



# CITY PLAN COMMISSION STAFF REPORT

City of Kansas City, Missouri  
City Planning & Development Department  
[www.kcmo.gov/cpc](http://www.kcmo.gov/cpc)

September 19, 2023

**Project Name**  
1818 Main Apartments

**Docket #3**

**Request**  
CD-CPC-2023-00120  
Development Plan

**Applicant**  
Gretchen Blain  
Generator Studio  
1701 McGee St Kansas City, MO 64108

**Owner**  
1818 Investors LLC  
1100 Walnut St Kansas City, MO 64106

Location 1818 & 1822 Main St  
Area About 0.3 acres  
Zoning DX-15  
Council District 4<sup>th</sup>  
County Jackson  
School District KCMO 110

**Surrounding Land Uses**

**North:** Commercial uses, zoned DX-15  
**South:** Commercial uses, zoned DX-15  
**East:** Commercial uses, zoned DX-15  
**West:** Residential, commercial uses, zoned UR

**Major Street Plan**

Main Street is identified on the City's Major Street Plan as Commerce/Mixed Use

**Land Use Plan**

The Greater Downtown Area Plan recommends Downtown Mixed Use for this location.

**APPROVAL PROCESS**



**PROJECT TIMELINE**

The application for the subject request was filed on 7/16/2023. No scheduling deviations from 2023 Cycle P have occurred.

-Project was presented at the September 5, 2023 CPC hearing and the Commission voted to continue the case with two conditions that the applicant provide revised elevations and more thoroughly study of vehicle maneuverability onto the property west of the alley.

**Details related to building elevations can be found under Review Criterion F. Link to video exhibit of vehicle maneuverability [here](#).**

**NEIGHBORHOOD AND CIVIC ORGANIZATIONS NOTIFIED**

The subject site is located within the Crossroads Community Association.

**REQUIRED PUBLIC ENGAGEMENT**

Public engagement as required by 88-505-12 does apply to this request. Applicant hosted a meeting on 8/28/2023. A summary of the meeting is attached to the staff report.

**EXISTING CONDITIONS**

The subject site contains two existing buildings that will be demolished prior to construction of the proposed project.

**SUMMARY OF REQUEST + KEY POINTS**

The applicant is seeking approval of a development plan to allow a mixed-use building in district DX-15 on about 0.35 acres generally located at 1818 and 1822 Main Street.

**CONTROLLING + RELATED CASES**

**Case No. 14271-P – Ordinance 120145** Rezoning an area of approximately 100 acres known as the Downtown Streetcar Area South, generally located between I-670 on the north, Grand Boulevard on the east, the Kansas City Terminal Railway on the south and Wyandotte Street on the west, from Districts M 1-5 Manufacturing 1 (dash 5), B4-5 Heavy Business/Commercial (dash 5) and DC-15 (Downtown Core (dash 15) but not including the existing UR (Urban redevelopment) zones and the Adult Entertainment Overlay District CX/O zone, to District DX-15 Downtown Mixed Use (dash 15).

**PROFESSIONAL STAFF RECOMMENDATION**

Docket #3 Approval with Conditions

**PLAN REVIEW**

The proposed development is a 118 unit, 13-story residential building with ground floor retail space and rooftop amenity deck, totaling 170,000 square feet. Studio and one bedroom units are shown on the proposed floor plans and the building will be constructed up to the property lines. There is a roof top amenity area proposed to contain a pool, fire pits, grill, and bar areas.

Access to the proposed parking garage will be located in the alley to the west. There are no proposed curb cuts off Main Street, as this would cause conflict with the streetcar. The garage will contain 93 parking spaces located within the first three floors of the building (above grade).

Proposed building materials include brick veneer, two varieties of aluminum panel, architectural block, wood-looking aluminum panel, and low-e vision glass. Staff and the applicant have worked together towards adding articulation and transition of building materials; however, staff would prefer to continue working with the applicant on the architectural design at the time of building permit review.

Due to this site being located on the streetcar line, there are limitations to the amount and types of landscaping permitted by the Streetcar Authority. The applicant is proposing 24 shrubs/grasses in planters on Main Street as an alternative to the required trees for general landscaping. Additionally, the applicant will be a fee in lieu of planting four required street trees.

**PLAN ANALYSIS**

*Downtown Lot and Building (88-130), Use- Specific (88-300), and Development Standards (88-400)*

<b>Standards</b>	<b>Applicability</b>	<b>Meets</b>	<b>More Information</b>
Lot and Building Standards (88-130)	Yes	Yes	
Accessory or Use- Specific Standards (88-305 – 385)	No	N/A	
Boulevard and Parkway Standards (88-323)	No	N/A	
Parkland Dedication (88-408)	Yes	Yes	Subject to conditions
Parking and Loading Standards (88-420)	Yes	Yes	No off-street parking is required in the downtown streetcar area
Landscape and Screening Standards (88-425)	Yes	Yes	Subject to conditions of alternative compliance and payment in lieu
Outdoor Lighting Standards (88-430)	Yes	Yes	Subject to conditions of

			providing an alternative compliance lighting plan
Sign Standards (88-445)	Yes	Yes	Subject to conditions
Pedestrian Standards (88-450)	Yes	Yes	

**SPECIFIC REVIEW CRITERIA**

**Development Plans, Project Plan, or Site Plan (88-516-05)**

In order to be approved, a development plan, project plan, or site plan must comply with all of the following criteria:

- A. The plan must comply with all standards of the Zoning and Development Code and all other applicable city ordinances and policies;**  
*The proposed plan complies with all applicable standards in the Zoning and Development Code, subject to conditions. There are three corrections the applicant is required to make prior to staff preparing the ordinance request. The corrections include revising the landscape table, working with staff on the design of the awning/canopy, and revise the floor area ratio (FAR) data in the site data table. Additionally, the Greater Downtown Area Plan supports the proposed development including the use, height, and zero-lot line site design.*
- B. The proposed use must be allowed in the district in which it is located;**  
*Residential mixed-use is permitted in the DX-15 zoning district.*
- C. Vehicular ingress and egress to and from the site, and circulation within the site must provide for safe, efficient, and convenient movement of traffic not only within the site but on adjacent roadways;**  
*Vehicular ingress and egress through the alley to the parking garage on-site will be adequate. The existing alley is approximately 15 feet and the proposed garage access is approximately 22 feet wide, allowing for adequate maneuverability into and from the alley.*
- D. The plan must provide for safe, efficient, and convenient non-motorized travel opportunities, being pedestrian and bicycle movement, on the subject site;**  
*Pedestrian access to the site is expected to be safe and efficient. The site is along the streetcar line and there are no proposed curb cuts to this site from Main Street. Additionally, the plans show required bicycling parking spaces in front of the building for pedestrians to easily access.*
- E. The plan must provide for adequate utilities based on City standards for the particular development proposed.**  
*There are adequate utilities in Main Street and the western alley to serve this development.*
- F. The location, orientation, and architectural features, including design and material, of buildings and other structures on the site must be designed to be compatible with adjacent properties.**  
*Although the architectural design uses similar aluminum metal panel materials as newer buildings in the Crossroads, staff has asked for increased fenestration and articulation. Staff requested the applicant reconsider some interior layout elements that were directly affecting the exterior design. One suggestion was to rotate the elevator shaft as the current design results in a large blank area on the front of the building where the elevator is located. Rotating the elevator structure and reconfiguring the interior hallway would allow a smaller blank area on the front of the building and allow for windows to let natural light into the hallway.*

*At staff's request the applicant replaced the proposed smooth concrete on the north and south sides of the parking garage area with architectural block to reduce the harsh transition into the brick veneer on the northeastern and southeastern corners of the building.*

**Since the September 5<sup>th</sup> CPC meeting, the applicant has provided revised elevations that extend the brick veneer on the east elevation (front) up to the fourth floor. The green wall has also been extended above the canopy to reduce the amount of metal panel used. Color contrast of the metal panels has been added to the east and west elevations, along with enlarged unit windows to increased transparency.**

- G. Landscaping, berms, fences, and/or walls must be provided to buffer the site from undesirable views, noises, lighting, or other off-site negative influences and to buffer adjacent properties from negative influences that may be created by the plan.**

*Due to the zero-lot line construction and the site's location on the streetcar line, there were challenges to meeting the landscape standards. The applicant is proposing grasses in planters in front of the building on Main Street as an alternative compliance to the two trees required per 88-425-04 – General Landscaping. Additionally, the developer will pay a fee in lieu of planting the four required street trees: \$1,480.*

- H. The design of streets, drives, and parking areas within the project should result in a minimum of area devoted to asphalt or other impervious surfaces consistent with the needs of the project and city code requirements.**

*The entire site will be impervious, which is typical of dense development in the downtown area.*

- I. The plan must identify trees to be removed and trees to be preserved during the development of the subject property with the goal of saving trees that are not required to be removed for the development of the property.**

*There are no trees on the site.*

## ATTACHMENTS

1. Conditions Report
2. Applicants Submittal
3. Public Engagement Materials
4. Additional documents, if applicable

## PROFESSIONAL STAFF RECOMMENDATION

City staff recommends **Approval with Conditions** as stated in the conditions report.

Respectfully Submitted,



Genevieve Kohn, AICP  
Planner



## Plan Conditions

Report Date: September 14, 2023

Case Number: CD-CPC-2023-00120

Project: 1818 Main Apartments

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*Condition(s) by City Planning and Development Department. Contact Genevieve Kohn at (816) 513-8808 / Genevieve.Kohn@kcmo.org with questions.*

1. Streetcar authority requires all tenant loading or move-in activities shall be accommodated via the alley and parking garage.
2. The developer shall coordinate with the Public Works Department and Streetcar Authority prior to applying for any building permit. Applicant shall receive approval from the Streetcar Authority regarding garbage pickup schedules to ensure there is no conflict with streetcar operations.
3. All signage shall conform to 88-445 and shall require a sign permit prior to installation.
4. The developer shall submit an affidavit, completed by a landscape architect licensed in the State of Missouri, verifying that all landscaping required of the approved plan has been installed in accordance with the plan and is healthy prior to Certificate of Occupancy.
5. The developer shall submit an affidavit, prepared by an engineer licensed in the State of Missouri, verifying that all outdoor lighting has been installed in accordance with approved plans and that lighting levels do not exceed that shown on the approved lighting plan at the property lines prior to Certificate of Occupancy.
6. The developer shall screen all roof and/or ground mounted mechanical and utility equipment in compliance with 88-425-08.
7. The developer shall obtain approval of an alternative compliance lighting plan to allow to additional spillover light into the right of way prior to building permit.
8. The proposed development is located in an area where the Charles B. Wheeler Downtown Airport (MKC) height zoning restrictions apply. No structure in this area should be constructed which exceeds these restrictions.

Given the potential height and proximity of this plan to MKC, the proposed development will exceed FAR Part 77, Objects Affecting Navigable Airspace, standards. The proponent/developer has filed an on-line Form 7460-1, Notice of Proposed Construction or Alteration, for permanent vertical improvements or new structures and shall receive a Determination of No Hazard to Air Navigation from the FAA. Temporary cranes used for construction activities extending higher than the proposed top elevation of the building will need to be evaluated for compliance with FAR Part 77 standards as well. The FAA's Obstruction Evaluation/Airport Airspace Analysis (OE/AAA) website can be accessed at <https://oeaaa.faa.gov/oeaaa/external/portal.jsp>.

Aviation recommends the proponent/developer provide the FAA with a 1A survey accuracy statement assuming the highest horizontal and vertical tolerance was used for this design. This information certifies the ground elevations the developer has portrayed within the plans are to higher level of accuracy. Per OEAAA, if this accuracy statement isn't provided, an adjustment commensurate with a 50 foot vertical buffer is applied to the development. This information can be referenced at: <https://oeaaa.faa.gov/oeaaa/external/content/surveyAccuracy.jsp>

The proponent/developer is recommended to comply with Chapters 3, 4, and 5 of FAA Advisory Circular (AC) 70/7460-1, Obstruction Marking and Lighting, as amended.

KCAD is actively working with the FAA to address airspace restrictions in the River Market that will allow vertical development while at the same time ensuring airspace surfaces are maintained according to FAA criteria.

*Condition(s) by City Planning and Development Department. Contact Genevieve Kohn at (816) 513-8808 / Genevieve.Kohn@kcmo.org with questions.*

9. The following corrections shall be made prior to request for ordinance:
  - a. Remove incorrect landscape table from sheet C03. Revise table on sheet L01 in the "required" cell that 4 street trees are required and 2 general landscaping trees are required. Add the fee in lieu amount for streets trees of \$1,480.
  - b. There is concern about how close the lower balconies are to the awning/canopy, as well as the cutout on the awning/canopy, which defeats the purpose of the covered area. if the goal is to have natural light shine through, install some type of clear barrier. Discuss further with city staff and revise plans.
  - c. Revise FAR calculation to include all floor area (sum of all floors)

*Condition(s) by City Planning and Development Department. Contact Terry Thomas at (816) 513-2510 / Terry.A.Thomas@kcmo.org with questions.*

10. The developer shall submit a Storm Drainage analysis from a Missouri-licensed civil engineer to the Land Development Division evaluating proposed improvements and impact to drainage conditions. Since this project is within a "Combined Sewer Overflow" (CSO) district, the project shall be designed to retain rainfall of 1.5 inch depth over the disturbed area to simulate natural runoff conditions and reduce small storm discharge to the combined sewer system. Manage the 10-year storm and 100-year storm per currently adopted APWA standards. The analysis shall be submitted prior to issuance of any building permits, and the developer secure permits to construct any improvements required by the Land Development Division prior to issuance of any certificate of occupancy.
11. The developer shall submit a letter to the Land Development Division from a Licensed Civil Engineer, Licensed Architect, or Licensed Landscape Architect, who is registered in the State of Missouri, that identifies sidewalks, curbs, and gutters in disrepair as defined by Public Works Department's "OUT OF REPAIR CRITERIA FOR SIDEWALK, DRIVEWAY AND CURB revised 11/5/2013" and based on compliance with Chapters 56 and 64 of the Code of Ordinances for the sidewalks, curbs, and gutters where said letter shall identify the quantity and location of sidewalks, curbs, gutters that need to be constructed, repaired, or reconstructed to remedy deficiencies and/or to remove existing approaches no longer needed by this project. The developer shall secure permits to repair or reconstruct the identified sidewalks, curbs, and gutters as necessary along all development street frontages as required by the Land Development Division and prior to issuance of any certificate of occupancy permits including temporary certificate occupancy permits.
12. The developer shall submit an analysis to verify adequate capacity of the existing sewer system as required by the Land Development Division prior to issuance of a building permit to connect private system to the public sewer main and depending on adequacy of the receiving system, make other improvements as may be required.
13. The developer shall submit plans for grading, siltation, and erosion control to Land Development Division for review and acceptance, and secure a Site Disturbance permit for any proposed disturbance area equal to one acre or more prior to beginning any construction activities.

*Condition(s) by Fire Department. Contact Michael Schroeder at (816) 513-4604 / michael.schroeder@kcmo.org with questions.*

14. • The project shall meet the fire flow requirements as set forth in Appendix B of the International Fire Code 2018. (IFC-2018 § 507.1)
15. • Buildings equipped with a fire standpipe system shall have an operable fire hydrant within 100 feet of the Fire Department Connection (FDC). (IFC2018 § 507.5.1.1)
16. • Fire hydrants shall be installed and operable prior to the arrival of any combustible building materials onto the site. (IFC-2018 § 501.4 and 3312.1; NFPA 241-2013 § 8.7.2)
  - Fire hydrant distribution shall follow IFC-2018 Table C102.1
17. • Buildings which have an occupiable floor greater than 75 feet above grade shall meet high-rise requirements ( IFC 2018 Sec 914.3)..
18. • New buildings shall have approved radio coverage for emergency responders within the building based on the existing coverage levels of the public safety communication systems utilized by the jurisdiction, measured at the exterior of the building. This section shall not require improvement of the existing public safety communication systems. (IFC 2018 510.1) and (NFPA1221)

*Condition(s) by Parks & Recreation. Contact Justin Peterson at (816) 513-7599 / Justin.Peterson@kcmo.org with questions.*

19. As indicated on plans, the developer shall pay money-in-lieu of parkland dedication. Fee shall be based on the 2023 parkland rate and paid prior to Certificate of Occupancy. With 118 proposed multi-family units, fee equates to \$90,935.77.

*Condition(s) by Parks & Recreation. Contact Justin Peterson at (816) 513-7599 / Justin.Peterson@kcmo.org with questions.*

20. The developer shall be responsible for payment in the amount of \$1,480 to the Tree Fund in lieu of providing the required number of street trees. Twenty-four shrubs shown on the development plan shall serve as alternative compliance to the required number of general landscaping trees per 88-425-04. This requirement shall be satisfied prior to certificate of occupancy.

*Condition(s) by Water Services Department. Contact Heather Massey at (816) 513-2111 / heather.massey@kcmo.org with questions.*

21. The developer shall ensure that water and fire service lines should meet current Water Services Department Rules and Regulations. Prior to C of O.  
<https://www.kcwater.us/wp-content/uploads/2022/05/2022-Rules-and-Regulations-for-Water-Service-Lines-Final.pdf>
22. For all work under the Streetcar a Track Access Permit must be applied for with public works and the plumber must be track access certified. See <https://kcstreetcar.org/about-streetcar/track-access/> for additional information.

*Condition(s) by Water Services Department. Contact Lucas Kaspar at (816) 513-2131 / Lucas.Kaspar@kcmo.org with questions.*

23. The developer shall submit a Storm Drainage analysis from a Missouri-licensed civil engineer to the Land Development Division evaluating proposed improvements and impact to drainage conditions. Since this project is within a "Combined Sewer Overflow" (CSO) district, the project shall be designed to retain rainfall of 1.5 inch depth over the disturbed area to simulate natural runoff conditions and reduce small storm discharge to the combined sewer system. Manage the 10-year storm and 100-year storm per currently adopted APWA standards. The analysis shall be submitted, and the developer shall secure permits to construct any improvements required by the Land Development Division prior to recording the plat.
24. The developer shall submit an analysis to verify adequate capacity of the existing sewer system as required by the Land Development Division prior to issuance of a building permit to connect private system to the public sewer main and depending on adequacy of the receiving system, make other improvements may be required.
25. The developer shall obtain any required encroachment permit for the private overflow grate inlet located in the right-of-way.

# 1818 / 1822 MAIN STREET

DESIGN UPDATES for KANSAS CITY PLANNING COMMISSION  
19 SEPTEMBER 2023







EXISTING VIEW LOOKING NORTH ON MAIN STREET



PROPOSED VIEW LOOKING NORTH ON MAIN STREET



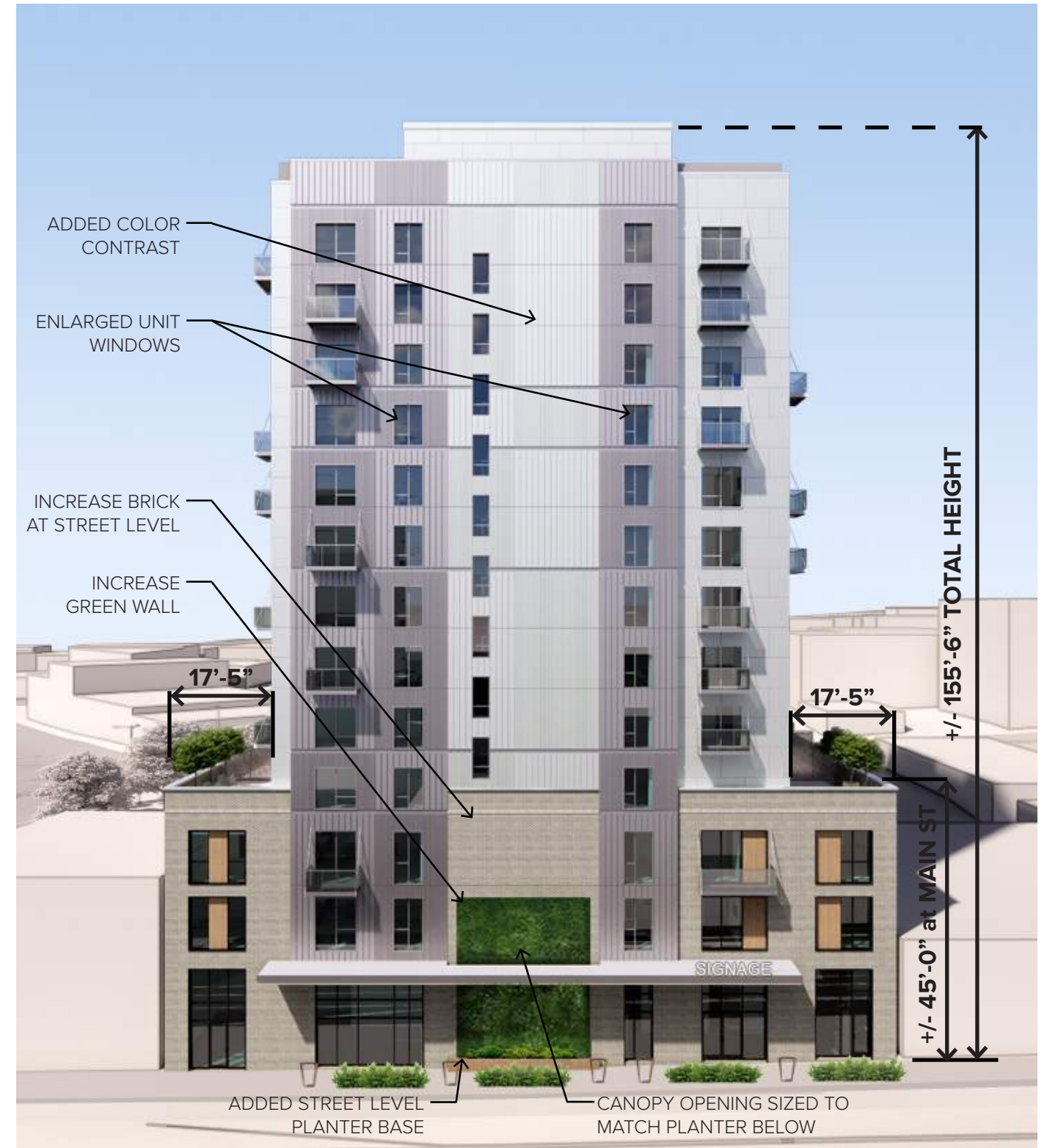
EXISTING VIEW LOOKING SOUTH ON MAIN STREET



PROPOSED VIEW LOOKING SOUTH ON MAIN STREET



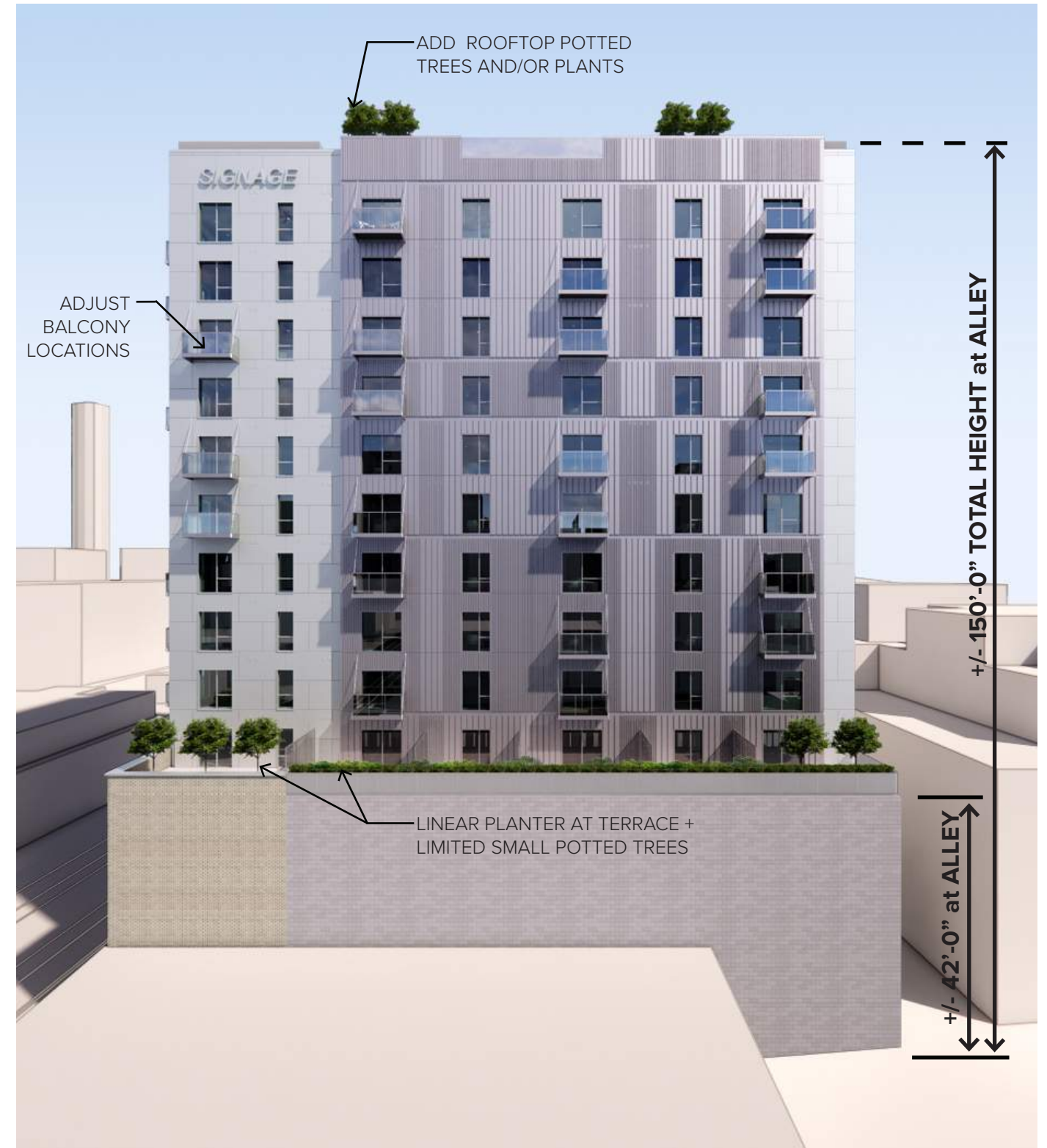
EAST ELEVATION PERSPECTIVE - PREVIOUS CONCEPT



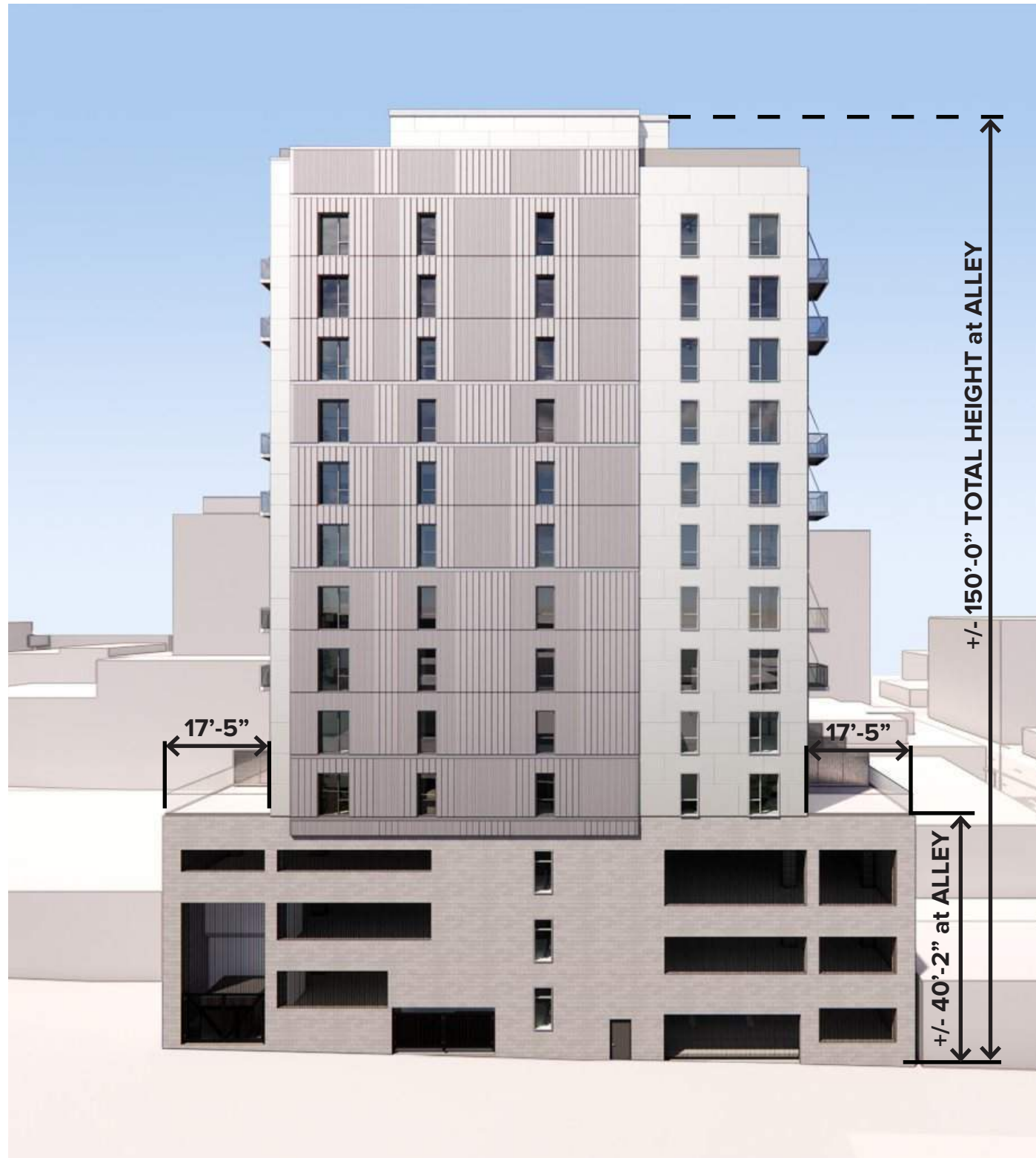
EAST ELEVATION PERSPECTIVE - UPDATED CONCEPT



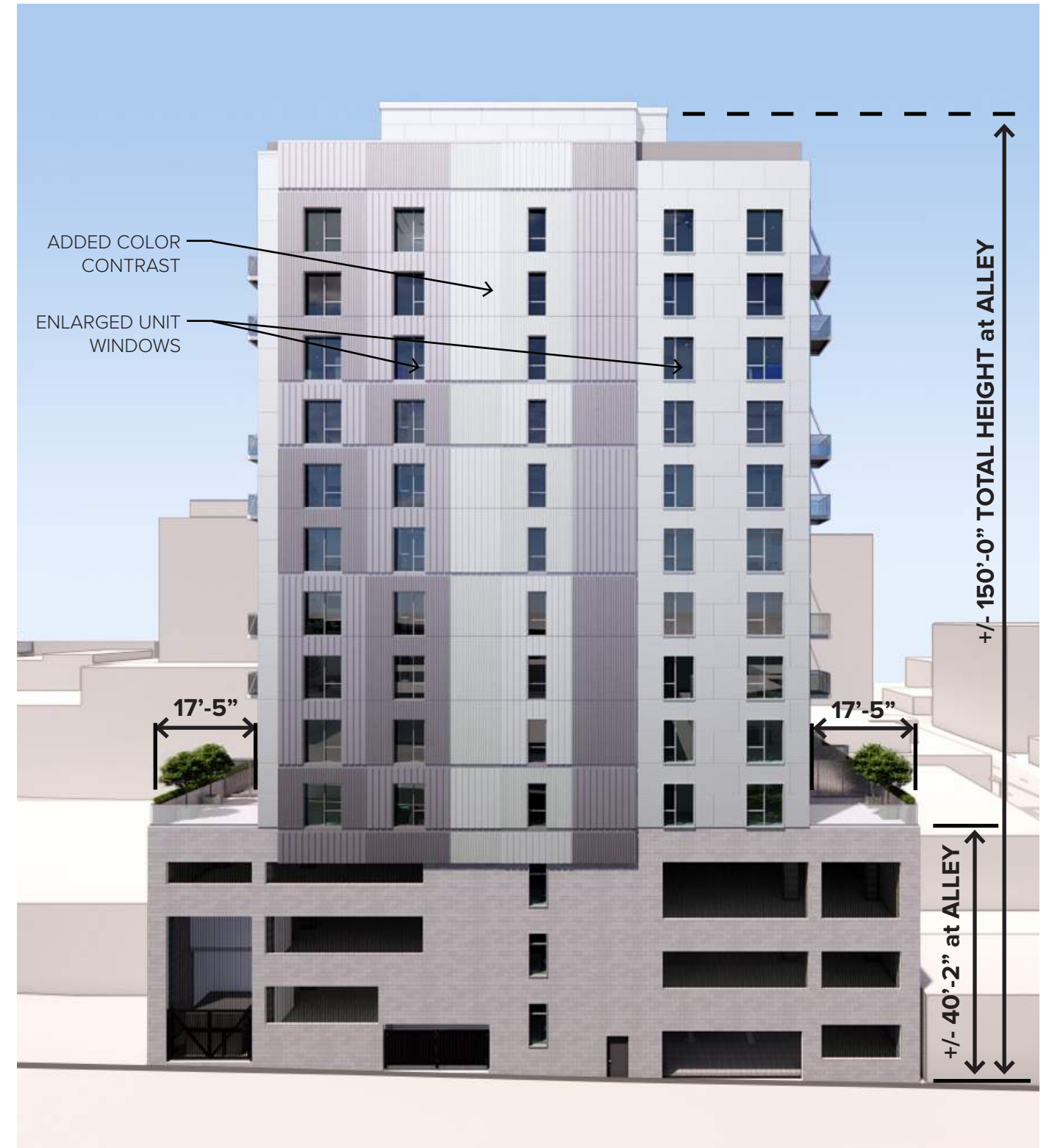
NORTH ELEVATION PERSPECTIVE - PREVIOUS CONCEPT



NORTH ELEVATION PERSPECTIVE - UPDATED CONCEPT



WEST ELEVATION PERSPECTIVE - PREVIOUS CONCEPT



WEST ELEVATION PERSPECTIVE - UPDATED CONCEPT



SOUTH ELEVATION PERSPECTIVE - PREVIOUS CONCEPT



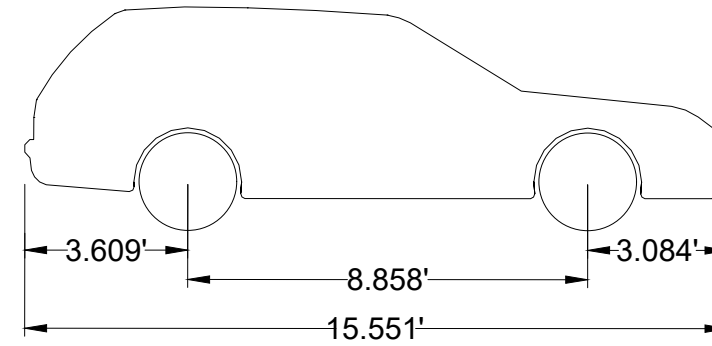
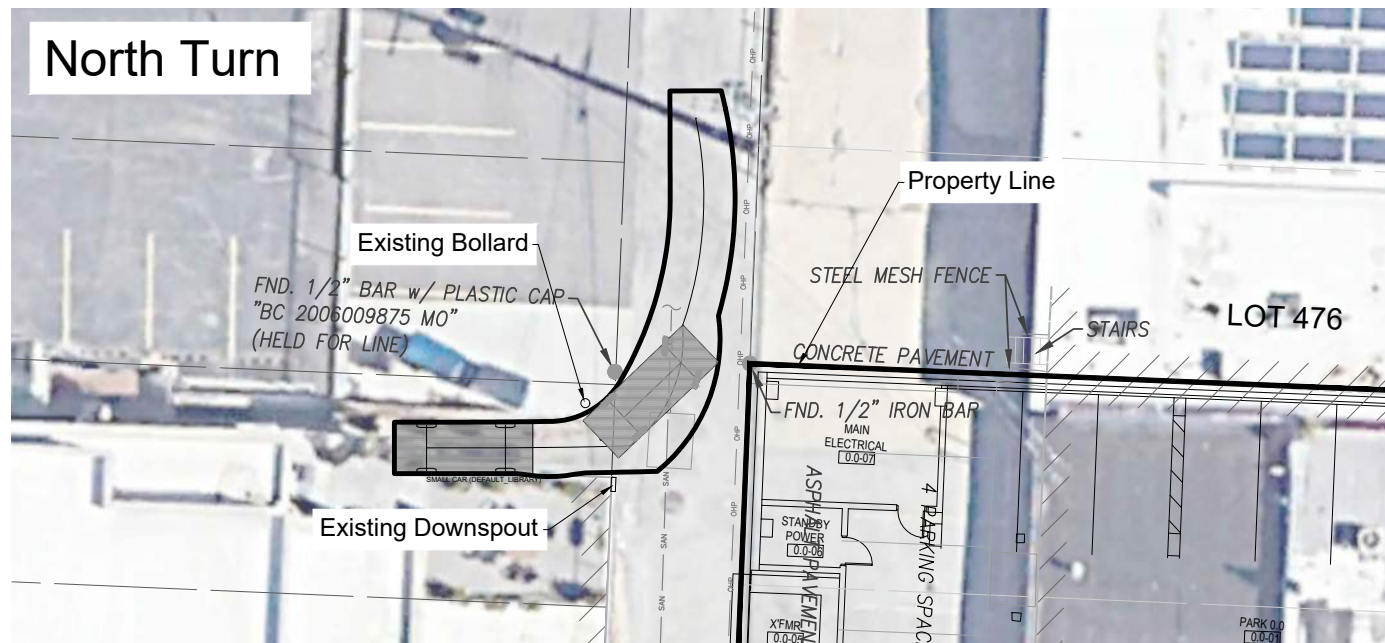
SOUTH ELEVATION PERSPECTIVE - UPDATED CONCEPT





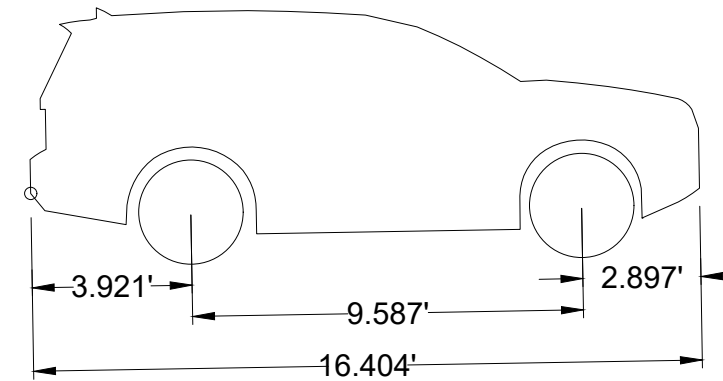
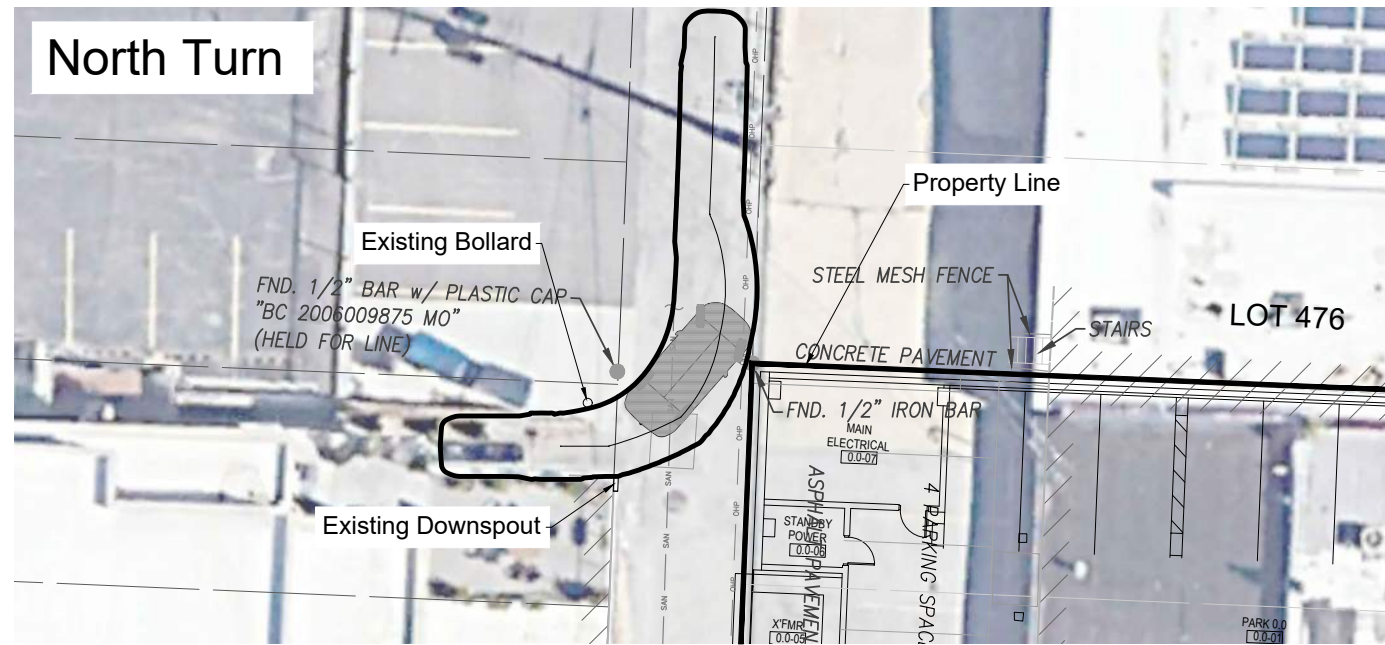


# North Turn



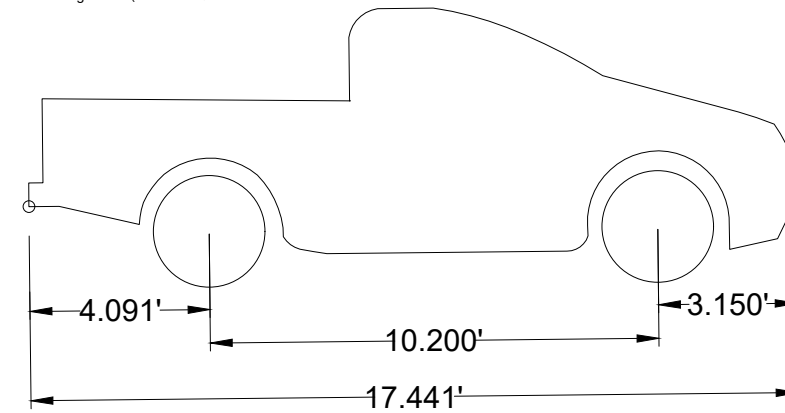
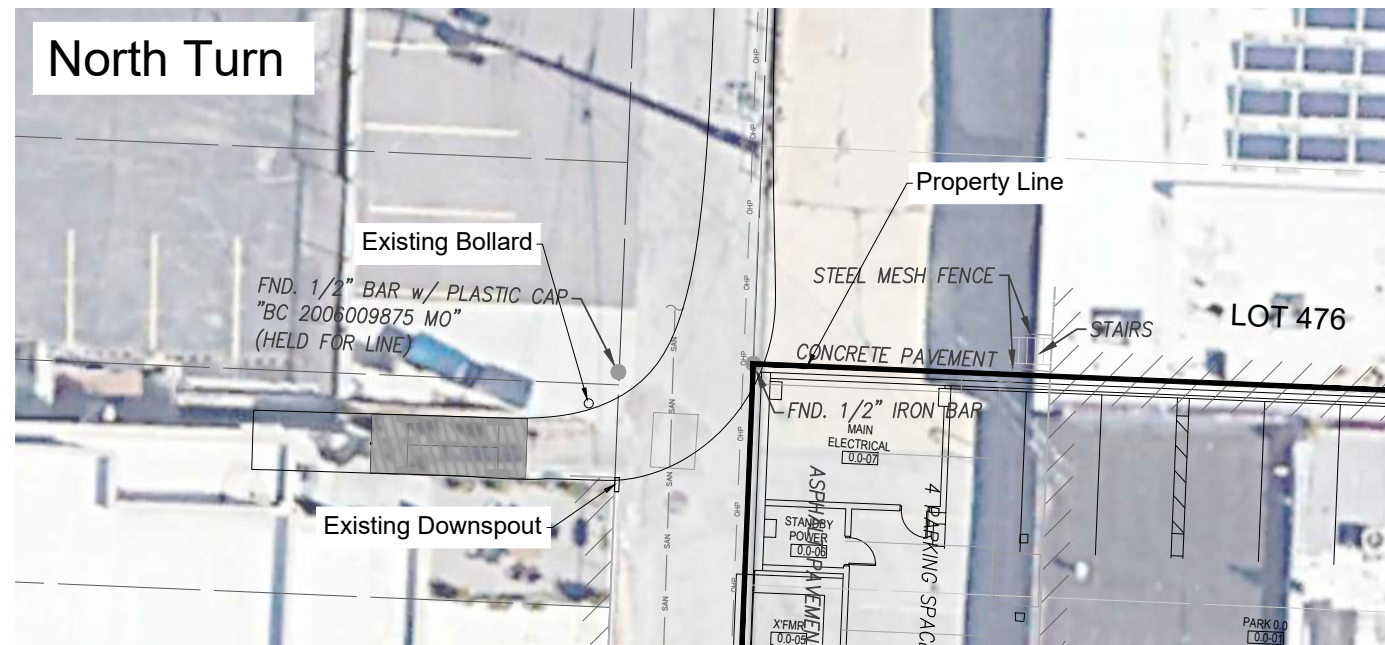
Vehicle library: DEFAULT\_LIBRARY  
Name: SMALL CAR  
Width [ft]: 5.774  
Height [ft]: 4.954  
Front track [ft]: 5.774  
Back track [ft]: 5.774  
Total vehicle length [ft]: 15.551  
Average steering angle: 36.122°  
Turn time (sec.): 4.0  
Turning radius (curb to curb) [ft]: 17.442  
Turning radius (wall to wall) [ft]: 19.193

# North Turn



Vehicle library: SUV  
Name: Land Rover Range Rover, 2019  
Width [ft]: 7.467  
Height [ft]: 6.329  
Front track [ft]: 6.801  
Back track [ft]: 6.801  
Total vehicle length [ft]: 16.404  
Average steering angle: 33.738°  
Turn time (sec.): 4.0  
Turning radius (curb to curb) [ft]: 20.177  
Turning radius (wall to wall) [ft]: N/A

# North Turn



Vehicle library: PICK-UP\_TRUCK  
Name: Ford F-150 Regular Cab Standard Bed, 2018  
Width [ft]: 6.657  
Height [ft]: 6.292  
Front track [ft]: 6.657  
Back track [ft]: 6.657  
Total vehicle length [ft]: 17.441  
Average steering angle: 35.538°  
Turn time (sec.): 4.0  
Turning radius (curb to curb) [ft]: 20.349  
Turning radius (wall to wall) [ft]: 22.097

Exhibits

23-0132  
1818 Main Apartments  
Kansas City, Jackson County, Missouri

North Turn

NO.	DATE	REVISION

DRAWN BY	CHECKED BY
%%	%%

**Renaissance Infrastructure Consulting**  
816.800.0950  
WWW.RIC-CONSULT.COM  
400 E 17TH STREET  
KANSAS CITY, MISSOURI 64108  
MO Certificate of Authority: E-2010036350

Sheet  
Exhibit B

KIEWIT, Sep 13, 2023-5:12pm, Z:\RIC Design\2023\23-0132 Car Turning Template Exhibit\_2023-09-05\_Per P.C Meeting.dwg







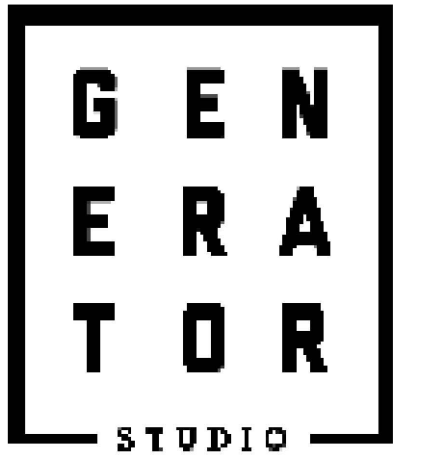






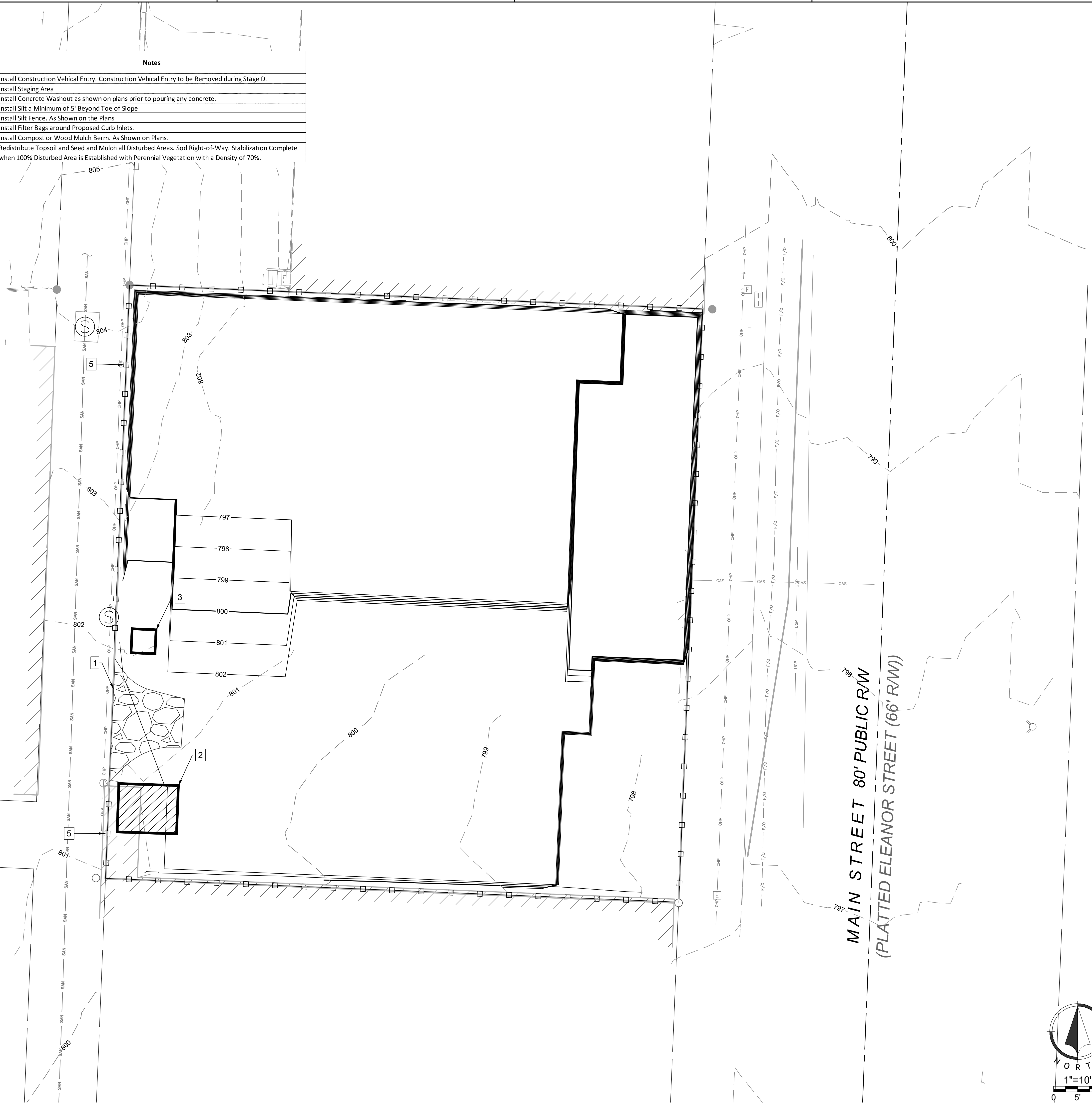






Project Stage	BMP Plan Ref. No.	BMP Description	Remove After Stage	Notes
A-Prior to Land Disturbance	1	Stabilized Construction Entrance	C	Install Construction Vehical Entry. Construction Vehical Entry to be Removed during Stage D.
	2	Staging Area	D	Install Staging Area
	3	Concrete Washout	D	Install Concrete Washout as shown on plans prior to pouring any concrete.
B-Mass Grading	4	Stockpile Topsoil	C	Install Silt a Minimum of 5' Beyond Toe of Slope
	5	Silt Fence	D	Install Silt Fence, As Shown on the Plans
C -Site Construction	6	Curb Inlet Protection	D	Install Filter Bags around Proposed Curb Inlets.
	7	Compost or Wood Mulch Berm	D	Install Compost or Wood Mulch Berm, As Shown on Plans.
	8	Establish Perennial Vegetation	N/A	Redistribute Topsoil and Seed and Mulch all Disturbed Areas. Sod Right-of-Way. Stabilization Complete when 100% Disturbed Area is Established with Perennial Vegetation with a Density of 70%.

EROSION CONTROL LEGEND	
	Stabilized Construction Entrance
	Staging Area
	Stockpile Area
	Concrete Washout
	Limits of Disturbance
	Perimeter Silt Fence
	Inlet Protection
	Seed



**DEVELOPER**  
 COPAKEN BROOKS  
 1100 WALNUT STREET, SUITE 2000  
 KANSAS CITY, MO 64108  
 816.701.5000  
 COPAKEN-BROOKS.COM

**ARCHITECT**  
 GENERATOR STUDIO LLC  
 1615 BALTIMORE AVE  
 KANSAS CITY, MO 64108  
 816.333.6527  
 GENERATORSTUDIO.COM

**CIVIL ENGINEER**  
 RENAISSANCE INFRASTRUCTURE CONSULTING  
 400 E. 17TH STREET  
 KANSAS CITY, MO 64108  
 816.800.0950  
 RIC-CONSULT.COM

**STRUCTURAL ENGINEER**  
 FORTIS STRUCTURAL, LLC  
 7935 E. PRENTICE AVENUE, SUITE 305  
 GREENWOOD VILLAGE, CO 80111  
 720.953.3899  
 FORTISSTRUCTURAL.COM

**MEPF ENGINEER**  
 LANKFORD FENDLER + ASSOCIATES  
 1720 WALNUT ST  
 KANSAS CITY, MO 64108  
 816.221.3411  
 LANKFORDFENDLER.COM

**CODE ANALYSIS**  
 FSC, INC.  
 8075 W. 95TH STREET  
 OVERLAND PARK, KS 66212  
 816.333.4373  
 FSC-INC.COM

**ARCHITECT:** THOMAS J. PROFERSTLE  
**LICENSE NO.:** A-2002017812

NOT FOR CONSTRUCTION

SEAL

**MAIN STREET MULTIFAMILY**

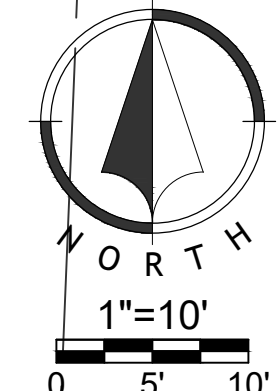
1818 MAIN STREET  
 KANSAS CITY, MO 64108

**DEVELOPMENT PLAN**

ISSUE DATE:	08.21.2023	
REV	DESCRIPTION	DATE

PROJECT NO.  
 DRAWN BY:  
 CHK'D BY:  
 SHEET TITLE

C08









**LEGEND - SITE PLAN**

- · — · — · PROPERTY LINE
- NEW CONSTRUCTION
- ▨ NEW SIDEWALK
- EXISTING STRUCTURES

**GENERAL SITE PLAN NOTES**

A. RE: CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL SITE INFORMATION.

**KEYED NOTES - SITE PLAN**

- ① APARTMENT ENTRANCE
- ② RETAIL ENTRANCE
- ③ TRASH ENCLOSURE
- ④ GARAGE ENTRANCE
- ⑤ BIKE PARKING @ SIDEWALK MOUNTED BIKE RACK
- ⑥ PLANTING BED RE: LANDSCAPE
- ⑦ EXISTING STREET LIGHT



**DEVELOPER**  
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 816.333.6527  
 GENERATORSTUDIO.COM

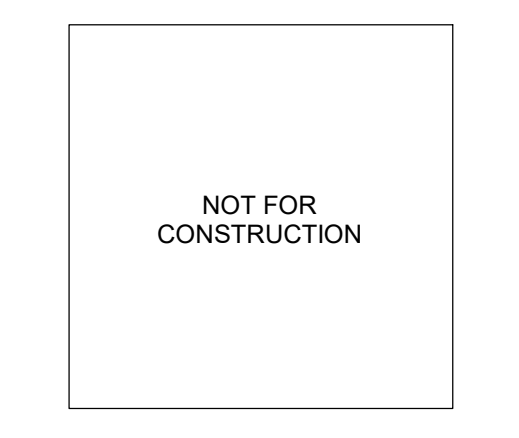
**CIVIL ENGINEER**  
 RENAISSANCE INFRASTRUCTURE CONSULTING  
 400 E. 17TH STREET  
 KANSAS CITY, MO 64108  
 816.800.0950  
 RIC-CONSULT.COM

**STRUCTURAL ENGINEER**  
 FORTIS STRUCTURAL LLC  
 7935 E. PRENTICE AVENUE, SUITE 305  
 GREENWOOD VILLAGE, CO 80111  
 720.593.3800  
 FORTISSTRUCTURAL.COM

**MEP ENGINEER**  
 LANKFORD | FENDLER + ASSOCIATES  
 1720 WALNUT ST  
 KANSAS CITY, MO 64108  
 816.221.3411  
 LANKFORDFENDLER.COM

**CODE ANALYSIS + FIRE PROTECTION**  
 FSC, INC.  
 8675 W. 96TH STREET  
 OVERLAND PARK, KS 66212  
 816.333.4373  
 FSC-INC.COM

ARCHITECT: THOMAS J. PROEBSTLE  
 LICENSE NO. A-2002017812



SEAL

**MAIN STREET MULTIFAMILY**

**1818 MAIN STREET  
 KANSAS CITY, MO 64108**

**DEVELOPMENT PLAN**

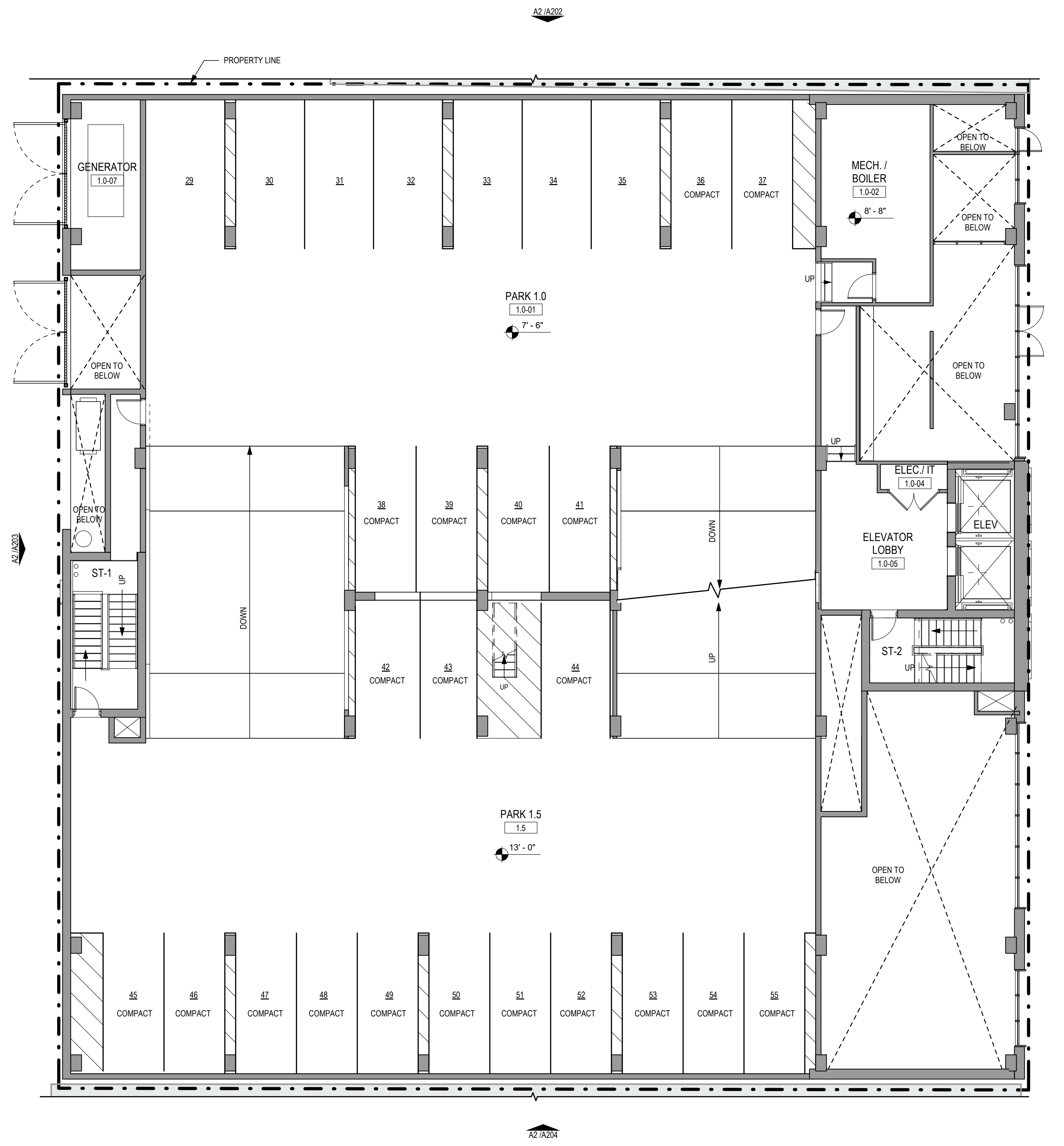
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PROJECT NO. 23015  
 DRAWN BY: Author  
 CKD BY: Checker  
 SHEET TITLE

**ARCHITECTURAL SITE PLAN**

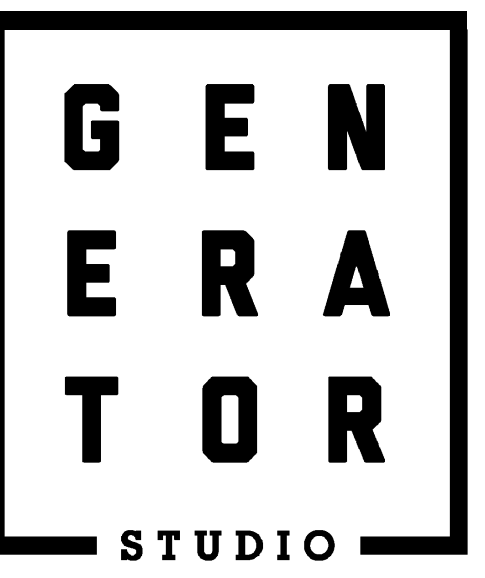
**AS101**





**LEGEND - FLOOR PLAN**

	NEW CONSTRUCTION
	EXISTING STRUCTURES



**DEVELOPER**  
 COPAKEN BROOKS  
 1100 WALNUT STREET, SUITE 2000  
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 816.701.5000  
 COPAKEN-BROOKS.COM

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NOT FOR CONSTRUCTION

SEAL

**MAIN STREET MULTIFAMILY**

**1818 MAIN STREET KANSAS CITY, MO 64108**

**DEVELOPMENT PLAN**

ISSUE DATE:	08.21.2023	
REV	DESCRIPTION	DATE

PROJECT NO. 23015  
 DRAWN BY: Author  
 CHKD BY: Checker  
 SHEET TITLE

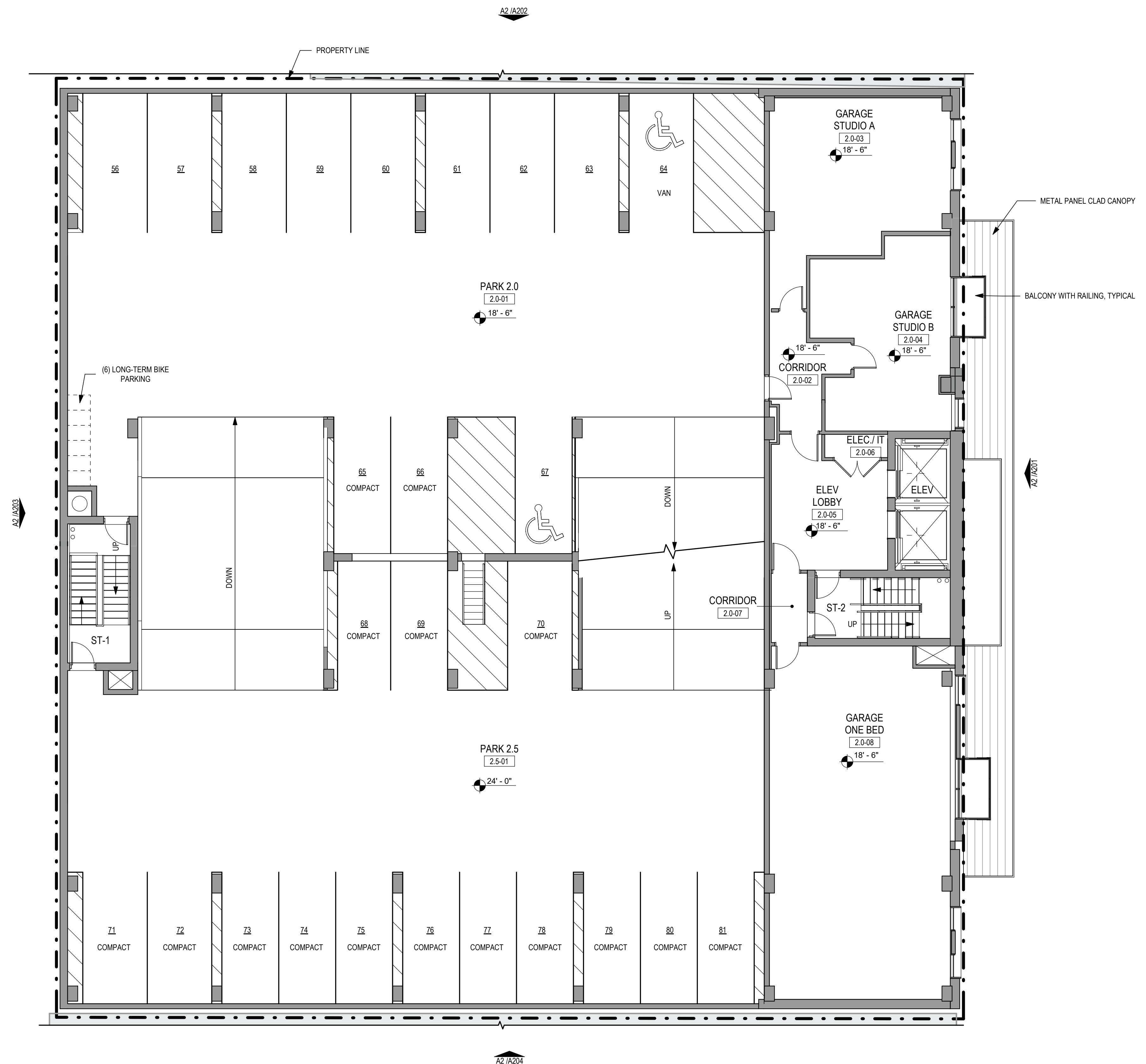
LEVEL 1.0/1.5 - PLAN

**A102**

NORTH

**LEVEL 1.0/1.5 - PLAN | A2**

SCALE: 1/8" = 1'-0"



**LEGEND - FLOOR PLAN**

[Hatched Box]	NEW CONSTRUCTION
[Solid Grey Box]	EXISTING STRUCTURES



**DEVELOPER**  
 COPAKEN BROOKS  
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**ARCHITECT**  
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 1615 BALTIMORE AVE  
 KANSAS CITY, MO 64108  
 816.333.6527  
 GENERATORSTUDIO.COM

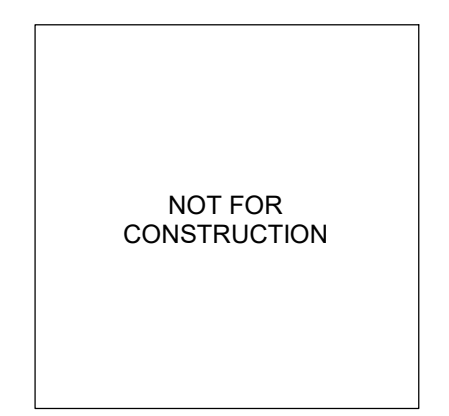
**CIVIL ENGINEER**  
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 KANSAS CITY, MO 64108  
 816.800.0950  
 RIC-CONSULT.COM

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SEAL

# MAIN STREET MULTIFAMILY

1818 MAIN STREET  
 KANSAS CITY, MO 64108

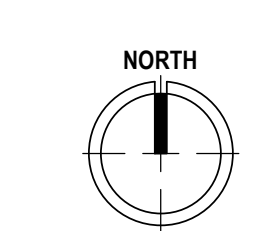
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ISSUE DATE:	08.21.2023
REV	DESCRIPTION DATE

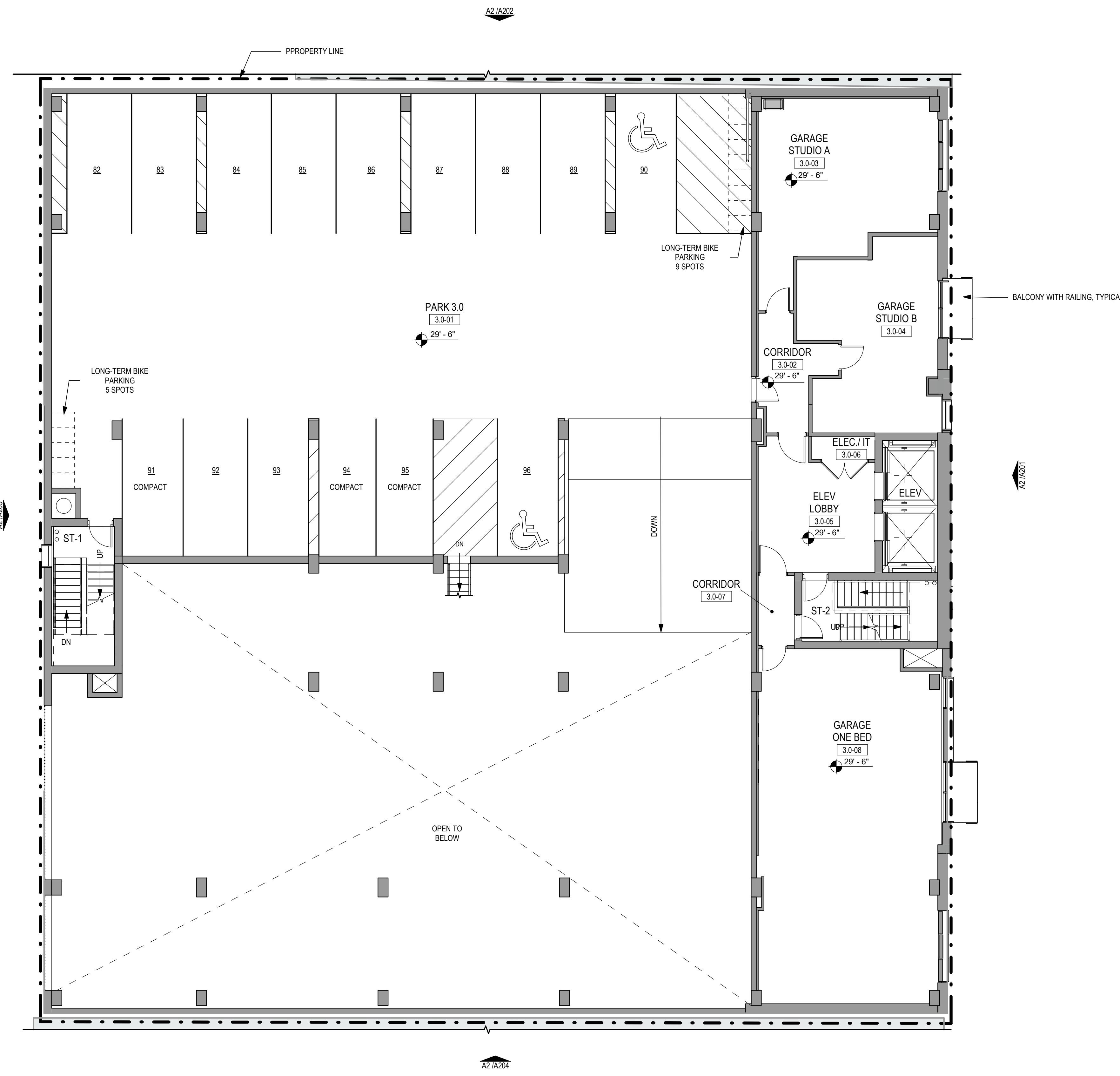
PROJECT NO.	23015
DRAWN BY:	Author
CHKD BY:	Checker
SHEET TITLE	

LEVEL 2.0/2.5 - PLAN

# A103



LEVEL 2.0/2.5 - PLAN A2  
 SCALE: 1/8" = 1'-0"



**LEGEND - FLOOR PLAN**

NEW CONSTRUCTION

EXISTING STRUCTURES



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**ARCHITECT**  
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 GENERATORSTUDIO.COM

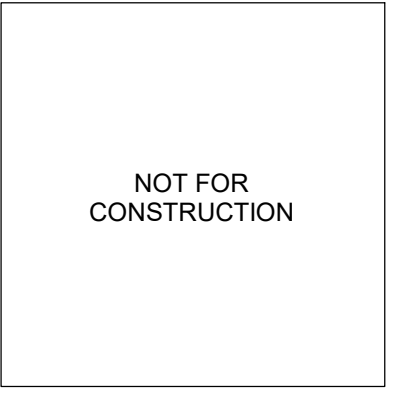
**CIVIL ENGINEER**  
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SEAL

**MAIN STREET  
 MULTIFAMILY**

**1818 MAIN STREET  
 KANSAS CITY, MO 64108**

**DEVELOPMENT PLAN**

ISSUE DATE: 08.21.2023

REV	DESCRIPTION	DATE

PROJECT NO. 23015  
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 SHEET TITLE

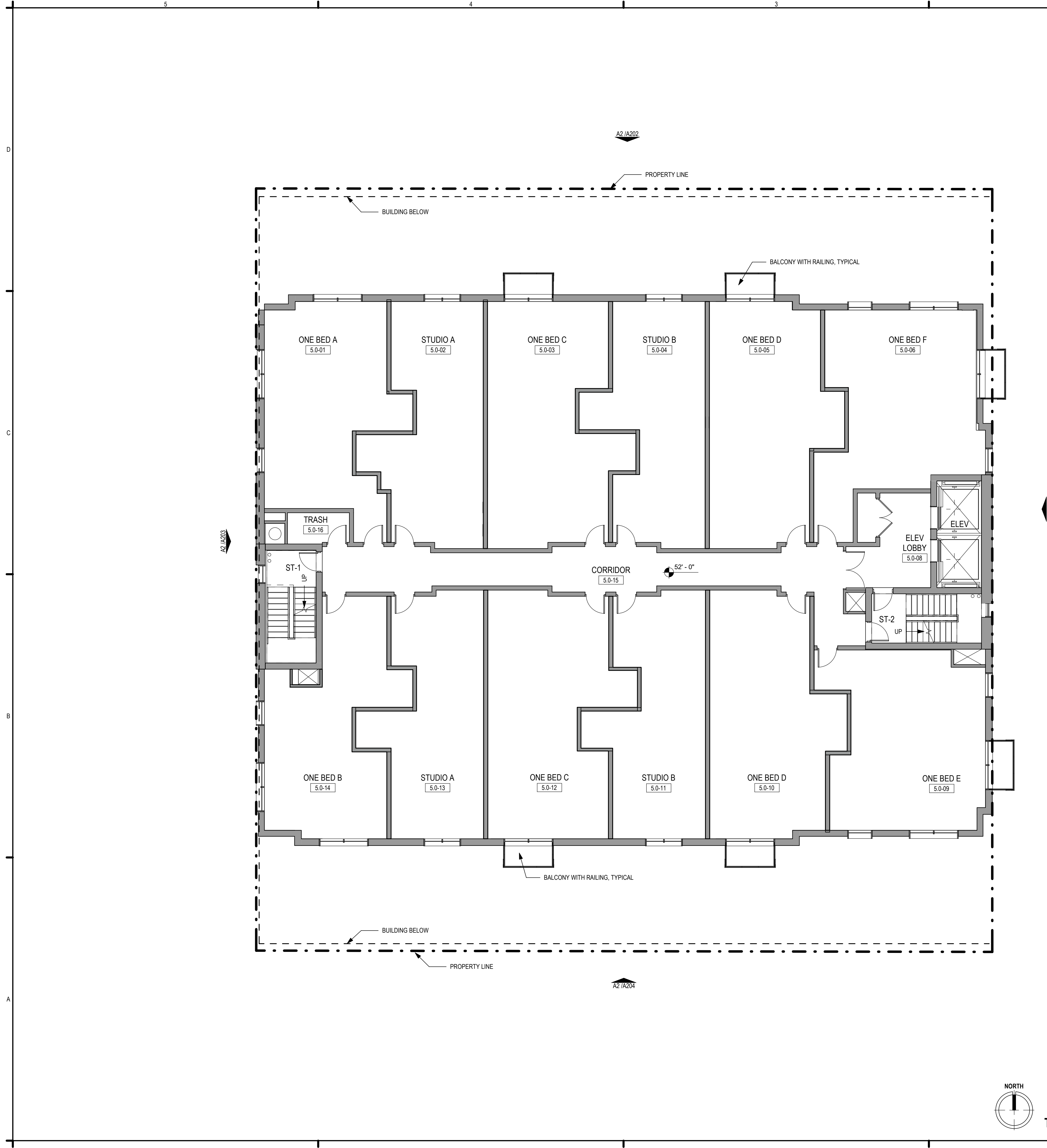
**LEVEL 3 PLAN**

**A104**

NORTH

**LEVEL 3 - PLAN** | **A2**  
 SCALE: 1/8" = 1'-0"

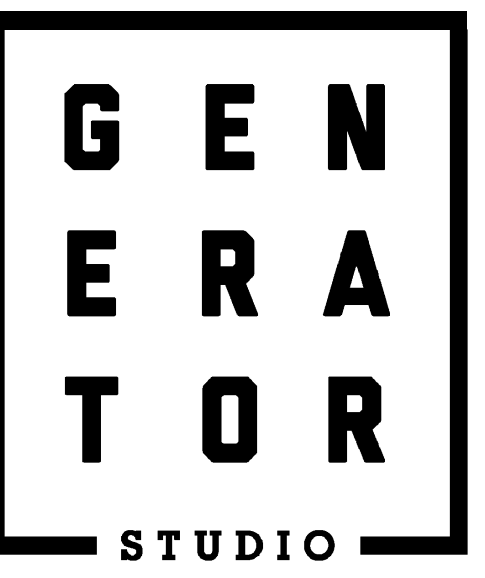




**LEGEND - FLOOR PLAN**

NEW CONSTRUCTION

EXISTING STRUCTURES



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 816.333.6527  
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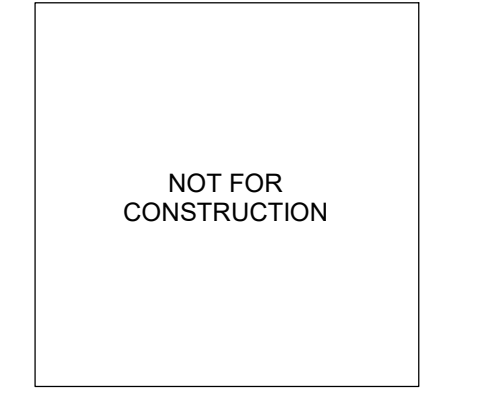
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 MULTIFAMILY**

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**DEVELOPMENT PLAN**

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PROJECT NO. 23015  
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 SHEET TITLE

**TYPICAL TOWER UNIT  
 PLAN  
 A105**

NORTH

**TYPICAL LOWER UNIT PLAN** | **A2**

SCALE: 1/8" = 1'-0"









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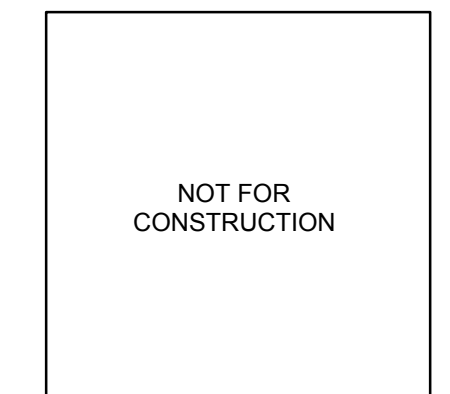
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MAIN STREET MULTIFAMILY

1818 MAIN STREET  
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DEVELOPMENT PLAN

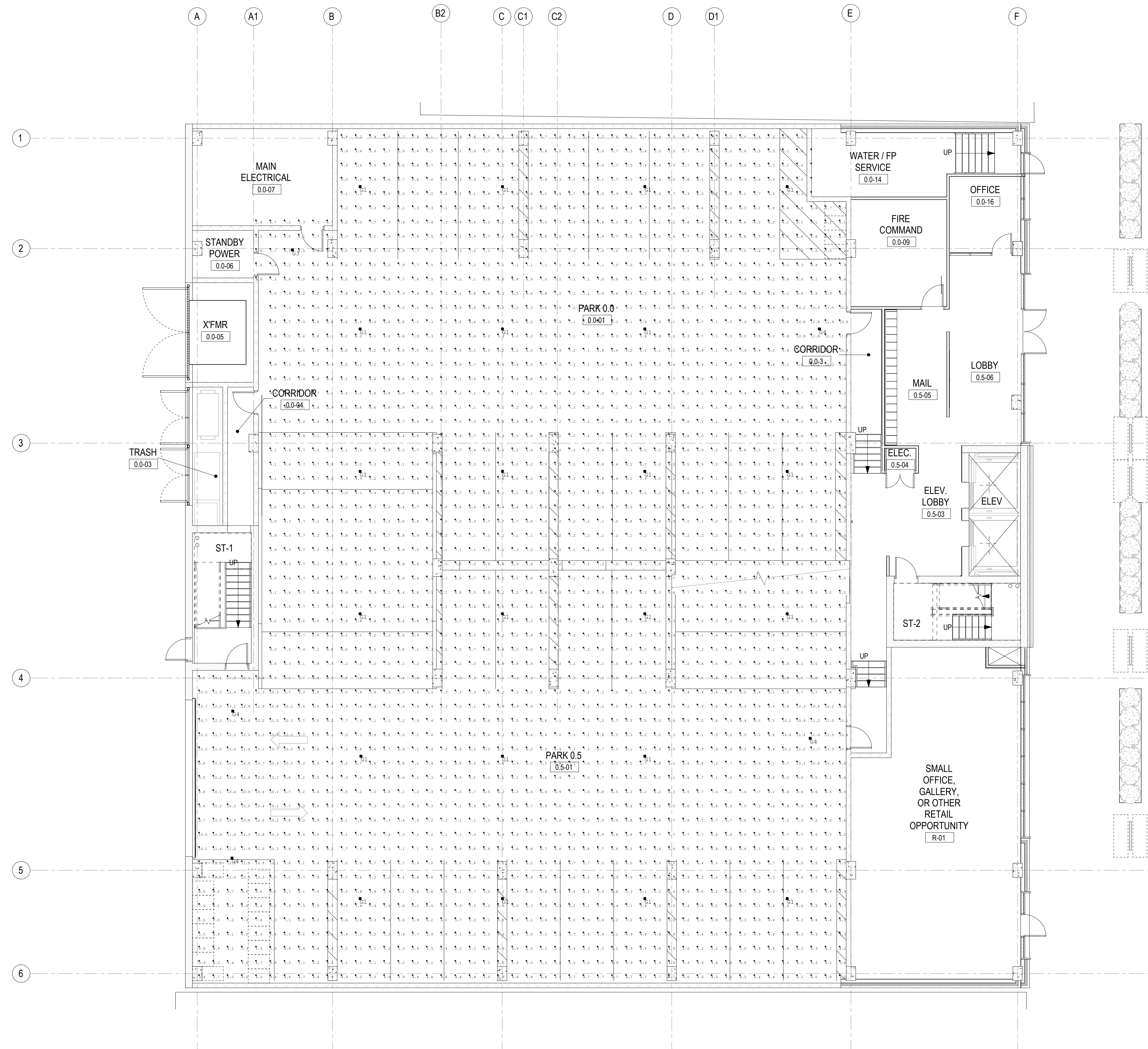
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REV DESCRIPTION DATE

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PROJECT NO.  
DRAWN BY:  
CHKD BY:  
SHEET TITLE

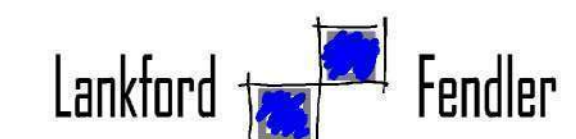
PHOTOMETRICS

E201



LEVEL 0.0/0.5 - PHOTOMETRICS  
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7935 E. PRENTICE AVENUE, SUITE 305  
GREENWOOD VILLAGE, CO 80111  
720.593.3800  
FORTISSTRUCTURAL.COM

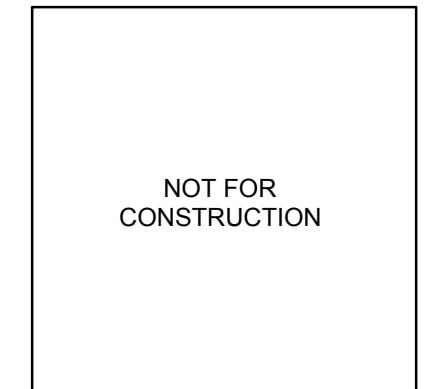
**MEP ENGINEER**

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LICENSE NO. A-2002017812



SEAL

**MAIN STREET  
MULTIFAMILY**

**1818 MAIN STREET  
KANSAS CITY, MO 64108**

**DEVELOPMENT PLAN**

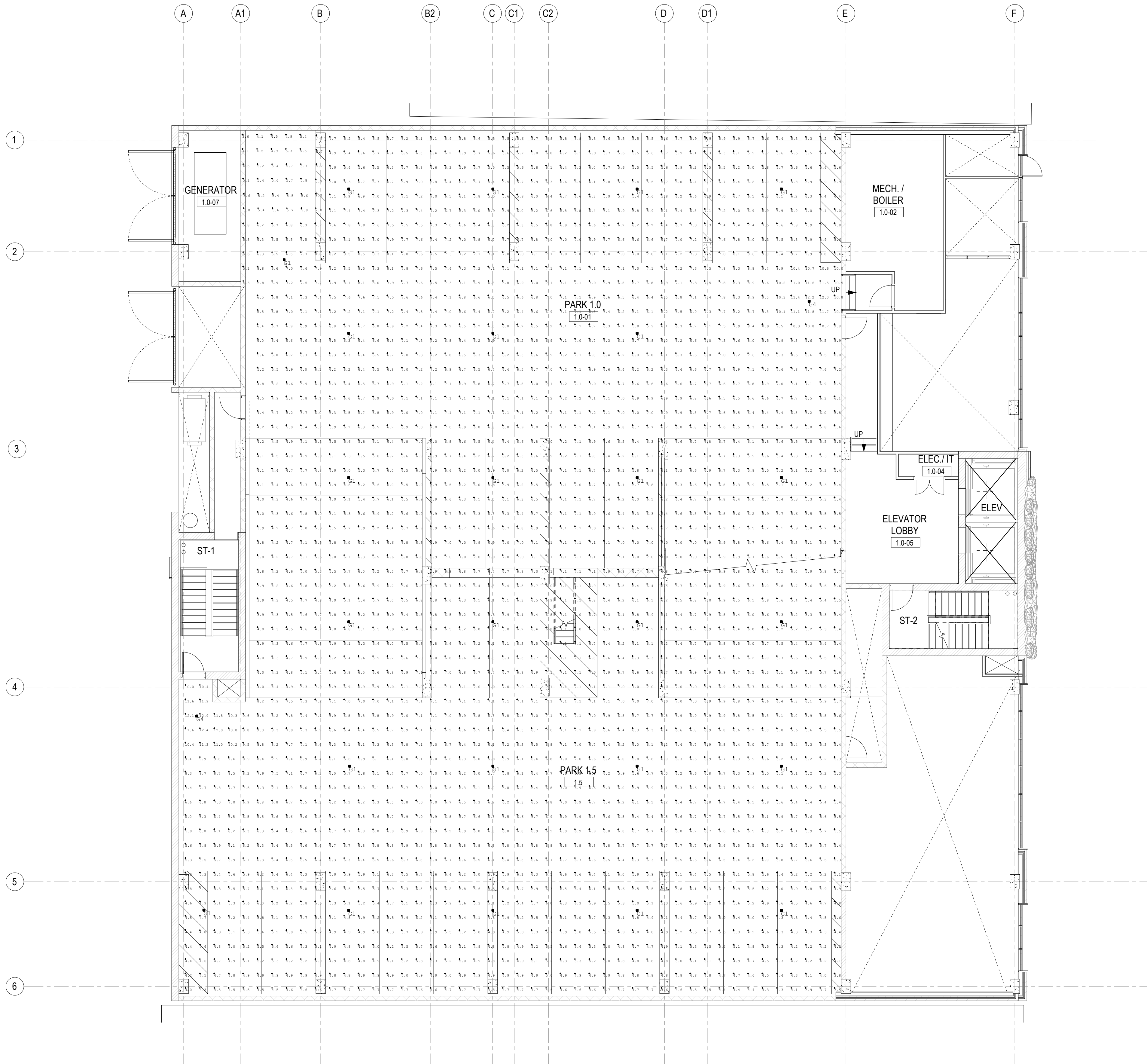
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REV DESCRIPTION DATE

REV	DESCRIPTION	DATE

PROJECT NO.  
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SHEET TITLE

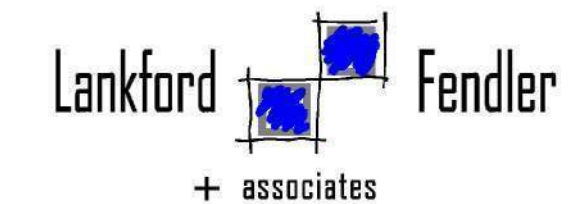
**PHOTOMETRICS**

**E202**



**LEVEL 1.0/1.5 - PHOTOMETRICS**  
SCALE: 1/8"=1'-0"

Calculation Summary						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
Garage Floor	Fc	6.34	12.9	3.5	1.81	3.69



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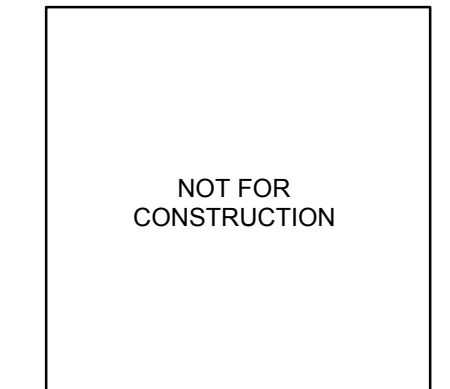
MEP ENGINEER

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FSC-INC.COM

ARCHITECT: THOMAS J. PROEBSTLE  
LICENSE NO. A-2002017812



SEAL

MAIN STREET  
MULTIFAMILY

1818 MAIN STREET  
KANSAS CITY, MO 64108

DEVELOPMENT PLAN

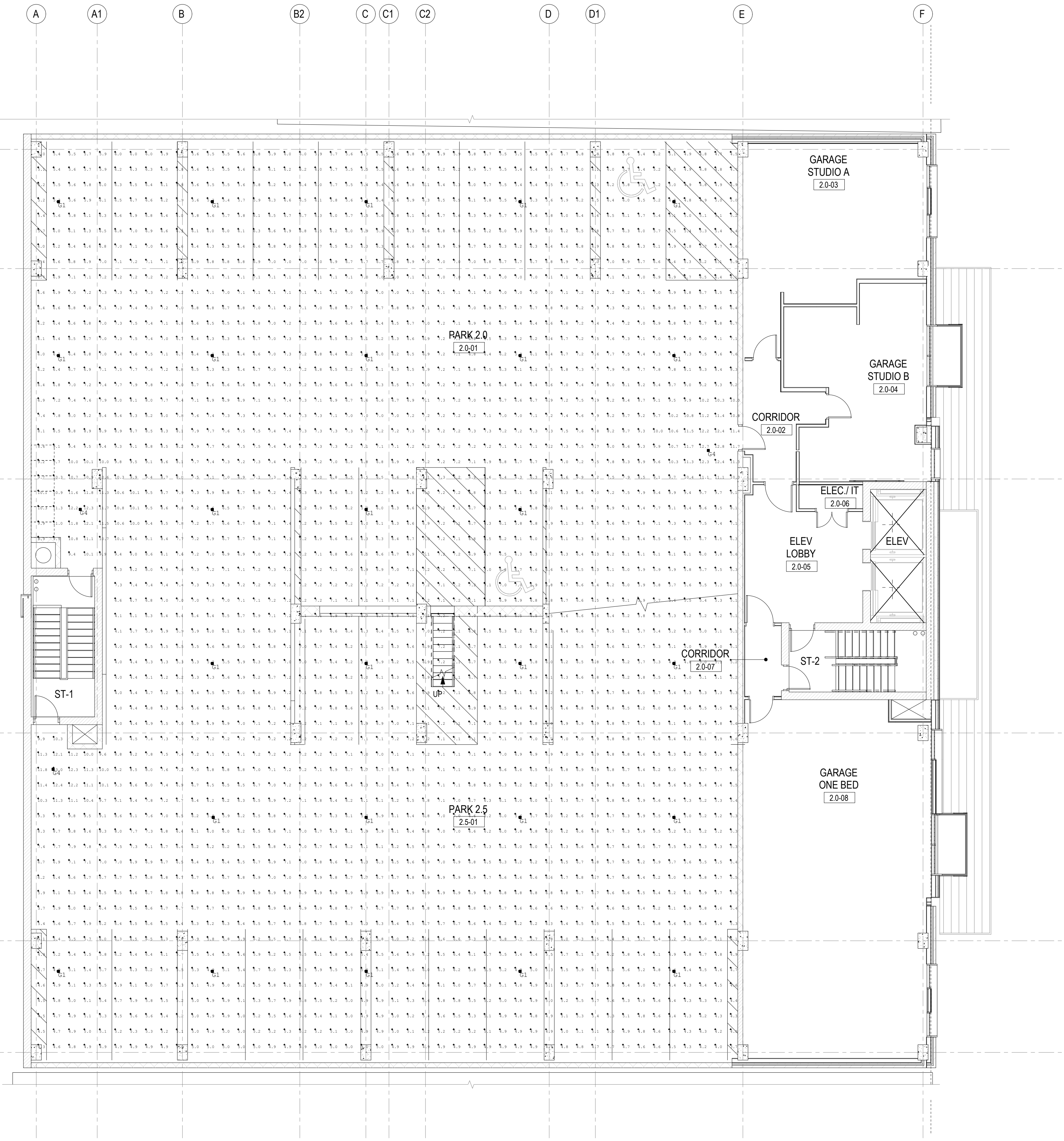
REV	DESCRIPTION	DATE

PROJECT NO.  
DRAWN BY:  
CHKD BY:

SHEET TITLE

PHOTOMETRICS

E203



LEVEL 2.0/2.5 - PHOTOMETRICS  
SCALE: 1/8"=1'-0"

Label	Units	Avg	Max	Min	Avg/Min	Max/Min
Garage Floor	Fc	6.61	13.0	3.7	1.79	3.51

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**DEVELOPER**

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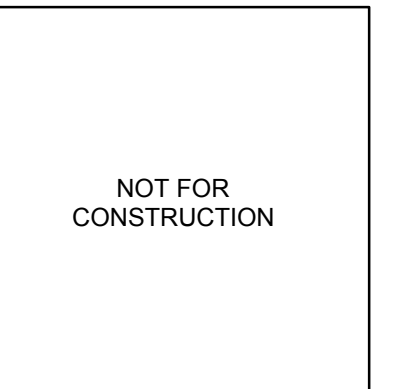
**MEP ENGINEER**

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SEAL

**MAIN STREET  
MULTIFAMILY**

**1818 MAIN STREET  
KANSAS CITY, MO 64108**

**DEVELOPMENT PLAN**

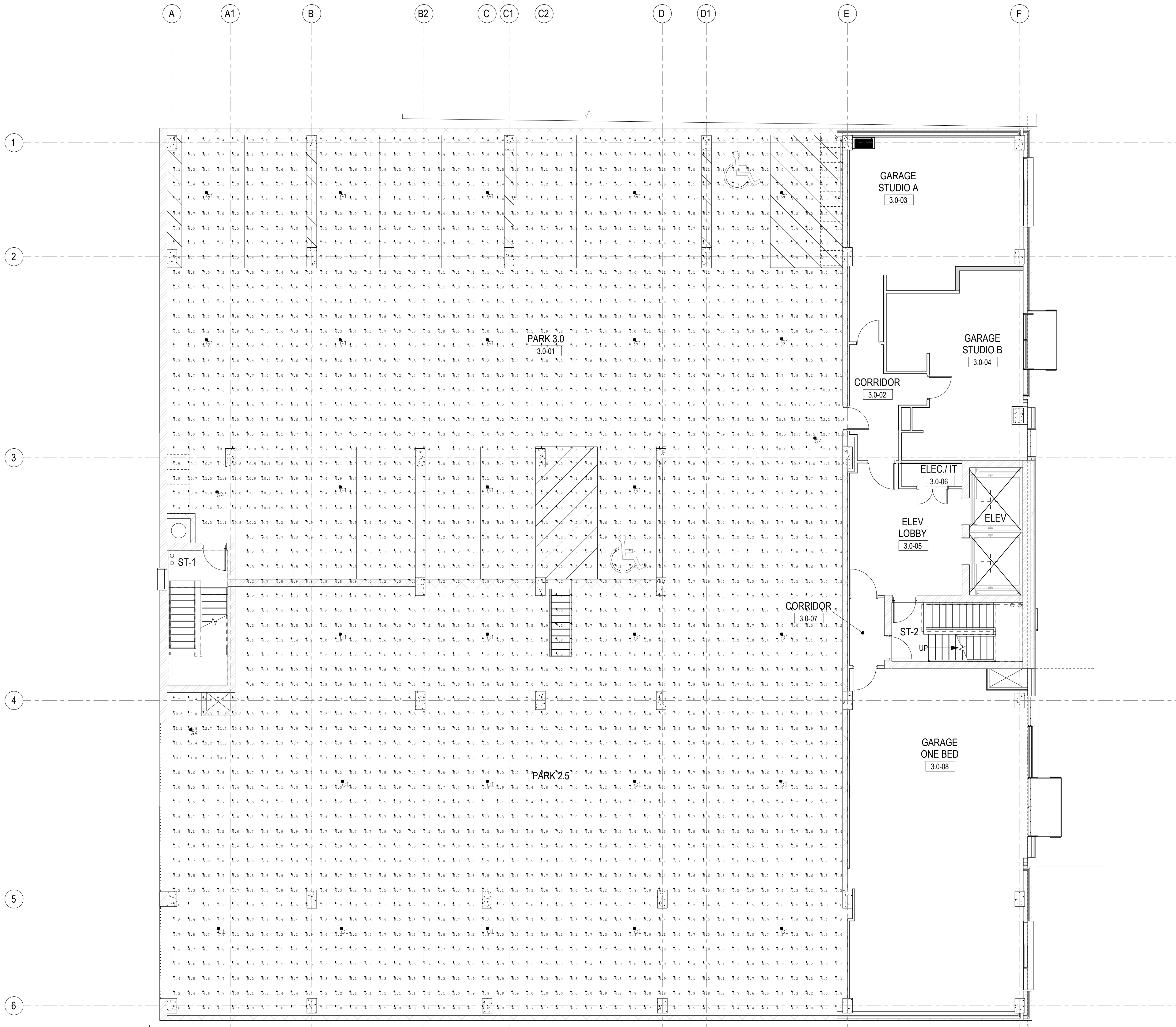
ISSUE DATE: 08.21.2023

REV	DESCRIPTION	DATE

PROJECT NO.  
DRAWN BY:  
CHKD BY:  
SHEET TITLE

**PHOTOMETRICS**

**E204**



**LEVEL 3.0 - PHOTOMETRICS**  
SCALE: 1/8"=1'-0"

Calculation Summary						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
Garage Floor	Fc	6.63	12.9	3.5	1.89	3.69

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+ associates  
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# NOTICE OF APPLICATION

To whom it may concern,

This letter serves as notice of our intent to file an application with the City Planning and Development Department in the City of Kansas City, Mo. The application is for consideration of a

Permit  
Preliminary plat  
Development plan  
Rezoning from District \_\_\_\_\_ to District \_\_\_\_\_

Project Description:

City Code Engagement Requirements:

You are receiving this letter since city code requires a public meeting be held regarding our application(s) and that all contacts associated to any registered neighborhood or civic organization whose boundaries include the project property address are notified. We are contacting you and all other registered contacts for your neighborhood organization to initiate a dialogue about a public meeting. This meeting may be hosted by your organization or ours, and we would like to discuss this with you. Please consult with your neighborhood organization and then contact us (contact information provided below) as soon as possible to discuss meeting details. After discussion, please select one member from your organization to email the City of Kansas City, Mo. at [publicengagement@kcmo.org](mailto:publicengagement@kcmo.org) with written confirmation of who is hosting the meeting.

Name:

Email:

Phone:

Title/Role:

Company/Employer:

Representing:

If we do not receive the confirmation email referenced above within ten calendar days, we will host the meeting ourselves. And, as a registered contact, you will be invited. Our application requires approval from the Board of Zoning Adjustment or City Council following a recommendation from the City Plan Commission. After this meeting, the City Plan Commission will hold a public hearing at City Hall. If and when our application is docketed for City Plan Commission consideration, a notice of this hearing will be mailed to all property owners within 300 feet of our project address, as well as contacts with your organization that have provided a mailing address.

Sincerely,



# CITY PLANNING & DEVELOPMENT

## Public Meeting Summary Form

Project Case #

Meeting Date:

Meeting Location:

Meeting Time (include start and end time):

Additional Comments (optional):

### **Meeting Summary**

Generator Studio (GS), Copaken Brooks (CB), and Centric Projects (CP) represented the design & construction team. A project overview as provided with supplemental plans, elevations, and massing studies. Following overview the floor was open to attendees for questions and comments. A brief summary of commentary follows to supplement the included zoom recording. Note that items are shorted for clarity in narrative form.

Question: Why metal panel was chosen for the exterior of the tower?

GS: Material was chosen to complement the brick facade on lower portion of building.

CB: Material also aids in creation of a modern aesthetic.

Question: Will light reflecting off of the metal panel would be an issue?

GS: Panels will have a matte finish and light reflectance will be less than that of a glass facade.

Question: Will there be events / notable noise from the rooftop common area?

CB: Roof is a tenant amenity, not as an event space. There will likely be some music other sounds but rental for large events is not anticipated.

(See additional comments on following page)

## **Meeting Summary (continued)**

Question / Concern: Multiple attendees had concerns regarding alley access and the garage entrance to adjacent 1819 Baltimore. Currently residents utilize the project site to allow for increased turning area when entering / exiting the garage. This extra space will no longer exist once the 1818 Main project is built.

CB: The project team continues to study possible solutions to allow for additional turning area; to date there is not a simple modification. The project team is assisting in development and early phase conversations regarding a retaining wall modification to the property located north of 1819 Baltimore, but notes that the lot is not under design team control. 1819 Homeowners Association is included in conversations.

Question: What is the anticipated construction timeline?

CP: Project duration anticipated at 24 months, start date in late fall 2023. The alley to the west of the project site would be partially closed during construction. The alley closure would not limit access to the 1819 parking garage.

Question: Where will equipment would be staged during construction?

CP: As much as possible will be stored on site. They anticipate applying for a parking lane closure permit to create a delivery zone along 19th street.

Question: What are anticipated construction hours?

CP: Typical construction hours would be Mon. - Fri. 7:00AM - 5:00PM, with Saturday as a rain day make up. Occasional after hours work may be required.

Question: Where do you anticipate a construction crane?

CP: (Provides visual diagram with crane location near SE corner of site.)

Owner of Michael's raised concerns that the crane would be picking up materials and moving them over his property.

CP: In this configuration they generally intend to rotate materials from 19th St to project site over the alley in lieu of over the building. Construction plan shared is very preliminary; will continue to meet with stakeholders as project advances.

Question: How much retail space will be provided? Are leasing challenges anticipated?

CB: Approximately 1000 SF retail planned along south portion of Main St frontage. Other Copaken Brooks properties nearby have leased retail suites. Examples: Savoy Tea and The One Bridal at Arterra and the Mercury Room at Reverb.

## **MEETING RECORDING:**

[https://us02web.zoom.us/rec/share/fb2C-zCIS5zoSZD8Yq5OPBl6gqBVGGBqmgOGSyM0nZtO-mZjE-n8nS9Vi2\\_ScEB.GOpYg4WVYIbvGpsD](https://us02web.zoom.us/rec/share/fb2C-zCIS5zoSZD8Yq5OPBl6gqBVGGBqmgOGSyM0nZtO-mZjE-n8nS9Vi2_ScEB.GOpYg4WVYIbvGpsD)

Passcode: 1g??%03.

# SCREENSHOTS OF ATTENDEE LIST

Chris Abele 8:25 PM  
Chris Abele 1819 Baltimore Lofts Condominium

Geoff Smith 8:25 PM  
generator@proaa.com

B Johnson 8:25 PM  
Beryl Johnson 1819 Baltimore Lofts




Andrea LeRay 8:26 PM  
Andrea LeRay & Paul Reniere 1819 Baltimore Lofts




ewilson 8:26 PM  
Erin Wilson Olsson Studio ewilson@olsson.com




SteveWright 8:26 PM  
steve wright 2004 grand blvd and 2004 grand condos




Mark 8:26 PM  
Mark Ensman




Sarah 8:26 PM  
Sarah & Jeff Schneider 1819 Baltimore Lofts




Joel Murphy (Generator... (Co-host, me)   




Gretchen Blain (Generator S... (Host)   




GS Geoff Smith   




BJ B Johnson   




JC Jon Copaken   




D dalewassergord   




AL Andrea LeRay   




CS Cathy Smith   




CA Chris Abele   




C Cynthia   




D drosemann   




EC Evan Chiles   




E ewilson   




GR Greg Reesor   




IC iPad (73)keith novorr   




JS Jay Simpson   




J Jenn.Higginbotham   




JN Jon Ng   




M Mark   




NL Nate Litton   




RG Regina Glorioso   




R robnelson   




S Sarah   

S SteveWright   

TG Taylor Goetzing   

M merow   

DD david dowell   

D Don   

## Meeting Sign-In Sheet

### Project Name and Address

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Jeff Schneider	1819 Baltimore Lofts Condominium		
Regina Glorioso			
Cathy Smith			
Taylor Goetzinger			
Jay Simpson			
Greg Reesor			
Jenn Higginbotham			
Dale Wassergord			
Keith Novorr			
Wayne Powell			
David Dowell			