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LIMEVIEW DEVELOPMENT

NEW HOME

9130 MCGEE-A
KANSAS CITY, MO 64114

OWNER

**LIMEVIEW DEVELOPMENT & EBA
CONSTRUCTION LLC**

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KANSAS CITY, MO 64112

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09/18/2020

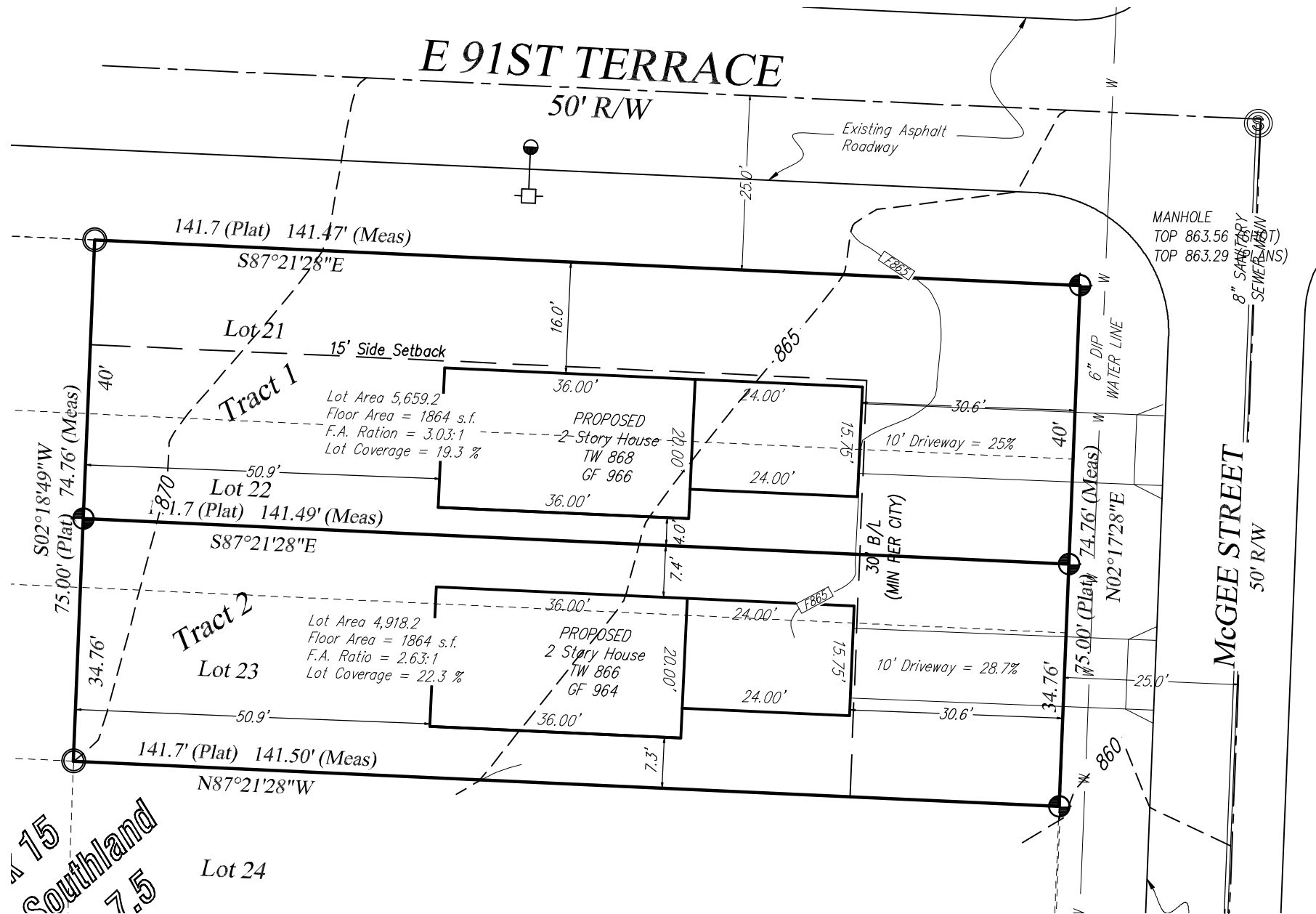
LIMEVIEW DEVELOPMENT

NEW HOME
9130 MCGEE-A, KANSAS CITY, MO 64114

NO.	ISSUE/REVISION	DATE
1	PLAN REVIEW	09/18/2020

COVER SHEET
G000

[illegible]



15
Southland
7.5

LEGEND

- SBT 1/2" BAR MOPLS # 2445
- FOUND 3/8" BAR unless otherwise noted
- FIRE HYDRANT
- WATER VALVE
- WATER METER
- LIGHT POLE
- PP = POWER POLE
- FENCE

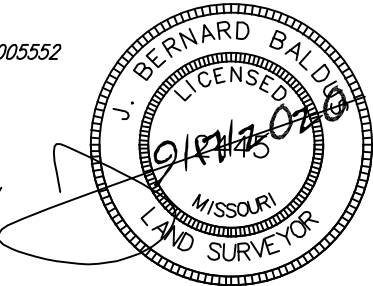
Basis of Bearings: State Plane Coordinates

LAND SURVEY COMPANY
A DIVISION OF MIGAR ENTERPRISES, INC.
C OF A LICENSE NO. LS-000224
Quality since 1959
P.O. BOX 528 GRANDVIEW, MISSOURI 64030
PHONE: (816)966-0839 FAX: (816)763-1761

Lots 24-26
ANNA L. SHELTON
SPECIAL WARRANTY DEED #2015E0005552



SCALE: 1" = 20'
DATE: 4/9/2020

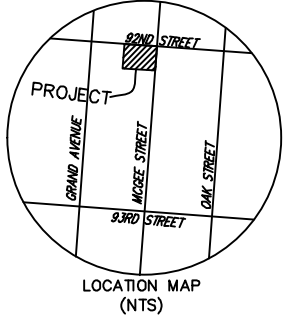


J. Bernard Baldus MOPLS-2445
LAND SURVEY COMPANY
A DIVISION OF MIGAR ENTERPRISES, INC.

I HEREBY CERTIFY: that this Certificate of Survey is based on an actual survey made by me or under my direct supervision and that said survey meets or exceeds the current Minimum Standards for Property Boundary Surveys established by the Department of Natural Resources Division of Geology and Land Survey of the State of Missouri. I further certify that I have complied with all statutes, ordinances and regulations governing the practice of surveying and the platting of subdivisions to the best of my professional information, knowledge and belief.

Development Plan

(A Replat of Lots 21, 22 and 23, Block 15, Moore's Southland Addition, a Subdivision in the City of Kansas City, Jackson County, Missouri.)
(Section 29, Township 48, Range 35)



ORDERED BY: EBA CONSTRUCTION, LLC

PROPERTY ADDRESS: 9130 McGee Street, Kansas City, MO
LOT DESCRIPTIONS:

TRACT 1: THE NORTH 40 FEET OF LOT 21, AND 22, Block 15, MOORE'S SOUTHLAND ADDITION, a subdivision in Kansas City, Jackson County, Missouri.

TRACT 2: ALL OF LOTS 21, 22 AND 23, EXCEPT THE NORTH 40 FEET, Block 15, MOORE'S SOUTHLAND ADDITION, a subdivision in Kansas City, Jackson County, Missouri.

SUBDIVISION AREA: 10,577 S.F. 3 lots 3,525.6 per lot.

IN TESTIMONY WHEREOF, the undersigned proprietor Limeview Development, LLC, a Delaware limited liability company as Owner of Parent Tracts described herein has hereunto set their hand this _____ day of _____, 20____.

Emil Preston - Owner

STATE OF MISSOURI)
COUNTY OF JACKSON)SS

BE IT REMEMBERED that on this _____ day of _____, 20____, before me, a Notary Public in and for said County and State, came Emil Preston, who is personally known to be the same person who executed the foregoing instrument of writing and duly acknowledged the execution of the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed by Notarial Seal in my Office the day and year last above written.

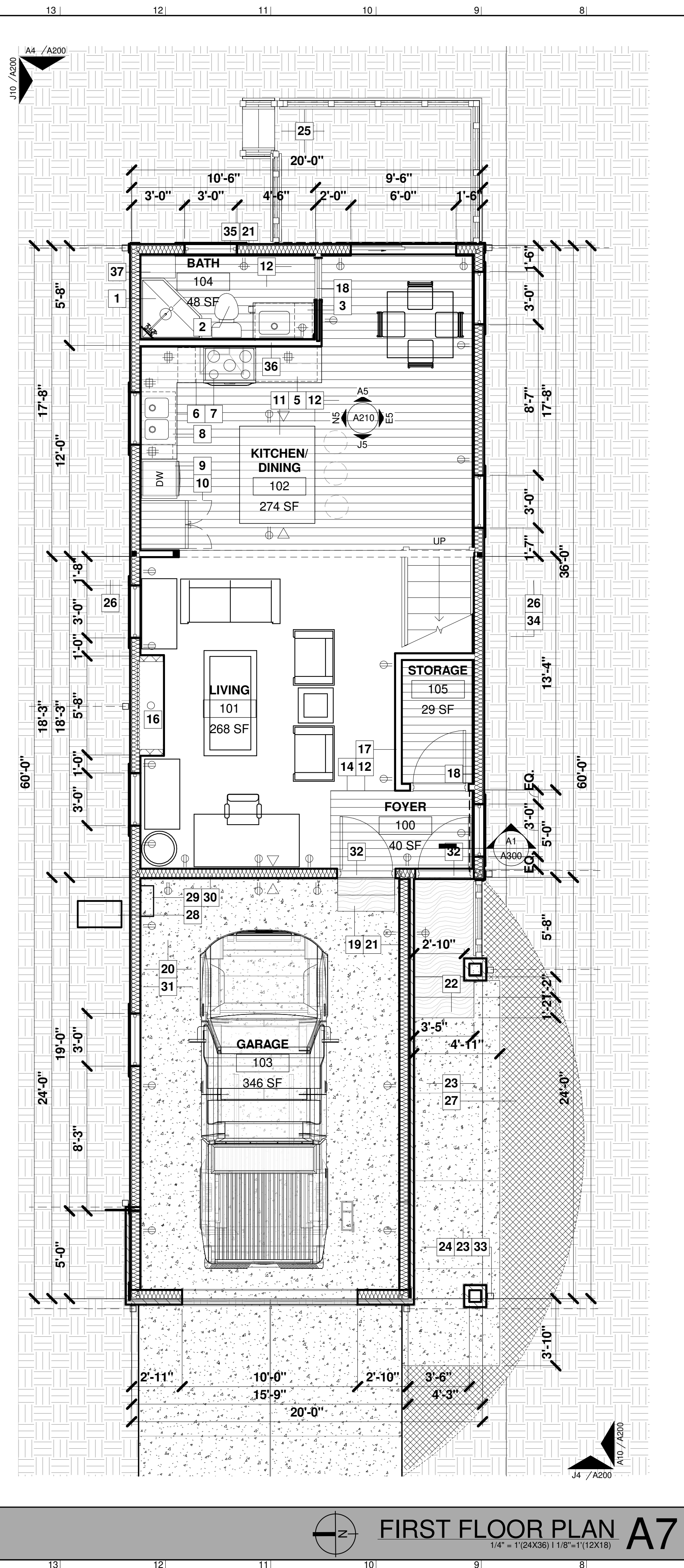
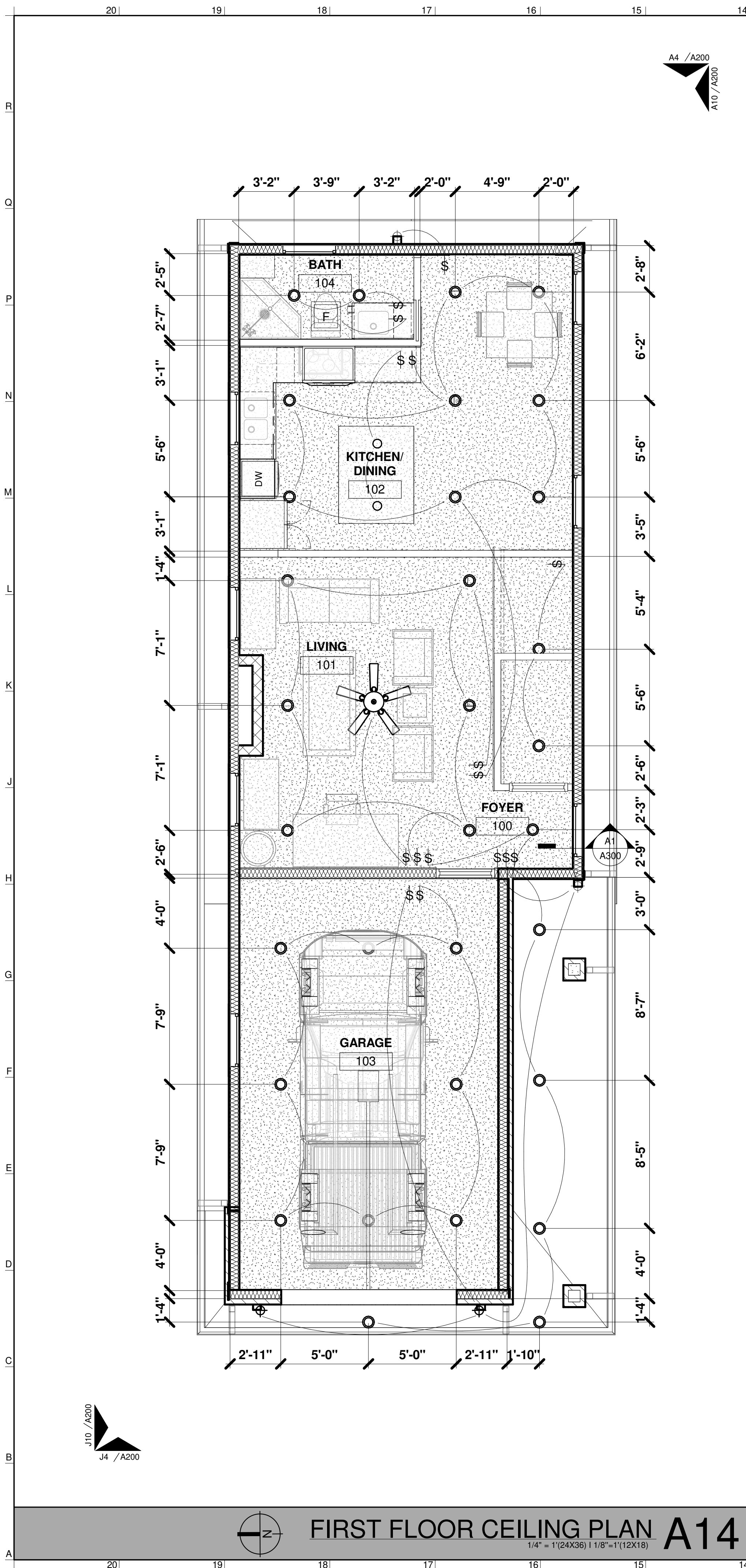
Notary Public

My commission Expires: _____

City of Kansas City, Missouri
City Planning and Development Department,
Pursuant to the authority granted to me in Section 88-535-05 of the Zoning and Development Code, I hereby approve this minor subdivision plat.

Date: _____ CLDMS-2019-00050
Joseph Rexwinkle, AICP Manager,
Development Management Division,
On behalf of Jeffrey Williams,
Director of City Planning and Development

Marilyn Sanders
City Clerk (City Seal)



- ALL INTERIOR DIMENSIONS TAKEN FROM EDGE OF FRAMING TO EDGE OF FRAMING AND/OR DOOR OR WINDOW OPENINGS U.N.O.
- PROVIDE 2X FRTW BLOCKING IN WALL AND CEILING FRAMING FOR ATTACHMENT OF ALL TOILET ACCESSORIES, CABINETS, AND COUNTERTOP SUPPORTS; ELECTRICAL, TELEPHONE, SECURITY PANELS, AND WALL MOUNTED FIRE EXTINGUISHERS; SHELVING AND ALL OTHER EQUIPMENT REQUIRING SECURE ATTACHMENT TO THE WALL. IN ADDITION, PROVIDE BLOCKING FOR ALL OWNER FURNISHED ITEMS.
- VERIFY REQUIREMENTS OF ALL OWNER FURNISHED ITEMS WITH OWNER BEFORE PROCEEDING WITH WORK.
- SEAL ALL PENETRATIONS THROUGH FIRE-RATED SEPARATION WALLS AND CEILINGS WITH FIRE-RATED SEALANT.
- CONTRACTOR MUST EXAMINE THE CONDITIONS UNDER WHICH THE WORK WILL BE INSTALLED AND REPORT TO THE ARCHITECT IN WRITING ANY CONDITIONS DETRIMENTAL TO THE PROPER AND TIMELY EXECUTION OF THAT WORK. DO NOT PROCEED UNTIL UNSATISFACTORY CONDITIONS ARE CORRECTED. COMMENCING WITH WORK SHALL CONSTITUTE ACCEPTANCE OF THE SUBSTRATE AND/OR CONDITIONS.
- PATCH, LEVEL, AND PREPARE ALL EXISTING SURFACES TO RECEIVE NEW FINISHES AND/OR CONSTRUCTION.
- CONTRACTOR TO PROVIDE DUST PROOF BARRIERS, AS APPROPRIATE, TO ISOLATE CONSTRUCTION AREAS FROM AREAS WITH NO WORK. TEMPORARY PARTITIONS/BARRIERS TO BE CONSTRUCTED TO CEILING/STRUCTURE ABOVE TO MAINTAIN EXISTING SECURITY, MECHANICAL, FIRE- AND LIFE-SAFETY REQUIREMENTS FOR BUILDING OCCUPANTS.
- EXTEND ALL DEMISING WALLS TO STRUCTURE ABOVE.
- ENSURE COMPLIANCE WITH SECTION 308 OF THE IRC FOR SAFETY GLAZING.

GENERAL NOTES N1

ROOM SQUARE FOOTAGE & FINISH CHART							
ROOM #	ROOM NAME	S.F.	FLOOR	BASE	WALL	CLNG	DOOR
100	FOYER	40	LVT	WD-STAIN	PNT	GW/B / K.D.	3'-0"x6'-8" WD
101	LIVING	268	CPT	WD-STAIN	PNT	GW/B / K.D.	
102	KITCHEN/ DINING	274	LVT	WD-STAIN	PNT	GW/B / K.D.	6'-0"x6'-8" GLASS/ WD - SLIDER
103	GARAGE	346	CONC.	WD	PNT	GW/B / K.D.	3'-0"x6'-8" WD - 20 MIN. RATING
104	BATH	48	LVT	WD-STAIN	PNT	GW/B / K.D.	10'-0"x7'-0" - INSULATED ROLL-UP
105	STORAGE	29	LVT	WD-STAIN	PNT	GW/B / K.D.	2'-6"x6'-8" WD - POCKET
200	HALL	72	CPT	WD-STAIN	PNT	GW/B / K.D.	3'-0"x6'-8" WD
201	R.R.	62	LVT	WD-STAIN	PNT	GW/B / K.D.	2'-6"x6'-8" WD
202	LAUNDRY	23	LVT	WD	PNT	GW/B / K.D.	4'-0"x6'-8" WD - BI FOLD
203	BEDRM ENTRY	19	CPT	WD-STAIN	PNT	GW/B / K.D.	2'-6"x6'-8" WD
204	BEDRM #1	112	CPT	WD-STAIN	PNT	GW/B / K.D.	2'-6"x6'-8" WD - BI-FOLD
205	CLOSET #1	9	CPT	WD-STAIN	PNT	GW/B / K.D.	2'-6"x6'-8" WD
206	BEDRM #2	112	CPT	WD-STAIN	PNT	GW/B / K.D.	2'-6"x6'-8" WD
207	CLOSET #2	11	CPT	WD-STAIN	PNT	GW/B / K.D.	2'-6"x6'-8" WD - BI-FOLD
208	M BEDRM	252	CT-P	WD	PNT	GW/B / K.D.	3'-0"x6'-8" WD
209	M CLOSET	39	CT-P	WD-STAIN	PNT	GW/B / K.D.	2'-6"x6'-8" WD
210	M VANITY	51	LVT	WD-STAIN	PNT	GW/B / K.D.	4'-0"x6'-8" WD - SLIDING
211	M WC	24	LVT	WD-STAIN	PNT	GW/B / K.D.	2'-6"x6'-8" WD - POCKET
212	M BATH	39	LVT	WD-STAIN	PNT	GW/B / K.D.	2'-6"x6'-8" WD - POCKET
TOTAL SQUARE FEET		1,830					

LVT = LAMINATE VINYL TILE PNT = PAINT
SC= SEALED CONC. CPT = ROLL STYLE CARPET.
GW/B/ KO = GYP. WALL BRD./ KNOCK DOWN

ROOM SF & DOORS/ FINISH CHART J1

- | | |
|---|---|
| 1 PREFABRICATED CORNER TYPE SHOWER WITH GLASS SURROUND. | 25 FRAMED REAR DECK, STEPS AND RAILING. |
| 2 TANK-TYPE TOILET. | 26 AREA AROUND HOUSE TO BE SEEDED AFTER CONSTRUCTION. |
| 3 FREE-STANDING STYLE CASEWORK W/ COUNTERTOP. (WITH INTEGRAL SINK AND FAUCETS WHERE SHOWN). | 27 MULCHED PLANTING AREA. |
| 4 FURNITURE BY OWNER. NIC. | 28 MINI-SPLIT CONDENSING UNIT. |
| 5 TALL PANTRY STYLE CASEWORK. STYLE AND COLOR BY CLIENT. | 29 INSTANTANEOUS-STYLE WATER HEATER. |
| 6 LOWER KITCHEN CASEWORK. STYLE AND COLOR BY CLIENT. | 30 1 HOUR RATED WALL. UL DESIGN U305 OR APPROVED EQUAL. |
| 7 OVEN/ RANGE. STYLE AND COLOR BY CLIENT. | 31 CEILING OVER GARAGE TO BE 1 HR RATED GYP BD CONSTRUCTION. |
| 8 COUNTRY STYLE DOUBLE SINK, WITH FAUCET AND SPRAYER SET. | 32 DOORS BETWEEN GARAGE AND LIVING SPACE TO BE 20 MIN. RATED, SOLID, WEATHER RESISTANT AND SELF CLOSING. |
| 9 UNDERCOUNTER DISHWASHER. STYLE AND COLOR BY CLIENT. | 33 DOWNSPOUTS TO BE ROUTED UNDERGROUND TO DAY-LIGHT LOW LAND SPILLWAYS. |
| 10 REFRIGERATOR WITH ICE MAKER. STYLE AND COLOR BY CLIENT. | 34 ROOF LINE ABOVE. |
| 11 ISLAND CASEWORK WITH SEATING AREA. STYLE AND COLOR BY CLIENT. | 35 TYPICAL 36" x 48" DOUBLE HUNG WINDOW. 6'-8" HEAD HT. |
| 12 PLANK-STYLE LVL FLOORING. STYLE AND COLOR BY CLIENT. | 36 3' x 4' FRAMELESS MIRROR. |
| 13 CARPET. STYLE AND COLOR BY CLIENT. | 37 16" x 24" x 5' PANTRY CABINET. |
| 14 FLOORING TRANSITION TRIM. | 38 TOILET TISSUE DISPENSER. |
| 15 WOOD STAIRS AND RAILING. | 39 TOWEL BAR. |
| 16 DIRECT VENT GAS FIREPLACE AND MANTEL CASEWORK. | 40 TILED SHOWER WITH BUILT-IN SHELVES. |
| 17 2X4'S AT 16" OC WITH 1/2" GYP. BD. EACH SIDE. WALL TO HAVE WOOD BASE. PAINT WALL AND BASE. | 41 MASTER CLOSET STYLE SHELVING AND RODS. |
| 18 INTERIOR, SOLID-WOOD DOOR. STYLE AND COLOR BY CLIENT. | 42 WASHER/DRYER BY OWNER. NIC. PROVIDE IN-WALL DRYER |
| 19 2X WOOD STAIRS INTO GARAGE. | 43 VENTING AND HOT & COLD WATER SUPPLY. |
| 20 SEALED CONCRETE GARAGE FLOOR. SLOPE TO ENTRANCE. | 44 WOOD SHELVING WITH CLOTHES ROD. BUILT-IN WINDOW SEAT WITH STORAGE. |
| 21 EXTERIOR WALL CONSTRUCTION: 1/2" GYP. BD, 6-MIL. POLYETHYLENE PLASTIC VAPOR BARRIER, 2X6 STUDS WITH R-19 BATT INSULATION, EXTERIOR WOOD SHEATHING AND EXTERIOR SIDING. | 45 COMPOSITE SHINGLES OVER ROOFERS FELT, ICE AND WATER SHIELD AND WOOD SHEATHING. FLASH AS REQUIRED. |
| 22 FRAMED ENTRANCE PORCH, STEPS AND RAILING. 4" REINFORCED CONCRETE SIDEWALK, EDGED WITH | 46 PRE-FINISHED METAL GUTTER AND DOWNSPOUTS. PROVIDE DOWNSPOUT SCREENS. |
| 23 MEDIUM-BROOMED FINISH. 4" REINFORCED CONCRETE DRIVE, EDGED WITH MEDIUM- | 47 COMPOSITE SHINGLES OVER ROOFERS FELT, ICE AND WATER SHIELD AND WOOD SHEATHING. FLASH AS REQUIRED. |
| 24 BROOMED FINISH. | 48 ICE & WATER SHIELD TO BE APPLIED AT ALL EDGES, VALLEYS, RIDGES, AND ROOF/WALL INTERSECTIONS. PREFINISHED METAL RAKE EDGE TRIM. |
| | 49 |
| | 50 DESIGNATED EGRESS WINDOW. MUST COMPLY WITH ALL REQUIREMENTS OF SECTION 310 OF THE IRC. |

NOTES A1

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09/18/2020

LIMEVIEW DEVELOPMENT

NEW HOME

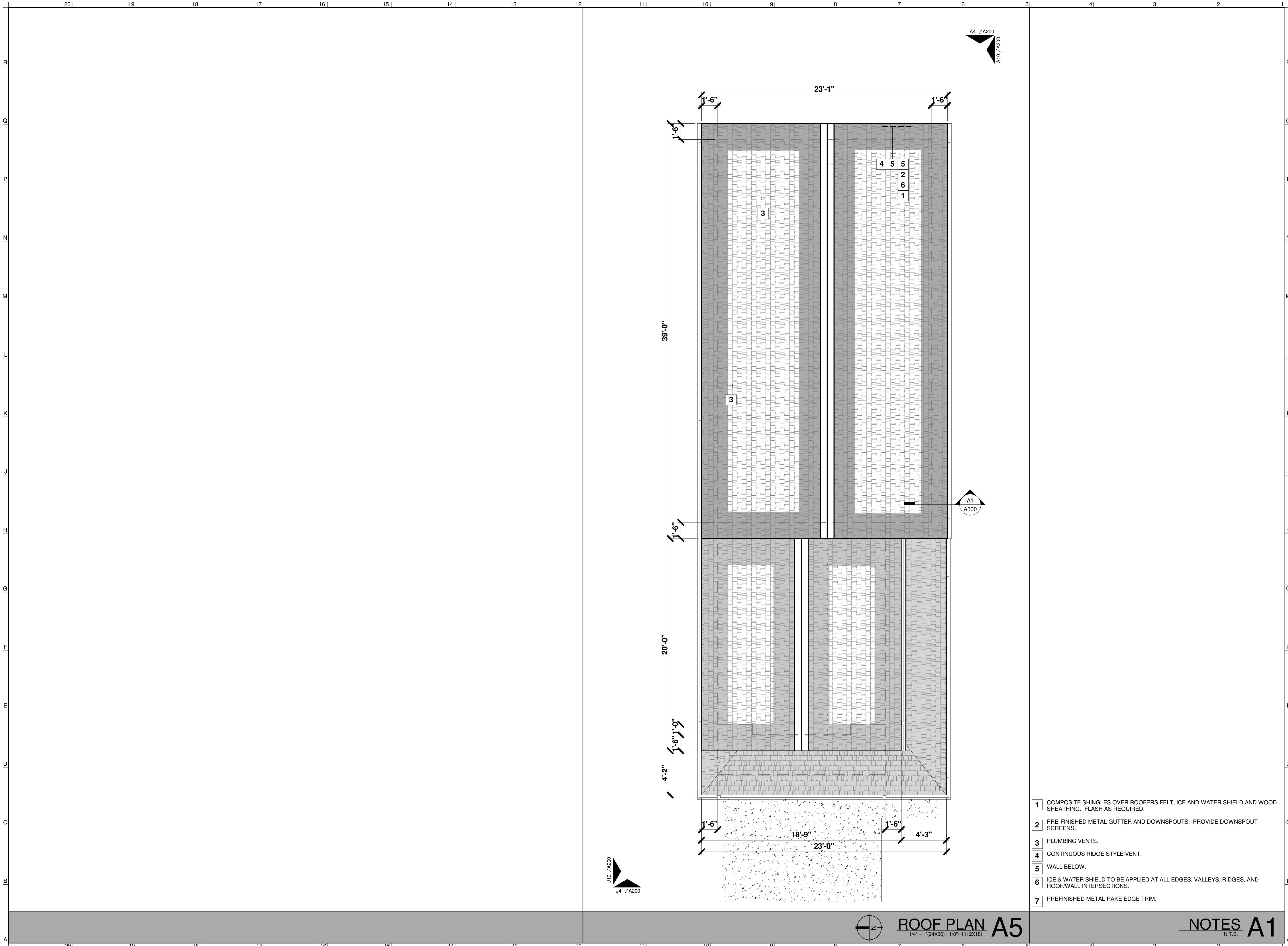
9130 MOGEE A, KANSAS CITY, MO 64114

NO.	ISSUE/REVISION	DATE
1	PLAN REVIEW	09/18/2020

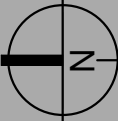
1ST FLR PLANS

A100

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- 1 COMPOSITE SHINGLES OVER ROOFERS FELT, ICE AND WATER SHIELD AND WOOD SHEATHING. FLASH AS REQUIRED.
- 2 PRE-FINISHED METAL GUTTER AND DOWNSPOUTS. PROVIDE DOWNSPOUT SCREENS.
- 3 PLUMBING VENTS.
- 4 CONTINUOUS RIDGE STYLE VENT.
- 5 WALL BELOW.
- 6 ICE & WATER SHIELD TO BE APPLIED AT ALL EDGES, VALLEYS, RIDGES, AND ROOF/WALL INTERSECTIONS.
- 7 PREFINISHED METAL RAKE EDGE TRIM.



ROOF PLAN A5

1/4" = 1'(24X36) 1/8"=1'(12X18)

NOTES A1

N.T.S.

JCA

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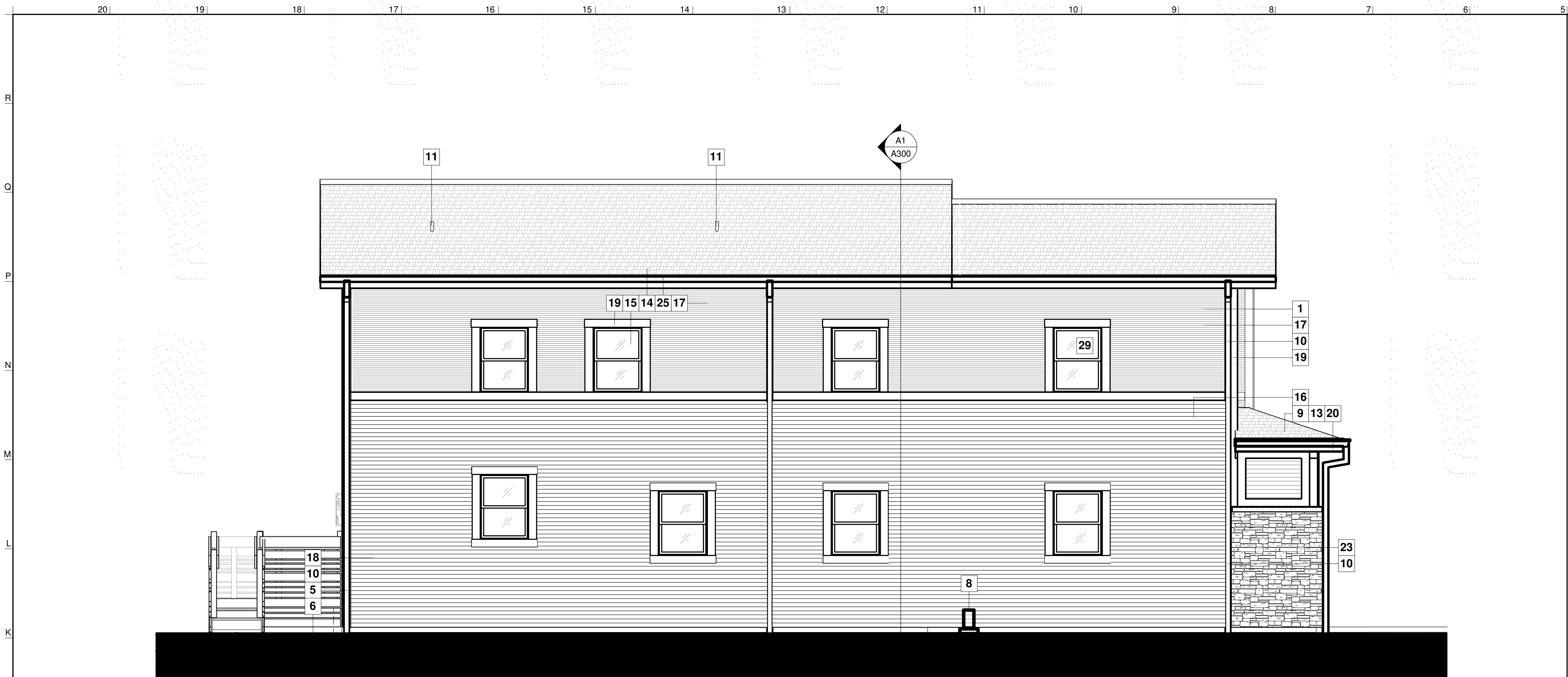
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ROOF PLAN

A102



NORTH ELEVATION J5
1/4" = 1'(24X36) 1/8" = 1'(12X18)



SOUTH ELEVATION A5
1/4" = 1'(24X36) 1/8" = 1'(12X18)

- EXTERIOR WALL CONSTRUCTION: 1/2" GYP. BD, 6-MIL POLYETHYLENE PLASTIC VAPOR BARRIER, 2X6 STUDS WITH R-19 BATT INSULATION, EXTERIOR WOOD SHEATHING AND EXTERIOR SIDING.
- FRAMED ENTRANCE PORCH, STEPS AND RAILING.
- 4" REINFORCED CONCRETE SIDEWALK, EDGED WITH MEDIUM-BROOMED FINISH.
- 4" REINFORCED CONCRETE DRIVE, EDGED WITH MEDIUM-BROOMED FINISH. SLOPE UP TO GARAGE FLOOR.
- FRAMED REAR DECK, STEPS AND RAILING.
- AREA AROUND HOUSE TO BE SEEDED AFTER CONSTRUCTION.
- MULCHED PLANTING AREA.
- MINI-SPLIT CONDENSING UNIT ON CONCRETE PAD.
- COMPOSITE SHINGLES OVER ROOFERS FELT, ICE AND WATER SHIELD AND WOOD SHEATHING. FLASH AS REQUIRED.
- PRE-FINISHED METAL GUTTER AND DOWNSPOUTS. PROVIDE DOWNSPOUT SCREENS.
- PLUMBING VENTS.
- CONTINUOUS RIDGE STYLE VENT.
- ICE & WATER SHIELD TO BE APPLIED AT ALL EDGES, VALLEYS, RIDGES, AND ROOFWALL INTERSECTIONS.
- PREFINISHED METAL RAKE EDGE TRIM.
- 36"X48" DOUBLE-HUNG STYLE WINDOWS.
- 8" HORIZONTAL STYLE SIDING.
- 4" HORIZONTAL STYLE SIDING.
- EXTERIOR-GRADE COMBO SWING/SLIDING DOOR.
- 5/4 TRIM.
- EXTERIOR-GRADE FASCIA.
- PREFINISHED ROOF EDGE TRIM.
- RAKE END DECORATIVE TRIM. AS AN OPTION, THIS CAN BE A RAKE END VENTING, RAINPROOF LOUVER IN LIEU OF CONTINUOUS RIDGE VENTS.
- COUNTRY LEDGESTONE DRYSTACK STYLE FAUX STONE WAINSCOT WITH WATERTABLE SILL.
- 6X6 WOOD STRUCTURAL WOOD POST.
- BOTTOM OPENING, AWNING STYLE WINDOWS.
- SQUARE CRAFTSMAN STYLE WALL SCONCES.
- INSULATED, PREFINISHED OH GARAGE DOOR. PROVIDE WITH GARAGE DOOR OPENER AND ASSOCIATED CONTROLS.
- 48"X30" BOTTOM OPENING, AWNING STYLE WINDOWS.

NOTES A1
N.T.S.



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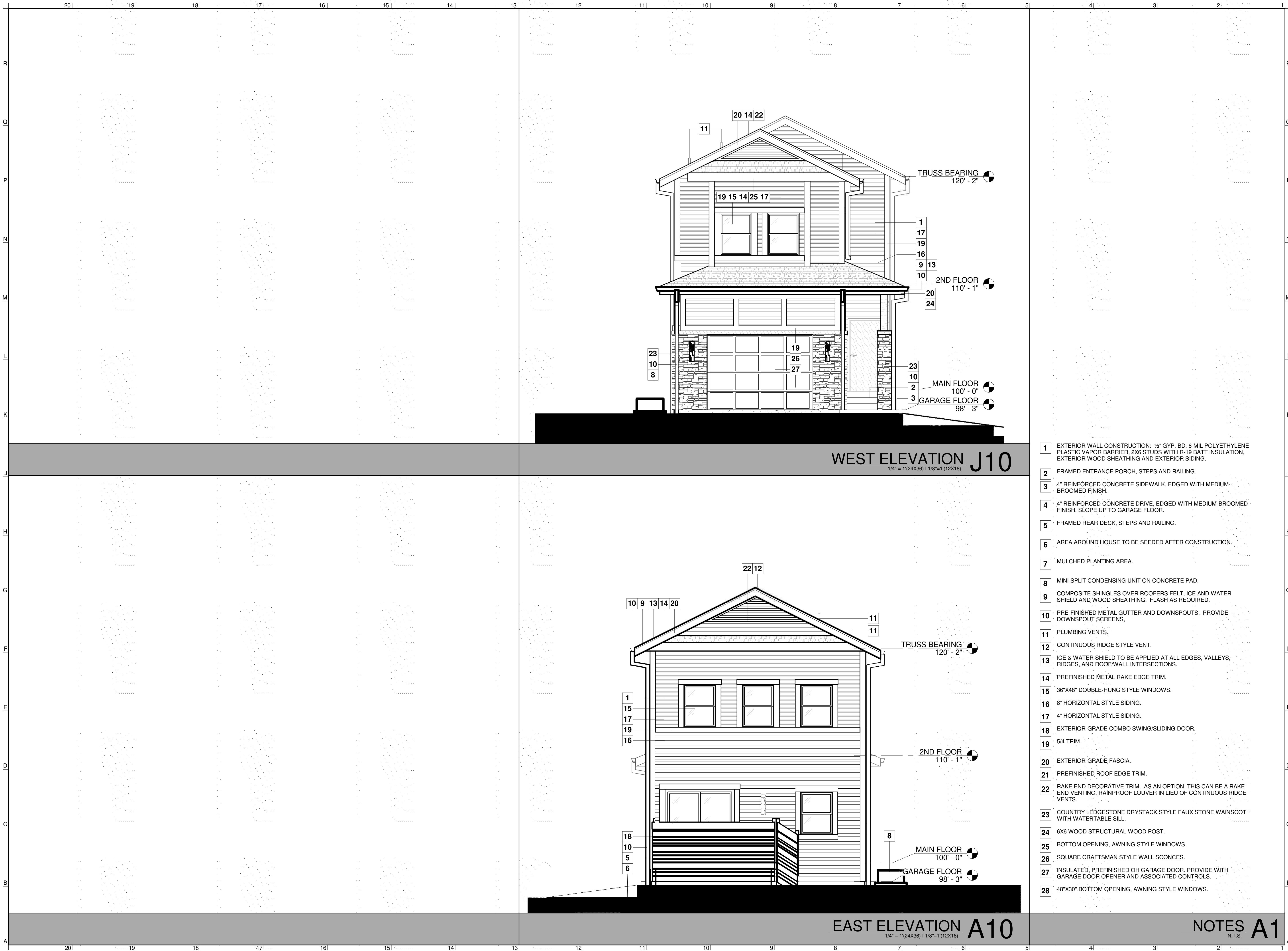


LIMEVIEW DEVELOPMENT
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NO.	ISSUE/REVISION	DATE
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EXT. ELEVATIONS

A200



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EXT. ELEVATIONS
A201
N.T.S.
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- 1 PREFABRICATED CORNER TYPE SHOWER WITH GLASS SURROUND.
- 2 TANK-TYPE TOILET.
- 3 FREE-STANDING STYLE CASEWORK WITH INTEGRAL SINK AND FAUCETS.
- 4 FURNITURE BY OWNER. NIC.
- 5 TALL PANTRY STYLE CASEWORK. STYLE AND COLOR BY CLIENT.
- 6 CABINETS/ CASEWORK & COUNTERTOPS. STYLE AND COLOR BY CLIENT.
- 7 OVEN/RANGE. STYLE AND COLOR BY CLIENT.
- 8 COUNTRY STYLE DOUBLE SINK, WITH FAUCET AND SPRAYER SET.
- 9 UNDERCOUNTER DISHWASHER. STYLE AND COLOR BY CLIENT.
- 10 REFRIGERATOR WITH ICE MAKER. STYLE AND COLOR BY CLIENT.
- 11 ISLAND CASEWORK WITH SEATING AREA. STYLE AND COLOR BY CLIENT.
- 12 PLANK-STYLE LVL FLOORING. STYLE AND COLOR BY CLIENT.
- 13 CARPET. STYLE AND COLOR BY CLIENT.
- 14 FLOORING TRANSITION TRIM.
- 15 WOOD STAIRS AND RAILING.
- 16 FREE-STANDING STYLE ELECTRIC FIREPLACE AND MANTEL CASEWORK.
- 17 2X4'S AT 16" OC WITH 1/2" GYP. BD. EACH SIDE. WALL TO HAVE 6" WOOD BASE. PAINT WALL AND BASE.
- 18 INTERIOR, SOLID-WOOD DOOR. STYLE AND COLOR BY CLIENT.
- 19 2X WOOD STAIRS INTO GARAGE.
- 20 MINI-SPLIT CONDENSING UNIT HEAD.
- 21 INSTANTANEOUS-STYLE WATER HEATER.
- 22 FREEZER. OPCI.
- 23 STAINLESS STEEL RANGE HOOD.
- 24 BOTTOM OPENING, AWNING STYLE WINDOWS.
- 25 EXTERIOR-GRADE COMBO SWING/SLIDING DOOR.
- 26 EXTERIOR WALL CONSTRUCTION: 1/2" GYP. BD, 6-MIL POLYETHYLENE PLASTIC VAPOR BARRIER, 2X6 STUDS WITH R-19 BATT INSULATION, EXTERIOR WOOD SHEATHING AND EXTERIOR SIDING.
- 27 6" WOOD BASE, PAINT/ STAIN.
- 28 3" WOOD TRIM, PAINT/ STAIN.
- 29 QUAD ELECTRICAL OUTLET.
- 30 RANGE HOOD.
- 31 36"x48" DOUBLE-HUNG STYLE WINDOWS. STANDARD HEAD HT. 6'-8".
- 32 UNDER STAIR STORAGE.
- 33 DOUPLEX ELECTRICAL OUTLET.
- 34 LIGHT SWITCH.
- 35 DOORS BETWEEN GARAGE AND LIVING SPACE TO BE 20 MIN. RATED, SOLID, WEATHER RESISTANT AND SELF CLOSING.
- 36 EXTERIOR ENTRY DOOR.
- 37 FRAMELESS MIRROR.
- 38 TOWEL BAR.
- 39 TOILET PAPER DISPENSER.
- 40 36" x 48" DOUBLE-HUNG STYLE WINDOW, RAISED TO HD. HT. OF 7'-8".

ELEVATION NOTES A1

N.T.S.

09/18/2020

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9130 MOGEE-A, KANSAS CITY, MO 64114

NO.	ISSUE/REVISION	DATE
1	PERMIT SET	12.27.19

INT. ELEVATIONS

A210



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09/18/202

LIMEVIEW DEVELOPMENT

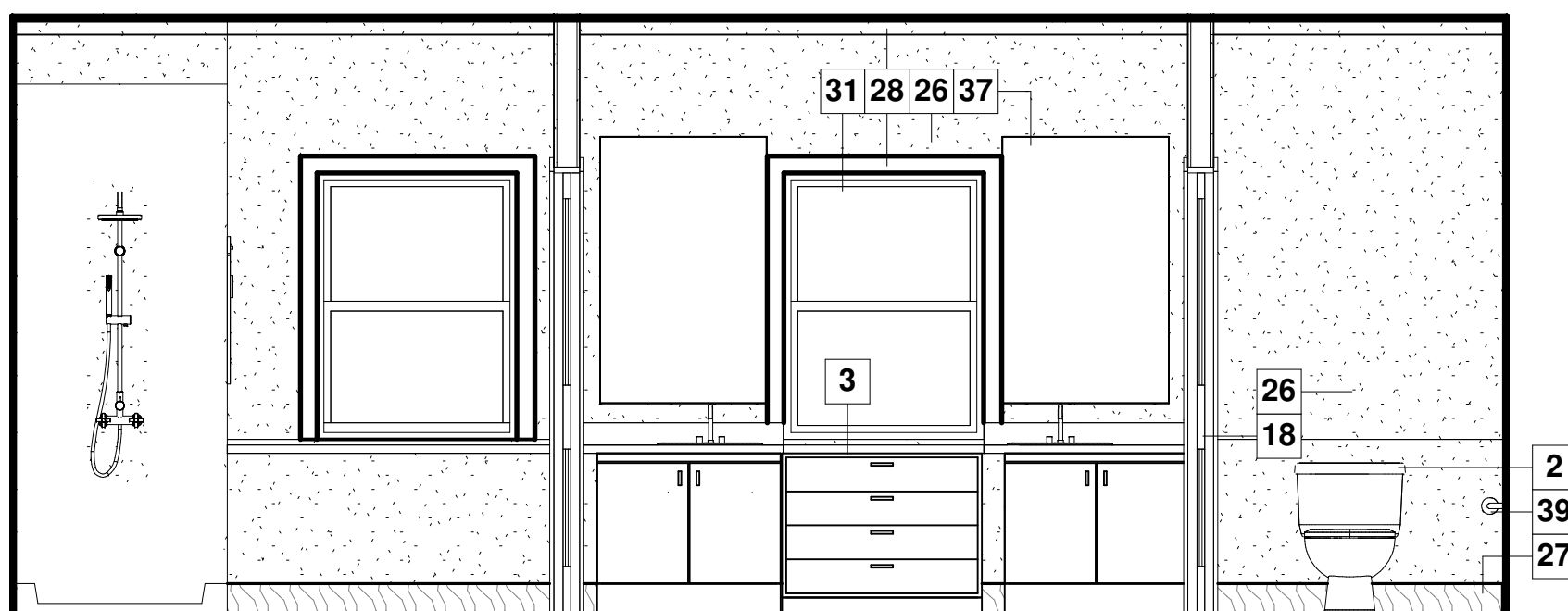
NEW HOME

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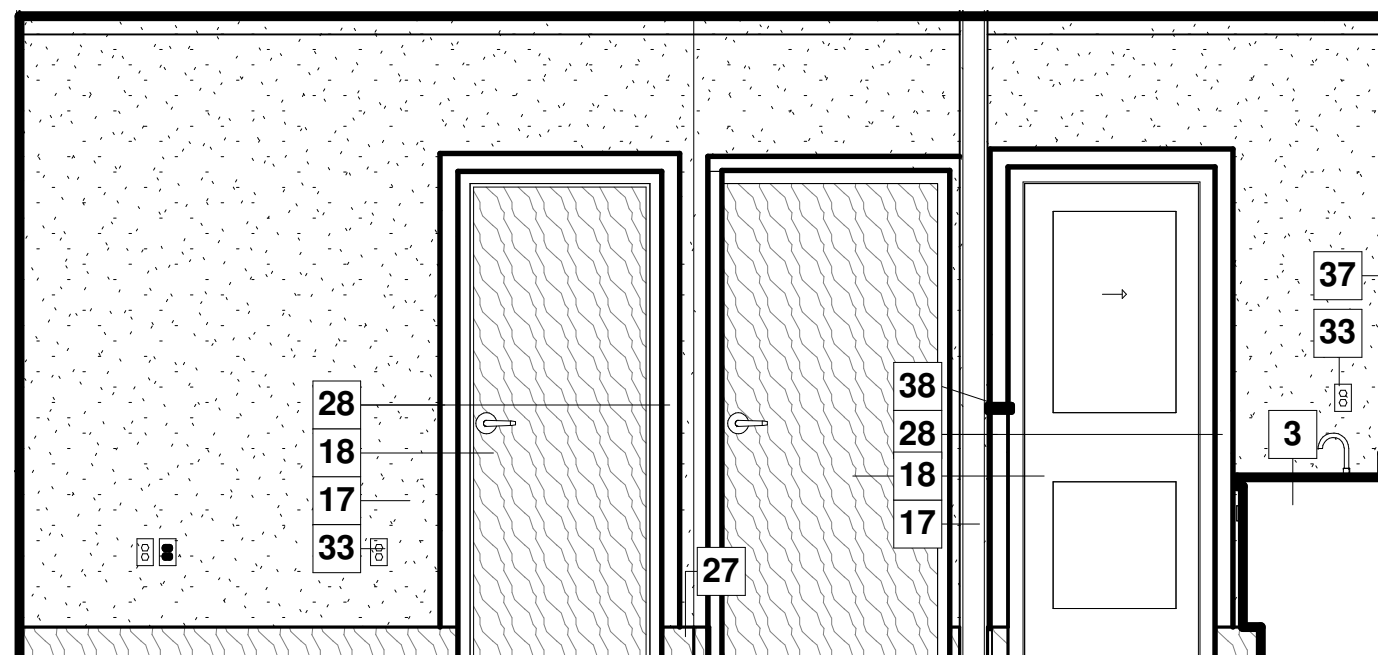
INT. ELEVATIONS

A211

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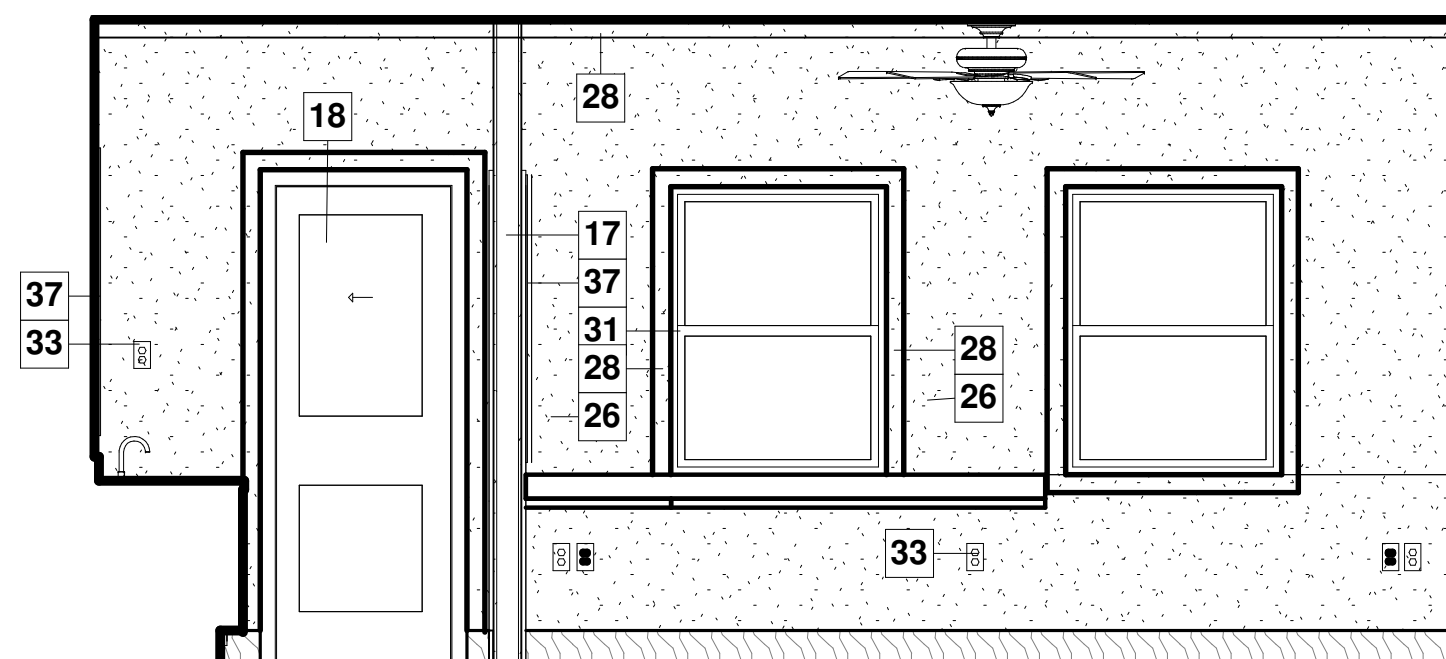
INTERIOR ELEVATION N5



INTERIOR ELEVATION



INTERIOR ELEVATION E5
M. WC/M. VANITY/ M. BATH 3/8"=1'(24X36) | 3/16"=1'(12X8)

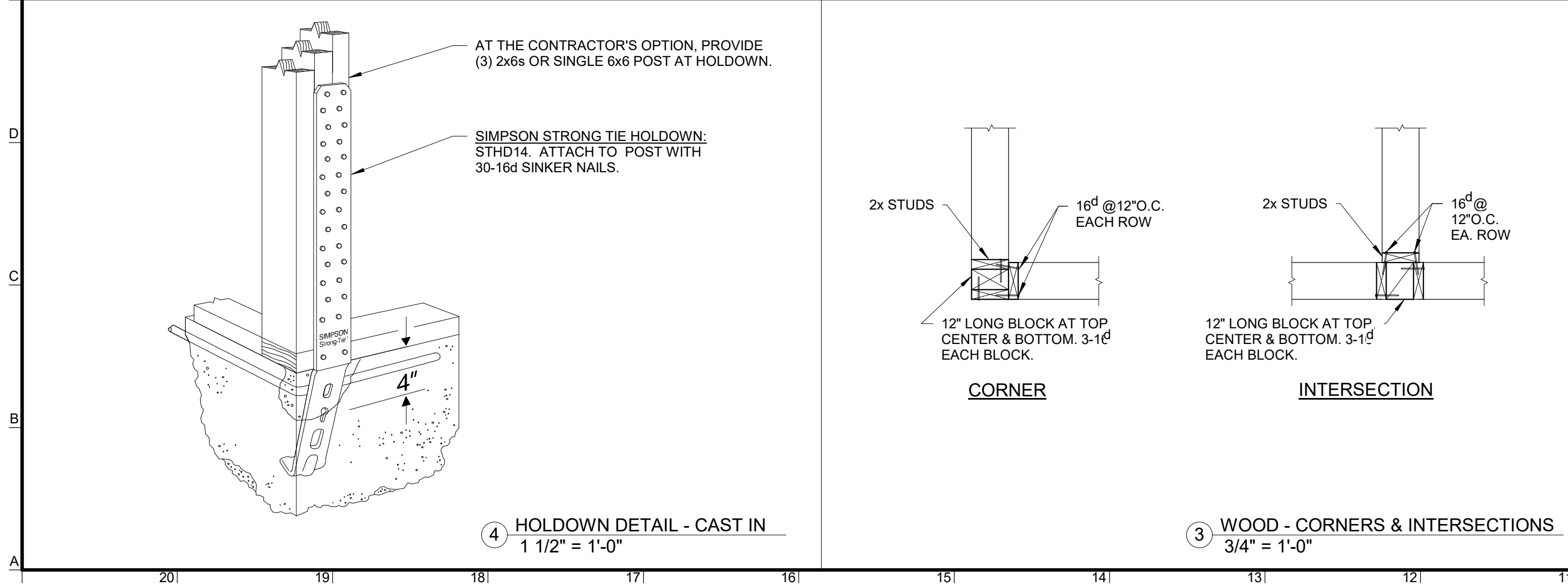
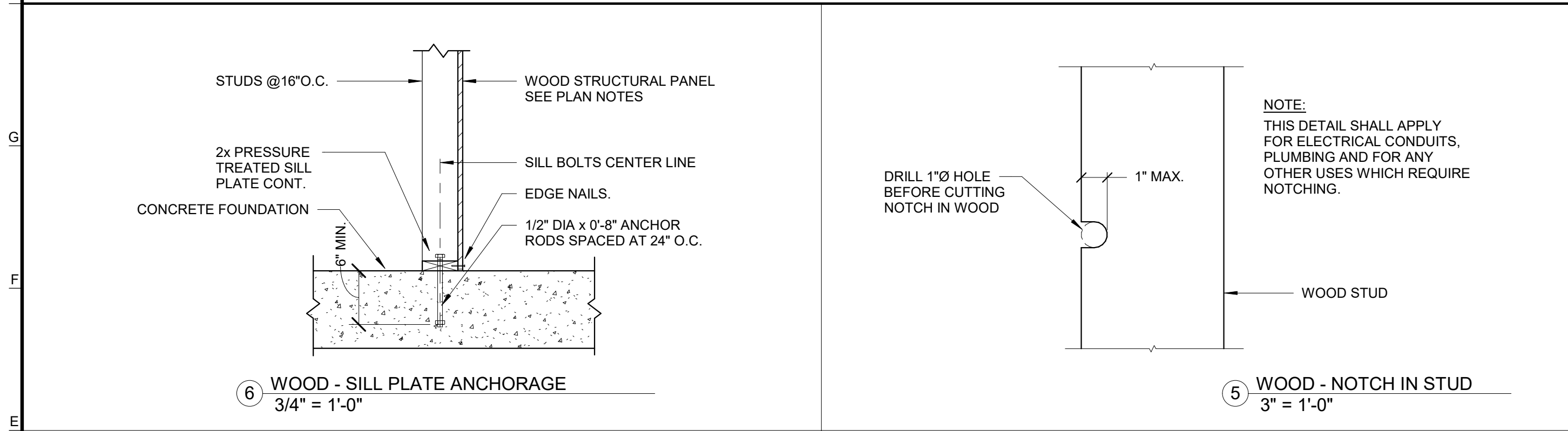
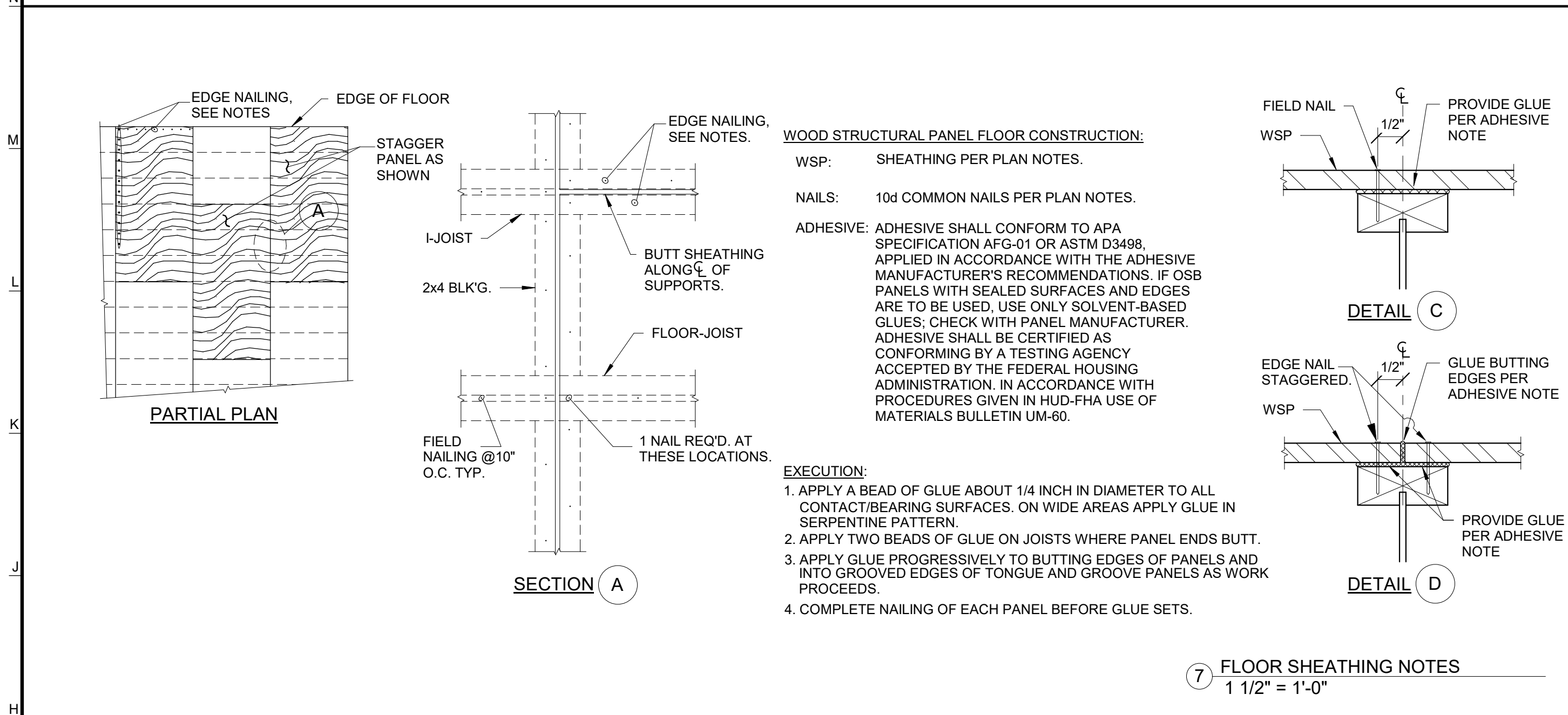
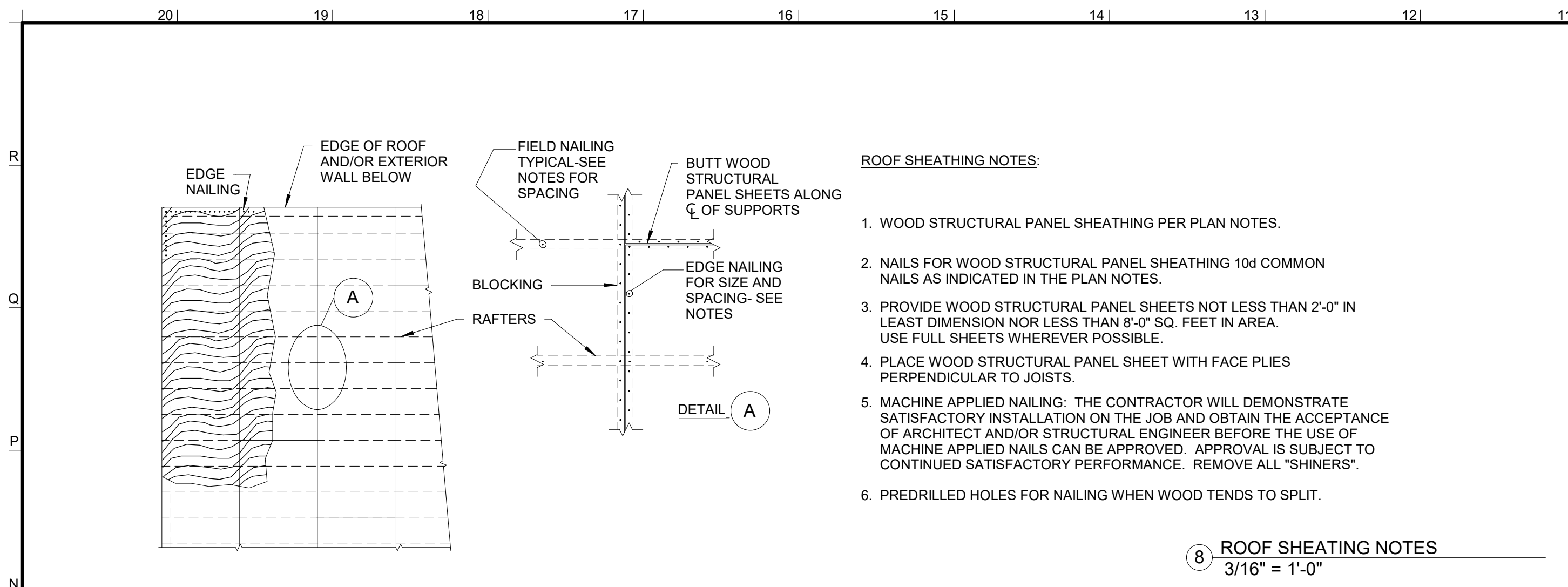


INTERIOR ELEVATION A5

- 1 PREFABRICATED CORNER TYPE SHOWER WITH GLASS SURROUND.
 - 2 TANK-TYPE TOILET.
 - 3 FREE-STANDING STYLE CASEWORK WITH INTEGRAL SINK AND FAUCETS.
 - 4 FURNITURE BY OWNER. NIC.
 - 5 TALL PANTRY STYLE CASEWORK. STYLE AND COLOR BY CLIENT.
 - 6 CABINETS/ CASEWORK & COUNTERTOPS. STYLE AND COLOR BY CLIENT
 - 7 OVEN/RANGE. STYLE AND COLOR BY CLIENT.
 - 8 COUNTRY STYLE DOUBLE SINK, WITH FAUCET AND SPRAYER SET.
 - 9 UNDERCOUNTER DISHWASHER. STYLE AND COLOR BY CLIENT.
 - 10 REFRIGERATOR WITH ICE MAKER. STYLE AND COLOR BY CLIENT.
 - 11 ISLAND CASEWORK WITH SEATING AREA. STYLE AND COLOR BY CLIENT.
 - 12 PLANK-STYLE LVL FLOORING. STYLE AND COLOR BY CLIENT.
 - 13 CARPET. STYLE AND COLOR BY CLIENT.
 - 14 FLOORING TRANSITION TRIM.
 - 15 WOOD STAIRS AND RAILING.
 - 16 FREE-STANDING STYLE ELECTRIC FIREPLACE AND MANTEL CASEWORK.
 - 17 2X4'S AT 16" OC WITH 1/2" GYP. BD. EACH SIDE. WALL TO HAVE 6" WOOD BASE. PAINT WALL AND BASE.
 - 18 INTERIOR, SOLID-WOOD DOOR. STYLE AND COLOR BY CLIENT.
 - 19 2X WOOD STAIRS INTO GARAGE.
 - 20 MINI-SPLIT CONDENSING UNIT HEAD.
 - 21 INSTANTANEOUS-STYLE WATER HEATER.
 - 22 FREEZER. OPCI.
 - 23 STAINLESS STEEL RANGE HOOD.
 - 24 BOTTOM OPENING, AWWNING STYLE WINDOWS.
 - 25 EXTERIOR-GRADE COMBO SWING/SLIDING DOOR.
 - 26 EXTERIOR WALL CONSTRUCTION: 1/2" GYP. BD, 6-MIL POLYETHYLENE PLASTIC VAPOR BARRIER, 2X6 STUDS WITH R-19 BATT INSULATION, EXTERIOR WOOD SHEATHING AND EXTERIOR SIDING.
 - 27 6" WOOD BASE, PAINT/ STAIN.
 - 28 3" WOOD TRIM, PAINT/ STAIN.
 - 29 QUAD ELECTRICAL OUTLET.
 - 30 RANGE HOOD.
 - 31 36"x48" DOUBLE-HUNG STYLE WINDOWS. STANDARD HEAD HT. 6'-8".
 - 32 UNDER STAIR STORAGE.
 - 33 DOUPLEX ELECTRICAL OUTLET.
 - 34 LIGHT SWITCH.
 - 35 DOORS BETWEEN GARAGE AND LIVING SPACE TO BE 20 MIN. RATED, SOLID, WEATHER RESISTANT AND SELF CLOSING.
 - 36 EXTERIOR ENTRY DOOR.
 - 37 FRAMELESS MIRROR.
 - 38 TOWEL BAR.
 - 39 TOILET PAPER DISPENSER.
 - 40 36" x 48" DOUBLE-HUNG STYLE WINDOW, RAISED TO HD. HT. OF 7'-8".

ELEVATION NOTES **A1**
N.T.S.

N.T.S.



- A. Building Code
- The design and construction shall conform to the 2012 International Residential Code as amended by the Kansas City, Missouri.
- B. Design Loads
- This project is designed to resist the most critical loads resulting from the basic load combinations outlined in sections 1605 of the IRC 2012.
 - Dead Loads
 - The roof mounted equipment weights used for design are indicated on the contract documents. The Contractor shall submit actual weights for all roof mounted equipment to be reviewed by the Engineer.
 - Total service roof dead load 15psf
 - Total service floor dead load 12psf
 - Live Loads
 - Code Loads
 - Roof live load 20psf
 - Floor Live Load (Sleeping) 30psf
 - Wind - The wind load is in accordance with the following criteria:
 - Basic wind speed (Ultimate) 115mph
 - Wind importance factor Iw=1.0
 - Occupancy Category II
 - Wind exposure Ce=0.9
 - Component and cladding wind force 19.5psf
 - Snow - The snow load is in accordance with the following criteria:
 - Ground snow load pg=20psf
 - Flat-roof snow load pf=20psf
 - Snow exposure factor Ce=0.9
 - Snow load importance factor Is=1.0
 - Thermal factor Ct=0.9
 - Seismic - The seismic load is in accordance with the following criteria:
 - Seismic importance factor Ie=1.0
 - Mapped spectral response accelerations Ss=0.112 S1=0.064
 - Site class D (default) Sds=0.119 Sd1=0.103
 - Spectral response coefficients
 - Seismic design category B
 - Basic seismic-force-resisting system(s) Light-framed wood shear walls
 - Design base shear 0.15k
 - Seismic response coefficient(s) Cs=0.017
 - Response modifications factor(s) R=7

- C. Foundations
- Geotechnical Report
 - No geotechnical report has been provided for this project.
 - Spread Footings, Trench Footings and Grade Beams
 - All shallow foundations have been designed to bear on undisturbed soil or engineered fill for a net allowable bearing pressure of 1500psf.
 - All excavations shall be clean and free from any type of debris.
 - All structural concrete utilized for the purpose of retaining soil shall attain full design strength prior to any backfill being placed against the concrete.
 - Side forms for trenched foundations are not required.
 - Bar supports for shallow foundations may be bricks, masonry or rock.
 - All construction dewatering is the responsibility of the Contractor. The moisture content of the subgrade below the foundations and slab on grade should not be allowed to change after the soil has been excavated. Subgrade that dries out, softens or is damaged in any way by variations in the moisture content shall be re-compacted to the density and water content specified in the specifications.
 - Foundation construction on frozen ground is not allowed.

- D. Concrete
- All Concrete and reinforcing details shall conform to the current ACI 318 and CRSI "Manual of Standard Practice".
 - Strength - The following areas shall have a minimum 28 day compressive strength:
 - Interior slab on grade: 3000psi
 - Exterior flatwork: 3000psi
 - Footings and grade beams 3000psi
 - Mix Design
 - Water/cement ratio 0.45 maximum for slab on grade 0.51 maximum for all other concrete
 - Course aggregate ASTM C33
 - Fly ash Class C (25%)
 - Admixtures
 - Admixtures ASTM C494
 - Air Entrainment (5%-7%) ASTM C260
 - No water may be added to the concrete mix at the job site. Workability should be attained through the use of water reducing agents and/or super plasticizing chemical admixtures.
 - All slab on grade control joints shall be cut to 1/3 the depth of the slab. The joints should be cut as soon as possible to prevent plastic shrinkage cracks.
 - Control joints in the slab on grade shall be placed at column lines and at uniform spacing as generally indicated on the plans. Control joint spacing shall not exceed 15 feet in any direction or 225 square feet, whichever is greater. Construction joints may be substituted for control joints.
 - Reinforcing
 - Grade
 - Typical reinforcing ASTM A615, Grade 60
 - Welded reinforcing ASTM A706
 - Lap splices and development length for reinforcement shall be 48 bar diameters unless indicated elsewhere in the contract documents and specifications. Lap welded wire reinforcing on full mesh space plus 2 inches.
 - Concrete cover shall be as follows:
 - Concrete cast against and exposed to earth 3"
 - Concrete exposed to weather #5 and smaller 1 1/2"
 - Concrete not exposed to weather or earth:
 - Slabs and walls 3/4"
 - Aluminum items shall not be embedded in concrete.

- E. Miscellaneous
- Site visits will be made by the Engineer of Record in order to establish the general conformance of the construction to the Contract Documents. Observations by the Engineer shall not be considered inspections and in no way relieves the Contractor of any requirements of the Contract Documents.
 - Stability of the structure during construction, including load bearing and non-load bearing masonry walls, is the responsibility of the Contractor. The Engineer is responsible for the stability of the completed structure only.
 - The Engineer shall not be in control of, have charge of, or be responsible for the construction means and methods. The Contractor is solely responsible for all construction means, methods, procedures, techniques and job sequences.
 - Typical details are intended to represent typical conditions for the entire project.
 - All existing field and building conditions shall be verified by the Contractor before any other work.

- F. Special Inspections
- The Owner shall retain special inspection services for the items listed below. The Contractor shall provide light general labor as required to assist with special inspections.
 - Special Inspection reports shall be submitted to the Building Official, Owner, Architect, Engineer, Contractor, Sub-Contractor and any other pertinent entities in a timely manner.
 - All discrepancies found by the Special Inspector shall immediately be brought to the attention of the Contractor and corrected. If the Contractor is unable to correct the discrepancy, the Special Inspector shall notify the Architect and Engineer.
 - Upon completion of the project, the Special Inspector shall submit a final report delineating that the work was to the best of the Inspector's knowledge and completed in conformance with the approved contract documents and applicable building code.
 - Special Inspection Services required:
 - Foundations
 - Bearing capacity
 - Bearing elevation
 - Concrete
 - Reinforcing steel placement
 - Embedded items in concrete
 - Concrete placement technique
 - Sampling of fresh concrete

- G. Wood
- All wood framing shall be designed and erected in accordance with the recommendations of the latest editions of the National Design Specification (NDS) for Wood Construction Manuals.
 - All wood framing shall be Douglas Fir-Larch #2 or better.
 - Plywood
 - Material shall conform to PS 1.
 - Stagger Panel ends of plywood decking.
 - Panel clips shall be used for all roof sheathing.
 - All Engineered Lumber shall have the following minimum material properties
 - Fb = 2600 psi
 - Fv = 265 psi
 - E = 1,900,000 psi
 - Fc (parallel) = 2510 psi
 - Fc (perpendicular) = 750 psi
 - G = 125,000 psi
 - All Dimension Lumber shall have the following minimum material properties unless noted otherwise.
 - Fb = 900 psi
 - Fv = 180 psi
 - E = 1,600,000 psi
 - Fc (parallel) = 1,350 psi
 - Fc (perpendicular) = 625 psi
 - Any wood member that rests on or is in contact with concrete, earth or masonry shall be ACQ pressure treated.
 - All metal wood connectors shall perform to a minimum load capacity of the Simpson Strong Tie products. All connectors shall be capable of resisting the corrosive effects of the ACQ pressure treatment and shall be completely installed prior to loading the connections.
 - Basis of TJJ design per Weyerhaeuser Forte software. Print out of analysis is in the submitted calculations. Installations to be provided by TJJ supplier.

2 GENERAL NOTES
N.T.S.

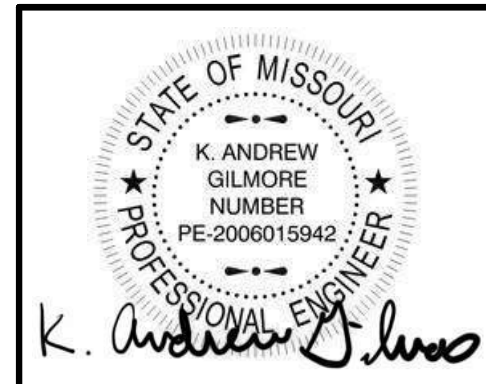
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ALT	ALTERNATE	KSF	KIPS PER SQUARE FOOT
ARCH	ARCHITECT	LLH	LONG LEG HORIZONTAL
AR	ANCHOR ROD	LLV	LONG LEG VERTICAL
BOT	BOTTOM	MAX	MAXIMUM
BRG	BEARING	MECH	MECHANICAL
CL	CENTER LINE	MIN	MINIMUM
CJ	CONTRACTION JOINT	MISC	MISCELLANEOUS
COL	COLUMN	NTS	NOT TO SCALE
CMU	CONCRETE MASONRY UNIT	OC	ON CENTER
CONC	CONCRETE	PLF	POUNDS PER LINEAR FOOT
CONT	CONTINUOUS	PSF	POUNDS PER SQUARE FOOT
DBA	DEFORMED BAR ANCHOR	PSI	POUNDS PER SQUARE INCH
EF	EACH FACE	REINF	REINFORCING
EJ	EXPANSION JOINT	RTU	ROOF TOP UNIT
ELEV	ELEVATION	SC	SLIP CRITICAL
EQ	EQUAL	SIM	SIMILAR
EW	EACH WAY	STD	STANDARD
EXIST	EXISTING	TO	TOP OF
FND	FOUNDATION	TOS	TOP OF STEEL
FLR	FLOOR	TYP	TYPICAL
FTG	FOOTING	UNO	UNLESS NOTED OTHERWISE
FV	FIELD VERIFY	VERT	VERTICAL
GALV	GALVANIZED	W	WITH
HORZ	HORIZONTAL	WP	WORK POINT
HSA	HEADED STUD ANCHOR	WWR	WELDED WIRE REINFORCING
HSS	HOLLOW STRUCTURAL SECTION		
IF	INSIDE FACE		

1 ABBREVIATIONS
1 1/2" = 1'-0"



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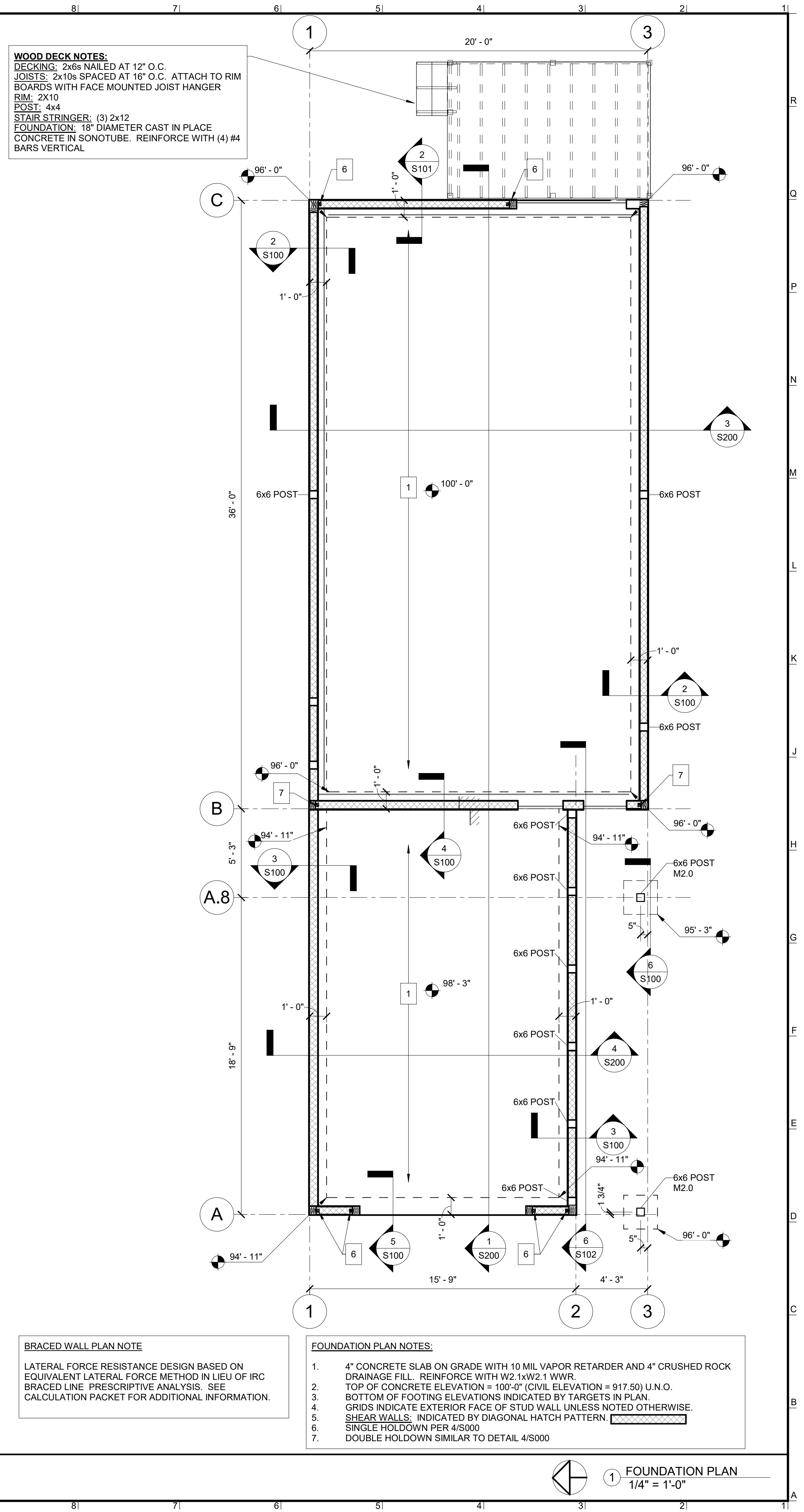
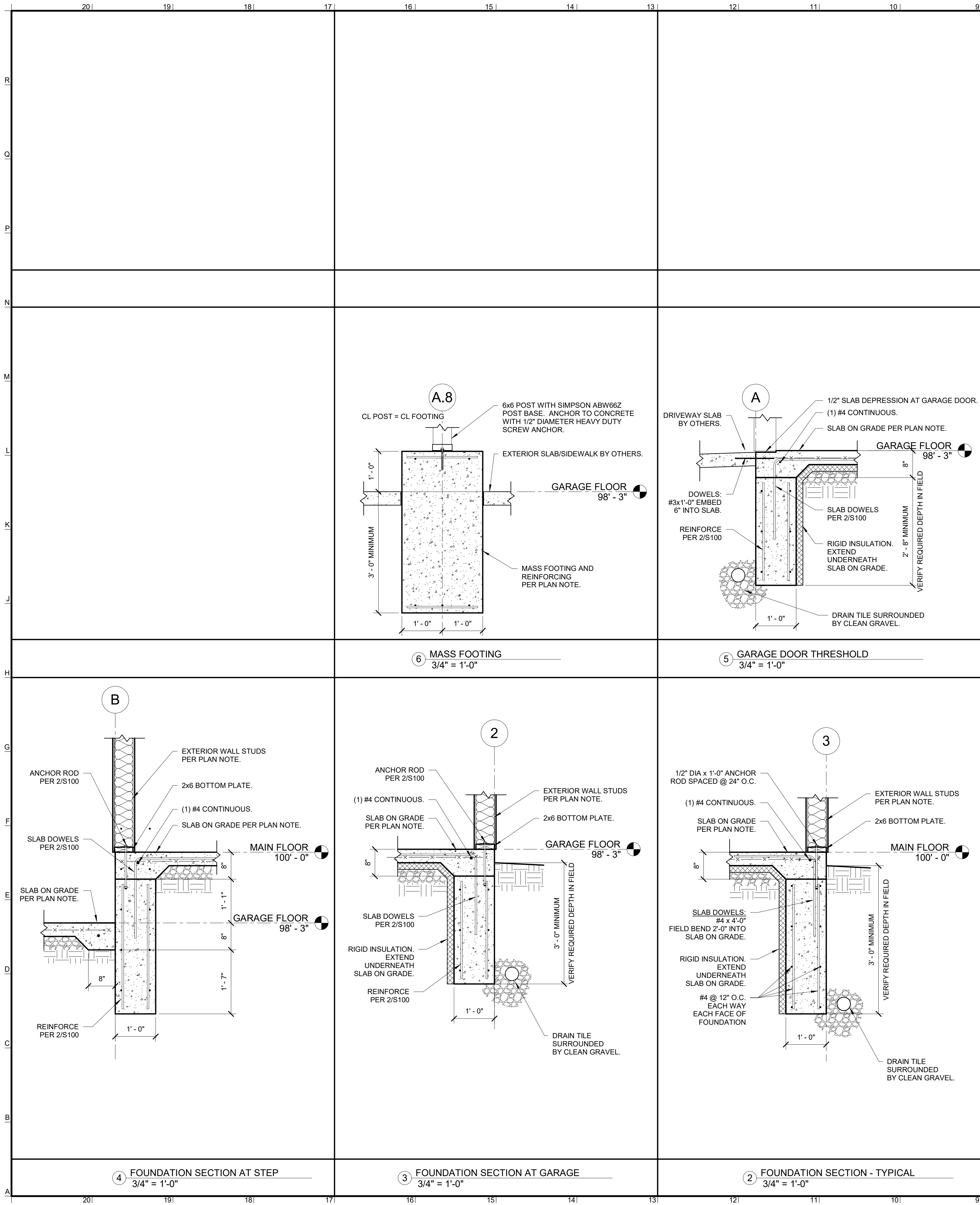


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GENERAL NOTES
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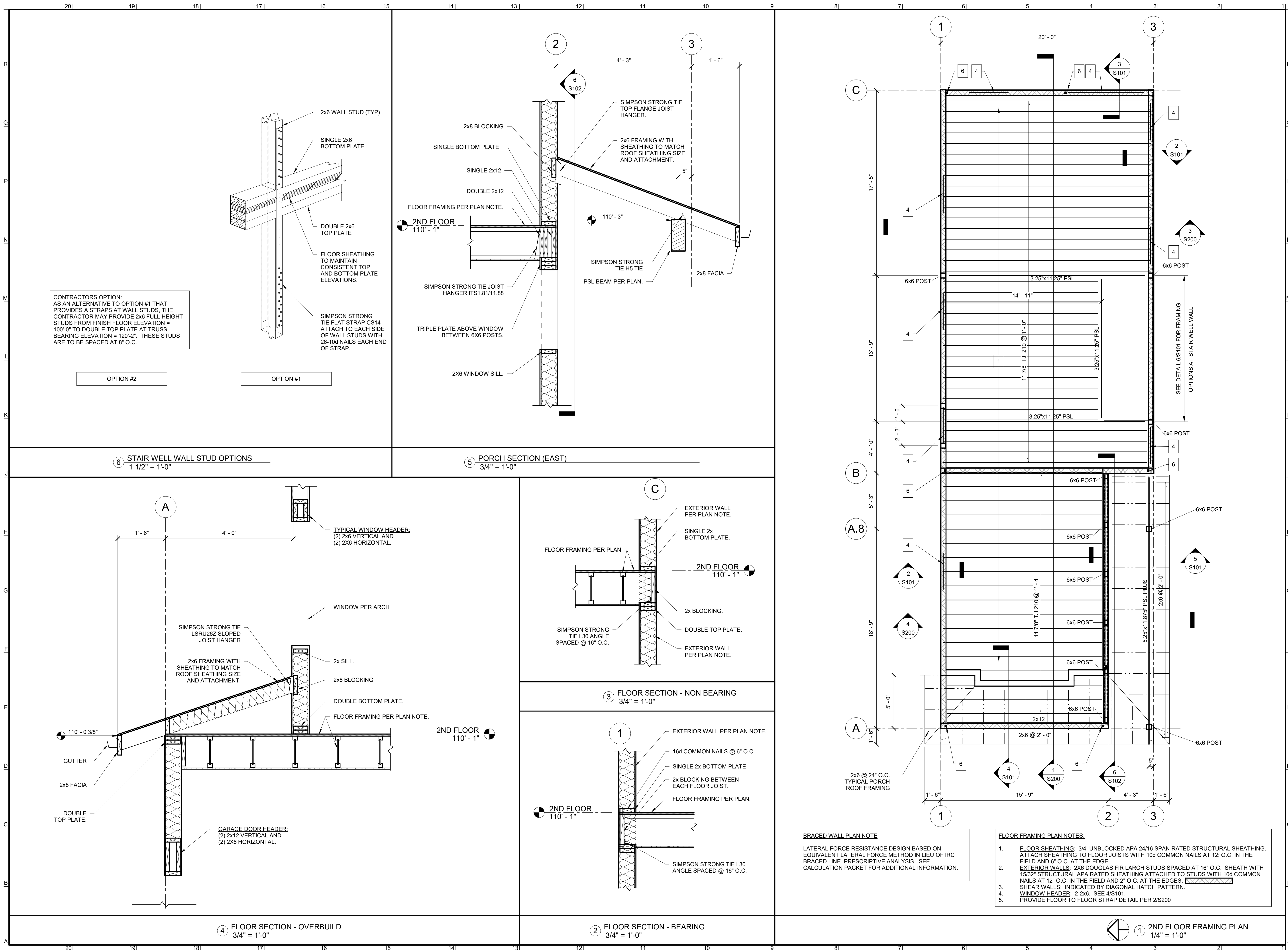
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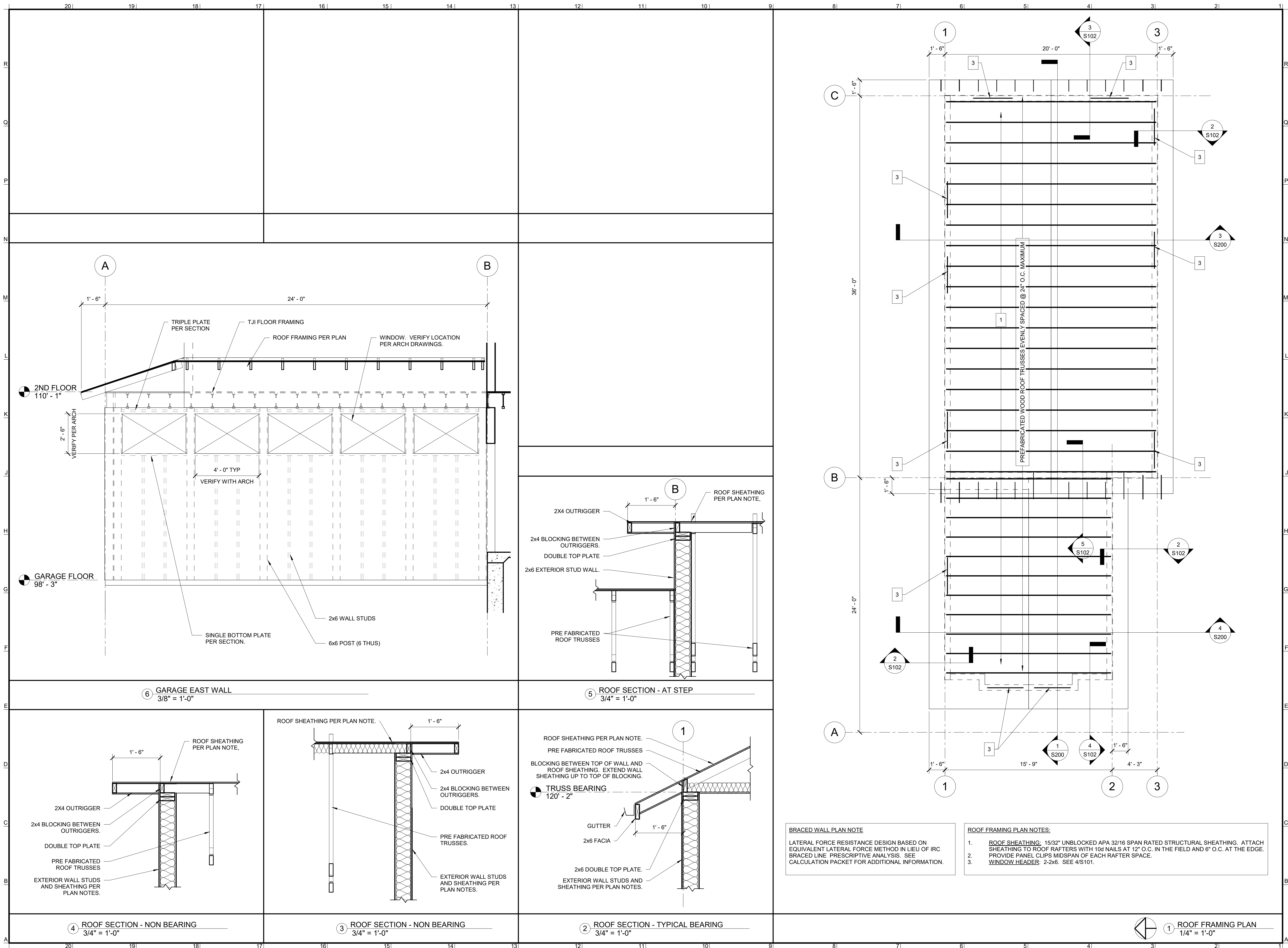
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FOUNDATION PLAN & DETAILS
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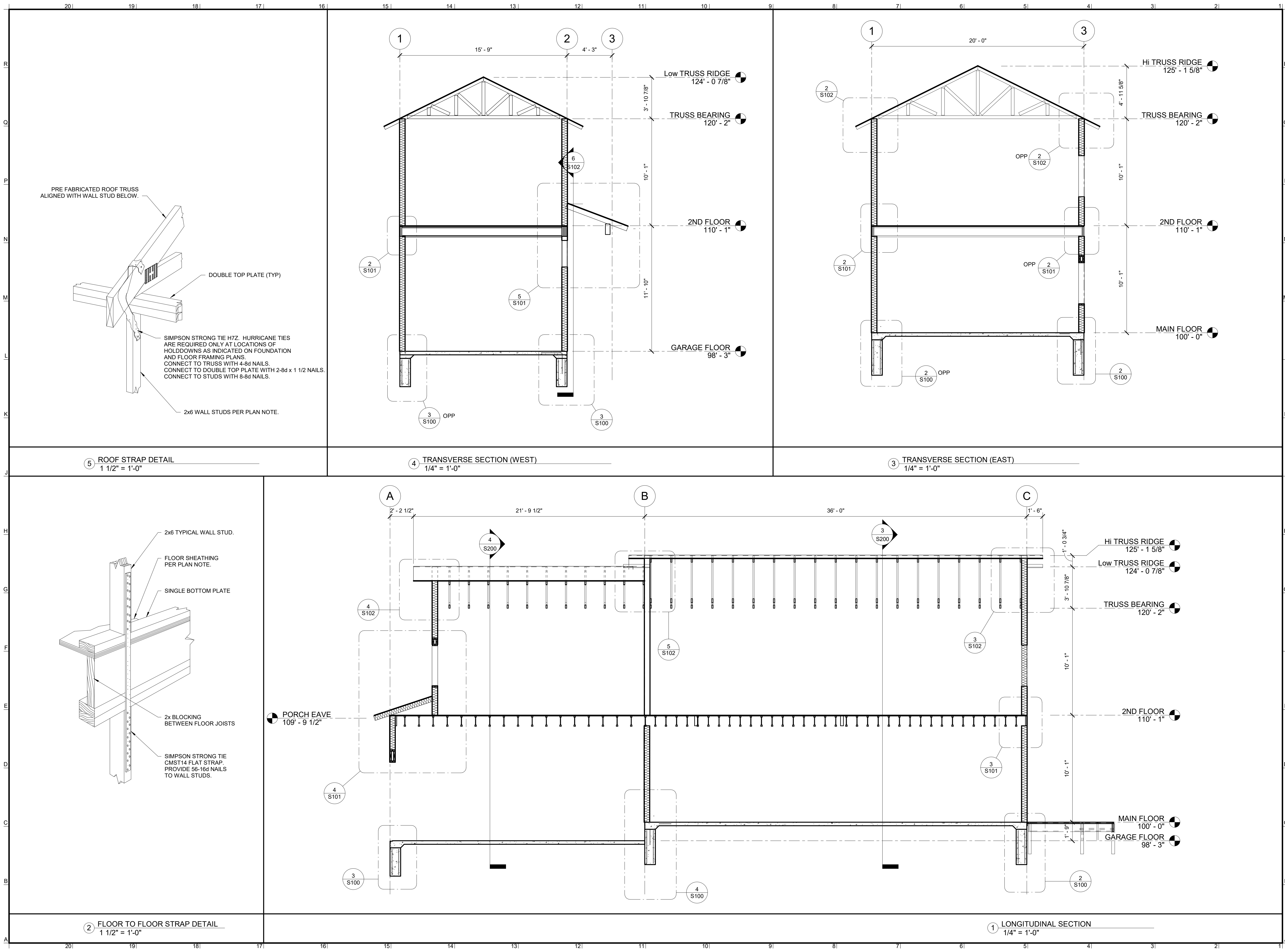
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ROOF FRAMING PLAN & DETAILS

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HOUSE SECTIONS

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