

Ordinance No. 250085

Streetcar Lofts



Neighborhood, Planning and Development Committee
February 4, 2025

#1040941

Request

Approval of a request to approve a Major Amendment to the approved Union Hill UR Development Plan for the properties generally located at 12 E. 31st, 24 E. 31st Street, 3038 Walnut, 3042 Walnut, 3045 McGee, 112 E. 31st Street to create 213 apartment units on 1.83 acres.

Ordinance No. 230450 (May 2023)

Union Hill Time Extension



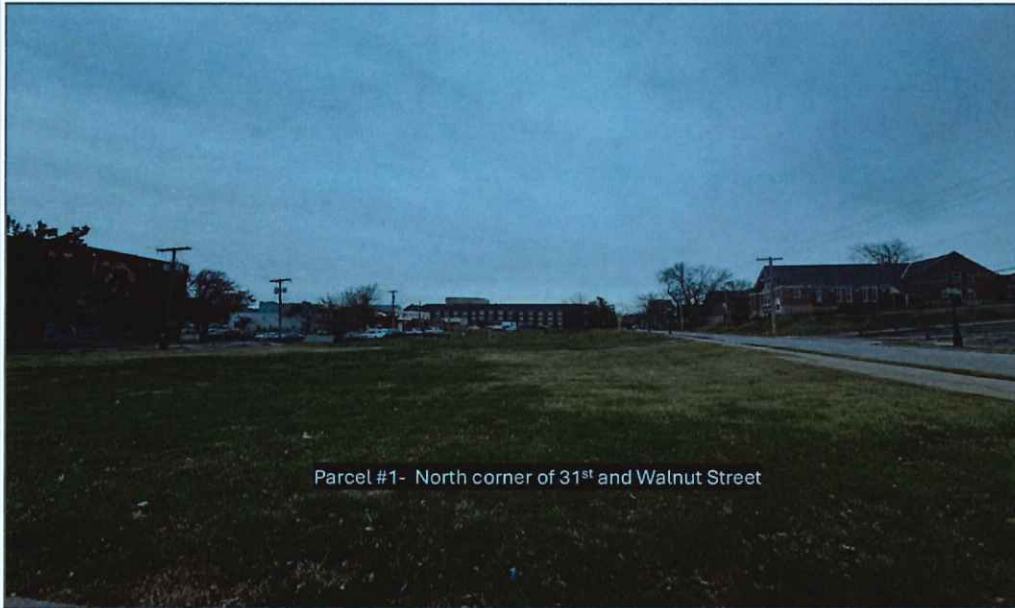
History of Union Hill 353

- Union Hill was a booming area of the City through the 1920's.
- Union Hill fell into decline in the 1930's through the 1970's. Most of housing was vacant and vandalized. Businesses were adult bookstores, pawnshops and seedy bars.
- 1982 – A successful suburban developer put forth a vision to rebuild Union Hill. Unfortunately, the effort failed after a few years.
- 1988 – A group of business leaders and City officials came together to create a formula for success.
- 1988 – Phoenix Redevelopment Corporation was formed and began the successful revitalization and redevelopment of Union Hill.

Zoning & Aerial Map



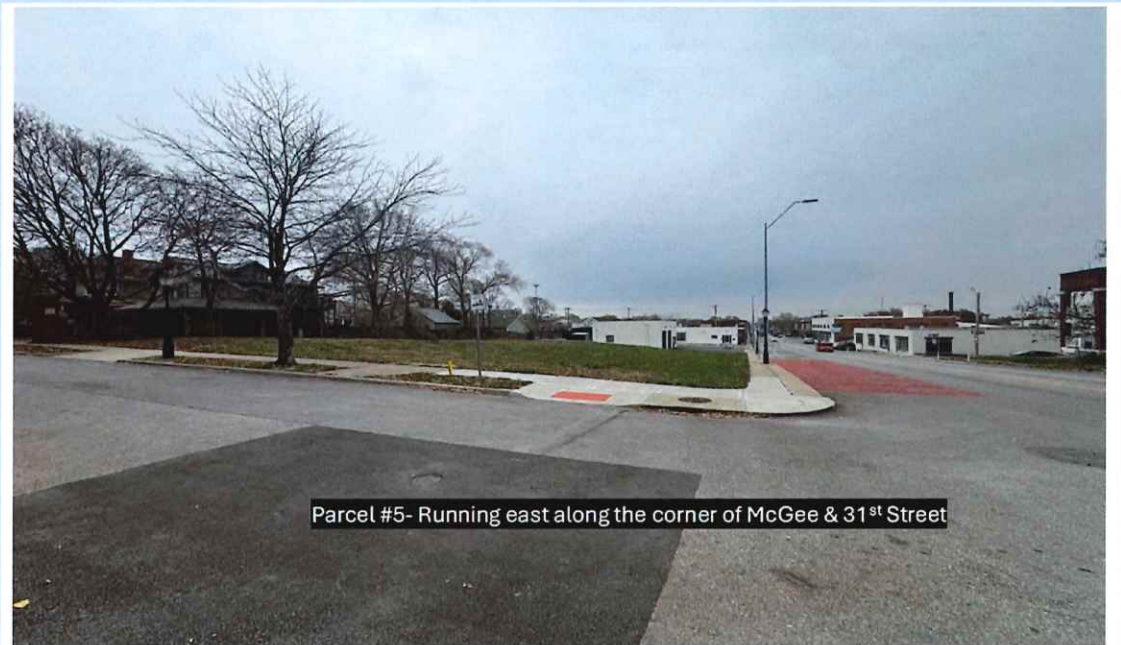
Parcels #1 and #2



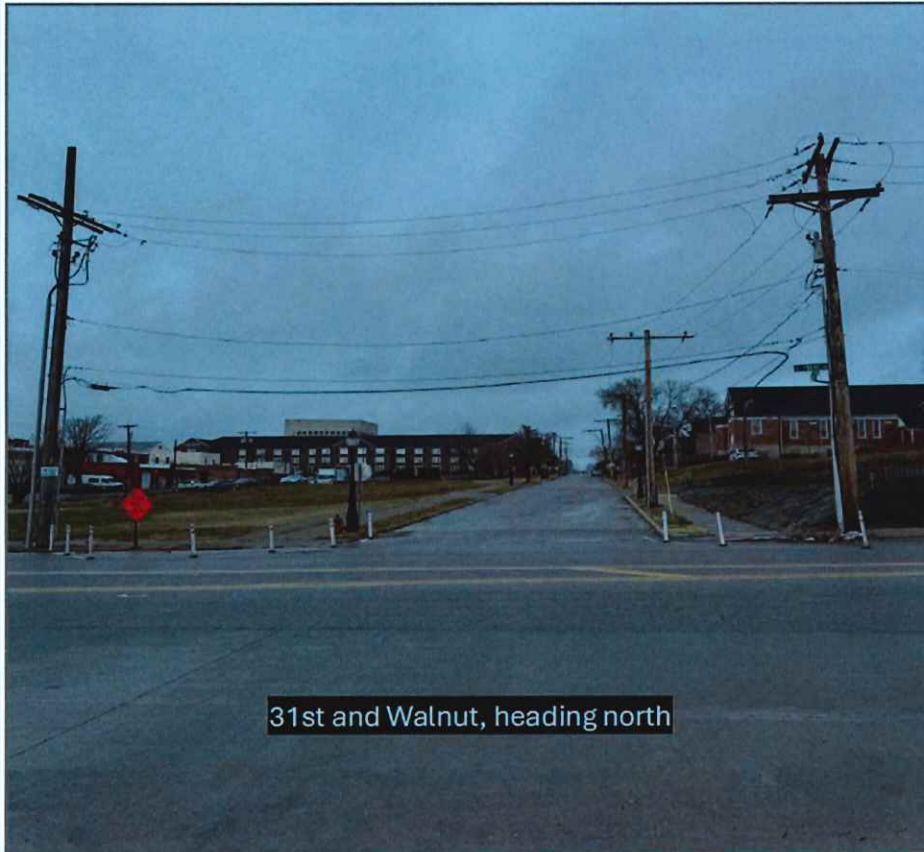
Parcels #4 and #5



Parcel #4- Facing south on the corner of Grand Ave & 31st Street



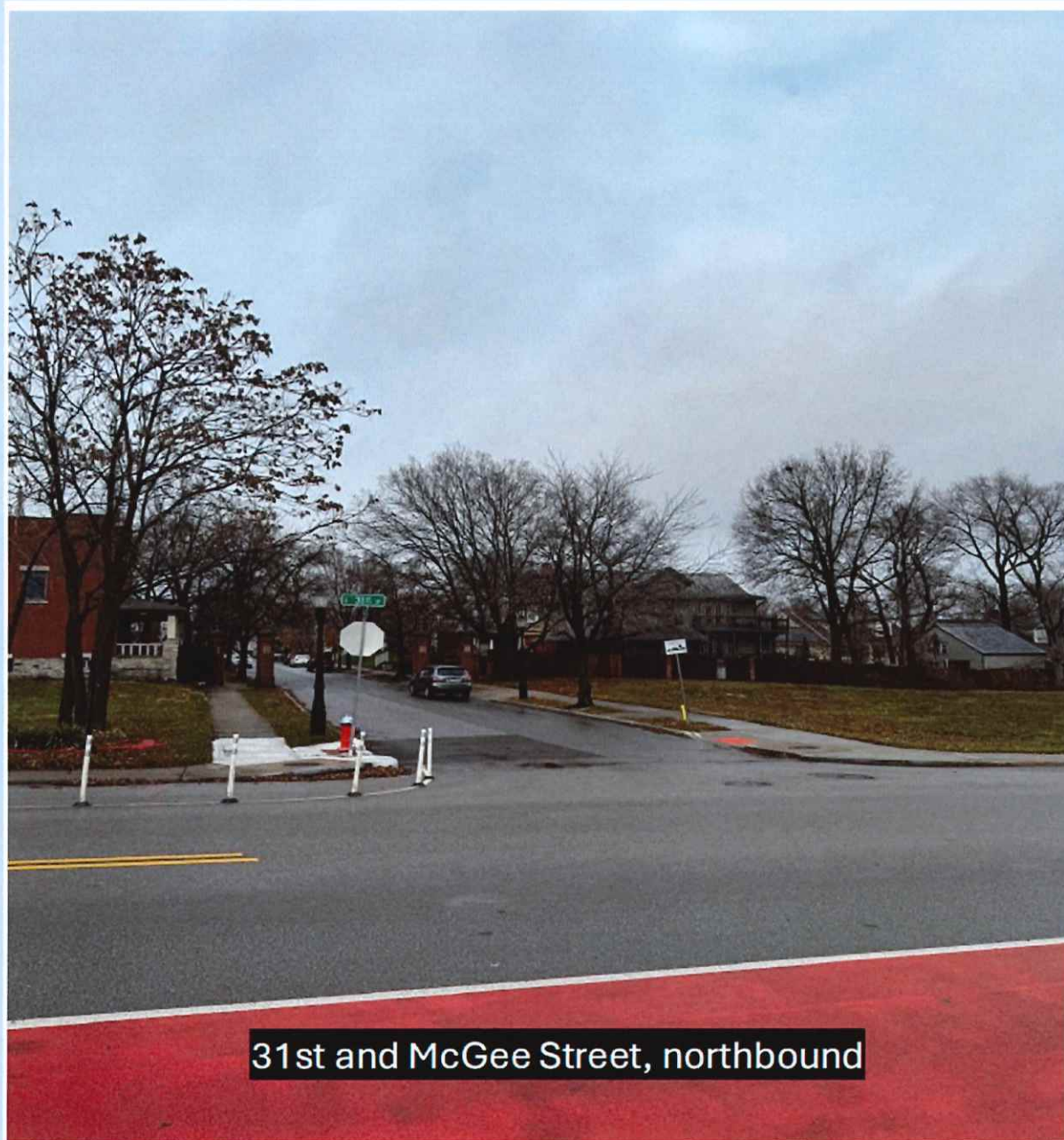
Parcel #5- Running east along the corner of McGee & 31st Street



31st and Walnut, heading north

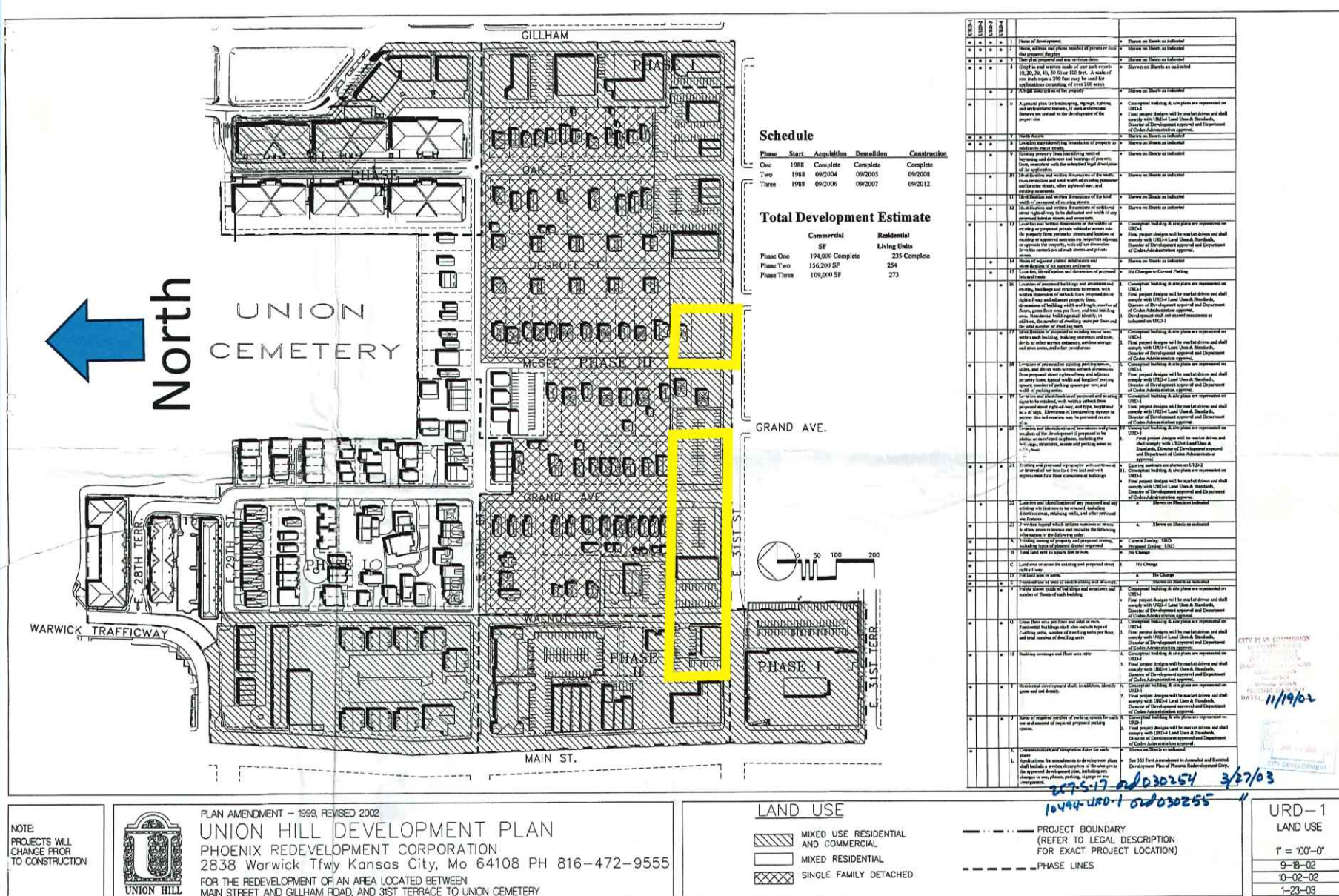


31st and Grand Avenue Facing North



31st and McGee Street, northbound

Overall Union Hill Approved URD Plan



Schedule

Phase	Start	Acquisition	Demolition	Construction
One	1988	Complete	Complete	Complete
Two	1988	09/2004	09/2005	09/2008
Three	1988	09/2006	09/2007	09/2012

Total Development Estimate

	Commercial	Residential
SF		Living Units
Phase One	194,000 SF	235 Complete
Phase Two	156,200 SF	234
Phase Three	109,000 SF	273

Item	Description	Notes
1	Phase of development	Phase on items as indicated
2	Map, showing and phase number of project or other information as indicated	Phase on items as indicated
3	Final plan and map and any revisions thereto	Phase on items as indicated
4	Graphic and written scale of feet each equal to 1/8", 1/16", 1/32", 1/64" or 1/128" (A scale of one inch equals 200 feet may be used for applications consisting of over 200 acres)	Phase on items as indicated
5	Project description of the property	Phase on items as indicated
6	A general plan for landscaping, drainage, lighting and other improvements, if any, and a statement as to whether the development of the project is	Phase on items as indicated
7	Final plan and map and any revisions thereto	Phase on items as indicated
8	Final plan and map and any revisions thereto	Phase on items as indicated
9	Final plan and map and any revisions thereto	Phase on items as indicated
10	Final plan and map and any revisions thereto	Phase on items as indicated
11	Final plan and map and any revisions thereto	Phase on items as indicated
12	Final plan and map and any revisions thereto	Phase on items as indicated
13	Final plan and map and any revisions thereto	Phase on items as indicated
14	Final plan and map and any revisions thereto	Phase on items as indicated
15	Final plan and map and any revisions thereto	Phase on items as indicated
16	Final plan and map and any revisions thereto	Phase on items as indicated
17	Final plan and map and any revisions thereto	Phase on items as indicated
18	Final plan and map and any revisions thereto	Phase on items as indicated
19	Final plan and map and any revisions thereto	Phase on items as indicated
20	Final plan and map and any revisions thereto	Phase on items as indicated
21	Final plan and map and any revisions thereto	Phase on items as indicated
22	Final plan and map and any revisions thereto	Phase on items as indicated
23	Final plan and map and any revisions thereto	Phase on items as indicated
24	Final plan and map and any revisions thereto	Phase on items as indicated
25	Final plan and map and any revisions thereto	Phase on items as indicated
26	Final plan and map and any revisions thereto	Phase on items as indicated
27	Final plan and map and any revisions thereto	Phase on items as indicated
28	Final plan and map and any revisions thereto	Phase on items as indicated
29	Final plan and map and any revisions thereto	Phase on items as indicated
30	Final plan and map and any revisions thereto	Phase on items as indicated
31	Final plan and map and any revisions thereto	Phase on items as indicated
32	Final plan and map and any revisions thereto	Phase on items as indicated
33	Final plan and map and any revisions thereto	Phase on items as indicated
34	Final plan and map and any revisions thereto	Phase on items as indicated
35	Final plan and map and any revisions thereto	Phase on items as indicated
36	Final plan and map and any revisions thereto	Phase on items as indicated
37	Final plan and map and any revisions thereto	Phase on items as indicated
38	Final plan and map and any revisions thereto	Phase on items as indicated
39	Final plan and map and any revisions thereto	Phase on items as indicated
40	Final plan and map and any revisions thereto	Phase on items as indicated
41	Final plan and map and any revisions thereto	Phase on items as indicated
42	Final plan and map and any revisions thereto	Phase on items as indicated
43	Final plan and map and any revisions thereto	Phase on items as indicated
44	Final plan and map and any revisions thereto	Phase on items as indicated
45	Final plan and map and any revisions thereto	Phase on items as indicated
46	Final plan and map and any revisions thereto	Phase on items as indicated
47	Final plan and map and any revisions thereto	Phase on items as indicated
48	Final plan and map and any revisions thereto	Phase on items as indicated
49	Final plan and map and any revisions thereto	Phase on items as indicated
50	Final plan and map and any revisions thereto	Phase on items as indicated
51	Final plan and map and any revisions thereto	Phase on items as indicated
52	Final plan and map and any revisions thereto	Phase on items as indicated
53	Final plan and map and any revisions thereto	Phase on items as indicated
54	Final plan and map and any revisions thereto	Phase on items as indicated
55	Final plan and map and any revisions thereto	Phase on items as indicated
56	Final plan and map and any revisions thereto	Phase on items as indicated
57	Final plan and map and any revisions thereto	Phase on items as indicated
58	Final plan and map and any revisions thereto	Phase on items as indicated
59	Final plan and map and any revisions thereto	Phase on items as indicated
60	Final plan and map and any revisions thereto	Phase on items as indicated
61	Final plan and map and any revisions thereto	Phase on items as indicated
62	Final plan and map and any revisions thereto	Phase on items as indicated
63	Final plan and map and any revisions thereto	Phase on items as indicated
64	Final plan and map and any revisions thereto	Phase on items as indicated
65	Final plan and map and any revisions thereto	Phase on items as indicated
66	Final plan and map and any revisions thereto	Phase on items as indicated
67	Final plan and map and any revisions thereto	Phase on items as indicated
68	Final plan and map and any revisions thereto	Phase on items as indicated
69	Final plan and map and any revisions thereto	Phase on items as indicated
70	Final plan and map and any revisions thereto	Phase on items as indicated
71	Final plan and map and any revisions thereto	Phase on items as indicated
72	Final plan and map and any revisions thereto	Phase on items as indicated
73	Final plan and map and any revisions thereto	Phase on items as indicated
74	Final plan and map and any revisions thereto	Phase on items as indicated
75	Final plan and map and any revisions thereto	Phase on items as indicated
76	Final plan and map and any revisions thereto	Phase on items as indicated
77	Final plan and map and any revisions thereto	Phase on items as indicated
78	Final plan and map and any revisions thereto	Phase on items as indicated
79	Final plan and map and any revisions thereto	Phase on items as indicated
80	Final plan and map and any revisions thereto	Phase on items as indicated
81	Final plan and map and any revisions thereto	Phase on items as indicated
82	Final plan and map and any revisions thereto	Phase on items as indicated
83	Final plan and map and any revisions thereto	Phase on items as indicated
84	Final plan and map and any revisions thereto	Phase on items as indicated
85	Final plan and map and any revisions thereto	Phase on items as indicated
86	Final plan and map and any revisions thereto	Phase on items as indicated
87	Final plan and map and any revisions thereto	Phase on items as indicated
88	Final plan and map and any revisions thereto	Phase on items as indicated
89	Final plan and map and any revisions thereto	Phase on items as indicated
90	Final plan and map and any revisions thereto	Phase on items as indicated
91	Final plan and map and any revisions thereto	Phase on items as indicated
92	Final plan and map and any revisions thereto	Phase on items as indicated
93	Final plan and map and any revisions thereto	Phase on items as indicated
94	Final plan and map and any revisions thereto	Phase on items as indicated
95	Final plan and map and any revisions thereto	Phase on items as indicated
96	Final plan and map and any revisions thereto	Phase on items as indicated
97	Final plan and map and any revisions thereto	Phase on items as indicated
98	Final plan and map and any revisions thereto	Phase on items as indicated
99	Final plan and map and any revisions thereto	Phase on items as indicated
100	Final plan and map and any revisions thereto	Phase on items as indicated

CITY PLAN COMMISSION
 11/19/02

2675-17-02030254 3/27/03
 10444-000-1-02030255

URD-1
LAND USE
1" = 100'-0"
9-8-02
10-02-02
1-23-03

[illegible]

ADAPTED LAND USES AND STANDARDS FROM 10494-URD-4

MIXED USE COMMERCIAL & RESIDENTIAL

USES

- I. GASOLINE AND FUEL SALES SHALL NOT BE PERMITTED ON PROPERTIES WITH FRONTAGE ON MAIN STREET, 51ST STREET, OR WALNUT STREET.
- II. MOTOR VEHICLE REPAIR, LIMITED OR GENERAL, SHALL NOT BE PERMITTED.

LOT AND BUILDING STANDARDS

- I. HEIGHT: BUILDINGS OR STRUCTURES SHALL NOT EXCEED FOUR STORIES OR 60 FEET IN HEIGHT, EXCEPT BUILDINGS WITHIN THE STREETCAR LOFTS PROJECT AREA (NORTHWEST AND NORTHEAST CORNERS OF E 31ST STREET AND WALNUT STREET, NORTHEAST CORNER OF E 31ST STREET AND GRAND AVENUE, AND NORTHEAST CORNER OF E 31ST STREET AND MOGEE STREET).
- II. SIDE YARDS: NO SIDE YARD IS REQUIRED IN THIS MIXED USE COMMERCIAL & RESIDENTIAL DISTRICT. ON A CORNER LOT, THE SIDE YARD SHALL NOT BE GREATER THAN A LINE PROJECTED FROM THE ESTABLISHED FRONTS OF THE STRUCTURES ON THE SIDE STREET.
- III. REAR YARDS: NO REAR YARD IS REQUIRED IN THIS MIXED USE COMMERCIAL & RESIDENTIAL DISTRICT EXCEPT WHERE THE REAR YARD ABUTS OR ADJOINS A RESIDENTIAL DISTRICT. WHEN THIS OCCURS, THERE SHALL BE A REAR YARD AT LEAST 10 FEET IN DEPTH. WHERE THERE IS AN ALLEY, THE REAR YARD SHALL BE MEASURED TO THE CENTER OF THE ALLEY, EXCEPT BUILDINGS WITHIN THE STREETCAR LOFTS PROJECT AREA (NORTHWEST AND NORTHEAST CORNERS OF E 31ST STREET AND WALNUT STREET, NORTHEAST CORNER OF E 31ST STREET AND GRAND AVENUE, AND NORTHEAST CORNER OF E 31ST STREET AND MOGEE STREET).
- IV. RESIDENTIAL STRUCTURES: THERE SHALL BE NO LOT AREA REQUIREMENT FOR THE RESIDENTIAL STRUCTURES.
- V. ALL OTHER STANDARDS SHALL BE DETERMINED BY SECTION 88-110-07 WHERE APPLICABLE.

PARKING

- I. PARKING AND LOADING REGULATIONS FOR ALL USES AND PARKING FOR BUILDINGS ERRECTED EXCLUSIVELY FOR DWELLING PURPOSES SHALL BE AS PROVIDED IN SECTION 88-420. A MINIMUM OF ONE OFF-STREET PARKING SPACE PER DWELLING UNIT IS REQUIRED FOR RESIDENTIAL UNITS IN MIXED USE STRUCTURES IN THIS MIXED USE COMMERCIAL AND RESIDENTIAL DISTRICT.
- II. A MINIMUM OF ONE-HALF OF THE MINIMUM PARKING REQUIREMENTS OF SECTION 88-420-06 SHALL BE FOR NONRESIDENTIAL USES IN THIS MIXED USE COMMERCIAL & RESIDENTIAL DISTRICT, UNLESS EXEMPT BY SECTION 88-420-04.
- III. AN INDIVIDUAL NONRESIDENTIAL USE MAY NOT PROVIDE MORE THAN TWO TIMES THE MINIMUM PARKING REQUIREMENTS OF SECTION 88-420 ON THE SAME LOT OR ON A COMBINATION OF THE SAME AND CONTIGUOUS LOTS IN ANY ZONING DISTRICT, UNLESS THE PARKING PROVIDED IS COMPLETELY ENCLOSED WITHIN A BUILDING. MAXIMUM PARKING RESTRICTIONS SHALL NOT APPLY TO HOTELS.

ARCHITECTURE AND DESIGN

- I. RESIDENTIAL: THE PREDOMINANT STYLE OF UNION HILL'S REMAINING ORIGINAL HOUSING IS "QUEEN ANNE." OTHER STYLES OF ORIGINAL HOUSING WERE "ITALIANATE," "SECOND EMPIRE," AND "GOTHIC" AND IN AREAS THAT WERE REBUILT IN THE 20TH CENTURY, THE "SHIRTWAIST" STYLE PREDOMINATES. DEOROFF WAY IS UNIQUE WITH ITS "NEW ENGLAND SALTBOX" STYLE. NEW RESIDENTIAL CONSTRUCTION SHOULD EMPLOY THE MOST APPROPRIATE OF THESE STYLES FOR THE PARTICULAR BUILDING SITE.
- II. COMMERCIAL: THE PREDOMINANT STYLE OF ORIGINAL COMMERCIAL BUILDINGS IS "VICTORIAN." MOST OF THE REMAINING ORIGINAL BUILDINGS ARE TWO OR THREE STORIES. THE GENERAL STYLE EMPLOYS PLATE GLASS WINDOWS AT STREET LEVEL WITH TRANSOM WINDOWS ABOVE AND TRANSOM WINDOWS ABOVE THE ENTRY DOOR(S). UPPER FLOORS OF BRICK OR STONE CONSTRUCTION WITH CUT OR CAST STONE TRIM AND HAVE A GOOD DEAL OF DECORATIVE DETAILING. ELABORATE CORNICES ARE USUALLY FOUND ON FLAT TOPPED STRUCTURES.
- III. ALL NEW COMMERCIAL CONSTRUCTION SHOULD EVOKE THAT ABOVE STYLES INsofar AS IT IS COMPATIBLE WITH THE INTENDED USE OF THE STRUCTURE AND SHALL EVOKE THE "VICTORIAN" OR TURN OF THE CENTURY" STYLE. NEW STRUCTURES SHALL BE MASONRY CONSTRUCTION AND HAVE MASONRY VENEER. THE PREFERRED MATERIALS ARE RED BRICK WITH CUT CAST STONE TRIM AND DECORATIVE DETAILS, OR ALL NATURAL STONE, OR A COMBINATION OF THE TWO. DISCRETION MAY BE USED FOR THE RENOVATION OF EXISTING BUILDINGS THAT MAY NOT BE OF THE "VICTORIAN" ERA.

MIXED RESIDENTIAL

LOT AND BUILDING STANDARDS

- I. HEIGHT: BUILDINGS OR STRUCTURES SHALL NOT EXCEED FOUR STORIES OR 60 FEET IN HEIGHT.
- II. NO FRONT YARD SETBACK IS REQUIRED IN THIS MIXED RESIDENTIAL DISTRICT.
- III. NO SIDE YARD SETBACK IS REQUIRED IN THIS MIXED RESIDENTIAL DISTRICT.
- IV. NO REAR YARD SETBACK IS REQUIRED IN THIS MIXED RESIDENTIAL DISTRICT.
- V. THE AREA OCCUPIED BY A DETACHED ACCESSORY BUILDING IN THE REAR YARD SHALL BE LIMITED TO 50 PERCENT OF THE AREA OF THE REAR YARD.
- VI. THE MINIMUM WIDTH OF A LOT SHALL BE 16 FEET.
- VII. THERE SHALL BE NO LOT AREA REQUIREMENT.
- VIII. ALL OTHER STANDARDS SHALL BE DETERMINED BY SECTION 88-110-07 WHERE APPLICABLE.

ARCHITECTURE AND DESIGN

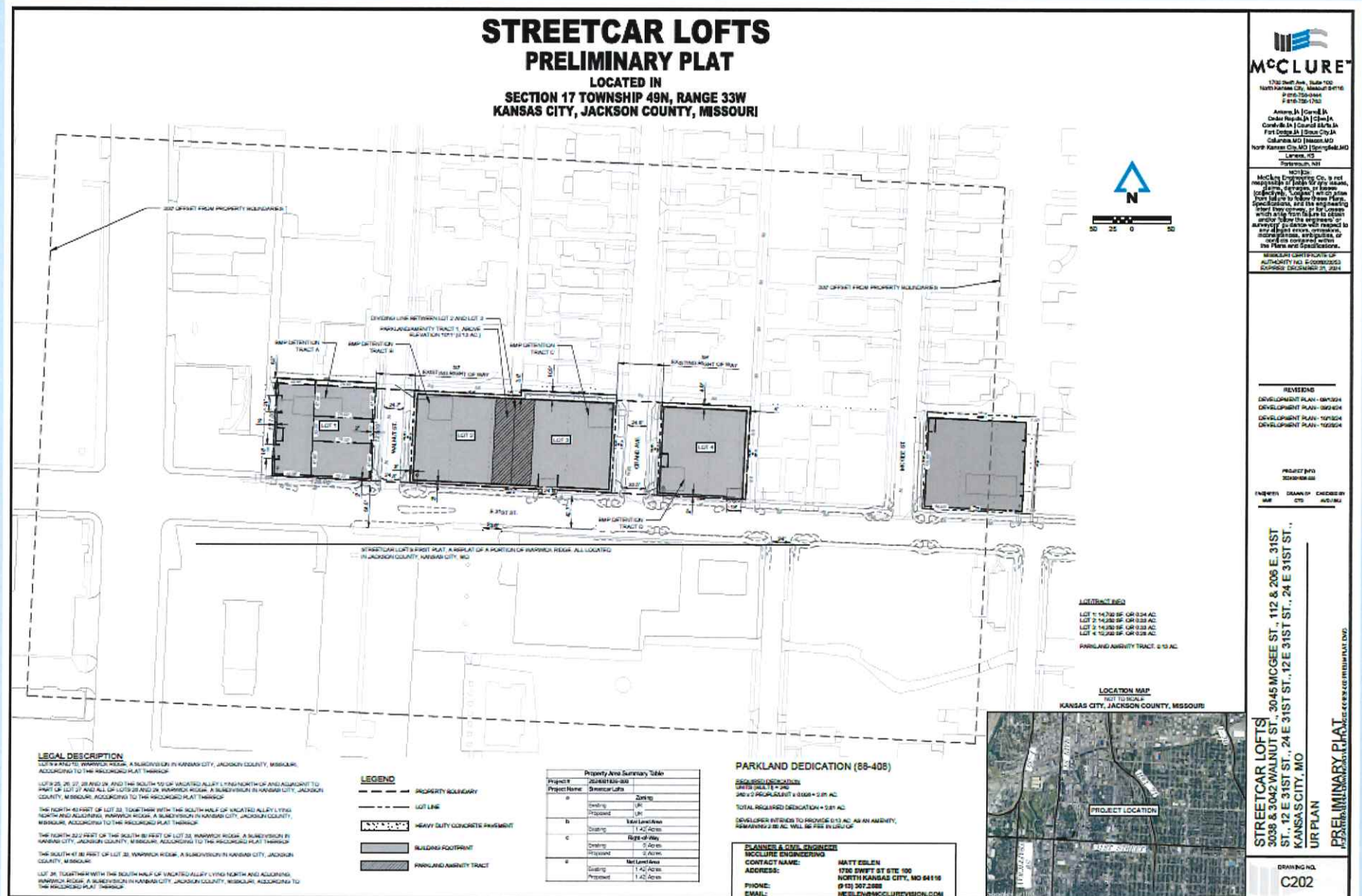
- I. MATERIALS FOR NEW CONSTRUCTION OR EXTERIOR RENOVATIONS SHALL BE OF STONE, BRICK, STUCCO OR WOOD.
- II. ROOF AND GROUND MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW FROM THE STREET AND ADJACENT PROPERTY.
- III. FENCES SHALL BE WROUGHT IRON, DECORATIVE STEEL, OR WOOD PICKET CONSTRUCTION. CHAIN LINK FENCES, WITH OR WITHOUT OPAQUE SLAT INSERTS, ARE PROHIBITED IN THIS MIXED RESIDENTIAL DISTRICT.
- IV. NEW RESIDENTIAL CONSTRUCTION OR EXTERIOR RENOVATION SHOULD USE THE MOST APPROPRIATE ARCHITECTURAL STYLE BASED ON THE PREDOMINATE STYLES FOR THE PARTICULAR BUILDING SITE, "QUEEN ANNE," "ITALIANATE," "SECOND EMPIRE," "GOTHIC," AND "SHIRTWAIST."

SINGLE FAMILY DETACHED RESIDENTIAL

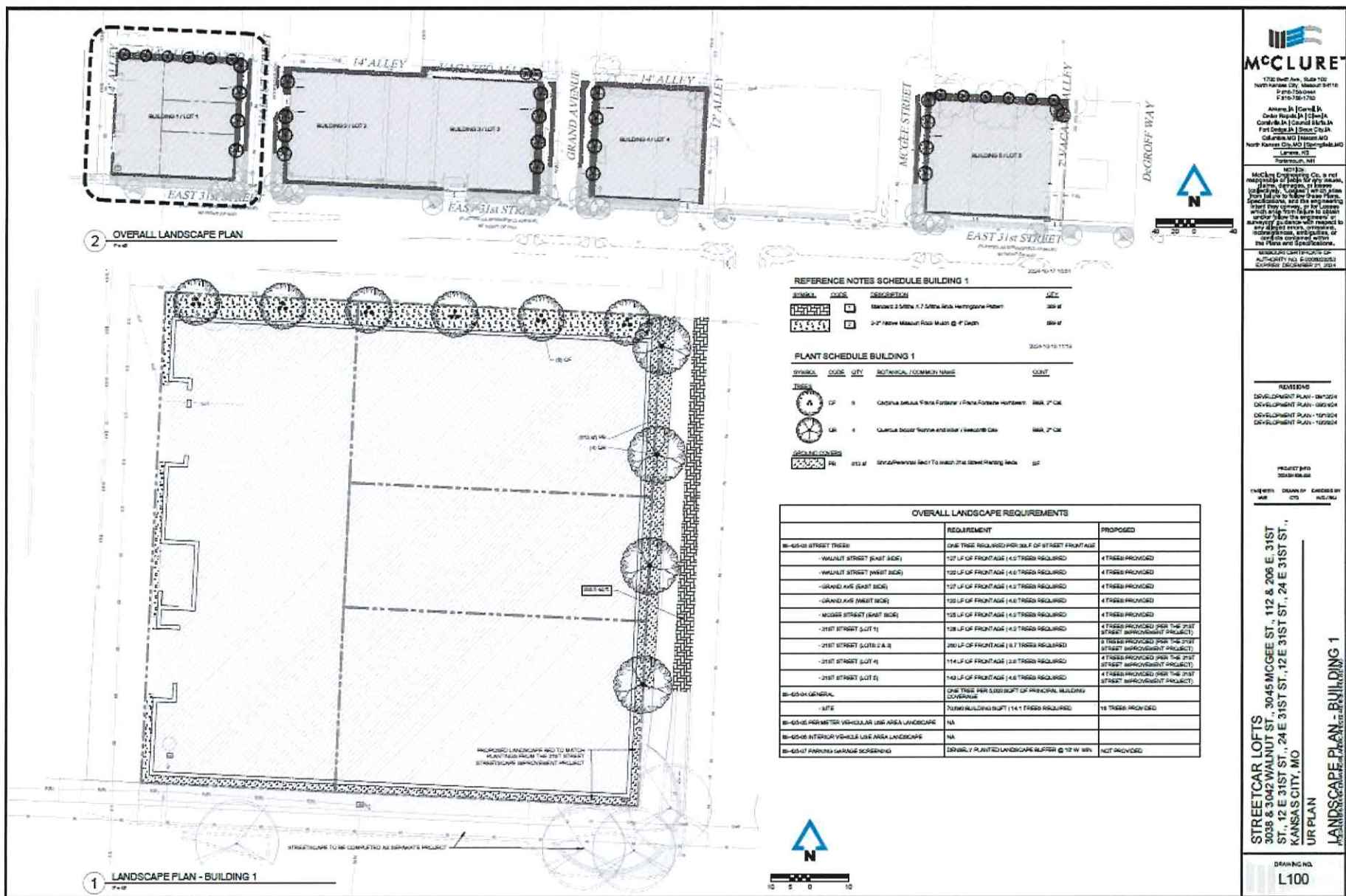
LOT AND BUILDING STANDARDS

- I. ACCESSORY STRUCTURES:
 - a. THE SETBACK FROM A STREET SIDE PROPERTY LINE SHALL BE NO LESS THAN THE SETBACK ESTABLISHED FOR THE PRINCIPAL BUILDING.
 - b. NO SETBACK FROM THE PRINCIPAL BUILDING IS REQUIRED, BUT MUST FOLLOW ALL BUILDING CODE FIRE RATING REQUIREMENTS.
 - c. ACCESSORY STRUCTURES SHALL NOT OCCUPY MORE THAN 50 PERCENT OF THE REAR YARD.
- II. MINIMUM LOT WIDTH SHALL BE 25 FEET IN THIS SINGLE FAMILY DETACHED RESIDENTIAL DISTRICT.
- III. FENCES SHALL BE WROUGHT IRON, DECORATIVE STEEL, OR WOOD PICKET CONSTRUCTION. CHAIN LINK FENCES, WITH OR WITHOUT OPAQUE SLAT INSERTS, ARE PROHIBITED IN THIS MIXED RESIDENTIAL DISTRICT.
- IV. NEW RESIDENTIAL CONSTRUCTION OR EXTERIOR RENOVATION SHOULD USE THE MOST APPROPRIATE ARCHITECTURAL STYLE BASED ON THE PREDOMINATE STYLES FOR THE PARTICULAR BUILDING SITE, "QUEEN ANNE," "ITALIANATE," "SECOND EMPIRE," "GOTHIC," AND "SHIRTWAIST."

Streetcar Lofts Development Plan (and Preliminary Plat)



Streetcar Lofts Landscape Plan



SITE DESIGN

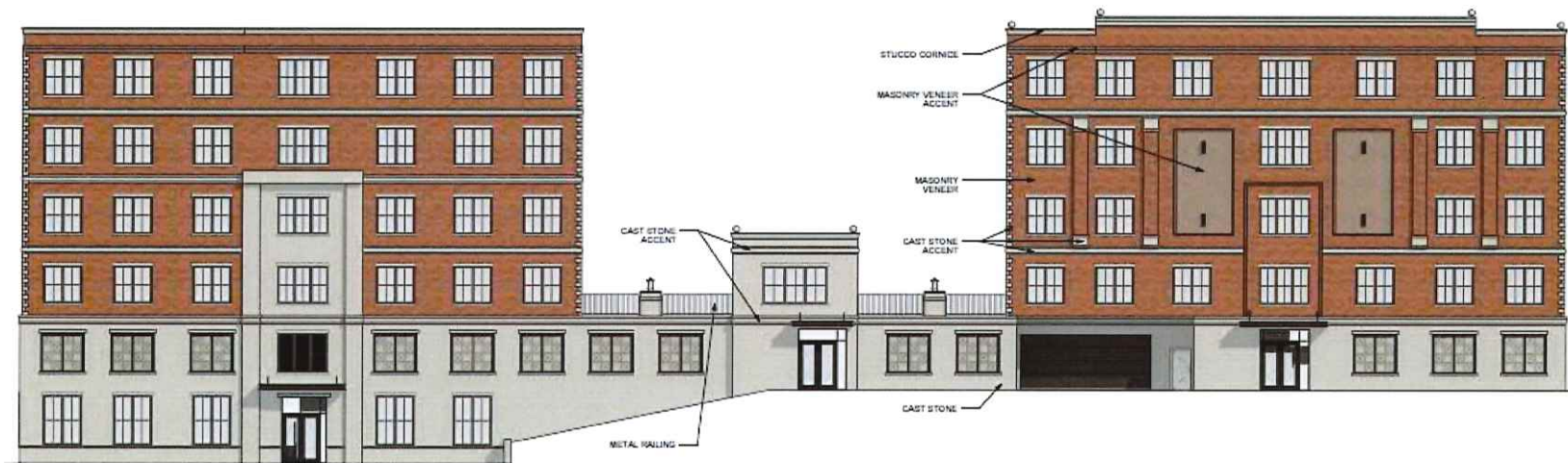
STREETCAR LOFTS | SITE DESIGN



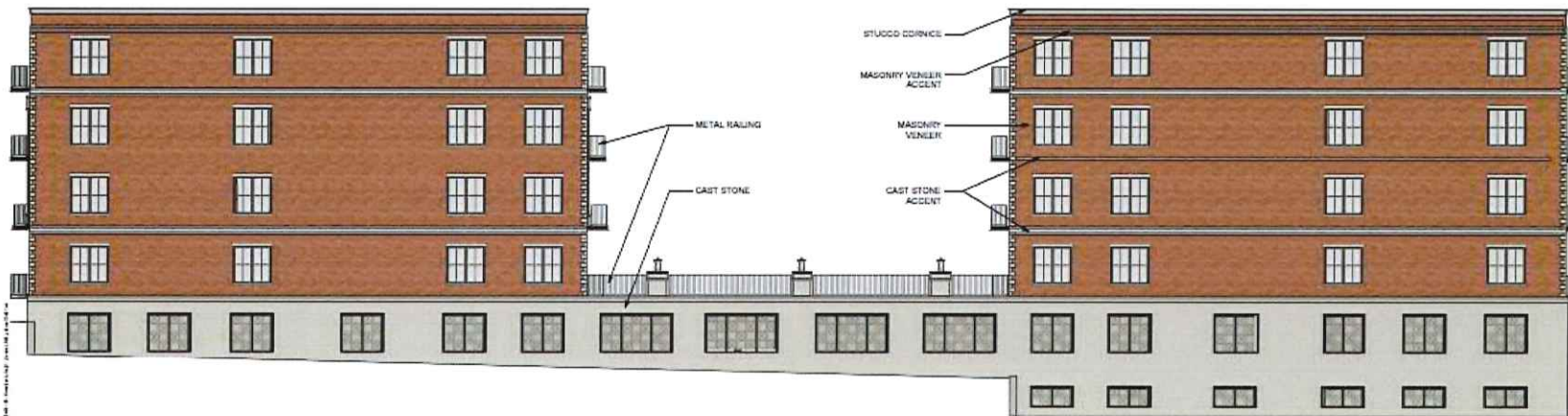
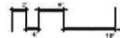
Elevations – Building 1



Elevations – Buildings 2 & 3



2 B2&3 - SOUTH ELEVATION
1/8" = 1'-0"



1 B2&3 - NORTH ELEVATION
1/8" = 1'-0"



PRINTED ON: 10/10/2019
Project Name: B2&3
Drawing Title: ELEVATIONS

rosemann & associates
ARCHITECTS
1000 W. Peachtree Street, NW, 11th Floor
Atlanta, GA 30308
P: 404.525.7224
F: 404.525.7200
WWW.ROSEMANNA.COM
200 Peachtree Street, NW, Suite 1100
Atlanta, GA 30308

STREETCAR LOFTS
EAST 31ST STREET, WALNUT ST.,
JACKSON COUNTY

DRAWN BY: J. KETCHUM
CHECKED BY: J. KETCHUM
DATE: 10/10/2019

A-202

Elevations – Buildings 2 & 3; Building 4



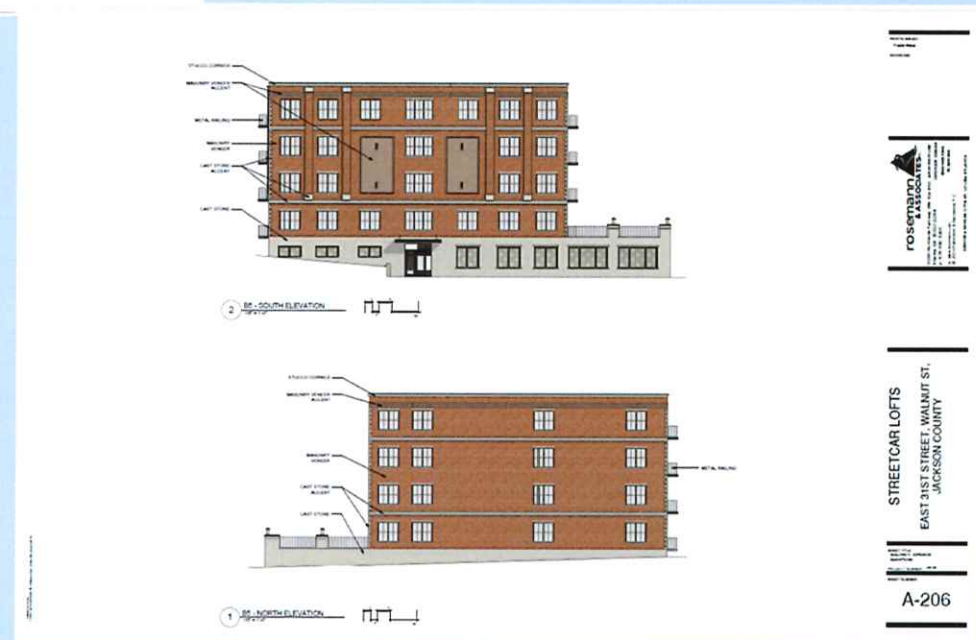
Buildings 2 & 3



Elevations – Buildings 4 & 5



Building 4



Building 5

Elevations – Building 5



2 B5 - EAST ELEVATION
1/8" = 1'-0"



1 B5 - WEST ELEVATION
1/8" = 1'-0"

PROJECT: (000000)
Project Name
REVISED:

rosemann & ASSOCIATES, P.C.
ARCHITECTS
1000 W. 10TH STREET, SUITE 1000
ATLANTA, GA 30332-2204
P: 404.525.1100
F: 404.525.1101
WWW.ROSEMANNA.COM
1000 W. 10TH STREET, SUITE 1000
ATLANTA, GA 30332-2204
P: 404.525.1100
F: 404.525.1101
WWW.ROSEMANNA.COM

STREETCAR LOFTS
EAST 31ST STREET, WALNUT ST.,
JACKSON COUNTY

SHEET TITLE
BUILDING 5 - ELEVATIONS
PLAN NUMBER
PROJECT NO. 000000
SHEET NUMBER

A-207

Additional Perspectives



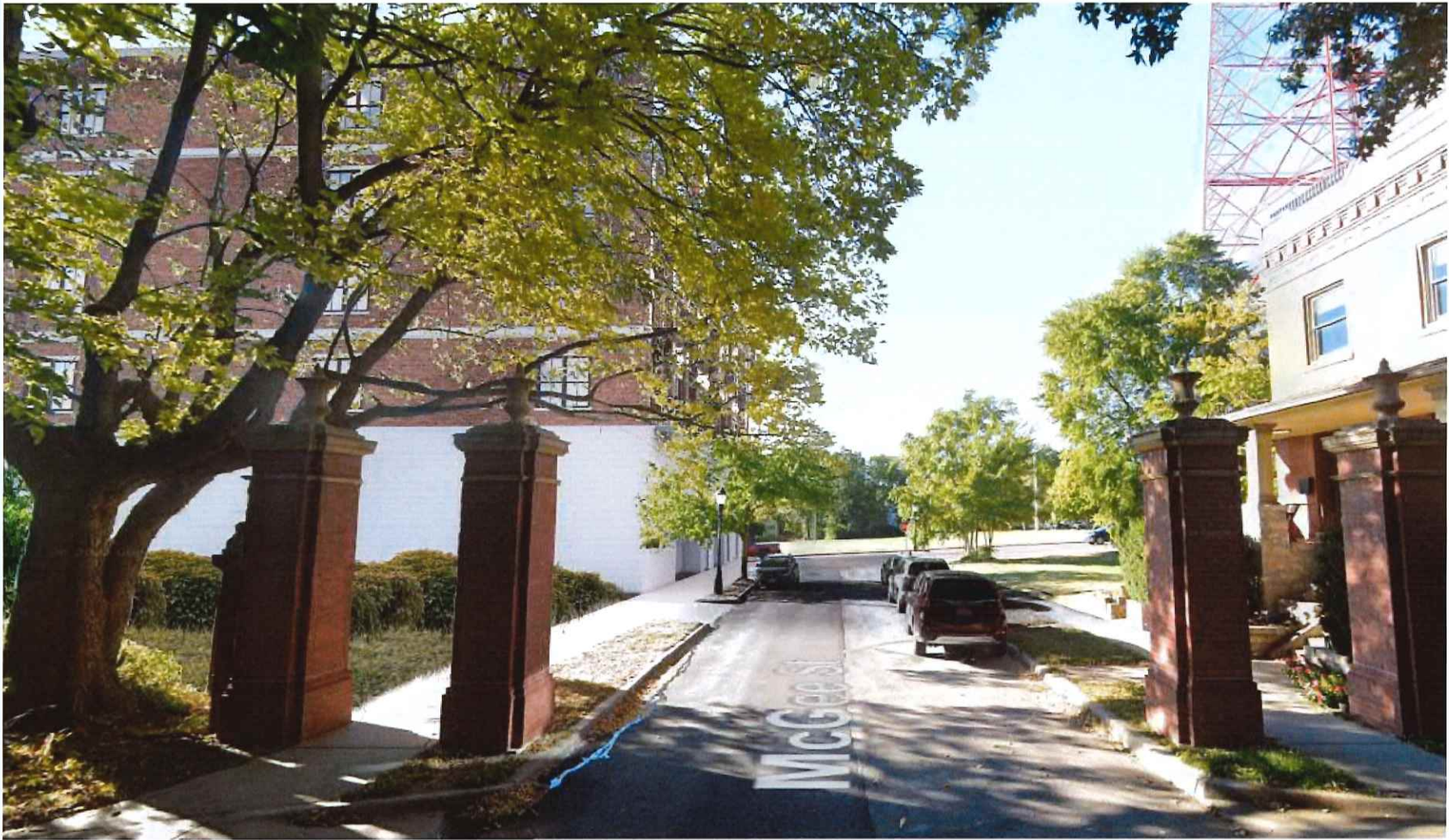
PRESENTATION

STREETCAR LOFTS
EAST 31ST, WALNUT ST, JACKSON COUNTY, KS

A6

rosemann
& ASSOCIATES INC.

Additional Perspectives



PRESENTATION

STREETCAR LOFTS

EAST 31ST, WALNUT ST, JACKSON COUNTY, KS

A6

rosemann
& ASSOCIATES PC

Additional Perspectives



PRESENTATION

STREETCAR LOFTS

EAST 31ST, WALNUT ST, JACKSON COUNTY, KS

A5

rosemann
& ASSOCIATES PC

Agreement with Union Hill

AGREEMENT CONCERNING THE STREETCAR LOFTS PROJECT

THIS AGREEMENT ("Agreement") is effective as of the later of the dates entered below, by and between SDG Union Hill Partners, LLC ("Sunflower") and The Union Hill Neighborhood Association ("UHNA"). This agreement shall be binding and inure to the benefit and parties hereto and their respective successors and assigns.

Sunflower has proposed a residential apartment development project along the north side of 31st Street within the boundaries of UHNA. The project requires modification to the existing UR Zoning covering the proposed site. In addition to the changes in the UR negotiated between UHNA and Sunflower, UHNA requires additional guarantees as follows:

- Sunflower shall erect and maintain a minimum of six dog waste stations to accommodate new pets that will accompany residents in the new apartments.
- Sunflower shall adopt a policy requiring any residents in the Streetcar Lofts who have an automobile must lease a Streetcar Loft parking space for that automobile, with a maximum requirement of leasing one parking space per unit.
- There are brick masonry neighborhood marker monuments at entry points into the Union Hill neighborhood at Walnut, Grand and McGee from 31st Street. If the current location of these marker monuments encroaches onto private property required for the Streetcar Loft project, the monument shall be moved or rebuilt at a compatible location at the expense of Sunflower. Symmetry between opposite sides of the street shall be maintained.
- Sunflower shall review with the UHNA Board any significant changes in the design intent represented by the documents presented to CPC for approval as the project evolves, including the buildings and landscaping.

NOW, THEREFORE in consideration of the foregoing mutual promises and covenants herein contained, the parties agree as follows:

SDG Union Hill Partners, LLC

Union Hill Neighborhood Association

Title: _____

Title: President

Signature: *Jason Swords*
docuSign verified
01/14/25 2:41 AM EST
42d4-GG-JLL-KSL5

Signature: *Stacy Garrett*
docuSign verified
01/14/25 2:11 AM EST
2NCK-HFAB-3D5P-1R9V

Date: _____

Date: 01/14/2025

Request

Sunflower requests approval of Committee Substitute for Ordinance No. 250085, approving the Major Amendment to the Union Hill UR Development Plan for Streetcar Lofts, subject to the conditions.

Thank you!

Overall Union Hill Approved URD Plan

Mixed Use Commercial & Residential

The land uses and standards for development of that property shown as Mixed Use Commercial & Residential shall be as provided for in Section 80-135 (Ordinance 180,212, Brookside business district) of the Zoning Ordinance, as in effect on September 23, 2002, with the following modifications:

Sec. 80-135(b) (1) 4.1. (Service stations) shall not be permitted on properties with frontage on Main Street, 31st Street, or Walnut Street.

Sec. 80-135(b) (1) 4.3 (garages for motor repair) and 4.4. (taxicab businesses) are hereby deleted in their entirety.

Sec. 80-135(b)(2) is amended by inserting the following paragraph:

d. Car washes are permitted as an accessory use provided that said car washes are not available for use to the general public.

Sec. 80-135(c)(1) is hereby deleted in its entirety and the following inserted in lieu thereof:

(1) Height. Buildings or structures shall not exceed four stories or 60 feet in height.

Sec. 80-135(c)(2) is hereby deleted in its entirety and the following inserted in lieu thereof:

(3) Side yards.
(a) No side yard is required in this district. On a corner lot, the side yard shall not be greater than a line projected from the established fronts of the structures on the side street.

Sec. 80-135(c)(4) is hereby deleted in its entirety and the following inserted in lieu thereof:

(4) Rear yards.
(a) No rear yard is required in this district except where the rear yard abuts or adjoins a residential district. When this occurs, there shall be a rear yard at least ten feet in depth. Where there is an alley, the rear yard shall be measured to the center of the alley.

Sec. 80-135(c)(5)a. is hereby deleted in its entirety and the following inserted in lieu thereof:
a. Residential structures. There shall be no lot area requirement for residential structures.

Sec. 80-135(d) is hereby deleted in its entirety and the following inserted in lieu thereof:

(d) Parking and loading regulations. Loading regulations for all uses and parking for buildings erected exclusively for dwelling purposes shall be as provided in Sections 80-444 and 80-445. A minimum of one off-street parking space per dwelling unit is required for residential units in mixed use structures in this district. A minimum of one-half of the minimum parking requirements of Section 80-444 shall be provided for non-residential uses in this district. An individual non-residential use may not provide a combination of the same and contiguous lots in any zoning district, unless the parking provided is completely enclosed within a building. Maximum parking restrictions shall not apply to hotels. Multiple tenants in a common structure or structures sharing a common wall shall be considered an individual use for purposes of this calculation.

Sec. 80-135(e) is hereby amended by inserting the following language:
Any reference to districts R-1, R-2, R-3, R-4, R-5, R-6, R-7, R-8, R-9, R-10, R-11, R-12, R-13, R-14, R-15, R-16, R-17, R-18, R-19, R-20, R-21, R-22, R-23, R-24, R-25, R-26, R-27, R-28, R-29, R-30, R-31, R-32, R-33, R-34, R-35, R-36, R-37, R-38, R-39, R-40, R-41, R-42, R-43, R-44, R-45, R-46, R-47, R-48, R-49, R-50, R-51, R-52, R-53, R-54, R-55, R-56, R-57, R-58, R-59, R-60, R-61, R-62, R-63, R-64, R-65, R-66, R-67, R-68, R-69, R-70, R-71, R-72, R-73, R-74, R-75, R-76, R-77, R-78, R-79, R-80, R-81, R-82, R-83, R-84, R-85, R-86, R-87, R-88, R-89, R-90, R-91, R-92, R-93, R-94, R-95, R-96, R-97, R-98, R-99, R-100, R-101, R-102, R-103, R-104, R-105, R-106, R-107, R-108, R-109, R-110, R-111, R-112, R-113, R-114, R-115, R-116, R-117, R-118, R-119, R-120, R-121, R-122, R-123, R-124, R-125, R-126, R-127, R-128, R-129, R-130, R-131, R-132, R-133, R-134, R-135, R-136, R-137, R-138, R-139, R-140, R-141, R-142, R-143, R-144, R-145, R-146, R-147, R-148, R-149, R-150, R-151, R-152, R-153, R-154, R-155, R-156, R-157, R-158, R-159, R-160, R-161, R-162, R-163, R-164, R-165, R-166, R-167, R-168, R-169, R-170, R-171, R-172, R-173, R-174, R-175, R-176, R-177, R-178, R-179, R-180, R-181, R-182, R-183, R-184, R-185, R-186, R-187, R-188, R-189, R-190, R-191, R-192, R-193, R-194, R-195, R-196, R-197, R-198, R-199, R-200, R-201, R-202, R-203, R-204, R-205, R-206, R-207, R-208, R-209, R-210, R-211, R-212, R-213, R-214, R-215, R-216, R-217, R-218, R-219, R-220, R-221, R-222, R-223, R-224, R-225, R-226, R-227, R-228, R-229, R-230, R-231, R-232, R-233, R-234, R-235, R-236, R-237, R-238, R-239, R-240, R-241, R-242, R-243, R-244, R-245, R-246, R-247, R-248, R-249, R-250, R-251, R-252, R-253, R-254, R-255, R-256, R-257, R-258, R-259, R-260, R-261, R-262, R-263, R-264, R-265, R-266, R-267, R-268, R-269, R-270, R-271, R-272, R-273, R-274, R-275, R-276, R-277, R-278, R-279, R-280, R-281, R-282, R-283, R-284, R-285, R-286, R-287, R-288, R-289, R-290, R-291, R-292, R-293, R-294, R-295, R-296, R-297, R-298, R-299, R-300, R-301, R-302, R-303, R-304, R-305, R-306, R-307, R-308, R-309, R-310, R-311, R-312, R-313, R-314, R-315, R-316, R-317, R-318, R-319, R-320, R-321, R-322, R-323, R-324, R-325, R-326, R-327, R-328, R-329, R-330, R-331, R-332, R-333, R-334, R-335, R-336, R-337, R-338, R-339, R-340, R-341, R-342, R-343, R-344, R-345, R-346, R-347, R-348, R-349, R-350, R-351, R-352, R-353, R-354, R-355, R-356, R-357, R-358, R-359, R-360, R-361, R-362, R-363, R-364, R-365, R-366, R-367, R-368, R-369, R-370, R-371, R-372, R-373, R-374, R-375, R-376, R-377, R-378, R-379, R-380, R-381, R-382, R-383, R-384, R-385, R-386, R-387, R-388, R-389, R-390, R-391, R-392, R-393, R-394, R-395, R-396, R-397, R-398, R-399, R-400, R-401, R-402, R-403, R-404, R-405, R-406, R-407, R-408, R-409, R-410, R-411, R-412, R-413, R-414, R-415, R-416, R-417, R-418, R-419, R-420, R-421, R-422, R-423, R-424, R-425, R-426, R-427, R-428, R-429, R-430, R-431, R-432, R-433, R-434, R-435, R-436, R-437, R-438, R-439, R-440, R-441, R-442, R-443, R-444, R-445, R-446, R-447, R-448, R-449, R-450, R-451, R-452, R-453, R-454, R-455, R-456, R-457, R-458, R-459, R-460, R-461, R-462, R-463, R-464, R-465, R-466, R-467, R-468, R-469, R-470, R-471, R-472, R-473, R-474, R-475, R-476, R-477, R-478, R-479, R-480, R-481, R-482, R-483, R-484, R-485, R-486, R-487, R-488, R-489, R-490, R-491, R-492, R-493, R-494, R-495, R-496, R-497, R-498, R-499, R-500, R-501, R-502, R-503, R-504, R-505, R-506, R-507, R-508, R-509, R-510, R-511, R-512, R-513, R-514, R-515, R-516, R-517, R-518, R-519, R-520, R-521, R-522, R-523, R-524, R-525, R-526, R-527, R-528, R-529, R-530, R-531, R-532, R-533, R-534, R-535, R-536, R-537, R-538, R-539, R-540, R-541, R-542, R-543, R-544, R-545, R-546, R-547, R-548, R-549, R-550, R-551, R-552, R-553, R-554, R-555, R-556, R-557, R-558, R-559, R-560, R-561, R-562, R-563, R-564, R-565, R-566, R-567, R-568, R-569, R-570, R-571, R-572, R-573, R-574, R-575, R-576, R-577, R-578, R-579, R-580, R-581, R-582, R-583, R-584, R-585, R-586, R-587, R-588, R-589, R-590, R-591, R-592, R-593, R-594, R-595, R-596, R-597, R-598, R-599, R-600, R-601, R-602, R-603, R-604, R-605, R-606, R-607, R-608, R-609, R-610, R-611, R-612, R-613, R-614, R-615, R-616, R-617, R-618, R-619, R-620, R-621, R-622, R-623, R-624, R-625, R-626, R-627, R-628, R-629, R-630, R-631, R-632, R-633, R-634, R-635, R-636, R-637, R-638, R-639, R-640, R-641, R-642, R-643, R-644, R-645, R-646, R-647, R-648, R-649, R-650, R-651, R-652, R-653, R-654, R-655, R-656, R-657, R-658, R-659, R-660, R-661, R-662, R-663, R-664, R-665, R-666, R-667, R-668, R-669, R-670, R-671, R-672, R-673, R-674, R-675, R-676, R-677, R-678, R-679, R-680, R-681, R-682, R-683, R-684, R-685, R-686, R-687, R-688, R-689, R-690, R-691, R-692, R-693, R-694, R-695, R-696, R-697, R-698, R-699, R-700, R-701, R-702, R-703, R-704, R-705, R-706, R-707, R-708, R-709, R-710, R-711, R-712, R-713, R-714, R-715, R-716, R-717, R-718, R-719, R-720, R-721, R-722, R-723, R-724, R-725, R-726, R-727, R-728, R-729, R-730, R-731, R-732, R-733, R-734, R-735, R-736, R-737, R-738, R-739, R-740, R-741, R-742, R-743, R-744, R-745, R-746, R-747, R-748, R-749, R-750, R-751, R-752, R-753, R-754, R-755, R-756, R-757, R-758, R-759, R-760, R-761, R-762, R-763, R-764, R-765, R-766, R-767, R-768, R-769, R-770, R-771, R-772, R-773, R-774, R-775, R-776, R-777, R-778, R-779, R-780, R-781, R-782, R-783, R-784, R-785, R-786, R-787, R-788, R-789, R-790, R-791, R-792, R-793, R-794, R-795, R-796, R-797, R-798, R-799, R-800, R-801, R-802, R-803, R-804, R-805, R-806, R-807, R-808, R-809, R-810, R-811, R-812, R-813, R-814, R-815, R-816, R-817, R-818, R-819, R-820, R-821, R-822, R-823, R-824, R-825, R-826, R-827, R-828, R-829, R-830, R-831, R-832, R-833, R-834, R-835, R-836, R-837, R-838, R-839, R-840, R-841, R-842, R-843, R-844, R-845, R-846, R-847, R-848, R-849, R-850, R-851, R-852, R-853, R-854, R-855, R-856, R-857, R-858, R-859, R-860, R-861, R-862, R-863, R-864, R-865, R-866, R-867, R-868, R-869, R-870, R-871, R-872, R-873, R-874, R-875, R-876, R-877, R-878, R-879, R-880, R-881, R-882, R-883, R-884, R-885, R-886, R-887, R-888, R-889, R-890, R-891, R-892, R-893, R-894, R-895, R-896, R-897, R-898, R-899, R-900, R-901, R-902, R-903, R-904, R-905, R-906, R-907, R-908, R-909, R-910, R-911, R-912, R-913, R-914, R-915, R-916, R-917, R-918, R-919, R-920, R-921, R-922, R-923, R-924, R-925, R-926, R-927, R-928, R-929, R-930, R-931, R-932, R-933, R-934, R-935, R-936, R-937, R-938, R-939, R-940, R-941, R-942, R-943, R-944, R-945, R-946, R-947, R-948, R-949, R-950, R-951, R-952, R-953, R-954, R-955, R-956, R-957, R-958, R-959, R-960, R-961, R-962, R-963, R-964, R-965, R-966, R-967, R-968, R-969, R-970, R-971, R-972, R-973, R-974, R-975, R-976, R-977, R-978, R-979, R-980, R-981, R-982, R-983, R-984, R-985, R-986, R-987, R-988, R-989, R-990, R-991, R-992, R-993, R-994, R-995, R-996, R-997, R-998, R-999, R-1000, R-1001, R-1002, R-1003, R-1004, R-1005, R-1006, R-1007, R-1008, R-1009, R-1010, R-1011, R-1012, R-1013, R-1014, R-1015, R-1016, R-1017, R-1018, R-1019, R-1020, R-1021, R-1022, R-1023, R-1024, R-1025, R-1026, R-1027, R-1028, R-1029, R-1030, R-1031, R-1032, R-1033, R-1034, R-1035, R-1036, R-1037, R-1038, R-1039, R-1040, R-1041, R-1042, R-1043, R-1044, R-1045, R-1046, R-1047, R-1048, R-1049, R-1050, R-1051, R-1052, R-1053, R-1054, R-1055, R-1056, R-1057, R-1058, R-1059, R-1060, R-1061, R-1062, R-1063, R-1064, R-1065, R-1066, R-1067, R-1068, R-1069, R-1070, R-1071, R-1072, R-1073, R-1074, R-1075, R-1076, R-1077, R-1078, R-1079, R-1080, R-1081, R-1082, R-1083, R-1084, R-1085, R-1086, R-1087, R-1088, R-1089, R-1090, R-1091, R-1092, R-1093, R-1094, R-1095, R-1096, R-1097, R-1098, R-1099, R-1100, R-1101, R-1102, R-1103, R-1104, R-1105, R-1106, R-1107, R-1108, R-1109, R-1110, R-1111, R-1112, R-1113, R-1114, R-1115, R-1116, R-1117, R-1118, R-1119, R-1120, R-1121, R-1122, R-1123, R-1124, R-1125, R-1126, R-1127, R-1128, R-1129, R-1130, R-1131, R-1132, R-1133, R-1134, R-1135, R-1136, R-1137, R-1138, R-1139, R-1140, R-1141, R-1142, R-1143, R-1144, R-1145, R-1146, R-1147, R-1148, R-1149, R-1150, R-1151, R-1152, R-1153, R-1154, R-1155, R-1156, R-1157, R-1158, R-1159, R-1160, R-1161, R-1162, R-1163, R-1164, R-1165, R-1166, R-1167, R-1168, R-1169, R-1170, R-1171, R-1172, R-1173, R-1174, R-1175, R-1176, R-1177, R-1178, R-1179, R-1180, R-1181, R-1182, R-1183, R-1184, R-1185, R-1186, R-1187, R-1188, R-1189, R-1190, R-1191, R-1192, R-1193, R-1194, R-1195, R-1196, R-1197, R-1198, R-1199, R-1200, R-1201, R-1202, R-1203, R-1204, R-1205, R-1206, R-1207, R-1208, R-1209, R-1210, R-1211, R-1212, R-1213, R-1214, R-1215, R-1216, R-1217, R-1218, R-1219, R-1220, R-1221, R-1222, R-1223, R-1224, R-1225, R-1226, R-1227, R-1228, R-1229, R-1230, R-1231, R-1232, R-1233, R-1234, R-1235, R-1236, R-1237, R-1238, R-1239, R-1240, R-1241, R-1242, R-1243, R-1244, R-1245, R-1246, R-1247, R-1248, R-1249, R-1250, R-1251, R-1252, R-1253, R-1254, R-1255, R-1256, R-1257, R-1258, R-1259, R-1260, R-1261, R-1262, R-1263, R-1264, R-1265, R-1266, R-1267, R-1268, R-1269, R-1270, R-1271, R-1272, R-1273, R-1274, R-1275, R-1276, R-1277, R-1278, R-1279, R-1280, R-1281, R-1282, R-1283, R-1284, R-1285, R-1286, R-1287, R-1288, R-1289, R-1290, R-1291, R-1292, R-1293, R-1294, R-1295, R-1296, R-1297, R-1298, R-1299, R-1300, R-1301, R-1302, R-1303, R-1304, R-1305, R-1306, R-1307, R-1308, R-1309, R-1310, R-1311, R-1312, R-1313, R-1314, R-1315, R-1316, R-1317, R-1318, R-1319, R-1320, R-1321, R-1322, R-1323, R-1324, R-1325, R-1326, R-1327, R-1328, R-1329, R-1330, R-1331, R-1332, R-1333, R-1334, R-1335, R-1336, R-1337, R-1338, R-1339, R-1340, R-1341, R-1342, R-1343, R-1344, R-1345, R-1346, R-1347, R-1348, R-1349, R-1350, R-1351, R-1352, R-1353, R-1354, R-1355, R-1356, R-1357, R-1358, R-1359, R-1360, R-1361, R-1362, R-1363, R-1364, R-1365, R-1366, R-1367, R-1368, R-1369, R-1370, R-1371, R-1372, R-1373, R-1374, R-1375, R-1376, R-1377, R-1378, R-1379, R-1380, R-1381, R-1382, R-1383, R-1384, R-1385, R-1386, R-1387, R-1388, R-1389, R-1390, R-1391, R-1392, R-1393, R-1394, R-1395, R-1396, R-1397, R-1398, R-1399, R-1400, R-1401, R-1402, R-1403, R-1404, R-1405, R-1406, R-1407, R-1408, R-1409, R-1410, R-1411, R-1412, R-1413, R-1414, R-1415, R-1416, R-1417, R-1418, R-1419, R-1420, R-1421, R-1422, R-1423, R-1424, R-1425, R-1426, R-1427, R-1428, R-1429, R-1430, R-1431, R-1432, R-1433, R-1434, R-1435, R-1436, R-1437, R-1438, R-1439, R-1440, R-1441, R-1442, R-1443, R-1444, R-1445, R-1446, R-1447, R-1448, R-1449, R-1450, R-1451, R-1452, R-1453, R-1454, R-1455, R-1456, R-1457, R-1458, R-1459, R-1460, R-1461, R-1462, R-1463, R-1464, R-1465, R-1466, R-1467, R-1468, R-1469, R-1470, R-1471, R-1472, R-1473, R-1474, R-1475, R-1476, R-1477, R-1478, R-1479, R-1480, R-1481, R-1482, R-1483, R-1484, R-1485, R-1486, R-1487, R-1488, R-1489, R-1490, R-1491, R-1492, R-1493, R-1494, R-1495, R-1496, R-1497, R-1498, R-1499, R-1500, R-1501, R-1502, R-1503, R-1504, R-1505, R-1506, R-1507, R-1508, R-1509, R-1510, R-1511, R-1512, R-1513, R-1514, R-1515, R-1516, R-1517, R-1518, R-1519, R-1520, R-1521, R-1522, R-1523, R-1524, R-1525, R-1526, R-1527, R-1528, R-1529, R-1530, R-1531, R-1532, R-1533, R-1534, R-1535, R-1536, R-1537, R-1538, R-1539, R-1540, R-1541, R-1542, R-1543, R-1544, R-1545, R-1546, R-1547, R-1548, R-1549, R-1550, R-1551, R-1552, R-1553, R-1554, R-1555, R-1556, R-1557, R-1558, R-1559, R-1560, R-1561, R-1562, R-1563, R-1564, R-1565, R-1566, R-1567, R-1568, R-1569, R-1570, R-1571, R-1572, R-1573, R-1574, R-1575, R-1576, R-1577, R-1578, R-1579, R-1580, R-1581, R-1582, R-1583, R-1584, R-1585, R-1586, R-1587, R-1588, R-1589, R-1590, R-1591, R-1592, R-1593, R-1594, R-1595, R-1596, R-1597, R-1598, R-1599, R-1600, R-1601, R-1602, R-1603, R-1604, R-1605, R-1606, R-1607, R-1608, R-1609, R-1610, R-1611, R-1612, R-1613, R-1614, R-1615, R-1616, R-1617, R-1618, R-1619, R-1620, R-1621, R-1622, R-1623, R-1624, R-1625, R-1626, R-1627, R-1628, R-1629, R-1630, R-1631, R-1632, R-1633, R-1634, R-1635, R-1636, R-1637, R-1638, R-1639, R-1640, R-1641, R-1642, R-1643, R-1644, R-1645, R-1646, R-1647, R-1648, R-1649, R-1650, R-1651, R-1652, R-1653, R-1654, R-1655, R-1656, R-1657, R-1658, R-1659, R-1660, R-1661, R-1662, R-1663, R-1664, R-1665, R-1666, R-1667, R-1668, R-1669, R-1670, R-1671, R-1672, R-1673, R-1674, R-1675, R-1676, R-1677, R-1678, R-1679, R-1680, R-1681, R-1682, R-1683, R-1684, R-1685, R-1686, R-1687, R-1688, R-1689, R-1690, R-1691, R-1692, R-1693, R-1694, R-1695, R-1696, R-1697, R-1698, R-1699, R-1700, R-1701, R-1702, R-1703, R-1704, R-1705, R-1706, R-1707, R-1708, R-1709, R-1710, R-1711, R-1712, R-1713, R-1714, R-1715, R-1716, R-1717, R-1718, R-1719, R-1720, R-1721, R-1722, R-1723, R-1724, R-1725, R-1726, R-1727, R-1728, R-1729, R-1730, R-1731, R-1732, R-1733, R-1734, R-1735, R-1736, R-1737, R-1738, R-1739, R-1740, R