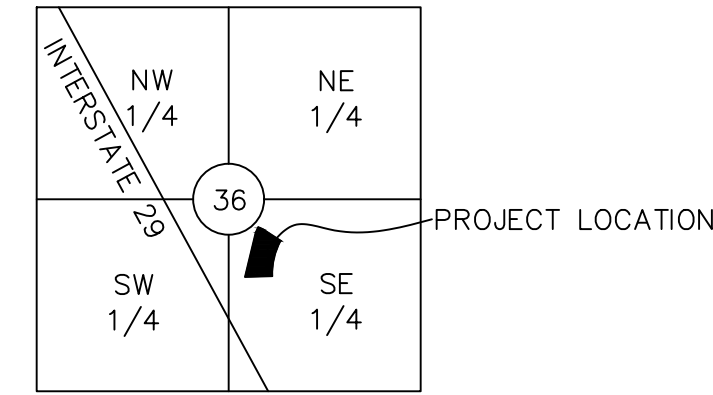


DEVELOPMENT PLANS FOR LIVSMART STUDIOS KANSAS CITY SECTION 36, TOWNSHIP 52, RANGE 34 CITY OF KANSAS CITY, PLATTE COUNTY, MISSOURI



VICINITY MAP

PROJECT TEAM

DEVELOPER

ALTIRA HOTELS KCI, LLC
2323 GRAND BOULEVARD, SUITE 1100
KANSAS CITY, MO 64108
CONTACT: MIKE PATEL
EMAIL: MIKEPATEL@MARQUEEHOSPITALITY.COM

CIVIL ENGINEER, LANDSCAPE ARCHITECT

KIMLEY-HORN & ASSOCIATES, INC.
805 PENNSYLVANIA AVENUE, SUITE 150
KANSAS CITY, MO 64105
TEL: (816) 652-0350
PRIMARY CONTACT: MATTHEW KIST, P.E.
EMAIL: MATT.KIST@KIMLEY-HORN.COM
SECONDARY CONTACT: KAITLIN RAYNOR
EMAIL: KAITLIN.RAYNOR@KIMLEY-HORN.COM

ARCHITECT, LIGHTING

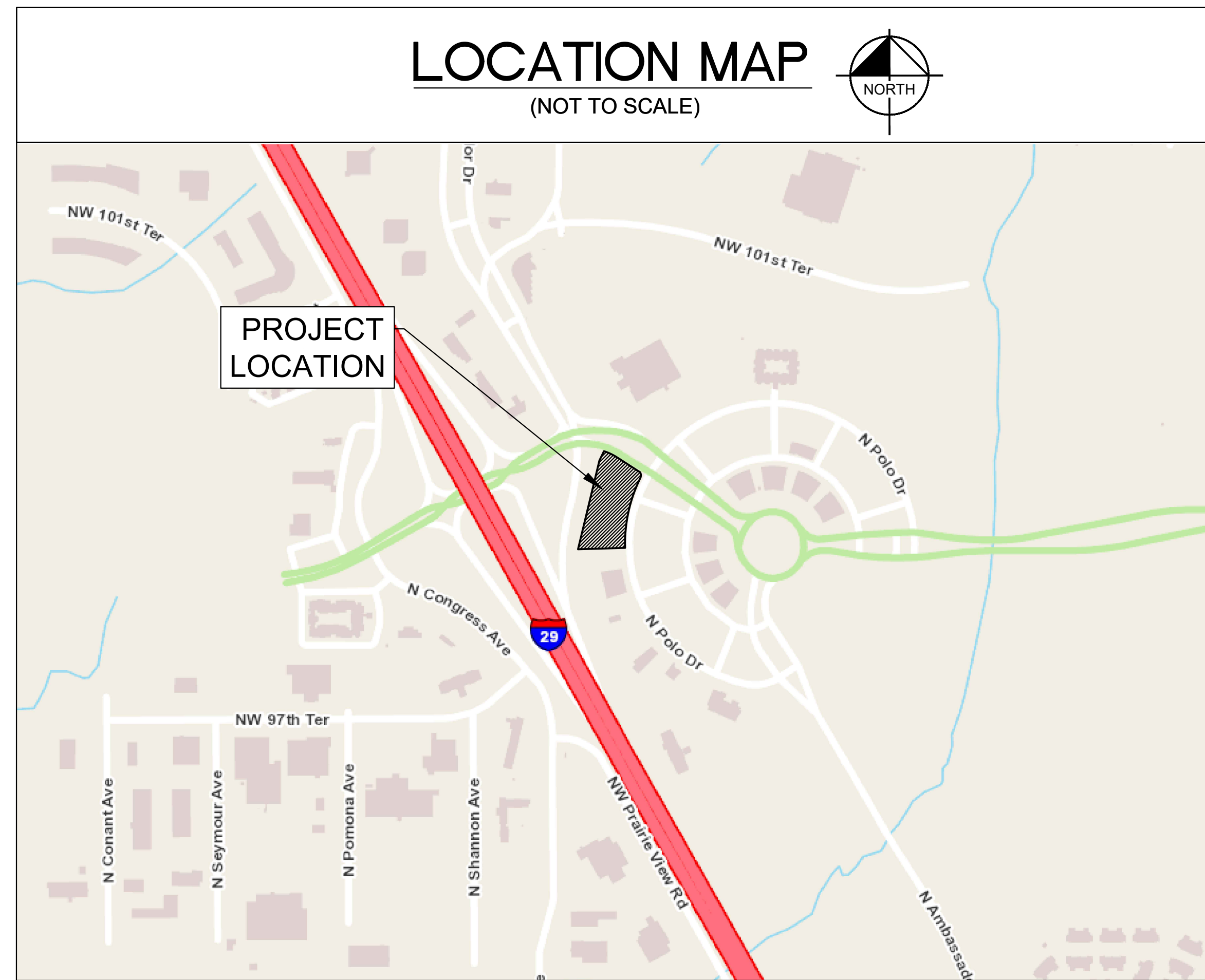
TYPE SIX
920 S MAIN ST, SUITE 150
GRAPEVINE TX, 76051
TEL: (852) 365-3381
PRIMARY CONTACT: JAMES LUSTY
EMAIL: JAMES.LUSTY@TYPE-SIX.COM
SECONDARY CONTACT: DYLAN SCOTT
EMAIL: DYLAN.SCOTT@TYPE-SIX.COM

LEGAL DESCRIPTION

TRACT A OF THE CERTAIN LOT SPLIT SURVEY OF LOTS 12D, 12E AND 12F, EXECUTIVE HILLS NORTH, BLOCKS 12 AND 26, KANSAS CITY, PLATTE COUNTY, MISSOURI MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT SPLIT, THENCE NORTH 13 DEGREES 32 MINUTES 44 SECONDS EAST, A DISTANCE OF 512.96 FEET; THENCE NORTH 25 DEGREES 46 MINUTES 55 SECONDS EAST, A DISTANCE OF 54.91 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF TIFFANY SPRINGS PARKWAY SAID POINT ALSO BEING A POINT OF CURVATURE, THENCE CONTINUING WITH SAID SOUTHERLY RIGHT-OF-WAY LINE OF TIFFANY SPRINGS PARKWAY, ON A CURVE TO THE RIGHT, HAVING A RADIUS OF 272.00 FEET, A CENTRAL ANGLE OF 15 DEGREES 26 MINUTES 25 SECONDS, AN INITIAL TANGENT BEARING SOUTH 72 DEGREES 36 MINUTES 33 SECONDS EAST, AN ARC DISTANCE OF 73.38 FEET; THENCE CONTINUING WITH SAID SOUTHERLY RIGHT-OF-WAY LINE OF TIFFANY SPRINGS PARKWAY, SOUTH 57 DEGREES 00 MINUTES 00 SECONDS EAST, A DISTANCE OF 146.18 FEET TO A POINT OF CURVATURE SAID POINT ALSO BEING ON THE WESTERLY RIGHT-OF-WAY LINE OF NORTH POLO DRIVE, THENCE CONTINUING WITH SAID WESTERLY RIGHT-OF-WAY LINE OF NORTH POLO DRIVE, ON A CURVE TO THE RIGHT, HAVING A RADIUS OF 35.00 FEET, A CENTRAL ANGLE OF 53 DEGREES 28 MINUTES 54 SECONDS, AN INITIAL TANGENT BEARING OF SOUTH 27 DEGREES 18 MINUTES 29 SECONDS EAST, AN ARC DISTANCE OF 32.67 FEET; THENCE ON A CURVE TO LEFT, HAVING A RADIUS OF 734.67 FEET, A CENTRAL ANGLE OF 29 DEGREES 56 MINUTES 16 SECONDS, AN ARC DISTANCE OF 375.91 FEET; THENCE SOUTH 88 DEGREES 18 MINUTES 00 SECONDS WEST, A DISTANCE OF 246.12 FEET TO THE POINT OF BEGINNING. THE ABOVE DESCRIBED TRACT CONTAINS 103.622 SQUARE FEET OR 2.38 ACRES.

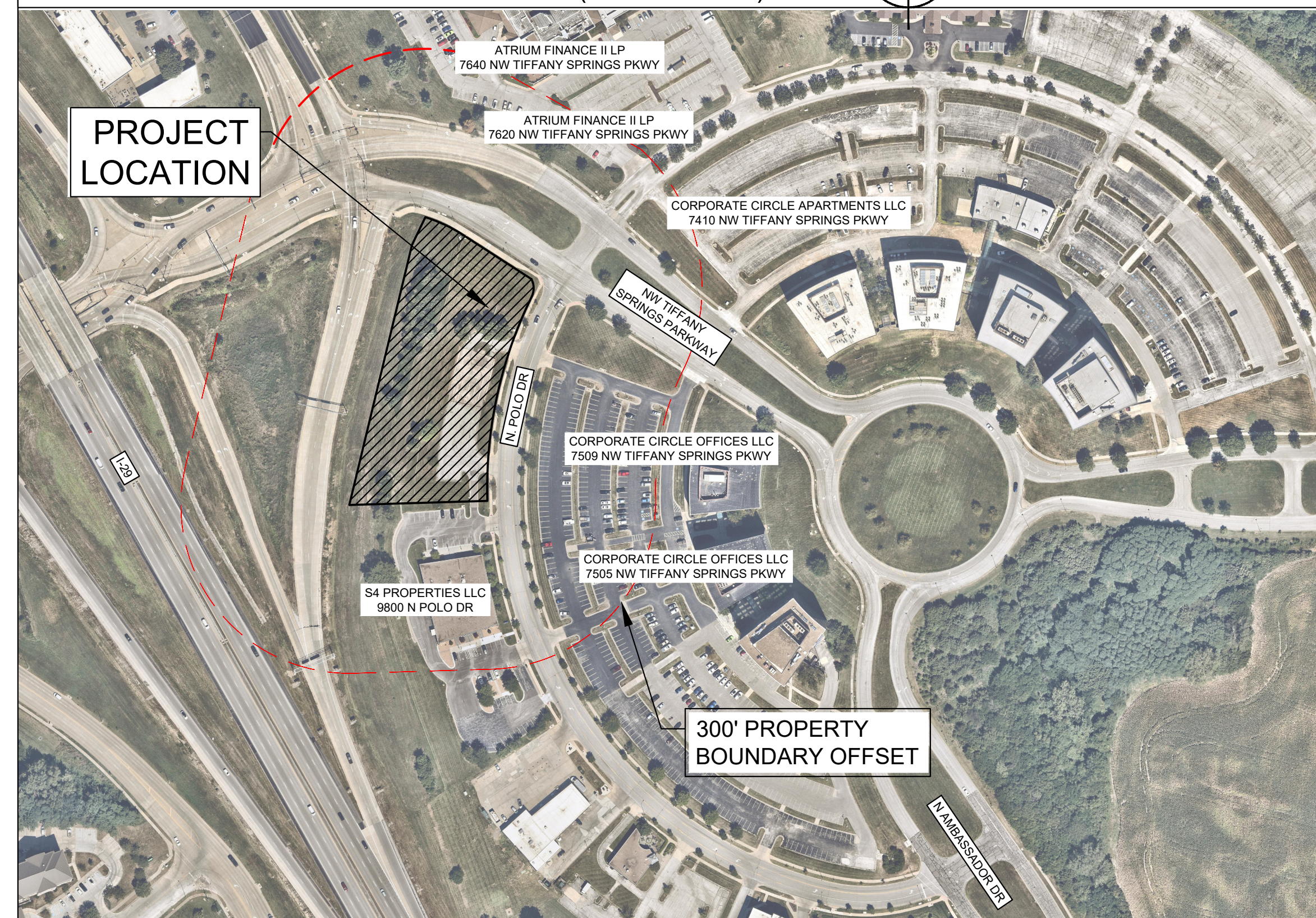
LOCATION MAP

(NOT TO SCALE)



AERIAL MAP

(NOT TO SCALE)



Sheet List Table	
Sheet Number	Sheet Title
C0	COVERSHEET
C1	EXISTING CONDITIONS
C2	SITE PLAN
C3	GRADING PLAN
C4	UTILITY PLAN
C5	FIRE TRUCK TURNING
L1	LANDSCAPE ARCHITECTURAL PLAN
A20.00	3D BUILDING VIEWS
A1.01	01 DIMENSION PLAN
A1.02	02 DIMENSION PLAN
A5.01	BUILDING ELEVATIONS
A5.02	BUILDING ELEVATIONS
A0.03	SITE ELEMENTS
PH1.01	PHOTOMETRICS
PH1.02	LIGHT FIXTURE DETAILS

Property Owner	Property Address	Mailing Address
S4 Properties LLC	9800 N Polo Dr	118 N Conistor Ln Ste B #504 Liberty, MO 64068
Corporate Circle Offices LLC	7505 NW Tiffany Springs Pkwy, 7509 NW Tiffany Springs Pkwy	7505 NW Tiffany Springs Pkwy Ste 100 Kansas City, MO 64153
Corporate Circle Apartments LLC	7410 NW Tiffany Springs Pkwy	7505 NW Tiffany Springs Pkwy Ste 100 Kansas City, MO 64153
Atrium Finance II LP	7620 NW Tiffany Springs Pkwy, 7640 NW Tiffany Springs Pkwy	12735 Morris Rd, Ext, Ste 400 Alpharetta, GA 30004

DEVELOPMENT PLAN DEVIATIONS

- BUILDING HEIGHT EXCEEDS MAXIMUM HEIGHT OF 55' ALLOWED FOR ZONING B3-3. REQUESTING DEVIATION TO ALLOW FOR INCREASE OF MAXIMUM BUILDING HEIGHT BY 5' TO ALLOW FOR 60' MAX.
-
-

DEVELOPMENT PLAN VARIANCES

- PER SECTION 88-323-02-B, IF ADJACENT TO AND WITHIN 150 FEET OF A PARKWAY, PARKING LOCATED ON THE SIDE OF A BUILDING SHALL BE SET BACK A MINIMUM OF 10 FEET BEHIND THE FRONT BUILDING LINE OR 30 FEET FROM THE RIGHT-OF-WAY, WHICHEVER IS GREATER. WITH THE PLATTED 50' BUILDING SETBACK FROM NW TIFFANY SPRING PARKWAY, THIS REQUIREMENT CREATES A 60' PARKING SETBACK (10' FURTHER THAN THE PLATTED SETBACK). DUE TO SITE CONSTRAINTS, THE PLAN IS SEEKING A VARIANCE FROM THE ABOVE SECTION, TO ALLOW PARKING WITHIN 10' OF THE EXISTING R/W LINE. IF THE VARIANCE IS NOT GRANTED BY THE BZA, THE PLAN WILL BE REVISED TO RECONFIGURE THE 10 PARKING SPACES IDENTIFIED IN THIS PLAN, LOCATED OFF THE NORTH-EAST CORNER OF THE BUILDING.

CITY COMMENTS

REVISIONS

No.	DATE	BY
1	05/17/24	KMR
2	05/29/24	KMR

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805 PENNSYLVANIA AVE, SUITE 150
KANSAS CITY, MO 64105
WWW.KIMLEY-HORN.COM

SCALE:
 DESIGNED BY: KMR
 DRAWN BY: KMR
 CHECKED BY: MDK

PRELIMINARY
 NOT FOR
 CONSTRUCTION

COVERSHEET

LIVSMART STUDIOS
KANSAS CITY
DEVELOPMENT PLAN

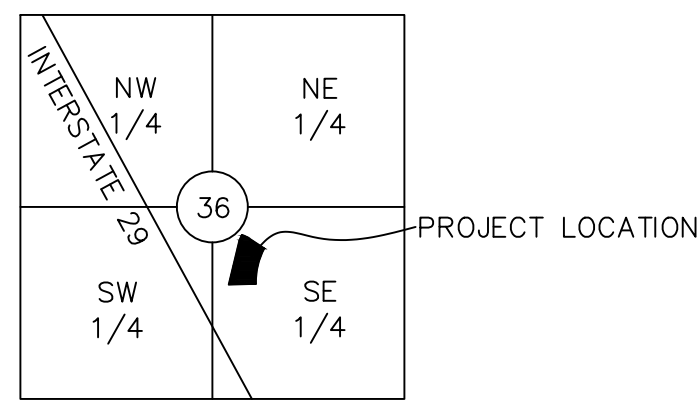
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KANSAS CITY, MO 64153

ORIGINAL ISSUE:
02/23/2024

KHA PROJECT NO.
268432000

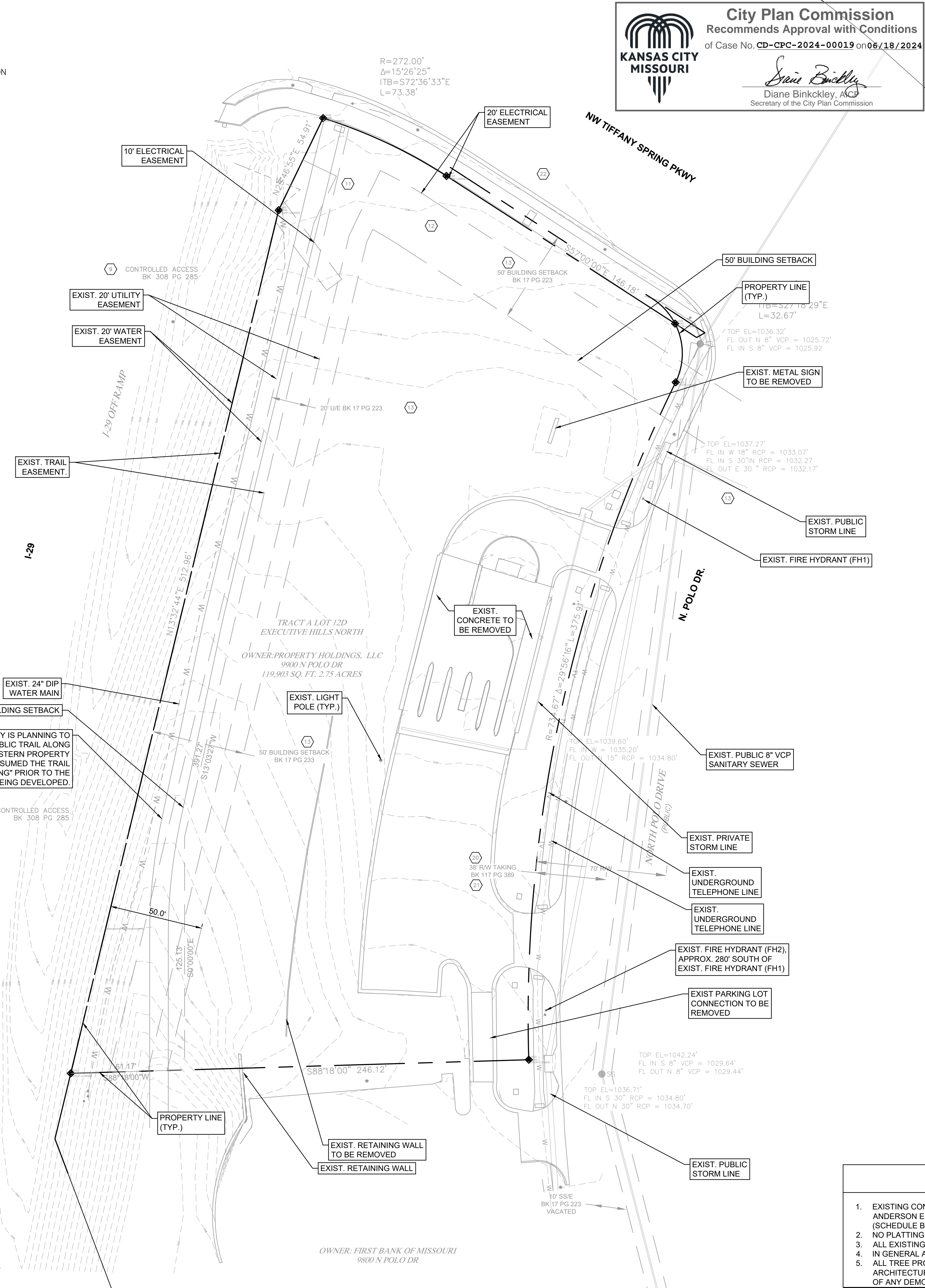
SHEET NUMBER
C0

Drawing name: K:\KAC_LIVE\268432000_Marquee Hotel KCM022 Design\CAD\ParSheet.dwg CD COVERSHEET May 29, 2024 3:48pm by: Kaitlin Raynor
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VICINITY MAP

LEGEND	
BM	BENCHMARK
CPB	COMMUNICATION PULL BOX
△CP	CONTROL POINT
●	FIRE HYDRANT
○FND	FOUND AS NOTED
☼	LIGHT POLE
Ⓜ	MAILBOX
Ⓜ	METAL SIGN
Ⓜ	PULL BOX
●SS	SANITARY SEWER MANHOLE
●ST	STORM MANHOLE
○T	TREE (SIZE/TYPE)
—	VERTICAL PIPE
●	WATER METER
●	WATER VALVE
●	YARD LIGHT
□	COLUMN
---	BURIED WATER LINE
---	BURIED FIBER OPTIC LINE
---	BURIED TELEPHONE LINE
---	BURIED GAS LINE
---	BURIED CABLE TELEVISION LINE
---	BURIED POWER LINE



City Plan Commission
 Recommends Approval with Conditions
 of Case No. CD-CPC-2024-00019 on 06/18/2024

 Diane Binkkley, ACS
 Secretary of the City Plan Commission

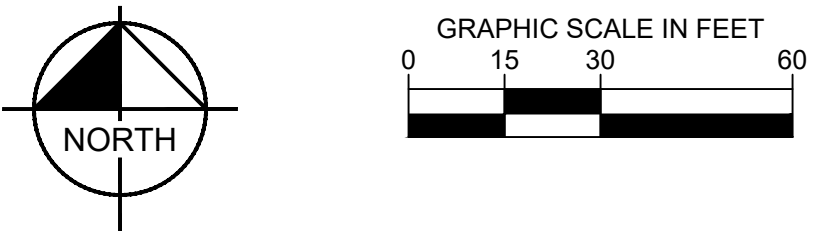
- KEY NOTE:** SCH. B NUMBER:
- #1: Any defect, lien, encumbrance, adverse claim, or other matter that appears for the first time in the Public Records or is created, attaches, or is disclosed between the Commitment Date and the date on which all of the Schedule B, Part I-Requirements are met. This exception is not a survey matter.
 - #2: Rights or claims of parties in possession not shown by the Public Records. This exception is not a survey matter.
 - #3: Easements, or claims of easements, not shown by the Public Records. This exception is not a survey matter.
 - #4: Any encroachment, encumbrance, violation, variation or adverse circumstances affecting Title that would be disclosed by an accurate and complete survey of the Land or that could be ascertained by an inspection of the Land. This exception is not a survey matter.
 - #5: Any lien or right to a lien for services, labor, material or equipment, unless such lien is shown by the Public Records at Date of Policy and not otherwise excepted from coverage herein. This exception is not a survey matter.
 - #6: Taxes, or special assessments, if any, not shown as existing liens by the Public Records. This exception is not a survey matter.
 - #7: The lien of the general taxes for the year 2022, and thereafter. General, state, county and city taxes and assessments for the year 2021 in the amount of \$14,793.82 are PAID. Parcel No. 17-7.0-36-000-015-004.000. This exception is not a survey matter.
 - #8: Lack of direct access to Highway No. I-29 from the land, such right of access having been taken by the State of Missouri by condemnation Suit No. C-11015 filed in the Circuit Court of Platte County, Missouri at Platte City and recorded in the Recorder of Deeds Office of Platte County as Document No. 39002 in Book 225, Page 441. This exception does not affect the subject property.
 - #9: Lack of direct access to Highway No. I-29 from the land, such right of access having been granted to the State of Missouri, acting by and through the State Highway Commission of Missouri by the deed recorded November 29, 1967 as Document No. 18138 in Book 307, Page 501 and by the deed recorded January 15, 1968 as Document No. 18552 in Book 308, Page 285. This exception affects the subject property and is plotted heron.
 - #10: Limitation on direct access to Tiffany Springs Parkway and lack of direct access to Highway I-29 from the premises in question as set forth in the Report of Commissioners as Document No. 19214 in Book 309, Page 225. This exception does not affect the subject property.
 - #11: Electric line easement granted to Missouri Public Service Company, a Missouri corporation recorded September 10, 1968 as Document No. 21217 in Book 313, Page 333. This exception affects the subject property and is plotted heron.
 - #12: Electric line easement granted to Missouri Public Service Company recorded September 10, 1968 as document No. 21218 in Book 313, Page 335. This exception affects the subject property and is plotted heron.
 - #13: Easements, restrictions and setback lines as per plat, recorded August 20, 1987 as Document No. 045729 in Plat Book 17, Page 223. Ordinance No. 100230, recorded May 3, 2010 as Document No. 2010005039 in Book 1156, Page 486, releasing easements. This exception affects the subject property and is plotted heron.
 - #14: Aviation and Noise Easement granted to Kansas City, Missouri a municipal corporation recorded August 20, 1987 as Document No. 045733 in Book 707, Page 381. This easement encompassed the entire property.
 - #15: Terms and Provisions as set forth in Agreement for Deferral of Construction for N. Executive Hills Boulevard, recorded August 20, 1987 as Document No. 045734 in Book 707, Page 382. This easement encompassed the entire property. Not a survey matter.
 - #16: Terms and Provisions as set forth in Cross Easement Agreement, by and between Livestock Executive Partners, a Missouri general partnership and Executive Hills North, Inc., a Kansas corporation, recorded March 23, 1988 as Document No. 002511 in Book 715, Page 739. Does not affect the subject property.
 - #17: Boundaries, descriptions and matters depicted on Certificate of Survey recorded January 25, 2000, as Document No. 0001067, in Survey Book 3, Page 14. This exception affects the subject property and is plotted heron.
 - #18: Terms and Provisions as set forth in Road Agreement, by and between North Properties, Inc., a Missouri corporation and First Bank of Missouri, a Missouri banking corporation, recorded March 13, 2000 as Document No. 0003141 in Book 922, Page 867. This exception does not affect the subject property.
 - #19: Restrictive Covenant Agreement, recorded March 13, 2000, as Document No. 0003142 in Book 922, Page 868 but deleting any covenant, condition or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status, or national origin to the extent such covenants, conditions or restrictions violate 42USC 3604(c) or any similar state statute or local ordinance. This exception affects the subject property, but is not a survey matter. Refer to document.
 - #20: Ordinance No. 110011 for condemnation and taking private property interests for public use, recorded March 8, 2011 as Document No. 2011002933 in Book 117, Page 389, which provides for the levy of assessments. This exception affects the subject property and is plotted heron.
 - #21: Report of Commissioners recorded March 6, 2012 as Document No. 2012003203 in Book 1187, Page 22.
 - #22: Terms and Provisions as set forth in Temporary Construction Easement as contained in the Warranty Deed, recorded January 30, 2013 as Document No. 2013001555 in Book 1205, Page 289.
 - #23: Tenancy rights, either as month to month, or by virtue of written leases of persons in possession of any part of the subject property. This exception is not a survey matter.

SURVEYOR'S REPORT

1. The basis of bearing for this survey is Missouri State Plane, West Zone, NAD 83.
2. A 1/2" x 24" rebar with a plastic cap stamped LS-62 has been set at every property corner unless noted otherwise.
3. The address of the subject property is 10000 North Polo Drive as shown on the Kansas City, Missouri Parcel Viewer and 9900 North Polo Drive on the Jackson County Missouri Parcel Viewer.
4. The subject property lies in Zone X, Other Areas, Areas determined to be outside the 0.2% annual chance floodplain, as shown on Flood Insurance Rate Map 29095C0043G effective January 20th 2017.
5. The subject property contains 119,903 square feet, or 2.75 acres.
6. The contour information shown here was taken from traditional survey methods. The vertical datum is NAVD 1988.
7. The subject property is zoned B3-3, Community Business, as shown on the Kansas City, Missouri GIS Website.
8. There 0 buildings on the subject property.
9. All substantial visible improvements have been shown on this survey.
10. There are zero visible parking spaces on the subject property.
11. The utility information shown on this survey has S.U.E. (Subsurface Utility Engineering) Level of C. Utility information shown on this survey was taken from utility maps provided to this surveyor by various utility companies and utility line locate markings provided by various utility locating companies per Missouri One Call or Kansas 811 utility Locate Ticket Number 221021059. This surveyor does not warrant or guarantee the location or size of any underground utility shown hereon. This surveyor does not warrant or guarantee that all utility lines, cables, pipes or wires (active or inactive) are shown on this survey.
12. The names of the adjoining owners have been taken from the Kansas City, Missouri GIS.
13. The Northeast corner of the subject property is located at the intersection of North Polo Drive and Northwest Tiffany Springs Parkway.
14. There no evidence of earth moving work on the subject property.
15. The surveyor is not aware of any proposed changes in street right of way lines.
16. Professional liability insurance policy obtained by the surveyor in the minimum amount of \$1,000,000 to be in effect throughout the contract term.
17. The easements, covenants, restrictions and entitlements shown on this survey were taken from the title commitment prepared by First American Title Insurance Company in File No. NCS-1121669-KCTY, dated 03/23/2022 at 8:00 a.m., and we have relied solely on said information.
18. No wetlands have been delineated on the subject property. The National Wetlands Inventory map does/does not show any wetlands on the subject property.
19. The subject property shown on this survey is the same as described in title commitment no. NCS-1121669-KCTY, prepared by First American Title Insurance Company. The subject tracts shown hereon are contiguous, with no gaps, gores or overlaps.
20. The subject property has direct access to N. Polo Dr., a publicly dedicated and constructed street. There is no direct access to Highway I-29.
21. The wall that encroaches on the subject property from the South is approximately encroaches 8 feet onto the subject property.
22. No easement was provided for the brick drive between the subject property, and the property to the south.

NOTES

1. EXISTING CONDITIONS IN THESE PLANS ARE BASED UPON AN ALTA SURVEY PREPARED BY ANDERSON ENGINEERING DATED 7/27/2023. SEE ALTA SURVEY FOR ADDITIONAL TITLE INFORMATION (SCHEDULE B)
2. NO PLATTING IS ANTICIPATED FOR THIS PROJECT.
3. ALL EXISTING EASEMENTS ARE INTENDED TO REMAIN, UNLESS SPECIFICALLY NOTED OTHERWISE
4. IN GENERAL ALL EXISTING FEATURES ARE TO BE REMOVED
5. ALL TREE PROTECTION MEASURES ARE TO BE INSTALLED AND APPROVED PER THE LANDSCAPE ARCHITECTURAL PLANS AND TREE PRESERVATION DETAILS/SPECIFICATIONS PRIOR TO THE START OF ANY DEMOLITION OR CONSTRUCTION ACTIVITY.



KMR	05/17/24	CITY COMMENTS	CITY COMMENTS	05/29/24	KMR	DATE	BY
1	2						
 © 2024 KIMLEY-HORN AND ASSOCIATES, INC. 800 PENNSYLVANIA AVE, SUITE 150 WASHINGTON, DC 20004 PHONE: 814-662-0300 WWW.KIMLEY-HORN.COM							
SCALE:	AS NOTED	DESIGNED BY: KMR	DRAWN BY: KMR	CHECKED BY: MDK	<div style="border: 1px solid black; padding: 5px; transform: rotate(-45deg); display: inline-block;"> PRELIMINARY NOT FOR CONSTRUCTION </div>		
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10000 N POLO DR. KANSAS CITY, MO 64153							
ORIGINAL ISSUE: 02/23/2024 KHA PROJECT NO. 268432000 SHEET NUMBER C1							

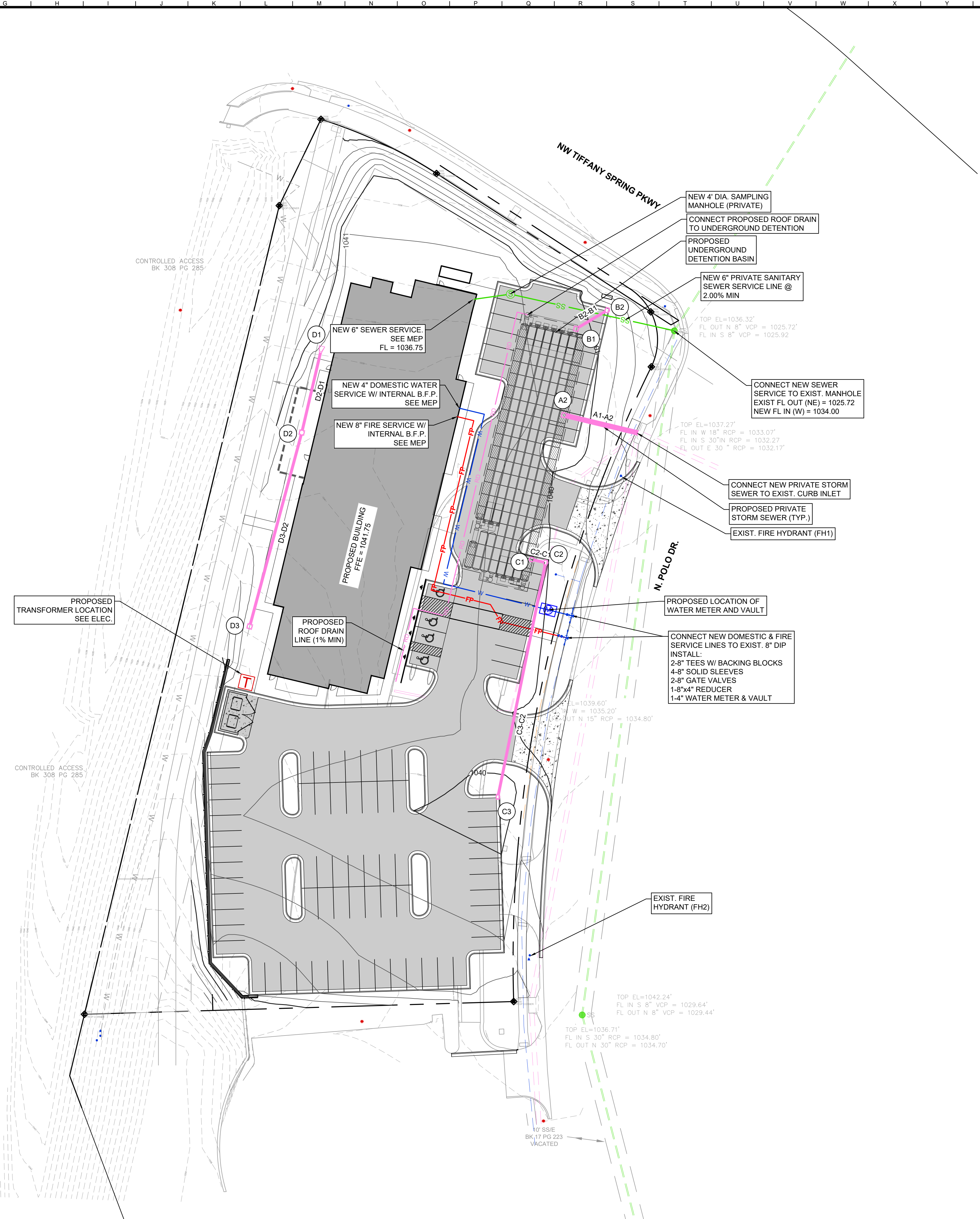
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Drawing name: K:\KHC_LIEV\268432000_Marquee Hotel KCMO\2 Design\CAD\Plan\Sheet\04 UTILITY PLAN.dwg CH UTILITY PLAN May 29, 2024 3:48pm by: Mallin Raynor
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City Plan Commission
 Recommends Approval with Conditions
 of Case No. **CD-CPC-2024-00019** on **06/18/2024**

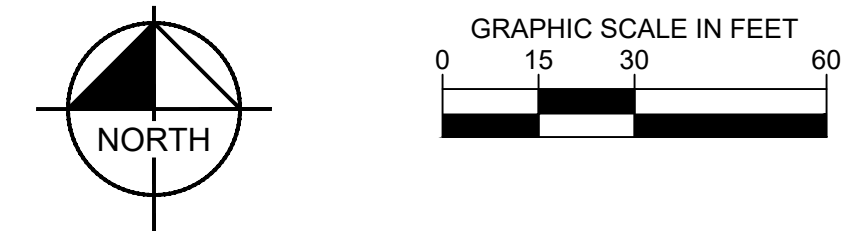
Diane Binkckley
 Diane Binkckley, AICP
 Secretary of the City Plan Commission




- ### UTILITY NOTES
- STORMWATER BMP'S AND STORMWATER DETENTION ARE BEING PROVIDED THROUGH AN ON-SITE UNDERGROUND DETENTION CHAMBER SYSTEM. THE PEAK FLOW WILL BE REDUCED AND LEVEL OF SERVICE WILL BE MET FOR A REDEVELOPED SITE.
 - ALL PROPOSED UTILITIES (WATER, SEWER, STORM, ETC.) ARE CONSIDERED PRIVATE, UNLESS NOTED OTHERWISE.
 - THE EXISTING FIRE HYDRANTS ALONG POLO DRIVE PROVIDE A MINIMUM 350' OF HOSE LENGTH COVERAGE AROUND THE BUILDING.
 - SEE ELECTRICAL FOR SITE LIGHTING & PHOTOMETRICS.

UTILITY LEGEND

	PROPOSED STORM SEWER
	PROPOSED NYLOPLAST CURB INLET
	PROPOSED NYLOPLAST AREA INLET
	PROPOSED SANITARY SEWER
	PROPOSED SANITARY MANHOLE
	PROPOSED DOMESTIC WATER SERVICE LINE
	PROPOSED FIRE PROTECTION SERVICE LINE
	PROPOSED ROOF DRAIN
	PROPOSED WATER METER & VAULT PER KCMO STDS.
	PROPOSED LIGHT POLE (SEE MEP)
	PROPOSED TRANSFORMER PAD (FOR REFERENCE ONLY)
	EXISTING PUBLIC SANITARY SEWER MAIN
	EXISTING PUBLIC WATER MAIN
	EXISTING PUBLIC STORM SEWER
	EXISTING UNDERGROUND CATV

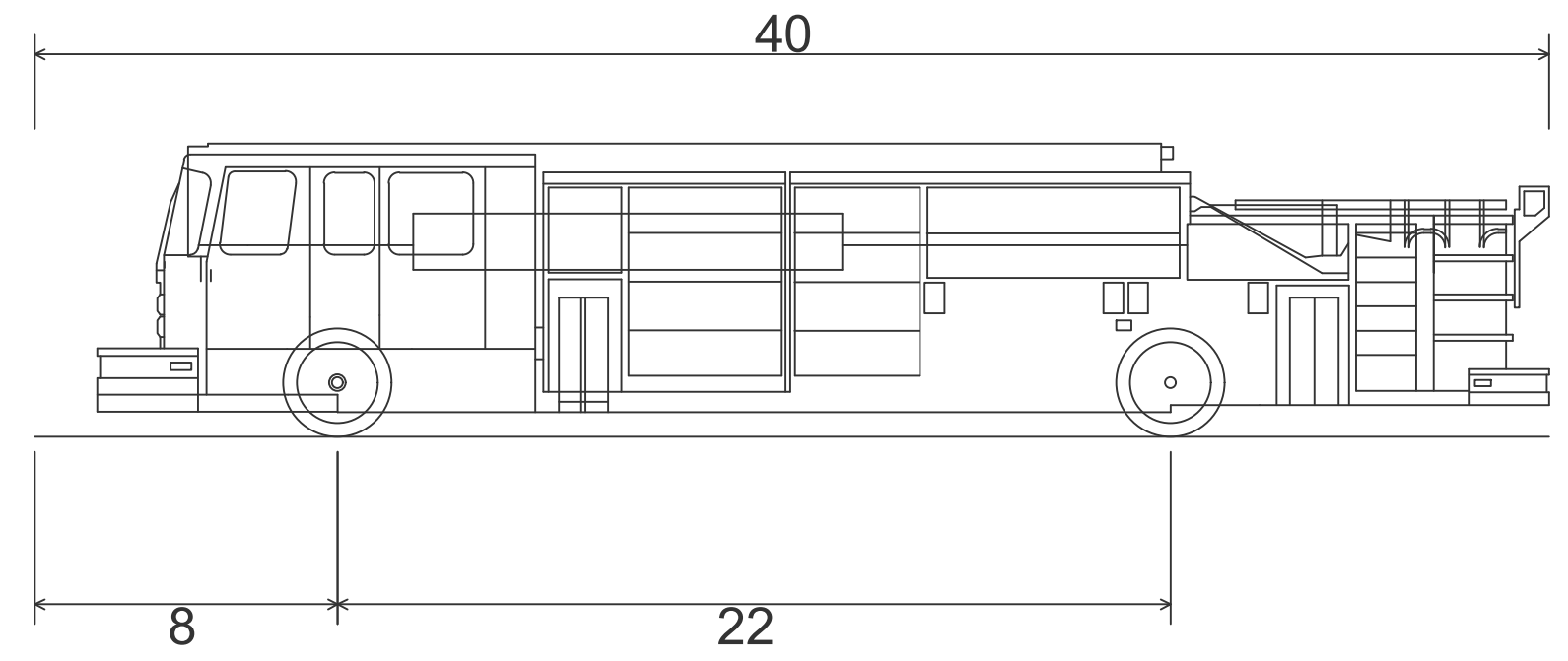
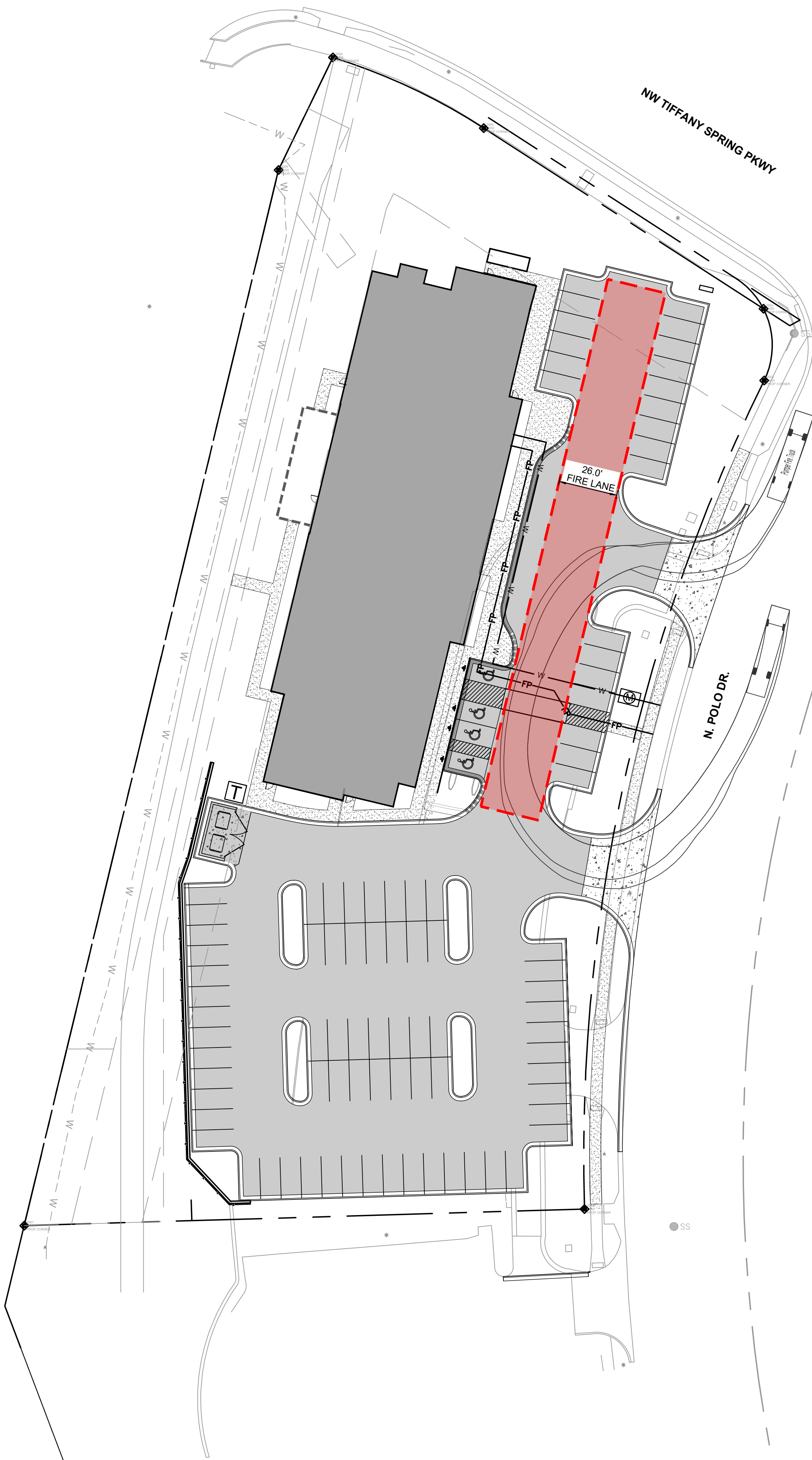


KMR	05/17/24	KMR	05/29/24	KMR	05/17/24	KMR	05/29/24	KMR	05/17/24	KMR	05/29/24
CITY COMMENTS		CITY COMMENTS		CITY COMMENTS		CITY COMMENTS		CITY COMMENTS		CITY COMMENTS	
1		2									
No.		No.									
REVISIONS		REVISIONS		REVISIONS		REVISIONS		REVISIONS		REVISIONS	
DATE		DATE		DATE		DATE		DATE		DATE	
BY		BY		BY		BY		BY		BY	
 <p>© 2024 KIMLEY-HORN AND ASSOCIATES, INC. 800 PENNSYLVANIA AVE, SUITE 150 PHOENIX, AZ 85004-4091 PHONE: 616.652.0350 WWW.KIMLEY-HORN.COM</p>											
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<p>LIVSMART STUDIOS KANSAS CITY DEVELOPMENT PLAN 10000 N POLO DR. KANSAS CITY, MO 64153</p>											
<p>ORIGINAL ISSUE: 02/23/2024</p>											
<p>KHA PROJECT NO. 268432000</p>											
<p>SHEET NUMBER</p>											
<h1 style="font-size: 2em;">C4</h1>											

Drawing name: K:\KAC_LIB\268432000_Marquee Hotel KCMQZ Design\CAD\Plan\Sheet\CI SITE PLAN.dwg CI SITE PLAN (2) May 20, 2024 3:48pm by Kaitlin Reynolds
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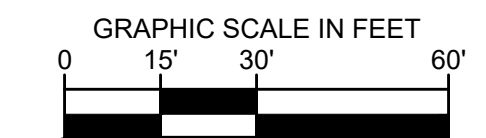
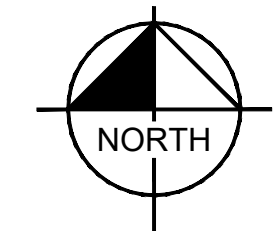
City Plan Commission
 Recommends Approval with Conditions
 of Case No. **CD-CPC-2024-00019** on **06/18/2024**

Diane Binkckley
 Diane Binkckley, AICP
 Secretary of the City Plan Commission



Pumper Fire Truck
 Overall Length
 Overall Width
 Overall Body Height
 Min Body Ground Clearance
 Track Width
 Lock-to-lock time
 Max Wheel Angle

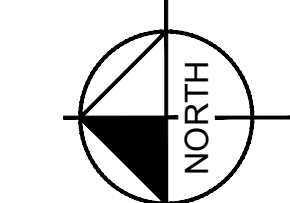
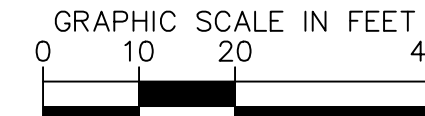
40.000ft
 8.167ft
 7.745ft
 0.656ft
 8.167ft
 5.00s
 45.00°



1	CITY COMMENTS	KMR	05/17/24	KMR	BY
2	CITY COMMENTS	KMR	05/29/24	KMR	DATE
No.	REVISIONS	No.	DATE	BY	DATE
<small>© 2024 KIMLEY-HORN AND ASSOCIATES, INC. 800 PENNSYLVANIA AVE, SUITE 100 PHOENIX, AZ 85006 WWW.KIMLEY-HORN.COM</small>					
SCALE: AS NOTED DESIGNED BY: KMR DRAWN BY: KMR CHECKED BY: MDK					
<div style="border: 1px solid black; padding: 5px; transform: rotate(-15deg); display: inline-block;"> PRELIMINARY NOT FOR CONSTRUCTION </div>					
FIRE TRUCK TURNING					
LIVSMART STUDIOS KANSAS CITY DEVELOPMENT PLAN <small>10000 N POLO DR. KANSAS CITY, MO 64153</small>					
<small>ORIGINAL ISSUE: 02/23/2024</small>					
<small>KHA PROJECT NO. 268432000</small>					
<small>SHEET NUMBER</small>					
C5					

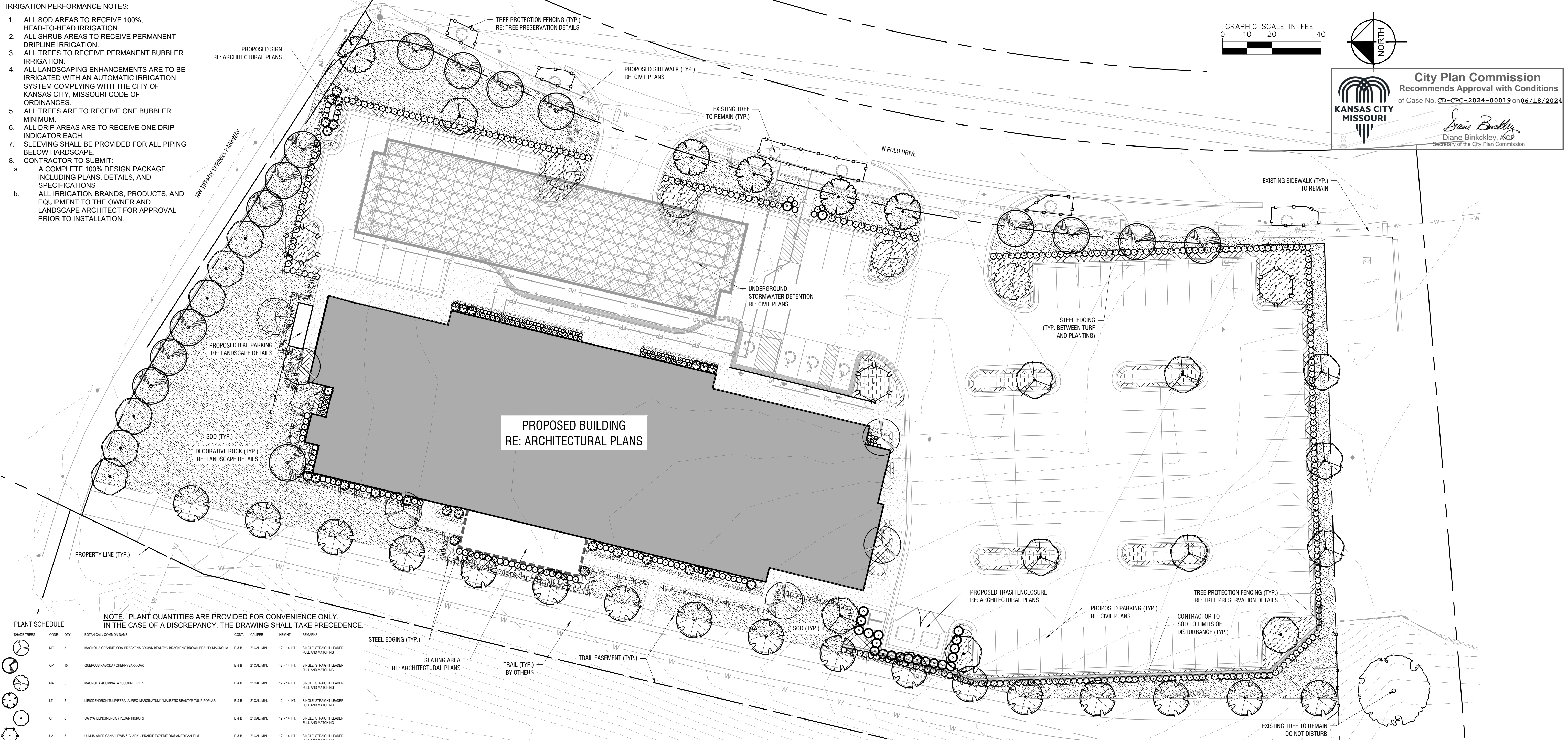
IRRIGATION PERFORMANCE NOTES:

- ALL SOD AREAS TO RECEIVE 100% HEAD-TO-HEAD IRRIGATION.
- ALL SHRUB AREAS TO RECEIVE PERMANENT DRIPLINE IRRIGATION.
- ALL TREES TO RECEIVE PERMANENT BUBBLER IRRIGATION.
- ALL LANDSCAPING ENHANCEMENTS ARE TO BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM COMPLYING WITH THE CITY OF KANSAS CITY, MISSOURI CODE OF ORDINANCES.
- ALL TREES ARE TO RECEIVE ONE BUBBLER MINIMUM.
- ALL DRIP AREAS ARE TO RECEIVE ONE DRIP INDICATOR EACH.
- SLEEVING SHALL BE PROVIDED FOR ALL PIPING BELOW HARDSCAPE.
- CONTRACTOR TO SUBMIT:
 - A COMPLETE 100% DESIGN PACKAGE INCLUDING PLANS, DETAILS, AND SPECIFICATIONS.
 - ALL IRRIGATION BRANDS, PRODUCTS, AND EQUIPMENT TO THE OWNER AND LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.



City Plan Commission
 Recommends Approval with Conditions
 of Case No. CD-CPC-2024-00019 on 06/18/2024

Diane Binkley
 Secretary of the City Plan Commission



NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE CASE OF A DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.

PLANT SCHEDULE	SHADE TREES	SHRUBS	PERENNIALS	SOD			
CODE	QTY	BOTANICAL / COMMON NAME	CONT.	SIZE	SPACING	REMARKS	
MG	5	MAGNOLIA GRANDIFLORA BRACKENS BROWN BEAUTY / BRACKENS BROWN BEAUTY MAGNOLIA	8.0	2" CAL. MIN.	12' - 14' HT.	SINGLE STRAIGHT LEADER FULL AND MATCHING	
QP	15	QUERCUS PAUCIFLORA / CHERRYBARK OAK	8.0	2" CAL. MIN.	12' - 14' HT.	SINGLE STRAIGHT LEADER FULL AND MATCHING	
MA	5	MAGNOLIA ACUMINATA / COLUMBIAN	8.0	2" CAL. MIN.	12' - 14' HT.	SINGLE STRAIGHT LEADER FULL AND MATCHING	
LT	1	LIRIODENDRON TULIPIFERA AUREA / NAESTIC BEAUTY TULIP POPLAR	8.0	2" CAL. MIN.	12' - 14' HT.	SINGLE STRAIGHT LEADER FULL AND MATCHING	
CI	8	CARYA LINDLEIGHII / PECAN HONEYCREEPER	8.0	2" CAL. MIN.	12' - 14' HT.	SINGLE STRAIGHT LEADER FULL AND MATCHING	
UA	3	ULMUS AMERICANA LEWIS & CLARK / PRINCE EXPOSITION AMERICAN ELM	8.0	2" CAL. MIN.	12' - 14' HT.	SINGLE STRAIGHT LEADER FULL AND MATCHING	
PA	17	PLATANUS ACERIFOLIA / GREEN / HOODWOOD ROAD LONDON PLANETREE	8.0	2" CAL. MIN.	12' - 14' HT.	SINGLE STRAIGHT LEADER FULL AND MATCHING	
QD	9	QUERCUS SHUMARDII / SHUMARD OAK	8.0	2" CAL. MIN.	12' - 14' HT.	SINGLE STRAIGHT LEADER FULL AND MATCHING	
HO	78	HOSTA BLUE VIOLET / BLUE VIOLET HOSTA	CONT.	2" HT. MIN.	18" OC.	FULL AND MATCHING	
IG	312	LEON JACOBUS / DENSA ANEMONE HOLLY	CONT.	3" HT. MIN.	30" OC.	FULL AND MATCHING	
JS	22	JUNIPERUS SCOPULORUM GRAY CLEAR / GRAY CLEAR JUNIPER	CONT.	4" HT. MIN.	48" OC.	FULL AND MATCHING	
HO	72	HYDRANGEA QUERCIFOLIA / CAMELSEA HYDRANGEA	CONT.	2" HT. MIN.	30" OC.	FULL AND MATCHING	
MR	29	MAGNOLIA ROSE MARIE / ROSE MARIE MAGNOLIA	CONT.	3" HT. MIN.	60" OC.	FULL AND MATCHING	
RO	35	RHOXODENDRON SWEET / SWEET RHOXODENDRON	CONT.	3" HT. MIN.	30" OC.	FULL AND MATCHING	
DR	67	DECORATIVE ROCK	CONT.	SIZE	SPACING	REFER TO LANDSCAPE DETAILS	
LS	1,828	LIRIOPE SPICATA / ORIENTAL LIRIOPE	CONT.	12" HT. X 18" W.	12" OC.	FULL AND MATCHING	
IC	332	IRIS CRISTATA / DWARF CRISTATED IRIS	CONT.	12" HT. X 18" W.	12" OC.	FULL AND MATCHING	
AG	389	AGAPANTHUS SALICIFOLIA / GALAXY WHITE LILY OF THE VALLEY	CONT.	8" HT. X 12" W.	12" OC.	FULL AND MATCHING	
HO	34	HEUCHERA 'SULTAN' / SULTAN HEUCHERA	CONT.	8" HT. X 12" W.	12" OC.	FULL AND MATCHING	
PT	47	PARTHENOCISSUS TRICOLORATA / JAPANESE CREEPER	CONT.	4" HT. X 8" W.	12" OC.	FULL AND MATCHING	
LF	722	LEUCODORON FORTANESIANA LITTLE FLAMES / LEAFSCAPE LITTLE FLAMES LEUCODORON	CONT.	8" HT. X 18" W.	12" OC.	FULL AND MATCHING	
PS	17	PAEDALIA 'SMITH OPUS 1' / BEGAZOPUS FLOWERING	CONT.	4" HT. X 18" W.	12" OC.	FULL AND MATCHING	
SK	181	SIBIRIA KAMTSCHATKENSIS / FOUR CORNERS	CONT.	4" HT. X 18" W.	12" OC.	FULL AND MATCHING	
AR	408	ARISTOLIJA PETT FOUR / PETT FOUR NARCISSUS	CONT.	4" HT. X 18" W.	12" OC.	FULL AND MATCHING	
LI	461	LAVANDULA 'INTERMEDIA TRISECTA' / SENSATIONAL LAVENDER	CONT.	12" HT. X 18" W.	30" OC.	FULL AND MATCHING	
HE	9	HELBORISUS 'HYBRIDUS WINTERBIRN' / WINTER JEWEL WINTERBIRN HELBORISUS	CONT.	8" HT. X 18" W.	12" OC.	FULL AND MATCHING	
SOD	CODE	QTY	BOTANICAL / COMMON NAME	CONT.	SIZE	SPACING	REMARKS
SOD	16,349 SF	NA	TALL FESCUE / FESTUCA ARDENSIENSIS	NA	NA	NA	SOD TO HAVE TIGHT SAND-FILLED JOINTS ROLLED AND TO BE FREE OF WEEDS, PESTS, AND DISEASE

Kansas City, Missouri - Landscape Data Table		REQUIRED	PROVIDED
Section 88-425 Landscape and Screening			
88-425-03-C - Tree Planting Requirements			
At least one street tree is required for each 30' of street frontage.		Yes	Yes
NW Tiffany Springs Parkway: 285' Int / 30' = 10 Trees		NW Tiffany Springs Pkwy. - 10 Trees	NW Tiffany Springs Pkwy. - 10 Trees
N Polo Drive: 400' Int / 30' = 14 Trees		N Polo Dr. - 14 Trees	N Polo Dr. - 14 Trees
88-425-04 - General Landscaping Requirements			
At least one tree must be provided per 5,000 square feet of principle building coverage (building footprint), consisting of:		4 Trees	4 Trees
16,145 sqft Building Footprint / 5,000 sqft = 4 Trees			
88-425-05 - Perimeter Landscaping of Vehicular Use Areas			
88-425-05-B - Adjacent to Streets			
A 10' landscape buffer strip with one tree per 30' linear feet of landscape strip and enough evergreen shrubs to form a continuous visual screen at least 3' in height at the time of planting.		N Polo Dr. - 13 Trees	N Polo Dr. - 13 Trees
385' Int Landscape Buffer (N Polo Drive) / 30' Int = 13 Trees		1-29 - 17 Trees	1-29 - 17 Trees
510' Int Landscape Buffer (E-29) / 30' = 17 Trees			
*Trees planted to satisfy the street tree planting requirements of 88-425-03 may be counted towards satisfying the tree planting requirements of 88-425-05-B			
88-425-05-D - Adjacent to Parkways			
When a vehicular use area is adjacent to a parkway, perimeter landscaping must be provided for a physical and visual separation between the vehicular use area and the parkway ROW in the form of trees (deciduous and evergreen) and shrubs to form a continuous visual screen at least 4' in height after the first growing season, consisting of:			
1. A berm with a minimum height of 4' and a maximum slope of 3:1, planted with at least 3 trees and 25 shrubs per 100' of berm.		Yes	Yes
2. A landscape buffer strip with a minimum width of 30', planted with at least 6 trees and 35 shrubs per 100' of buffer length.		Yes	Yes
(230' Int Landscape Buffer (NW Tiffany Springs Parkway) / 100' Int) x 6 = 14 Trees		14 Trees	14 Trees
(230' Int Landscape Buffer (NW Tiffany Springs Parkway) / 100' Int) x 35 = 81 Shrubs		81 Shrubs	81 Shrubs
88-425-06-B - Minimum Interior Landscaping Area			
At least 35 sqft of interior landscape area must be provided for each parking space.		3,185 sqft Landscape Area	3,185 sqft Landscape Area
97' Parking Spaces x 33 sqft = 3,185 sqft Landscape Area			
88-425-06-E - Minimum Interior Landscaping Area			
One tree is required per 5 parking spaces.		19 Parking Lot Trees	19 Parking Lot Trees
97' Parking Spaces / 5 = 19 Trees			
One shrub is required per parking space.		91 Shrubs	91 Shrubs
97' Parking Spaces x 1 = 97 Shrubs			
Ground cover plants must cover all interior landscape areas.		Yes	Yes
88-425-08-A - Screening			
Trash containers, dumpsters, trash compactors, and recycling bins associated with multiplex, multi-unit residential and non-residential uses must be screened from public ROW on all sides with a solid fence, wall, or other constructed of cedar, redwood, masonry or other similar hardening material reflecting the overall design of the site.		Yes	Yes
88-425-08-B - Screening of Mechanical Equipment and Utility Cabinets			
Above-ground utility cabinets that are 30 or more inches in height or width and visible from the right-of-way must be screened from public view with landscaping or with an architectural treatment.		Yes	Yes
88-425-10-B - Trees			
If more than 8 trees are required, no more than 40% may be of a single species. If more than 25 trees are required, no more than 25% may be of a single species.		Yes	Yes

PLANTING NOTES:

- CONTRACTOR TO SOD TO LIMITS OF DISTURBANCE.
- ALL PLANT MATERIAL SHALL BE INSTALLED ACCORDING TO SOUND NURSERY PRACTICES AND SHALL MEET ALL STANDARDS AS STATED IN THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- NO SUBSTITUTIONS IN PLANT MATERIALS SHALL BE MADE WITHOUT WRITTEN AUTHORIZATION FROM OWNER OR LANDSCAPE ARCHITECT. IN THE EVENT OF DISCREPANCIES BETWEEN DRAWING AND PLANT LIST, THE DRAWING SHALL PREVAIL.
- LOCATE ALL UTILITIES PRIOR TO ANY AND ALL PLANTING OR DIGGING OPERATIONS. HAND DIG TREES AND SHRUBS IN AREAS WITHIN 5' OF UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES TO EXISTING UTILITIES INCURRED BY HIS WORK.
- TREE STAKING: REFER TO TYPICAL TREE PLANTING DETAIL FOR TREE STAKING. CONTRACTOR SHALL REPLACE, PLANT, OR UPRIGHT ANY TREES BLOWN OVER OR DAMAGED DUE TO INADEQUATE STAKING AT NO ADDITIONAL COST TO OWNER.
- PLANTS MASSED IN BEDS SHALL BE ARRANGED USING TRIANGULAR SPACING.
- PROVIDE A LANDSCAPE EDGE BETWEEN ALL PLANTING BEDS AND LAWN AREAS—REFERENCE LANDSCAPE PLAN.
- ALL PLANTING BEDS TO BE TYPICAL TO REMAIN ALIVE AND HEALTHY FOR A PERIOD OF ONE YEAR AFTER FINISH ACCEPTANCE. WARRANTY SHALL NOT INCLUDE DAMAGE FOR LOSS OF PLANT MATERIAL DUE TO ACTS OF VANDALISM OR NEGLIGENCE ON THE PART OF OWNER.
- LAY TALL FESCUE SOD FOR PROPOSED LAWN AREAS TO ALL EDGES OF PAVEMENT AND/OR LIMITS SPECIFIED IN LANDSCAPE PLAN. ALL DISTURBED AREAS WITHIN CITY R.O.W. SHALL RECEIVE TALL FESCUE SOD.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPING UNTIL FINAL ACCEPTANCE. ALL REQUIRED LANDSCAPING SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THE WORK SHALL INCLUDE, BUT NOT BE LIMITED TO, MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING, AND OTHER SUCH ACTIVITIES COMMON TO THE MAINTENANCE OF LANDSCAPING. ALL PLANT MATERIALS SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR. PLANT MATERIAL THAT DIES SHALL BE REPLACED WITH PLANT MATERIAL OF SIMILAR SIZE AND VARIETY.
- CONTRACTOR SHALL WARRANT PLANT MATERIAL TO REMAIN ALIVE AND HEALTHY FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE. WARRANTY SHALL NOT INCLUDE DAMAGE FOR LOSS OF PLANT MATERIAL DUE TO ACTS OF VANDALISM OR NEGLIGENCE ON THE PART OF OWNER.
- ALL LANDSCAPE BED AREAS TO BE PREPARED USING "ORGANICALLY ENRICHED TOP SOIL" BY MISSOURI ORGANIC (OR APPROVED EQUAL). INSTALL TO DEPTHS PER PLANTING DETAILS (12" DEPTH MIN.). FINISHED GRADES OF PLANTING BEDS TO BE 2" BELOW FINISHED GRADE OF ADJACENT PAVING OR AS SHOWN ON GRADING PLAN. CONTRACTOR TO SUBMIT 1 GALLON (MIN.) SAMPLE TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO PURCHASE.
- ALL SOD AREAS TO RECEIVE 4" DEPTH (MIN.) TOPSOIL PRIOR TO INSTALLATION. TOPSOIL SHALL BE NATURAL, FRIABLE, AND FERTILE; POSSES A pH RANGE OF 7.0-7.5; AND BE FREE OF TRASH, DEBRIS, STONES, WEEDS, AND TWIGS/BRANCHES.
- FERTILIZER: FERTILIZE SEEDBED AREAS WITH AN APPROVED COMMERCIAL TYPE, SLOW RELEASE, AT A RATE OF 400 LBS/ACRE. FERTILIZE SODDED AREAS WITH THE SAME FERTILIZER TYPE AT A RATE OF 200 LBS/ACRE. REFER TO LANDSCAPE SPECIFICATIONS SECTION G FOR REQUIRED SUBMITTALS. USE PHOSPHOROUS-FREE FERTILIZER IF REQUIRED BY LOCAL CODE.
- REFER TO THE LANDSCAPE SPECIFICATIONS FOR REQUIRED SUBMITTALS.

TREE PROTECTION NOTES:

- CONTRACTOR SHALL ADHERE TO ALL TREE PRESERVATION REQUIREMENTS LISTED IN THE TREE PRESERVATION SPECIFICATIONS AND/OR THE CITY OR COUNTY ZONING CODE (LATEST EDITION)—WHICHEVER IS MORE STRINGENT SHALL APPLY.
- CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION PROCEDURES WITH THE PROJECT ARBORIST PRIOR TO BEGINNING WORK.
- ANY DEMOLITION OR EXCAVATION WITHIN THE DRIP LINE OF AN EXISTING TREE SHALL PROCEED WITH EXTREME CARE EITHER BY THE USE OF HAND TOOLS, DIRECTIONAL BORING, AIR KNIFE EXCAVATION, AND/OR WITH OTHER LOW IMPACT EQUIPMENT THAT WILL NOT CAUSE DAMAGE TO THE TREE, ROOTS, OR SOIL; CONTRACTOR SHALL COORDINATE SUCH PROCEDURES WITH THE PROJECT ARBORIST.
- EXISTING TREE LOCATIONS AND SIZES ARE ESTIMATES BASED ON A SURVEY PROVIDED BY THE OWNER SELECTED SURVEYOR.
- NO SIGNS, BUILDING PERMITS, WIRES, OR OTHER ATTACHMENTS OF ANY KIND SHALL BE ATTACHED TO ANY TREE. GUY WIRES DESIGNED TO PROTECT TREES ARE EXCLUDED FROM THIS PROHIBITION.
- CONTRACTOR SHALL COORDINATE TREE REMOVAL WITH PERMITTING AGENCY AND PROJECT ARBORIST PRIOR TO CONSTRUCTION. NO PERSON MAY REMOVE OR CAUSE TO BE REMOVED ANY PROTECTED TREE WITHOUT FIRST HAVING PROCURED A PERMIT AS PROVIDED BY THE APPROPRIATE PERMITTING AGENCY.
- DO NOT INSTALL CONDUIT, DRAIN OR IRRIGATION LINE, OR ANY UTILITY LINE WITHIN THE TREE PROTECTION ZONE WITHOUT THE APPROVAL OF THE PROJECT ARBORIST. IF LINES MUST TRAVERSE THE PROTECTION AREA, THEY SHALL BE TUNNELED OR BORED UNDER THE TREE UNLESS OTHERWISE NOTED—REFERENCE TREE PRESERVATION DETAILS.
- CONSTRUCTION ACTIVITY SHALL NOT DESTROY OR IRREVERSIBLY HARM THE ROOT SYSTEM OF PROTECTED TREES. POST HOLES AND TRENCHES LOCATED CLOSE TO PROTECTED TREES SHALL BE ADJUSTED TO AVOID DAMAGE TO MAJOR ROOTS.
- IF TREE ROOT ZONE IS TO BE DISTURBED, AFFECTED ROOTS MUST BE SEVERED BY CLEAN PRUNING CUTS AT THE POINT WHERE CONSTRUCTION IMPACTS THE ROOTS.
- ROOT PRUNING/TRENCHING LOCATIONS SHALL BE APPROVED IN THE FIELD BY THE PROJECT ARBORIST.
- CONTRACTOR TO COORDINATE ALL EARTHWORK OPERATIONS WITH THE PROJECT ARBORIST PRIOR TO BEGINNING WORK.
- IF ANY DAMAGE TO TREE PROTECTION FENCING SHOULD OCCUR BY ACCIDENT OR NEGLIGENCE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMMEDIATE REPAIRS.
- CONTRACTOR'S ACCESS TO FENCED TREE PROTECTION AREAS SHALL BE PERMITTED ONLY WITH APPROVAL OF THE PROJECT ARBORIST.
- NO MATERIALS, EQUIPMENT, SPOIL, WASTE, OR WASHOUT WATER MAY BE DISPOSED, STORED, OR PARKED WITHIN 20 FEET OF ANY TREE PROTECTION ZONE.
- CONTRACTOR SHALL COORDINATE WITH THE PROJECT ARBORIST PRIOR TO REMOVAL OF TREE PROTECTION FENCING.

Kimley»Horn
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 KANSAS CITY, MISSOURI 64108
 PHONE: 816.452.0300
 WWW.KIMLEY-HORN.COM

LIVSMART STUDIOS
 KANSAS CITY
 DEVELOPMENT PLAN

LANDSCAPE ARCHITECTURAL PLAN

10000 N POLO DR.
 KANSAS CITY, MO 64153

SCALE: AS NOTED
 DESIGNED BY: CMS
 DRAWN BY: CMS
 CHECKED BY: SAR

PRELIMINARY
 NOT FOR
 CONSTRUCTION

ORIGINAL ISSUE:
 05/16/2024

KHA PROJECT NO:
 26843200

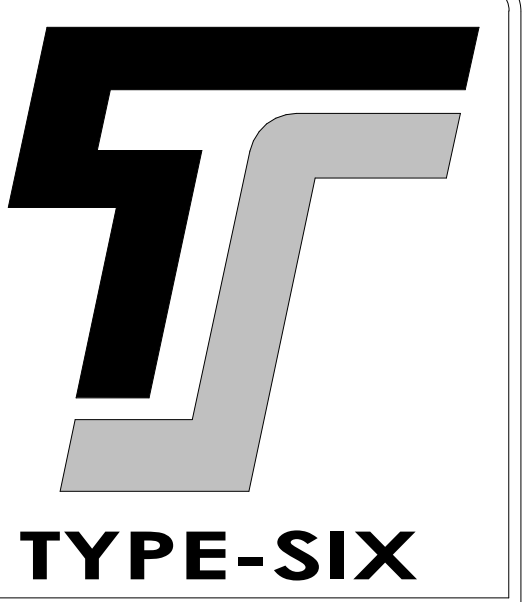
SHEET NUMBER
 L1

REVISIONS
 NO. BY DATE



City Plan Commission
 Recommends Approval with Conditions
 of Case No. **CD-CPC-2024-00019** on 06/18/2024

Diane Binkkley
 Diane Binkkley, ACP
 Secretary of the City Plan Commission



TYPE-SIX
DEVELOPMENT SERVICES, LLC
 910 SOUTH MAIN STREET #150
 GRAPEVINE, TEXAS 76054
 972.677.9075



LIVSMART STUDIOS
MARQUEE HOSPITALITY
 10000 N POLO DR
 KANSAS CITY, MO 64153

PROJECT # 00000

ARCHITECT
 D. HAYES HINKLE

ISSUE DATE
 17 MAY 2024

ISSUED FOR
 REVIEW

#	Revision	Date

SHEET NAME
 RENDER CONCEPT

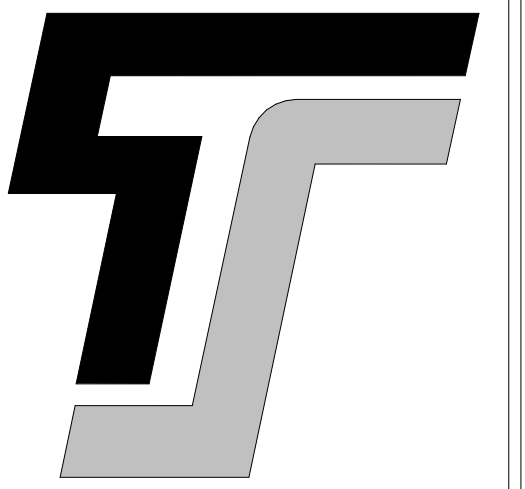
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A20.00





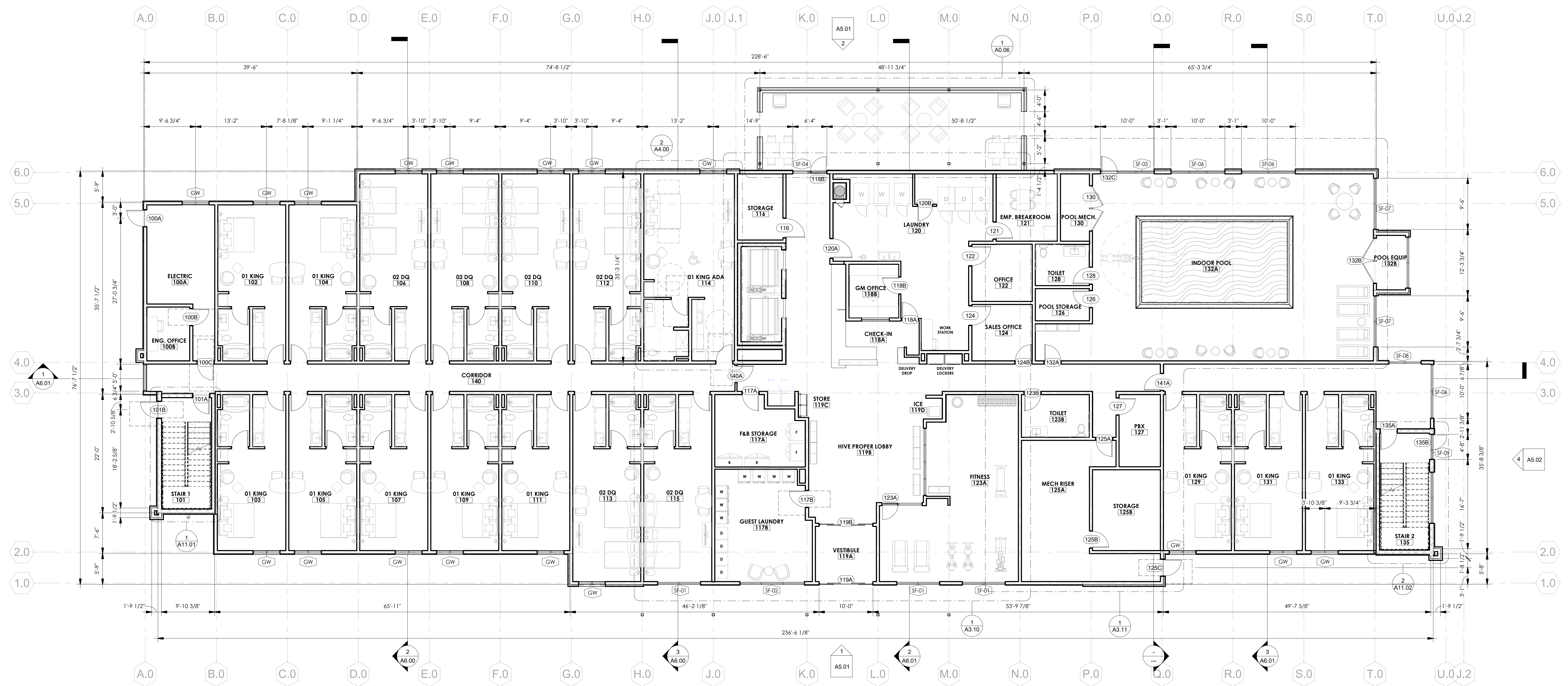
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Diane Binkckley
 Diane Binkckley, AIC
 Secretary of the City Plan Commission



TYPE-SIX

TYPE-SIX DEVELOPMENT SERVICES, LLC
 910 SOUTH MAIN STREET #150
 GRAPEVINE, TEXAS 76054
 972.677.9075



1 01 KING - DIMENSION PLAN
 1/8" = 1'-0"

GENERAL FLOOR PLAN NOTES

- THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DRAWINGS, THESE NOTES AND FIELD CONDITIONS BEFORE COMMENCING ANY WORK AND REQUEST CLARIFICATION.
- REFER TO A8.00 FOR PARTITION TYPES
- REFER TO SHEET A15.00 FOR DOOR SCHEDULES, DOOR FRAMES AND DOOR TYPES
- REFER TO G SERIES SHEETS FOR CODE REFERENCES, CODE COMPLIANCE PLANS, PENETRATION DETAILS AND ACCESSIBILITY INFORMATION.
- PROVIDE ACCESSIBLE GUEST ROOMS PER THE TEXAS ACCESSIBILITY STANDARDS. REFER TO G SERIES SHEETS FOR ADDITIONAL INFORMATION.
- ALL DIMENSIONS ARE TO FACE OF STUD, CONCRETE, MASONRY OR TO THE GRID LINE, UNLESS NOTED OTHERWISE. REFER TO STRUCTURAL FOR SLAB DIMENSIONS.
- ALL GRID LOCATIONS AND GRID DIMENSIONS ARE TO BE VERIFIED BY CONTRACTOR PRIOR TO COMMENCEMENT OF WORK.
- ALL MISCELLANEOUS SUPPORT STEEL EXPOSED TO THE EXTERIOR SHALL BE GALVANIZED AND COATED WITH A HIGH-PERFORMANCE COATING, UNLESS NOTED OTHERWISE.
- PROVIDE AUTOMATIC FIRE SUPPRESSION SYSTEM FOR ENTIRE BUILDING PER NFPA 13. SYSTEM SHALL BE UNDER SEPARATE PERMIT. COORDINATE WITH CERTIFIED FIRE SPRINKLER CONTRACTOR.
- ALL STRUCTURAL STEEL COLUMNS AND BEAMS REQUIRED TO BE PROTECTED TO MEET A FIRE RATING SHALL BE INDIVIDUALLY PROTECTED PRIOR TO INSTALLATION OF ADJACENT PARTITIONS, WALLS, CEILINGS OR ROOF FRAMING.
- FURNITURE, FIXTURES AND EQUIPMENT (FFE) ARE TO BE COORDINATED WITH OWNER. CONTRACTOR TO PROVIDE RESPONSIBILITY MATRIX TO ENSURE ALL ELEMENTS ARE ACCOUNTED FOR.
- PROVIDE NECESSARY BLOCKING FOR SURFACE MOUNTED FIXTURES, ACCESSORIES, AND EQUIPMENT.
- FINISHES SHALL MEET PROPER FLAME SPREAD AND SMOKE SPREAD, 2015 IFC, SECTION 803.
- CAULK CONTINUOUSLY AT PERIMETER OF DOOR AND WINDOW FRAMES. CAULK AFTER WALL COVERING IS INSTALLED.
- REFER TO MOUNTING HEIGHT SCHEDULE FOR TOILET AND BATH ACCESSORIES IN ALL BATHROOMS.
- SIGNAGE IS OWNER PROVIDED. SIGNAGE SHALL MEET BUILDING CODE REQUIREMENTS AND ANSI A117.1 REQUIREMENTS FOR ACCESSIBILITY.
- PROVIDE TACTILE EXIT SIGNS AT EXIT DOOR LOCATIONS. SIGNAGE SHALL COMPLY WITH ICC/ANSI A117.1 AT STOREFRONT LOCATION. PROVIDE TACTILE SIGN THAT FITS WITHIN THE STOREFRONT MULLION FRAME WIDTH. MOUNT BOTTOM OF CHARACTERS AT 48" MIN. AND 60" MAX. ABOVE FINISH FLOOR.
- PROVIDE TACTILE SIGNAGE OUTSIDE THE TOILET ROOM PER 1110.1 AND ICC/ANSI A117.1. MOUNT BOTTOM OF CHARACTERS AT 48" MIN. AND 60" MAX ABOVE FLOOR.
- PROVIDE STAINLESS STEEL CORNER GUARDS AT ALL OUTSIDE CORNERS IN KITCHEN, LAUNDRY ROOMS, STORAGE, MAINTENANCE AND BACK-OF-HOUSE CORRIDORS. PROVIDE PLASTIC CORNER GUARDS AT ALL OUTSIDE CORNERS IN BACK-OF-HOUSE WORK ROOMS AND OFFICES. REFERENCE SPECIFICATION SECTION 102600 FOR TYPES AND HEIGHTS OF CORNER GUARD. ALL OUTSIDE CORNERS AT BACK-OF-HOUSE AREAS ARE TO HAVE CORNER GUARDS. REFER TO INTERIOR DESIGN DRAWING FOR CORNER GUARDS AT PUBLIC AREAS TO BE PROVIDED BY GC.
- ALL WALL OUTLETS ON ELEVATIONS ARE DIMENSIONED TO CENTER LINE, UNLESS NOTED OTHERWISE.
- ALL DEVICES ADJACENT TO WET AREAS SHALL BE GFCI PER NEC REQUIREMENTS.
- ALL WOOD BLOCKING AND PLYWOOD IN EXTERIOR WALLS, PARAPETS, AND ROOF CONSTRUCTION SHALL BE EXTERIOR (PRESSURE) AND FIRE RETARDANT-TREATED (FRTW). ALL INTERIOR PLYWOOD SHALL BE FIRE RETARDANT-TREATED (FRTW). ONLY INTERIOR MISCELLANEOUS WOOD BLOCKING SHALL BE ALLOWED TO BE NON-FIRE-RETARDANT-TREATED AND INTERIOR WOOD BLOCKING ADJACENT TO CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
- WHERE MECHANICAL AND ELECTRICAL DEVICES AND PARTS ARE CONCEALED AND REQUIRE ACCESS, PROVIDE ACCESS DOORS AND FRAMES PER SPECIFICATIONS. FIRE RATED ASSEMBLIES SHALL BE MAINTAINED.
- TYPICAL AT EXPOSED SIDES OF CONCRETE COLUMNS UNLESS OTHERWISE NOTED. PROVIDE 5/8" GYPSUM BOARD OVER 1 1/2" METAL STUDS AT 16" O.C. AND EXTEND ABOVE CEILING.
- ALL GYPSUM BD. FINISH FACES OF DIFFERING SUBSTRATES (i.e. 1 1/2" MTL. FURRING ADJACENT TO 3 5/8" METAL STUDS) SHALL ALIGN.
- REFER TO A9 SHEETS FOR ENLARGED GUESTROOM INFORMATION.
- FINAL ROOM NAMES AND SIGNAGE SHALL BE CONFIRMED BY OWNER PRIOR TO PURCHASE AND INSTALLATION.

HOTEL INFORMATION	
BUILDING SF	
FIRST FLOOR SF:	18,816 SF
UPPER FLOOR SF:	18,816 SF
TOTAL SF:	37,632 SF
BUILDING INFORMATION	
NUMBER OF FLOORS:	4 FLOORS
NUMBER OF GUESTROOMS:	109
AMENITIES	INDOOR POOL OUTDOOR LOUNGE FITNESS CORPORATE OFFICE
GUESTROOM MIX	
FLOOR	1 2 3 4 TOTAL
QQ	6 20 19 20 65
K	11 11 11 11 44
TOTAL GUESTROOMS	109

GENERAL FLOOR PLAN SYMBOLS	
(B)	KEYNOTE TAG - REFERENCE KEYNOTE SCHEDULE
(101)	DOOR TAG - REFERENCE DOOR SCHEDULE A15.00
SF-00	STOREFRONT TAG - REFERENCE WINDOW SCHEDULE A16.00
(A)	WINDOW TAG - REFERENCE WINDOW SCHEDULE A16.00
(P)	PARTITION TAG - REFERENCE PARTITION SCHEDULE A8.00
(R)	ROOM ADA SYMBOL
(H)	ROOM HEARING-IMPAIRED SYMBOL
CR	CARD READER
FE	FIRE EXTINGUISHER

LIVSMART STUDIOS
MARQUEE HOSPITALITY
 10000 N POLO DR
 KANSAS CITY, MO 64153
 PROJECT # 00000

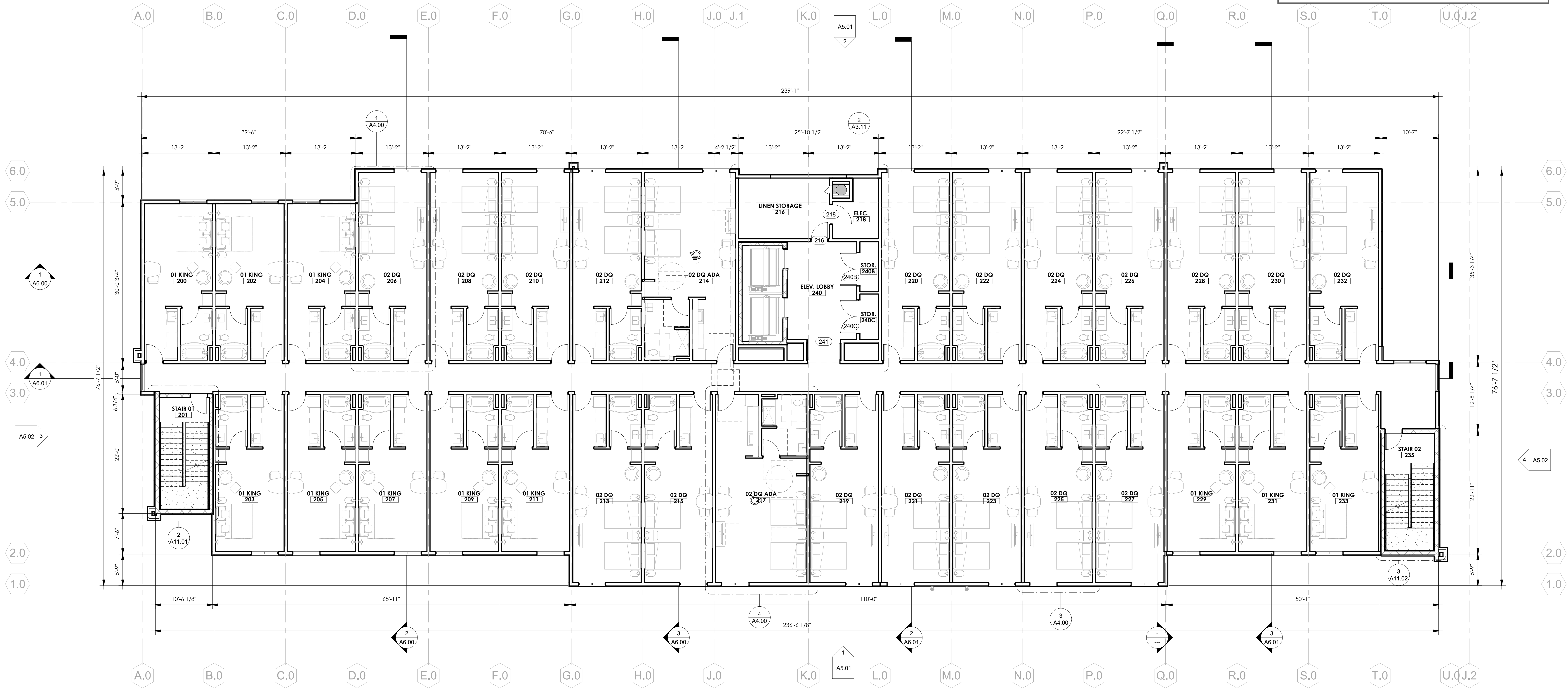
ARCHITECT
 D. HAYES HINKLE
 ISSUE DATE
 29 MAY 2024
 ISSUED FOR
 REVIEW

#	Revision	Date
1		

SHEET NAME
 01 DIMENSION PLAN

SHEET NUMBER
A1.01





1 TYPICAL UPPER FLOOR - DIMENSION PLAN
 1/8" = 1'-0"

GENERAL FLOOR PLAN NOTES

- THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DRAWINGS, THESE NOTES AND FIELD CONDITIONS BEFORE COMMENCING ANY WORK AND REQUEST CLARIFICATION.
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- REFER TO SHEET A15.00 FOR DOOR SCHEDULES, DOOR FRAMES AND DOOR TYPES
- REFER TO G SERIES SHEETS FOR CODE REFERENCES, CODE COMPLIANCE PLANS, PENETRATION DETAILS AND ACCESSIBILITY INFORMATION.
- PROVIDE ACCESSIBLE GUEST ROOMS PER THE TEXAS ACCESSIBILITY STANDARDS. REFER TO G SERIES SHEETS FOR ADDITIONAL INFORMATION.
- ALL DIMENSIONS ARE TO FACE OF STUD, CONCRETE, MASONRY OR TO THE GRID LINE, UNLESS NOTED OTHERWISE. REFER TO STRUCTURAL FOR SLAB DIMENSIONS.
- ALL GRID LOCATIONS AND GRID DIMENSIONS ARE TO BE VERIFIED BY CONTRACTOR PRIOR TO COMMENCEMENT OF WORK.
- ALL MISCELLANEOUS SUPPORT STEEL EXPOSED TO THE EXTERIOR SHALL BE GALVANIZED AND COATED WITH A HIGH-PERFORMANCE COATING, UNLESS NOTED OTHERWISE.
- PROVIDE AUTOMATIC FIRE SUPPRESSION SYSTEM FOR ENTIRE BUILDING PER NFPA 13. SYSTEM SHALL BE UNDER SEPARATE PERMIT. COORDINATE WITH CERTIFIED FIRE SPRINKLER CONTRACTOR.
- ALL STRUCTURAL STEEL COLUMNS AND BEAMS REQUIRED TO BE PROTECTED TO MEET A FIRE RATING SHALL BE INDIVIDUALLY PROTECTED PRIOR TO INSTALLATION OF ADJACENT PARTITIONS, WALLS, CEILINGS OR ROOF FRAMING.
- FURNITURE, FIXTURES AND EQUIPMENT (FFE) ARE TO BE COORDINATED WITH OWNER. CONTRACTOR TO PROVIDE RESPONSIBILITY MATRIX TO ENSURE ALL ELEMENTS ARE ACCOUNTED FOR.
- PROVIDE NECESSARY BLOCKING FOR SURFACE MOUNTED FIXTURES, ACCESSORIES, AND EQUIPMENT.
- FINISHES SHALL MEET PROPER FLAME SPREAD AND SMOKE SPREAD, 2015 IFC, SECTION 803.
- CAULK CONTINUOUSLY AT PERIMETER OF DOOR AND WINDOW FRAMES. CAULK AFTER WALL COVERING IS INSTALLED.
- REFER TO MOUNTING HEIGHT SCHEDULE FOR TOILET AND BATH ACCESSORIES IN ALL BATHROOMS.
- SIGNAGE IS OWNER PROVIDED. SIGNAGE SHALL MEET BUILDING CODE REQUIREMENTS AND ANSI A117.1 REQUIREMENTS FOR ACCESSIBILITY.
- PROVIDE TACTILE EXIT SIGNS AT EXIT DOOR LOCATIONS. SIGNAGE SHALL COMPLY WITH ICC/ANSI A117.1. AT STOREFRONT LOCATION, PROVIDE TACTILE SIGN THAT FITS WITHIN THE STOREFRONT MULLION FRAME WIDTH. MOUNT BOTTOM OF CHARACTERS AT 48" MIN. AND 60" MAX. ABOVE FINISH FLOOR.
- PROVIDE TACTILE SIGNAGE OUTSIDE THE TOILET ROOM PER 110.1 AND ICC/ANSI A117.1. MOUNT BOTTOM OF CHARACTERS AT 48" MIN. AND 60" MAX ABOVE FLOOR.
- PROVIDE STAINLESS STEEL CORNER GUARDS AT ALL OUTSIDE CORNERS IN KITCHEN, LAUNDRY ROOMS, STORAGE, MAINTENANCE AND BACK-OF-HOUSE CORRIDORS. PROVIDE PLASTIC CORNER GUARDS AT ALL OUTSIDE CORNERS IN BACK-OF-HOUSE WORK ROOMS AND OFFICES. REFERENCE SPECIFICATION SECTION 102000 FOR TYPES AND HEIGHTS OF CORNER GUARD. ALL OUTSIDE CORNERS AT BACK-OF-HOUSE AREAS ARE TO HAVE CORNER GUARDS. REFER TO INTERIOR DESIGN DRAWING FOR CORNER GUARDS AT PUBLIC AREAS TO BE PROVIDED BY GC.
- ALL WALL OUTLETS ON ELEVATIONS ARE DIMENSIONED TO CENTER LINE, UNLESS NOTED OTHERWISE.
- ALL DEVICES ADJACENT TO WET AREAS SHALL BE GFCI PER NEC REQUIREMENTS.
- ALL WOOD BLOCKING AND PLYWOOD IN EXTERIOR WALLS, PARAPETS, AND ROOF CONSTRUCTION SHALL BE EXTERIOR (PRESSURE) AND FIRE RETARDANT-TREATED (FRTW). ALL INTERIOR PLYWOOD SHALL BE FIRE RETARDANT-TREATED (FRTW). ONLY INTERIOR MISCELLANEOUS WOOD BLOCKING SHALL BE ALLOWED TO BE NON FIRE RETARDANT TREATED AND INTERIOR WOOD BLOCKING ADJACENT TO CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
- WHERE MECHANICAL AND ELECTRICAL DEVICES AND PARTS ARE CONCEALED AND REQUIRE ACCESS, PROVIDE ACCESS DOORS AND FRAMES PER SPECIFICATIONS. FIRE RATED ASSEMBLIES SHALL BE MAINTAINED.
- TYPICAL AT EXPOSED SIDES OF CONCRETE COLUMNS UNLESS OTHERWISE NOTED - PROVIDE 5/8" GYPSUM BOARD COVER 1 1/2" METAL STUDS AT 16" O.C. AND EXTEND ABOVE CEILING.
- ALL GYPSUM BD. FINISH FACES OF DIFFERING SUBSTRATES (i.e. 1 1/2" MTL. FURRING ADJACENT TO 3 5/8" METAL STUDS) SHALL ALIGN.
- REFER TO A9 SHEETS FOR ENLARGED GUESTROOM INFORMATION.
- FINAL ROOM NAMES AND SIGNAGE SHALL BE CONFIRMED BY OWNER PRIOR TO PURCHASE AND INSTALLATION.

HOTEL INFORMATION					
BUILDING SF:	FIRST FLOOR SF:	18,816 SF	UPPER FLOOR SF:	18,816 SF	
	TOTAL SF:	75,264 SF			
BUILDING INFORMATION					
NUMBER OF FLOORS:	4 FLOORS				
NUMBER OF GUESTROOMS:	109				
AMENITIES					
INDOOR POOL					
OUTDOOR LOUNGE					
FITNESS					
CORPORATE OFFICE					
GUESTROOM MIX					
FLOOR	1	2	3	4	TOTAL
QQ	6	20	19	20	65
K	11	11	11	11	44
TOTAL GUESTROOMS					109

GENERAL FLOOR PLAN SYMBOLS	
(6)	KEYNOTE TAG - REFERENCE KEYNOTE SCHEDULE
(101)	DOOR TAG - REFERENCE DOOR SCHEDULE A15.00
(SF-00)	STOREFRONT TAG - REFERENCE WINDOW SCHEDULE A16.00
(A)	WINDOW TAG - REFERENCE WINDOW SCHEDULE A16.00
(A)	PARTITION TAG - REFERENCE PARTITION SCHEDULE A8.00
(A)	ROOM ADA SYMBOL
(A)	ROOM HEARING IMPAIRED SYMBOL
(CR)	CARD READER
(FE)	FIRE EXTINGUISHER

LIVSMART STUDIOS
MARQUEE HOSPITALITY
 10000 N POLO DR
 KANSAS CITY, MO 64153
 PROJECT # 00000

ARCHITECT
 D. HAYES HINKLE
 ISSUE DATE
 29 MAY 2024
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 REVIEW

#	Revision	Date
1		

SHEET NAME
 02 DIMENSION PLAN
 SHEET NUMBER
A1.02





1 EAST ELEVATION
 1/8" = 1'-0"



2 WEST ELEVATION
 1/8" = 1'-0"

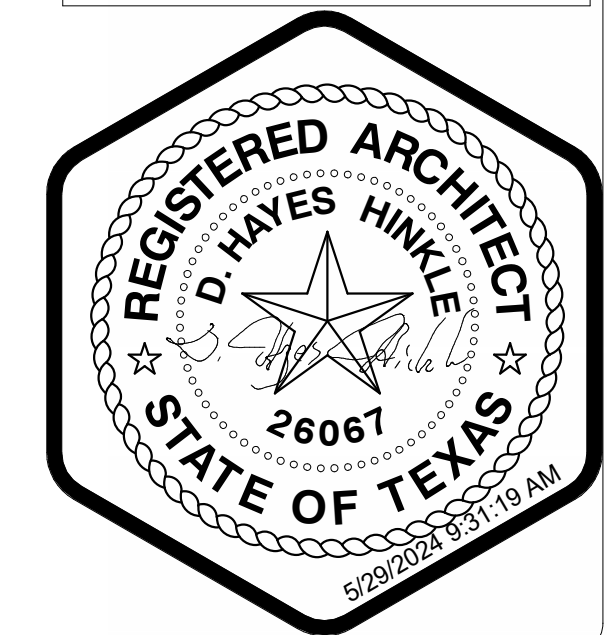
MATERIAL CALLOUTS	ADDITIONAL NOTES:	ELEVATION KEYNOTES
B-1 DARK BRICK - KING SIZE ACME MANGANESE IRONSPOT OR SIMILAR	<ul style="list-style-type: none"> ALL SIGNAGE SUBJECT TO BUILDING INSPECTION DEPARTMENT APPROVAL. MECHANICAL UNITS SHALL BE SCREENED IN ACCORDANCE WITH LOCAL CITY AND ZONING ORDINANCES. UTILITY BOXES AND CONDUIT SHALL BE PAINTED TO MATCH BUILDING COLOR. KING SIZE, FACE BRICK, WITH 3/8" CONCAVE GROUT JOINT-MORTAR TO BE MATCHED TO GROUT. CONTRACTOR TO ENSURE METAL PANELS ARE INSTALLED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATION. SIGN DESIGNED AND FABRICATED BY APPROVED VENDOR TO MEET BRAND STANDARDS. FOR LOCATION ONLY. ALL UTILITY BOXES AND METERS SHALL BE PAINTED TO MATCH SURROUNDING BUILDING FACADE. FINAL SIGN DESIGN TO BE DRAFTER BY THIRD PARTY CONTRACTOR TO ENSURE FINAL SIGN PACKAGE IS SUBMITTED APPROVED BY THE BRAND. 38% TRANSPARENCY ON 1ST FLOOR > 33% PARKWAY REQUIREMENTS	
EF-1 DARK COLOR EIFS		
EF-2 GREY COLOR EIFS		
EF-3 WHITE EIFS		
EF-4 TAUPE COLOR EIFS		
NH-1 NICHHA VINTAGE WOOD CEDAR OR SIMILAR		
LF-1 LOUVER FINISH - DARK BRONZE TO MATCH STOREFRONT		
AF-1 ALUMINUM PARAPET FLASHING TO MATCH STOREFRONT		
GL EXTERIOR WINDOWS: STOREFRONT WINDOW SYSTEM		
SF STOREFRONT - KAWNEER - "DARK BRONZE # 40"		
SP SPANDREL		

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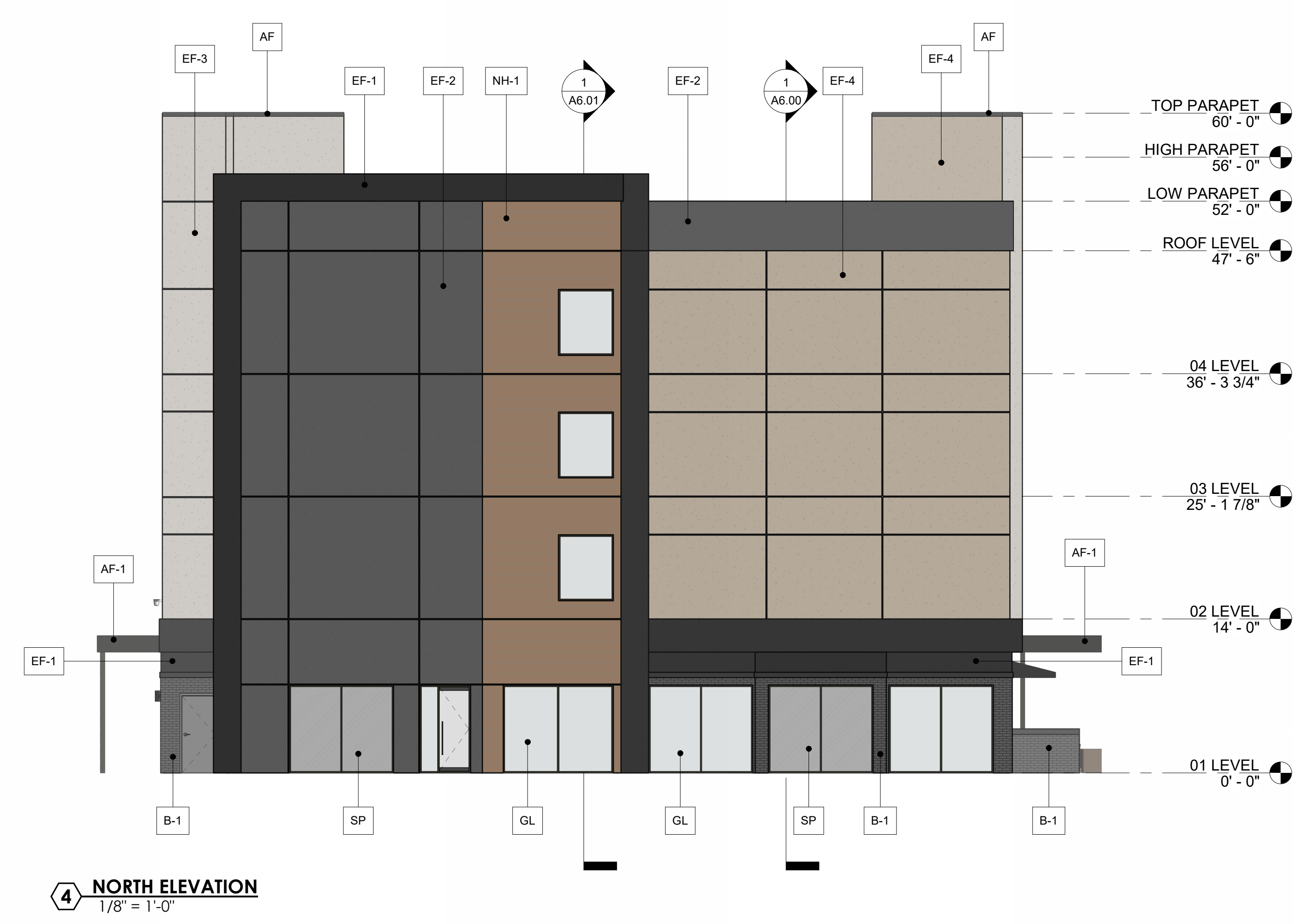
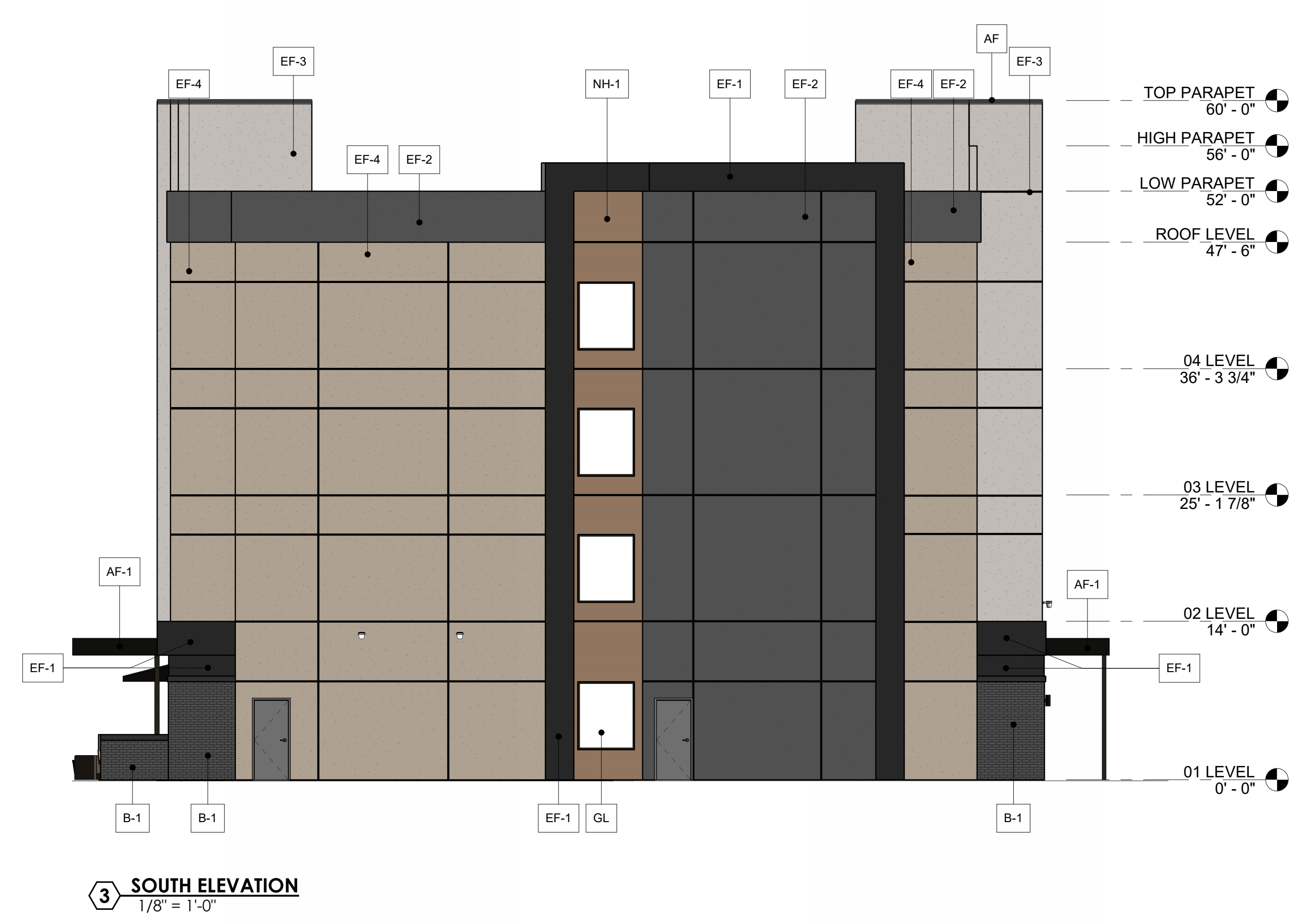
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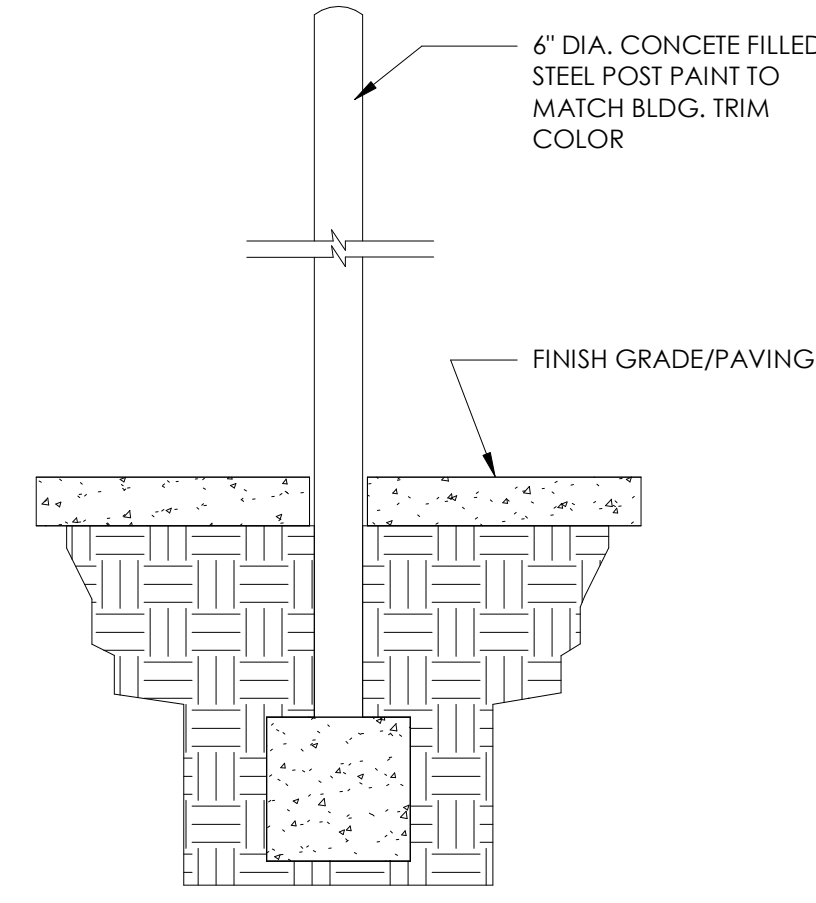
SHEET NAME
 BUILDING ELEVATIONS
 SHEET NUMBER
A5.01



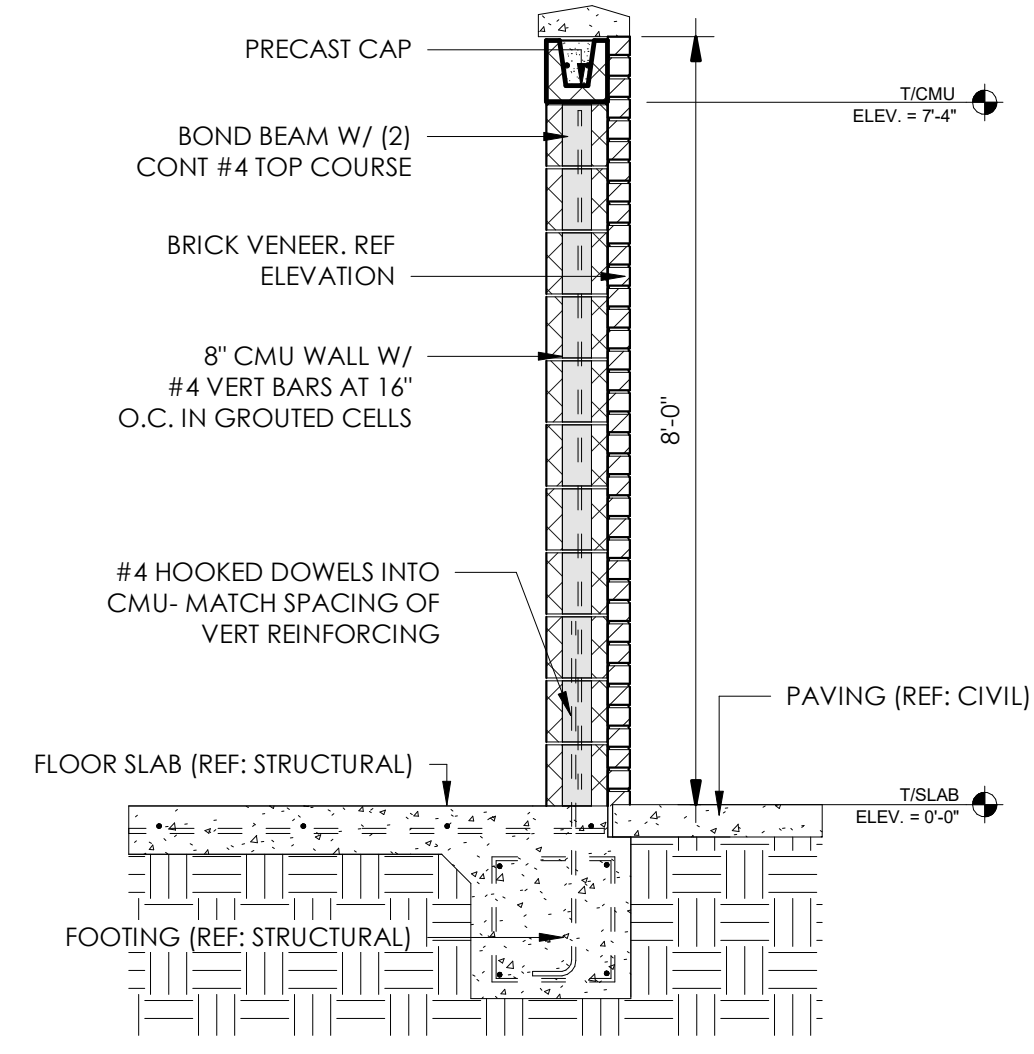
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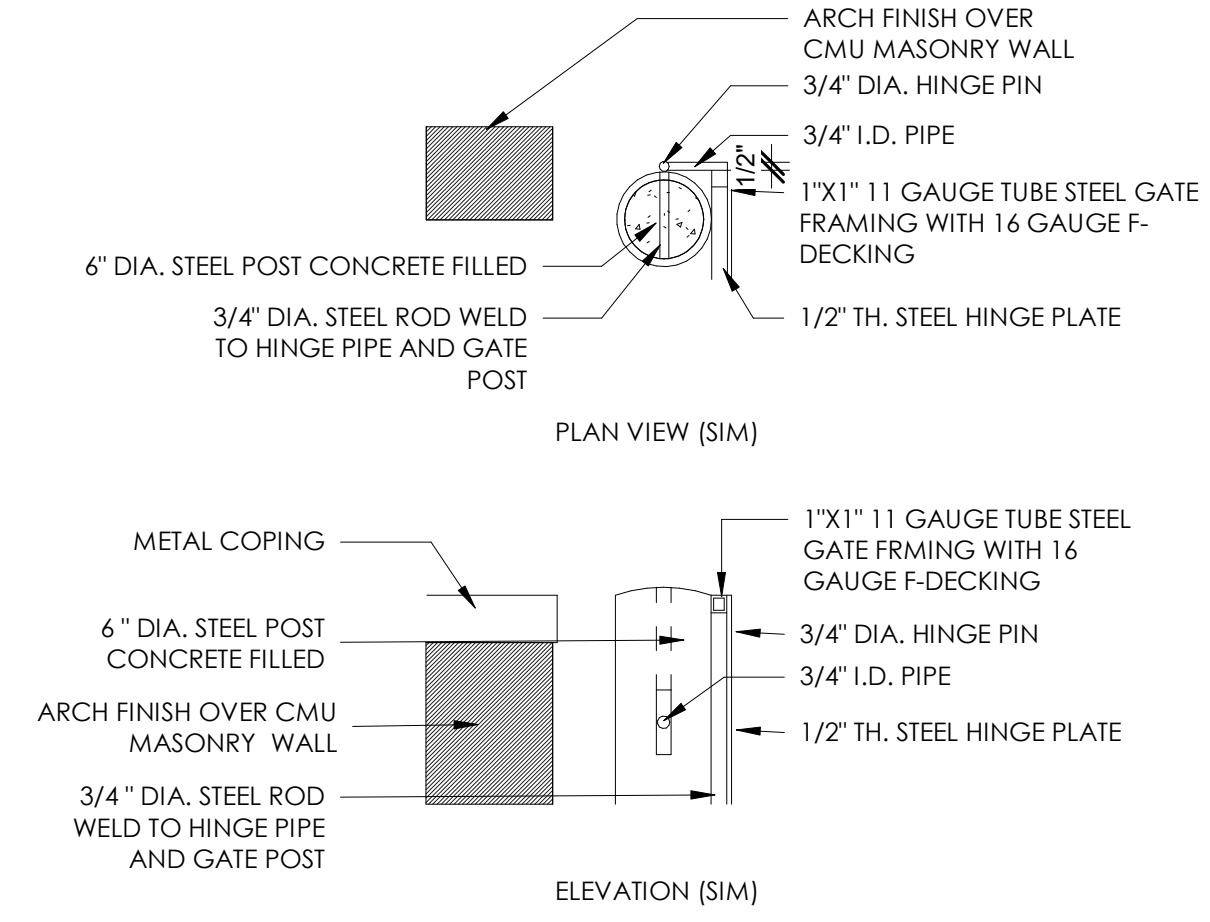
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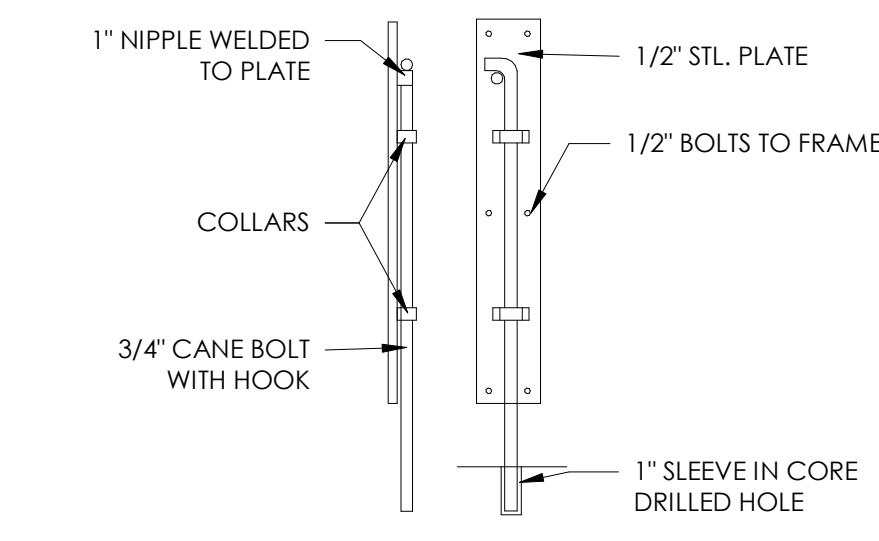
1 BOLLARD DETAIL
1/2" = 1'-0"



9 DUMPSTER ENCLOSURE SECTION
1/2" = 1'-0"

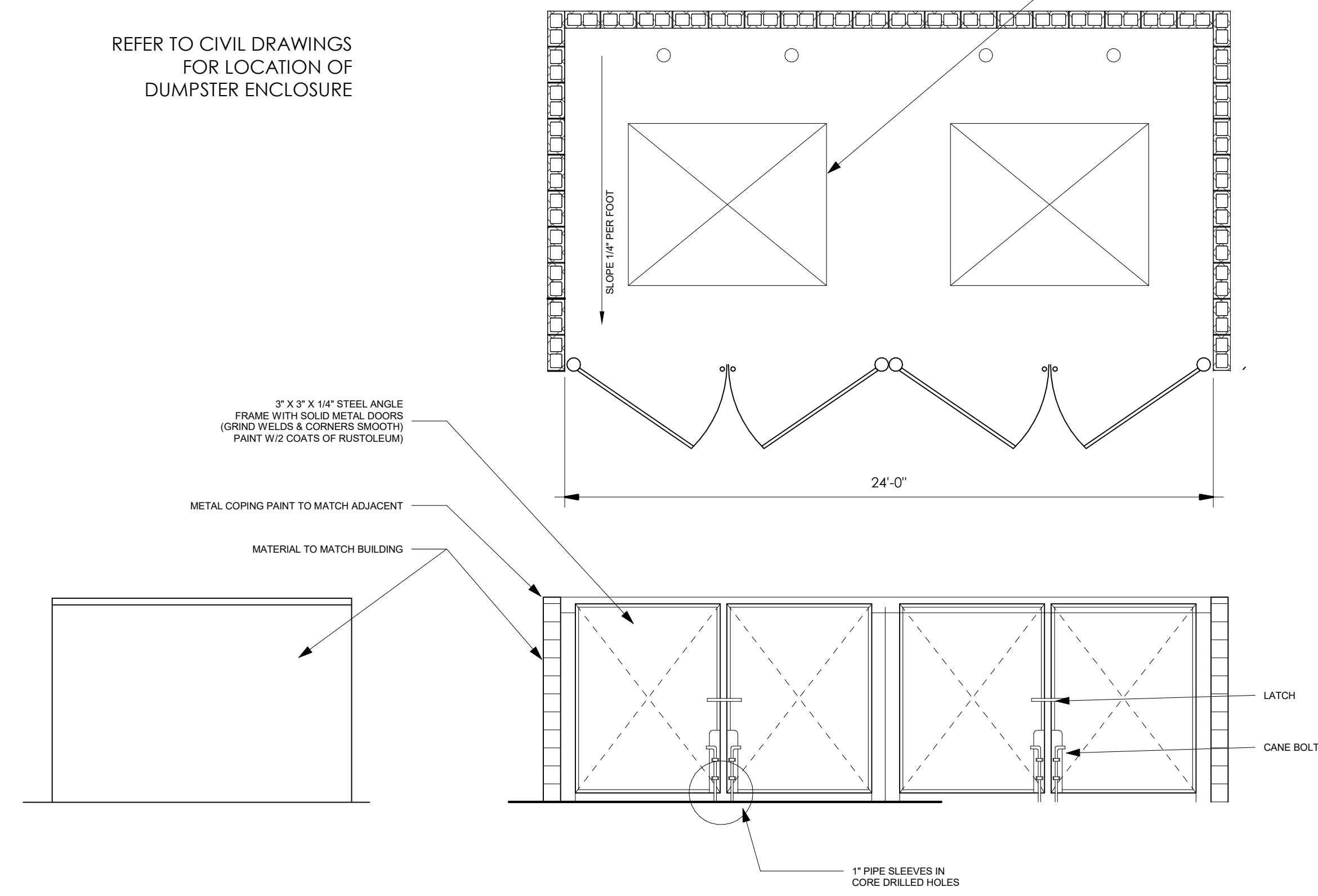


4 DUMPSTER GATE HINGE
1" = 1'-0"



2 CANE BOLT
1" = 1'-0"

REFER TO CIVIL DRAWINGS FOR LOCATION OF DUMPSTER ENCLOSURE



3 DUMPSTER ENCLOSURE
1/4" = 1'-0"

KANSAS CITY MISSOURI

City Plan Commission
Recommends Approval with Conditions
of Case No. **CD-CPC-2024-00019** on **06/18/2024**

Diane Binkley
Diane Binkley, ACP
Secretary of the City Plan Commission



TYPE-SIX DEVELOPMENT SERVICES, LLC
910 SOUTH MAIN STREET #150
GRAPEVINE, TEXAS 76054
972.677.9075

LIVSMART STUDIOS
MARQUEE HOSPITALITY
10000 N POLO DR
KANSAS CITY, MO 64153
PROJECT # 00000

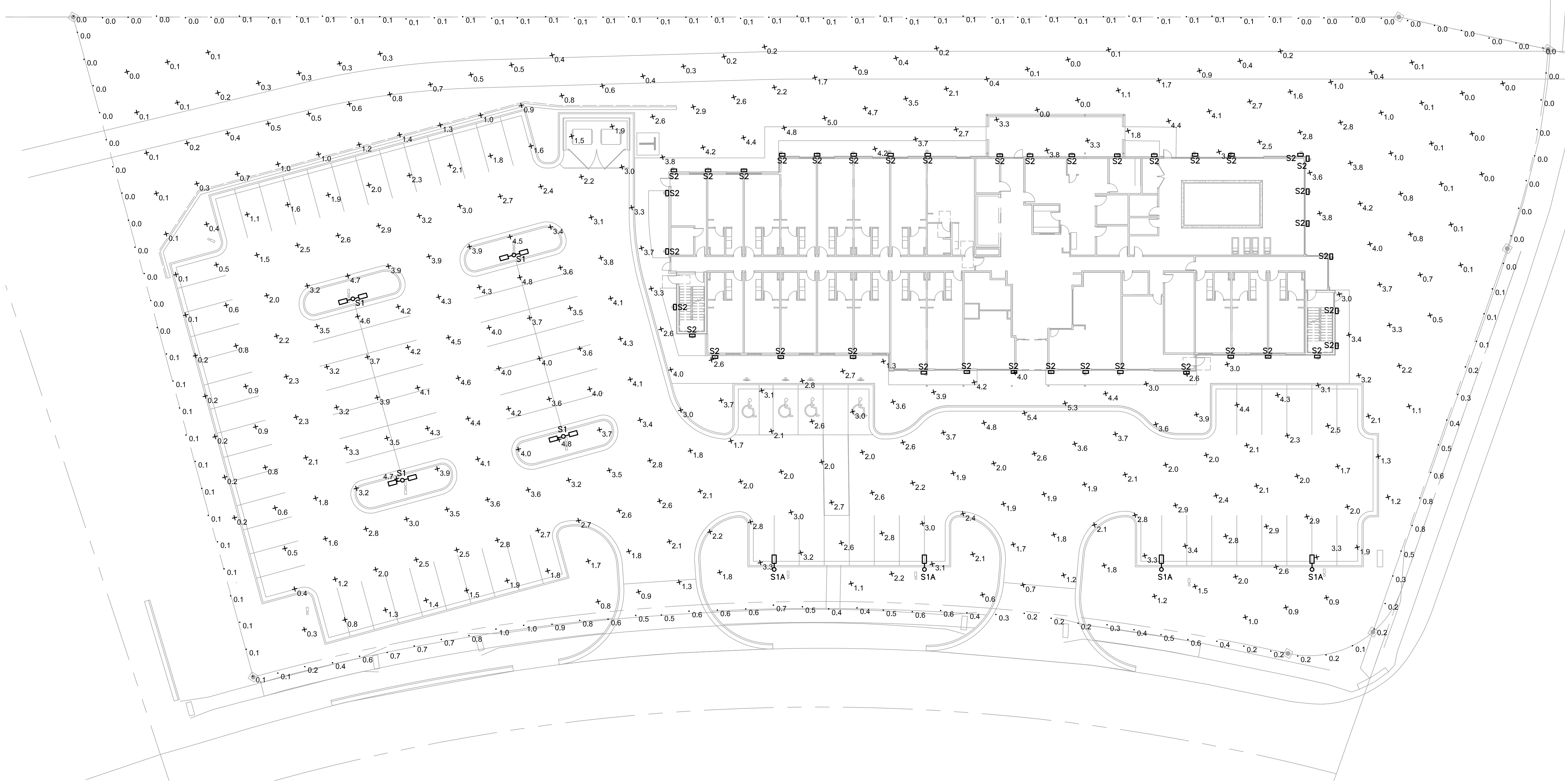
ARCHITECT
D. HAYES HINKLE
ISSUE DATE
29 MAY 2024
ISSUED FOR
REVIEW

#	Revision	Date
1		

SHEET NAME
SITE ELEMENTS

SHEET NUMBER
A0.03





1 SITE PLAN - PHOTOMETRICS
 SCALE: 1" = 20'-0"

LIGHTING SCHEDULE						
TYPE	DESCRIPTION	VOLTAGE	LAMP		FIXTURE	
			NO.	TYPE	MOUNTING	MANUFACTURER/ CAT. #
S1	LED POLE MOUNTED SITE LIGHT	120	1	104W	POLE	LITHONIA
				LED	20'	DSX1-LED-P3-40K-80CRI-T2M-XXXHS-XX
S1A	LED POLE MOUNTED SITE LIGHT	120	1	104W	POLE	LITHONIA
				LED	20'	DSX1-LED-P3-40K-80CRI-T4M-MVOLT-XX-XXHS-XX
S2	LED BUILDING MOUNTED SITE LIGHT	120	1		SURFACE	LITHONIA
				LED	13'	DSXW1-LED-10C-700-40K-TFTM-MVOLT-XX-XXHS-XX

GENERAL NOTES

- ALL REQUESTS FOR SUBSTITUTIONS/ALTERNATES MUST BE SUBMITTED TO ENGINEER 7 DAYS PRIOR TO BID FOR APPROVAL. ALL SUBMISSION SHALL INCLUDE DETAILED CUT SHEETS AND PERFORMANCE DATA FOR CONSIDERATION.
- CONTRACTOR MUST SUBMIT LAMPS AND BALLAST WITH FIXTURE SUBMITTALS.
- LIGHTING PACKAGE MUST BE ENERGY STAR LISTED FIXTURES AND/OR LAMPS

LIVSMART STUDIOS
MARQUEE HOSPITALITY
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PROJECT # 23028

ARCHITECT
 D. HAYES HINKLE
 ISSUE DATE
 17 MAY 2024
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 REVIEW

#	Revision	Date

SHEET NAME
 SITE PLAN
 PHOTOMETRICS
 SHEET NUMBER
PH1.01



