

CITY PLAN COMMISSION STAFF REPORT

City of Kansas City, Missouri
City Planning & Development Department
www.kcmo.gov/cpc

September 19, 2023

Project Name 1818 Main Apartments

Docket #3

Request

CD-CPC-2023-00120 Development Plan

Applicant

Gretchen Blain Generator Studio 1701 McGee St Kansas City, MO 64108

Owner

1818 Investors LLC 1100 Walnut St Kansas City, MO 64106

Location 1818 & 1822 Main St Area About 0.3 acres

Zoning DX-15
Council District 4th
County Jackson
School District KCMO 110

Surrounding Land Uses

North: Commercial uses, zoned DX-15
South: Commercial uses, zoned DX-15
East: Commercial uses, zoned DX-15
West: Residential, commercial uses,

zoned UR

Major Street Plan

Main Street is identified on the City's Major Street Plan as Commerce/Mixed Use

Land Use Plan

The Greater Downtown Area Plan recommends Downtown Mixed Use for this location.

APPROVAL PROCESS



PROJECT TIMELINE

The application for the subject request was filed on 7/16/2023. No scheduling deviations from 2023 Cycle P have occurred.

-Project was presented at the September 5, 2023 CPC hearing and the Commission voted to continue the case with two conditions that the applicant provide revised elevations and more thoroughly study of vehicle maneuverability onto the property west of the alley.

Details related to building elevations can be found under Review Criterion F. Link to video exhibit of vehicle maneuverability here.

NEIGHBORHOOD AND CIVIC ORGANIZATIONS NOTIFIED

The subject site is located within the Crossroads Community Association.

REQUIRED PUBLIC ENGAGEMENT

Public engagement as required by 88-505-12 does apply to this request. Applicant hosted a meeting on 8/28/2023. A summary of the meeting is attached to the staff report.

EXISTING CONDITIONS

The subject site contains two existing buildings that will be demolished prior to construction of the proposed project.

SUMMARY OF REQUEST + KEY POINTS

The applicant is seeking approval of a development plan to allow a mixed-use building in district DX-15 on about 0.35 acres generally located at 1818 and 1822 Main Street.

CONTROLLING + RELATED CASES

Case No. 14271-P – Ordinance 120145 Rezoning an area of approximately 100 acres known as the Downtown Streetcar Area South, generally located between I-670 on the north, Grand Boulevard on the east, the Kansas City Terminal Railway on the south and Wyandotte Street on the west, from Districts M 1-5 Manufacturing 1 (dash 5), B4-5 Heavy Business/Commercial (dash 5) and DC-15 (Downtown Core (dash 15) but not including the existing UR (Urban redevelopment) zones and the Adult Entertainment Overlay District CX/O zone, to District DX-15 Downtown Mixed Use (dash 15).

PROFESSIONAL STAFF RECOMMENDATION

Docket #3 Approval with Conditions

PLAN REVIEW

The proposed development is a 118 unit, 13-story residential building with ground floor retail space and rooftop amenity deck, totaling 170,000 square feet. Studio and one bedroom units are shown on the proposed floor plans and the building will be constructed up to the property lines. There is a roof top amenity area proposed to contain a pool, fire pits, grill, and bar areas.

Access to the proposed parking garage will be located in the alley to the west. There are no proposed curb cuts off Main Street, as this would cause conflict with the streetcar. The garage will contain 93 parking spaces located within the first three floors of the building (above grade).

Proposed building materials include brick veneer, two varieties of aluminum panel, architectural block, wood-looking aluminum panel, and low-e vision glass. Staff and the applicant have worked together towards adding articulation and transition of building materials; however, staff would prefer to continue working with the applicant on the architectural design at the time of building permit review.

Due to this site being located on the streetcar line, there are limitations to the amount and types of landscaping permitted by the Streetcar Authority. The applicant is proposing 24 shrubs/grasses in planters on Main Street as an alternative to the required trees for general landscaping. Additionally, the applicant will be a fee in lieu of planting four required street trees.

PLAN ANALYSIS

Downtown Lot and Building (88-130), Use-Specific (88-300), and Development Standards (88-400)

Standards	Applicability	Meets	More Information
Lot and Building Standards (88-130)	Yes	Yes	
Accessory or Use- Specific Standards (88-305 – 385)	No	N/A	
Boulevard and Parkway Standards (88-323)	No	N/A	
Parkland Dedication (88-408)	Yes	Yes	Subject to conditions
Parking and Loading Standards (88-420)	Yes	Yes	No off-street parking is required in the downtown streetcar area
Landscape and Screening Standards (88-425)	Yes	Yes	Subject to conditions of alternative compliance and payment in lieu
Outdoor Lighting Standards (88-430)	Yes	Yes	Subject to conditions of

September 17, 2025			
			providing an
			alternative compliance
			lighting plan
Sign Standards (88-445)	Yes	Yes	Subject to conditions
Pedestrian Standards (88-450)	Yes	Yes	

SPECIFIC REVIEW CRITERIA

Development Plans, Project Plan, or Site Plan (88-516-05)

In order to be approved, a development plan, project plan, or site plan must comply with all of the following criteria:

A. The plan must comply with all standards of the Zoning and Development Code and all other applicable city ordinances and policies;

The proposed plan complies with all applicable standards in the Zoning and Development Code, subject to conditions. There are three corrections the applicant is required to make prior to staff preparing the ordinance request. The corrections include revising the landscape table, working with staff on the design of the awning/canopy, and revise the floor area ratio (FAR) data in the site data table. Additionally, the Greater Downtown Area Plan supports the proposed development including the use, height, and zero-lot line site design.

- **B.** The proposed use must be allowed in the district in which it is located; Residential mixed-use is permitted in the DX-15 zoning district.
- C. Vehicular ingress and egress to and from the site, and circulation within the site must provide for safe, efficient, and convenient movement of traffic not only within the site but on adjacent roadways; Vehicular ingress and egress through the alley to the parking garage on-site will be adequate. The existing alley is approximately 15 feet and the proposed garage access is approximately 22 feet wide, allowing for adequate maneuverability into and from the alley.
- D. The plan must provide for safe, efficient, and convenient non-motorized travel opportunities, being pedestrian and bicycle movement, on the subject site;

Pedestrian access to the site is expected to be safe and efficient. The site is along the streetcar line and there are no proposed curb cuts to this site from Main Street. Additionally, the plans show required bicycling parking spaces in front of the building for pedestrians to easily access.

E. The plan must provide for adequate utilities based on City standards for the particular development proposed.

There are adequate utilities in Main Street and the western alley to serve this development.

F. The location, orientation, and architectural features, including design and material, of buildings and other structures on the site must be designed to be compatible with adjacent properties.

Although the architectural design uses similar aluminum metal panel materials as newer buildings in the Crossroads, staff has asked for increased fenestration and articulation. Staff requested the applicant reconsider some interior layout elements that were directly affecting the exterior design. One suggestion was to rotate the elevator shaft as the current design results in a large blank area on the front of the building where the elevator is located. Rotating the elevator structure and reconfiguring the interior hallway would allow a smaller blank area on the front of the building and allow for windows to let natural light into the hallway.

At staff's request the applicant replaced the proposed smooth concrete on the north and south sides of the parking garage area with architectural block to reduce the harsh transition into the brick veneer on the northeastern and southeastern corners of the building.

Since the September 5th CPC meeting, the applicant has provided revised elevations that extend the brick veneer on the east elevation (front) up to the fourth floor. The green wall has also been extended above the canopy to reduce the amount of metal panel used. Color contrast of the metal panels has been added to the east and west elevations, along with enlarged unit windows to increased transparency.

- G. Landscaping, berms, fences, and/or walls must be provided to buffer the site from undesirable views, noises, lighting, or other off-site negative influences and to buffer adjacent properties from negative influences that may be created by the plan.
 - Due to the zero-lot line construction and the site's location on the streetcar line, there were challenges to meeting the landscape standards. The applicant is proposing grasses in planters in front of the building on Main Street as an alternative compliance to the two trees required per 88-425-04 General Landscaping. Additionally, the developer will pay a fee in lieu of planting the four required street trees: \$1,480.
- H. The design of streets, drives, and parking areas within the project should result in a minimum of area devoted to asphalt or other impervious surfaces consistent with the needs of the project and city code requirements.
 - The entire site will be impervious, which is typical of dense development in the downtown area.
- The plan must identify trees to be removed and trees to be preserved during the development of the subject property with the goal of saving trees that are not required to be removed for the development of the property.

There are no trees on the site.

ATTACHMENTS

- 1. Conditions Report
- 2. Applicants Submittal
- 3. Public Engagement Materials
- 4. Additional documents, if applicable

PROFESSIONAL STAFF RECOMMENDATION

City staff recommends **Approval with Conditions** as stated in the conditions report.

Respectfully Submitted,

Genevieve Kohn, AICP

Dennin Khan

Planner

KANSAS CITY Planning & Dev

Plan Conditions

Report Date: September 14, 2023 Case Number: CD-CPC-2023-00120 Project: 1818 Main Apartments

Condition(s) by City Planning and Development Department. Contact Genevieve Kohn at (816) 513-8808 / Genevieve.Kohn@kcmo.org with questions.

- 1. Streetcar authority requires all tenant loading or move-in activities shall be accommodated via the alley and parking garage.
- 2. The developer shall coordinate with the Public Works Department and Streetcar Authority prior to applying for any building permit. Applicant shall receive approval from the Streetcar Authority regarding garbage pickup schedules to ensure there is no conflict with streetcar operations.
- 3. All signage shall conform to 88-445 and shall require a sign permit prior to installation.
- 4. The developer shall submit an affidavit, completed by a landscape architect licensed in the State of Missouri, verifying that all landscaping required of the approved plan has been installed in accordance with the plan and is healthy prior to Certificate of Occupancy.
- 5. The developer shall submit an affidavit, prepared by an engineer licensed in the State of Missouri, verifying that all outdoor lighting has been installed in accordance with approved plans and that lighting levels do not exceed that shown on the approved lighting plan at the property lines prior to Certificate of Occupancy.
- 6. The developer shall screen all roof and/or ground mounted mechanical and utility equipment in compliance with 88-425-08.
- 7. The developer shall obtain approval of an alternative compliance lighting plan to allow to additional spillover light into the right of way prior to building permit.
- 8. The proposed development is located in an area where the Charles B. Wheeler Downtown Airport (MKC) height zoning restrictions apply. No structure in this area should be constructed which exceeds these restrictions.

Given the potential height and proximity of this plan to MKC, the proposed development will exceed FAR Part 77, Objects Affecting Navigable Airspace, standards. The proponent/developer has filed an on-line Form 7460-1, Notice of Proposed Construction or Alteration, for permanent vertical improvements or new structures and shall receive a Determination of No Hazard to Air Navigation from the FAA. Temporary cranes used for construction activities extending higher than the proposed top elevation of the building will need to be evaluated for compliance with FAR Part 77 standards as well. The FAA's Obstruction Evaluation/Airport Airspace Analysis (OE/AAA) website can be accessed at https://oeaaa.faa.gov/oeaaa/external/portal.jsp.

Aviation recommends the proponent/developer provide the FAA with a 1A survey accuracy statement assuming the highest horizontal and vertical tolerance was used for this design. This information certifies the ground elevations the developer has portrayed within the plans are to higher level of accuracy. Per OEAAA, if this accuracy statement isn't provided, an adjustment commensurate with a 50 foot vertical buffer is applied to the development. This information can be referenced at: https://oeaaa.faa.gov/oeaaa/external/content/surveyAccuracy.jsp

The proponent/developer is recommended to comply with Chapters 3, 4, and 5 of FAA Advisory Circular (AC) 70/7460-1, Obstruction Marking and Lighting, as amended.

KCAD is actively working with the FAA to address airspace restrictions in the River Market that will allow vertical development while at the same time ensuring airspace surfaces are maintained according to FAA criteria.

Condition(s) by City Planning and Development Department. Contact Genevieve Kohn at (816) 513-8808 / Genevieve.Kohn@kcmo.org with questions.

- 9. The following corrections shall be made prior to request for ordinance:
 - a. Remove incorrect landscape table from sheet CO3. Revise table on sheet LO1 in the "required" cell that 4 street trees are required and 2 general landscaping trees are required. Add the fee in lieu amount for streets trees of \$1,480.
 - b. There is concern about how close the lower balconies are to the awning/canopy, as well as the cutout on the awning/canopy, which defeats the purpose of the covered area. if the goal is to have natural light shine through, install some type of clear barrier. Discuss further with city staff and revise plans.
 - c. Revise FAR calculation to include all floor area (sum of all floors)

Condition(s) by City Planning and Development Department. Contact Terry Thomas at (816) 513-2510 / Terry.A.Thomas@kcmo.org with questions.

- 10. The developer shall submit a Storm Drainage analysis from a Missouri-licensed civil engineer to the Land Development Division evaluating proposed improvements and impact to drainage conditions. Since this project is within a "Combined Sewer Overflow" (CSO) district, the project shall be designed to retain rainfall of 1.5 inch depth over the disturbed area to simulate natural runoff conditions and reduce small storm discharge to the combined sewer system. Manage the 10-year storm and 100-year storm per currently adopted APWA standards. The analysis shall be submitted prior to issuance of any building permits, and the developer secure permits to construct any improvements required by the Land Development Division prior to issuance of any certificate of occupancy.
- 11. The developer shall submit a letter to the Land Development Division from a Licensed Civil Engineer, Licensed Architect, or Licensed Landscape Architect, who is registered in the State of Missouri, that identifies sidewalks, curbs, and gutters in disrepair as defined by Public Works Department's "OUT OF REPAIR CRITERIA FOR SIDEWALK, DRIVEWAY AND CURB revised 11/5/2013" and based on compliance with Chapters 56 and 64 of the Code of Ordinances for the sidewalks, curbs, and gutters where said letter shall identify the quantity and location of sidewalks, curbs, gutters that need to be constructed, repaired, or reconstructed to remedy deficiencies and/or to remove existing approaches no longer needed by this project. The developer shall secure permits to repair or reconstruct the identified sidewalks, curbs, and gutters as necessary along all development street frontages as required by the Land Development Division and prior to issuance of any certificate of occupancy permits including temporary certificate occupancy permits.
- 12. The developer shall submit an analysis to verify adequate capacity of the existing sewer system as required by the Land Development Division prior to issuance of a building permit to connect private system to the public sewer main and depending on adequacy of the receiving system, make other improvements as may be required.
- 13. The developer shall submit plans for grading, siltation, and erosion control to Land Development Division for review and acceptance, and secure a Site Disturbance permit for any proposed disturbance area equal to one acre or more prior to beginning any construction activities.

Condition(s) by Fire Department. Contact Michael Schroeder at (816) 513-4604 / michael.schroeder@kcmo.org with questions.

- 14. The project shall meet the fire flow requirements as set forth in Appendix B of the International Fire Code 2018. (IFC-2018 § 507.1)
- 15. Buildings equipped with a fire standpipe system shall have an operable fire hydrant within 100 feet of the Fire Department Connection (FDC). (IFC2018 § 507.5.1.1)
- 16. Fire hydrants shall be installed and operable prior to the arrival of any combustible building materials onto the site. (IFC-2018 § 501.4 and 3312.1; NFPA 241-2013 § 8.7.2)
 - Fire hydrant distribution shall follow IFC-2018 Table C102.1
- 17. Buildings which have an occupiable floor greater than 75 feet above grade shall meet high-rise requirements (IFC 2018 Sec 914.3)..
- 18. New buildings shall have approved radio coverage for emergency responders within the building based on the existing coverage levels of the public safety communication systems utilized by the jurisdiction, measured at the exterior of the building. This section shall not require improvement of the existing public safety communication systems. (IFC 2018 510.1) and (NFPA1221)

Condition(s) by Parks & Recreation. Contact Justin Peterson at (816) 513-7599 / Justin.Peterson@kcmo.org with questions.

19. As indicated on plans, the developer shall pay money-in-lieu of parkland dedication. Fee shall be based on the 2023 parkland rate and paid prior to Certificate of Occupancy. With 118 proposed multi-family units, fee equates to \$90,935.77.

Condition(s) by Parks & Recreation. Contact Justin Peterson at (816) 513-7599 / Justin.Peterson@kcmo.org with questions.

20. The developer shall be responsible for payment in the amount of \$1,480 to the Tree Fund in lieu of providing the required number of street trees. Twenty-four shrubs shown on the development plan shall serve as alternative compliance to the required number of general landscaping trees per 88-425-04. This requirement shall be satisfied prior to certificate of occupancy.

Condition(s) by Water Services Department. Contact Heather Massey at (816) 513-2111 / heather.massey@kcmo.org with questions.

- 21. The developer shall ensure that water and fire service lines should meet current Water Services Department Rules and Regulations. Prior to C of O. https://www.kcwater.us/wp-content/uploads/2022/05/2022-Rules-and-Regulations-for-Water-Service-Lines-Final.pdf
- 22. For all work under the Streetcar a Track Access Permit must be applied for with public works and the plumber must be track access certified. See https://kcstreetcar.org/about-streetcar/track-access/ for additional information.

Condition(s) by Water Services Department. Contact Lucas Kaspar at (816) 513-2131 / Lucas.Kaspar@kcmo.org with questions.

- 23. The developer shall submit a Storm Drainage analysis from a Missouri-licensed civil engineer to the Land Development Division evaluating proposed improvements and impact to drainage conditions. Since this project is within a "Combined Sewer Overflow" (CSO) district, the project shall be designed to retain rainfall of 1.5 inch depth over the disturbed area to simulate natural runoff conditions and reduce small storm discharge to the combined sewer system. Manage the 10-year storm and 100-year storm per currently adopted APWA standards. The analysis shall be submitted, and the developer shall secure permits to construct any improvements required by the Land Development Division prior to recording the plat.
- 24. The developer shall submit an analysis to verify adequate capacity of the existing sewer system as required by the Land Development Division prior to issuance of a building permit to connect private system to the public sewer main and depending on adequacy of the receiving system, make other improvements may be required.
- 25. The developer shall obtain any required encroachment permit for the private overflow grate inlet located in the right-of-way.

1818 / 1822 MAIN STREET

DESIGN UPDATES for KANSAS CITY PLANNING COMMISSION

19 SEPTEMBER 2023





EXISTING VIEW LOOKING NORTH ON MAIN STREET



PROPOSED VIEW LOOKING NORTH ON MAIN STREET







EXISTING VIEW LOOKING SOUTH ON MAIN STREET



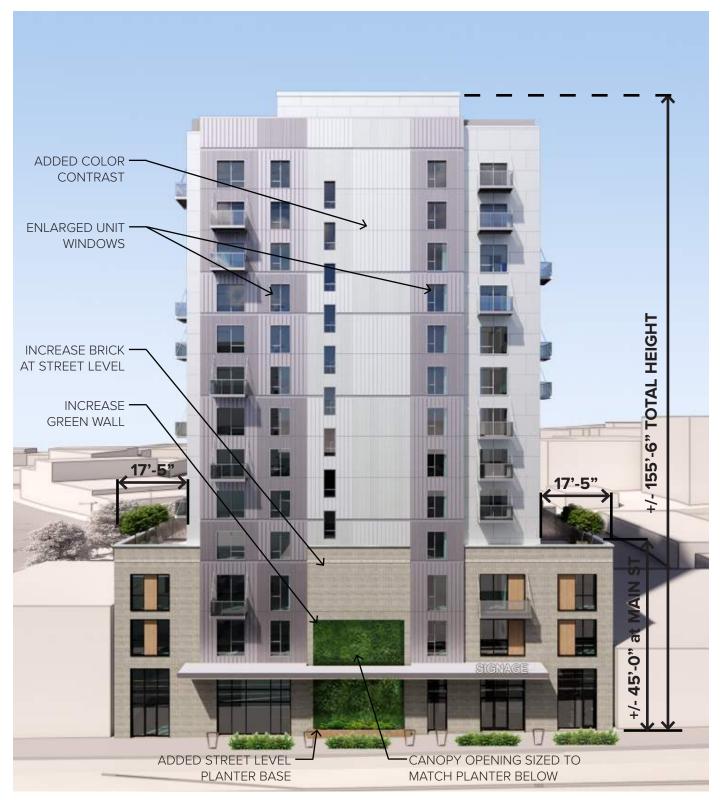
PROPOSED VIEW LOOKING SOUTH ON MAIN STREET







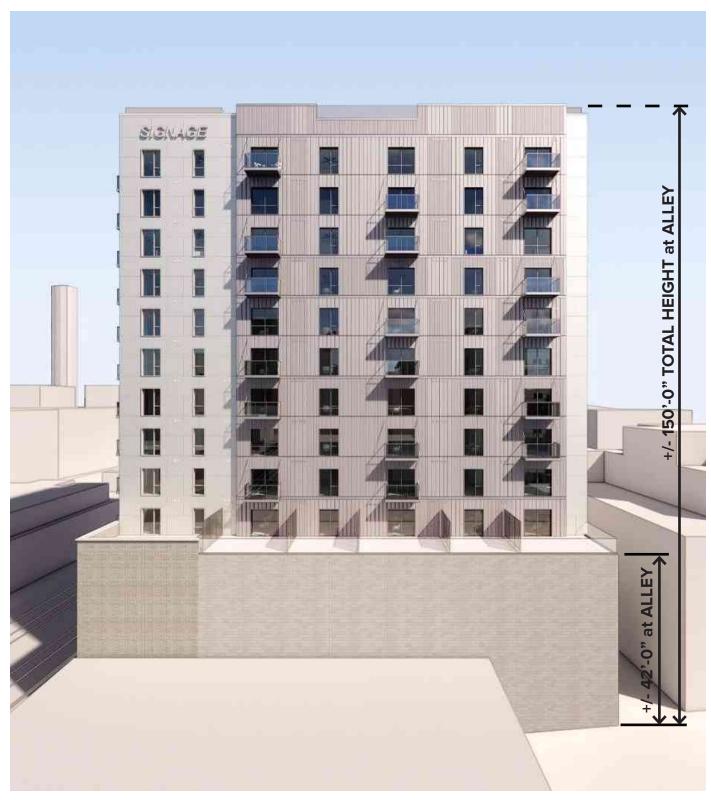
EAST ELEVATION PERSPECTIVE - PREVIOUS CONCEPT



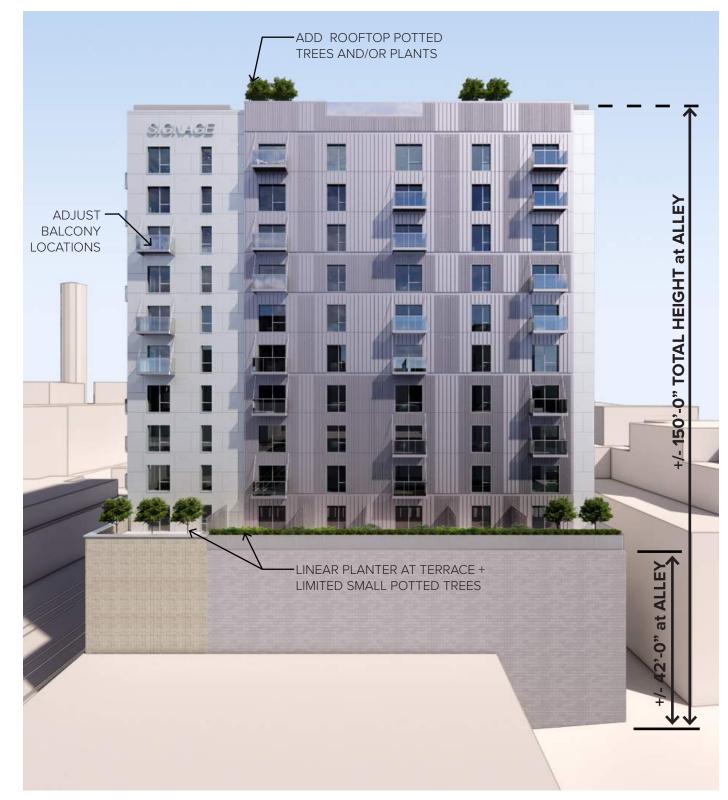
EAST ELEVATION PERSPECTIVE - UPDATED CONCEPT







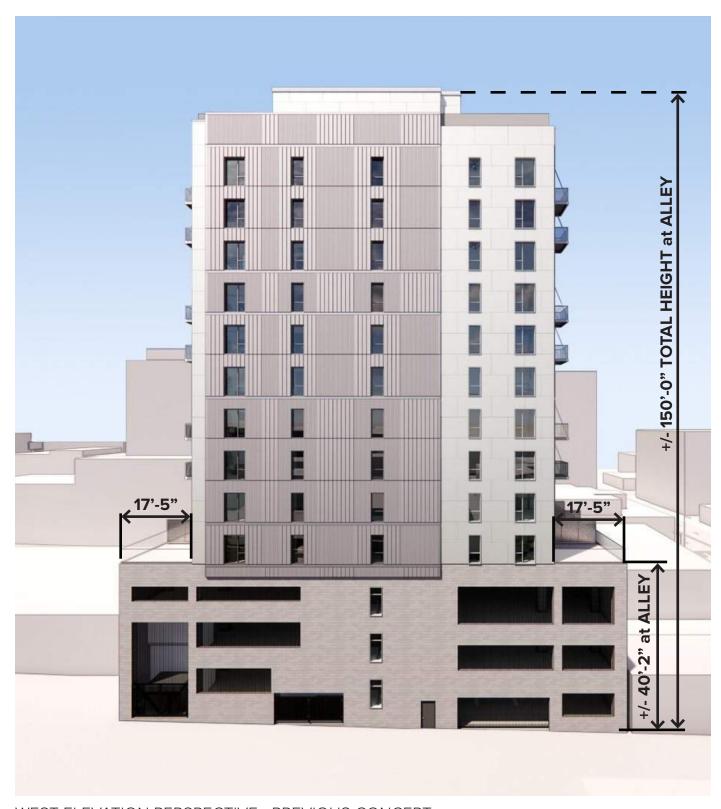
NORTH ELEVATION PERSPECTIVE - PREVIOUS CONCEPT



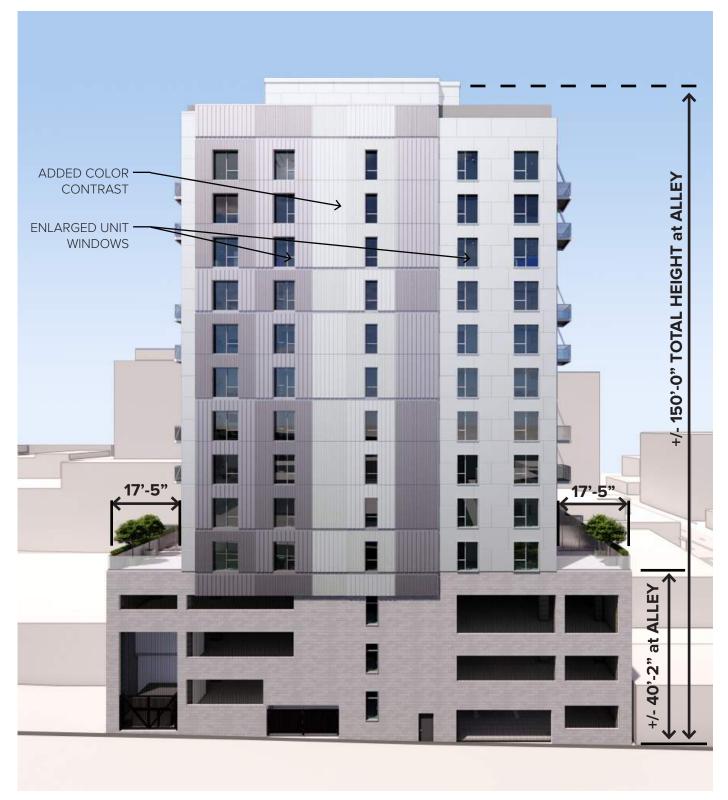
NORTH ELEVATION PERSPECTIVE - UPDATED CONCEPT







WEST ELEVATION PERSPECTIVE - PREVIOUS CONCEPT



WEST ELEVATION PERSPECTIVE - UPDATED CONCEPT







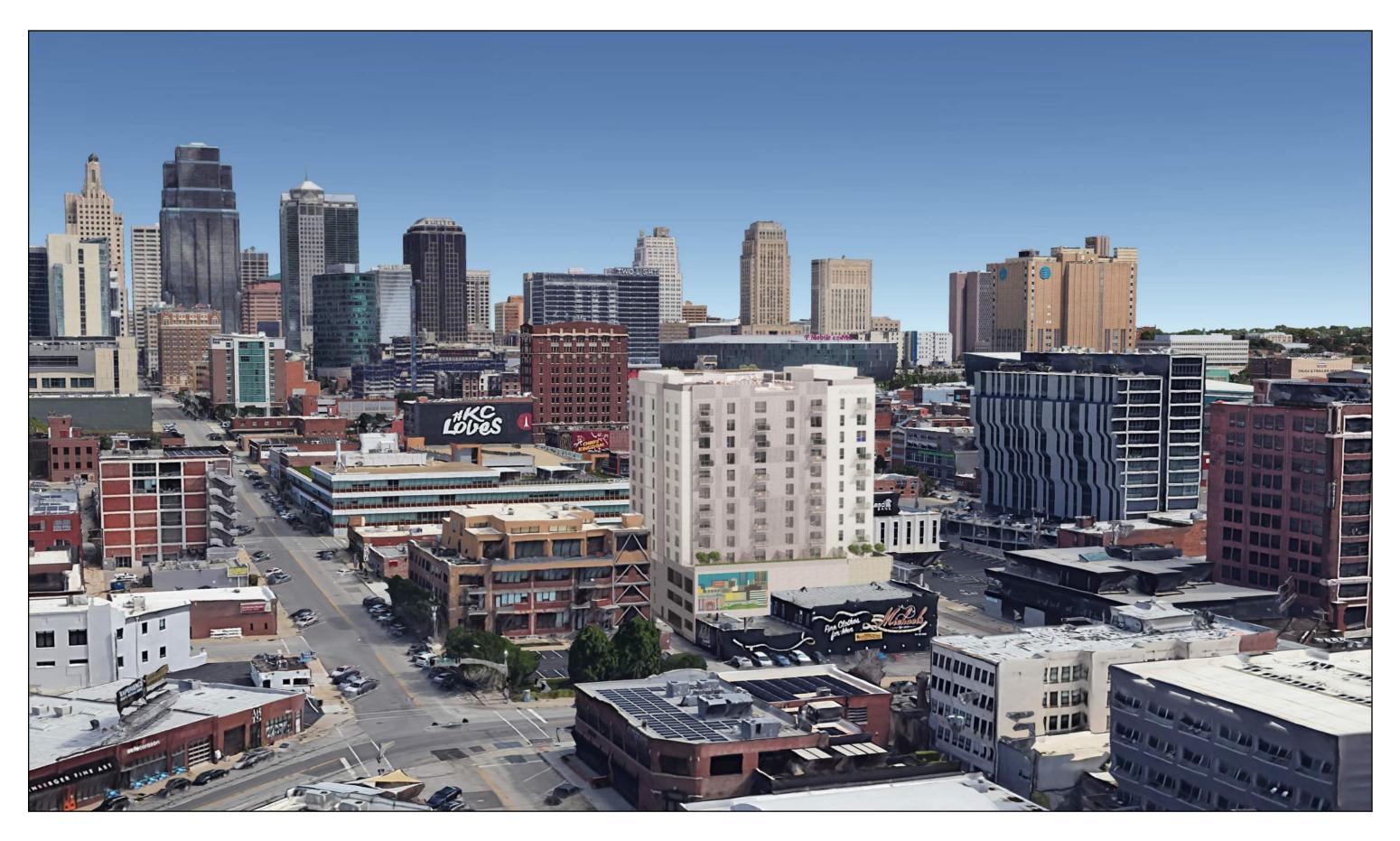
SOUTH ELEVATION PERSPECTIVE - PREVIOUS CONCEPT



SOUTH ELEVATION PERSPECTIVE - UPDATED CONCEPT

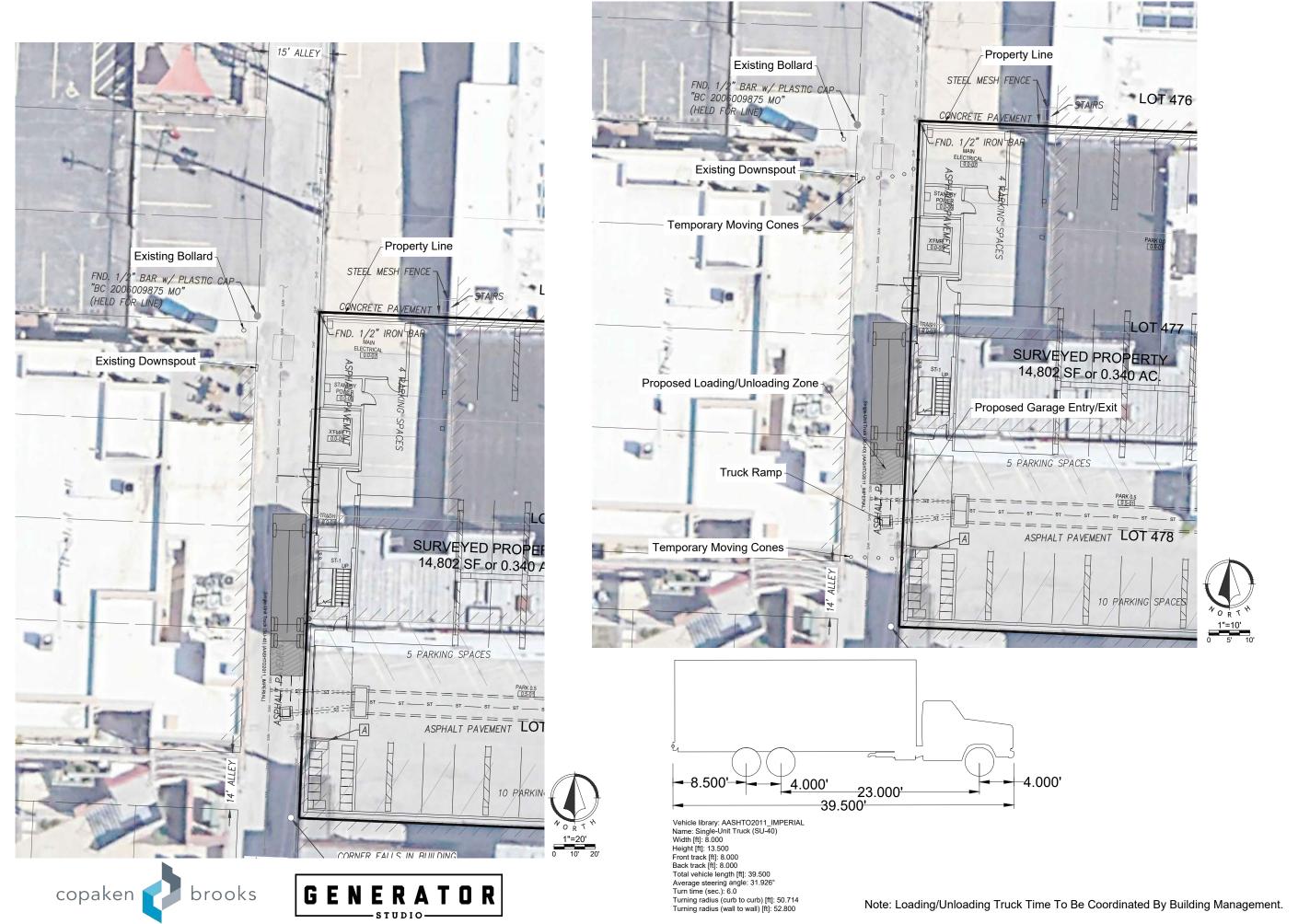










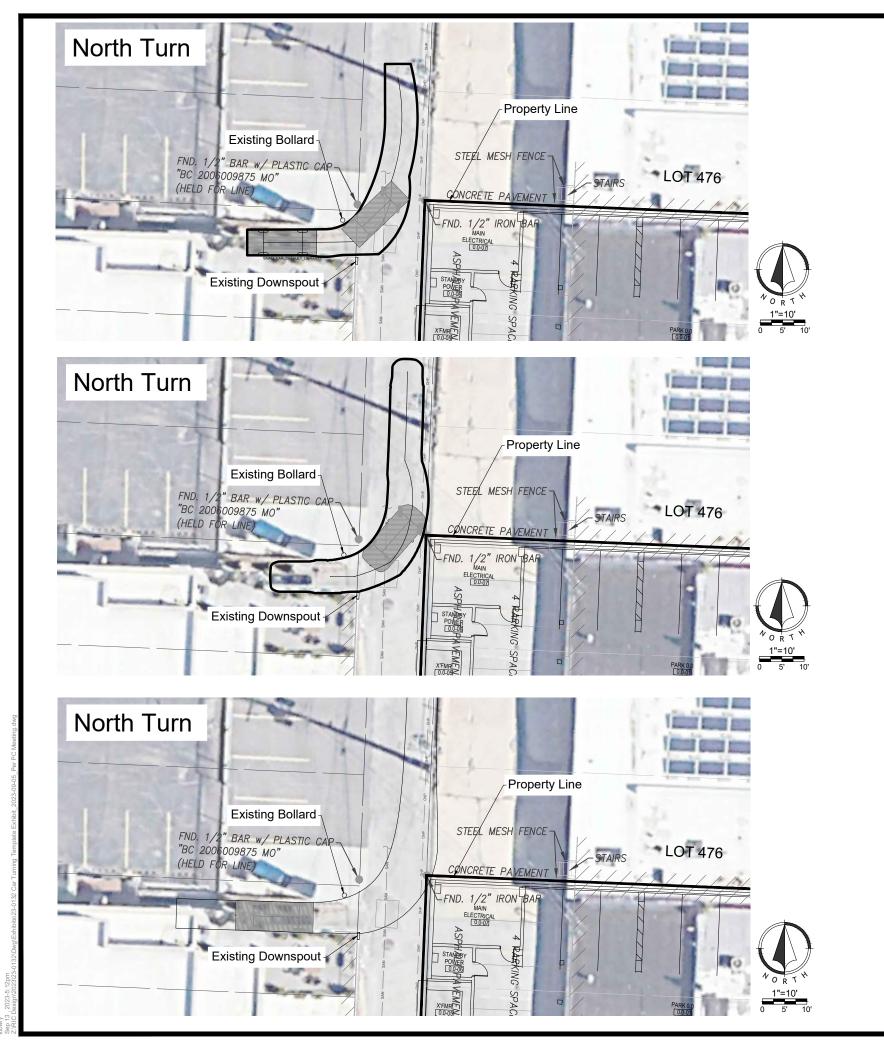


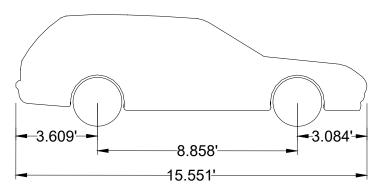
23-0132 1818 Main Apartments s City, Jackson County, M Exhibits

Moving Truck

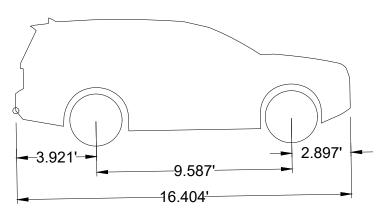
Renaissance Infrastructure Consulting

Sheet Exhibit A

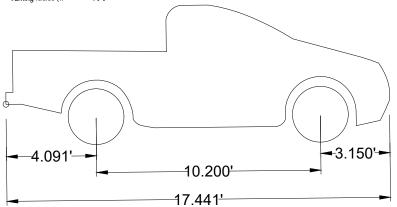




Vehicle library: DEFAULT_LIBRARY Name: SMALL CAR Width [ft]: 5.774 Width [ft]: 5.774
Height [ft]: 4.954
Front track [ft]: 5.774
Back track [ft]: 5.774
Total vehicle length [ft]: 15.551
Average steering angle: 36.122°
Turn time (sec.): 4.0
Turning radius (curb to curb) [ft]: 17.442 Turning radius (wall to wall) [ft]: 19.193



Vehicle library: SUV Name: Land Rover Range Rover, 2019 Width [ft]: 7.467 Height [ft]: 6.329 Front track [ft]: 6.801 Back track [ft]: 6.801 Total vehicle length [ft]: 16.404 Average steering angle: 33.738° Turn time (sec.): 4.0 Turning radius (curb to curb) [ft]: 20.177 Turn time (sec.): 4.0
Turning radius (curb to curb) [ft]: 20.177
Turning radius (wall to wall) [ft]: N/A



Vehicle library: PICK-UP_TRUCK Name: Ford F-150 Regular Cab Standard Bed, 2018 Width [ft]: 6.657 Width [ft]: 6.657 Height [ft]: 6.292 Front track [ft]: 6.657 Back track [ft]: 6.657 Total vehicle length [ft]: 17.441 Average steering angle: 35.538° Turn time (sec.): 4.0 Turning radius (curb to curb) [ft]: 20.349 Turning radius (wall to wall) [ft]: 22.097

23-0132 1818 Main Apartments s City, Jackson County, M

Exhibits

North Turn

Renaissance Infrastructure Consulting

Sheet Exhibit B

LEGEND

	Existing Section Line		Proposed Right-of-Way
	Existing Right-of-Way Line		Proposed Property Line
	Existing Lot Line		Proposed Lot Line
	Existing Easement Line		Proposed Easement
	Existing Curb & Gutter		Proposed Curb & Gutter
	Existing Sidewalk	Section 1	Proposed Sidewalk
	Existing Storm Sewer		Proposed Storm Sewer
_	Existing Storm Structure	_	Proposed Storm Structure
u/v u/v u/v u/v	Existing Waterline	A	Proposed Fire Hydrant
0AS 0AS 0AS	Existing Gas Main	WATER WATER WATER	Proposed Waterline
	Existing Sanitary Sewer		Proposed Sanitary Sewer
S	Existing Sanitary Manhole	•	Proposed Sanitary Manho
	Existing Contour Major		Proposed Contour Major
	Existing Contour Minor		Proposed Contour Minor
			Future Curb and Gutter
U/E	Utility Easement		
SS/E	Sanitary Sewer Easement	A/E	Access Easement
D/E	Drainage Easement	T/E	Temporary Easement

According to the F.E.M.A. Flood Insurance Rate Map Number 29095C0254G, revised 01/20/2017, this tract graphically lies in: Zone X Areas outside the annual 0.2% Flood Plain

Legal Description:

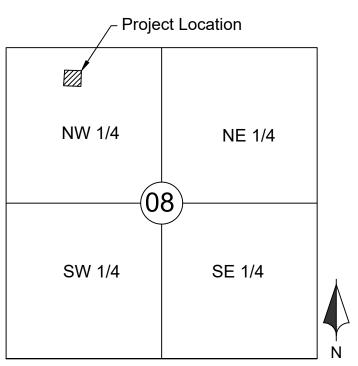
ALL OF THE SOUTH 1/2 OF LOT 476 AND ALL OF LOTS 477 AND 478, EXCEPT THAT PART NOW IN MAIN STREET, AND EXCEPT THAT PART IN ALLEY, BLOCK 35, MCGEE'S ADDITION, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI.

1818 Main Apartments

Kansas City, Jackson County, Missouri Section 08, Township 49N, Range 33W

Development Plan





SECTION MAP SEC. 08 TW. 49N RNG. 33W

Renaissance Infrastructure Consulting Mick Slutter, PE 400 E 17th Street Kansas City, MO 64108 (816) 800-0950

Architect: Generator Studio Gretchen Blain 1615 Baltimore Avenue Kansas City, Missouri 64108 (816) 333-6527

GENERAL NOTES

VORT

1"=200'

1. All work in public easements and right of way and all erosion control work must comply with the latest edition of the Technical Provisions & Standard Drawings for Roads and Sewers, of the City of Kansas City, Jackson County, MO. If any general notes conflict with the Technical Provisions & Standard Drawings for Roads and Sewers, of the City of Kansas City, the City of Kansas City's standards shall override.

Sheet List Table

Title Sheet

Existing Conditions

General Layout

Utility Plan

Grading Plan

Spot Grading Plan

Storm Plan &

Profile

Erosion Control

Landscape Plan

Landscape Details

- 2. The contractor shall provide evidence that his insurance meets the requirements of the City of
- 3. All traffic control shall be in conformance with the Manual of Uniform Traffic Control Devices
- 4. The contractor is responsible for the protection of all property corners and section corners. Any property corners and/or section corners disturbed or damaged by construction activities shall be reset by a Registered Land Surveyor licensed in the State of MO, at the contractor's expense.
- The contractor shall be responsible for the restoration of the right-of-way and for damaged improvements such as curbs, driveways, sidewalks, street light and traffic signal junction boxes, traffic signal loop lead ins, signal poles, irrigation systems, etc. Damaged improvements shall be repaired in conformance with the latest City standards and to the City's satisfaction.
- The contractor is responsible for providing erosion and sediment control BMPs to prevent sediment from reaching paved areas, storm sewer systems, drainage courses and adjacent properties. In the event the prevention measures are not effective, the contractor shall remove any debris, silt, or mud and restore the right-of-way, or adjacent properties to original or better
- condition.

 100' 200' 7. The contractor shall remove existing trees and shrubbery within the right-of-way adjacent to future thoroughfare improvements.
 - 8. The contractor shall sod all disturbed areas within the public street right-of-way unless otherwise noted on the plans or if specific written approval is granted by the City.
 - 9. All public street sidewalk ramps constructed will be required to comply with the Americans with Disabilities Act (ADA) and Kansas City, MO sidewalk details.
 - 11. Excavation for utility work in public street right-of-way requires a Right-of-Way Work Permit from the Public Works Department, in addition to all other permits.
 - 12. All work shall be confined within easements and/or construction limits as shown on the plans. 13. Curb stakes and hubs shall be provided at all high points, low points, ADA ramp openings, and on each side of all curb inlets when setting string line.
 - 14. Any existing and/or temporary storm sewer pipes and box culverts to be abandoned in place shall be grouted using a slurry grout mixture meeting a 7-day compressive strength of 100-150 psi. The slurry grout mixture of fly ash, cement, fine aggregate, forming agents and water shall be approved by the City and shall possess adequate flow characteristics to fill all voids.
 - 15. All existing utilities indicated on the drawings are according to the best information available to the engineer; however, all utilities actually existing may not be shown. The contractor shall be responsible for contacting all utility companies for an exact field location of each utility prior to any construction. All utilities, shown and un-shown, damaged through the negligence of the contractor shall be repaired or replaced by the contractor at his expense.
 - 16. The contractor will be responsible for all damages to existing utilities, pavement, fences, structures, and other features not designated for removal. The contractor shall repair all
 - 17. By use of these construction documents the contractor hereby agrees that he shall be solely responsible for the safety of the construction workers and the public. The contractor agrees to hold the engineer and owner harmless for any and all injuries, claims, losses, or damages related to the project.
 - 18. The contractor will be responsible for providing all signage, barricades, lighting, etc., as required for temporary traffic control during the construction of this project. Maintenance of the temporary traffic control devices will be the contractor's responsibility. All traffic control in conduction with construction in the right-of-way shall be in conformance with the City Traffic Control Requirements.
 - 19. Geogrid, footings, or other elements of retaining wall(s) cannot encroach into the right of way, public easements, or adjacent private property.
 - 20. All building and life safety issues shall comply with the 2006 International Fire Code and local amendments as adopted by Kansas City, MO.
 - 21. Contractor shall be responsible for obtaining all permits including land disturbance, right-of-way, hauling, etc., with Public Works prior to construction.
 - 22. Contractor shall restore all disturbed right-of-way upon project completion.
 - 23. Prior to construction, contractor shall install pre-construction erosion control measures.
 - 24. The Architect shall be responsible for specifying retaining wall block type and color to compliment building. The contractor shall be responsible for structural design of retaining walls. All retaining wall design shall be completed by a registered engineer in the State of MO. Black Aluminum Fencing shall be placed on all walls with a height over 30".
 - 25. Ground mounted and rooftop mechanical equipment shall be screened in accordance with City of Kansas City, Missouri Unified Development Ordinance Section 88-425.



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RCHITECT:	THOMAS J. PROEBSTLE
ICENSE NO.	A-2002017812



MAIN STREET MULTIFAMILY

1818 MAIN STREET KANSAS CITY, MO 64108

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Know what's below. Call before you dig.

The information concerning locations of underground utilities

shown hereon which are not visible from the surface, has been

taken from the records and field locations of the various utility

companies and has not been field verified by this company.

These locations are not to be construed as accurate or exact.





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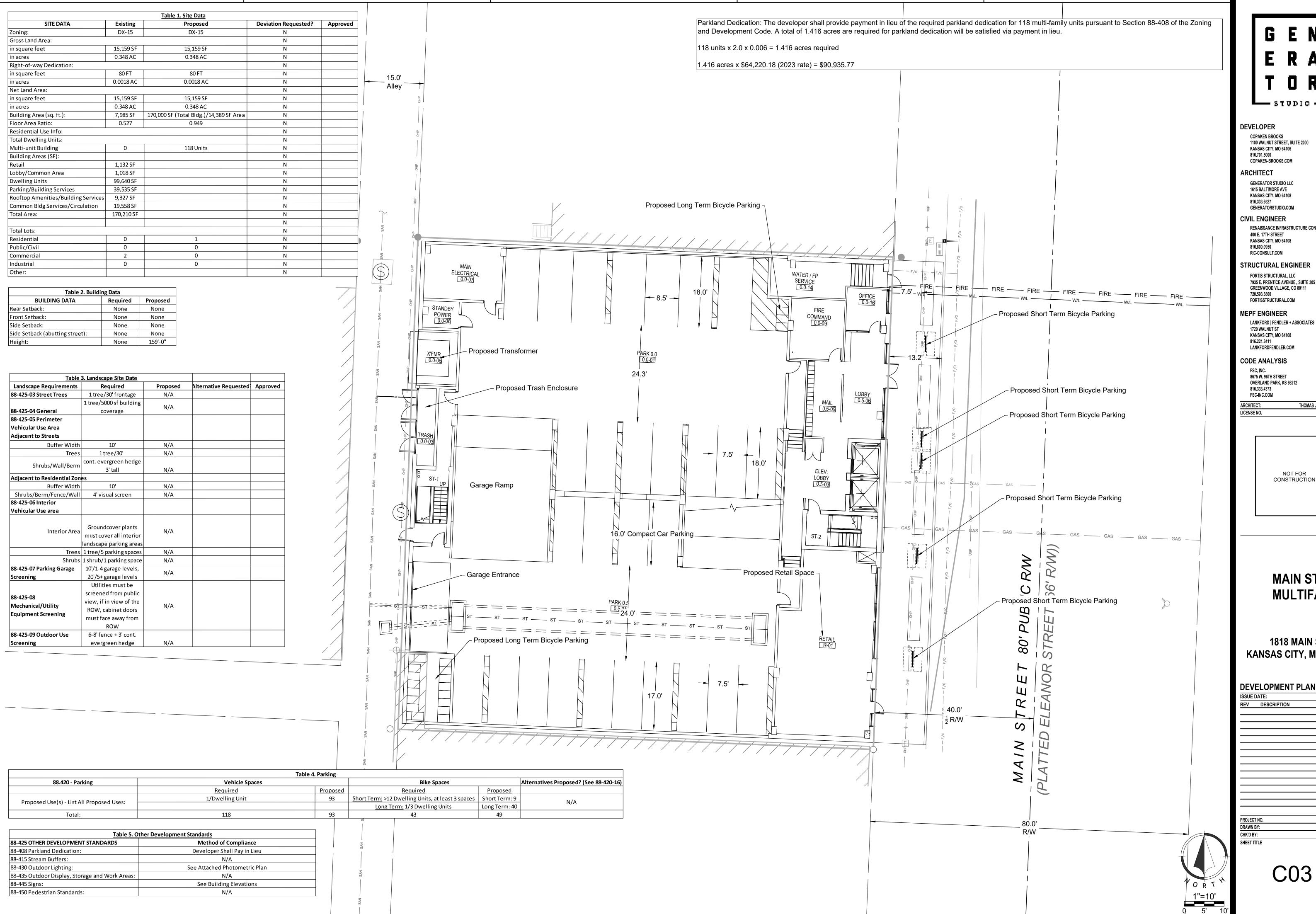
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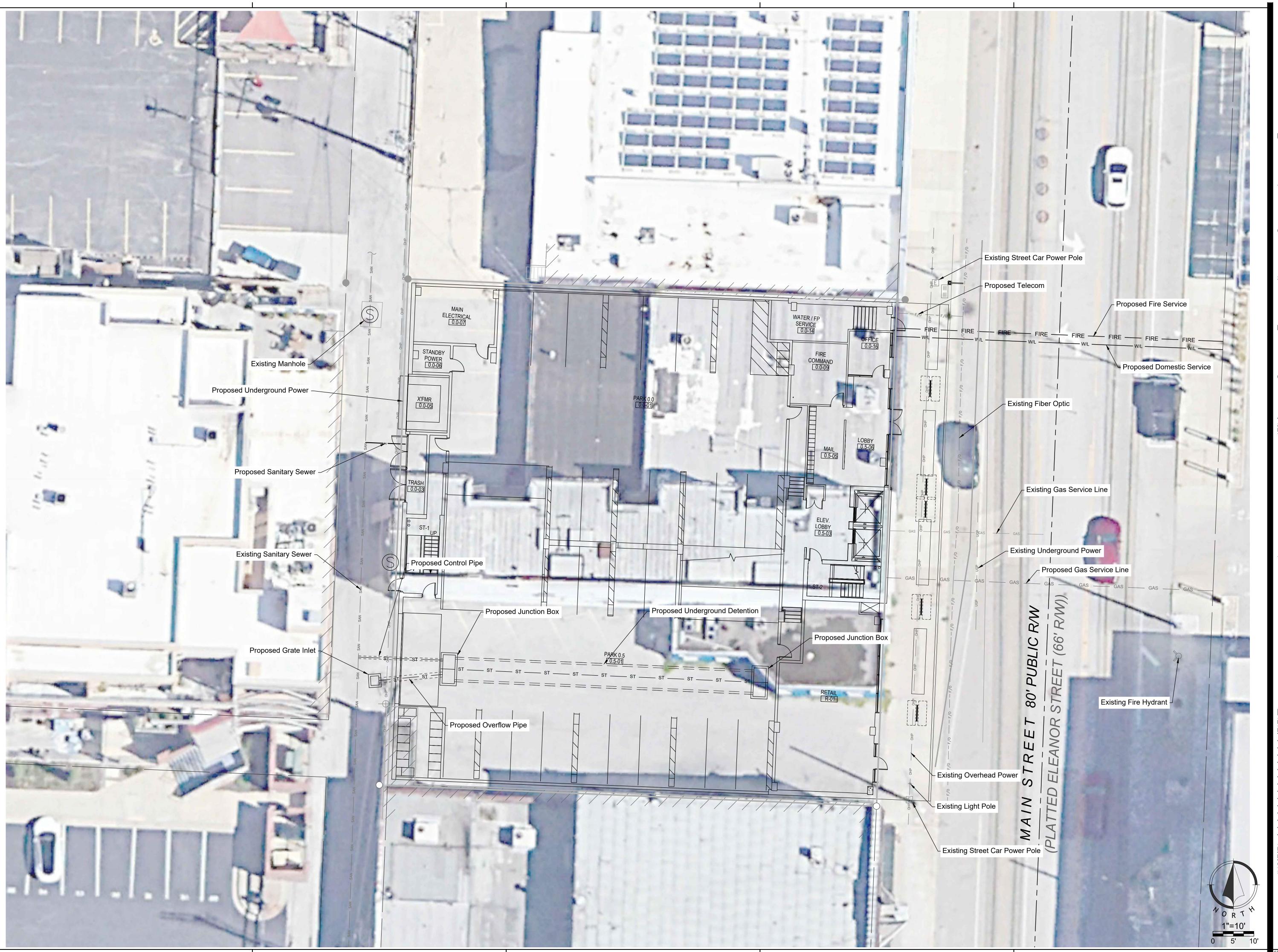
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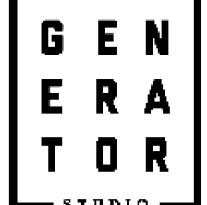
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DEVELOPMENT PLAN

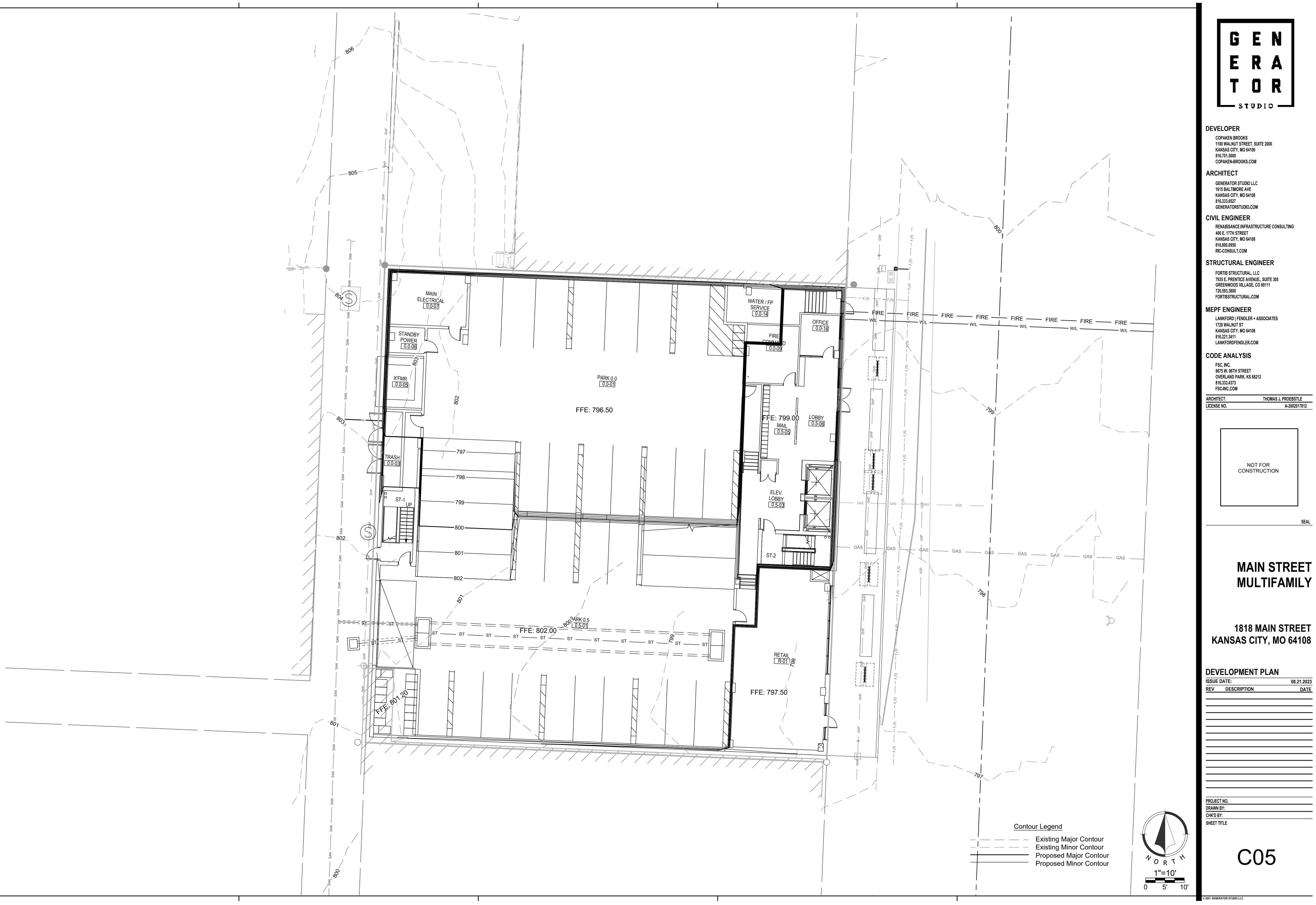
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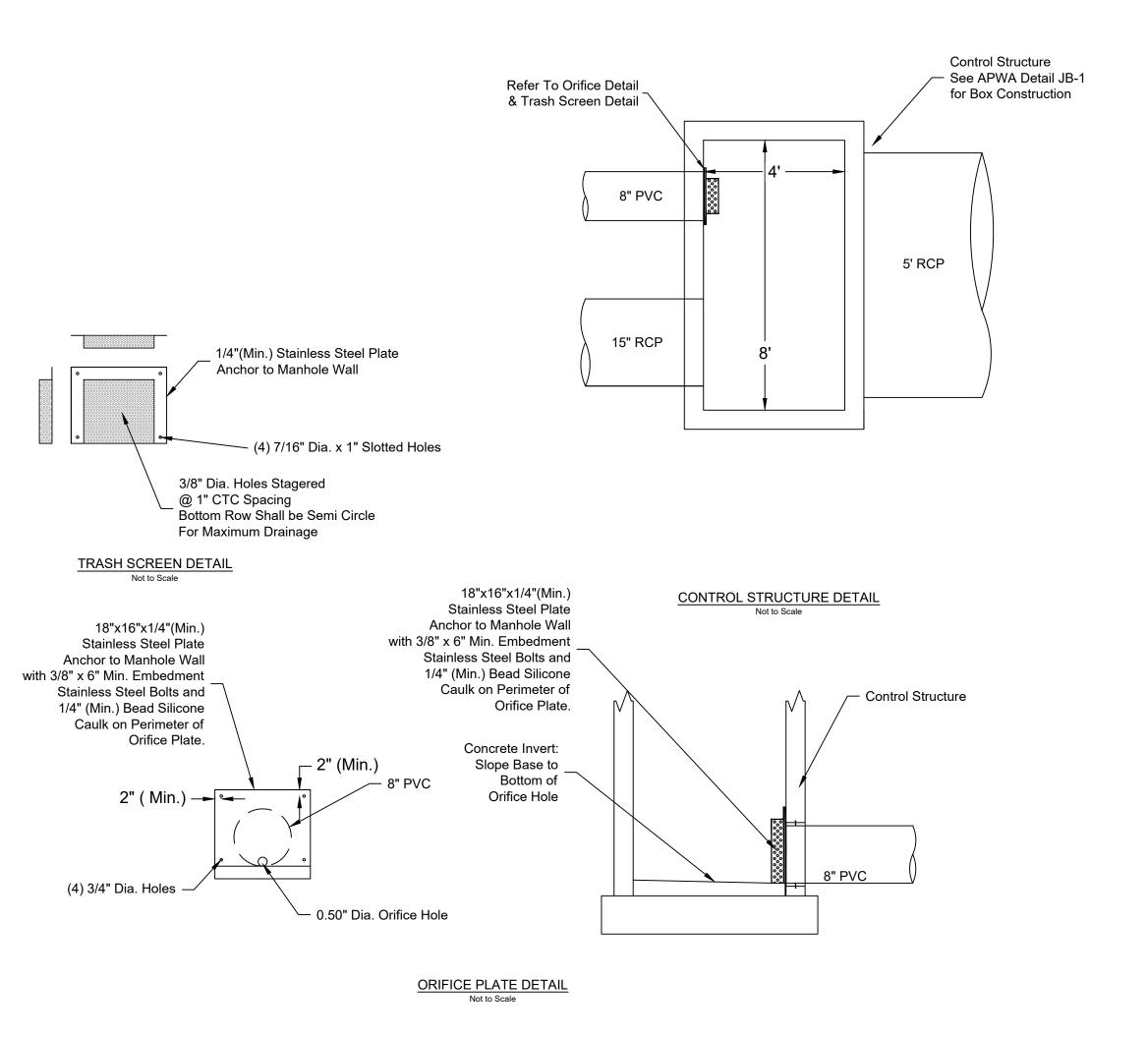


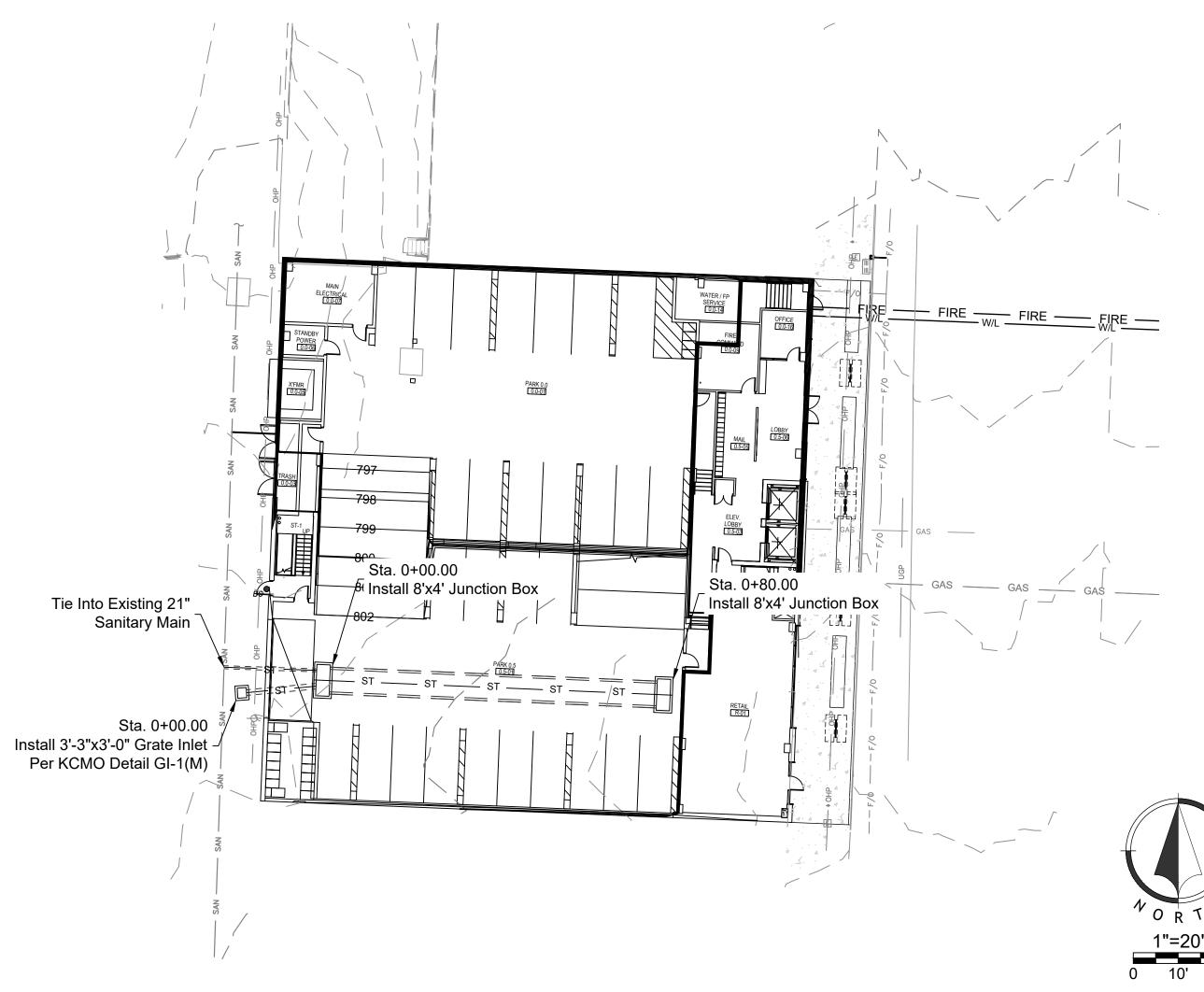


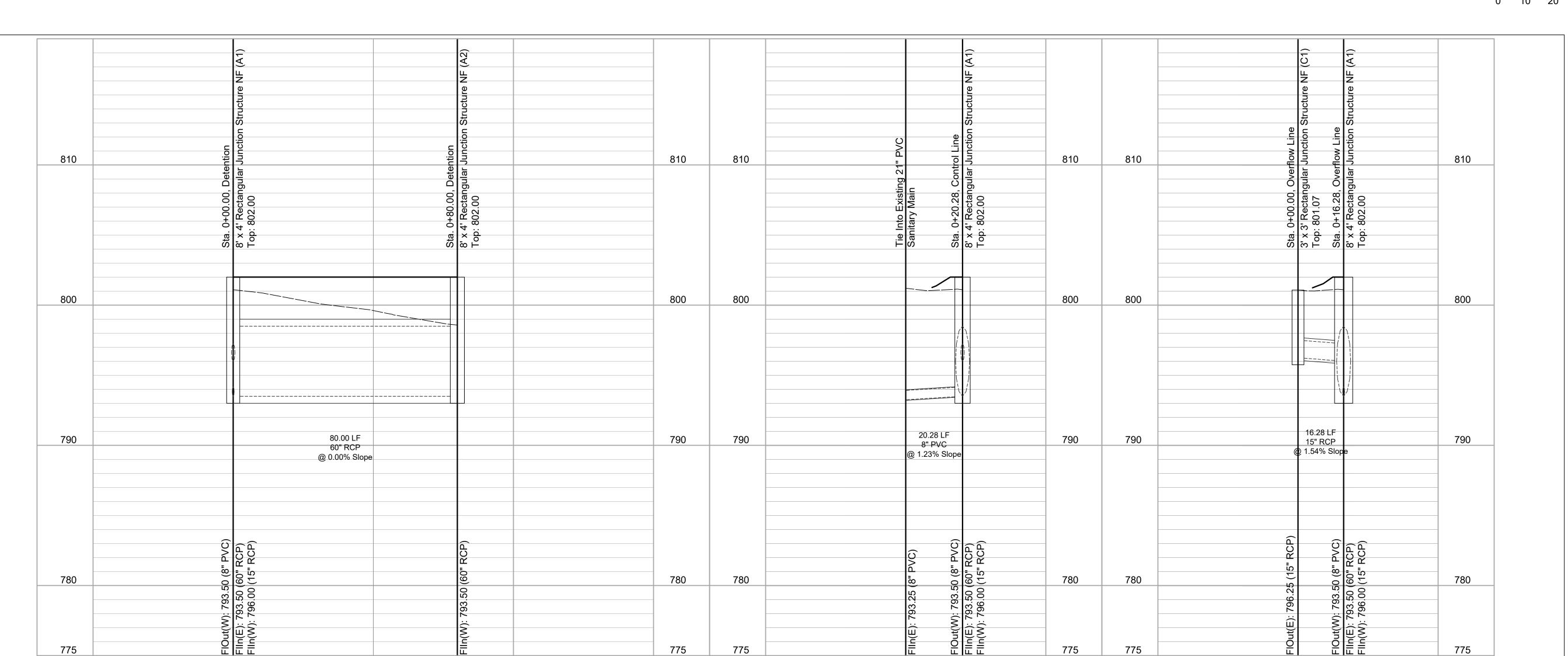
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MAIN STREET

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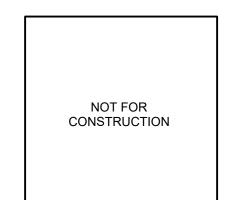
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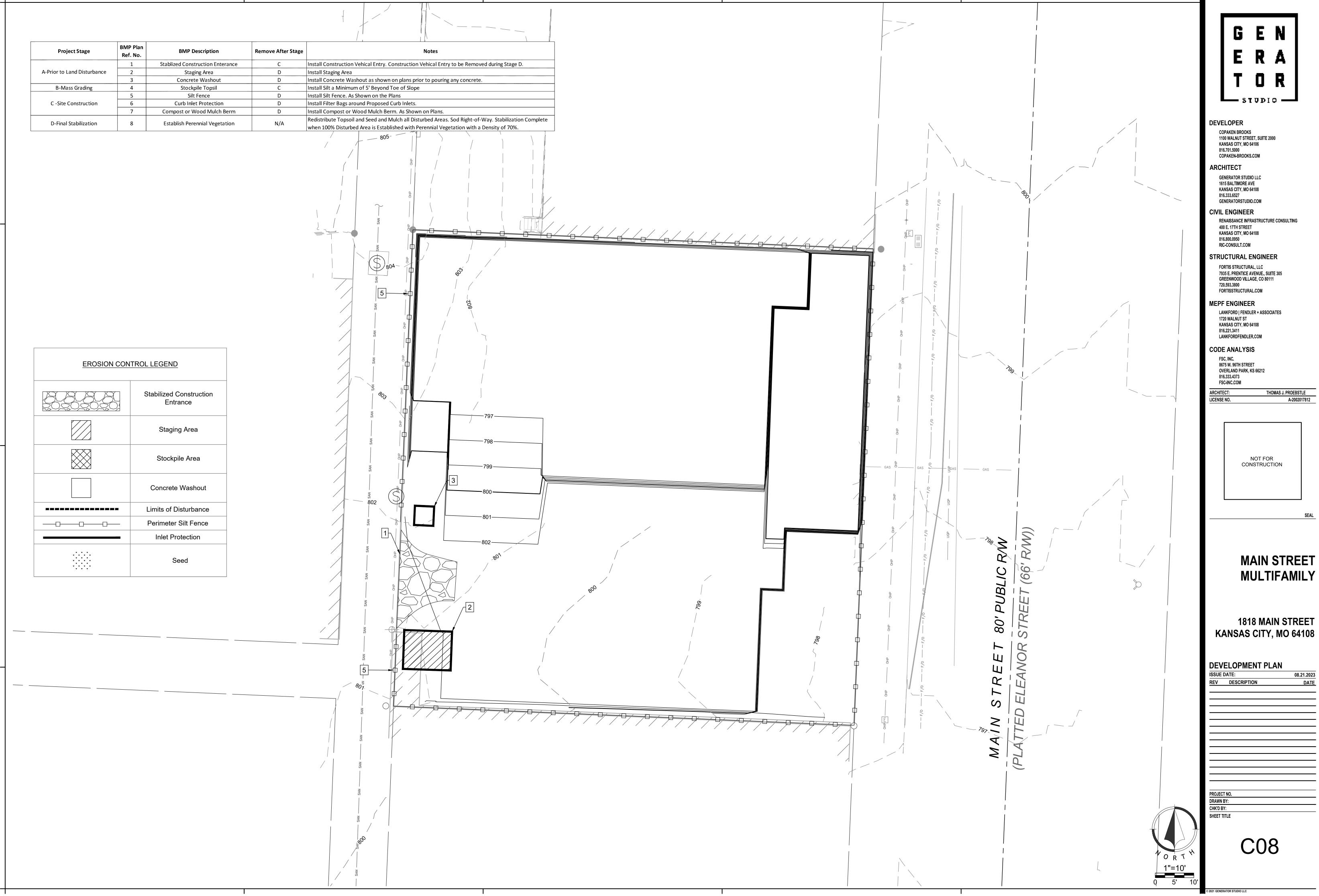
DEVELOPMENT PLAN

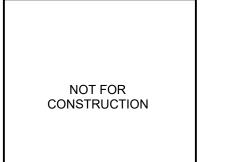
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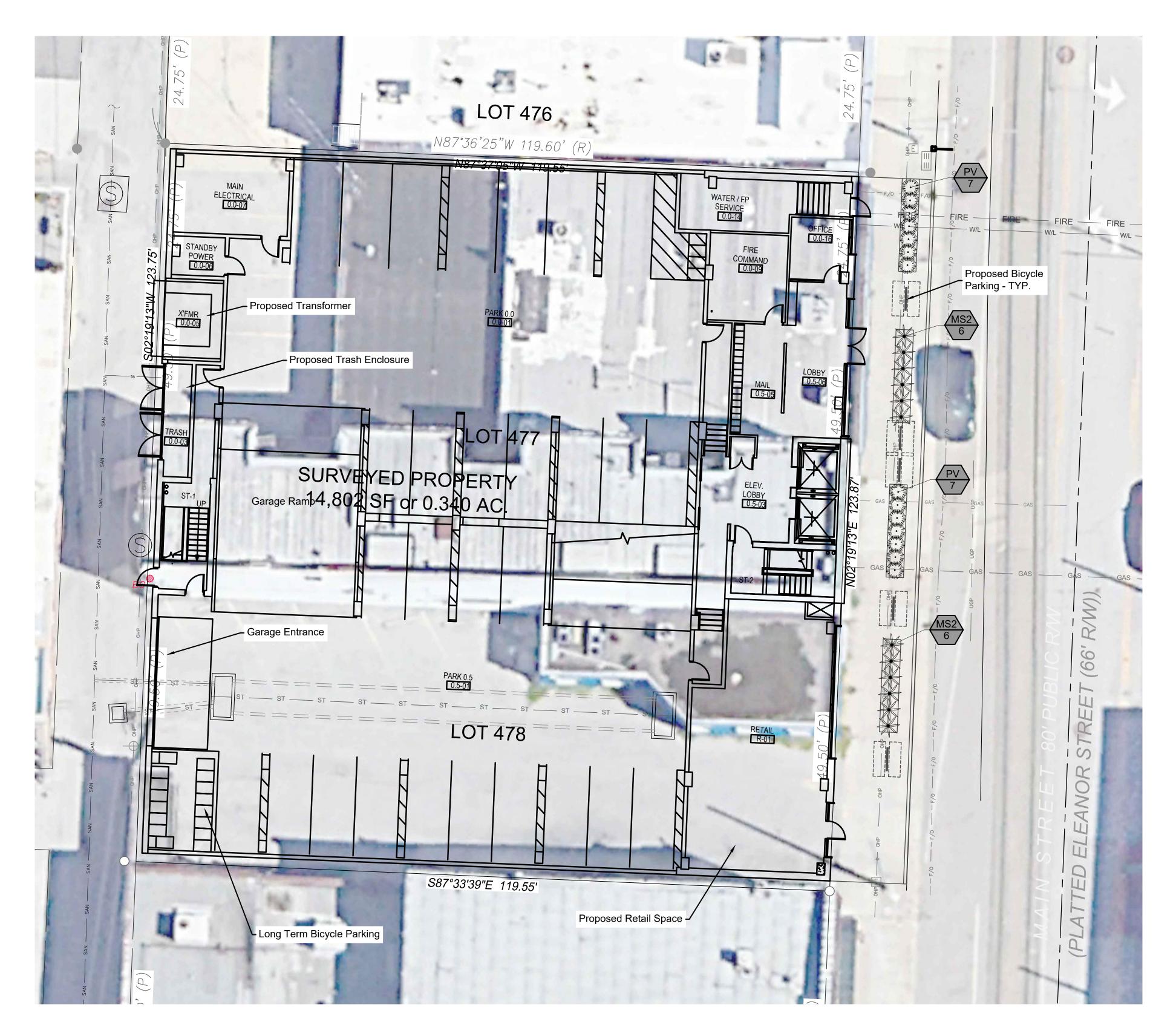




MULTIFAMILY

1818 MAIN STREET

ΕV	DESCRIPTION	DATI
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PLANT SCHEDULE

SHRUBS	CODE	BOTANICAL / COMMON NAME	CONT	QTY
	MS2	Miscanthus sinensis `Morning Light` / Eulalia Grass	3 Gal.	12
	PV	Panicum virgatum `Haense Herms` / Haense Herms Switch Grass	3 Gal.	14

LANDSCAPE NOTES

- 1. LOCATE UTILITIES PRIOR TO COMMENCING LANDSCAPE OPERATIONS. ALL TREES SHALL BE FIELD POSITIONED AS TO AVOID CONFLICTS WITH EXISTING AND PROPOSED UTILITIES. NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS OR OBSTRUCTIONS.
- 2. CONTRACTOR SHALL STAKE ALL PLANTING AREAS IN THE FIELD PRIOR TO PLANTING FOR APPROVAL OF THE OWNER OR THEIR REPRESENTATIVE.
- 3. QUANTITIES SHOWN ARE FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES PRIOR TO BIDDING AND SHALL BE RESPONSIBLE FOR ALL QUANTITIES FOR THEIR BID. ANY DISCREPANCIES WITH THE PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. THE PLAN QUANTITIES SHALL SUPERCEDE SCHEDULED QUANTITIES.
- 4. ALL PLANT MATERIAL SHALL BE SPECIMEN QUALITY AND SHALL COMPLY WITH RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 THE 'AMERICAN STANDARD FOR NURSERY STOCK'.
- 5. ALL PLANTING BEDS & NATIVE GRASS STANDS SHALL BE EDGED AS SHOWN IN PLAN.
- 6. PREPARE PLANTING BEDS AND INCORPORATE AMENDMENTS ACCORDING TO PLANS.
- SHREDDED HARDWOOD MULCH, PER SPECIFICATIONS SHALL BE USED AS A THREE INCH (3") TOP DRESSING IN ALL PLANTING BEDS AND AROUND ALL TREES. SINGLE TREES AND SHRUBS SHALL BE MULCHED TO THE OUTSIDE EDGE OF THE SAUCER OR LANDSCAPE ISLAND.
- 8. ALL TREES SHALL BE STAKED PER DETAIL.
- 9. ALL PLANT MATERIAL SHALL BE INSTALLED TO ALLOW A ONE FOOT (1') CLEARANCE BETWEEN PLANT AND ADJACENT PAVEMENT.
- 10. THE LANDSCAPE CONTRACTOR SHALL NOT COMMENCE WORK UNTIL THE SITE IS FREE OF DEBRIS CAUSED BY ON-GOING CONSTRUCTION OPERATIONS. REMOVAL OF DEBRIS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. LANDSCAPE WORK SHALL NOT BEGIN UNTIL THE LANDSCAPE ARCHITECT AND OWNER HAVE GIVEN WRITTEN APPROVAL FOR SUCH. THERE SHALL BE NO DELAYS DUE TO LACK OF COORDINATION FOR THIS ACTIVITY.
- 11. THE LANDSCAPE ARCHITECT AND OWNER SHALL APPROVE GRADES AND CONDITION OF SITE PRIOR TO SODDING/SEEDING OPERATIONS.
- 12. ALL AREAS DISTURBED DURING CONSTRUCTION AND NOT DESIGNATED FOR OTHER PLANTINGS OR HARDSCAPE SHALL BE SODDED WITH TURF TYPE FESCUE.
- 13. ALL LANDSCAPE AREAS SHALL BE IRRIGATED. TURF AREAS SHALL BE IRRIGATED BY SPRAY OR ROTOR. PLANT BEDS SHALL BE IRRIGATED BY DRIP IRRIGATION. IRRIGATION SYSTEM SHALL INCLUDE AUTOMATIC RAIN-SENSOR DEVICE. IRRIGATION SHOP DRAWINGS SHALL BE PROVIDED BY THE CONTRACTOR FOR APPROVAL PRIOR TO CONSTRUCTION.

	<u>Table 3. Lane</u>	dscape Site Data		
Landscape Requirements	Required	Proposed	Alternative Requested?	Approved
88-425-03 Street Trees	1 tree/30' frontage	0	Yes, payment in lieu of street trees	
88-425-04 General	1 tree/5000 sf building coverage	0	Yes, raised planters with 24 shrubs proposed	
88-425-05 Perimeter Vehicu	lar Use Area Adjacent to S	Streets		
Buffer Width	10'	N/A	N/A	
Trees	1 tree/30'	N/A	N/A	
Shrubs/Wall/Berm	cont. evergreen hedge 3' tall	N/A	N/A	
Adjacent to Residential Zon	es			
Buffer Width	10'	N/A	N/A	
Shrubs/Berm/Fence/Wall	4' visual screen	N/A	N/A	
88-425-06 Interior Vehicular	Use area			
Interior Area	Groundcover plants must cover all interior landscape parking areas	N/A	N/A	
Trees	1 tree/5 parking spaces	N/A	N/A	
	1 shrub/1 parking space	N/A	N/A	
88-425-07 Parking Garage Screening	10'/1-4 garage levels, 20'/5+ garage levels	N/A	N/A	
88-425-08 Mechanical/Utility Equipment Screening	Utilities must be screened from public view, if in view of the ROW, cabinet doors must face away from ROW	As required	No	
88-425-09 Outdoor Use Screening	6-8' fence + 3' cont. evergreen hedge	N/A	N/A	





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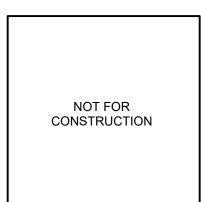
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ARCHITECT:	THOMAS J. PROEBSTLE
LICENSE NO.	A-20020178



08.21.2023

MAIN STREET MULTIFAMILY

1818 MAIN STREET KANSAS CITY, MO 64108

DEVELOPMENT PLAN

ISSUE	DATE:	08.21.2023
REV	DESCRIPTION	DATE

PROJECT NO. DRAWN BY: CHK'D BY:

L01

SHEET TITLE

PRUNE OUT ANY DEAD OR BROKEN BRANCHES. CUT ANY GIRDLING ROOTS ─ INSTALL 3" OF HARDWOOD OFF CLOSE TO THE CROWN. PRY LONG MULCH THROUGHOUT PLANTING ROOTS OUT TO DIRECT INTO NEW SOIL BED. LEAVE A 6" BARE CIRCLE AT BASE OF PLANT PLACE SHRUB SO CROWN IS AT SOIL LEVEL PROVIDE MULCH -FILL PLANTING HOLE WITH AMENDED CONTAINMENT EDGE SOIL MIX ACCORDING TO ADJACENT TO HARDSCAPE; SPECIFICATIONS. CONSTRUCT RING RE: DETAIL AROUND PLANTED SHRUB TO FORM SCARIFY PIT BOTTOM (MIN. 6") SECTION REFER TO SPECIFICATIONS FOR TOPSOIL BACKFILL MIX. 2. CONTRACTOR TO WATER THOROUGHLY AFTER PLANTING 3. INSTALLATION TO BE IN ACCORDANCE WITH PLANTING SPECIFICATIONS 4. WHERE ADJACENT TO CURB, MAINTAIN THE MINIMUM OFFSET SHOWN. FOR SHRUBS LARGER THAN 4' MATURE DIAMETER, PROVIDE A GREATER OFFSET EQUAL TO 1/2 OF THE MATURE DIAMETER MINIMUM. SHRUB PLANTING DETAIL - NTS

- CONTAINER - PLANTING POCKET PLAN - LANDSCAPING; RE: PLAN - 3" HARDWOOD MULCH - AMENDED PLANTING SOIL MIX ACCORDING TO SPECIFICATIONS SECTION

CONTAINER PLANTING DETAIL - NTS

DEVELOPER

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MAIN STREET MULTIFAMILY

1818 MAIN STREET KANSAS CITY, MO 64108

DEVELOPMENT PLAN

TREES THAT DO NOT MEET THE SIZE REQUIREMENT WILL BE REJECTED

PRUNE OUT ANY DEAD OR BROKEN BRANCHES

MOVEMENT OF THE TRUNK WITH THE WIND

MIN. 6' LONG STEEL STAKES SECURED

RING TO CREATE A SAUCER FORM.

REMOVE TWINE AND CAGE FROM ROOT

BURLAP FROM TO 1/3 OF THE ROOT BALL.

WIDER THAN THE SPREAD OF ITS ROOTS,

BUT NO DEEPER. PLACE ROOT BALL ON

PLANTING HOLE SHALL BE AT LEAST 3 TIMES

UNDISTURBED SOIL WITH ROOT FLARE EVEN

AMEND SOIL ACCORDING TO SPECIFICATIONS.

WITH OR 1" ABOVE GRADE. SCARIFY SIDES

BALL AND TRUNK. PEEL AND REMOVE

INTO UNDISTURBED SOIL. PLACE NORTH

SECURE TREE TO STAKES WITH STRAPS (RE: SPECS).

STRAPS SHALL BE LOOSE ENOUGH TO ALLOW SOME

- SET TREE WITH TOP OF ROOT BALL FLUSH WITH GRADE. TRUNK FLARE MUST BE VISIBLE AT THE TOP OF ROOT

BALL. REMOVE EXCESS SOIL TO TOP OF LATERAL ROOTS.

- 3" MULCH PER SPECIFICATIONS. DO NOT PLACE ON TRUNK OR TRUNK FLARE. BERM AT OUTER EDGES OF

AND REMOVE DEBRIS FROM SITE.

AND SOUTH OF TREE.

AND BOTTOM OF PIT.

DECIDUOUS TREE PLANTING DETAIL - NTS

2. TREES SHALL BE INSPECTED BY OWNERS REPRESENTATIVE PRIOR TO

INSTALLATION.

3 x ROOT BALL DIA.

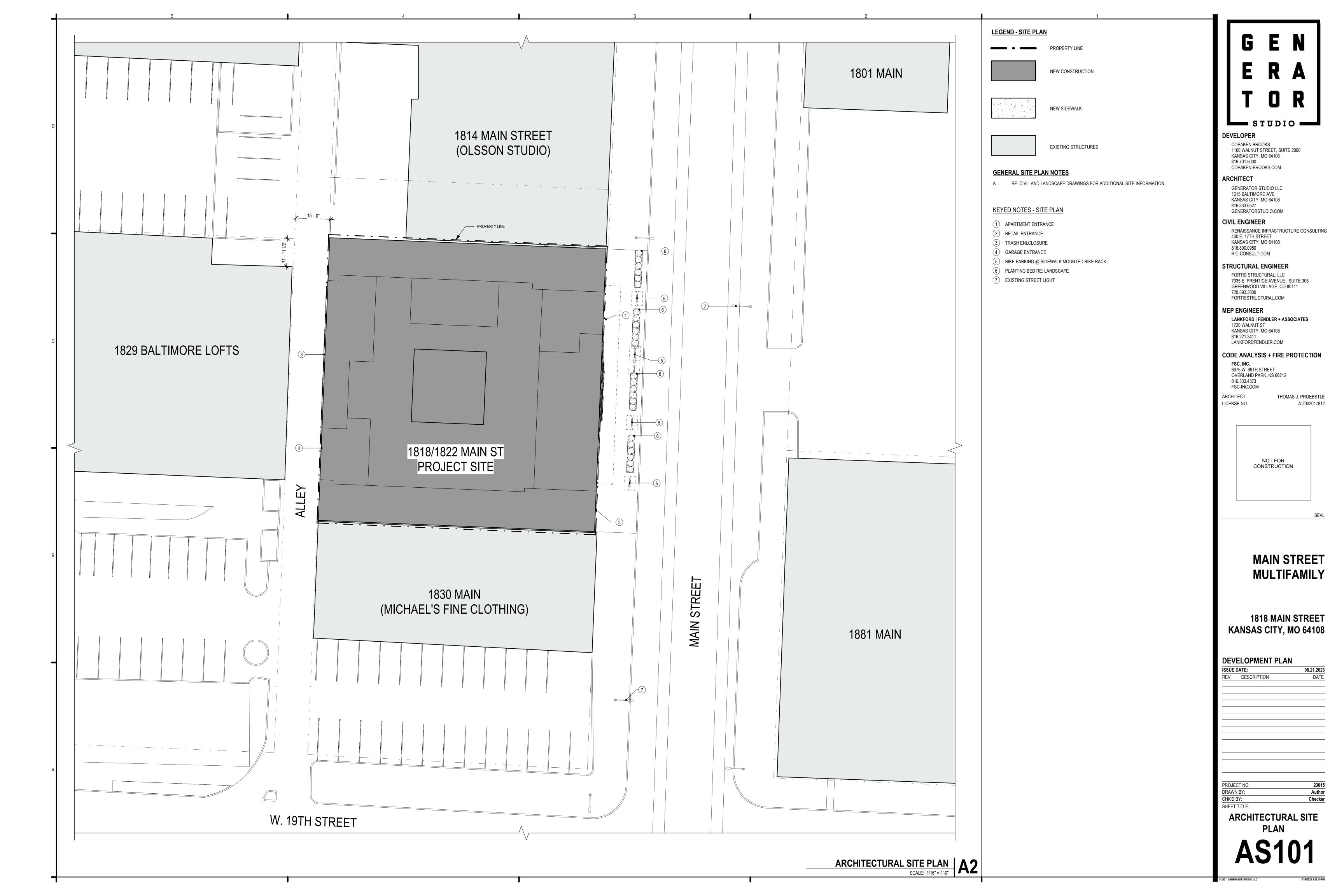
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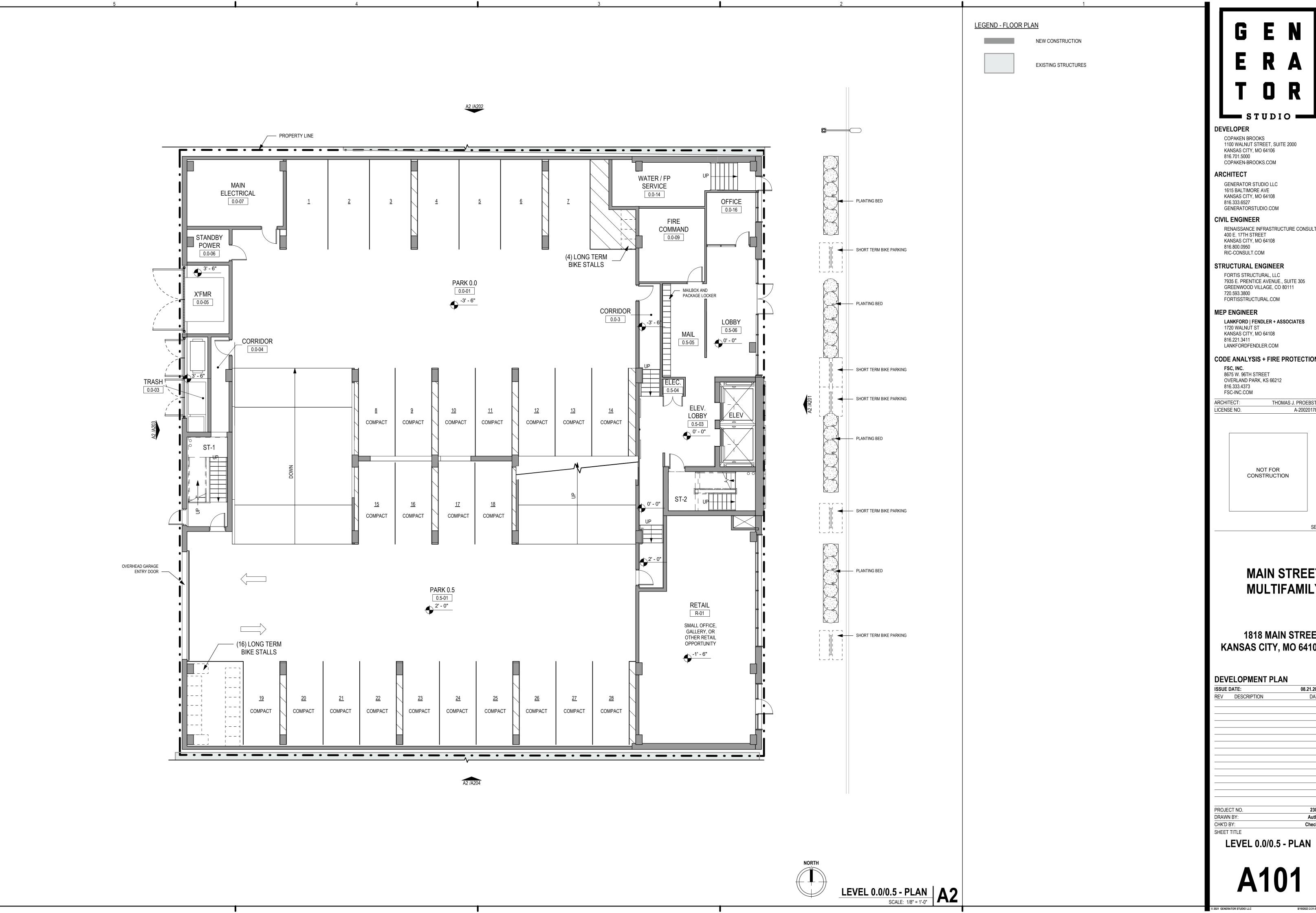
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THOMAS J. PROEBSTLE A-2002017812

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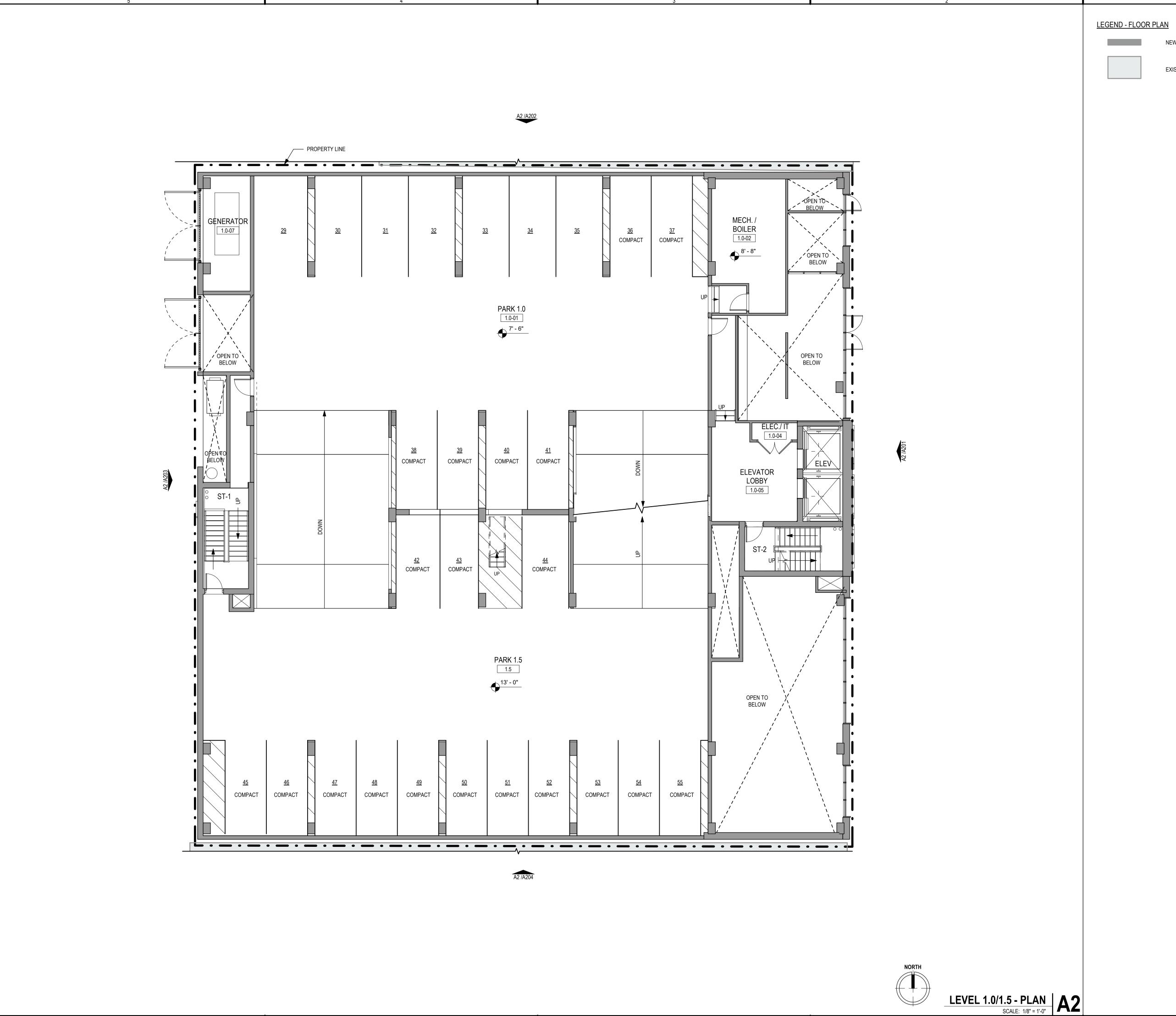
1818 MAIN STREET KANSAS CITY, MO 64108

DEVELOPMENT PLAN

08.21.2023 REV DESCRIPTION

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LEVEL 0.0/0.5 - PLAN



NEW CONSTRUCTION

EXISTING STRUCTURES

STUDIO -

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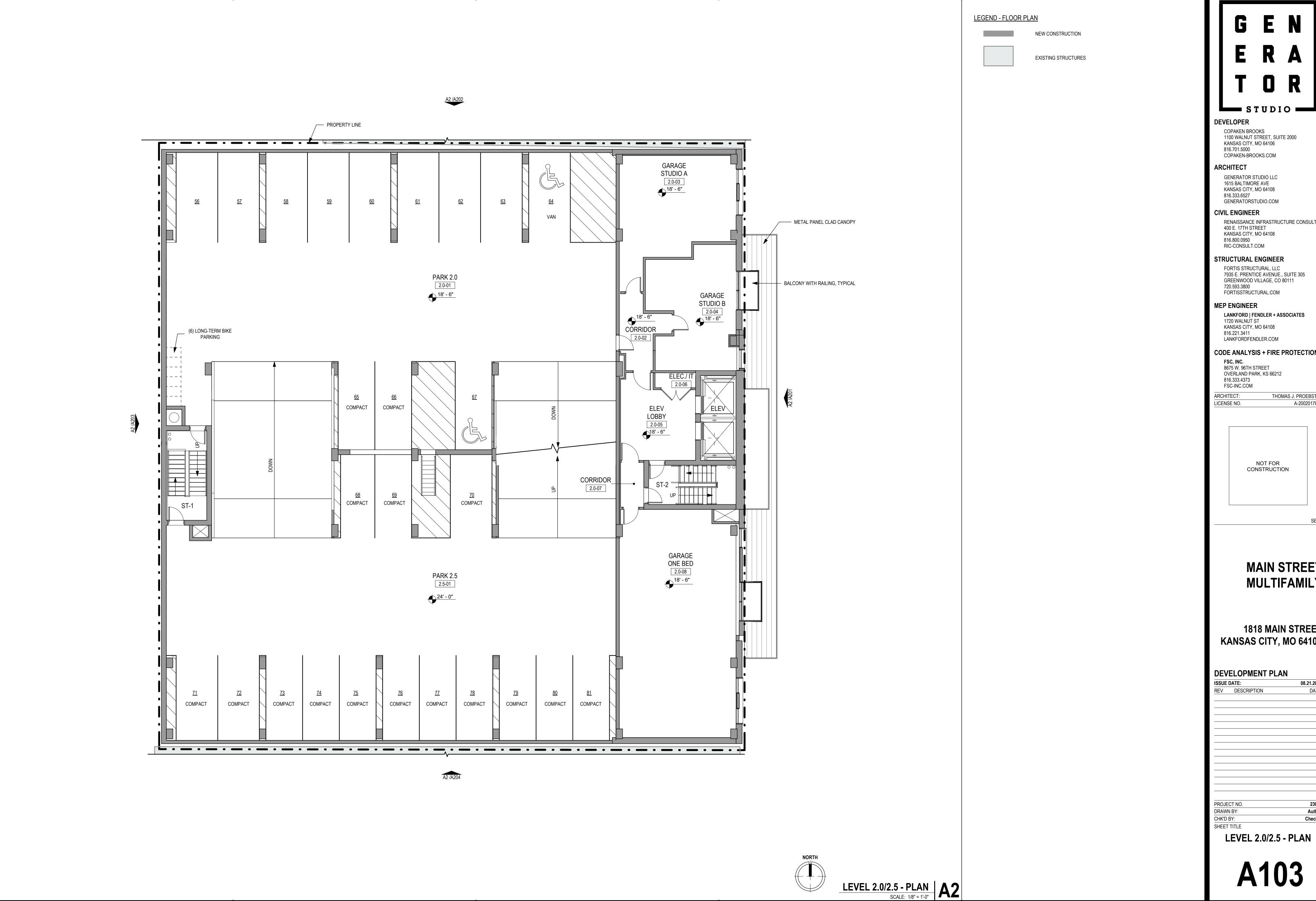
MAIN STREET MULTIFAMILY

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DEVELOPMENT PLAN

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LEVEL 1.0/1.5 - PLAN



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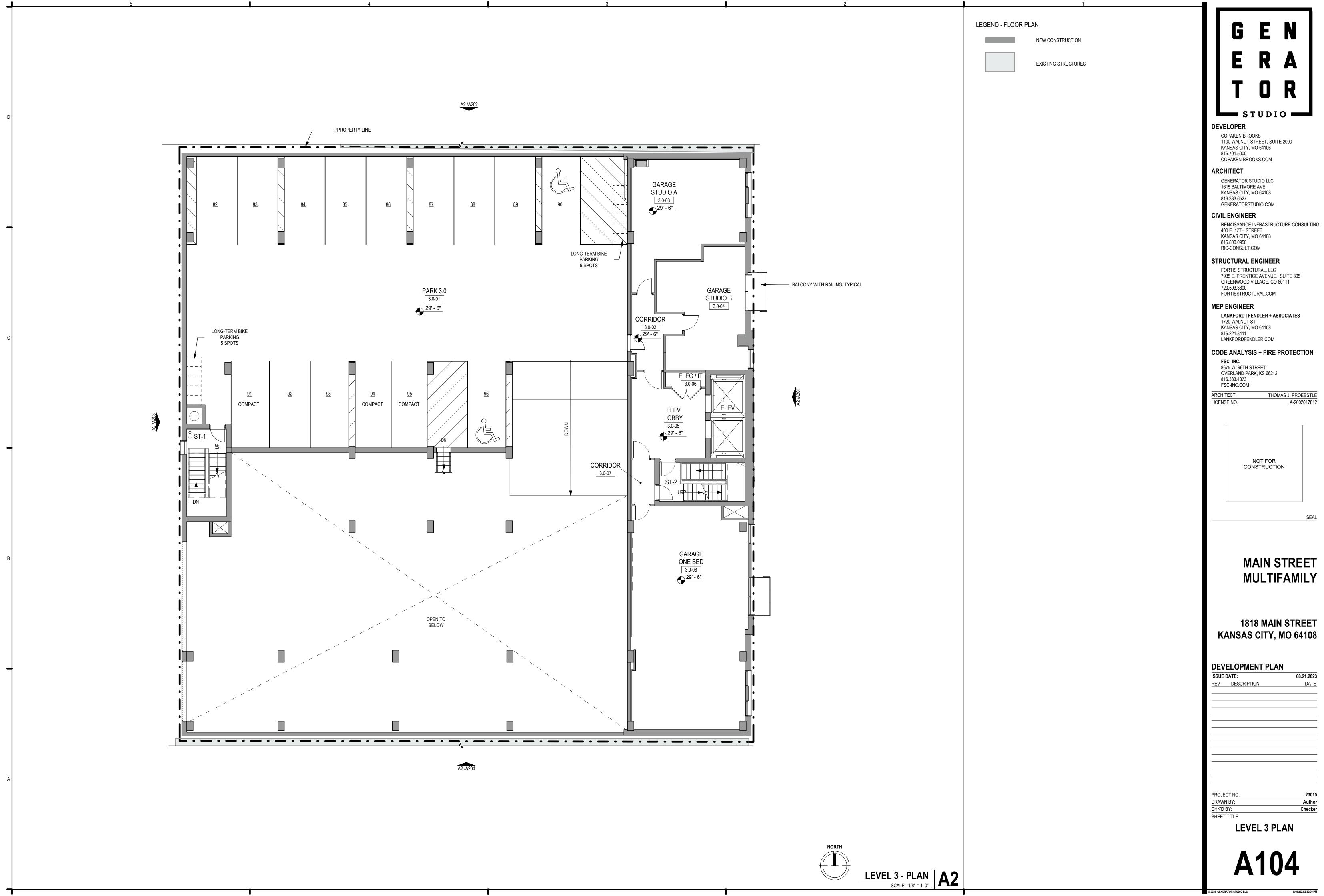
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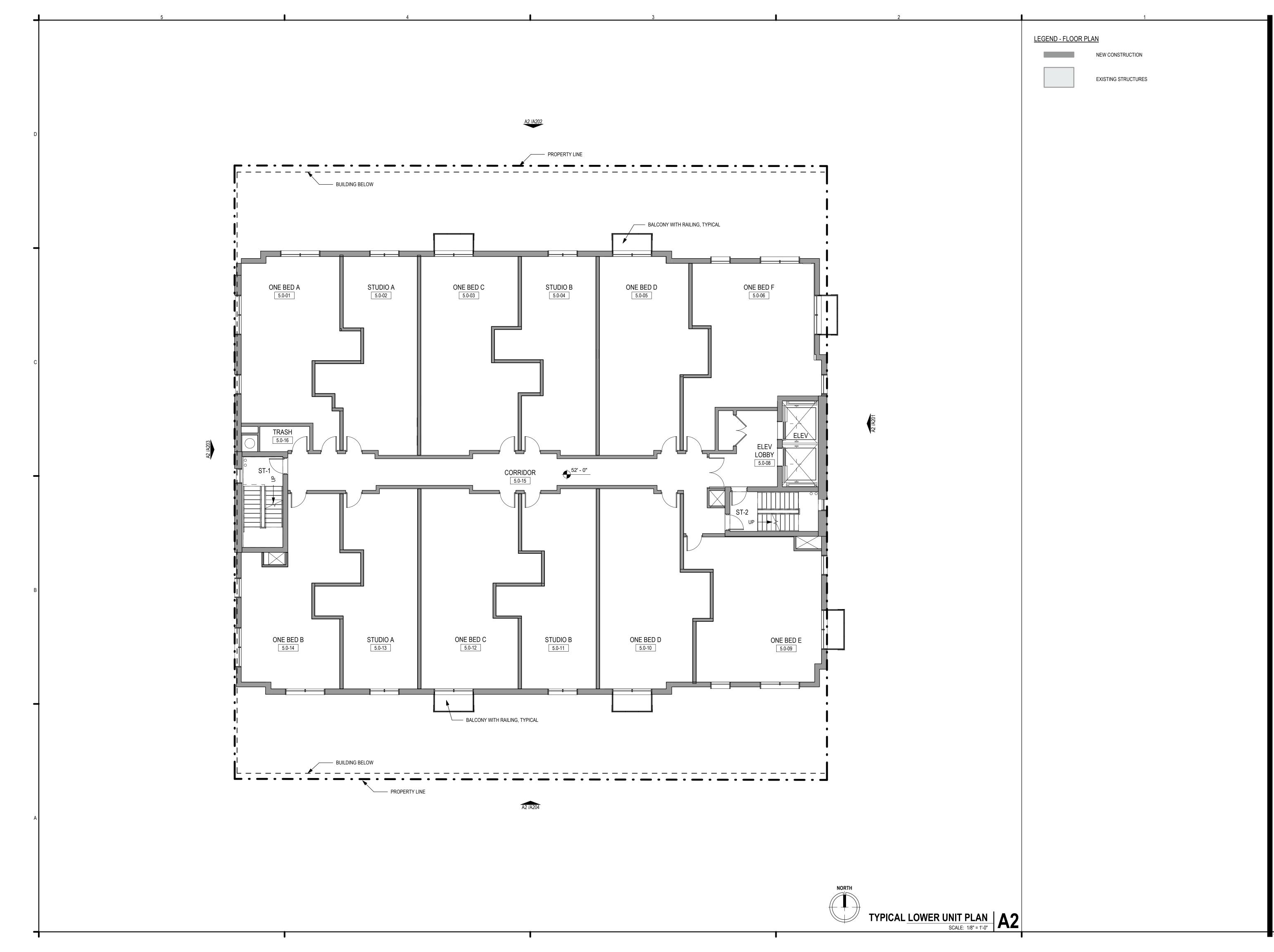
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MULTIFAMILY

KANSAS CITY, MO 64108



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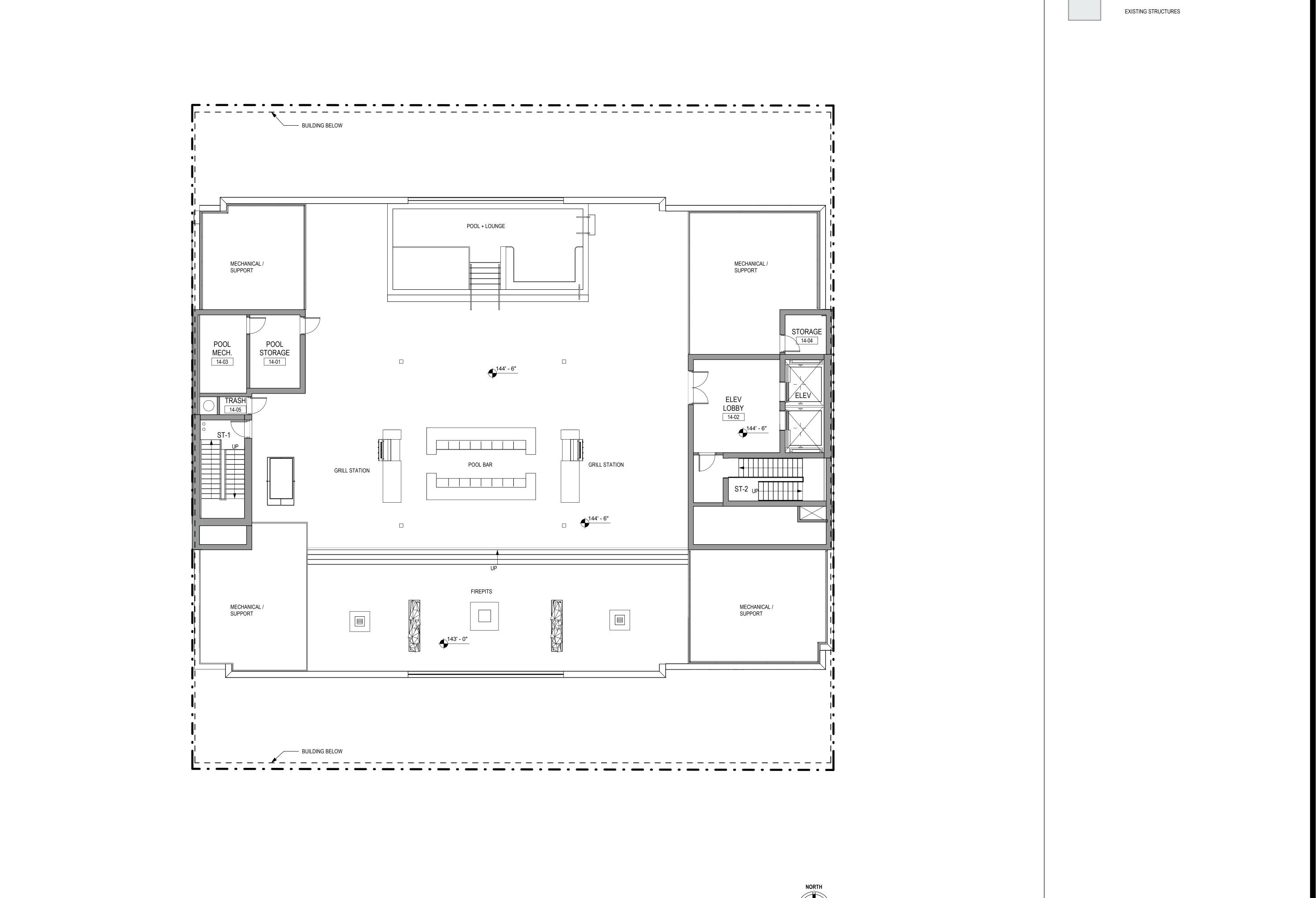
MAIN STREET MULTIFAMILY

1818 MAIN STREET KANSAS CITY, MO 64108

DEVELOPMENT PLAN

ISSUE DATE:
REV DESCRIPTION **08.21.2023**DATE

TYPICAL TOWER UNIT PLAN



LEGEND - FLOOR PLAN

LEVEL 14 - PLAN (PATIO & POOL)

SCALE: 1/8" = 1'-0"

NEW CONSTRUCTION

STUDIO -

DEVELOPER

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COPAKEN-BROOKS.COM ARCHITECT

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CIVIL ENGINEER

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STRUCTURAL ENGINEER

RIC-CONSULT.COM

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MAIN STREET MULTIFAMILY

1818 MAIN STREET KANSAS CITY, MO 64108

DEVELOPMENT PLAN

ISSUE DATE:
REV DESCRIPTION **08.21.2023**DATE

LEVEL 14 - PLAN (PATIO & POOL)







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T O R

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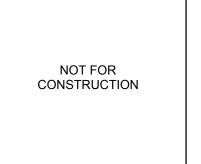
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MAIN STREET MULTIFAMILY

1818 MAIN STREET KANSAS CITY, MO 64108

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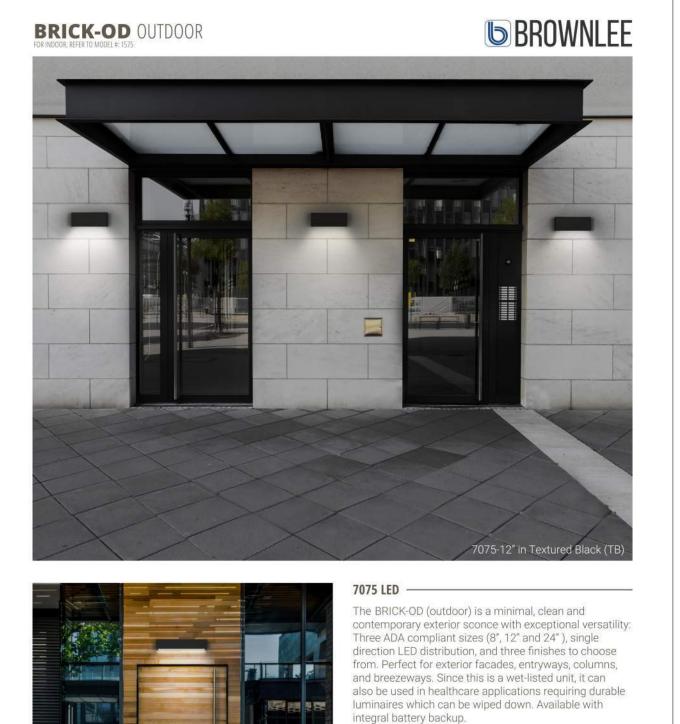
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SHEET TITLE

SITE PLAN -PHOTOMETRIC

E001

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LIGI	HT FIXTURE SCH	EDULE				
TYPE	MANUFACTURER	LAMPS	WATTS VOLTS	DIMMING PROTOCOL	_ DESCRIPTION	NOTE
S1	LUMENWERX VIA 2 SEAL V2SEALP-D-WET-EPDO-SW-80-350-35-UNV-D1	LED 350LM / FT 80CRI, 3500K	3.52 / FT UNV	1% 0-10	RECESSED LINEAR FIXTURE WITH DIRECT ILLUMINATION AND 0-10V DIMMING. COORDINATE FINISH COLOR WITH ARCHITECT.	
S2	BROWNLEE BRICK-OD 7075-08-TB-C13-35K	LED 1210LM 80CRI, 3500K	13 UNV	1% 0-10	8" ALUMINUM WELDED EXTERIOR FIXTURE WITH NO EXPOSED HARDWARE ON SIDES OR BOTTOM. WET RATED WITH CLOSED CELL FOAM GASKET AND DURABLE CORROSION RESISTANT POWDER COATING.	

P:\23.7200\23.7273.00_1818 Main Multifamily\Drawings\23-7273-00_1818Main_MEP_R21-GSLogoNEW_Black-1954677.jpg

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MAIN STREET **MULTIFAMILY**

1818 MAIN STREET KANSAS CITY, MO 64108

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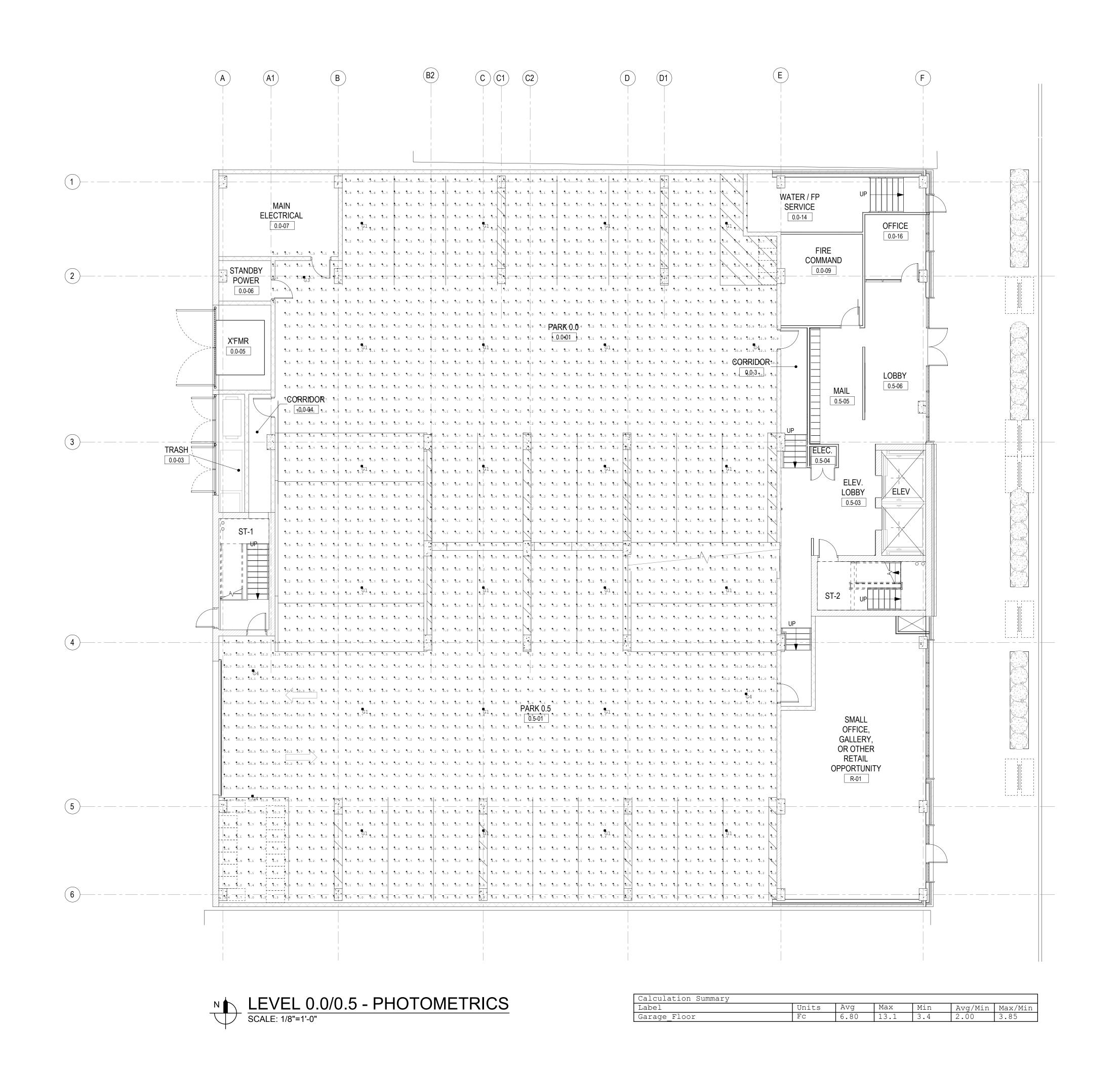
PROJECT NO. DRAWN BY: Author CHK'D BY:

SITE PLAN - FIXTURES

SHEET TITLE

1730 Walnut Street Kansas City, Missouri 64108 1915 Frederick Avenue, St. Joseph, Missouri 64501 Phone: 816.221.1411 | Fax: 816.221.1429 LANKFORD | FENDLER + ASSOCIATES, CONSULTING ENGINEERS, INC. COPYRIGHT © 2022 Project No. 23.7273.00 COA No. 2006001168

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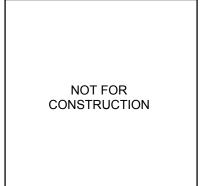
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MAIN STREET MULTIFAMILY

1818 MAIN STREET KANSAS CITY, MO 64108

DEVELOPMENT PLAN

ISSUE DATE: 08.21.20
REV DESCRIPTION DATE

PROJECT NO.
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CHK'D BY:

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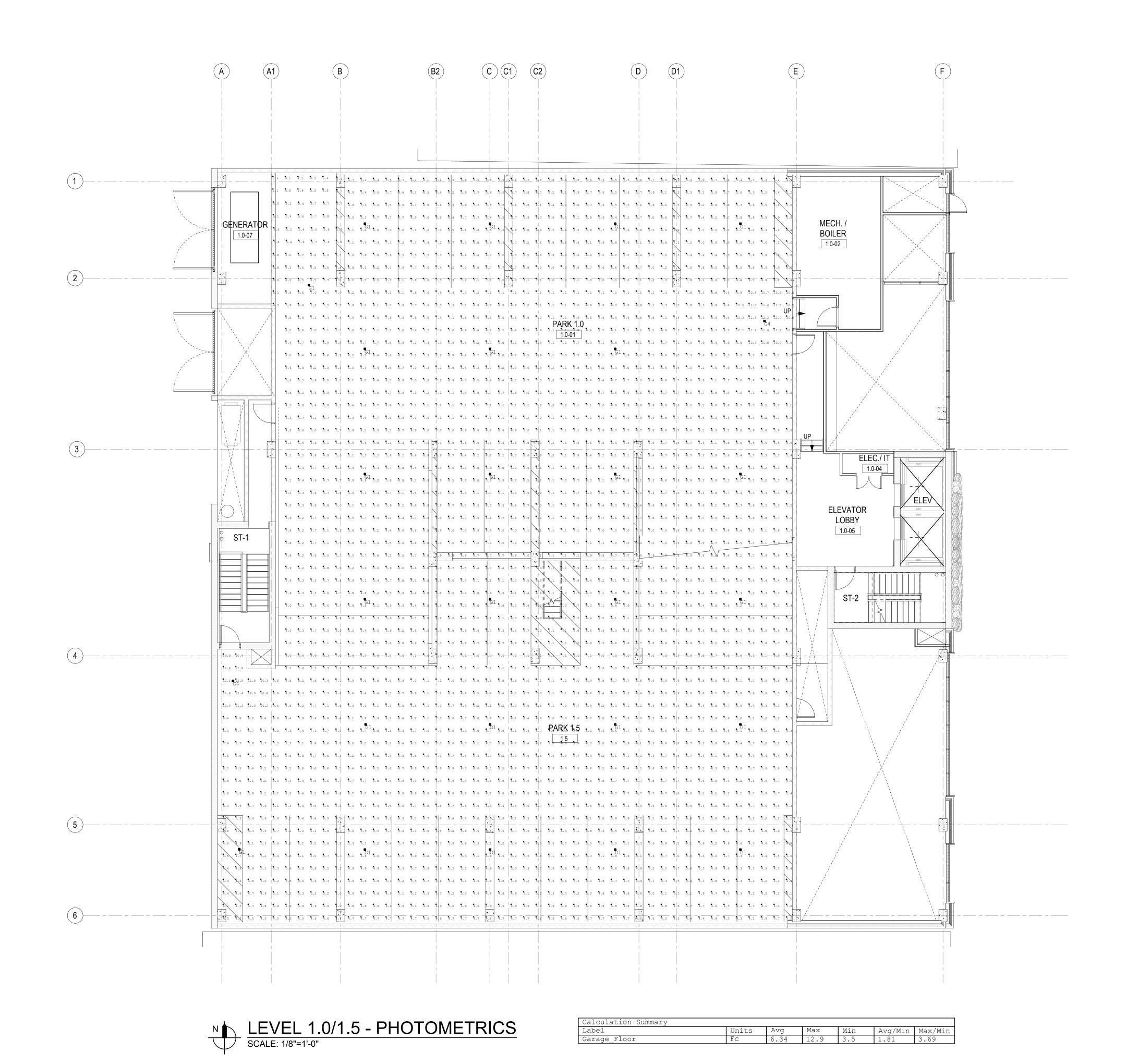
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PHOTOMETRICS

E201

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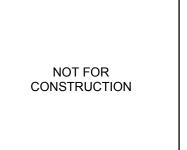
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MAIN STREET MULTIFAMILY

1818 MAIN STREET KANSAS CITY, MO 64108

DEVELOPMENT PLAN

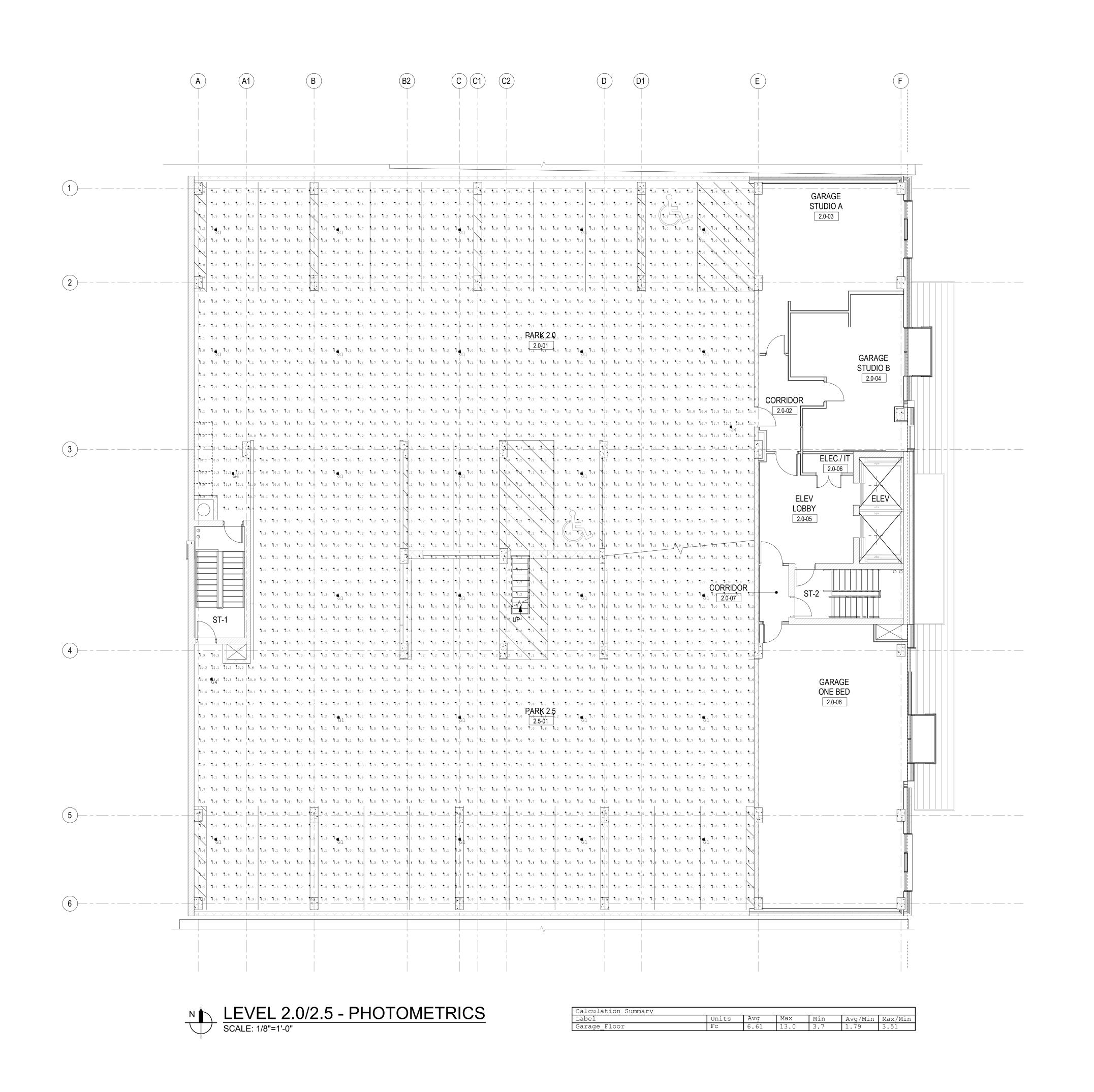
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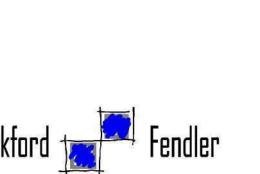
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PHOTOMETRICS

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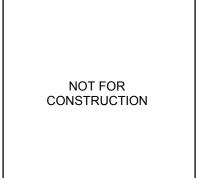
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MAIN STREET MULTIFAMILY

1818 MAIN STREET KANSAS CITY, MO 64108

DEVELOPMENT PLAN

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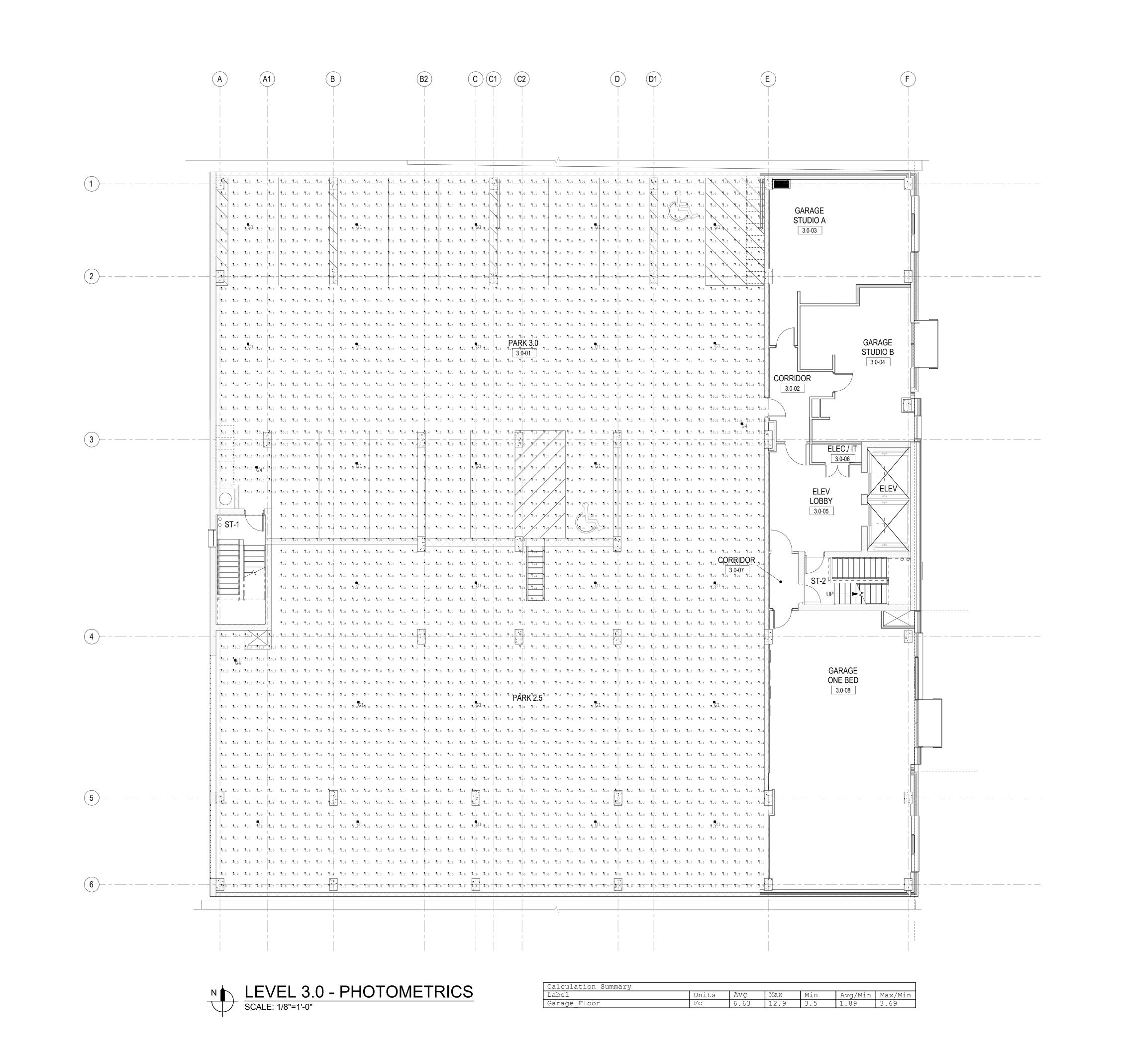
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PHOTOMETRICS

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2021 GENERATOR STUDIO LLC





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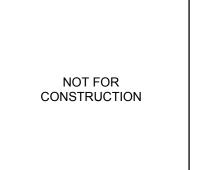
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MAIN STREET MULTIFAMILY

1818 MAIN STREET KANSAS CITY, MO 64108

DEVELOPMENT PLAN

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PHOTOMETRICS

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+ associates

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NOTICE OF APPLICATION

To whom it may concern,

This letter serves as notice of our intent to file an application with the City Planning and Development Department in the City of Kansas City, Mo. The application is for consideration of a

Permit
Preliminary plat
Development plan
Rezoning from District

to District

Project Description:

City Code Engagement Requirements:

You are receiving this letter since city code requires a public meeting be held regarding our application(s) and that all contacts associated to any registered neighborhood or civic organization whose boundaries include the project property address are notified. We are contacting you and all other registered contacts for your neighborhood organization to initiate a dialogue about a public meeting. This meeting may be hosted by your organization or ours, and we would like to discuss this with you. Please consult with your neighborhood organization and then contact us (contact information provided below) as soon as possible to discuss meeting details. After discussion, please select one member from your organization to email the City of Kansas City, Mo. at publicengagement@kcmo.org with written confirmation of who is hosting the meeting.

Name:

Email:

Phone:

Title/Role:

Company/Employer:

Representing:

If we do not receive the confirmation email referenced above within ten calendar days, we will host the meeting ourselves. And, as a registered contact, you will be invited. Our application requires approval from the Board of Zoning Adjustment or City Council following a recommendation from the City Plan Commission. After this meeting, the City Plan Commission will hold a public hearing at City Hall. If and when our application is docketed for City Plan Commission consideration, a notice of this hearing will be mailed to all property owners within 300 feet of our project address, as well as contacts with your organization that have provided a mailing address.

Sincerely,



CITY PLANNING & DEVELOPMENT

Public Meeting Summary Form

Project Case #
Meeting Date:
Meeting Location:
Meeting Time (include start and end time):
Additional Comments (optional):

Meeting Summary

Generator Studio (GS), Copaken Brooks (CB), and Centric Projects (CP) represented the design & construction team. A project overview as provided with supplemental plans, elevations, and massing studies. Following overview the floor was open to attendees for questions and comments. A brief summary of commentary follows to supplement the included zoom recording. Note that items are shorted for clarity in narrative form.

Question: Why metal panel was chosen for the exterior of the tower?

GS: Material was chosen to complement the brick facade on lower portion of building.

CB: Material also aids in creation of a modern aesthetic.

Question: Will light reflecting off of the metal panel would be an issue? GS: Panels will have a matte finish and light reflectance will be less than that of a glass facade.

Question: Will there be events / notable noise from the rooftop common area? CB: Roof is a tenant amenity, not as an event space. There will likely be some music other sounds but rental for large events is not anticipated.

(See additional comments on following page)

Meeting Summary (continued)

Question / Concern: Multiple attendees had concerns regarding alley access and the garage entrance to adjacent 1819 Baltimore. Currently residents utilize the project site to allow for increased turning area when entering / exiting the garage. This extra space will no longer exist once the 1818 Main project is built.

CB: The project team continues to study possible solutions to allow for additional turning area; to date there is not a simple modification. The project team is assisting in development and early phase conversations regarding a retaining wall modification to the property located north of 1819 Baltimore, but notes that the lot is not under design team control. 1819 Homeowners Association is included in conversations.

Question: What is the anticipated construction timeline?

CP: Project duration anticipated at 24 months, start date in late fall 2023. The alley to the west of the project site would be partially closed during construction. The alley closure would not limit access to the 1819 parking garage.

Question: Where will equipment would be staged during construction?

CP: As much as possible will be stored on site. They anticipate applying for a parking lane closure permit to create a delivery zone along 19th street.

Question: What are anticipated construction hours?

CP: Typical construction hours would be Mon. - Fri. 7:00AM - 5:00PM, with Saturday as a rain day make up. Occasional after hours work may be required.

Question: Where do you anticipate a construction crane?

CP: (Provides visual diagram with crane location near SE corner of site.)

Owner of Michael's raised concerns that the crane would be picking up materials and moving them over his property.

CP: In this configuration they generally intend to rotate materials from 19th St to project site over the alley in lieu of over the building. Construction plan shared is very preliminary; will continue to meet with stakeholders as project advances.

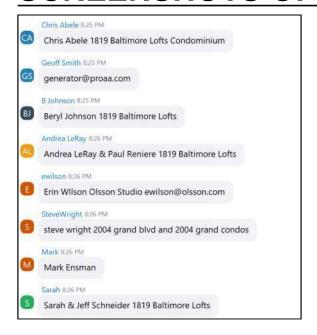
Question: How much retail space will be provided? Are leasing challenges anticipated? CB: Approximately 1000 SF retail planned along south portion of Main St frontage. Other Copaken Brooks properties nearby have leased retail suites. Examples: Savoy Tea and The One Bridal at Arterra and the Mercury Room at Reverb.

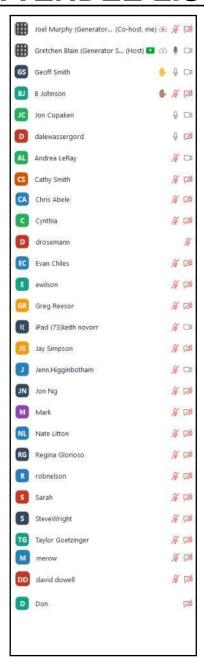
MEETING RECORDING:

https://us02web.zoom.us/rec/share/fb2C-zClS5zoSZD8Yq5OPBlt6gqBVGGBqmgOGSyM0nZtQ-mZjE-n8nS9Vi2_ScEB.GOpYg4WVYlbvGpsD

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SCREENSHOTS OF ATTENDEE LIST





Meeting Sign-In Sheet

Project Name and Address

Name	Address	Phone	Email
Gretchen Blain (Generator Studio)		(816) 333-6527	gretchen@generatorstudio.com
Tom Proebstle (Generator Studio)		(816) 333-6527	tom@generatorstudio.com
Joel Murphy (Generator Studio)		(816) 333-6527	joel@generatorstudio.com
Nate Litton (Centric)		(816) 389-8300	rob.nelson@centric.build
Nate Litton (Centric)		(816) 389-8300	nate.litton@centric.build
Evan Chiles (Centric)		(816) 389-8300	evan.chiles@centric.build
Jon Copaken (Copaken Brooks)		(816) 701-5006	jcopaken@copaken-brooks.com
Jon Ng (Copaken Brooks)		(816) 701-5016	jng@copaken-brooks.com
Chris Abele	1819 Baltimore Lofts Condominium		
Geoff Smith			generator@proaa.com
Beryl Johnson	1819 Baltimore Lofts Condominium		

Andrea LeRay	1819 Baltimore Lofts Condominium	
Paul Reniere	1819 Baltimore Lofts Condominium	
Erin Wilson		ewilson@olsson.com
Steve Wright	2004 Grand Condos	
Mark Ensman		
Sarah Schneider	1819 Baltimore Lofts Condominium	
Jeff Schneider	1819 Baltimore Lofts Condominium	
Regina Glorioso		
Cathy Smith		
Taylor Goetzinger		
Jay Simpson		
Greg Reesor		
Jenn Higginbotham		
Dale Wassergord		
Keith Novorr		
Wayne Powell		
David Dowell		