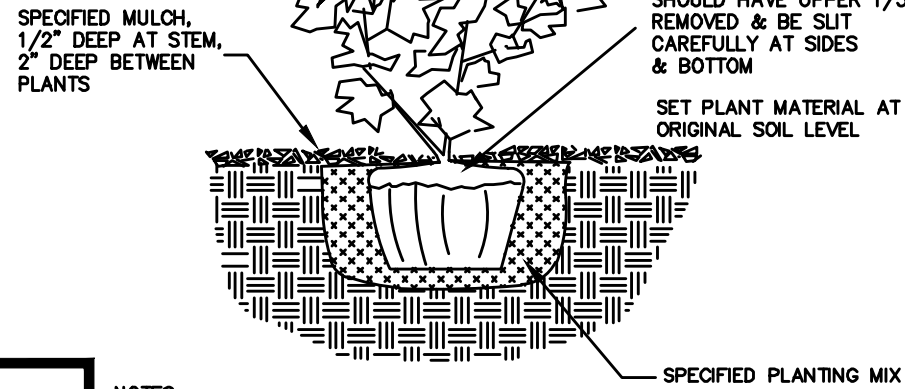
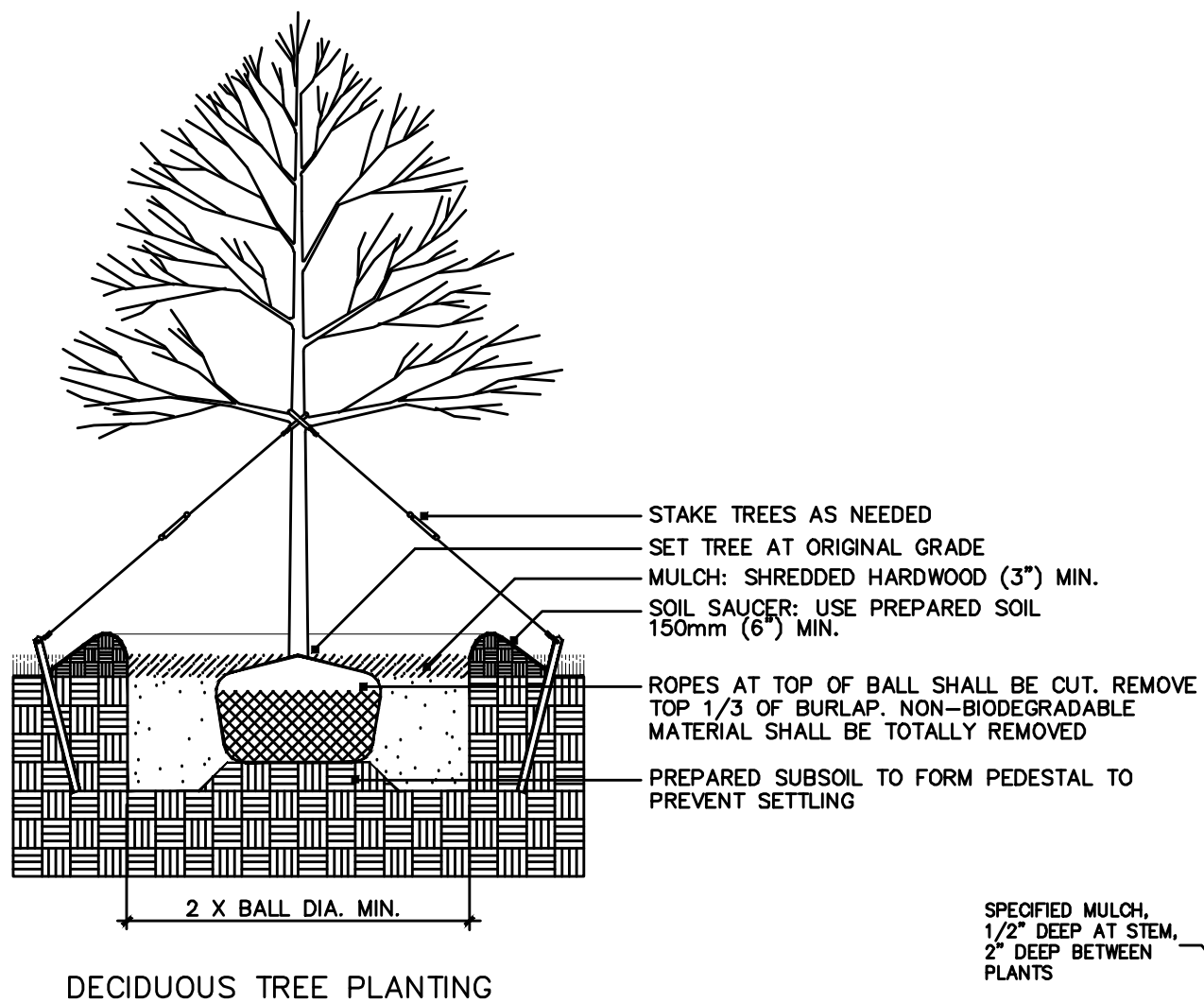
C1
RADIUS=330.00'
ARC LENGTH=178.80'
CHORD BEARING= S57°12'13"W
CHORD LENGTH=174.70'

LANDSCAPE LEGEND



NOTES:

- CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES. PLANT QUANTITIES ON PLANS PREVAIL OVER THOSE LISTED IN PLANT LIST.
- CONTRACTOR SHALL VERIFY SITE CONDITIONS, INCLUDING UNDERGROUND UTILITIES PRIOR TO START OF WORK. REPORT TO OWNER'S REPRESENTATIVE ANY CONDITION THAT MAY AFFECT CONTRACT. CONTRACTOR SHALL REPAIR ANY DAMAGE TO SITE ELEMENTS DUE TO CONTRACTOR'S ACTIVITY AT NO EXTRA COST TO OWNER.
- CONTRACTOR SHALL COORDINATE SCHEDULE AND INSTALLATION OF LANDSCAPING WITH THE OWNER'S REPRESENTATIVE.
- MULCH ENTIRE SHRUB PLANTING AREAS WITH 3" DEPTH OF SHREDDED BARK MULCH. ALL SHRUBS BEDS IN LAWN AREAS TO HAVE SPADE CUT EDGE. PROVIDE 4" DIA. MULCH RING AROUND ALL NEW TREES WITH MIN. 3" DEPTH OF SHREDDED BARK MULCH. GROUND COVER BEDS TO RECEIVE MIN. 2" DEPTH OF SHREDDED BARK MULCH.
- FORMAL LINES AND GROUPINGS OF A SPECIES OF TREE SHALL BE MATCHED FOR SIZE AND FORM.
- CONTRACTOR SHALL COORDINATE SCHEDULE AND STAKING/LOCATION OF BED EDGES WITH IRRIGATION CONTRACTOR.
- ALL DISTURBED AREAS SHALL BE SODDED.
- ALL SEEDED AREAS ON SLOPES OF 3:1 OR GREATER SHALL HAVE EROSION CONTROL BLANKETS AS SPECIFIED.

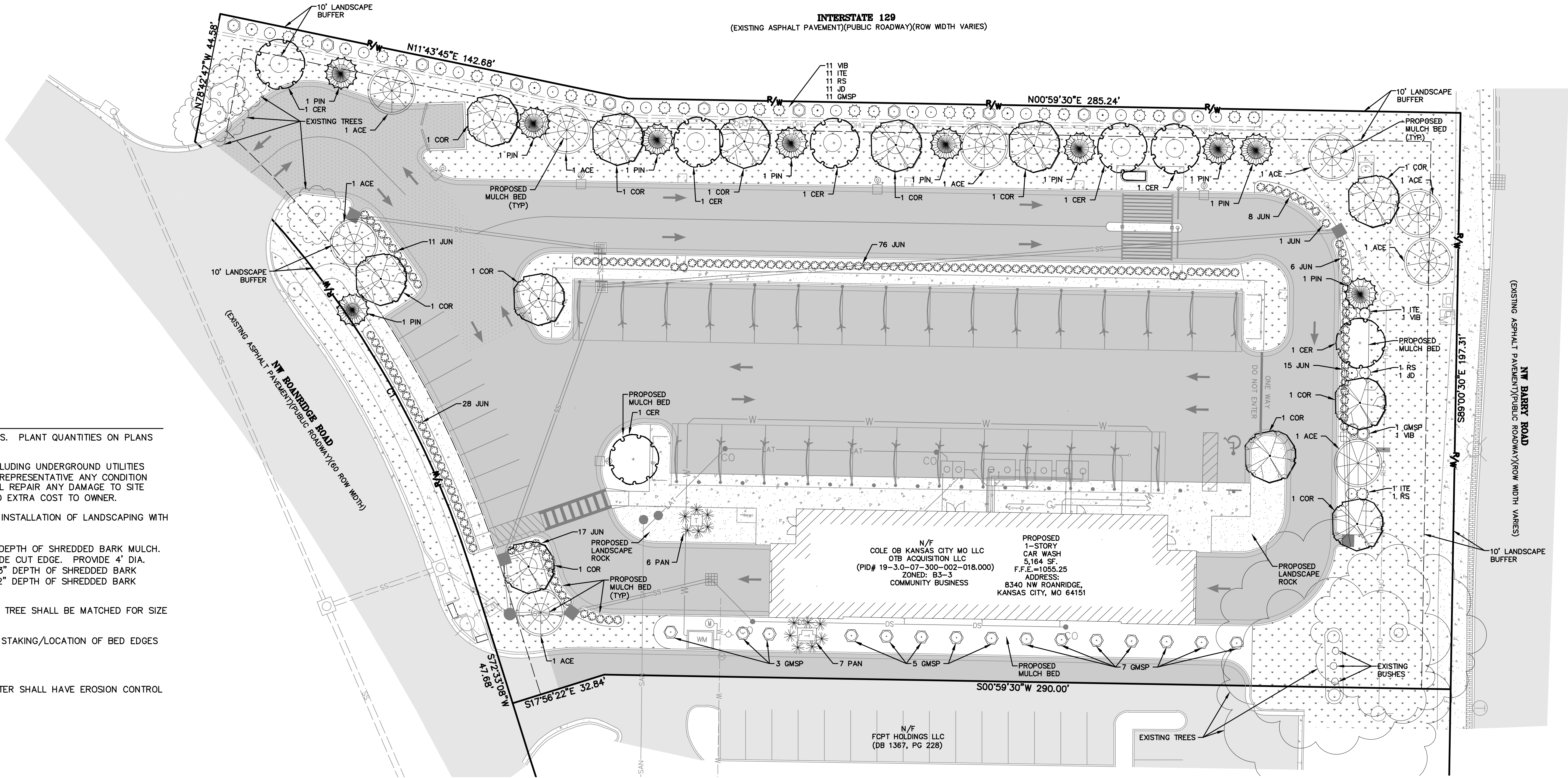


- NOTES:
- WATER THOROUGHLY FOLLOWING PLANTING.
 - SIZE OF HOLE REQUIRED VARIES WITH CONTAINER SIZE, BUT MUST BE LARGER THAN CONTAINER ON ALL SIDES AND BOTTOM.
 - AVOID DAMAGE TO ROOT STRUCTURE IN HANDLING & PLANTING.

OWNER:
COLE OB KANSAS CITY MO LLC
OTB ACQUISITION LLC
6820 LBJ FREEWAY
DALLAS, TX 75240

DEVELOPER:
CLUB CARWASH OPERATIONS
1591 PRATHERSVILLE RD.
COLUMBIA, MO 65202

LANDSCAPE PLAN



LANDSCAPE CALCULATIONS

REQUIREMENT	EX. ZONING	PR. ZONING	GROSS AREA (AC.)	BUILDING SF	TOTAL # OF PARKING SPACES	LONG-TERM BICYCLE STALLS REQUIRED			SHORT-TERM BICYCLE STALLS REQUIRED			VEHICULAR PARKING FRONTING PUBLIC STREET R/W (LF)		(1) STREET TREES FOR VEHICULAR USE PERIMETER LANDSCAPING	(2) VEHICULAR USE PERIMETER LANDSCAPING ADJACENT TO PUBLIC STREET	(2) PROVIDED VEHICULAR USE SCREENING SHRUBS	(3A) PARKING LOT INTERIOR LANDSCAPED AREA SF	(3B) PARKING LOT INTERIOR TREES	(3C) PARKING LOT INTERIOR SHRUBS	(4) GENERAL LANDSCAPING TREES
						RATIO	REQUIRED	PROVIDED	RATIO	REQUIRED	PROVIDED									
	AG-R B3-3	B3-3	1.74	5,164	10	1+1 PER 10,000 SF	2	2	10% OF VEHICULAR (MIN.3)	3	3	893	REQUIRED PROVIDED	SEE TABLE BELOW SEE TABLE BELOW	10' WIDE BUFFER 10' WIDE MIN.	161	350 3,047	2 2	11 15	1 1

PUBLIC STREET R/W CALCULATIONS FOR STREET TREES

LF	REQUIRED	EXISTING	PROVIDED
893	30	7	35

PLANT SCHEDULE

QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	TYPE
TREES					
9	Acer Rubrum	Red Maple	2.0 IN	AS SHOWN	B&B
7	Cercis canadensis	Eastern Red Bud	2.0 IN	AS SHOWN	B&B
12	Cornus Sanguinea	Dogwood	2.0 IN	AS SHOWN	B&B
10	Pinus Edulis	Pinyon Pine	1.5 IN	AS SHOWN	B&B
SHRUBS					
161	Juniperus chinensis "Sea Green"	Sea Green Juniper	7 GAL	AS SHOWN	CONT
27	Spirea Japonica	Golddmound Spirea	5 GAL	AS SHOWN	CONT
12	Ilex Verticillata "Jim Dandy"	Male Winterberry	5 GAL	AS SHOWN	CONT
13	Ilex Verticillata "Red Sprite"	Red Sprite Winterberry	5 GAL	AS SHOWN	CONT
13	Itea Virginica	Virginia Sweetspire	5 GAL	AS SHOWN	CONT
12	Viburnum Dentatum	Arrowwood Viburnum	5 GAL	AS SHOWN	CONT
13	Panicum Virgatum "Heavy Metal"	Heavy Metal Switch Grass	1 GAL	AS SHOWN	CONT

NOTE:
ALL DISTURBED AREAS TO BE SODDED.

NOTE:
ALL LANDSCAPING AND SCREENING MATERIAL MUST MEET OR EXCEED QUALITY STANDARDS OF AMERICAN ASSOCIATION OF NURSERYMEN AND THE KANSAS CITY NURSERY AND LANDSCAPE ASSOCIATION.

NOTE:
ROCK MULCH SHALL BE 2" TO 3" RIVER ROCK AND SHALL HAVE A WEED BARRIER FABRIC INSTALLED UNDER THE ROCK.

NOTE:
ALL MULCH SHALL BE BLACK IN COLOR.

NOTE:
ALL MULCH SHALL BE SINGLE SHRED (COURSE) MULCH. DOUBLE SHRED MULCH WILL NOT BE ACCEPTED.

NOTE:
ALL SOD TO BE TALL FESCUE.

NOTE:
THE SEA GREEN JUNIPER EVERGREENS SHALL BE PLANTED IN A MANNER TO CREATE A HEDGEROW. LANDSCAPE INSTALLER SHALL INSURE THESE SHRUBS CREATE A HEDGEROW AND SHALL BE 36" IN HEIGHT AT THE TIME OF INSTALLATION.

LANDSCAPE REQUIREMENTS DESCRIPTIONS
1) VEHICULAR USES ADJACENT PUBLIC R/W SHALL BE PLANTED WITH 1 TREE PER 30 LF OF STREET FRONTAGE.
2) VEHICULAR USES ADJACENT PUBLIC R/W, A MINIMUM WIDTH OF 10' PLANTED BUFFER WITH AN EVERGREEN CONTINUOUS VISUAL SCREEN 3' HT. MINIMUM AFTER FIRST GROWING SEASON.

3A) 35 SF OF LANDSCAPE AREA PER PARKING SPACE.

3B) 1 TREE PER 5 PARKING.

3C) 1 SHRUB PER PARKING SPACE.

4) 1 TREE PER 5,000 SF OF BUILDING.

CALL OR CLICK 3 DAYS BEFORE YOU DIG!
1-800-DIG-RITE OR 811
www.motcall.com

636-332-4574 (tel.)
636-327-0760 (fax)
westmo@cochrane.com
North Office
8 East Main Street
Wentzville, Missouri 63385
• Civil Engineering
• Land Surveying
• Architecture
• Site Development
• General Consulting
• Master Planning

Missouri State Certificate
of Authority Numbers:
2010000046

Two working days prior to
the start of any excavation
call 1-800-DIG-RITE for
utility location information.
All OSHA rules & regulations
must be followed during
construction required by these
plans and be strictly followed
(ie. trenching, blasting, etc.)

ERIC SCOTT
KIRCHNER
E-2001004618
9/3/2025
ERIC S. KIRCHNER
E-2001004618

DEVELOPMENT/ PROJECT PLAN
CLUB CARWASH
KANSAS CITY MISSOURI

REV.	DATE	APPRO. BY	ESK	ESK
1	06/11/25	KAF	ESK	ESK
2	09/03/25	KAF	ESK	ESK
3				
4				
5				
6				
7				
8				
9				
10				
11				
12				
13				
14				
15				
16				
17				

LANDSCAPE PLAN

DATE: MAY, 2025

SCALE: 1:20

PROJ. NO: M24-8896A

DWG. NO:

6 OF 6