

SITE DEVELOPMENT PLANS FOR SBUX #85175 - BARRY RD & GREEN HILLS RD

**S8, T51N, R33W
KANSAS CITY, PLATTE COUNTY, MISSOURI**

PROJECT TEAM:

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KIMLEY-HORN AND ASSOCIATES, INC.



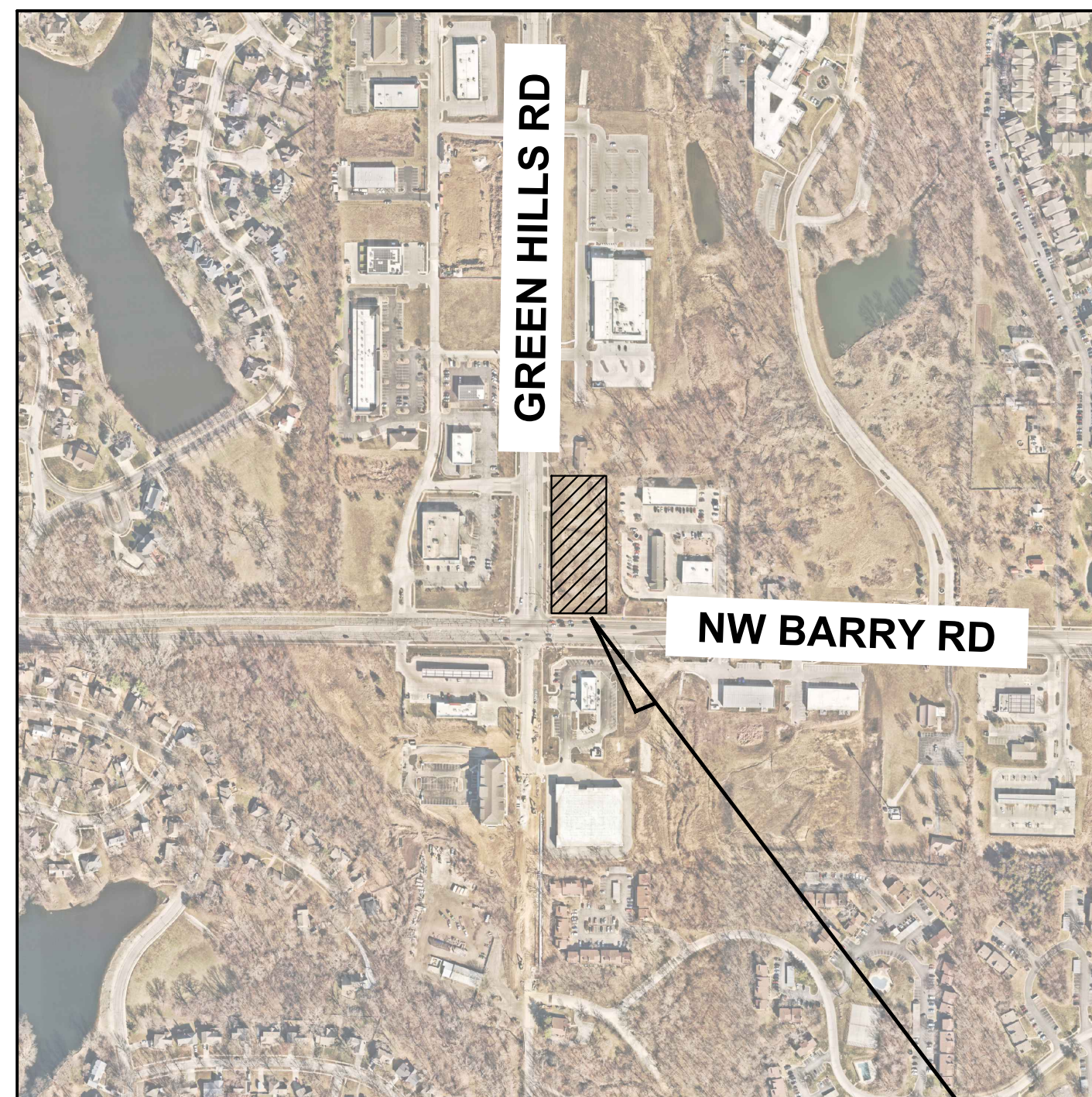
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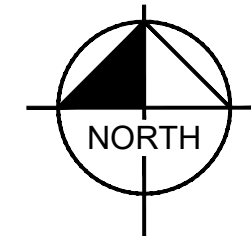
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**VICINITY
N.T.S.**



SITE

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L100	LANDSCAPE PLAN
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DEVELOPMENT PLAN DEVIATIONS

- TRACT 2 DRIVE THROUGH USE IS CONTINGENT UPON REZONING TO COMMERCIAL USE.

BENCHMARKS

SITE BENCHMARKS:
(LOCATIONS SHOWN ON SURVEY)

SBM #1 PL-26: STANDARD KC METRO GRS 30" ALUMINUM POSTS STAMPED "PL-26 1992", SET FLUSH WITH THE GROUND. THE STATION IS 19.2 FEET NORTH OF THE CENTER LINE OF THE WESTBOUND LANE OF NORTHWEST BARRY ROAD; 32.0 FEET WEST OF THE CENTER LINE OF SOUTH GRANBY AVENUE (EXIT LANE); 10.8 FEET EAST OF A LIGHT POLE; 4.0 FEET NORTH OF THE BACK OF THE CURB AND 3.9 FEET SOUTH OF THE SOUTH END OF THE SIDEWALK.
ELEVATION=994.75



Know what's below.
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2024 KIMLEY-HORN AND ASSOCIATES, INC.
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KHA PROJECT 161143001	DATE 07/19/2024	SCALE AS SHOWN	DESIGNED BY BSK	DRAWN BY BSK	CHECKED BY MTL
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COVER SHEET

ISSUED FOR PERMIT - NOT FOR CONSTRUCTION
SBUX #85175 - BARRY RD & GREEN HILLS RD
PREPARED FOR
HUM BARRY, LLC
KANSAS CITY MISSOURI

SHEET NUMBER
C000

No.	REVISIONS	DATE	BY

K:\TCW_LDEV\Starbucks\Kansas City, MO- NE Corner Green Hills & Barry Road\3 Design\CAD\PlanSheets\C0-COVER SHEET.dwg September 23, 2024 - 12:21pm
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DEMOLITION PLAN NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) OF ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC. SUCH THAT THE IMPROVEMENTS ON THE PLANS CAN BE CONSTRUCTED. FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE PROJECT DOCUMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING OF THE DEBRIS IN A LAWFUL MANNER AND IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS. THE CONTRACTOR SHALL OBTAIN ANY REQUIRED PERMITS FOR DEMOLITION AND DISPOSAL FROM THE APPROPRIATE LOCAL AND STATE AGENCIES. CONTRACTOR SHALL PROVIDE COPIES OF THE PERMIT AND RECEIPTS OF DISPOSAL OF MATERIALS TO THE OWNER AND OWNERS REPRESENTATIVE, INCLUDING THE TYPE OF DEBRIS AND LOCATION WHERE IT WAS DISPOSED.
- THE CONTRACTOR SHALL MAINTAIN UTILITY SERVICES TO ADJACENT PROPERTIES AT ALL TIMES. UTILITY SERVICES SHALL NOT BE INTERRUPTED WITHOUT APPROVAL FROM THE CONSTRUCTION MANAGER AND COORDINATION WITH THE ADJACENT PROPERTIES AND/OR THE CITY.
- THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
- THE LOCATIONS OF EXISTING UTILITIES SHOWN ON THE PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE AFFECTED UTILITY COMPANIES TO PROVIDE LOCATIONS OF EXISTING UTILITIES WITHIN PROPOSED WORK AREA.
- EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE BASED ON AVAILABLE RECORD PLAN DATA AND/OR FIELD UTILITY MARKINGS AND ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION. ADDITIONAL UNMARKED OBSTACLES MAY EXIST ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED UNDERGROUND FEATURES. GIVE NOTICE TO AFFECTED UTILITY COMPANIES REGARDING REMOVAL OF SERVICE LINES AND CAP ANY ABANDONED LINES BEFORE PROCEEDING WITH THE PROPOSED WORK.
- ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC, AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN ANY ROAD RIGHT-OF-WAY DURING CONSTRUCTION.
- CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC. (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY THE CONSTRUCTION MANAGER. MAINTENANCE OF TRAFFIC CONTROL SHALL BE COORDINATED IN ACCORDANCE WITH KANSAS CITY PLATTE COUNTY AND MODOY AS NECESSARY.
- CONTRACTOR SHALL MAINTAIN ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION, AND SHALL NOTIFY ADJACENT PROPERTY OWNERS IF ACCESS WILL BE INTERRUPTED OR ALTERED AT ANY TIME DURING CONSTRUCTION.
- PRIOR TO THE START OF DEMOLITION, INSTALL EROSION CONTROL BMP'S IN ACCORDANCE WITH THE EROSION & SEDIMENT CONTROL PLANS / SWPPP.
- CONTRACTOR MAY LIMIT SAW-CUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT OR CURB, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
- THE CONTRACTOR SHALL COORDINATE WATER MAIN WORK WITH THE CITY WATER AND FIRE DEPARTMENTS TO ENSURE ADEQUATE FIRE PROTECTION IS CONSTANTLY AVAILABLE TO THE SITE AND SURROUNDING PROPERTIES THROUGH ALL PHASES OF CONSTRUCTION. CONTRACTOR WILL BE RESPONSIBLE FOR ARRANGING/PROVIDING ANY REQUIRED WATER MAIN SHUT OFFS WITH KANSAS CITY. ANY COSTS ASSOCIATED WITH WATER MAIN SHUT OFFS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO EXTRA COMPENSATION WILL BE PROVIDED.
- IN THE EVENT A WELL IS FOUND, THE CONTRACTOR SHALL CONTACT THE ENGINEER AND OWNER IMMEDIATELY. ALL WELLS SHALL BE SEALED BY A LICENSED WELL CONTRACTOR IN ACCORDANCE WITH STATE REQUIREMENTS.
- IN THE EVENT THAT UNKNOWN CONTAINERS OR TANKS ARE ENCOUNTERED, THE CONTRACTOR SHALL CONTACT THE OWNER AND/OR OWNERS REPRESENTATIVE IMMEDIATELY. ALL CONTAINERS SHALL BE DISPOSED OF AT A PERMITTED LANDFILL PER THE PROJECT DOCUMENTS.
- CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY EXISTING DRAIN TILE IS ENCOUNTERED ON SITE. ACTIVE DRAIN TILE SHALL NOT BE REMOVED WITHOUT APPROVAL FROM THE ENGINEER.
- IF CONTAMINATED MATERIAL IS ENCOUNTERED ON THE PROJECT SITE, THE CONTRACTOR SHALL STOP WORK AND NOTIFY THE OWNER AND ENGINEER IMMEDIATELY.

EROSION CONTROL MAINTENANCE

ALL MEASURES STATED ON THE EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION AS REQUIRED BY ALL JURISDICTIONS UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A CERTIFIED PERSON AT LEAST ONCE EVERY 7 CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A 0.5" RAINFALL EVENT, AND CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.

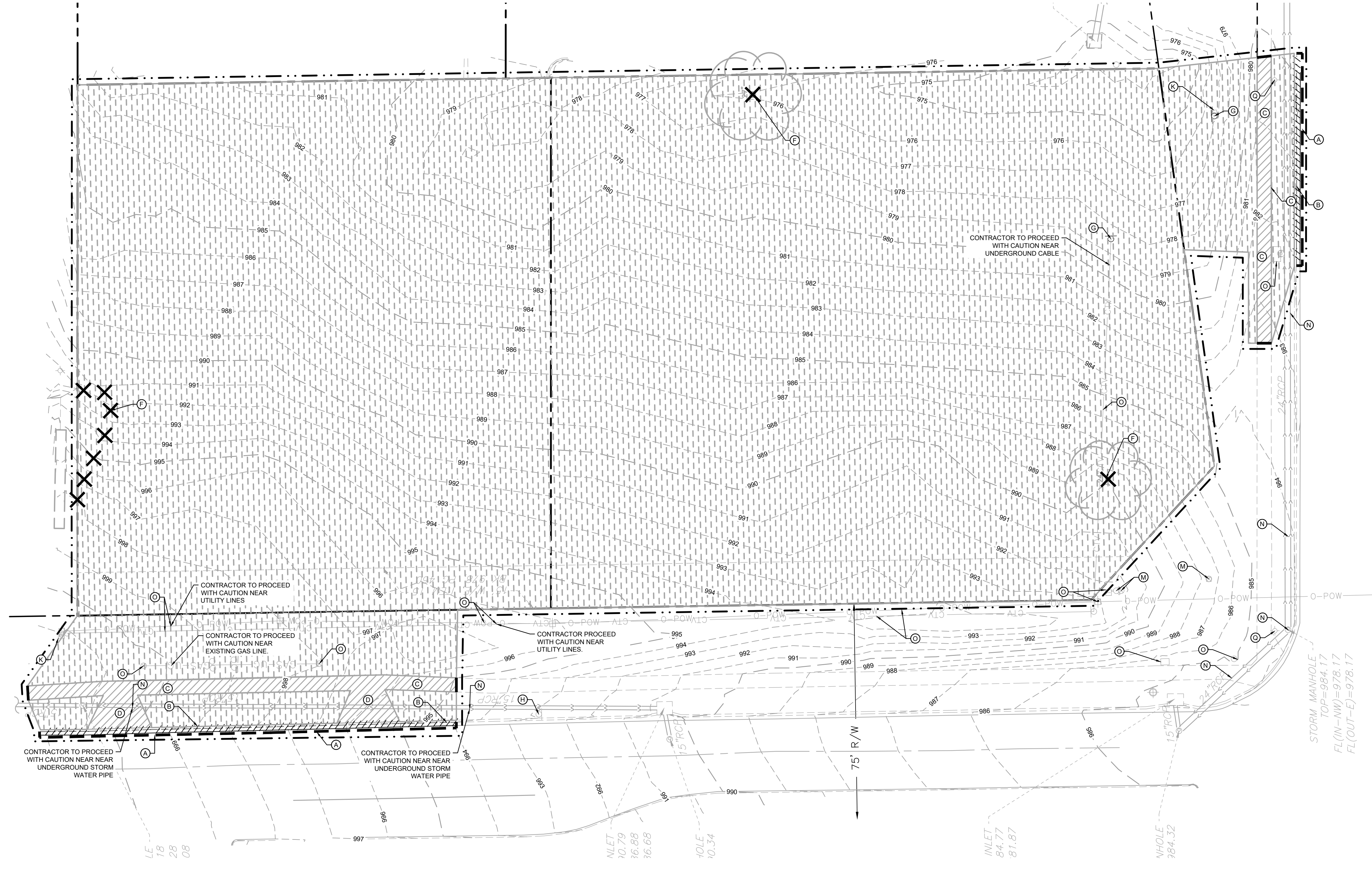
- ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED AND RESEED AS NEEDED. FOR MAINTENANCE REQUIREMENTS REFER TO THE STANDARD SPECIFICATIONS.
- SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-THIRD THE HEIGHT OF THE SILT FENCE.
- THE CONSTRUCTION ENTRANCE(S) SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
- THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
- ALL MAINTENANCE OPERATIONS SHALL BE DONE IN A TIMELY MANNER BUT IN NO CASE LATER THAN 2 CALENDAR DAYS FOLLOWING THE INSPECTION.

LEGEND

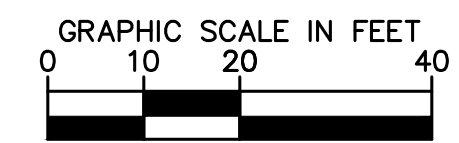
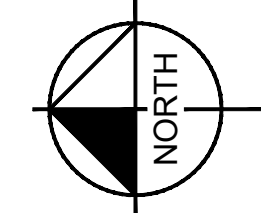
- | | |
|--|--------------------------------|
| | PROPERTY LINE |
| | REMOVE BITUMINOUS SURFACE |
| | REMOVE CONCRETE SURFACE |
| | CLEARING & GRUBBING |
| | FULL DEPTH SAWCUT |
| | REMOVE CONCRETE CURB & GUTTER |
| | REMOVE UTILITY LINES |
| | FILL & ABANDON UTILITY LINES |
| | LIMITS OF CONSTRUCTION |
| | EXISTING OVERHEAD POWER LINE |
| | EXISTING CHAINLINK FENCE |
| | EXISTING J-BARRIER |
| | EXISTING RETAINING WALL |
| | EXISTING SANITARY SEWER |
| | EXISTING STORM SEWER |
| | EXISTING WATERMAIN |
| | EXISTING GAS MAIN |
| | EXISTING UNDERGROUND TELEPHONE |
| | EXISTING UNDERGROUND CABLE |
| | EXISTING CONTOUR |
| | EXISTING CURB & GUTTER |
| | EXISTING SIGN |
| | EXISTING FLARED END SECTION |
| | EXISTING STORM MANHOLE |
| | EXISTING STORM CATCHBASIN |
| | EXISTING GAS METER |
| | EXISTING POST INDICATOR VALVE |
| | EXISTING WELL |
| | EXISTING AUTOMATIC SPRINKLER |
| | EXISTING ROOF DRAIN |
| | EXISTING GATE VALVE |
| | EXISTING HYDRANT |
| | EXISTING METAL COVER |
| | EXISTING ELECTRICAL METER |
| | EXISTING AIR CONDITIONER |
| | EXISTING TELEPHONE MANHOLE |
| | EXISTING CABLE BOX |
| | EXISTING GUY WIRE |
| | EXISTING POWER POLE |
| | EXISTING LIGHT POLE |
| | EXISTING TREE |
| | EXISTING TREE LINE |

KEYNOTE LEGEND

- | | |
|--|---|
| | SAWCUT EXISTING PAVEMENT |
| | REMOVE EXISTING CURB |
| | REMOVE EXISTING SIDEWALK |
| | REMOVE EXISTING PAVEMENT |
| | REMOVE EXISTING FENCE |
| | REMOVE EXISTING TREE |
| | REMOVE EXISTING SIGN |
| | PROTECT EXISTING SIGN |
| | REMOVE EXISTING WATER LINE / HYDRANT / VALVE |
| | REMOVE EXISTING SEWER LINE / STRUCTURE |
| | REMOVE EXISTING ELECTRICAL LINE / EQUIPMENT |
| | REMOVE EXISTING NATURAL GAS LINE |
| | PROTECT EXISTING WATER LINE / HYDRANT / VALVE |
| | PROTECT EXISTING SEWER LINE / STRUCTURE |
| | PROTECT EXISTING UTILITY LINE / STRUCTURE |
| | PROTECT EXISTING UTILITY POLE & GUY WIRES |
| | PROTECT EXISTING LIGHT POLE |
| | PROTECT EXISTING TREE |



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KHA PROJECT	161143001
DATE	07/19/2024
SCALE	AS SHOWN
DESIGNED BY	BSK
DRAWN BY	BSK
CHECKED BY	MTL

DEMO PLAN

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SBUX #85175 - BARRY RD & GREEN HILLS RD

PREPARED FOR
HUM BARRY, LLC

KANSAS CITY MISSOURI

SHEET NUMBER
C200

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EROSION CONTROL PLAN NOTES

1. THE STORM WATER POLLUTION PREVENTION PLAN ("SWPPP") IS COMPRISED OF THE EROSION CONTROL PLAN, THE STANDARD DETAILS, THE PLAN NARRATIVE, ATTACHMENTS INCLUDED IN THE SPECIFICATIONS OF THE SWPPP, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
2. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH LAND DISTURBING ACTIVITIES SHALL OBTAIN A COPY OF THE SWPPP AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT, AND BECOME FAMILIAR WITH THEIR CONTENTS.
3. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE AND LOCAL REQUIREMENTS, AS APPLICABLE. THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY THE PERMITTING AGENCY, ENGINEER OR OWNER.
4. SITE ENTRY AND EXIT LOCATIONS SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT THE TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADWAYS. SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO A PUBLIC ROADWAY FROM THE CONSTRUCTION SITE MUST BE REMOVED AS SOON AS PRACTICABLE. WHEN WASHING IS REQUIRED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO A PUBLIC ROADWAY, IT SHALL BE DONE IN AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT BASIN. ANY FINES IMPOSED FOR DISCHARGING SEDIMENT ONTO A PUBLIC RIGHT OF WAY SHALL BE PAID BY THE CONTRACTOR.
5. TEMPORARY SEEDING OR OTHER APPROVED METHODS OF STABILIZATION SHALL BE INITIATED WITHIN 7 DAYS OF THE LAST DISTURBANCE ON ANY AREA OF THE SITE.
6. THE CONTRACTOR SHALL MINIMIZE LAND DISTURBANCE AND CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
7. CONTRACTOR SHALL DENOTE ON THE PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
8. ALL WASH WATER FROM THE CONSTRUCTION SITE (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED BEFORE DISPOSAL.
9. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR

- CHEMICAL SPILLS AND LEAKS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ON SITE. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
 11. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
 12. STAGING AREAS, STOCKPILES, SPOILS, ETC. SHALL BE LOCATED OUTSIDE OF DRAINAGE WAYS SUCH THAT STORM WATER RUNOFF WILL NOT BE ADVERSELY AFFECTED. PROVIDE STABILIZATION MEASURES SUCH AS PERIMETER EROSION CONTROL BMP'S, SEEDING, OR OTHER COVERING AS NECESSARY TO PREVENT EROSION.
 13. CONTRACTOR SHALL BE RESPONSIBLE FOR RE-ESTABLISHING ANY EROSION CONTROL BMP DISTURBED DURING CONSTRUCTION OPERATIONS. NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DEFICIENCIES IN THE ESTABLISHED EROSION CONTROL MEASURES THAT MAY LEAD TO UNAUTHORIZED DISCHARGE OF STORM WATER POLLUTANTS. UNAUTHORIZED POLLUTANTS INCLUDE (BUT ARE NOT LIMITED TO) EXCESS CONCRETE DUMPINGS, CONCRETE RESIDUE, PAINTS, SOLVENTS, GREASES, FUELS, LUBRICANT OILS, PESTICIDES, AND SOLID WASTE MATERIALS.
 14. EROSION CONTROL BMP'S SHOWN ON THESE PLANS SHALL BE INSTALLED PRIOR TO THE START OF LAND-DISTURBING ACTIVITIES ON THE PROJECT, AND INITIATED AS SOON AS PRACTICABLE.
 15. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPLYING WITH THE REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION, AND SHALL MAINTAIN COMPLIANCE WITH APPLICABLE LAWS AND REGULATIONS FOR THE DURATION OF CONSTRUCTION.
 16. THE CONTRACTOR SHALL FIELD ADJUST AND/OR PROVIDE ADDITIONAL EROSION CONTROL BMP'S AS NEEDED TO PREVENT EROSION AND OFF-SITE SEDIMENT DISCHARGE FROM THE CONSTRUCTION SITE. LOG AND RECORD ANY ADJUSTMENTS AND DEVIATIONS FROM THE APPROVED EROSION CONTROL PLANS WITHIN THE SWPPP DOCUMENTS STORED IN THE JOB SITE TRAILER.

SWPPP UPDATES & AMENDMENTS

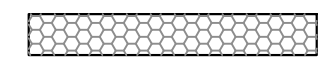


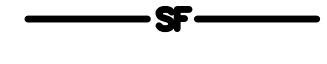
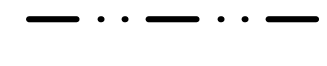
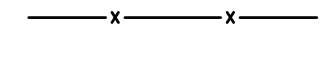

THE CONTRACTOR MUST UPDATE THE SWPPP BY NOTING ON THE SITE MAPS IN THE JOB SITE BINDER TO REFLECT THE PROGRESS OF CONSTRUCTION ACTIVITIES AND GENERAL CHANGES TO THE PROJECT SITE FOR THE DURATION OF LAND DISTURBING ACTIVITIES. AT A MINIMUM, UPDATES SHALL BE MADE DAILY TO TRACK CONSTRUCTION PROGRESS DESCRIBED IN THE SEQUENCE OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR NOTING THE LOCATION OF THE JOB SITE TRAILER, TEMPORARY PARKING & LAYDOWN AREAS, PORTA-POTTY, WHEEL WASH, CONCRETE WASHOUT, FUEL & MATERIAL STORAGE, SOLID WASTE CONTAINERS, AND OTHER CONSTRUCTION RELATED FACILITIES THAT MAY IMPACT STORMWATER RUNOFF.

PHASE 1 SEQUENCE OF CONSTRUCTION

1. INSTALL PERIMETER EROSION CONTROL (I.E. SILT FENCE) AND INLET PROTECTION AT EXISTING STORMWATER INLETS.
2. CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE AND CONCRETE WASHOUT
3. PREPARE TEMPORARY PARKING AND STORAGE AREA.
4. CONSTRUCT AND STABILIZE DIVERSIONS AND TEMPORARY SEDIMENT BASINS.
5. CLEAR AND GRUB THE SITE.
6. BEGIN MASS SITE GRADING AND ROUGH GRADE SITE SUFFICIENTLY TO ESTABLISH PROPOSED DRAINAGE PATTERNS.
7. START CONSTRUCTION OF THE BUILDING PAD AND STRUCTURES.
8. TEMPORARILY SEED, THROUGHOUT CONSTRUCTION, DISTURBED AREAS THAT WILL BE INACTIVE FOR 14 DAYS OR MORE OR AS REQUIRED BY THE NPDES AND/OR CITY GRADING PERMIT(S).

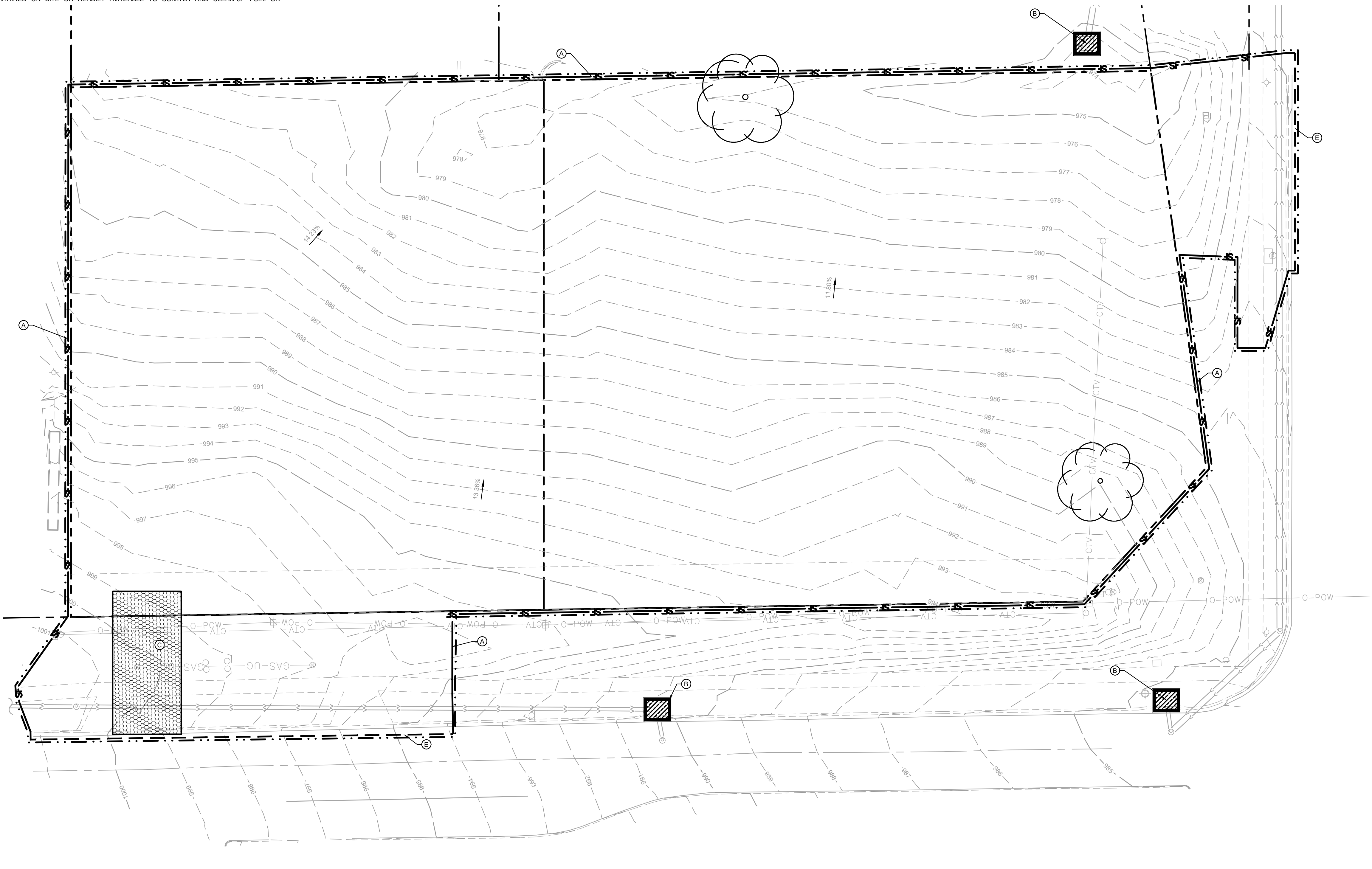
NOTE: THE SEQUENCE OF CONSTRUCTION IS INTENDED TO CONVEY THE GENERAL CONCEPTS OF THE EROSION CONTROL DESIGN AND SHOULD NOT BE RELIED UPON FOR CONSTRUCTION PURPOSES. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETAILED PHASING AND CONSTRUCTION SEQUENCING NECESSARY TO CONSTRUCT THE PROPOSED IMPROVEMENTS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING IMMEDIATELY, PRIOR TO AND/OR DURING CONSTRUCTION IF ANY ADDITIONAL INFORMATION ON THE CONSTRUCTION SEQUENCE IS NECESSARY.

LEGEND

-  ROCK ENTRANCE
-  EROSION CONTROL BLANKET
-  INLET PROTECTION
-  SILT FENCE
-  LIMITS OF DISTURBANCE
-  SAFETY FENCE
-  BIOROLL

KEYNOTE LEGEND

- (A) SILT FENCE
- (B) INLET PROTECTION
- (C) ROCK CONSTRUCTION ENTRANCE
- (D) EROSION CONTROL BLANKET
- (E) BIOROLL



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**EROSION AND
SEDIMENT
CONTROL PLAN -
PHASE 1**

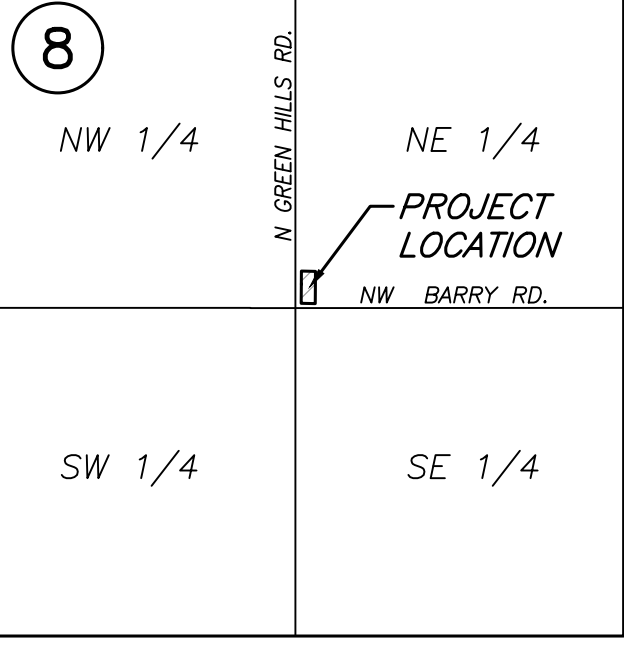
**SBUX #85175 - BARRY
RD & GREEN HILLS RD**
PREPARED FOR
HUM BARRY, LLC
KANSAS CITY MISSOURI

SHEET NUMBER
C300

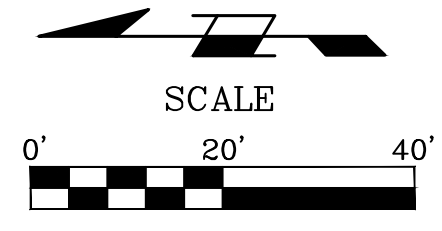
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KHA PROJECT	161143001
DATE	07/19/2024
SCALE	AS SHOWN
DESIGNED BY	BSK
DRAWN BY	BSK
CHECKED BY	MTL

No.	REVISIONS	DATE	BY



VICINITY MAP
SEC. 8-51-33
(NOT TO SCALE)

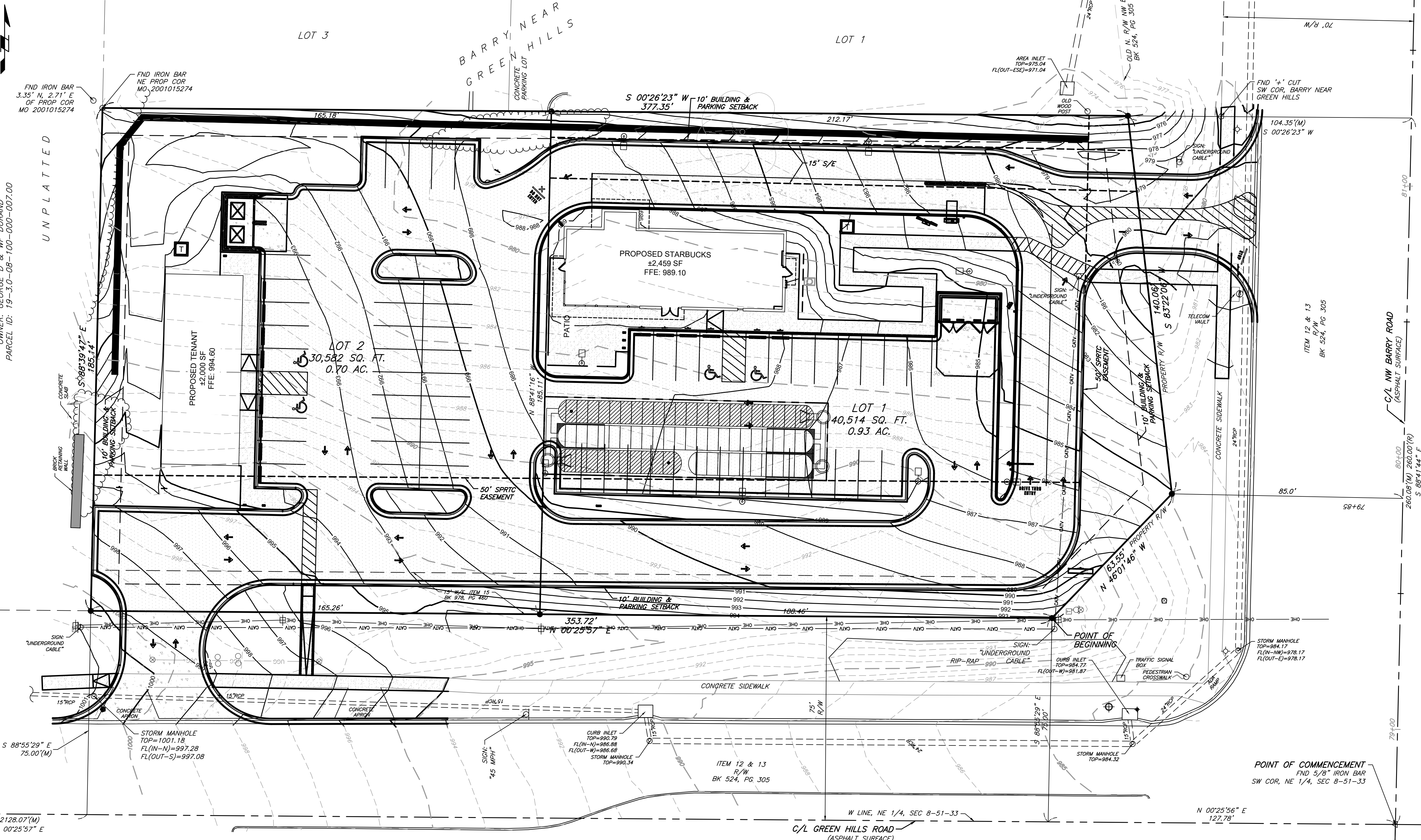


- LEGEND**
- ◆ - BENCHMARK
 - △ - SECTION CORNER AS NOTED
 - - MONUMENT FOUND AS NOTED
 - - SET MONUMENT AS NOTED
 - - FOUND 1/2" IRON BAR AT CORNER UNLESS OTHERWISE NOTED
 - - SET 1/2" IRON BAR AT CORNER W/ J & J CAP
 - (M) - MEASURED DISTANCE
 - (R) - RECORD DISTANCE
 - C/L - CENTER LINE
 - R/W - RIGHT OF WAY
 - W/E - WATER EASEMENT
 - ⊙ - EXISTING TREE
 - ⊕ - WATER VALVE
 - ⊕ - FIRE HYDRANT
 - ⊕ - SANITARY MANHOLE
 - ⊕ - STORM MANHOLE
 - ⊕ - POWER POLE
 - ⊕ - LIGHT POLE
 - ⊕ - TRAFFIC SIGNAL POLE
 - ⊕ - TELEPHONE PEDESTAL
 - ⊕ - BOLLARD
 - ⊕ - SIGN AS NOTED
 - ⊕ - FIBER OPTIC MARKER
 - S - SANITARY SEWER LINE
 - OHE - OVERHEAD ELECTRIC
 - UGG - UNDERGROUND GAS
 - CAV - CABLE
 - S/E - SANITARY SEWER EASEMENT
 - SPRTC - TRANSPORTATION EASEMENT

OWNER: GEORGE D. & WF DURAND
PARCEL ID: 19-3.0-08-100-000-007.00

UNPLATTED

PRELIMINARY PLAT
HUM BARRY
NE 1/4, SECTION 8, TOWNSHIP 51 NORTH, RANGE 33 WEST
KANSAS CITY, PLATTE COUNTY, MISSOURI



GENERAL SURVEY NOTES:

1. REFERENCED: The plat of BARRY NEAR GREEN HILLS, FINAL PLAT a subdivision of land in the Northeast quarter of Section 8-51-33, city of Kansas City, Platte County, Missouri is recorded in Plat Book 20 at Page 385 in the Recorder of Deeds Office in Clay County, Missouri.
2. Commitment #1931303, dated January 24, 2023 at 8:00 AM, issued by Stewart Title Guaranty Company, was provided by client.
3. Basis of bearings was established by Missouri State of Plane Coordinate system by GPS observation.
4. The subject property is located in Zone X, areas determined to be outside the 0.2% annual chance floodplain, as shown on the Flood Insurance Rate Map (FIRM) 29095C0107G, effective January 20, 2017.
5. Subject property is currently zoned residential.

UTILITY NOTE:

The utilities on this survey are shown based on source information from plans and markings and were combined with observed evidence of utilities pursuant to Section 5.E.iv. to develop a view of the underground utilities. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. In addition, in some jurisdictions, 811 or other similar utility locate requests from surveyors may be ignored or result in an incomplete response, in which case the surveyor shall note on the plat or map how this affected the surveyor's assessment of the location of the utilities. Where additional or more detailed information is required, the client is advised that excavation and/or a private utility locate request may be necessary.

SITE PLAN NOTES:

1. REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF STOOPS, TRASH ENCLOSURES & PRECISE BUILDING DIMENSIONS. REFER TO THE SITE ELECTRICAL PLAN FOR LOCATIONS OF PROPOSED LIGHT POLES, CONDUITS, AND ELECTRICAL EQUIPMENT.
2. REFER TO CERTIFIED SITE SURVEY OR PLAT FOR EXACT LOCATION OF EXISTING EASEMENTS, PROPERTY BOUNDARY DIMENSIONS, AND ADJACENT RIGHT-OF-WAY & PARCEL INFORMATION.
3. DIMENSIONS AND RADI ARE DRAWN TO THE FACE OF CURB, UNLESS OTHERWISE NOTED. DIMENSIONS ARE ROUNDED TO THE NEAREST TENTH FOOT, AND AREAS ARE ROUNDED TO THE NEAREST SQUARE FOOT.
4. UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR RELOCATING EXISTING SITE IMPROVEMENTS THAT CONFLICT WITH THE PROPOSED WORK, INCLUDING BUT NOT LIMITED TO TRAFFIC SIGNS, LIGHT POLES, ABOVEGROUND UTILITIES, ETC. PERFORM WORK IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS. COST SHALL BE INCLUDED IN BASE BID.
5. TYPICAL PARKING STALL DIMENSIONS SHALL BE 8.5- FEET IN WIDTH AND 18- FEET IN LENGTH UNLESS OTHERWISE INDICATED.
6. MONUMENT SIGN(S) ARE DETAILED ON THE ARCHITECTURAL PLANS AND ARE SHOWN FOR GRAPHICAL & INFORMATIONAL PURPOSES ONLY. CONTRACTOR TO VERIFY SIGN DIMENSIONS, LOCATION AND REQUIRED PERMITS WITH THE OWNER.
7. THE CONSTRUCTION COVERED BY THESE PLANS SHALL CONFORM TO ALL APPLICABLE STANDARDS AND SPECIFICATIONS OF THE PUBLIC WORKS DEPARTMENT OF THE CITY OF KANSAS CITY, MO IN ALL USAGE AND ALL SUPPLEMENTS THERE TO.

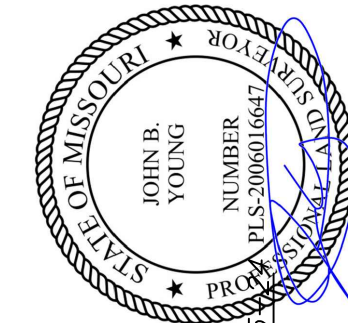
CLIENT:
Jake McFee
jake@apalarch.com

PROPERTY LOCATION:
8433 North Green Hills Road
Kansas City, Missouri 64154

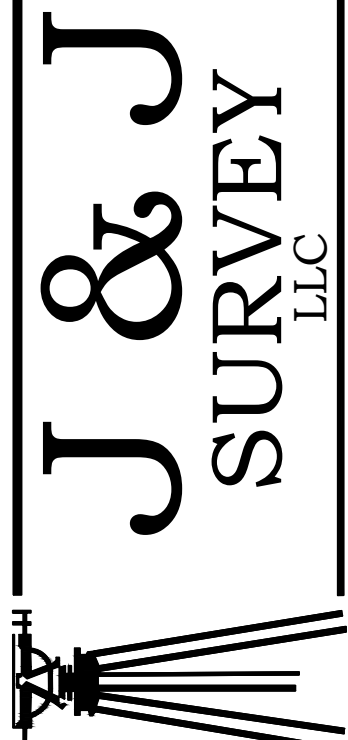
PROPERTY DESCRIPTION:

A tract in the Northeast Quarter of Section 8, Township 51 North, Range 33 West, in Kansas City, Platte County, Missouri, being more particularly described as follows, surveyed and described on October 14, 2024, by John B. Young, PLS-2006016647: Commencing at the Southwest corner of said Northeast Quarter; Thence North 00°25'57" East along the West line of said Northeast Quarter, 127.78 feet; Thence South 88°55'29" East, 75.00 feet to the intersection of the East Right-of-Way line of Green Hills Road and the North Right-of-Way line of NW Barry Road, as both are now established, said point also being the Point of Beginning; Thence North 00°25'57" East along said East Right-of-Way line, 353.72 feet; Thence South 88°39'47" East, 185.14 feet to the Northwest corner of BARRY NEAR GREEN HILLS, a subdivision in said Kansas City, Platte County, Missouri; Thence South 00°26'23" West along the West line of said BARRY NEAR GREEN HILLS, 377.35 feet to the North Right-of-Way line of said NW Barry Road; Thence South 83°22'06" West along said North Right-of-Way line, 140.06 feet; Thence North 46°01'46" West continuing along said North Right-of-Way line, 63.55 feet to the Point of Beginning. Contains 71,096 square feet or 1.63 acres, more or less.

CERTIFICATION:
I hereby certify that this drawing is based on an actual field survey of the property shown hereon, and that the survey was completed on the 12th day of June, 2024 and that said survey meets or exceeds the current Missouri Standards for Property Boundary Surveys, as established by the Missouri Board for Architects, Professional Engineers and Land Surveyors, and the Missouri Department of Natural Resources, Division of Geology and Land Survey.



John B. Young PLS-2006016647



8680A N. GREEN HILLS ROAD • KANSAS CITY, MO 64154
PHONE (816) 941-1017 • FAX (816) 941-1018

Location: S:\24.196 - 8433 N Green Hills Road\DRAWINGS\2024.10.15-PRE PLAT\24.196PPPLAT.dwg-Oct. 15, 2024-3:03pm

NO.	DATE	DESCRIPTION
1	10-14-24	INITIAL SUBMITTAL
2	10-15-24	REVISED SITE PLAN

EROSION CONTROL PLAN NOTES

1. THE STORM WATER POLLUTION PREVENTION PLAN ("SWPPP") IS COMPRISED OF THE EROSION CONTROL PLAN, THE STANDARD DETAILS, THE PLAN NARRATIVE, ATTACHMENTS INCLUDED IN THE SPECIFICATIONS OF THE SWPPP, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
2. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH LAND DISTURBING ACTIVITIES SHALL OBTAIN A COPY OF THE SWPPP AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT, AND BECOME FAMILIAR WITH THEIR CONTENTS.
3. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE AND LOCAL REQUIREMENTS, AS APPLICABLE. THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY THE PERMITTING AGENCY, ENGINEER OR OWNER.
4. SITE ENTRY AND EXIT LOCATIONS SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT THE TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADWAYS. SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO A PUBLIC ROADWAY FROM THE CONSTRUCTION SITE MUST BE REMOVED AS SOON AS PRACTICABLE. WHEN WASHING IS REQUIRED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO A PUBLIC ROADWAY, IT SHALL BE DONE IN AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT BASIN. ANY FINES IMPOSED FOR DISCHARGING SEDIMENT ONTO A PUBLIC RIGHT OF WAY SHALL BE PAID BY THE CONTRACTOR.
5. TEMPORARY SEEDING OR OTHER APPROVED METHODS OF STABILIZATION SHALL BE INITIATED WITHIN 7 DAYS OF THE LAST DISTURBANCE ON ANY AREA OF THE SITE.
6. THE CONTRACTOR SHALL MINIMIZE LAND DISTURBANCE AND CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
7. CONTRACTOR SHALL DENOTE ON THE PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
8. ALL WASH WATER FROM THE CONSTRUCTION SITE (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED BEFORE DISPOSAL.
9. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR

- CHEMICAL SPILLS AND LEAKS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ON SITE. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
 11. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
 12. STAGING AREAS, STOCKPILES, SPOILS, ETC. SHALL BE LOCATED OUTSIDE OF DRAINAGE WAYS SUCH THAT STORM WATER RUNOFF WILL NOT BE ADVERSELY AFFECTED. PROVIDE STABILIZATION MEASURES SUCH AS PERIMETER EROSION CONTROL BMP'S, SEEDING, OR OTHER COVERING AS NECESSARY TO PREVENT EROSION.
 13. CONTRACTOR SHALL BE RESPONSIBLE FOR RE-ESTABLISHING ANY EROSION CONTROL BMP DISTURBED DURING CONSTRUCTION OPERATIONS. NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DEFICIENCIES IN THE ESTABLISHED EROSION CONTROL MEASURES THAT MAY LEAD TO UNAUTHORIZED DISCHARGE OF STORM WATER POLLUTANTS. UNAUTHORIZED POLLUTANTS INCLUDE (BUT ARE NOT LIMITED TO) EXCESS CONCRETE DUMPINGS, CONCRETE RESIDUE, PAINTS, SOLVENTS, GREASES, FUELS, LUBRICANT OILS, PESTICIDES, AND SOLID WASTE MATERIALS.
 14. EROSION CONTROL BMP'S SHOWN ON THESE PLANS SHALL BE INSTALLED PRIOR TO THE START OF LAND-DISTURBING ACTIVITIES ON THE PROJECT, AND INITIATED AS SOON AS PRACTICABLE.
 15. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPLYING WITH THE REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION, AND SHALL MAINTAIN COMPLIANCE WITH APPLICABLE LAWS AND REGULATIONS FOR THE DURATION OF CONSTRUCTION.
 16. THE CONTRACTOR SHALL FIELD ADJUST AND/OR PROVIDE ADDITIONAL EROSION CONTROL BMP'S AS NEEDED TO PREVENT EROSION AND OFF-SITE SEDIMENT DISCHARGE FROM THE CONSTRUCTION SITE. LOG AND RECORD ANY ADJUSTMENTS AND DEVIATIONS FROM THE APPROVED EROSION CONTROL PLANS WITHIN THE SWPPP DOCUMENTS STORED IN THE JOB SITE TRAILER.

SWPPP UPDATES & AMENDMENTS

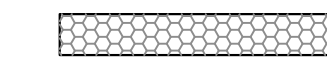


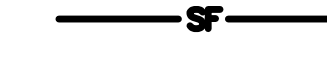
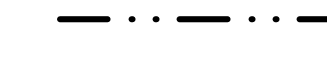
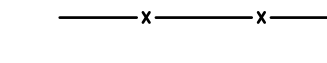

THE CONTRACTOR MUST UPDATE THE SWPPP BY NOTING ON THE SITE MAPS IN THE JOB SITE BINDER TO REFLECT THE PROGRESS OF CONSTRUCTION ACTIVITIES AND GENERAL CHANGES TO THE PROJECT SITE FOR THE DURATION OF LAND DISTURBING ACTIVITIES. AT A MINIMUM, UPDATES SHALL BE MADE DAILY TO TRACK CONSTRUCTION PROGRESS DESCRIBED IN THE SEQUENCE OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR NOTING THE LOCATION OF THE JOB SITE TRAILER, TEMPORARY PARKING & LAYDOWN AREAS, PORTA-POTTY, WHEEL WASH, CONCRETE WASHOUT, FUEL & MATERIAL STORAGE, SOLID WASTE CONTAINERS, AND OTHER CONSTRUCTION RELATED FACILITIES THAT MAY IMPACT STORMWATER RUNOFF.

PHASE 2 SEQUENCE OF CONSTRUCTION

1. TEMPORARILY SEED, THROUGHOUT CONSTRUCTION, DENUDED AREAS THAT WILL BE INACTIVE FOR 14 DAYS OR MORE.
2. CONSTRUCT UNDERGROUND SITE UTILITIES AND STORM SEWER, INCLUDING UNDERGROUND STORMWATER MANAGEMENT SYSTEM.
3. INSTALL APPROPRIATE INLET PROTECTION AT ANY NEW STORM SEWER STRUCTURES AS EACH STRUCTURE IS CONSTRUCTED.
4. COMPLETE SITE GRADING AND PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE BROUGHT TO FINAL GRADE.
5. PLACE PAVEMENT BASE MATERIAL AND INSTALL SUBDRAINAGE SYSTEM.
6. CONSTRUCT PAVEMENTS, CURB & GUTTER, AND SIDEWALKS.
7. AS APPROPRIATE, REPLACE & MAINTAIN INLET PROTECTION DEVICES WITHIN PAVED AREAS AS WORK PROGRESSES.
8. COMPLETE FINAL GRADING AND INSTALL OF PERMANENT STABILIZATION (SEEDING, SODDING, ETC.) WITHIN LANDSCAPED AREAS.
9. WHEN THE SITE HAS ACHIEVED FINAL STABILIZATION AS DEFINED BY THE APPLICABLE EROSION CONTROL PERMITS, REMOVE ALL REMAINING TEMPORARY EROSION & SEDIMENT CONTROL BMP'S AND RE-STABILIZE ANY AREAS DISTURBED BY THE REMOVAL.

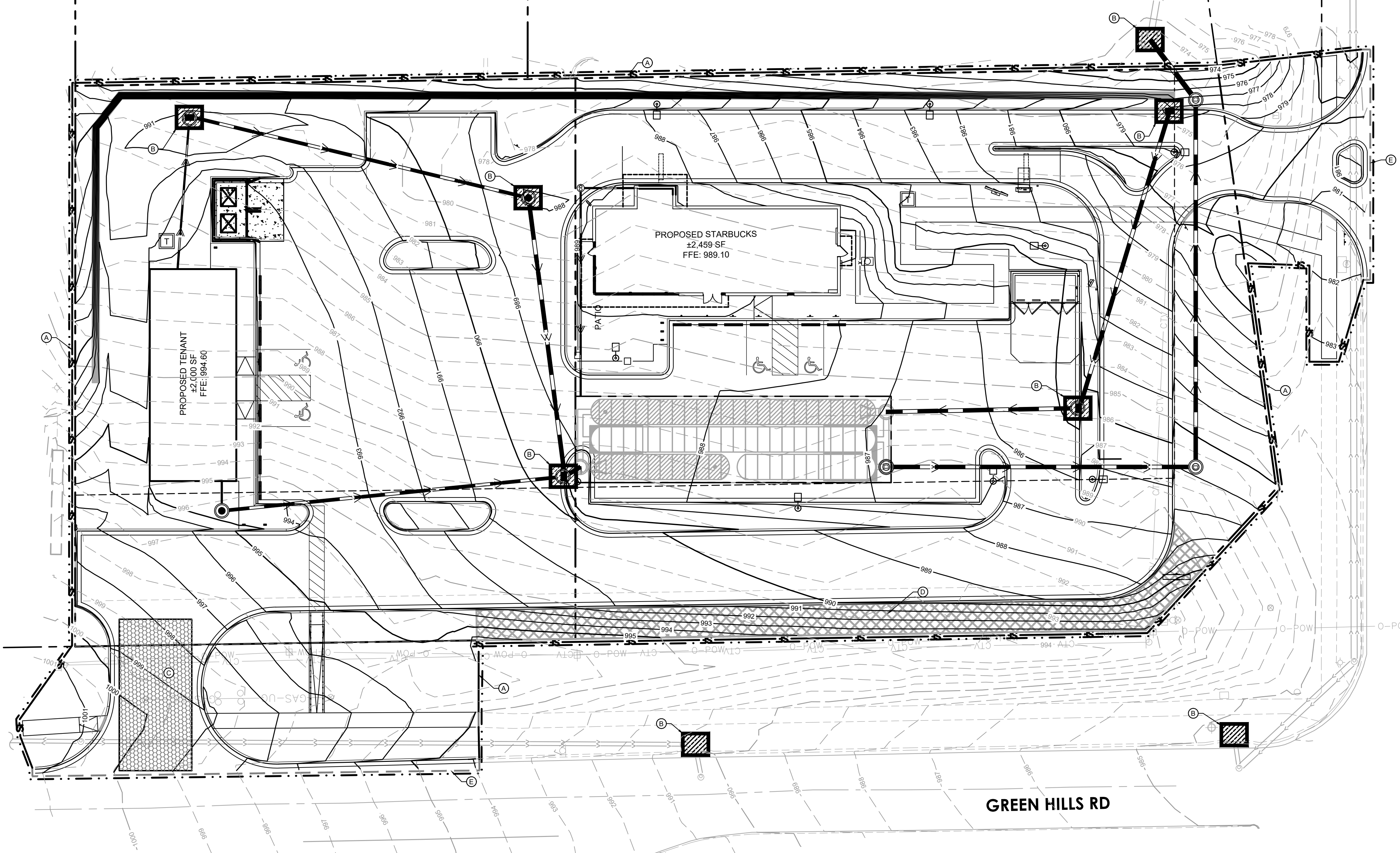
NOTE: THE SEQUENCE OF CONSTRUCTION IS INTENDED TO CONVEY THE GENERAL CONCEPTS OF THE EROSION CONTROL DESIGN AND SHOULD NOT BE RELIED UPON FOR CONSTRUCTION PURPOSES. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETAILED PHASING AND CONSTRUCTION SEQUENCING NECESSARY TO CONSTRUCT THE PROPOSED IMPROVEMENTS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING IMMEDIATELY, PRIOR TO AND/OR DURING CONSTRUCTION IF ANY ADDITIONAL INFORMATION ON THE CONSTRUCTION SEQUENCE IS NECESSARY.

LEGEND

-  ROCK ENTRANCE
-  EROSION CONTROL BLANKET
-  INLET PROTECTION
-  SILT FENCE
-  LIMITS OF DISTURBANCE
-  SAFETY FENCE
-  BIOROLL

KEYNOTE LEGEND

- (A) SILT FENCE
- (B) INLET PROTECTION
- (C) ROCK CONSTRUCTION ENTRANCE
- (D) EROSION CONTROL BLANKET
- (E) BIOROLL

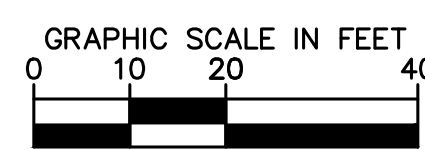
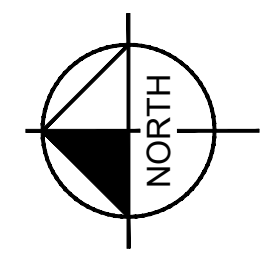


NW BARRY RD

GREEN HILLS RD



Know what's below.
Call before you dig.



ISSUED FOR PERMIT - NOT FOR CONSTRUCTION

**EROSION AND
SEDIMENT
CONTROL PLAN-
PHASE 2**

**SBUX #85175 - BARRY
RD & GREEN HILLS RD**
PREPARED FOR
HUM BARRY, LLC

SHEET NUMBER
C301

KHA PROJECT	161143001
DATE	07/19/2024
SCALE	AS SHOWN
DESIGNED BY	BSK
DRAWN BY	BSK
CHECKED BY	MTL

Kimley»Horn
2024 KIMLEY-HORN AND ASSOCIATES, INC.
805 PENNSYLVANIA, SUITE 150 KANSAS CITY, MO 64105
PHONE: 816-231-5127
WWW.KIMLEY-HORN.COM

No.	REVISIONS	DATE	BY

Notes for Concrete Washout:

- Concrete washout areas shall be installed prior to any concrete placement on site.
- Concrete washout areas shall include a flat substrate of at least 2" thick concrete or equivalent material. The substrate shall be prepared by the contractor and shall be at least 10' from the edge of the washout area.
- Concrete washout areas shall be installed in a manner that allows for easy access to the washout area.
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Maintenance for Concrete Washout:

- Concrete washout areas shall be maintained in a manner that allows for easy access to the washout area.
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Notes for Construction Entrance:

- Install curbs on steep slopes, at corners or public roads, or at points of abutment.
- Remove all vegetation and other undesirable material from the foundation area, grade, and areas for positive drainage.
- If slope towards the public road exceeds 2%, construct a 6" to 8" high curb with 2" x 4" side slope across the foundation approximately 12 feet from the edge of the public road to divert runoff from it.
- Install pipe under the entrance if needed to maintain drainage during peak runoff.
- Place stone to divert runoff and grade as shown on plans. Leave surface smooth for drainage.
- Direct all surface runoff and drainage from the entrance to a sediment control device.
- If conditions warrant, place geotextile fabric on the graded foundation to improve stability.

Maintenance for Construction Entrance:

- Recharge entrance as needed to maintain function and integrity of installation. Top areas with clean aggregate as needed.

CONCRETE WASHOUT

AMERICAN PUBLIC WORKS ASSOCIATION
KANSAS CITY METRO CHAPTER
CONSTRUCTION ENTRANCE AND CONCRETE WASHOUT
STANDARD DRAWING NUMBER ESC-01
ADOPTED 10/24/2016

Construction Entrance modified from 2015 Overlook Park Standard Details for Erosion and Sediment Control. Concrete Washout modified from 2009 City of Great Bend Standard Drawings.

Notes for Concrete Washout:

- Concrete washout areas shall be installed prior to any concrete placement on site.
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Notes for Construction Entrance:

- Install curbs on steep slopes, at corners or public roads, or at points of abutment.
- Remove all vegetation and other undesirable material from the foundation area, grade, and areas for positive drainage.
- If slope towards the public road exceeds 2%, construct a 6" to 8" high curb with 2" x 4" side slope across the foundation approximately 12 feet from the edge of the public road to divert runoff from it.
- Install pipe under the entrance if needed to maintain drainage during peak runoff.
- Place stone to divert runoff and grade as shown on plans. Leave surface smooth for drainage.
- Direct all surface runoff and drainage from the entrance to a sediment control device.
- If conditions warrant, place geotextile fabric on the graded foundation to improve stability.

Maintenance for Construction Entrance:

- Recharge entrance as needed to maintain function and integrity of installation. Top areas with clean aggregate as needed.

CONCRETE WASHOUT

AMERICAN PUBLIC WORKS ASSOCIATION
KANSAS CITY METRO CHAPTER
CONSTRUCTION ENTRANCE AND CONCRETE WASHOUT
STANDARD DRAWING NUMBER ESC-01
ADOPTED 10/24/2016

Construction Entrance modified from 2015 Overlook Park Standard Details for Erosion and Sediment Control. Concrete Washout modified from 2009 City of Great Bend Standard Drawings.

Notes for Installation in Channels:

- Erosion Control Blankets and Turf Reinforcement Mats shall be laid in the direction of the flow, with the first course of the blanket or mat to be in contact with the soil, by the mat manufacturer's instructions.
- ANCHOR FOLD: The top of the mat should be folded under, turned and secured with steel or other approved anchors placed 6 inches apart. The top edge of the mat should be turned in a 90-degree turn to the right or left, depending on the location of the channel, and the mat folded over the top as shown in detail.
- SPICE SEAM: When splices are necessary, overlap and a minimum of 12 inches in direction of water flow. Stagger splices.
- CHECK SPICES: Establish check splice transverse to slope every 10 feet. The splice should be a minimum width of 6 inches. The mat should be cut to a depth of 12 inches beyond the mat. The top of the mat should be turned under, secured and turned under to the edge anchor fold. The upstream mat should then cover the mat and be anchored as shown.
- EDGE ANCHORS: Lay outside edge of mat into trench of top of the slope and anchor.
- TYPING: The bottom edge of the mat shall be anchored.

Notes for Installation on Slopes:

- Erosion Control Blankets and Turf Reinforcement Mats shall be laid in the direction of the slope, in order to be laid in contact with the soil, by the mat manufacturer's instructions.
- ANCHOR FOLD: The top of the blanket should be "folded in" at the top of the slope and anchored in place with anchors 6 inches apart. The side should be 6 inches wide x 6 inches deep with the blanket anchored in the bottom of the V-shape, turned and secured.
- SPICE SEAM: When splices are necessary, overlap and a minimum of 12 inches in direction of water flow. Stagger splices.
- EDGE ANCHORS: Lay bottom edge of mat into trench of top of the slope and anchor.
- TYPING: The bottom edge of the mat shall be anchored.

Notes for Construction Entrance:

- Install curbs on steep slopes, at corners or public roads, or at points of abutment.
- Remove all vegetation and other undesirable material from the foundation area, grade, and areas for positive drainage.
- If slope towards the public road exceeds 2%, construct a 6" to 8" high curb with 2" x 4" side slope across the foundation approximately 12 feet from the edge of the public road to divert runoff from it.
- Install pipe under the entrance if needed to maintain drainage during peak runoff.
- Place stone to divert runoff and grade as shown on plans. Leave surface smooth for drainage.
- Direct all surface runoff and drainage from the entrance to a sediment control device.
- If conditions warrant, place geotextile fabric on the graded foundation to improve stability.

Maintenance for Construction Entrance:

- Recharge entrance as needed to maintain function and integrity of installation. Top areas with clean aggregate as needed.

CONCRETE WASHOUT

AMERICAN PUBLIC WORKS ASSOCIATION
KANSAS CITY METRO CHAPTER
EROSION CONTROL BLANKETS AND TURF REINFORCEMENT MATS
STANDARD DRAWING NUMBER ESC-02
ADOPTED 10/24/2016

Modified from 2015 Overlook Park Standard Details for Erosion and Sediment Control.

Notes:

- Immediately following inlet construction and prior to installation of curb and inlet frames, protect the opening by installing 2" x 4" (min) board across it with bracing. Structure shall have nominal depth area of at least 12" in area setting of inlet (Early Stage Curb Inlet).
- When inlet is completed and curb frame, filter cover, or approved material shall be used (Late Stage Curb Inlet). Once water is in the gutter, curb shall be in place.
- Contractor to field verify pouring water shall not create a traffic hazard.

Maintenance:

- Remove deposited sediment from filter inside area when available storage has been reduced to 20%.
- Remove deposited sediment from filter inside or similar when any accumulation of sediment is noted.

CONCRETE WASHOUT

AMERICAN PUBLIC WORKS ASSOCIATION
KANSAS CITY METRO CHAPTER
CURB INLET PROTECTION
STANDARD DRAWING NUMBER ESC-06
ADOPTED 10/24/2016

Modified from 2015 Overlook Park Standard Details for Erosion and Sediment Control.

Notes:

- In order to catch water, the ends of all silt fence must be turned up (Figure A).
- Long perimeter runs of all fence must be located to 100' from abutment or corner and into several other segments to minimize water concentrations (Figure A).
- Long spans should be broken up with intermediate rows of all fence to slow runoff velocity.
- Attach fabric to upstream side of post.
- Install posts a minimum of 2' into the ground.
- Drainage will only be allowed for minor or infrequent incidents, where silt fence cannot be removed.

Maintenance:

- Remove and dispose of sediment deposits when the deposit approaches 2/3 the height of all fence.
- Repair or replace as necessary to maintain function and structure.




CONCRETE WASHOUT

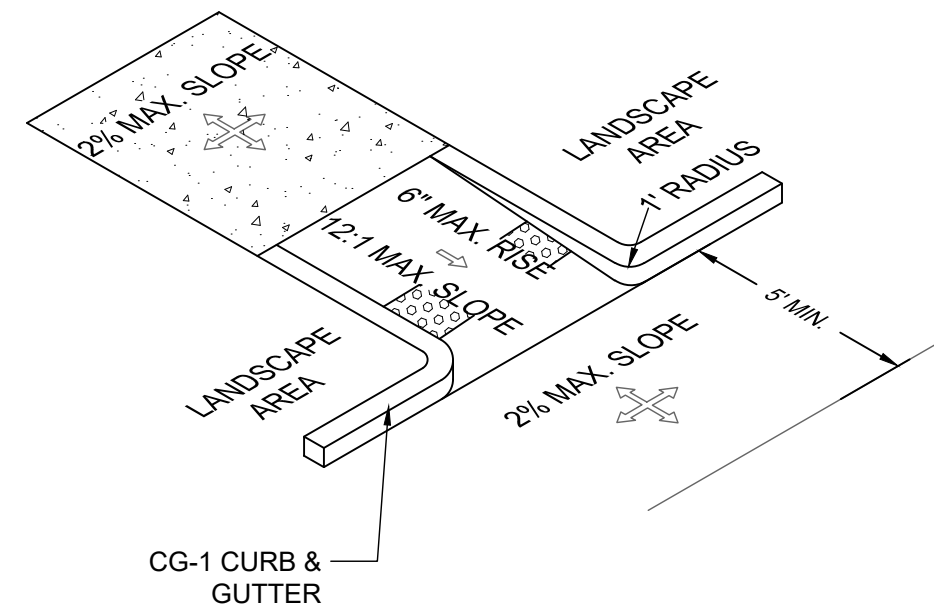
AMERICAN PUBLIC WORKS ASSOCIATION
KANSAS CITY METRO CHAPTER
SILT FENCE
STANDARD DRAWING NUMBER ESC-03
ADOPTED 10/24/2016

Modified from 2015 Overlook Park Standard Details for Erosion and Sediment Control.

K:\TCW_LDEV\Starbucks\Kansas City, MO- NE Corner Green Hills & Barry Road\3 Design\CAD\PlanSheets\C4-SITE DETAILS.dwg September 23, 2024 - 12:22pm

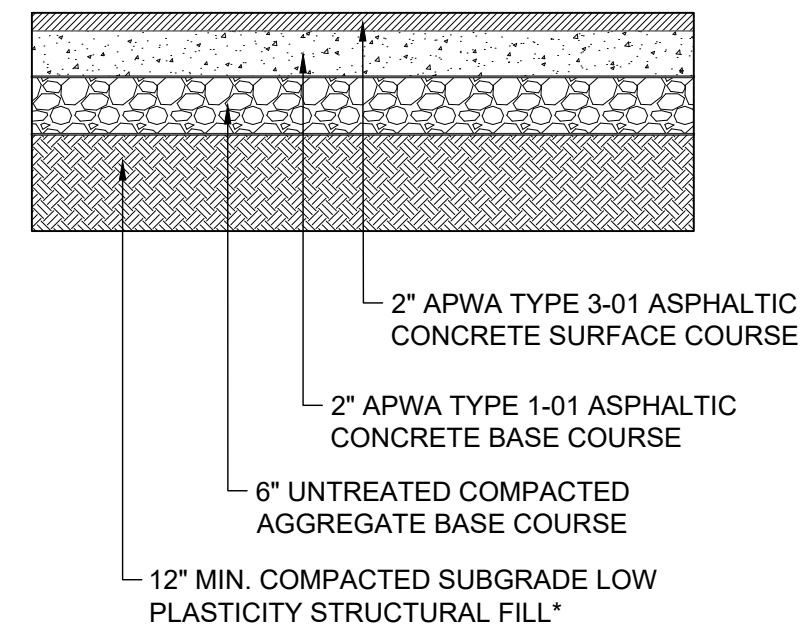
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-  LANDING
-  RAMP
-  DETECTABLE WARNING
(SEE SITE PLAN WHERE APPLICABLE)



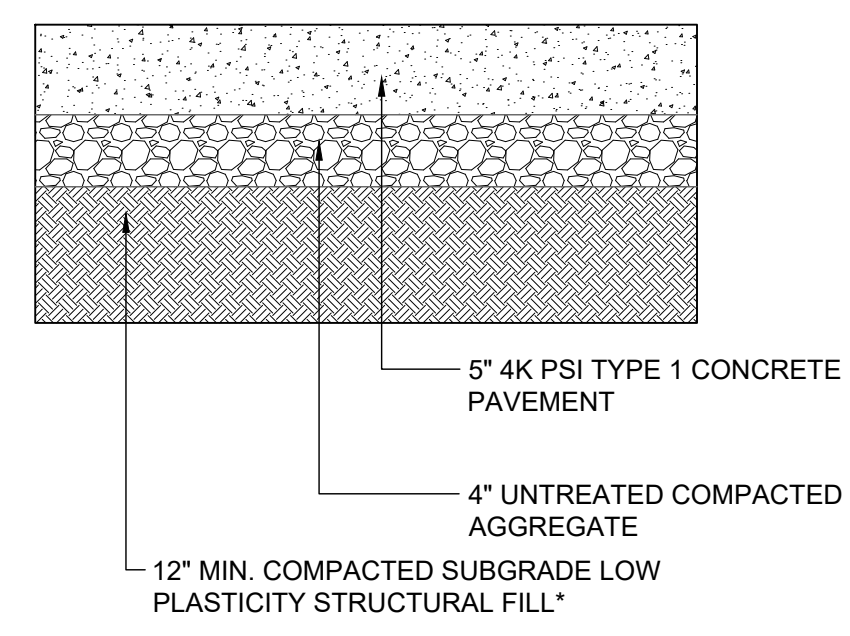
1 ACCESSIBLE RAMPS
SCALE: NOT TO SCALE

SUBGRADE NOTES:
1. PROOF-ROLLING SHOULD BE ACCOMPLISHED TO IDENTIFY SOFT OR UNSTABLE SOILS TO BE REMOVED FROM PAVEMENT AREA PRIOR TO FILL PLACEMENT AND/OR PAVEMENT CONSTRUCTION.
2. IN-LIEU-OF THE PROPOSED COMPACTED STRUCTURAL FILL, THE CONTRACTOR MAY SUBSTITUTE 12" OF CLASS "C" FLY ASH, PORTLAND CEMENT OR LIME-TREATMENT OF ON-SITE HIGH PLASTIC CLAYS. CRUSHED STONE BASE CAN BE INCLUDED IN THE 12" OF REMEDIATION IN AREAS OF UNDOCUMENTED FILL AND FAT CLAY



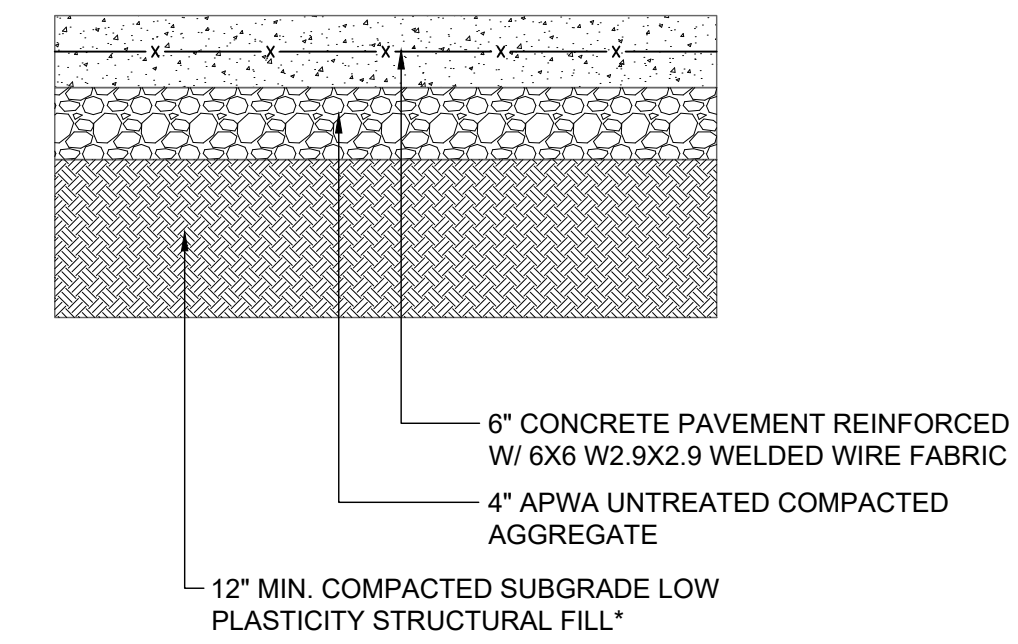
2 ASHALT PAVEMENT (PARKING LOTS)
SCALE: NOT TO SCALE

SUBGRADE NOTES:
1. PROOF-ROLLING SHOULD BE ACCOMPLISHED TO IDENTIFY SOFT OR UNSTABLE SOILS TO BE REMOVED FROM PAVEMENT AREA PRIOR TO FILL PLACEMENT AND/OR PAVEMENT CONSTRUCTION.
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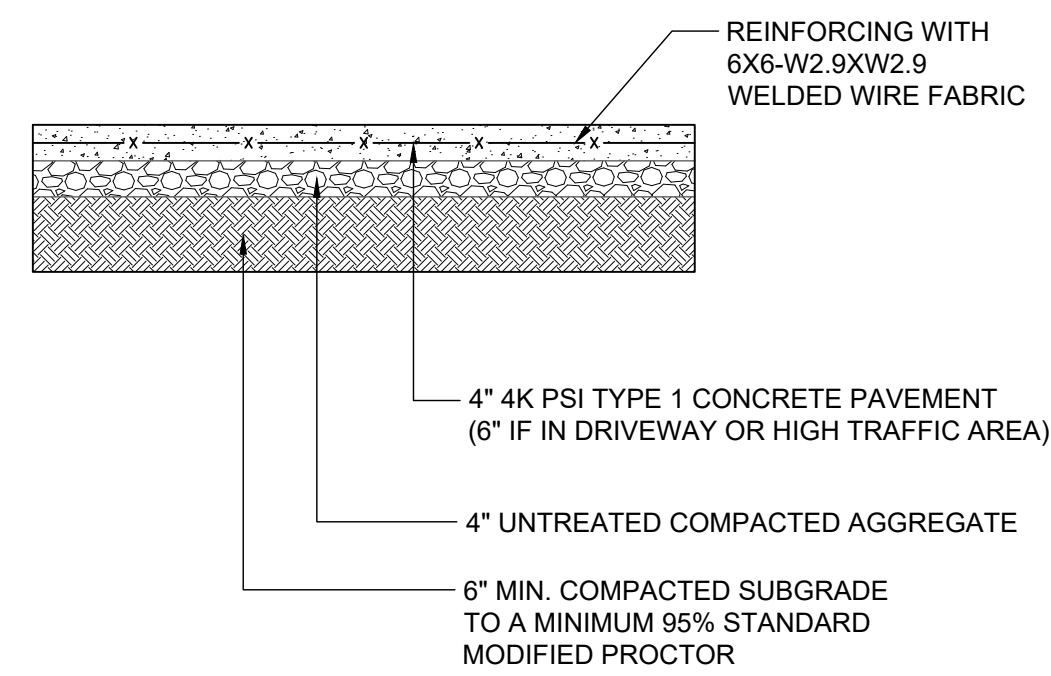


3 HEAVY DUTY CONCRETE PAVEMENT DRIVE APPROACH
SCALE: NOT TO SCALE

SUBGRADE NOTES:
1. PROOF-ROLLING SHOULD BE ACCOMPLISHED TO IDENTIFY SOFT OR UNSTABLE SOILS TO BE REMOVED FROM PAVEMENT AREA PRIOR TO FILL PLACEMENT AND/OR PAVEMENT CONSTRUCTION.
2. IN-LIEU-OF THE PROPOSED COMPACTED STRUCTURAL FILL, THE CONTRACTOR MAY SUBSTITUTE 12" OF CLASS "C" FLY ASH, PORTLAND CEMENT OR LIME-TREATMENT OF ON-SITE HIGH PLASTIC CLAYS. CRUSHED STONE BASE CAN BE INCLUDED IN THE 12" OF REMEDIATION IN AREAS OF UNDOCUMENTED FILL AND FAT CLAY

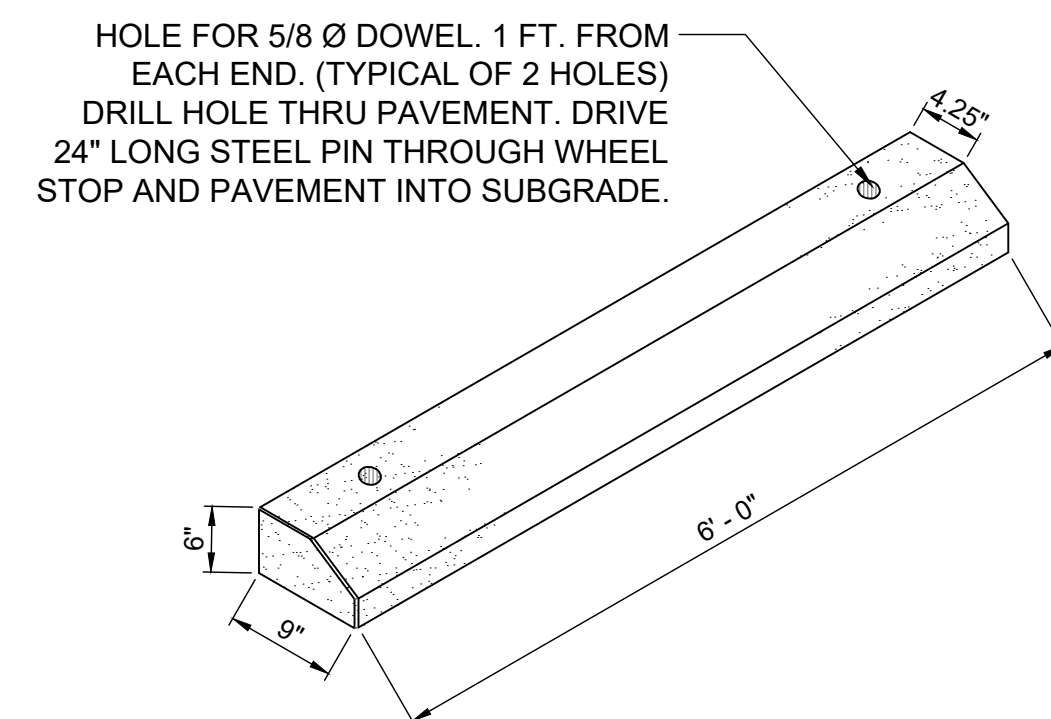


4 HEAVY DUTY CONCRETE PAVEMENT TRASH ENCLOSURE
SCALE: NOT TO SCALE

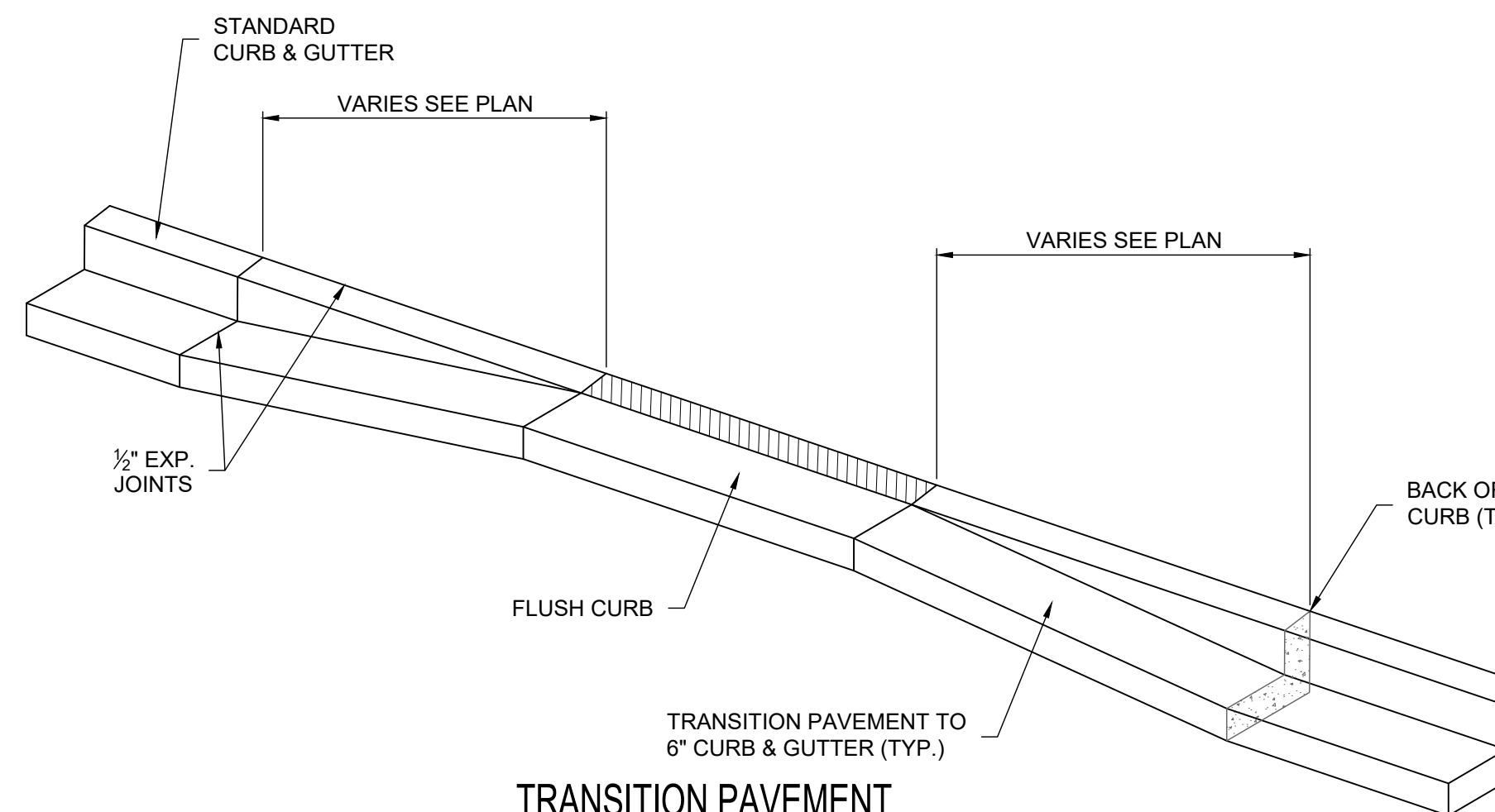


SIDEWALK PAVEMENT SECTION

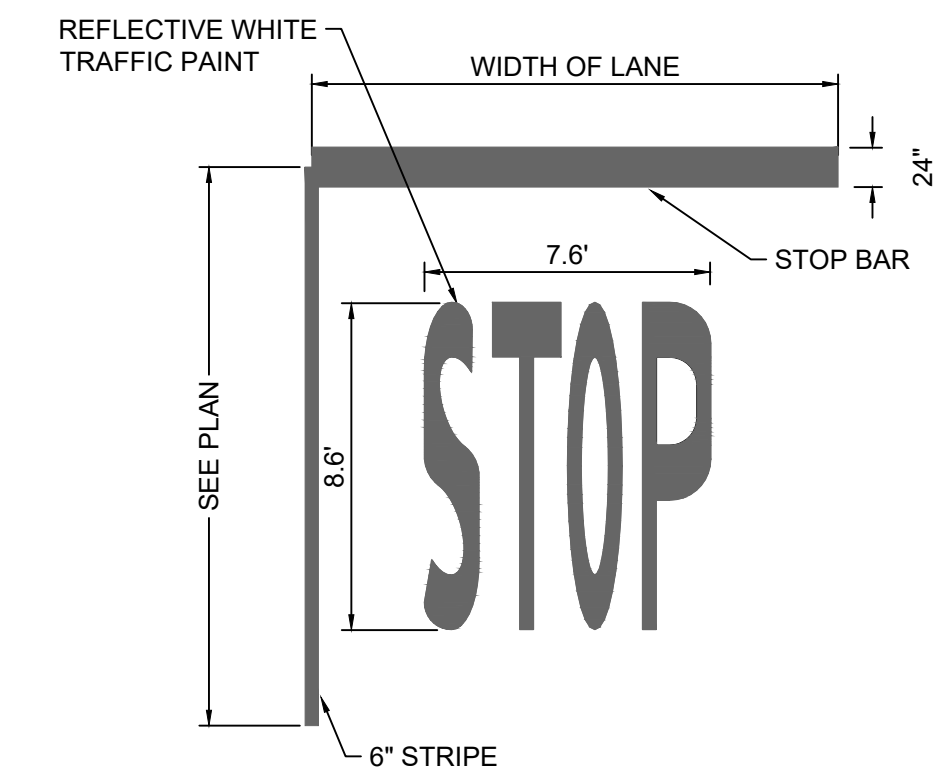
5 CONCRETE SIDEWALK
SCALE: NOT TO SCALE



6 WHEEL STOP DETAIL
SCALE: NOT TO SCALE



7 TRANSITION PAVEMENT FROM 6" TO 0"
SCALE: NOT TO SCALE



8 STOP BAR
SCALE: NOT TO SCALE

No.	REVISIONS	DATE	BY

Kimley»Horn
2024 KIMLEY-HORN AND ASSOCIATES, INC.
805 PENNSYLVANIA, SUITE 150 KANSAS CITY, MO 64105
PHONE: 816.231.5127
WWW.KIMLEY-HORN.COM

KHA PROJECT #61143001	DATE 07/19/2024	SCALE AS SHOWN	DESIGNED BY BSK	DRAWN BY BSK	CHECKED BY MTL
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SITE DETAILS

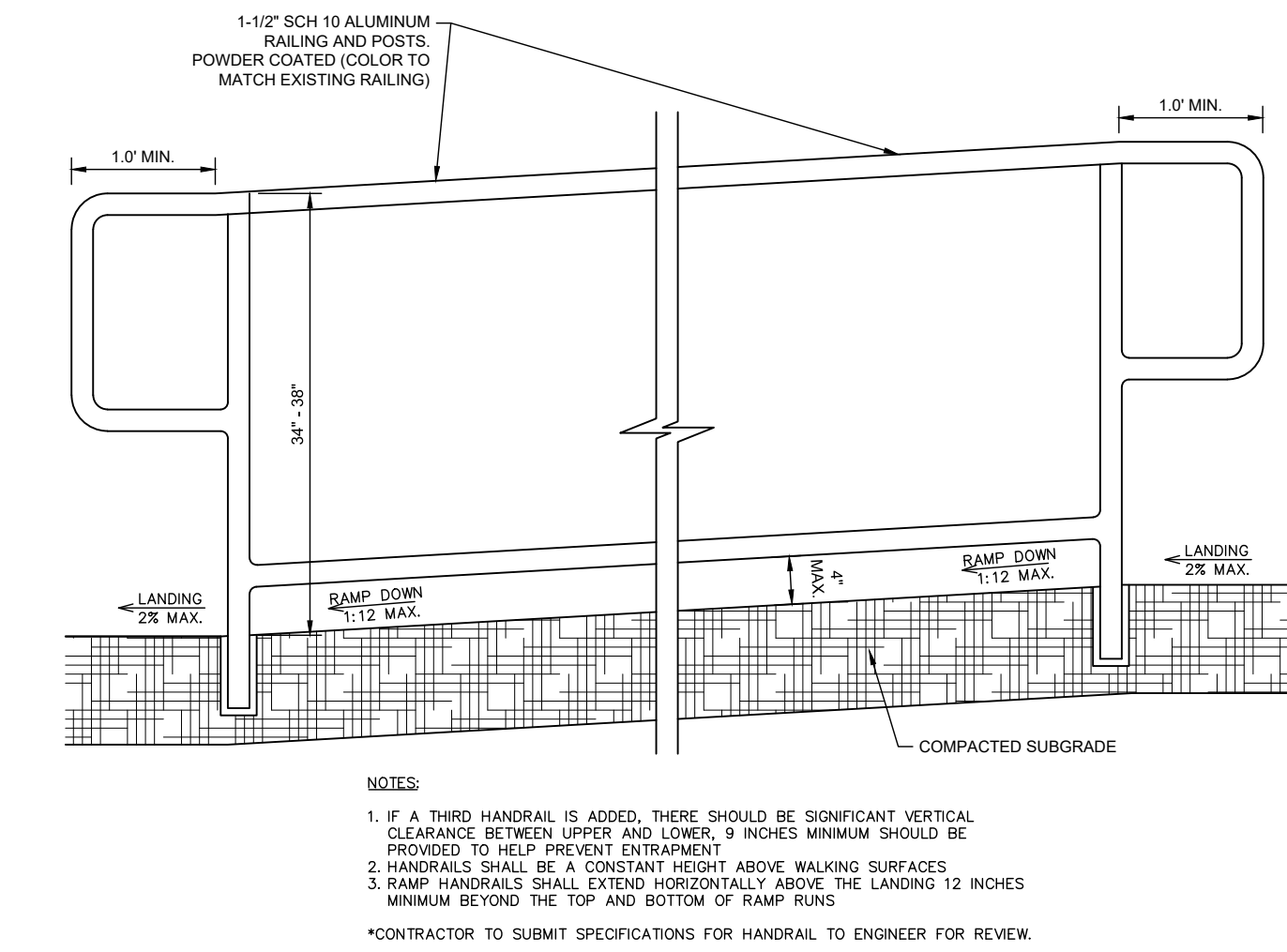
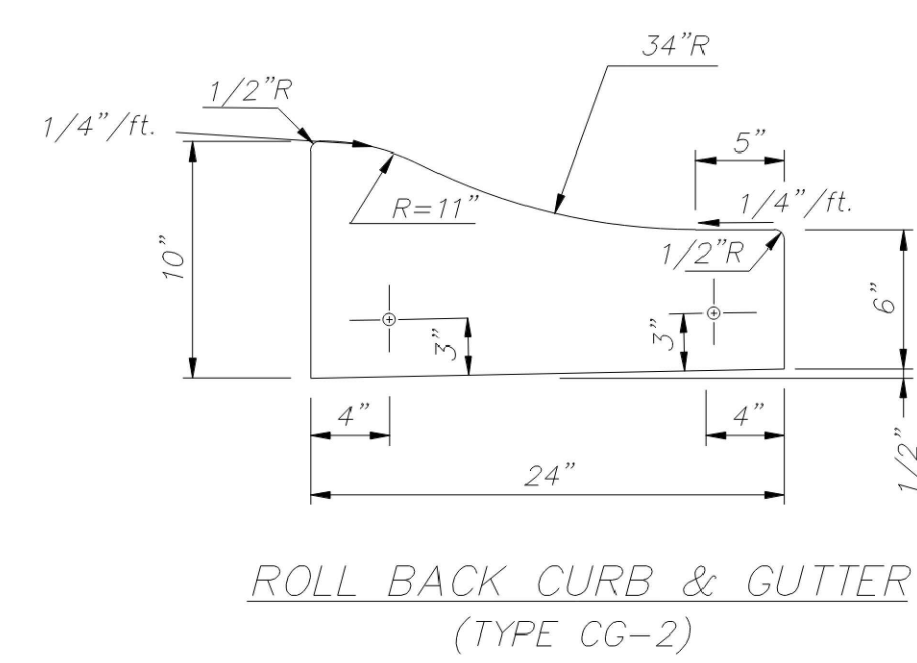
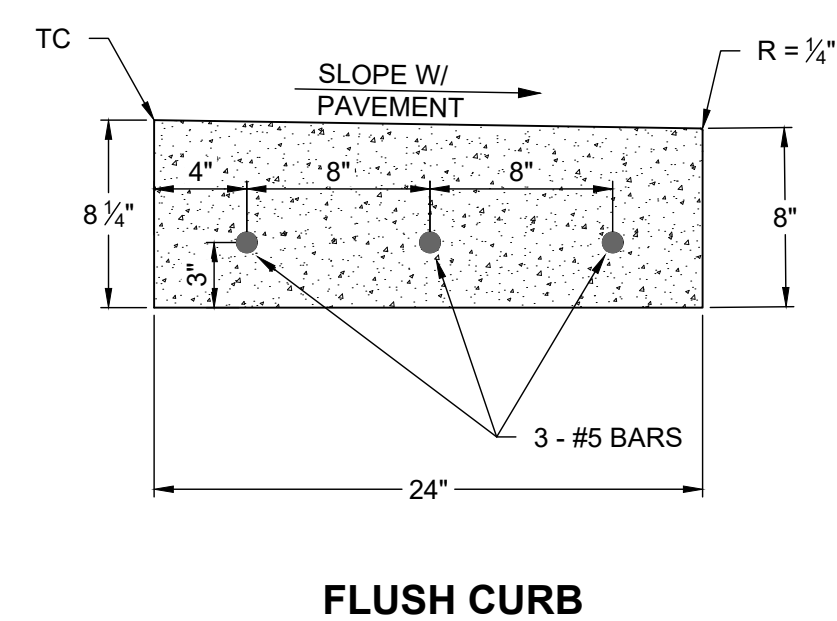
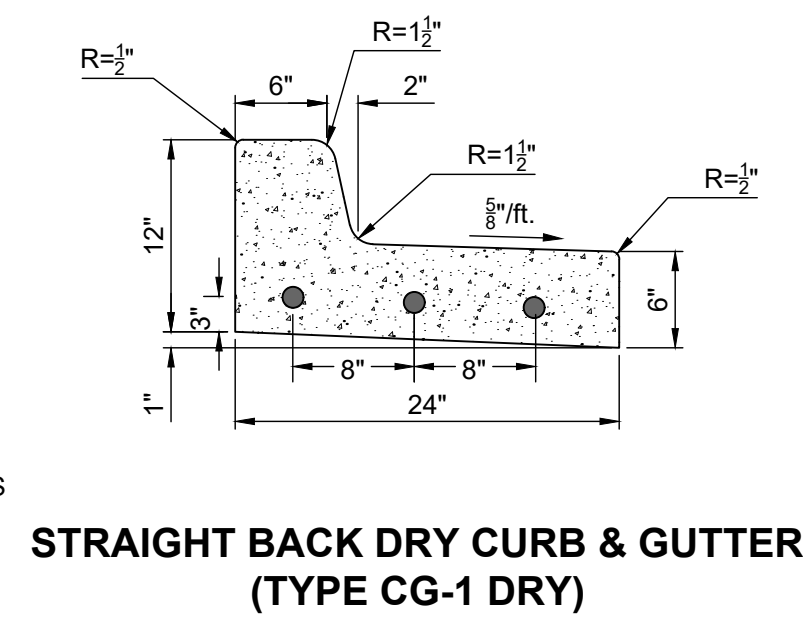
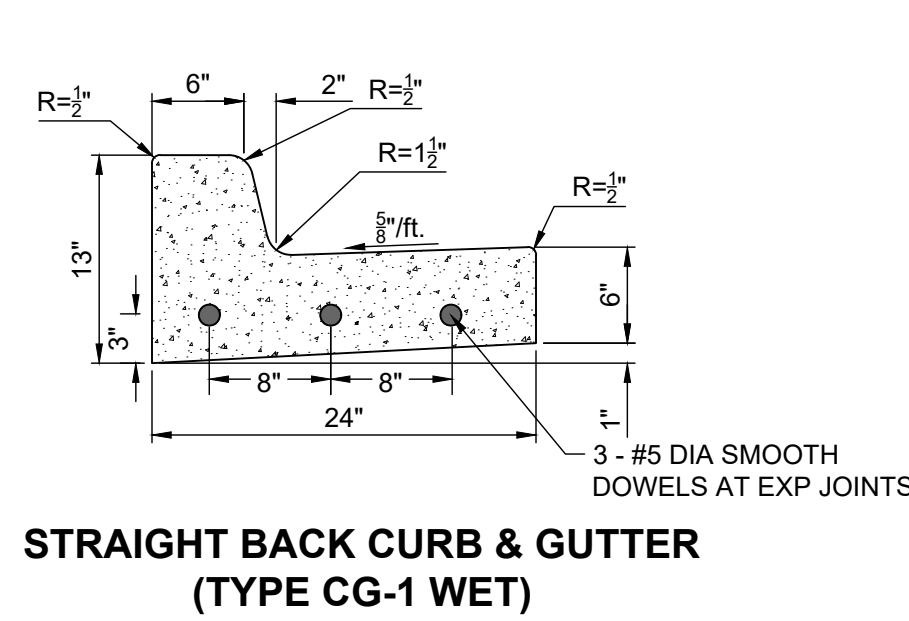
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SBUX #85175 - BARRY RD & GREEN HILLS RD
PREPARED FOR
HUM BARRY, LLC
KANSAS CITY MISSOURI

SHEET NUMBER
C401

K:\TCW_LDEV\Starbucks\Kansas City, MO- NE Corner Green Hills & Barry Road\3 Design\CAD\PlanSheets\C4-SITE DETAILS.dwg September 23, 2024 - 12:22pm

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STRAIGHT BACK CURB & GUTTER
(TYPE CG-1 WET)

STRAIGHT BACK DRY CURB & GUTTER
(TYPE CG-1 DRY)

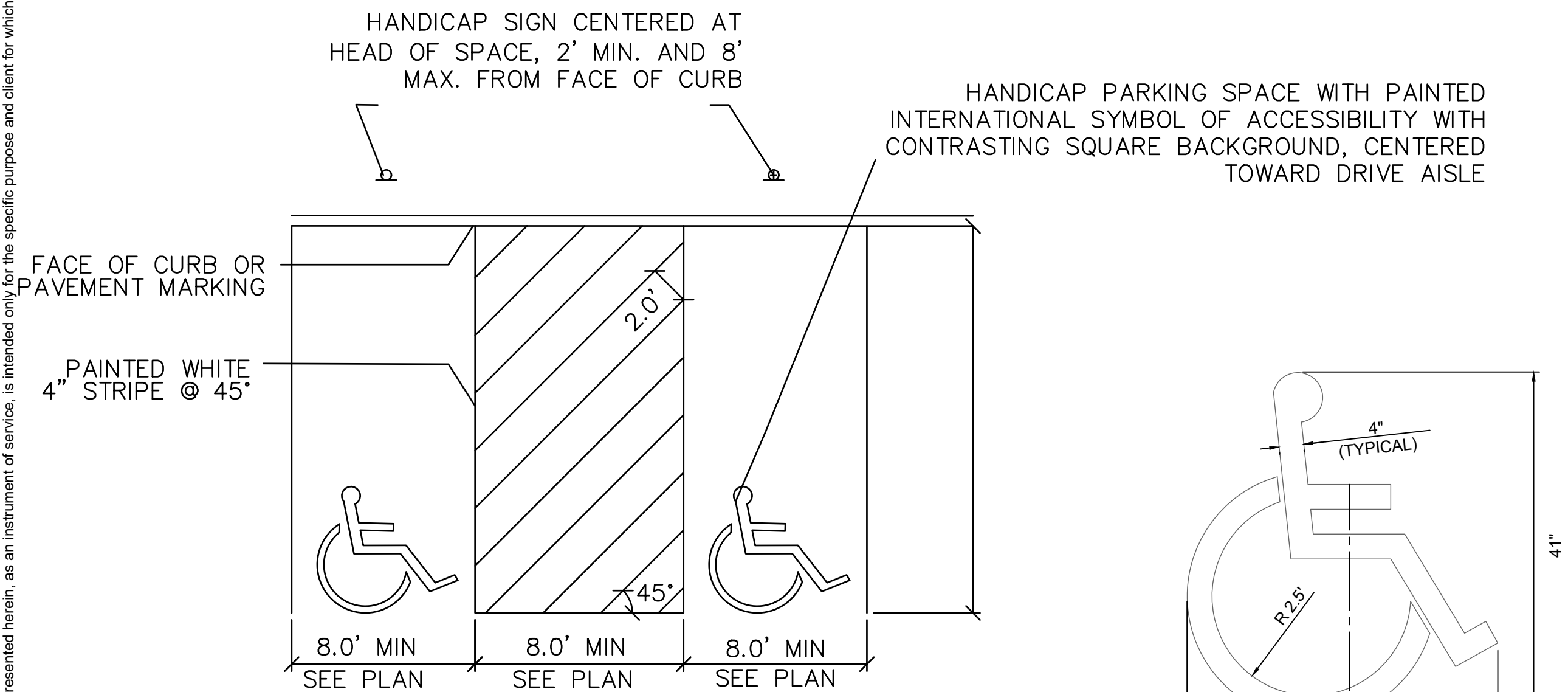
FLUSH CURB

ROLL BACK CURB & GUTTER
(TYPE CG-2)

NOTES:
1. IF A THIRD HANDRAIL IS ADDED, THERE SHOULD BE SIGNIFICANT VERTICAL CLEARANCE BETWEEN UPPER AND LOWER, 9 INCHES MINIMUM SHOULD BE PROVIDED TO HELP PREVENT ENTRAPMENT.
2. HANDRAILS SHALL BE A CONSTANT HEIGHT ABOVE WALKING SURFACES.
3. RAMP HANDRAILS SHALL EXTEND HORIZONTALLY ABOVE THE LANDING 12 INCHES MINIMUM BEYOND THE TOP AND BOTTOM OF RAMP RUNS.
*CONTRACTOR TO SUBMIT SPECIFICATIONS FOR HANDRAIL TO ENGINEER FOR REVIEW.

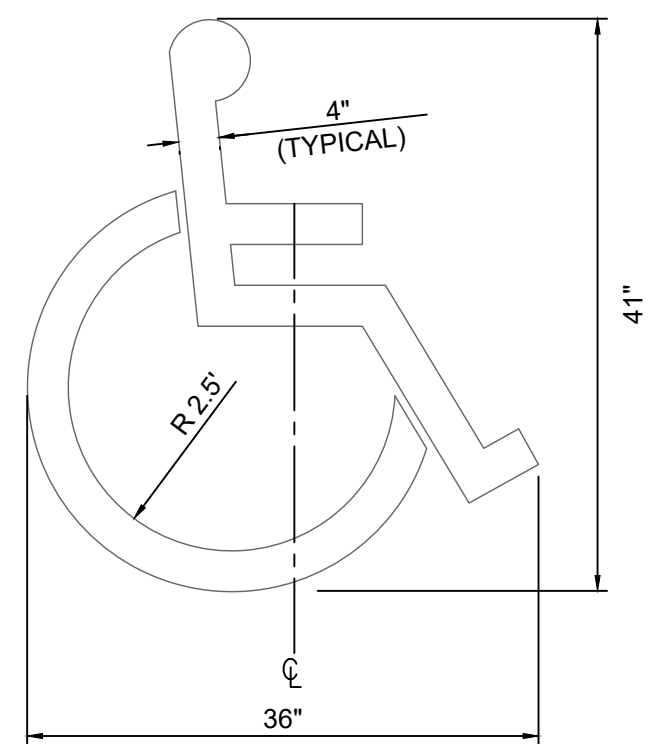
1 CURB & GUTTER
SCALE: NOT TO SCALE

2 HANDRAIL AT RAMP
SCALE: NOT TO SCALE

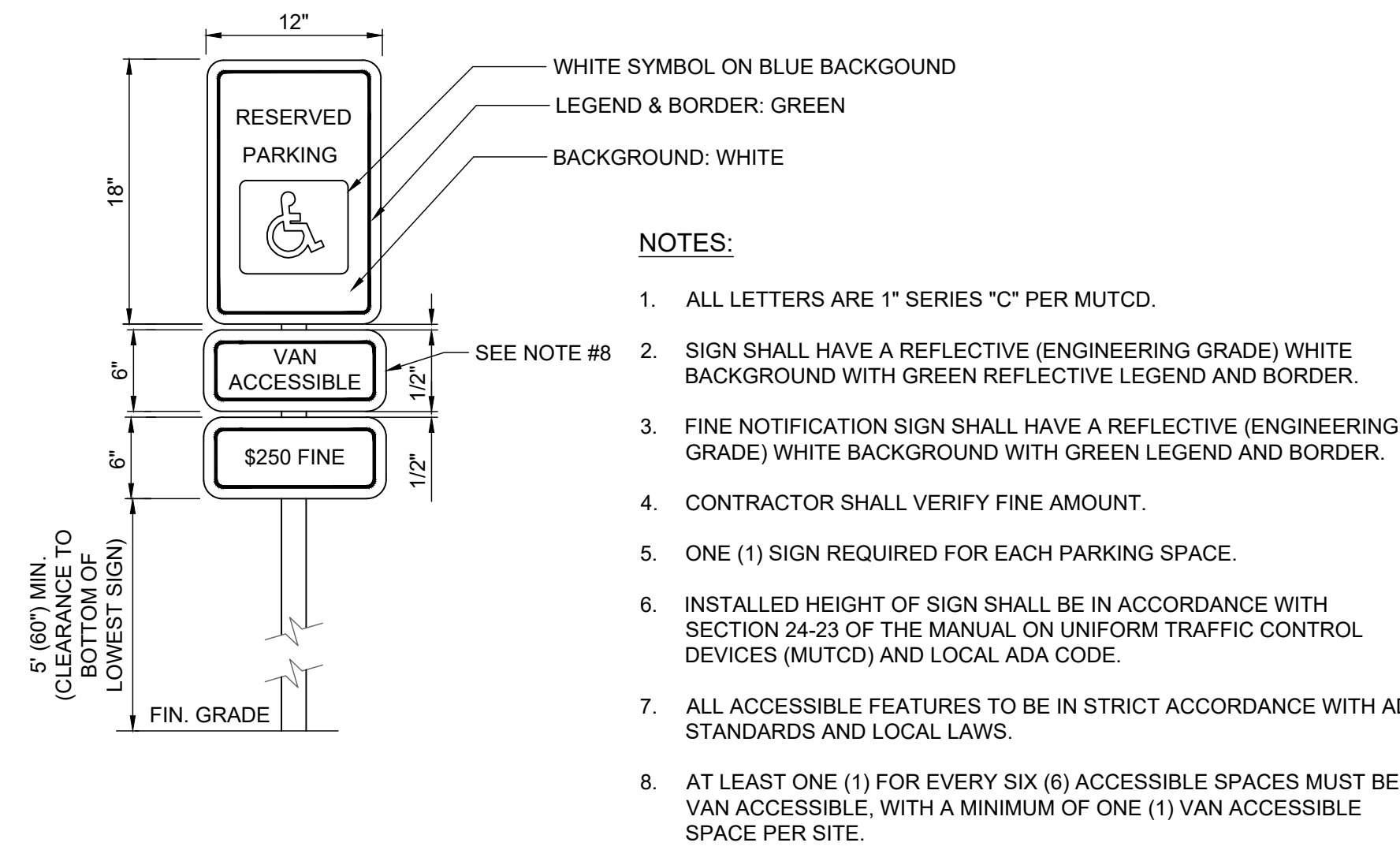


ACCESSIBLE PARKING STALL LAYOUT
NOT TO SCALE

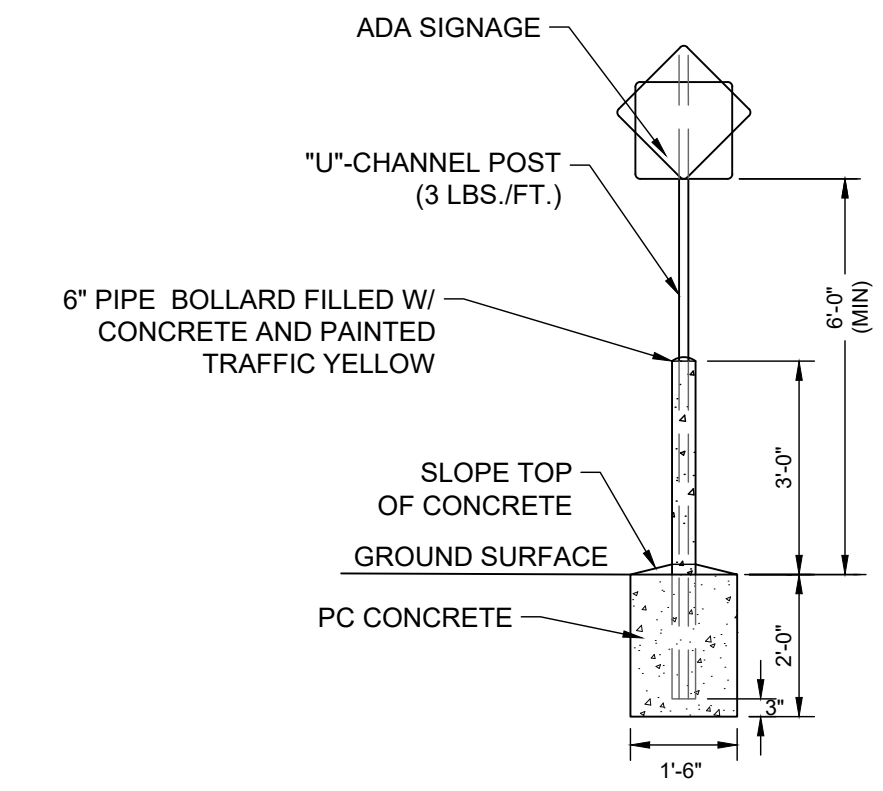
3 ADA PARKING STALL LAYOUT
SCALE: NOT TO SCALE



4 ADA PARKING SYMBOL
SCALE: NOT TO SCALE



5 ADA PARKING STALL SIGNAGE
SCALE: NOT TO SCALE



NOTES:
POLE AND SIGN TO BE PROVIDED AND INSTALLED BY GENERAL CONTRACTOR.
ALL SIGNS SHALL COMPLY WITH U.S. DEPARTMENT OF TRANSPORTATION'S FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES", LOCAL CODES AND AS SPECIFIED. MOUNT SIGNS TO POST IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

6 BOLLARD SIGN BASE
SCALE: NOT TO SCALE

No.	REVISIONS	DATE	BY

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KHA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
16T143001	07/19/2024	AS SHOWN	BSK	BSK	MTL

SITE DETAILS

ISSUED FOR PERMIT - NOT FOR CONSTRUCTION
SBUX #85175 - BARRY RD & GREEN HILLS RD
PREPARED FOR
HUM BARRY, LLC
KANSAS CITY MISSOURI
SHEET NUMBER
C402

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GRADING PLAN NOTES

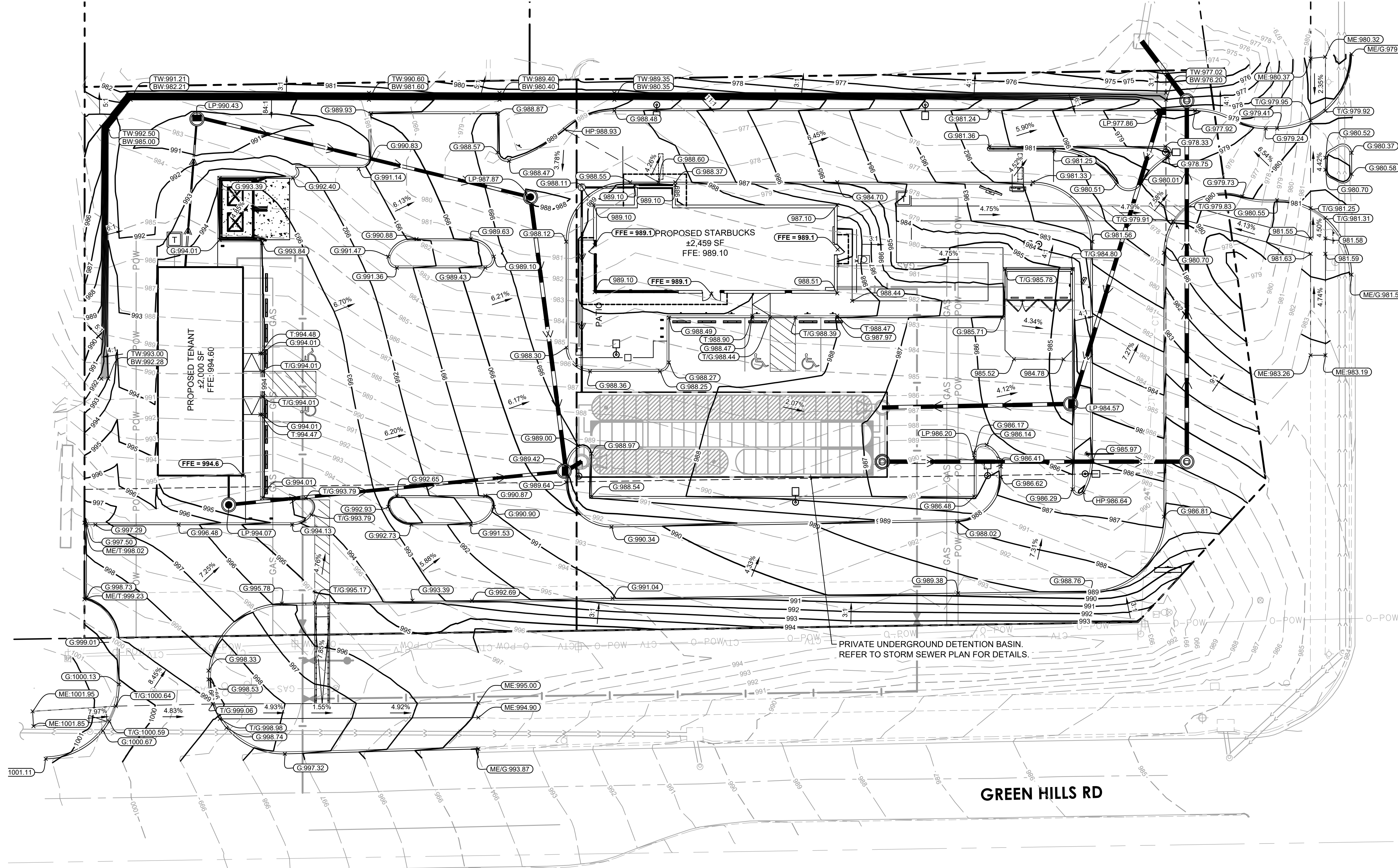
- PERFORM GRADING WORK IN ACCORDANCE WITH APPLICABLE CITY SPECIFICATIONS AND BUILDING PERMIT REQUIREMENTS.
 - CONTACT STATE 811 CALL-BEFORE-YOU-DIG LOCATING SERVICE AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION FOR UNDERGROUND UTILITY LOCATIONS.
 - CONTRACTOR TO FIELD VERIFY THE LOCATIONS AND ELEVATIONS OR EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO THE START OF SITE GRADING. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES OR VARIATIONS.
 - SUBGRADE EXCAVATION SHALL BE BACKFILLED IMMEDIATELY AFTER EXCAVATION TO HELP OFFSET ANY STABILITY PROBLEMS DUE TO WATER SEEPAGE OR STEEP SLOPES. WHEN PLACING NEW SURFACE MATERIAL ADJACENT TO EXISTING PAVEMENT, THE EXCAVATION SHALL BE BACKFILLED PROMPTLY TO AVOID UNDERMINING OF EXISTING PAVEMENT.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL CONTROL.
 - CONTRACTOR SHALL EXCAVATE DRAINAGE TRENCHES TO FOLLOW PROPOSED STORM SEWER ALIGNMENTS.
 - GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL ROUGH GRADE TO SUBGRADE ELEVATION AND LEAVE STREET READY FOR SUBBASE.
 - ALL EXCESS MATERIAL, BITUMINOUS SURFACING, CONCRETE ITEMS, ANY ABANDONED UTILITY ITEMS, AND OTHER UNSTABLE MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF THE CONSTRUCTION SITE.
 - REFER TO THE UTILITY PLAN FOR SANITARY SEWER MAIN, WATER MAIN SERVICE LAYOUT AND ELEVATIONS AND CASTING /
- STRUCTURE NOTATION.
- CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF PAVEMENTS AND CURB AND GUTTER WITH SMOOTH UNIFORM SLOPES TO PROVIDE POSITIVE DRAINAGE.
 - INSTALL A MINIMUM OF 4" CLASS 5 AGGREGATE BASE UNDER CURB AND GUTTER AND CONCRETE SIDEWALKS.
 - UPON COMPLETION OF EXCAVATION AND FILLING, CONTRACTOR SHALL RESTORE ALL STREETS AND DISTURBED AREAS ON SITE. ALL DISTURBED AREAS SHALL BE RE-VEGETATED WITH A MINIMUM OF 4" OF TOPSOIL.
 - ALL SPOT ELEVATIONS/CONTOURS ARE TO GUTTER / FLOW LINE UNLESS OTHERWISE NOTED.
 - GRADING FOR ALL SIDEWALKS AND ACCESSIBLE ROUTES INCLUDING CROSSING DRIVEWAYS SHALL CONFORM TO CURRENT ADA STATE/NATIONAL STANDARDS. IN NO CASE SHALL ACCESSIBLE RAMP SLOPES EXCEED 1" VERTICAL TO 12" HORIZONTAL. IN NO CASE SHALL SIDEWALK CROSS SLOPES EXCEED 2%. IN NO CASE SHALL LONGITUDINAL SIDEWALK SLOPES EXCEED 5%. IN NO CASE SHALL ACCESSIBLE PARKING STALLS OR AISLES EXCEED 2% (1.5% TARGET) IN ALL DIRECTIONS. SIDEWALK ACCESS TO EXTERNAL BUILDING DOORS AND GATES SHALL BE ADA COMPLIANT. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ADA CRITERIA CANNOT BE MET IN ANY LOCATION PRIOR TO PAVING. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR A.D.A COMPLIANCE ISSUES.
 - MAINTAIN A MINIMUM OF 0.5% GUTTER SLOPE TOWARDS LOW POINTS.
 - THE CONSTRUCTION COVERED BY THESE PLANS SHALL CONFORM TO ALL APPLICABLE STANDARDS AND SPECIFICATIONS OF THE PUBLIC WORKS DEPARTMENT OF THE CITY OF KANSAS CITY, MO IN ALL USAGE AND ALL SUPPLEMENTS THERE TO.

RETAINING WALL NOTES

- RETAINING WALLS SHALL BE DESIGNED BY OTHERS.
- PLANS SHOW THE HORIZONTAL LOCATION OF THE TOP OF THE WALL AND PROVIDES FINISHED SURFACE ELEVATIONS AT THE TOP AND BOTTOM FACE OF THE WALL ONLY.
- RETAINING WALL DESIGN PLANS SHALL BE CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER AND SUBMITTED TO THE REVIEWING AUTHORITY AND KIMLEY-HORN ENGINEER OF RECORD FOR APPROVAL.
- RETAINING WALL DESIGNER MUST ACCOUNT FOR DRAINAGE AROUND THE WALL AS SHOWN ON THE GRADING PLAN. SURFACE RUNOFF SHALL NOT BE ALLOWED TO DRAIN OVER THE TOP OF THE WALL.
- RETAINING WALL MATERIAL AND COLOR SHALL BE SELECTED BY THE OWNER.
- RETAINING WALL DESIGNER IS RESPONSIBLE FOR OBTAINING GEOTECHNICAL INFORMATION AS NEEDED FOR DESIGN OF THE PROPOSED WALL.

LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED RIDGE LINE
- PROPOSED SWALE
- PROPOSED STORM MANHOLE (SOLID CASTING)
- PROPOSED STORM MANHOLE (ROUND INLET CASTING)
- PROPOSED STORM MANHOLE/ CATCH BASIN (CURB INLET CASTING)
- PROPOSED STORM SEWER CLEANOUT
- PROPOSED FLARED END SECTION
- PROPOSED RIPRAP
- PROPOSED STORM SEWER
- PROPOSED SPOT ELEVATION
- PROPOSED HIGH POINT ELEVATION
- PROPOSED LOW POINT ELEVATION
- PROPOSED GUTTER ELEVATION
- PROPOSED TOP OF CURB ELEVATION
- PROPOSED FLUSH PAVEMENT ELEVATION
- MATCH EXISTING ELEVATION
- PROPOSED EMERGENCY OVERFLOW ELEVATION
- PROPOSED TOP/BOTTOM OF WALL ELEVATION
- PROPOSED DRAINAGE DIRECTION

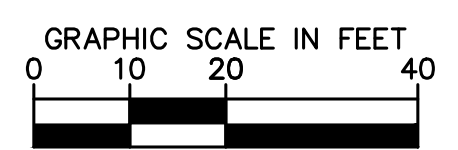
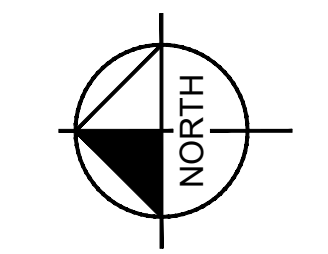


NW BARRY RD

GREEN HILLS RD



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GRADING AND DRAINAGE PLAN

SBUX #85175 - BARRY RD & GREEN HILLS RD
 PREPARED FOR
HUM BARRY, LLC

SHEET NUMBER
C500

KHA PROJECT	16T143001
DATE	07/19/2024
SCALE	AS SHOWN
DESIGNED BY	BSK
DRAWN BY	BSK
CHECKED BY	MTL

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 805 PENNSYLVANIA, SUITE 150 KANSAS CITY, MO 64105
 PHONE: 816.234.1512
 WWW.KIMLEY-HORN.COM

No.	REVISIONS	DATE	BY

K:\TCW_LDEV\Starbucks\Kansas City, MO- NE Corner Green Hills & Barry Road\3 Design\CAD\PlanSheets\C5-GRADING PLAN_ENLARGEMENT.dwg September 23, 2024 - 12:23pm

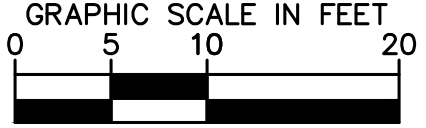
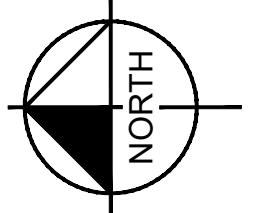
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GRADING PLAN NOTES

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- CONTRACTOR TO FIELD VERIFY THE LOCATIONS AND ELEVATIONS OR EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO THE START OF SITE GRADING. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES OR VARIATIONS.
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- UPON COMPLETION OF EXCAVATION AND FILLING, CONTRACTOR SHALL RESTORE ALL STREETS AND DISTURBED AREAS ON SITE. ALL DISTURBED AREAS SHALL BE RE-VEGETATED WITH A MINIMUM OF 4" OF TOPSOIL.
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- GRADING FOR ALL SIDEWALKS AND ACCESSIBLE ROUTES INCLUDING CROSSING DRIVEWAYS SHALL CONFORM TO CURRENT ADA STATE/NATIONAL STANDARDS. IN NO CASE SHALL ACCESSIBLE RAMP SLOPES EXCEED 1 VERTICAL TO 12 HORIZONTAL. IN NO CASE SHALL SIDEWALK CROSS SLOPES EXCEED 2% . IN NO CASE SHALL LONGITUDINAL SIDEWALK SLOPES EXCEED 5% . IN NO CASE SHALL ACCESSIBLE PARKING STALLS OR AISLES EXCEED 2% (1.5% TARGET) IN ALL DIRECTIONS. SIDEWALK ACCESS TO EXTERNAL BUILDING DOORS AND GATES SHALL BE ADA COMPLIANT. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ADA CRITERIA CANNOT BE MET IN ANY LOCATION PRIOR TO PAVING. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR ADA COMPLIANCE ISSUES.
- MAINTAIN A MINIMUM OF 0.5% GUTTER SLOPE TOWARDS LOW POINTS.
- MAINTAIN A MINIMUM OF 1.25% SLOPE IN BITUMINOUS PAVEMENT AREAS, 0.5% SLOPE IN CONCRETE PAVEMENT AREAS.
- CONTRACTOR SHALL REVIEW PAVEMENT GRADIENT AND CONSTRUCT "INFALL CURB" WHERE PAVEMENT DRAINS TOWARD GUTTER, AND "OUTFALL" CURB WHERE PAVEMENT DRAINS AWAY FROM GUTTER.
- THE CONSTRUCTION COVERED BY THESE PLANS SHALL CONFORM TO ALL APPLICABLE STANDARDS AND SPECIFICATIONS OF THE PUBLIC WORKS DEPARTMENT OF THE CITY OF KANSAS CITY, MO IN ALL USAGE AND ALL SUPPLEMENTS THERE TO.

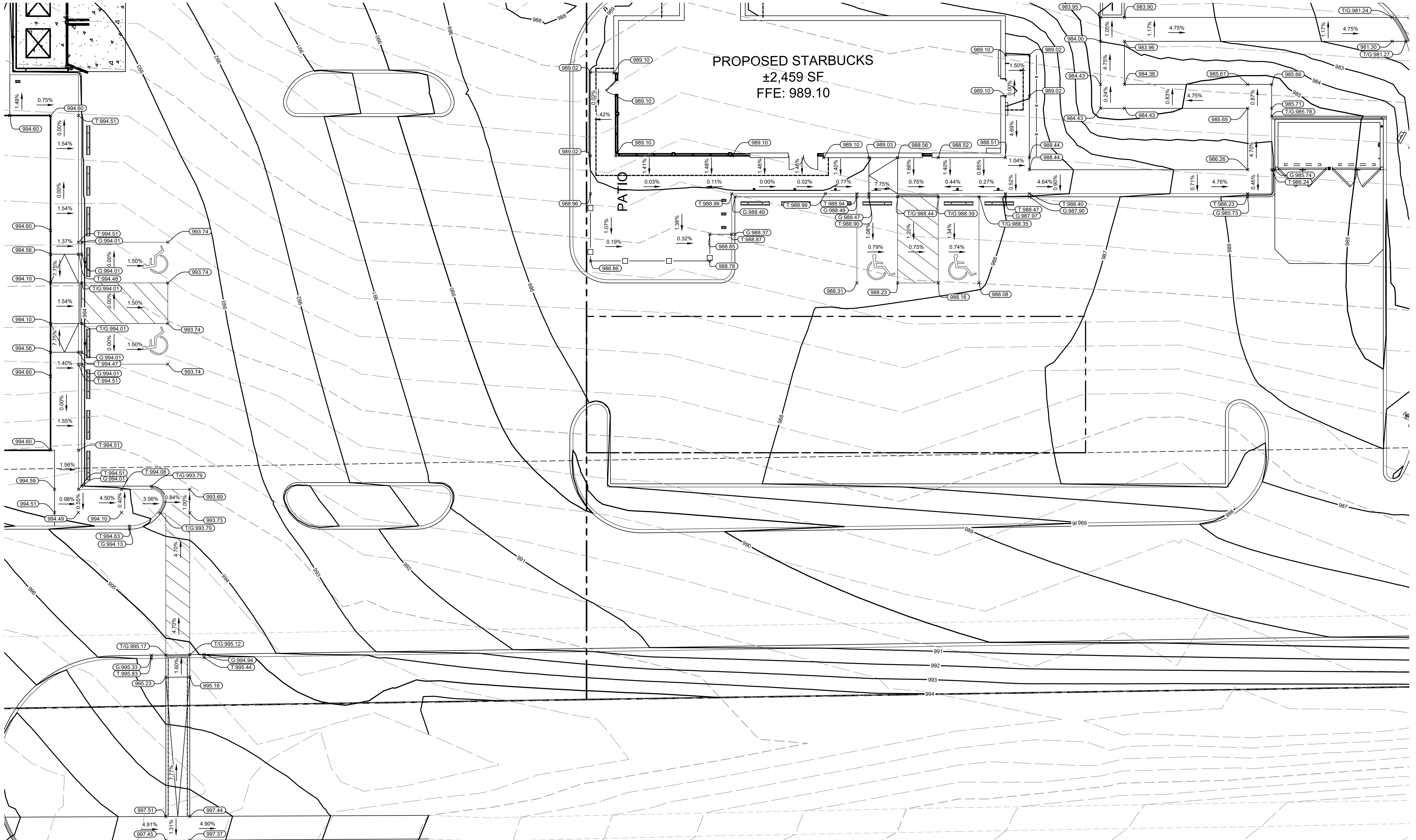


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LEGEND

- PROPERTY LINE
- - - EXISTING CONTOUR
- - - PROPOSED CONTOUR
- (100.00) X PROPOSED SPOT ELEVATION
- (HP:0.0) X PROPOSED HIGH POINT ELEVATION
- (LP:0.0) X PROPOSED LOW POINT ELEVATION
- (G:0.00) X PROPOSED GUTTER ELEVATION
- (T:0.00) X PROPOSED TOP OF CURB ELEVATION
- (T/G:0.0) X PROPOSED FLUSH PAVEMENT ELEVATION
- (ME:0.0) X MATCH EXISTING ELEVATION
- 0.0% PROPOSED DRAINAGE DIRECTION



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HUM BARRY, LLC
 KANSAS CITY MISSOURI

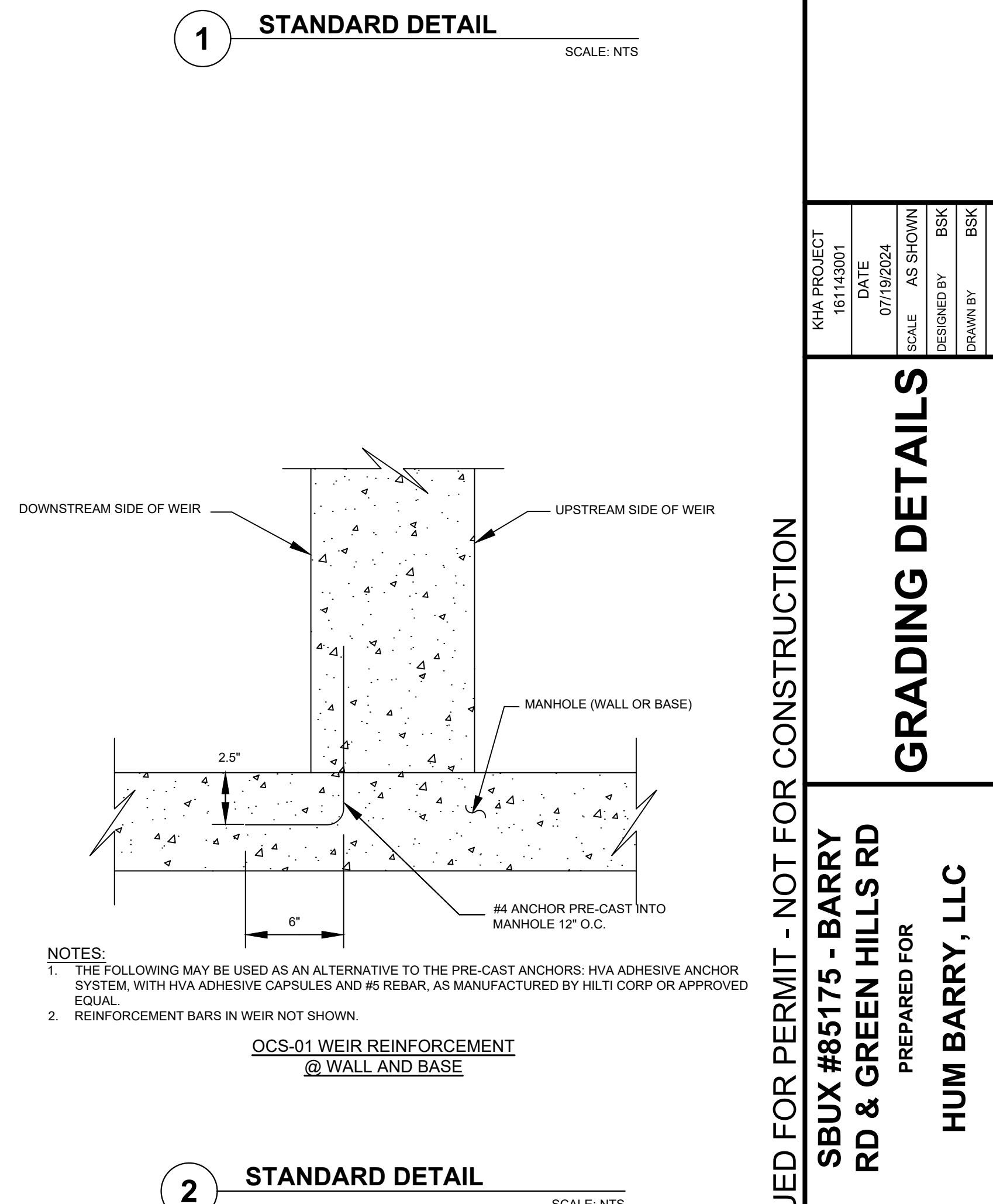
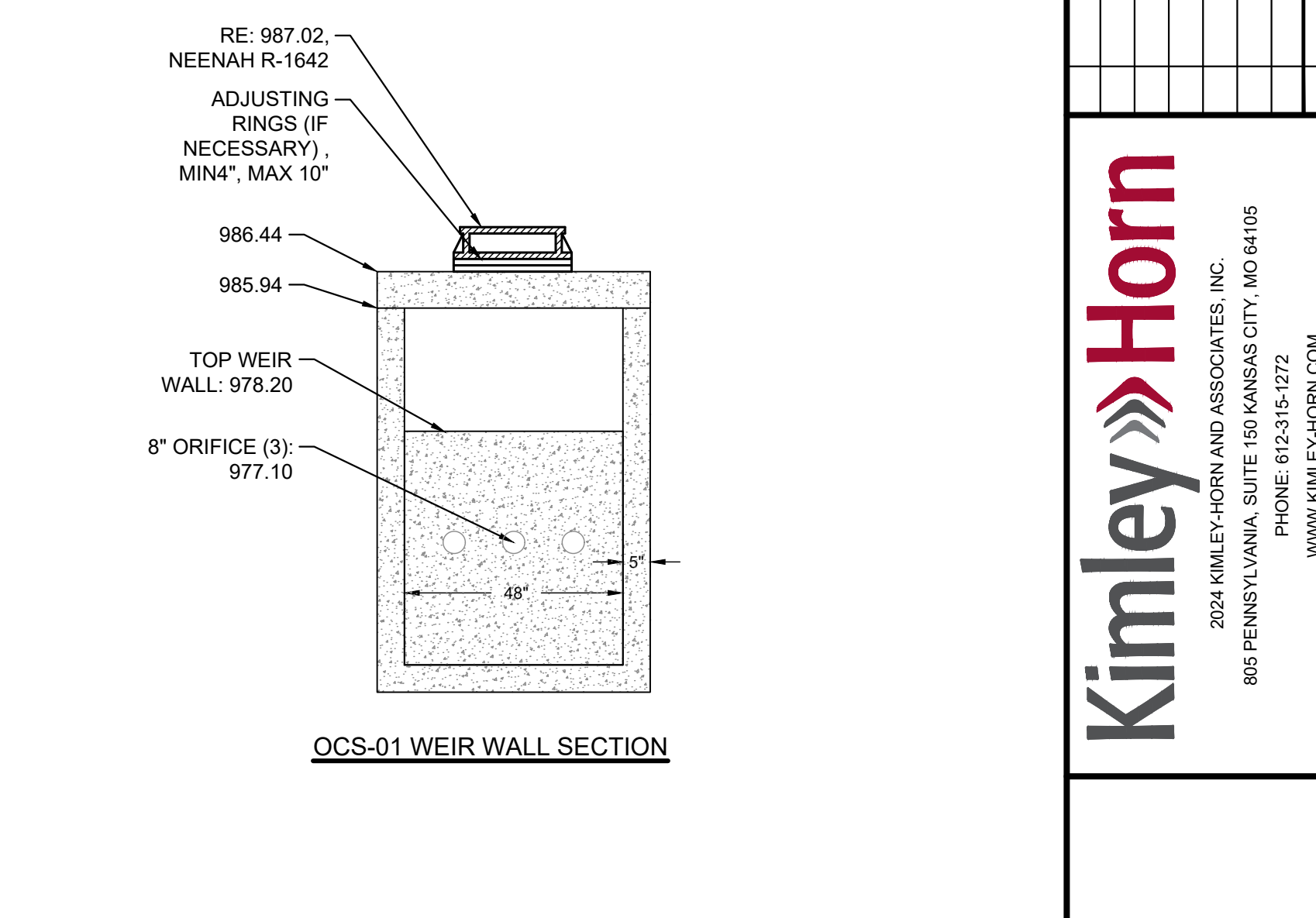
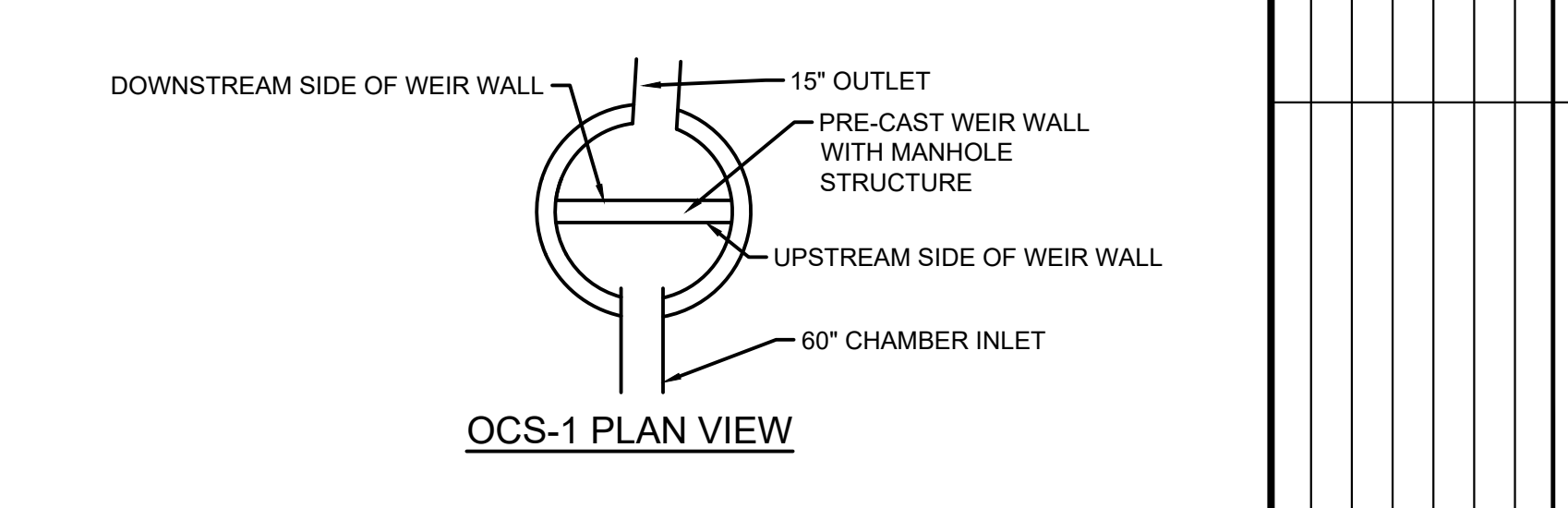
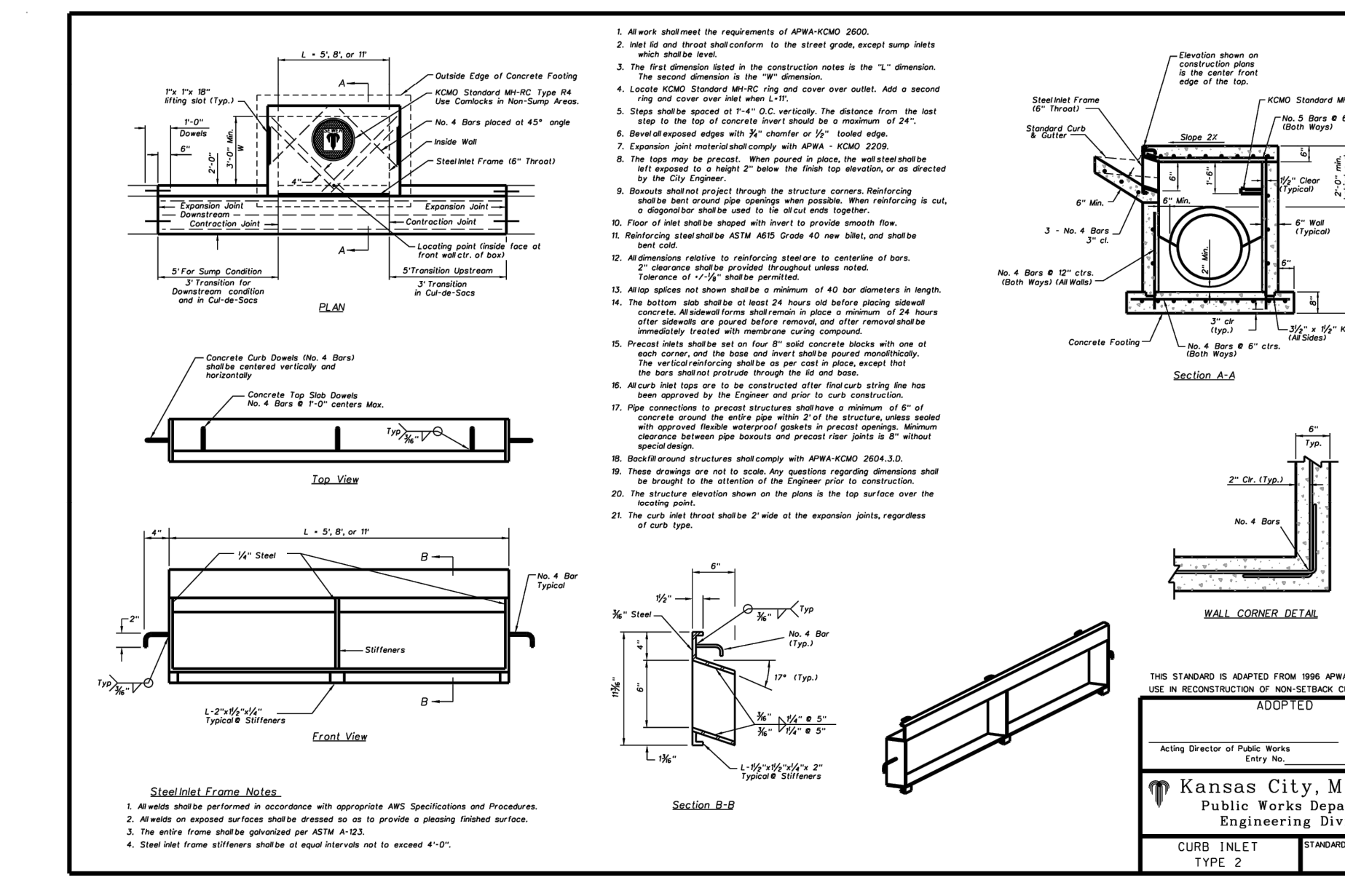
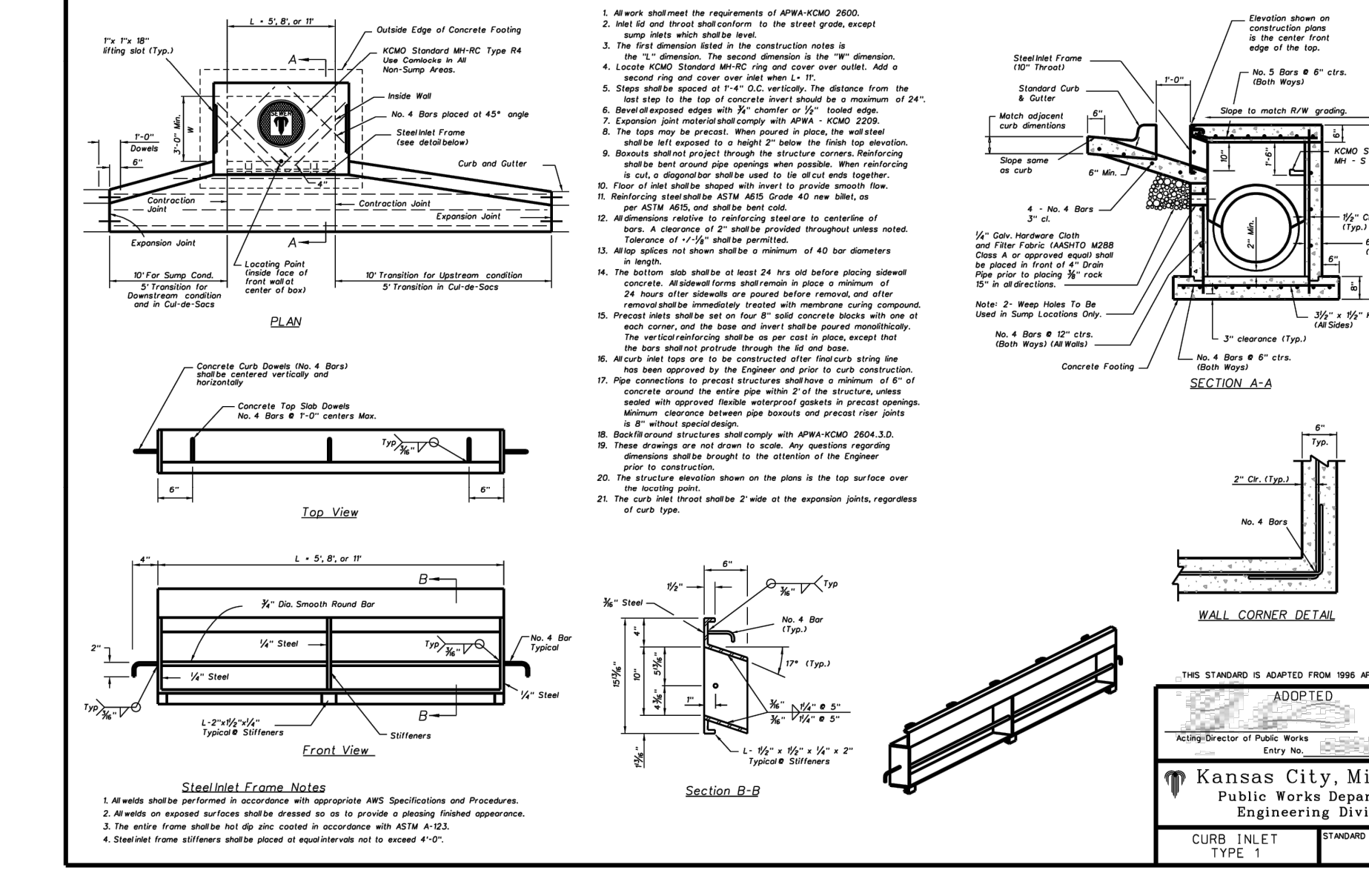
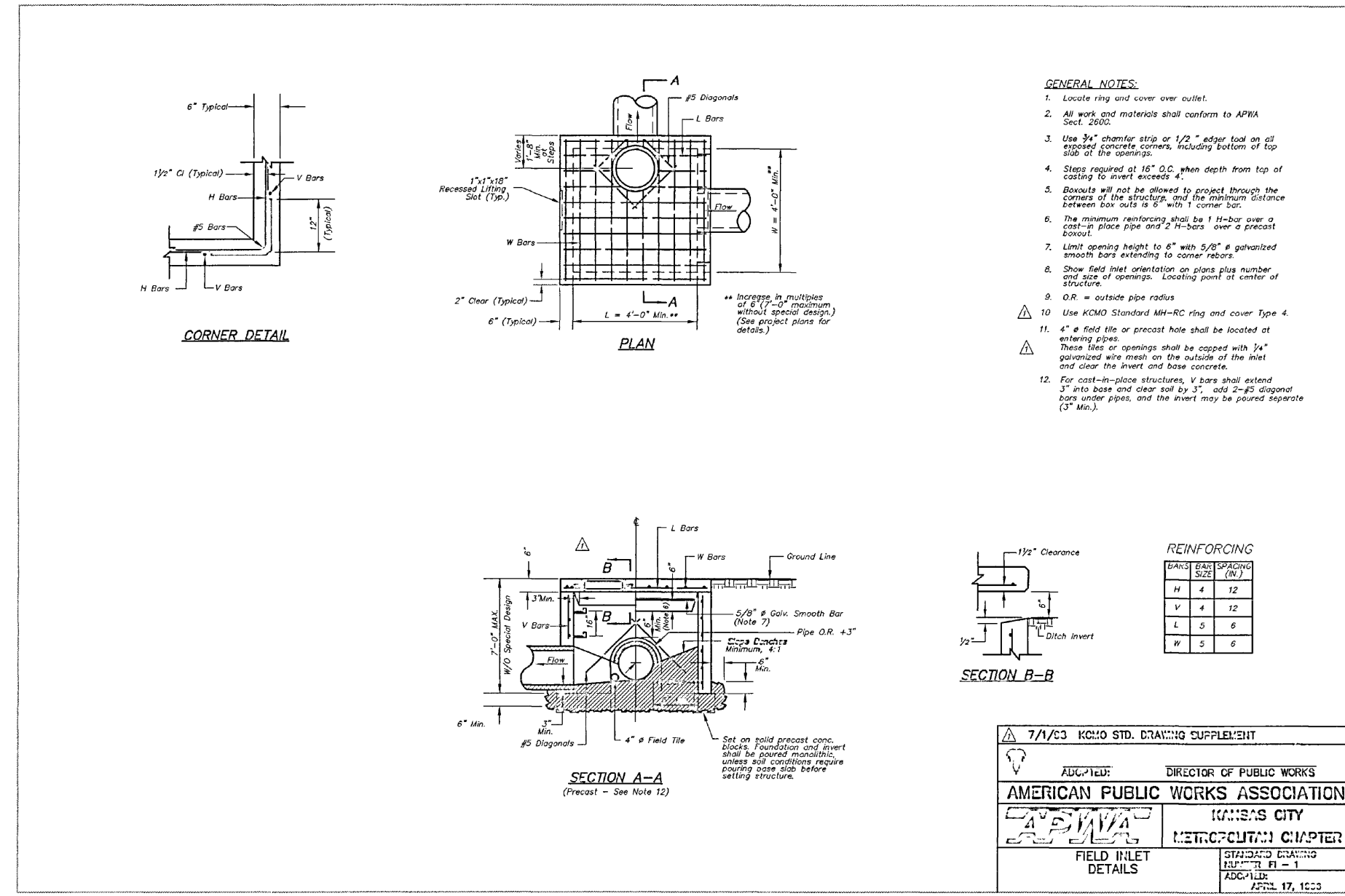
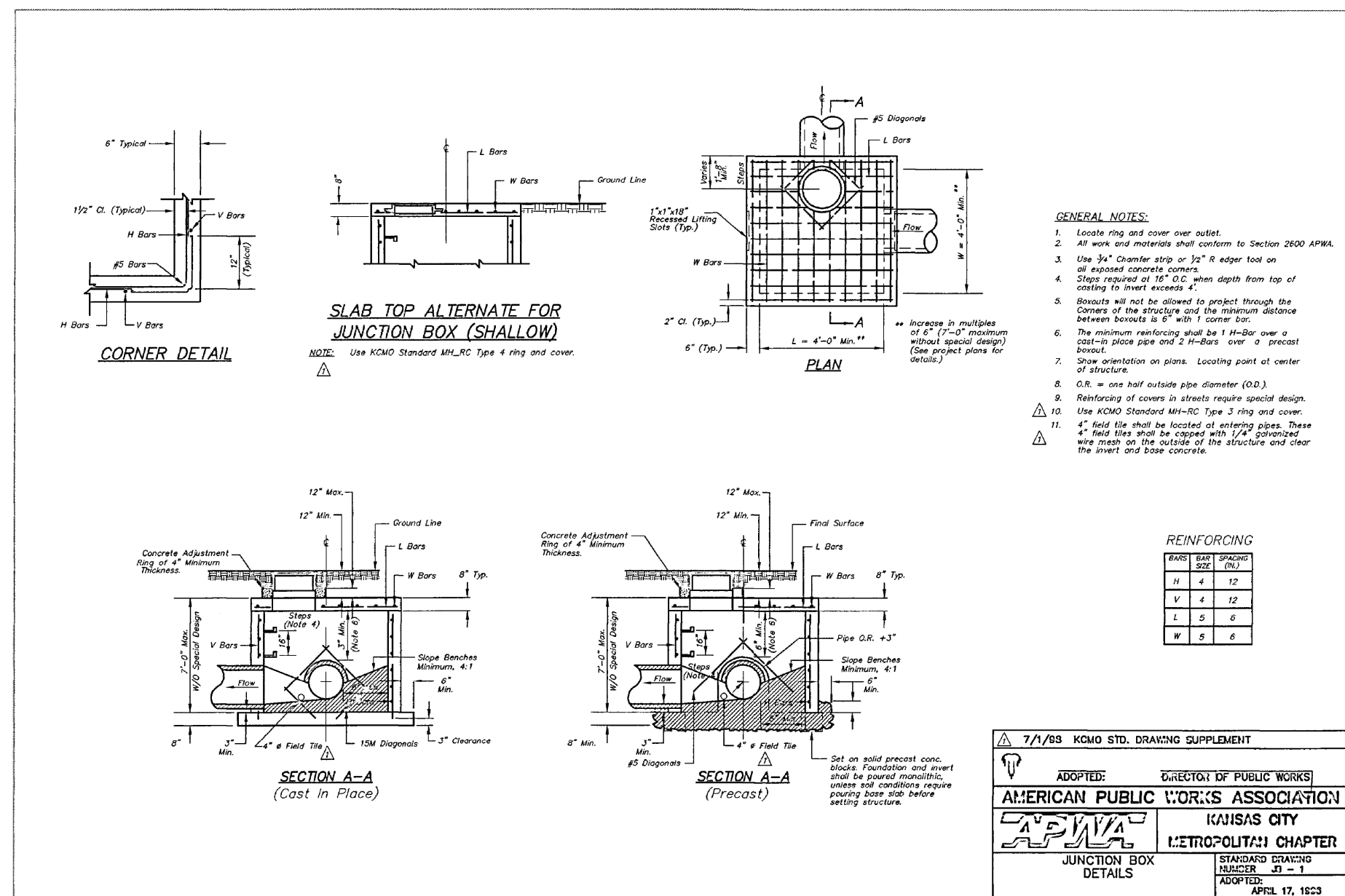
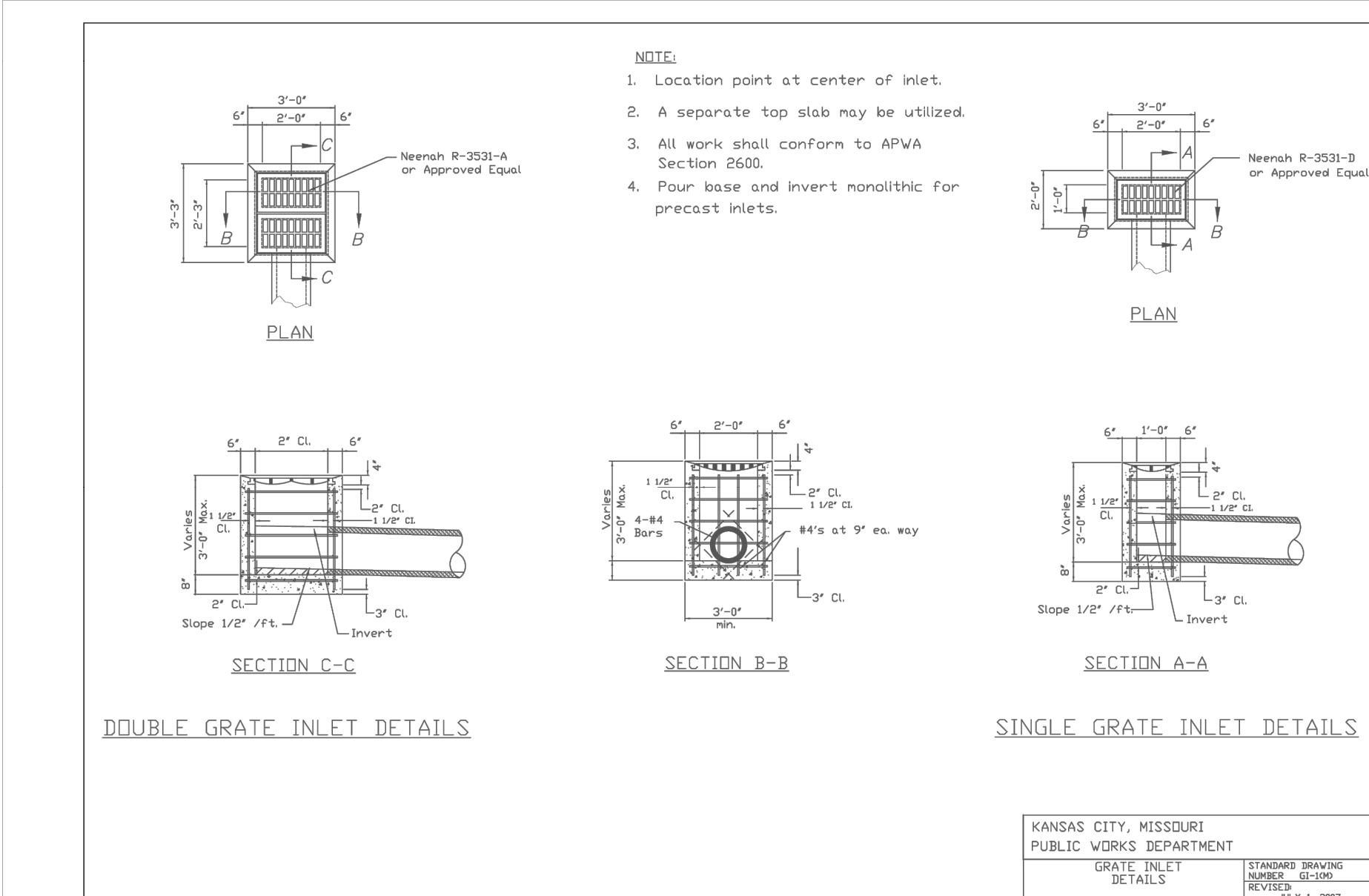
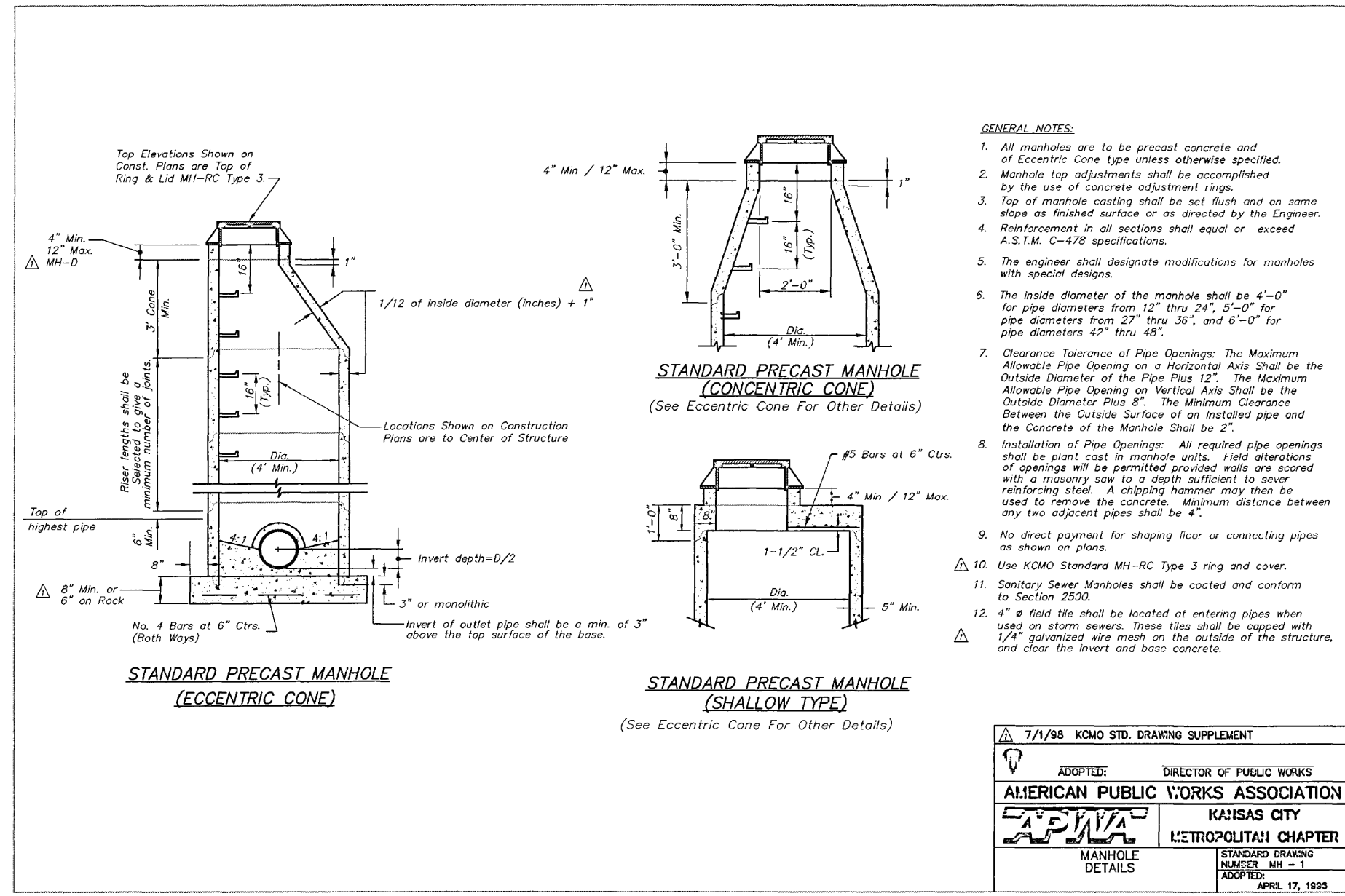
GRADING ENLARGEMENT PLAN

KHA PROJECT	161143001
DATE	07/19/2024
SCALE	AS SHOWN
DESIGNED BY	BSK
DRAWN BY	BSK
CHECKED BY	MTL

Kimley»Horn
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 800 PENNSYLVANIA, SUITE 150 KANSAS CITY, MO 64105
 PHONE: 816-231-51272
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KHA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
161143001	07/19/2024	AS SHOWN	BSK	BSK	MTL

No.	REVISIONS	DATE	BY

SHEET NUMBER C503

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UTILITY PLAN NOTES

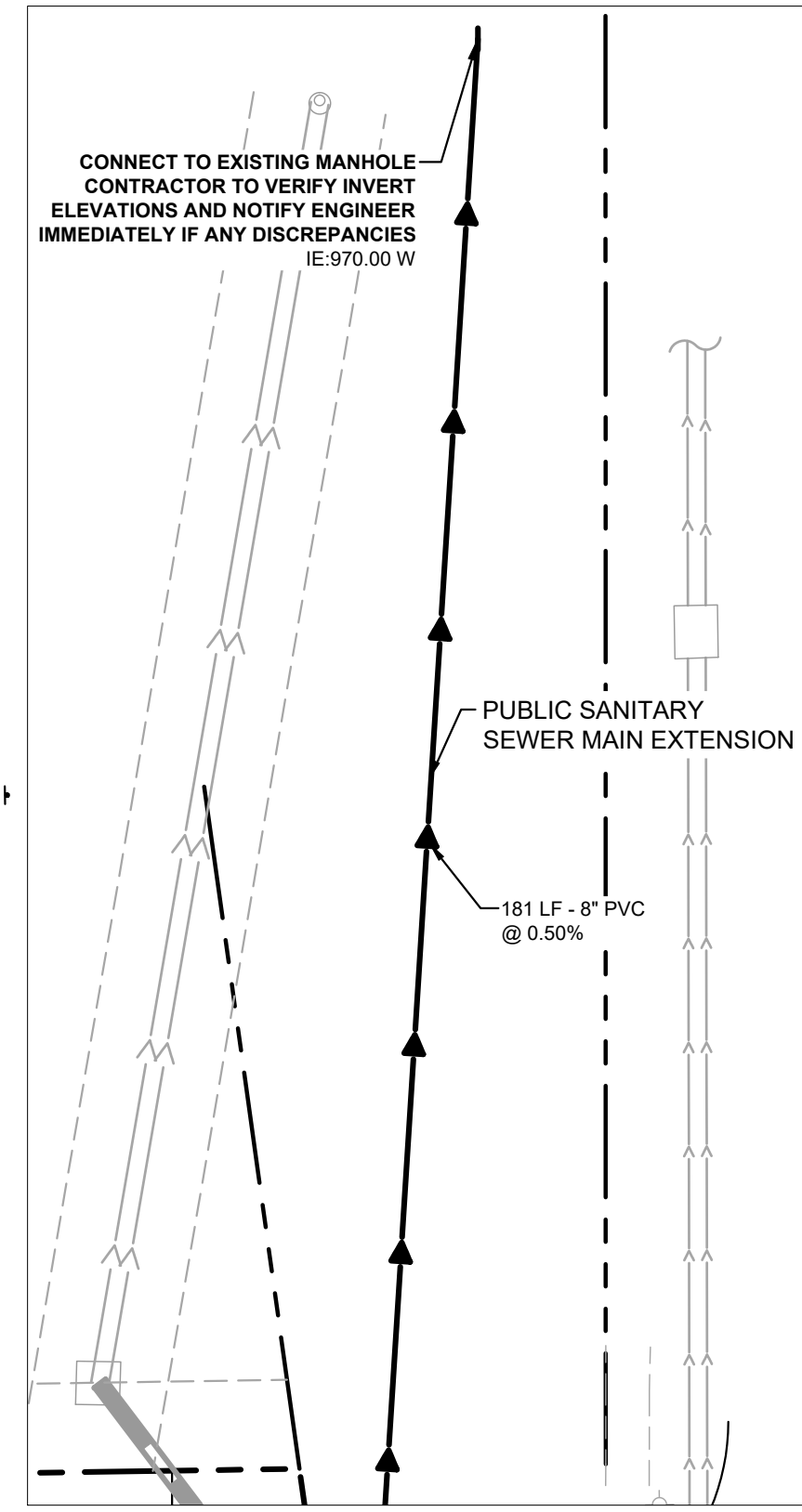
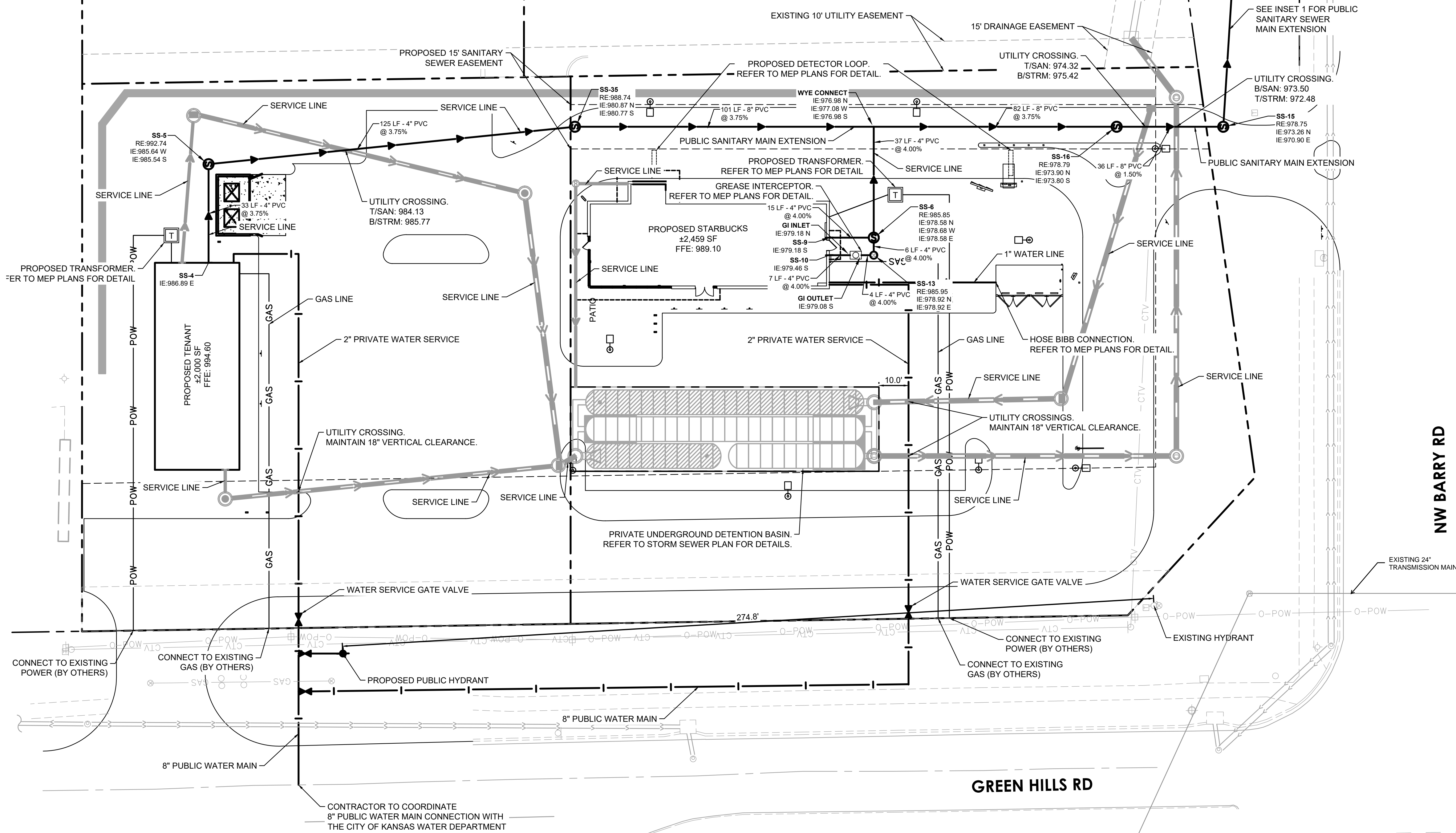
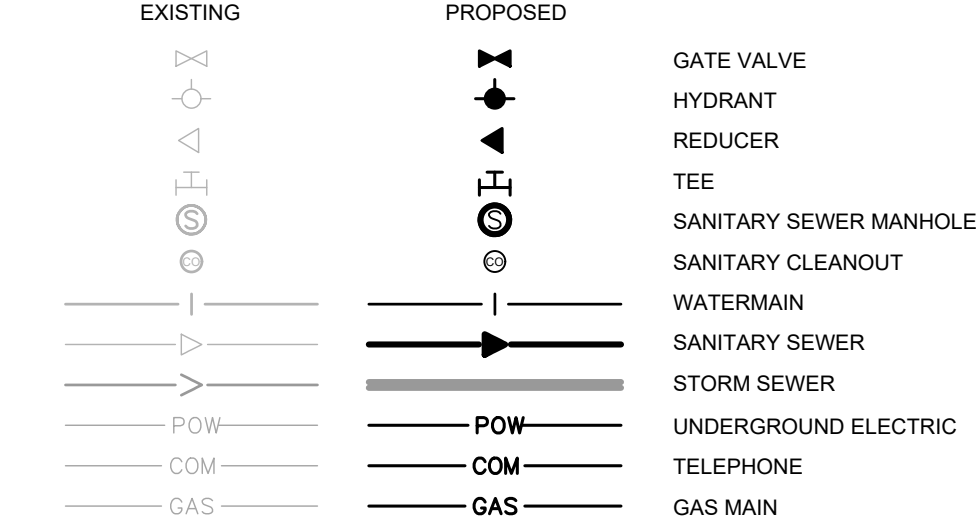
- INSTALL UTILITIES IN ACCORDANCE WITH APPLICABLE CITY SPECIFICATIONS, STATE PLUMBING CODE, AND BUILDING PERMIT REQUIREMENTS.
- CONTACT STATE 811 CALL-BEFORE-YOU-DIG LOCATING SERVICE AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION FOR UNDERGROUND UTILITY LOCATIONS.
- CONTRACTOR IS RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL CONTROL.
- SANITARY SEWER PIPE SHALL BE:
PVC: ASTM D-2729, D-3034
PVC SCH 40: ASTM D-1785, F-714, F-894
SANITARY SEWER FITTINGS SHALL BE:
PVC: ASTM D-2729, D-3034
PVC SCH 40: ASTM D-2665, F-2794, F-1866
- WATER MAIN PIPE SHALL BE:
PVC: ASTM D-1785, D-2241, AWWA C-900
DUCTILE IRON: AWWA C115
WATER MAIN FITTINGS SHALL BE:
PVC: ASTM D-2464, D-2466, D-2467, F-1970, AWWA C-907
DUCTILE IRON: AWWA C-153, C-110, ASME 316.4
- WHEN CONNECTING TO AN EXISTING UTILITY LINE, FIELD VERIFY THE LOCATION, DEPTH, AND SIZE OF THE EXISTING PIPE(S) PRIOR TO INSTALLATION OF THE NEW LINES. NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES OR VARIATIONS IMPACTING THE PROPOSED DESIGN OF THE PROJECT.
- PLACE AND COMPACT ALL FILL MATERIAL PRIOR TO INSTALLATION OF PROPOSED UNDERGROUND UTILITIES. MINIMUM TRENCH WIDTH SHALL BE 2 FEET.
- MAINTAIN A MINIMUM OF 4' COVER ON ALL WATER LINES.
- FOR WATER LINES AND STUB-OUTS UTILIZE MECHANICAL JOINTS WITH RESTRAINTS SUCH AS THRUST BLOCKING, WITH STAINLESS STEEL OR COBALT BLUE BOLTS, OR AS INDICATED IN THE CITY SPECIFICATIONS AND PROJECT DOCUMENTS.
- MAINTAIN 18-INCH MINIMUM VERTICAL SEPARATION WHERE SEWER PIPE CROSSES WATER LINES (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE OR STRUCTURE), PROVIDE 10-FOOT HORIZONTAL SEPARATION BETWEEN SEWER PIPE AND WATER LINES.
- IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATER LINES, SANITARY LINES, STORM LINES AND GAS LINES (OR ANY OBSTRUCTION EXISTING AND PROPOSED), THE SANITARY PIPE MATERIAL SHALL BE PVC SCHEDULE 40 OR PVC C900 AND HAVE MECHANICAL JOINTS AT LEAST 10 FEET ON EITHER SIDE OF THE CENTER LINE OF THE CROSSING. THE WATER LINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE FASTENERS AS REQUIRED TO PROVIDE A MINIMUM OF 18-INCH VERTICAL SEPARATION MEETING REQUIREMENTS OF ANSI A21.10 OR ANSI 21.11 (AWWA C-151) (CLASS 50).
- ALL PVC & HDPE SEWER AND WATER PIPE SHALL HAVE A TRACER WIRE INSTALLED IN THE TRENCH AND TERMINATED PER THE DETAILS.
- UNDERGROUND UTILITY LINES SHALL BE INSTALLED, INSPECTED AND APPROVED PRIOR TO PLACING BACKFILL.
- IN PAVEMENT AREAS, RAISE MANHOLE CASTINGS TO BE FLUSH WITH PROPOSED FINISHED SURFACE GRADE. IN GREEN AREAS, RAISE MANHOLE CASTINGS TO BE ONE FOOT ABOVE FINISHED GROUND ELEVATION & INSTALL A WATERTIGHT LID.
- REFER TO PLUMBING PLANS FOR LOCATION, SIZE AND ELEVATION OF UTILITY SERVICE CONNECTIONS AND ROOF DRAINS TO THE INTERIOR BUILDING SYSTEMS, BACKFLOW DEVICES (BOCV AND PRZ ASSEMBLIES) & METERS ARE LOCATED INSIDE THE BUILDING.
- CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES. COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
- REFER TO THE SITE ELECTRICAL PLANS FOR SPECIFICATIONS OF THE PROPOSED SITE LIGHTING AND ELECTRICAL EQUIPMENT.
- EXCAVATE DRAINAGE TRENCHES TO FOLLOW PROPOSED STORM SEWER ALIGNMENTS.

REFER TO THE UTILITY PLANS FOR LAYOUT AND ELEVATIONS FOR PROPOSED SANITARY SEWER, WATER MAIN, AND OTHER BUILDING UTILITY SERVICE CONNECTIONS. REFER TO THE GRADING PLAN FOR DETAILED SURFACE ELEVATIONS.

EXCESS MATERIAL, ABANDONED UTILITY ITEMS, AND OTHER UNUSABLE MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF THE CONSTRUCTION SITE.

THE CONSTRUCTION COVERED BY THESE PLANS SHALL CONFORM TO ALL APPLICABLE STANDARDS AND SPECIFICATIONS OF THE PUBLIC WORKS DEPARTMENT OF THE CITY OF KANSAS CITY, MO IN ALL USAGE AND ALL SUPPLEMENTS THERE TO.

LEGEND

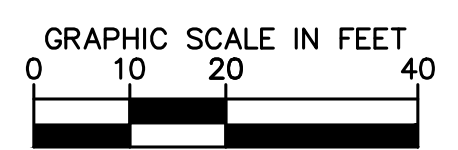
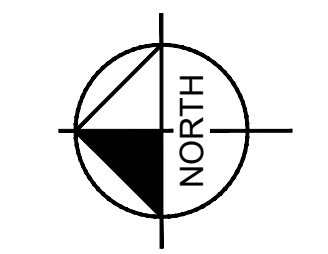


NW BARRY RD

GREEN HILLS RD



Know what's below. Call before you dig.



No.	REVISIONS	DATE	BY

Kimley»Horn

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PHONE: 816.231.51272
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KHA PROJECT	161143001
DATE	07/19/2024
SCALE	AS SHOWN
DESIGNED BY	BSK
DRAWN BY	BSK
CHECKED BY	MTL

UTILITY PLAN

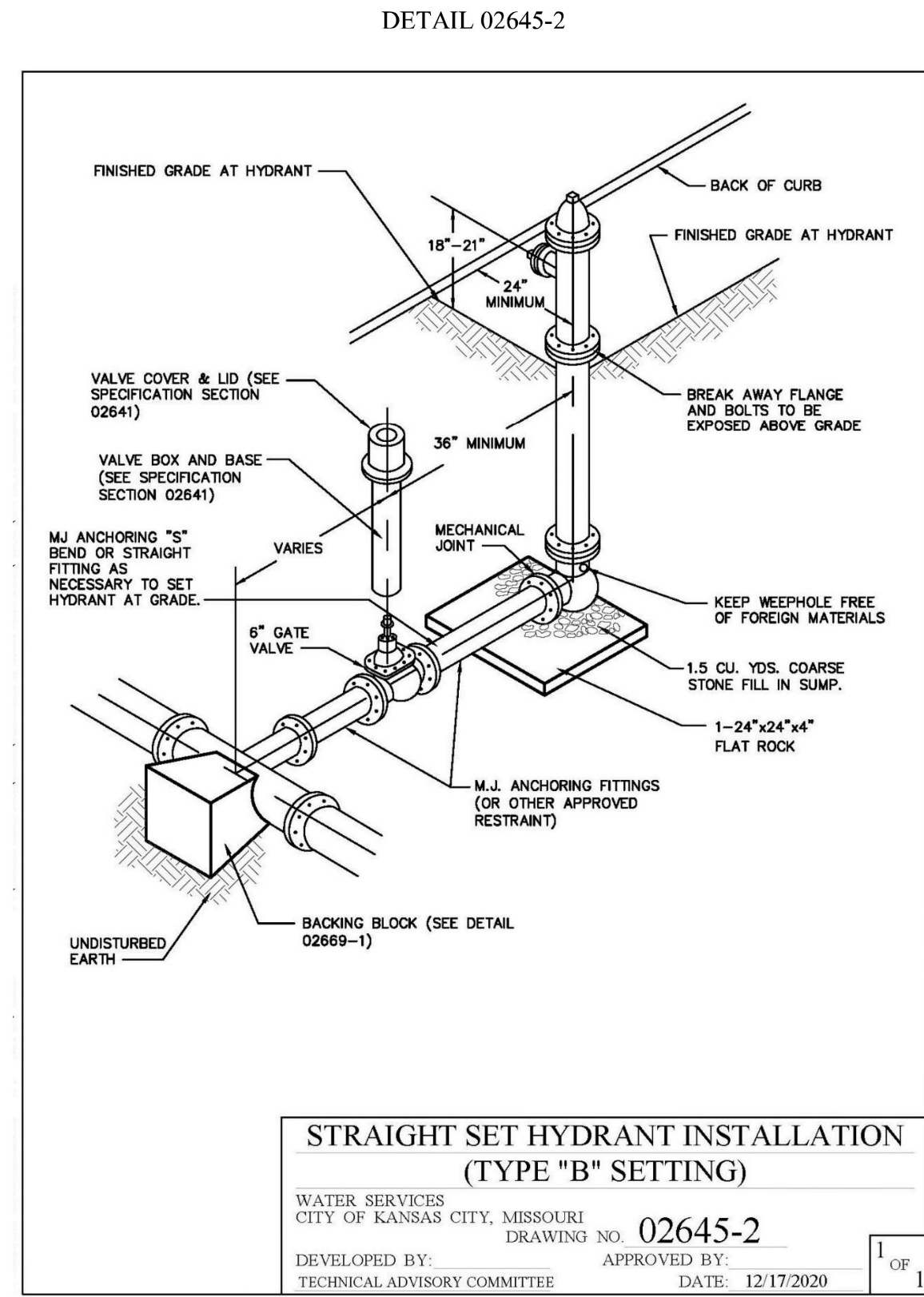
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SBUX #85175 - BARRY RD & GREEN HILLS RD

PREPARED FOR
HUM BARRY, LLC

KANSAS CITY MISSOURI

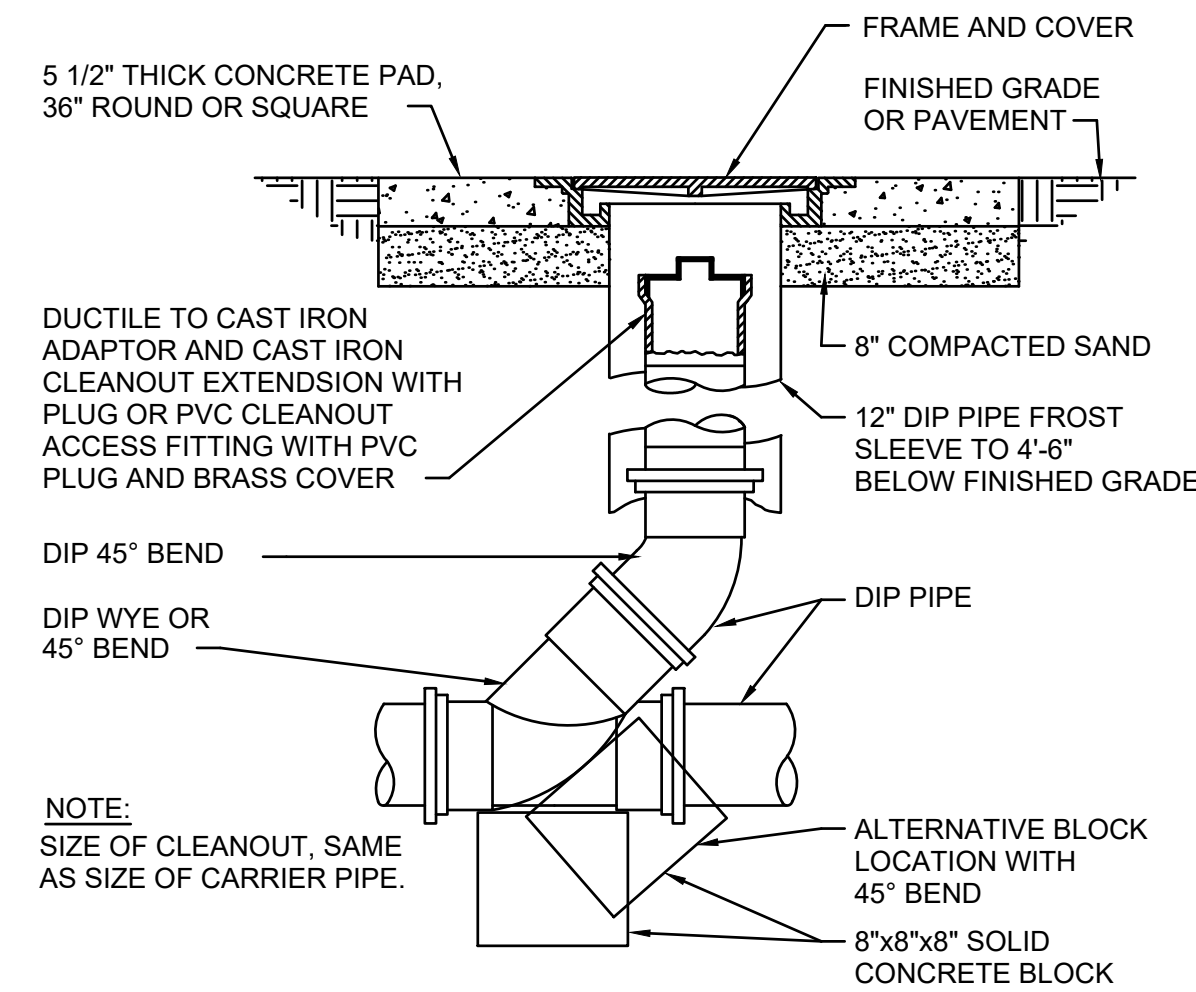
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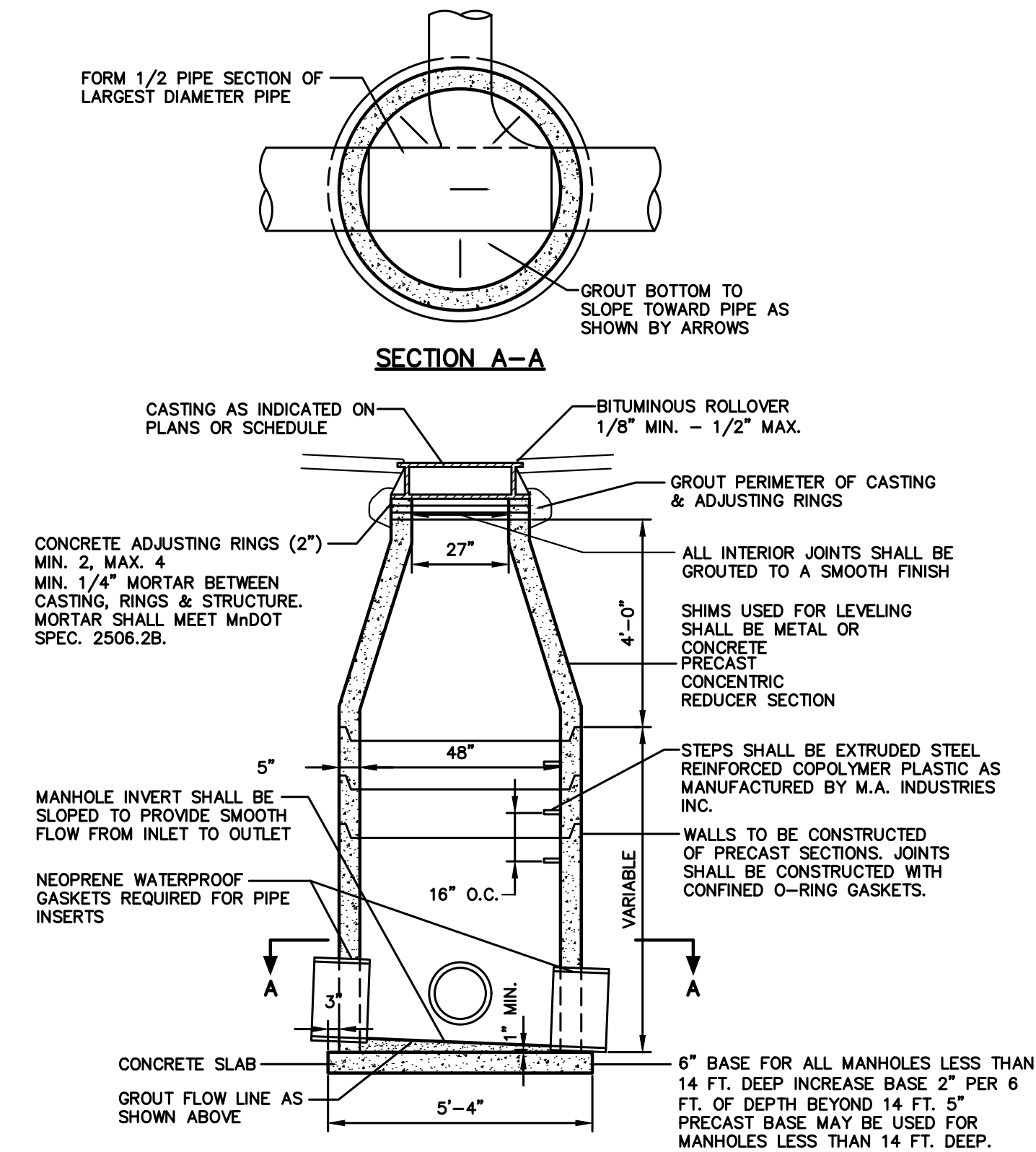
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 Revised 1/28/21

Kansas City, Missouri
 Water Services Department
 Standard Specification

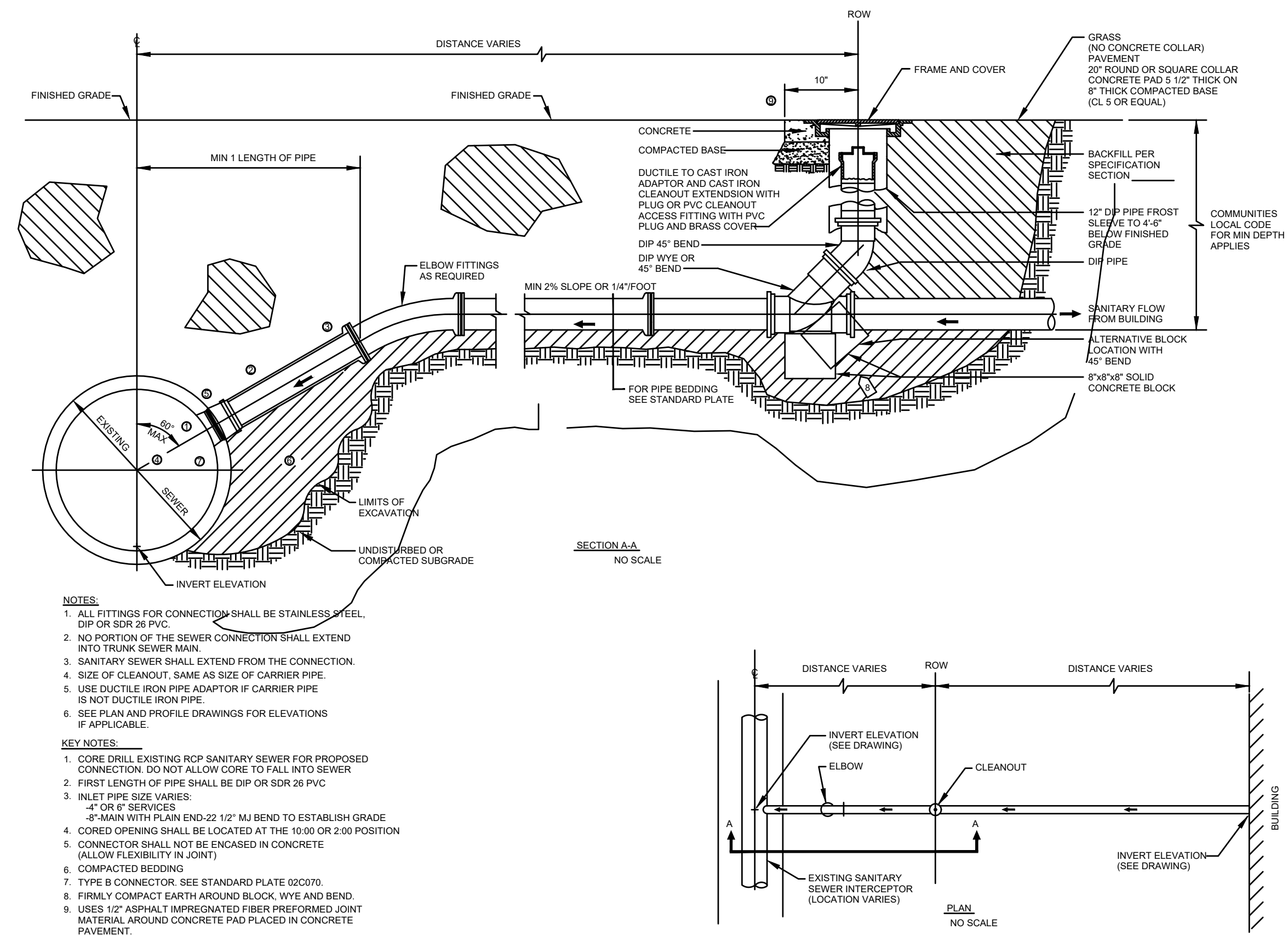
- KEY NOTES:**
- 1 FOR USE ON 8" DIAMETER OR SMALLER NON-PRESSURE PIPE LINES
 - 2 USE DUCTILE IRON PIPE ADAPTOR IF CARRIER PIPE IS NOT DUCTILE IRON PIPE
 - 3 SEE PLAN AND PROFILE DRAWINGS FOR ELEVATIONS
 - 4 FIRMLY COMPACT EARTH AROUND BLOCK, WYE AND BEND
 - 5 USES 1/2" ASPHALT IMPREGNATED FIBER PREFORMED JOINT MATERIAL AROUND PAD PLACED IN CONCRETE PAVEMENT



SANITARY SEWER CLEANOUT



SANITARY SEWER STANDARD MANHOLE



- NOTES:**
- 1 ALL FITTINGS FOR CONNECTION SHALL BE STAINLESS STEEL DIP OR SDR 26 PVC.
 - 2 NO PORTION OF THE SEWER CONNECTION SHALL EXTEND INTO TRUNK SEWER MAIN.
 - 3 SANITARY SEWER SHALL EXTEND FROM THE CONNECTION.
 - 4 SIZE OF CLEANOUT, SAME AS SIZE OF CARRIER PIPE.
 - 5 USE DUCTILE IRON PIPE ADAPTOR IF CARRIER PIPE IS NOT DUCTILE IRON PIPE.
 - 6 SEE PLAN AND PROFILE DRAWINGS FOR ELEVATIONS IF APPLICABLE.
- KEY NOTES:**
- 1 CORE DRILL EXISTING RCP SANITARY SEWER FOR PROPOSED CONNECTION. DO NOT ALLOW CORE TO FALL INTO SEWER.
 - 2 FIRST LENGTH OF PIPE SHALL BE DIP OR SDR 26 PVC.
 - 3 INLET PIPE SIZE VARIES:
 4" OR 6" SERVICES
 8" MAIN WITH PLAIN END-22 1/2" M.J. BEND TO ESTABLISH GRADE
 - 4 CORED OPENING SHALL BE LOCATED AT THE 10:00 OR 2:00 POSITION (ALLOW FLEXIBILITY IN JOINT).
 - 5 COMPACTED BEDDING.
 - 6 TYPE B CONNECTOR. SEE STANDARD PLATE (02070).
 - 7 FIRMLY COMPACT EARTH AROUND BLOCK, WYE AND BEND.
 - 8 USES 1/2" ASPHALT IMPREGNATED FIBER PREFORMED JOINT MATERIAL AROUND CONCRETE PAD PLACED IN CONCRETE PAVEMENT.

SANITARY SEWER SERVICE

No.	REVISIONS	DATE	BY

Kimley»Horn
 2024 KIMLEY-HORN AND ASSOCIATES, INC.
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KHA PROJECT	161143001
DATE	07/19/2024
SCALE	AS SHOWN
DESIGNED BY	BSK
DRAWN BY	BSK
CHECKED BY	MTL

UTILITY DETAILS

ISSUED FOR PERMIT - NOT FOR CONSTRUCTION

SBUX #85175 - BARRY RD & GREEN HILLS RD
 PREPARED FOR
HUM BARRY, LLC
 KANSAS CITY MISSOURI
 SHEET NUMBER
C601

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PLANT SCHEDULE

SYMBOL	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONTAINER	CAL.
OVERSTORY TREES						
	ABM	9	AUTUMN BLAZE MAPLE	ACER X FREEMANII 'AUTUMN BLAZE'	B & B	2.5" CAL.
	NPO	7	NORTHERN PIN OAK	QUERCUS ELLIPSOIDALIS	B & B	2.5" CAL.
	SWG	9	ROUND-LOBED SWEET GUM	LIQUIDAMBAR STYRACIFLUA 'ROTUNDILOBA'	B & B	2.5" CAL.
	TUL	4	MAJESTIC BEAUTY® TULIP POPLAR	LIRIODENDRON TULIPIFERA 'AUREO-MARGINATUM'	6' HT.	2.5" CAL.

SYMBOL	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONTAINER	SPACING
DECIDUOUS SHRUBS						
	ANH	24	ANNABELLE HYDRANGEA	HYDRANGEA ARBORESCENS 'ANNABELLE'	#5 CONT.	4' O.C.
	BEA	48	PEARL GLAM® BEAUTYBERRY	CALLICARPA X 'NCCX2' (PEARL GLAM®)	#3 CONT.	3' O.C.
	BLK	32	AUTUMN MAGIC BLACK CHOKEBERRY	ARONIA MELANOCARPA 'AUTUMN MAGIC'	#5 CONT.	4' O.C.
	CBB	38	COMPACT BURNING BUSH	EUONYMUS ALATUS 'COMPACTUS'	#5 CONT.	5' O.C.
	LDN	6	LITTLE DEVIL NINEBARK	PHYSOCARPUS OPULIFOLIUS 'DONNA MAY'™	#5 CONT.	4' O.C.

	SNO	42	SNOWMOUND SPIREA	SPIRAEA NIPPONICA 'SNOWMOUND'	#5 CONT.	4' O.C.
	SSB	6	SUGAR SHACK® BUTTONBUSH	CEPHALANTHUS OCCIDENTALIS 'SMCOSS'	#3 CONT.	4' O.C.
	STJ	22	SUNNY BOULEVARD® ST. JOHN SWORT	HYPERICUM KALMIANUM 'DEPPE'	#3 CONT.	3' O.C.

EVERGREEN SHRUBS						
	ARB	21	EMERALD GREEN ARBORVITAE	THUJA OCCIDENTALIS 'EMERALD GREEN'	#5 CONT.	4' O.C.

ORNAMENTAL GRASSES						
	HFG	65	HAMELN FOUNTAIN GRASS	CENCHRUS ALOPECUROIDES 'HAMELN'	#1 CONT.	18" O.C.
	ROB	55	RED OCTOBER BIG BLUESTEM	ANDROPOGON GERARDII 'RED OCTOBER'	6 PK	24" O.C.

PERENNIALS						
	ASD	11	APRICOT SPARKLES DAYLILY	HEMEROCALLIS X 'APRICOT SPARKLES'	#1 CONT.	15" O.C.
	BBL	521	BIG BLUE LILYTURF	LIRIOPE MUSCARI 'BIG BLUE'	#1 CONT.	12" O.C.
	RSC	172	RUBY STAR CONEFLOWER	ECHINACEA PURPUREA 'RUBY STAR'	#1 CONT.	18" O.C.
	RSG	48	BLUE HAZE RUSSIAN SAGE	SALVIA YANGII 'BLUE HAZE'	#1 CONT.	18" O.C.

NOTE:
 QUANTITIES ON PLAN SUPERSEDE LIST QUANTITIES IN THE EVENT OF A DISCREPANCY.
ABBREVIATIONS:
 B&B = BALLED AND BURLAPPED CAL. = CALIPER HT. = HEIGHT MIN. = MINIMUM O.C. = ON CENTER SP. = SPECIES QTY. = QUANTITY

LANDSCAPE SUMMARY - PER CODE OF ORDINANCES

CITY OF KANSAS CITY, MO LANDSCAPE REQUIREMENTS SECTION 88

88-425-05-B. REQUIRED: NW BARRY ROAD - 5 TREES = (172 LF STREET FRONTAGE - 27 LF DRIVEWAY) / 30
 PROVIDED: NW BARRY RD - 5 TREES

REQUIRED: GREEN HILLS ROAD - 11 TREES = (386 LF STREET FRONTAGE - 66 LF DRIVEWAY) / 30
 PROVIDED: GREEN HILLS ROAD - 11 TREES

88-425-04. REQUIRED: AT LEAST ONE TREE PROVIDED PER 5,000 SF BUILDING FOOTPRINT
 PROVIDED: 4,459 SF / 5,000 SF = 1 TREE

88-425-05. REQUIRED: PERIMETER 10' LANDSCAPE BUFFER OF VEHICULAR USE AREAS
 PROVIDED: LANDSCAPE BUFFER STRIP W/ EVERGREEN SHRUBS TO FORM CONTINUOUS VISUAL SCREEN AT LEAST 4' HT.

88-425-06-B. REQUIRED: 2,065 SF = (59 PARKING SPACES x 35 SF INTERIOR LANDSCAPE)
 PROVIDED: 6,772 SF

88-425-06-E. REQUIRED TREES: 12 TREES = (59 PARKING SPACES / 5)
 PROVIDED TREES: 12 TREES

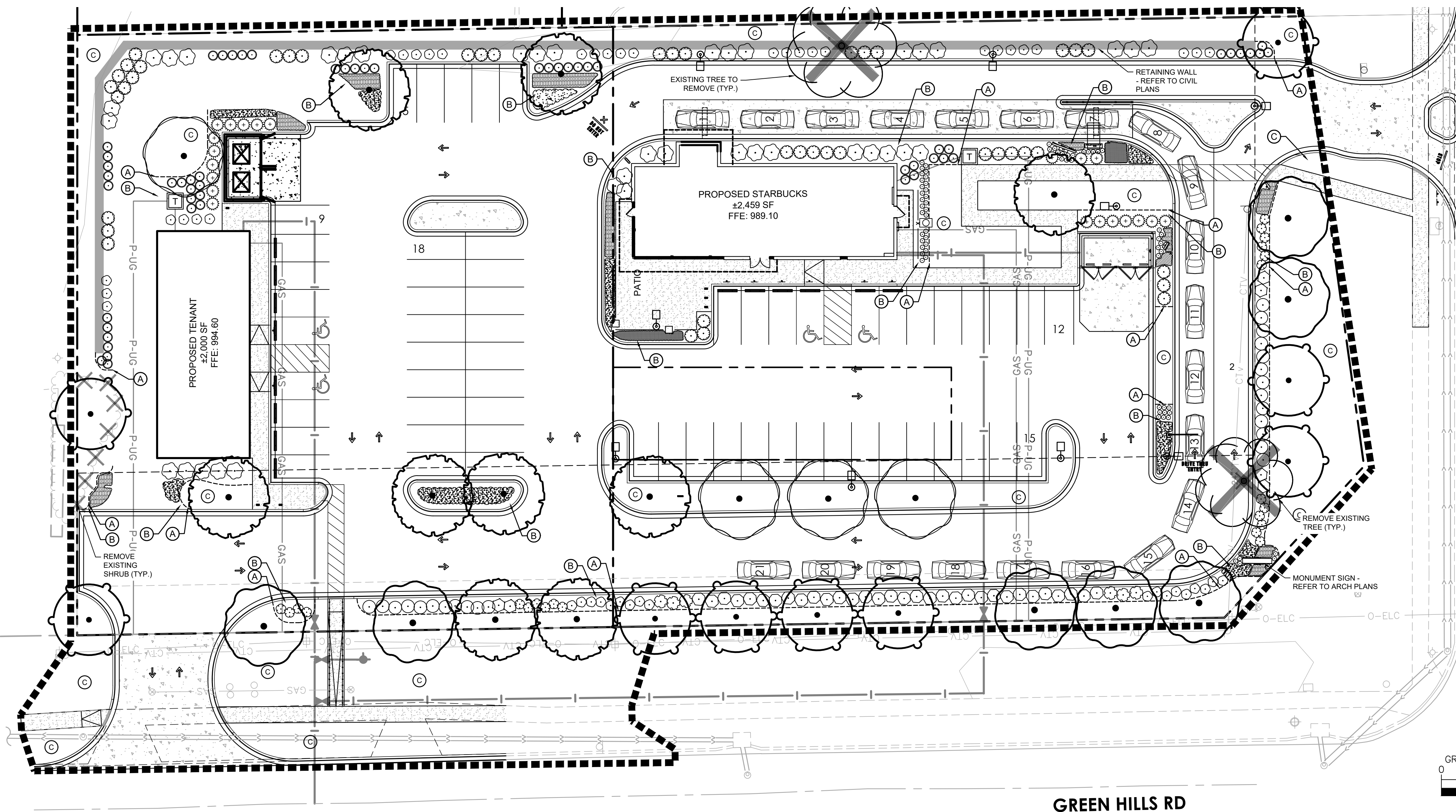
REQUIRED SHRUBS: 59 SHRUBS = (59 PARKING SPACES / 1)
 PROVIDED SHRUBS: 59 SHRUBS

TOTAL TREES REQUIRED: 29 TREES
 TOTAL TREES PROVIDED: 29 TREES

TOTAL SHRUBS REQUIRED: 59 SHRUBS
 TOTAL SHRUBS PROVIDED: 133 SHRUBS

LANDSCAPE KEYNOTES (A)

- (A) EDGER (TYP.)
- (B) ROCK MULCH (TYP.)
- (C) SOD (TYP.)



EXISTING TREE INVENTORY

TAG #	SPECIES	SIZE/ HT. DBH	HEALTH	STATUS
1	MAPLE	24	GOOD	REMOVE
2	UNKNOWN DECID.	27	GOOD	REMOVE

LANDSCAPE LEGEND

- EXISTING TREE TO REMAIN (TYP.)
- REMOVE TREE (TYP.)
- EXISTING SHRUB MASSING (TYP.)
- REMOVE SHRUB (TYP.)
- EDGER (TYP.)
- APPROXIMATE LIMITS OF SEEDING/ SEEDING ALL DISTURBED AREAS (TYP.)

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LANDSCAPE PLAN

MISSOURI

SBUX #85175 - BARRY RD & GREEN HILLS RD

PREPARED FOR
HUM BARRY, LLC

KANSAS CITY

811 Know what's below. Call before you dig.

SHEET NUMBER
L100

AMIS

PROJECT: 161143001

DATE: 07/19/2024

SCALE: AS SHOWN

DESIGNED BY: ATK

DRAWN BY: ATK

CHECKED BY: AMIS

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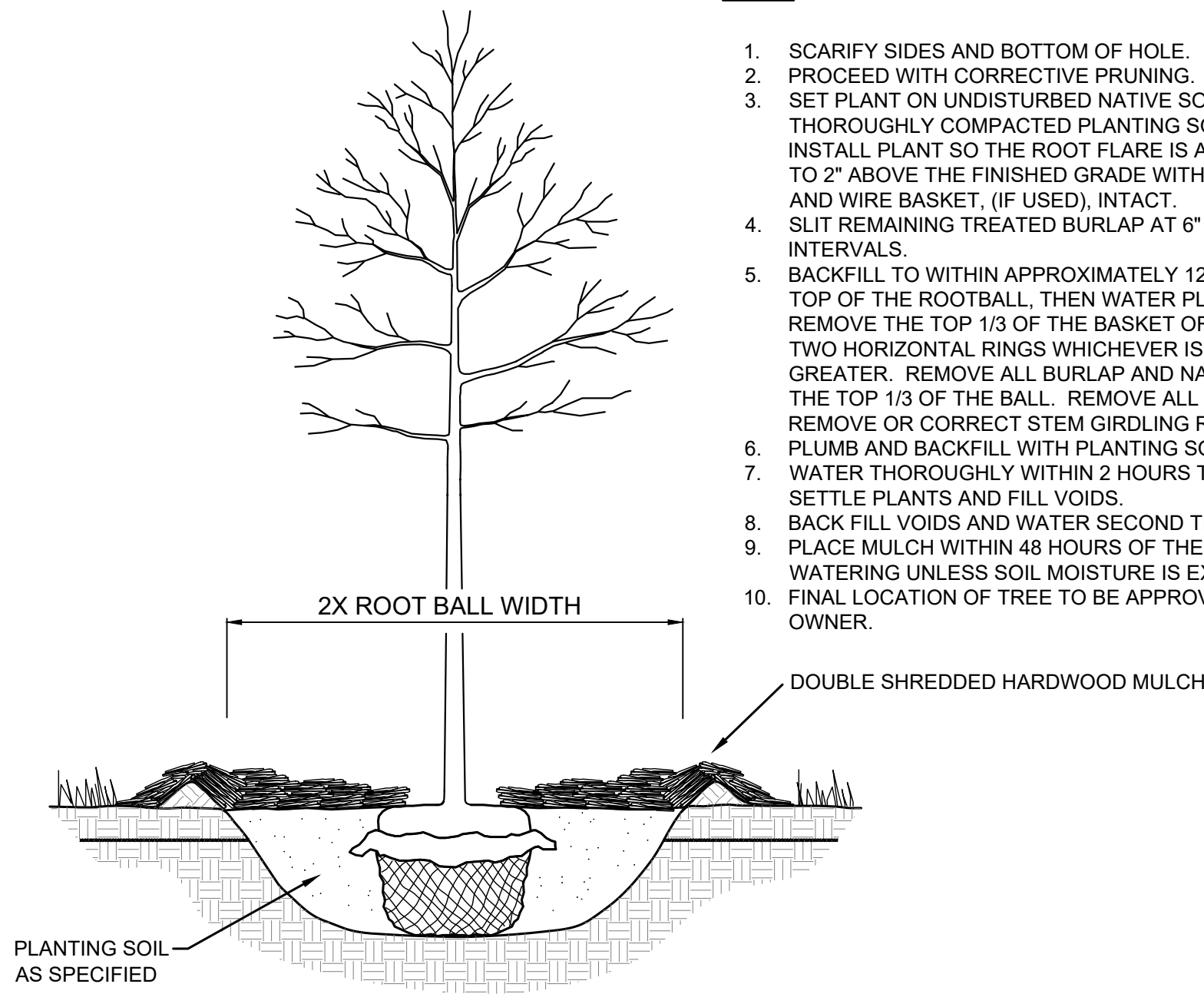
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REVISIONS

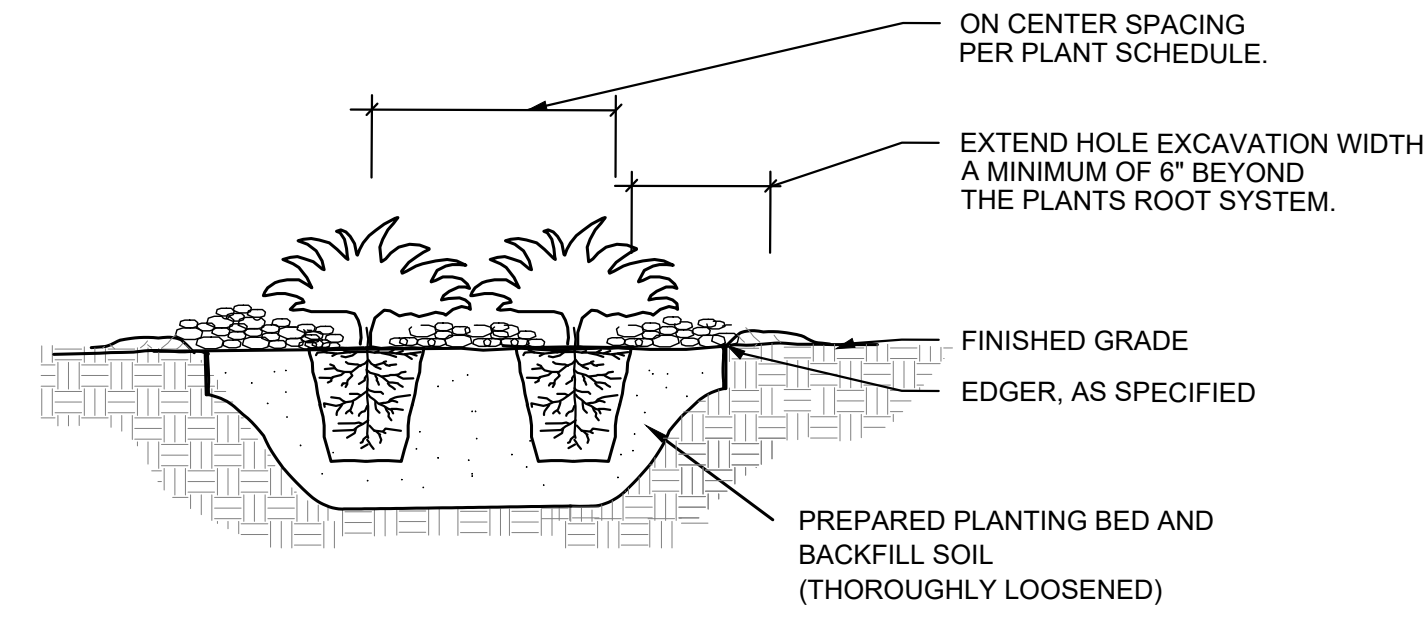
K:\TCW_LDEV\Starbucks\Kansas City, MO- NE Corner Green Hills & Barry Road\3 Design\CAD\PlanSheets\L1-LANDSCAPE DETAILS.DWG September 23, 2024 - 12:24pm
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NOTES:

1. SCARIFY SIDES AND BOTTOM OF HOLE.
2. PROCEED WITH CORRECTIVE PRUNING.
3. SET PLANT ON UNDISTURBED NATIVE SOIL OR THOROUGHLY COMPACTED PLANTING SOIL. INSTALL PLANT SO THE ROOT FLARE IS AT OR UP TO 2" ABOVE THE FINISHED GRADE WITH BURLAP AND WIRE BASKET, (IF USED), INTACT.
4. SLIT REMAINING TREATED BURLAP AT 6" INTERVALS.
5. BACKFILL TO WITHIN APPROXIMATELY 12" OF THE TOP OF THE ROOTBALL, THEN WATER PLANT. REMOVE THE TOP 1/3 OF THE BASKET OR THE TOP TWO HORIZONTAL RINGS WHICHEVER IS GREATER. REMOVE ALL BURLAP AND NAILS FROM THE TOP 1/3 OF THE BALL. REMOVE ALL TWINE. REMOVE OR CORRECT STEM GIRDLING ROOTS.
6. PLUMB AND BACKFILL WITH PLANTING SOIL.
7. WATER THOROUGHLY WITHIN 2 HOURS TO SETTLE PLANTS AND FILL VOIDS.
8. BACK FILL VOIDS AND WATER SECOND TIME.
9. PLACE MULCH WITHIN 48 HOURS OF THE SECOND WATERING UNLESS SOIL MOISTURE IS EXCESSIVE.
10. FINAL LOCATION OF TREE TO BE APPROVED BY OWNER.



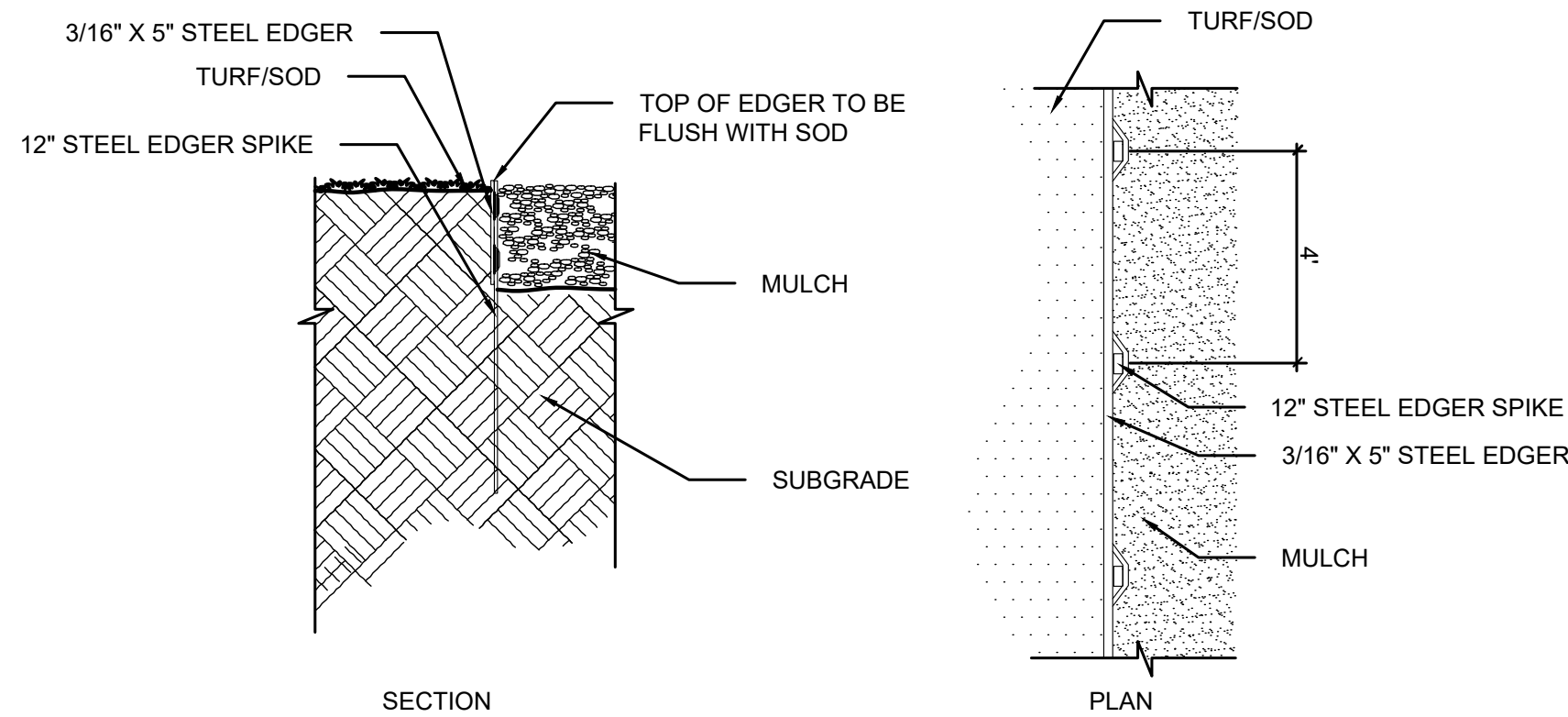
1 TREE PLANTING DETAIL
 SCALE: N.T.S.



NOTES:

1. SCARIFY SIDES AND BOTTOM OF HOLE.
2. PROCEED WITH CORRECTIVE PRUNING OF TOP AND ROOT.
3. REMOVE CONTAINER AND SCORE OUTSIDE OF SOIL MASS TO REDIRECT AND PREVENT CIRCLING FIBROUS ROOTS. REMOVE OR CORRECT STEM GIRDLING ROOTS.
4. PLUMB AND BACKFILL WITH PLANTING SOIL.
5. WATER THOROUGHLY WITHIN 2 HOURS TO SETTLE PLANTS AND FILL VOIDS.
6. BACK FILL VOIDS AND WATER SECOND TIME.
7. PLACE MULCH WITHIN 48 HOURS OF THE SECOND WATERING UNLESS SOIL MOISTURE IS EXCESSIVE.
8. MIX IN 3-4" OF ORGANIC COMPOST.

2 SHRUB / PERENNIAL PLANTING DETAIL
 SCALE: N.T.S.



3 STEEL EDGER DETAIL
 SCALE: N.T.S.

LANDSCAPE NOTES

PLANTING

1. CONTACT COMMON GROUND ALLIANCE AT 811 OR CALL811.COM TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY PLANTS OR LANDSCAPE MATERIAL.
2. ACTUAL LOCATION OF PLANT MATERIAL IS SUBJECT TO FIELD AND SITE CONDITIONS.
3. NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
4. ALL SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO SUBMISSION OF ANY BID AND/OR QUOTE BY THE LANDSCAPE CONTRACTOR.
5. PROVIDE TWO YEAR GUARANTEE OF ALL PLANT MATERIALS. THE GUARANTEE BEGINS ON THE DATE OF THE LANDSCAPE ARCHITECT'S OR OWNER'S WRITTEN ACCEPTANCE OF THE INITIAL PLANTING. REPLACEMENT PLANT MATERIAL SHALL HAVE A ONE YEAR GUARANTEE COMMENCING UPON PLANTING.
6. ALL PLANTS TO BE SPECIMEN GRADE, MISSOURI-GROWN AND/OR HARDY. SPECIMEN GRADE SHALL ADHERE TO, BUT IS NOT LIMITED BY, THE FOLLOWING STANDARDS:
 ALL PLANTS SHALL BE FREE FROM DISEASE, PESTS, WOUNDS, SCARS, ETC.
 ALL PLANTS SHALL BE FREE FROM NOTICEABLE GAPS, HOLES, OR DEFORMITIES.
 ALL PLANTS SHALL BE FREE FROM BROKEN OR DEAD BRANCHES.
 ALL PLANTS SHALL HAVE HEAVY, HEALTHY BRANCHING AND LEAFING.
 CONIFEROUS TREES SHALL HAVE AN ESTABLISHED MAIN LEADER AND A HEIGHT TO WIDTH RATIO OF NO LESS THAN 5:3.
7. PLANTS TO MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014 OR MOST CURRENT VERSION) REQUIREMENTS FOR SIZE AND TYPE SPECIFIED.
8. PLANTS TO BE INSTALLED AS PER ANSI STANDARD PLANTING PRACTICES.
9. INSTALL PLANTS BY PLANT INSTALLATION PERIOD INFORMATION IN THE LATEST STANDARD PLANTING DETAILS FROM MoDOT. PLANTINGS BEFORE OR AFTER THESE DATES ARE DONE AT RISK.
10. PLANTS SHALL BE IMMEDIATELY PLANTED UPON ARRIVAL AT SITE. PROPERLY HEEL-IN MATERIALS IF NECESSARY; TEMPORARY ONLY.
11. PRIOR TO PLANTING, FIELD VERIFY THAT THE ROOT COLLAR/ROOT FLARE IS LOCATED AT THE TOP OF THE BALLED & BURLAP TREE. IF THIS IS NOT THE CASE, SOIL SHALL BE REMOVED DOWN TO THE ROOT COLLAR/ROOT FLARE. WHEN THE BALLED & BURLAP TREE IS PLANTED, THE ROOT COLLAR/ROOT FLARE SHALL BE EVEN OR SLIGHTLY ABOVE FINISHED GRADE.
12. OPEN TOP OF BURLAP ON BB MATERIALS; REMOVE POT ON POTTED PLANTS; SPLIT AND BREAK APART PEAT POTS.
13. PRUNE PLANTS AS NECESSARY - PER STANDARD NURSERY PRACTICE AND TO CORRECT POOR BRANCHING OF EXISTING AND PROPOSED TREES.
14. WRAP ALL SMOOTH-BARKED TREES - FASTEN TOP AND BOTTOM. REMOVE BY APRIL 1ST.
15. STAKING OF TREES AS REQUIRED; REPOSITION, PLUMB AND STAKE IF NOT PLUMB AFTER ONE YEAR.

SOIL

16. TOPSOIL SHALL BE LOCAL FERTILE AGRICULTURAL SOIL FREE OF SUBSOILS, ROCKS LARGER THAN ONE INCH, CLAYS, PLANTS, WEEDS, ROOTS AND OTHER IMPURITIES. PH VALUE TO BE BETWEEN 5.4 AND 7.0. REMOVE DEBRIS AND WEEDS FROM SUBSOIL. MINIMUM 4" DEPTH TOPSOIL FOR ALL LAWN GRASS AREAS AND 12" DEPTH TOPSOIL FOR TREES, SHRUBS AND PERENNIALS. LIGHTLY COMPACT TOPSOIL AFTER PLACEMENT AND PROHIBIT CONSTRUCTION TRAFFIC FROM AREAS WITH TOPSOIL.
17. THE NEED FOR SOIL AMENDMENTS SHALL BE DETERMINED UPON SITE SOIL CONDITIONS PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT FOR THE NEED OF ANY SOIL AMENDMENTS.

MULCH

18. MULCH TO BE AT ALL TREE, SHRUB, PERENNIAL, AND MAINTENANCE AREAS. TREE PLANTINGS SHALL HAVE 4" DEPTH OF DOUBLE SHREDDED HARDWOOD MULCH. DOUBLE SHREDDED HARDWOOD MULCH TO BE USED AROUND ALL PLANTS WITHIN TURF AREAS. SHRUB, PERENNIAL AND ORNAMENTAL GRASS BEDS SHALL HAVE ROCK MULCH. ROCK MULCH TO BE BULK RIVER ROCK COLORADO, 1-2" DIAMETER, AT MINIMUM 3" DEPTH, OR APPROVED EQUAL. MULCH TO BE FREE OF DELETERIOUS MATERIAL AND NATURAL IN COLOR (DYE-FREE), OR APPROVED EQUAL. APPLY PRE-EMERGENT HERBICIDE PRIOR TO MULCH PLACEMENT PER MANUFACTURER RECOMMENDATIONS. USE PREEN OR PRE-APPROVED EQUAL. MULCH AND FABRIC TO BE APPROVED BY OWNER PRIOR TO INSTALLATION. MULCH TO MATCH EXISTING CONDITIONS (WHERE APPLICABLE).

EDGER

19. EDGING TO BE COMMERCIAL GRADE COL-MET (OR EQUAL) STEEL EDGING; 3/16" THICK x 5" TALL, COLOR BLACK, OR SPADED EDGE, AS INDICATED. STEEL EDGING SHALL BE PLACED WITH SMOOTH CURVES AND STAKED WITH METAL SPIKES NO GREATER THAN 4 FOOT ON CENTER WITH TOP OF EDGER AT GRADE. FOR MOWERS TO CUT ABOVE WITHOUT DAMAGE. UTILIZE CURBS AND SIDEWALKS FOR EDGING WHERE POSSIBLE. WHERE EDGING TERMINATES AT A SIDEWALK, BEVEL OR RECESS ENDS TO PREVENT TRIP HAZARD. SPADED EDGE TO PROVIDE V-SHAPED DEPTH AND WIDTH TO CREATE SEPARATION BETWEEN MULCH AND GRASS. INDIVIDUAL TREE, SHRUB, OR RAIN-GARDEN BEDS TO BE SPADED EDGE, UNLESS NOTED OTHERWISE. EDGING TO MATCH EXISTING CONDITIONS (WHERE APPLICABLE).

SEED/SOD

20. ALL DISTURBED AREAS TO BE SODDED OR SEEDED, UNLESS OTHERWISE NOTED. SOD TO BE STANDARD MISSOURI GROWN AND HARDY BLUEGRASS MIX, FREE OF LAWN WEEDS. ALL TOPSOIL AREAS TO BE RAKED TO REMOVE DEBRIS AND ENSURE DRAINAGE. SLOPES OF 3:1 OR GREATER SHALL BE STAKED. SEED AS SPECIFIED, PER MoDOT SPECIFICATIONS AND SUPPLIER/MANUFACTURER RECOMMENDATIONS. IF NOT INDICATED ON LANDSCAPE PLAN, SEE EROSION CONTROL PLAN.

IRRIGATION

21. PROVIDE NEW IRRIGATION SYSTEM, OR MODIFY EXISTING IRRIGATION PER OWNERS DIRECTION TO ALL PLANTED AREAS ON SITE. IRRIGATION SYSTEM TO BE DESIGN/BUILD BY LANDSCAPE CONTRACTOR. LANDSCAPE CONTRACTOR TO PROVIDE SHOP DRAWINGS TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION OF IRRIGATION SYSTEM. CONTRACTOR TO PROVIDE OPERATION MANUALS, AS-BUILT PLANS, AND NORMAL PROGRAMMING. SYSTEM SHALL BE WINTERIZED AND HAVE SPRING STARTUP DURING FIRST YEAR OF OPERATION. SYSTEM SHALL HAVE ONE-YEAR WARRANTY ON ALL PARTS AND LABOR. ALL INFORMATION ABOUT INSTALLATION AND SCHEDULING CAN BE OBTAINED FROM THE GENERAL CONTRACTOR. SYSTEM SHALL INCLUDE A RAIN SENSOR AND APPROPRIATE TECHNOLOGY.

ESTABLISHMENT

22. PROVIDE NECESSARY WATERING OF PLANT MATERIALS UNTIL THE PLANT IS FULLY ESTABLISHED OR IRRIGATION SYSTEM IS OPERATIONAL. OWNER WILL NOT PROVIDE WATER FOR CONTRACTOR.
23. REPAIR, REPLACE, OR PROVIDE SOD/SEED AS REQUIRED FOR ANY ROADWAY BOULEVARD AREAS ADJACENT TO THE SITE DISTURBED DURING CONSTRUCTION.

WARRANTY

24. REPAIR ALL DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO OWNER.
25. MAINTAIN TREES, SHRUBS, SEED AND OTHER PLANTS UNTIL PROJECT COMPLETION, BUT IN NO CASE, LESS THAN FOLLOWING PERIOD; 1 YEAR AFTER PROJECT COMPLETION. MAINTAIN TREES, SHRUBS, SEED AND OTHER PLANTS BY PRUNING, CULTIVATING, AND WEEDING AS REQUIRED FOR HEALTHY GROWTH. RESTORE PLANTING SAUCERS. TIGHTEN AND REPAIR STAKE AND GUY SUPPORTS AND RESET TREES AND SHRUBS TO PROPER GRADES OR VERTICAL POSITION AS REQUIRED. RESTORE OR REPLACE DAMAGED WRAPPINGS. SPRAY AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE. REPLENISH MULCH TO THE REQUIRED DEPTH. MAINTAIN LAWNS FOR 60 DAYS AFTER INSTALLING SOD INCLUDING MOWING WHEN SOD RECIPIES 4" IN HEIGHT. WEED PLANTING BEDS AND MULCH SAUCERS AT MINIMUM ONCE A MONTH DURING THE GROWING SEASON. PROVIDE A MONTHLY REPORT TO THE OWNER ON WEEDING AND OTHER MAINTENANCE RESPONSIBILITIES.

NO.	REVISIONS	DATE

Kimley»Horn
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KHA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
161143001	07/19/2024	AS SHOWN	ATK	ATK	AMS

LANDSCAPE DETAILS

ISSUED FOR PERMIT - NOT FOR CONSTRUCTION
SBUX #85175 - BARRY RD & GREEN HILLS RD
 PREPARED FOR
HUM BARRY, LLC
 KANSAS CITY MISSOURI