



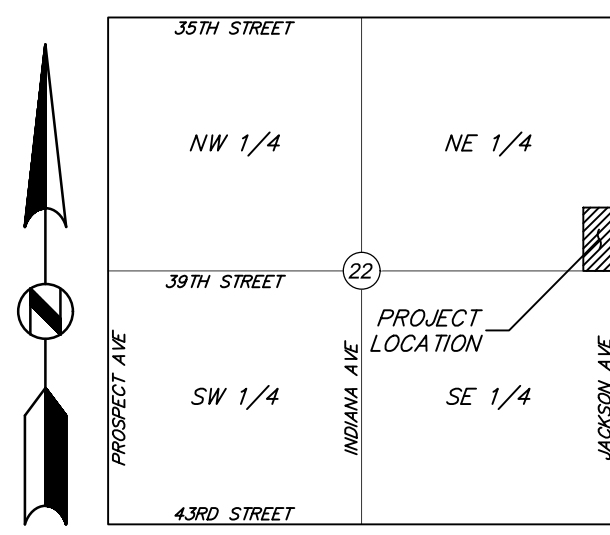
City Council
 Approved Subject to Conditions
 by Passing Ordinance _____
 on _____

 Joseph Rexwinkle, AICP
 Secretary of the City Plan Commission

BODHI

SITE DEVELOPMENT PLAN

3840 JACKSON AVENUE, KANSAS CITY, JACKSON COUNTY, MISSOURI 64117
 NE 1/4, SECTION 22, TOWNSHIP 49N, RANGE 33W



VICINITY MAP
 SECTION 22, TOWNSHIP 49N, RANGE 33W
 (1" = 2000')

GENERAL NOTES

- ALL WORK IN PUBLIC EASEMENT AND RIGHT-OF-WAY SHALL BE INSTALLED PER THE REQUIREMENTS AND SPECIFICATIONS OF THE CITY OF KANSAS CITY, MISSOURI AND ADOPTED APWA SPECIFICATIONS.
- THE CONTRACTOR SHALL BE REQUIRED TO OBTAIN ALL FEDERAL, STATE, AND LOCAL PERMITS REQUIRED FOR THIS PROJECT PRIOR TO COMMENCING CONSTRUCTION.
- ANY WORK ADJACENT TO OR CROSSING EXISTING STREETS REQUIRES PROPER TRAFFIC CONTROL DEVICES. TRAFFIC CONTROL DEVICES SHALL BE PLACED IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- THE CONTRACTOR SHALL BE REQUIRED TO DEMOLISH, REMOVE, AND DISPOSE OF ALL EXISTING STRUCTURES, PAVEMENTS, AND FEATURES NECESSARY TO CONSTRUCT THE IMPROVEMENTS SHOWN HEREON. ANY WASTE MATERIALS GENERATED DURING CONSTRUCTION SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR AND DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS GOVERNING SUCH DISPOSAL.
- THE CONTRACTOR SHALL PREVENT ANY TRASH, DEBRIS, OR LIQUID WASTES FROM BEING DISPOSED OF IN SANITARY SEWERS, STORM SEWERS, OR OPEN DRAINAGE SYSTEMS.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE TO PROTECT ADJACENT PROPERTY, STRUCTURES, AND OTHER IMPROVEMENTS FROM DAMAGE DURING CONSTRUCTION. IN THE EVENT OF DAMAGE TO ADJACENT PROPERTY, STRUCTURES, OR IMPROVEMENTS, THE CONTRACTOR SHALL REPAIR OR REPLACE SUCH DAMAGE TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
- CONTRACTORS AT THE SITE SHALL BE SOLELY RESPONSIBLE FOR JOBSITE SAFETY FOR ALL ASPECTS OF WORK SHOWN HEREON.
- ALL WORK AND MATERIALS USED IN THE CONSTRUCTION OF THE IMPROVEMENTS SHOWN HEREON SHALL COMPLY WITH ALL REFERENCED STANDARDS, SPECIFICATIONS, AND PLAN NOTES.
- ALL BUILDINGS ARE SHOWN AS A REFERENCE ONLY. ALL BUILDINGS SHALL BE LOCATED AND CONSTRUCTED PER THE ARCHITECTURAL DRAWINGS PREPARED BY OTHERS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES FOR FIELD LOCATIONS OF UNDERGROUND UTILITIES AFFECTED BY THE CONTRACT. ALL EXISTING UTILITIES INDICATED ON THESE PLANS ARE ACCORDING TO THE BEST INFORMATION AVAILABLE TO THE ENGINEER; HOWEVER, ALL UTILITIES ACTUALLY EXISTING MAY NOT BE SHOWN. UTILITIES DAMAGED THROUGH THE NEGLIGENCE OF THE CONTRACTOR TO OBTAIN THE LOCATION OF SAME SHALL BE REPAIRED OR REPLACED AT THE EXPENSE OF THE CONTRACTOR.
- COORDINATE WITH FACILITY REPRESENTATIVE AS TO WHEN CONSTRUCTION ACTIVITIES MAY BE PERFORMED TO WORK WITH THE OPERATIONS OF THE FACILITY.
- ANY AND ALL HAZARDS SHALL BE PROPERLY IDENTIFIED AND BARRICADED FROM ACCESS DURING ALL NON-CONSTRUCTION PERIODS.
- UNLESS SPECIFIED OTHERWISE, ALL CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE MISSOURI DEPARTMENT OF TRANSPORTATION (MODOOT) STANDARD SPECIFICATIONS, EXCEPT AS MODIFIED BY THESE PLANS.

AS-BUILT STATEMENT

THE POLICY OF THE PLAN PREPARATION CRITERIA AND PROCEDURE (PLANS CRITERIA) AND POLICY DOCUMENT NO. 880544 AS BUILT DRAWINGS FOR SEWER BUILT BY PERMIT STIPULATE THE FOLLOWING REGARDING AS BUILT DRAWINGS:
 1. DRAWINGS ARE TO BE PROVIDED WITHIN THIRTY (30) CALENDAR DAYS AFTER THE DATE THE REQUEST FOR AS BUILTS LETTER IS ISSUED BY THE CITY TO THE PERMITTEE/CONTRACTOR.
 2. DRAWINGS MUST BE ACCEPTED BY THE CITY BEFORE ANY SERVICE CONNECTIONS WILL BE ALLOWED.
 3. DRAWINGS ARE PART OF THE PERMIT OBLIGATIONS MAKING THEM THE RESPONSIBILITY OF THE PERMITTEE.
 4. THE COST OF PREPARING AS BUILT DRAWINGS SHALL BE INCLUDED IN THE PERFORMANCE BOND.

SHOP DRAWING NOTE

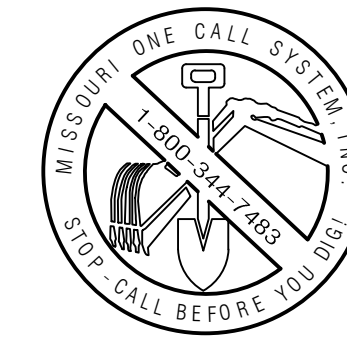
PRIOR TO ORDERING PRE-CAST STRUCTURES, SHOP DRAWINGS ARE TO BE SUBMITTED TO THE DESIGN ENGINEER FOR APPROVAL. THE DESIGN ENGINEER SHALL INDICATE APPROVAL OF THE SHOP DRAWINGS AND ADD THE PERMIT TYPE AND NUMBER ON THEM AND THEN SUBMIT THEM TO THE CITY PLANNING & DEVELOPMENT DEPT., LAND DEVELOPMENT DIVISION, DEVELOPMENT SERVICES ON THE 5TH FLOOR OF CITY HALL, 414 E. 12TH ST. KCMO 64108.

UTILITY CONTACTS

- WATER**
 KCMO WATER SERVICES
 MELANIE JOLLETT
 PHONE (816) 513-0154
 MELANIE.JOLLETT@KCMO.ORG
- STORM SEWER**
 KCMO WATER SERVICES
 ROBERT DAVIS
 PHONE (816) 513-0573
 ROBERT.DAVIS@KCMO.ORG
- ELECTRIC**
 EVERGY
 ANDY ALEXANDER
 PHONE (816) 245-3775
 ANDREW.ALEXANDER@EVERGY.COM
- STREETS & TRAFFIC**
 KCMO PUBLIC WORKS
 WEI SUN
 PHONE (816) 513-9869
- GAS**
 SPIRE
 JOSE ARELLANO
 PHONE (314) 399-2981
 JOSE.ARELLANO@SPIREENERGY.COM
- TELEPHONE**
 AT&T
 RON GIFFERT
 PHONE (816) 772-0318
 RG7910@ATT.COM
- SANITARY SEWER**
 KCMO WATER SERVICES
 KARINE PAPIKIAN
 PHONE (816) 513-0154
 KARINE.PAPIKIAN@KCMO.ORG

City Plan Commission
 Approved Subject to Conditions
 of Case No. _____ On **10/19/2021**

Joseph Rexwinkle, AICP
 Secretary of the Commission



Know what's below.
 Call before you dig.

SHEET INDEX	
SHEET NUMBER	SHEET TITLE
CVR	COVER SHEET
S1	ALTA SURVEY
C1.0	EXISTING SITE CONDITIONS
C2.0	SITE PLAN
C3.0	GRADING PLAN
C4.0	UTILITY PLAN
L1	LANDSCAPE PLAN
A101	BUILDING A OVERALL FIRST FLOOR
A102	BUILDING B OVERALL FIRST FLOOR
A103	BUILDING C-G SECOND FLOOR
A104	BUILDING A-G THIRD FLOOR PLAN
A105	BUILDING A-G THIRD FLOOR PLAN
A107	BUILDING SIGNAGE
A108	BUILDING SIGNAGE
A201	BUILDING A ELEVATIONS
A202	BUILDING B ELEVATIONS
A202	BUILDING C-G ELEVATIONS

ARCHITECT

VEGINO DESIGN GROUP
 305 W. COMMERCIAL ST.
 SPRINGFIELD, MO, 65803

CONTACT: MATT MCLAUGHLIN, AIA, NCARB
 PHONE: (417) 720-1577
 EMAIL: MCMATT@VEGINOGROUP.COM

OWNER & DEVELOPER

THE VECINO GROUP LLC
 3800 NORTON AVE.
 KANSAS CITY, MO 64128

THE VECINO GROUP
 305 W. COMMERCIAL ST.
 SPRINGFIELD, MO, 65803

CONTACT: DONNELL MCGHEE
 PHONE: (417) 720-1577
 EMAIL: DMCGHEE@VEGINOGROUP.COM

I HAVE REVIEWED THESE PLANS AND UNDERSTAND WHAT IS PROPOSED.

ANY INCIDENTAL WORK NOT SPECIFICALLY PERMITTED (I.E. FINAL CLEANUP) WILL BE COMPLETED BY THE OWNER.

CIVIL ENGINEER

TREVOR A. FOX, P.E.
 ANDERSON ENGINEERING, INC.
 941 W 141ST TERRACE
 KANSAS CITY, MISSOURI 64145
 TFOX@AE-INC.COM
 (816) 777-0400

I CERTIFY THAT THIS PROJECT HAS BEEN DESIGNED AND THESE PLANS PREPARED, TO MEET OR EXCEED THE DESIGN CRITERIA OF KANSAS CITY, MISSOURI IN CURRENT USAGE, EXCEPT AS INDICATED BELOW.

EXCEPTIONS: NONE

I HAVE NOT BEEN RETAINED TO PROVIDE "AS-BUILT" DRAWINGS FOR THIS PROJECT."

LEGAL DESCRIPTION

- TRACT I
 LOTS 28 THROUGH 36, INCLUSIVE, LAURELHURST, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF.
- TRACT II
 LOTS 1 THROUGH 10, INCLUSIVE, LAURELHURST, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF.
- TRACT III
 THE EAST ONE HUNDRED THIRTY FIVE (135) FEET OF LOT SEVEN (7), DAVENPORT (JAMES) ESTATE SUBDIVISION, AN ADDITION IN AND TO KANSAS CITY, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF, AND THAT PART OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 22, TOWNSHIP 49, RANGE 33, OF JACKSON COUNTY, MISSOURI, DESCRIBED AS FOLLOWS: BEGINNING ON THE SOUTHEAST CORNER OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER, THENCE WEST 165 FEET; THENCE NORTH TO THE SOUTH LINE OF SAID LOT 7; THENCE NORTHEASTERLY ALONG SAID SOUTH LINE TO THE EAST LINE OF SAID QUARTER QUARTER SECTION, THENCE SOUTH 280.5 FEET TO THE POINT OF BEGINNING, EXCEPT THOSE PARTS IN STREETS)
- TRACT IV
 ALL OF LOTS 11 AND 12, EXCEPT THE EAST 30 FEET AND THE WEST 5 FEET OF LOT 13, ALL OF LOT 14 AND THE EAST 5 FEET OF LOT 15 AND THE WEST 30 FEET OF LOT 15 AND ALL OF LOT 16, LAURELHURST, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF.
- TRACT V
 THE EAST 30 FEET OF LOTS 11, 12, AND 13, INCLUSIVE, LAURELHURST, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF

WATERSHED

THIS PROJECT SITE LIES WITHIN THE BLUE RIVER WATERSHED.

FEMA FLOODING

THIS SITE IS LOCATED WITHIN ZONE X PER FEMA FIRM MAP 29095C0266G; EFFECTIVE DATE OF JANUARY 20, 2017. NO LETTERS OF MAP AMENDMENT OR REVISIONS ARE BEING PROPOSED.

BENCHMARKS

- CP 10037
 N: 1051702.1721'
 E: 2779021.4426'
 Z: 868.899' (NAVD 88)
- CP 10038
 N: 1052373.3738'
 E: 2778979.6564'
 Z: 843.717' (NAVD 88)

DISTURBED AREA

2.09 AC

ANDERSON ENGINEERING
 EMPLOYEE OWNED

ENGINEERS • SURVEYORS • LABORATORIES • DRILLING
 941 W 141ST TERR. STE. A • KANSAS CITY, MO 64145 • PHONE (816) 777-0400
 A LICENSED MISSOURI ENGINEERING & SURVEYING CORPORATION - LC 62

DRAWING INFO.	
NO.	DESCRIPTION
1	CITY COMMENTS
2	CITY COMMENTS
3	CITY COMMENTS

DATE	DRAWN BY:	CHECK BY:	TAF
10-1-2021	JDB	JDB	
2-11-2022	JDB	JDB	
3-31-2022	JDB	JDB	

LICENSE NO.	DATE:	ISSUED FOR:	CITY REVIEW
3312022	3/31/2022	CITY REVIEW	
		JOB NUMBER:	21KC10015

BODHI - KCMO

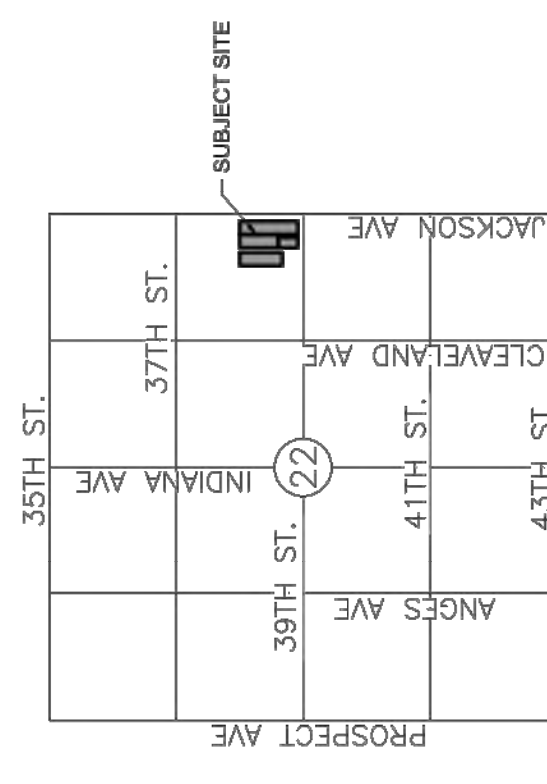
COVER SHEET

3840 JACKSON AVE. KANSAS CITY, MO 64117

SHEET NUMBER
CVR
 1 OF 17

ALTA/NSPS LAND TITLE SURVEY

PART OF LAURELHURST SUBDIVISION, PART OF JAMES DAVENPORT'S ESTATE, & PART OF NE 1/4 SEC. 22, TWN 49, RNG 33 KANSAS CITY, JACKSON COUNTY, MISSOURI



SECTION 22, TOWNSHIP 49, RANGE 33
JACKSON COUNTY, MISSOURI
SCALE: 1" = 2000'



- O B.L.E. = AERIAL TARGET
- O B.A.L.C.L.E. = EAST IRON BAR
- ⊙ F.H. = EXIST. IRON BAR WITH ALUM. CAP
- ⊙ F.H. = FIRE HYDRANT
- ⊙ G. = GAS MARKER
- ⊙ G.A. = GUY ANCHOR
- ⊙ M.S. = METAL SIGN
- ⊙ P.P. = POWER POLE WITH LIGHT
- ⊙ P.P. = POWER POLE
- ⊙ S.S.M.H. = SANITARY SEWER MANHOLE
- ⊙ S.T.M.H. = STORM MANHOLE
- ⊙ W.V. = WATER VALVE
- = OVERHEAD POWER LINE
- = UNDERGROUND NATURAL GAS LINE



SURVEYOR'S GENERAL NOTES & TABLE A. NOTES

THIS SURVEY MEETS OR EXCEEDS THE ACCURACY STANDARDS OF A (URBAN) PROPERTY BOUNDARY SURVEY AS DEFINED BY THE MISSOURI STANDARDS FOR PROPERTY BOUNDARY SURVEYS.

THE TITLE REPORT WAS FURNISHED BY COMMONWEALTH LAND TITLE (INSURANCE COMPANY) COMMITMENT NO. 20SP2904, DATED: JANUARY 12, 2021 @ 12:00 A.M. TITLE IS CURRENTLY INVESTED IN: LEGACY BANK AND TRUST, AND COMMONWEALTH LAND TITLE INSURANCE COMPANY.

THIS COMPANY ASSUMES NO RESPONSIBILITY IN THE LOCATION OF EXISTING UTILITIES WITHIN THE SUBJECT PREMISES. THIS IS AN ABOVE-GROUND SURVEY. THE UNDERGROUND UTILITIES, IF SHOWN, ARE BASED ON INFORMATION PROVIDED BY THE VARIOUS UTILITY COMPANIES AND THESE LOCATIONS SHOULD BE CONSIDERED APPROXIMATE. THERE MAY BE ADDITIONAL UNDERGROUND UTILITIES NOT SHOWN ON THIS DRAWING.

SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT SURVEYED OR EXAMINED OR CONSIDERED AS A PART OF THIS SURVEY. NO EVIDENCE OR STATEMENT IS MADE CONCERNING THE EXISTENCE OR UNDERGROUND OR OVERHEAD CONDITIONS, CONTAINERS OR FACILITIES THAT MAY AFFECT THE USE OR DEVELOPMENT OF THIS PROPERTY. NO ATTEMPT HAS BEEN MADE TO OBTAIN OR SHOW DATA CONCERNING EXISTENCE, SIZE, DEPTH, CONDITIONS, CAPACITY OR LOCATION OF ANY UTILITY EXISTING ON THE SITE, WHETHER PRIVATE, MUNICIPAL OR PUBLIC OWNED.

BEARINGS AND DISTANCE SHOWN HEREON ARE BASED UPON THE MISSOURI STATE PLANE COORDINATE SYSTEM, 1983, MISSOURI WEST ZONE (NRS 2011)

WITH THIS SURVEY, ANDERSON ENGINEERING, INC. AND THIS LAND SURVEYOR DOES NOT GUARANTEE THAT OWNERSHIP IS TO THE SURVEY LINES DEPICTED HEREON. THIS SURVEY IS A GRAPHIC REPRESENTATION OF THE OPINION OF SAID SURVEYOR AND THE OPINION OF SAID ANDERSON ENGINEERING, INC., AS TO THE LOCATION OF THE RECORD DESCRIPTION(S), NO OPINION AS TO THE VALIDITY OF THE TITLE IS GIVEN OR IMPLIED.

EXTERIOR CORNERS ARE TO BE MONUMENTED WITH 1/2" REBAR AND CAP (LC-62) UNLESS NOTES OTHERWISE.

PROPERTY ADDRESS IS 3800-3801 NORTON; 2840 JACKSON; 4100 & 4112 39TH KANSAS CITY, MO 64128.

GROSS LAND AREAS IS 224540.59 SQ. FT., 5.155 ACRES ± (ALL TRACTS COMBINED).

FLOOD ZONE IS CLASSIFIED AS X, AREA OF MINIMAL FLOOD HAZARD, FEMA NATIONAL FLOOD INSURANCE PROGRAM MAP NUMBER 28095C02686G, EFFECTIVE DATE JANUARY 20, 2017

VERTICAL DATUM: NAVD88 W/ GEOID 18.

SUBJECT PROPERTY IS ZONED "R-2.5" RESIDENTIAL 2.5 AND "B1-1" NEIGHBORHOOD BUSINESS 1

NO BUILDINGS EXISTING ON THE SURVEYED PARCEL AS OF THE DATE OF THIS SURVEY.

NO PARKING STRIPES WERE VISIBLE ON THE SURVEYED PARCEL AS OF THE DATE OF THIS SURVEY.

NOTE TO THE CLIENT, INSURER, AND LENDER - WITH REGARD TO TABLE A, ITEM 11, SOURCE INFORMATION FROM PLANS AND MARKINGS WILL BE COMBINED WITH OBSERVED EVIDENCE OF UTILITIES PURSUANT TO SECTION 5.E.I.V. TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE LOCATED. RECOMMENDATIONS FROM SURVEYORS MAY BE CONSIDERED OR RESULT IN AN INCOMPLETE RESPONSE. IN SUCH CASES, THE SURVEYOR SHALL NOTE ON THE PLAT OR MAP HOW THIS AFFECTED THE SURVEYOR'S ASSESSMENT OF THE LOCATION OF THE UTILITIES, WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION AND/OR A PRIVATE UTILITY LOCATE REQUEST MAY BE NECESSARY.

LEGAL DESCRIPTION (PROVIDED BY COMMONWEALTH LAND TITLE INSURANCE COMPANY)

TRACT I
LOTS 28 THROUGH 36, INCLUSIVE, LAURELHURST, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF.

TRACT II
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THE EAST 30 FEET OF LOTS 11, 12, AND 13, INCLUSIVE, LAURELHURST, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF.

NOTES CORRESPONDING TO SCHEDULE B, PART II (EXCEPTIONS)

- EASEMENTS, SETBACK REQUIREMENTS, AND RESTRICTIONS WHICH ARE SHOWN ON THE PLAT OF SAID PROPERTY FILED IN BOOK 20 AT PAGE 69, RECORDERS OFFICE, JACKSON COUNTY, MISSOURI, (AFFECTS SUBJECT TRACT, SHOWN HEREON)
- BUILDING SETBACK LINES AND EASEMENTS WHICH ARE DEPICTED ON THE PLAT OF SAID PROPERTY FILED IN BOOK 20 AT PAGE 69, RECORDERS OFFICE, JACKSON COUNTY, MISSOURI, (AFFECTS SUBJECT TRACT, SHOWN HEREON)

Kirk R. Baldwin, PLS
Professional Land Surveyor
No. 2901015227
Missouri State Board of Professional Land Surveyors



TO: LEGACY BANK AND TRUST, HOUSTON ENTERPRISES OF KC, A LIMITED LIABILITY CORPORATION (TRACT I), HOUSTON ENTERPRISES OF KC, LLC (TRACT II) AND HOUSTON ENTERPRISES OF KC, LLC (TRACT III AND V), LAND TRUST OF JACKSON COUNTY, MISSOURI (OWNING PART OF TRACT IV), AND COMMONWEALTH LAND TITLE INSURANCE COMPANY, LLC - THE VECINO GROUP

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE "2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS" JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSRS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6, 7(a), 8, 9, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 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571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 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Kirk R. Baldwin
Kirk R. Baldwin, PLS 2021015227
ANDERSON ENGINEERING, INC. LC-62

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LICENSE NO.:	
DATE:	2021-03-11
FIELD BOOK:	
JOB NUMBER:	

THE VECINO GROUP
305 W. COMMERCIAL ST.
SPRINGFIELD, MO 65803

ALTA/NSPS LAND TITLE SURVEY

PART OF LAURELHURST SUBDIVISION, JAMES DAVENPORT'S ESTATE
& PART OF NE 1/4 SEC. 22, TWN 49, RNG 33
KANSAS CITY, JACKSON COUNTY, MISSOURI

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1
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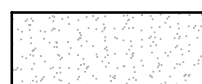

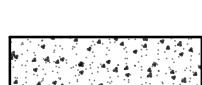
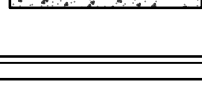
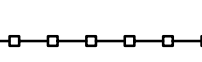
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C1.0
3 OF 17

BODHI - KCMO
EXISTING SITE CONDITIONS
3840 JACKSON AVE. KANSAS CITY, MO 64117

REVISIONS		DRAWING INFO.	
NO.	DESCRIPTION	DATE	DRAWN BY:
1	CITY COMMENTS	10-1-2021	JDB
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3	CITY COMMENTS	3-31-2022	LICENSE NO.
			DATE: 3/31/2022
			ISSUED FOR: CITY REVIEW
			JOB NUMBER: 21KC10015

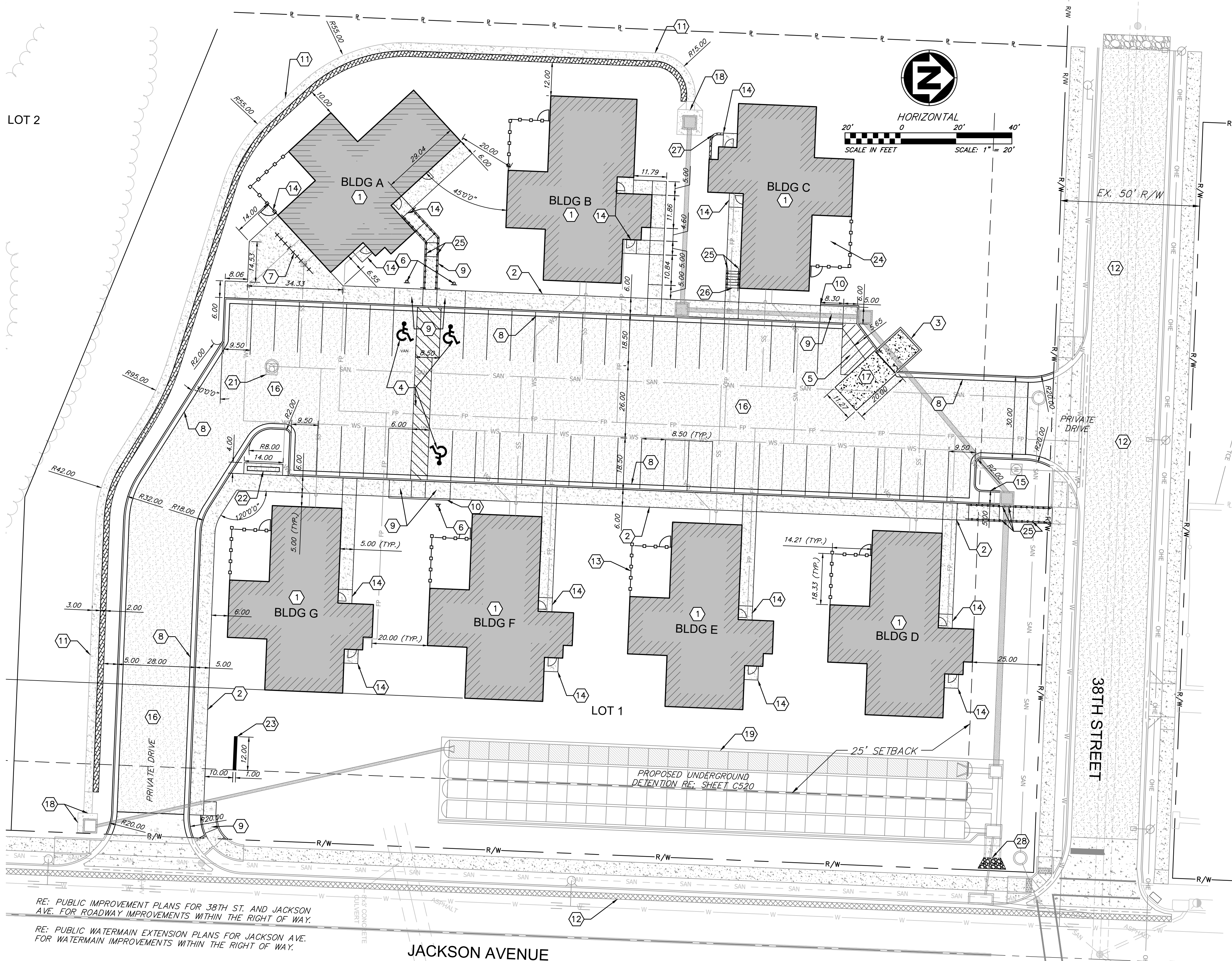
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LEGEND

-  ASPHALTIC CONCRETE PAVEMENT
-  4" CONCRETE SIDEWALK
-  8" PCC DUMPSTER PAD
-  2' CURB AND GUTTER
-  PROPOSED FENCE

GENERAL NOTES

- REFER TO ANDERSON ENGINEERING, INC. GEOTECHNICAL REPORT WO #21J030009, DATED MARCH 1ST, 2021 FOR SUBGRADE PREPARATION.
- ALL BUILDINGS ARE SHOWN AS A REFERENCE ONLY. ALL BUILDINGS SHALL BE LOCATED AND CONSTRUCTED PER THE ARCHITECTURAL DRAWINGS PREPARED BY OTHERS.
- ALL SIGNAGE SHALL COMPLY WITH SECTION 88-445 OF THE KANSAS CITY, MISSOURI ZONING AND DEVELOPMENT CODE. THE OWNER SHALL RECEIVE APPROVAL OF A SIGN PERMIT PRIOR TO INSTALLATION.
- ALL STRIPING SHALL BE PAINTED LINES OR SYMBOLS.
- THE DEVELOPER ELECTS TO PAY THE CITY OF KANSAS CITY, MISSOURI A SUM OF \$_____ IN LIEU OF REQUIRED PARKLAND DEDICATING FOR 53 DWELLING UNITS PURSUANT TO SECTION 88-408-C OF THE ZONING AND DEVELOPMENT CODE.



CONSTRUCTION NOTES

- PROPOSED BUILDING. RE: ARCH PLANS.
- CONSTRUCT 4" PORTLAND CEMENT CONCRETE SIDEWALK. RE: DETAIL ON SHEET C601. (5818 SF)
- CONSTRUCT DUMPSTER ENCLOSURE. RE: ARCH PLANS.
- STRIP ADA PARKING STALLS AND CROSSWALK PER DETAIL ON SHEET C601.
- STRIP OUT AREA BETWEEN PARKING STALL AND DUMPSTER PAD PER DETAIL ON SHEET C601.
- INSTALL ADA PARKING SIGNS PER DETAIL ON SHEET C601.
- BICYCLE PARKING AREA. RE: ARCH PLANS.
- 2' CURB AND GUTTER (TYPE CG-1). RE: DETAIL ON SHEET C600. (924 LF)
- CONSTRUCT ADA RAMP. RE: SHEET C401 SPOT GRADING PLAN.
- CONSTRUCT 6" CURB WALL AROUND ADA RAMP AND LANDING.
- PROPOSED MSE RETAINING WALL WITH 3" WIDE CONCRETE FLUME ON TOP OF WALL. RE: BODHI RETAINING WALL PLANS U.S.C FOR MORE DETAIL.
- PROPOSED PUBLIC IMPROVEMENTS TO 38TH STREET AND JACKSON AVE. RE: PUBLIC IMPROVEMENT PLANS FOR 38TH ST. AND JACKSON AVE.
- PROPOSED FENCE (TYP.). RE: ARCH PLANS.
- PROPOSED 5'x5' CONCRETE STOOP. RE: DETAIL ON SHEET C601.
- 5' WIDE CONCRETE FLUME TO STORM INLET.
- CONSTRUCT ASPHALTIC CONCRETE PAVEMENT SECTION. RE: DETAIL ON SHEET C600. (18,840 SF)
- CONSTRUCT HEAVY DUTY PORTLAND CEMENT CONCRETE DUMPSTER PAD PAVEMENT SECTION. RE: DETAIL ON SHEET C600. (339 SF)
- CONSTRUCT 2' WIDE CONCRETE APRON ON EACH OPEN SIDE OF EACH FIELD INLET AS SHOWN. RE: DETAIL ON SHEET C602.
- CONSTRUCT 7'x5' CONCRETE APRON ON EAST SIDE OF THE OUTLET CONTROL STRUCTURE. RE: DETAIL ON SHEET C603.
- PROPOSED UNDERGROUND DETENTION. RE SHEET C520 FOR MORE DETAIL.
- CONSTRUCT 4'x4' CONCRETE COLLAR AROUND SANITARY SEWER MANHOLE.
- PROPOSED MAILBOX PAD. RE: ARCH PLANS FOR MAILBOX DETAIL.
- CONSTRUCT MONUMENT SIGN. RE: ARCH PLANS FOR SIGN DETAIL.
- PROPOSED A/C CONDENSER LOCATION (TYP.) RE: MEP PLANS.
- PROPOSED HANDRAIL. RE: ARCH PLANS FOR HANDRAIL DETAIL.
- PROPOSED 6" STAIRS. RE ARCH/STRUCTURAL PLANS FOR STAIR DETAIL AND SHEET C401 FOR SPOT GRADES.
- 2' LANDSCAPE WALL. RE: SHEET C401 FOR WALL ELEVATIONS.
- INSTALL RIPRAP PER DETAIL ON SHEET C603.

SITE DATA TABLE

ITEM	QUANTITY
EXISTING ZONING	R-2-5 & B 1-1
PROPOSED USE	MULTI-UNIT HOUSING
TOTAL DWELLING UNITS	53
GROSS FLOOR AREA	44261 SF
SITE AREA	164075 SF (3.77 AC.)
EXISTING IMPERVIOUS AREA	37509 SF (0.86 AC.)
PROPOSED IMPERVIOUS AREA	43488 SF (1.00 AC.)
NET INCREASE IN IMPERVIOUS AREA	5979 SF (0.14 AC.)
REQUIRED PARKING RATIO (1 PER UNIT)	53 STALLS
PROPOSED PARKING	53 STALLS
REQUIRED ADA PARKING	3 STALLS (1 VAN)
PROPOSED ADA PARKING	3 STALLS (1 VAN)
REQUIRED SHORT TERM BICYCLE SPACES	5 SPACES
PROPOSED SHORT TERM BICYCLE SPACES	5 SPACES
REQUIRED LONG TERM BICYCLE SPACES	17 SPACES
PROPOSED LONG TERM BICYCLE SPACES	20 SPACES
BUILDING HEIGHT	3 STORY (35.0 FT)
PARKLAND DEDICATION (53*2*.006 AC)	0.64 AC

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3	3-31-2022	JDB	CITY COMMENTS

REVISIONS

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SITE PLAN

3840 JACKSON AVE. KANSAS CITY, MO 64117

SHEET NUMBER
C2.0
 4 OF 17

Mar. 31, 2022 - 10:28am Plotted By: Juch G:\Shared drives\KC10 - Land Development\Projects\2021\21KC10015-Bodhi KCMO\01_Civil\03-DWG\Sheet\DEVELOPMENT PLAN\21KC10015-SPTS-SITE.dwg Layout: SITE PLAN

RE: PUBLIC IMPROVEMENT PLANS FOR 38TH ST. AND JACKSON AVE. FOR ROADWAY IMPROVEMENTS WITHIN THE RIGHT OF WAY.
 RE: PUBLIC WATERMAIN EXTENSION PLANS FOR JACKSON AVE. FOR WATERMAIN IMPROVEMENTS WITHIN THE RIGHT OF WAY.

LEGEND

- 850 FINISH GRADE 10' CONTOUR
- 848 FINISH GRADE 2' CONTOUR
- 850 EXISTING GRADE 10' CONTOUR
- 848 EXISTING GRADE 2' CONTOUR
- ADA ACCESSIBLE AREA

GENERAL NOTES

REFERENCED STANDARDS:

THE FOLLOWING STANDARDS ARE REFERENCED DIRECTLY IN THIS SECTION. THE LATEST VERSION OF THESE STANDARDS SHALL BE USED.

ASTM D698 - TEST METHOD FOR LABORATORY COMPACTION CHARACTERISTICS OF SOIL USING STANDARD EFFORT (12,400 FT-LBF/FT³)

2201.1 SUMMARY:

THIS SECTION INCLUDES SUBGRADE PREPARATION AT LOCATIONS WHICH HAVE BEEN PREVIOUSLY GRADED IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 2100 "GRADING AND SITE PREPARATION"

2201.2 DEFINITIONS:

- A. **SUBGRADE:** SUBGRADE IS DEFINED AS A WELL GRADED AND COMPACTED LAYER ON WHICH BASE AND SUBSEQUENT COURSES ARE PLACED.
- B. **SUBGRADE PREPARATION:** SUBGRADE PREPARATION IS THE REPEATED OPERATION OF FINE-GRADE AND COMPACTING THE SUBGRADE UNTIL THE SPECIFIED LINES, GRADES, AND CROSS-SECTION, AS INDICATED ON THE PLANS ARE OBTAINED AND THE MATERIALS ARE COMPACTED TO THE SPECIFIED DEPTH AND DENSITY.

CONSTRUCTION:

- A. **GENERAL:** THE SUBGRADE SURFACE SHALL BE BROUGHT TO THE SPECIFIED LINES, GRADES AND CROSS-SECTION BY ADDING OR REMOVING MATERIAL AND COMPACTING TO THE SPECIFIED DENSITY. TOLERANCE ALLOWED ON ALL LINES, GRADES AND CROSS-SECTIONS SHALL BE NO MORE THAN 1/4 INCH.
- B. **COMPACTING THE SUBGRADE:** UNLESS OTHERWISE SPECIFIED, THE TOP 6 INCHES OF SUBGRADE FOR PAVEMENTS SHALL BE COMPACTED TO 95% OF THE STANDARD PROCTOR

MAXIMUM DENSITY FOR THE MATERIAL USED AS DETERMINED BY ASTM D 698 AND WITHIN A TOLERANCE OF PLUS 3% AND MINUS 3% OF THE OPTIMUM MOISTURE CONTENT. THE TOLERANCE APPLIES ONLY TO THE TOP 6 INCHES.

C. **PROTECTION AND MAINTENANCE OF SUBGRADE:** THE SUBGRADE SHALL BE PROTECTED FROM ACTION OF THE ELEMENTS OR OTHERS. ANY ACTION (E.G. SETTLEMENT OR EROSION) THAT DAMAGES THE SUBGRADE OR ANY SUBGRADE THAT HAS BECOME UNACCEPTABLE PRIOR TO PLACING THE PAVEMENT THEREON, SHALL BE REPAIRED AND THE SPECIFIC LINES, GRADES, CROSSSECTION, TOLERANCE, DENSITY, AND MOISTURE CONTENT RANGE REESTABLISHED.

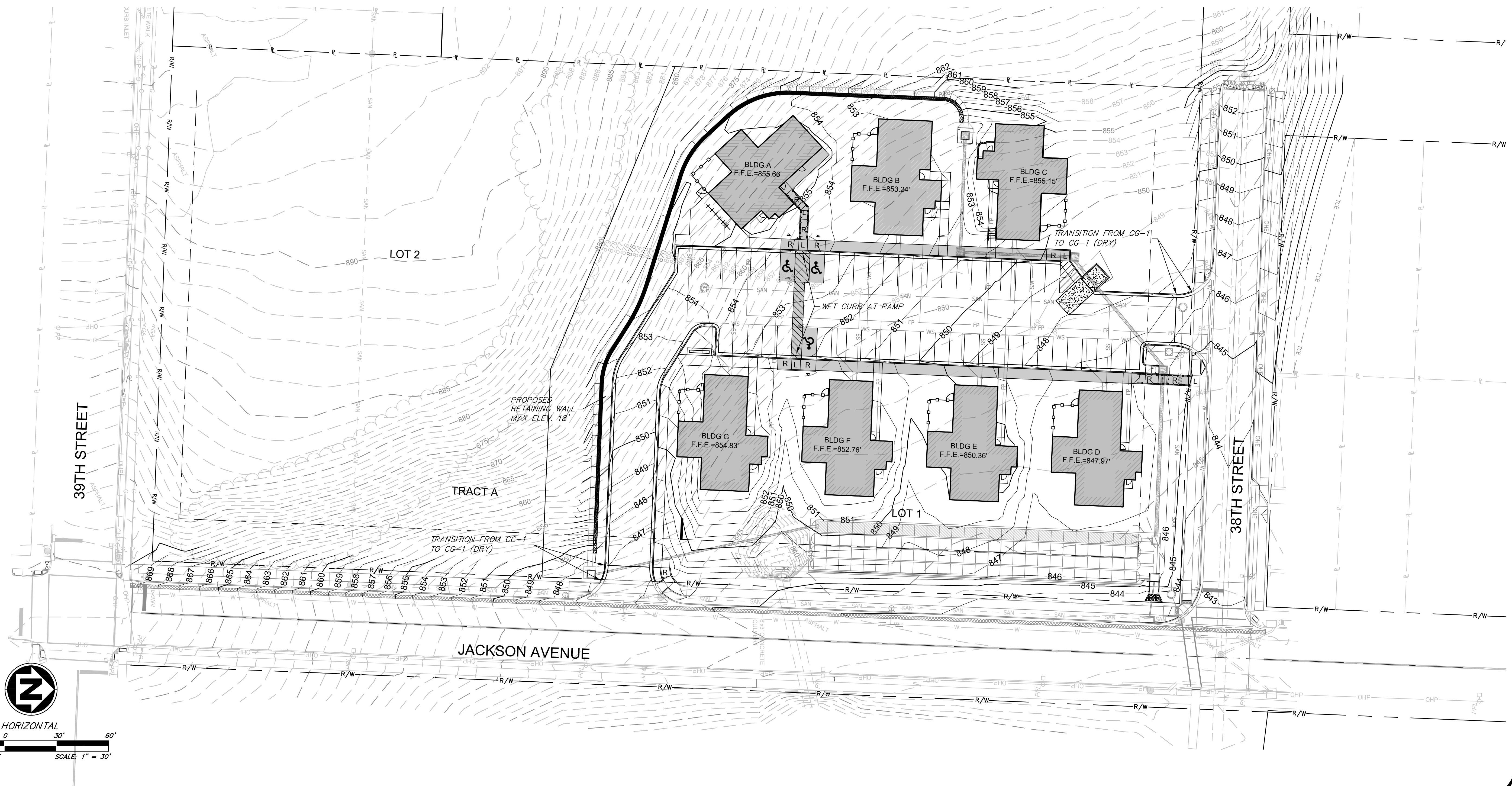
THE CONTRACTOR SHALL PROTECT ALL EXISTING IMPROVEMENTS FROM DAMAGE RESULTING FROM HIS SUBGRADE OPERATION. ANY IMPROVEMENT DAMAGED SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT HIS OWN EXPENSE.

D. **CLEANUP:** SUBGRADE CLEANUP SHALL FOLLOW THE WORK PROGRESSIVELY. THE CONTRACTOR SHALL REMOVE FROM THE PROJECT SITE ALL RUBBISH, SURPLUS OR DISCARDED MATERIAL, UNSUITABLE MATERIAL, AND ANY EQUIPMENT, TOOLS AND TEMPORARY CONSTRUCTION ITEMS USED FOR THE PREPARATION OF THE SUBGRADE.

E. **ROLL TESTING:** ONCE THE SUBGRADE HAS BEEN BROUGHT TO THE FINAL PLAN ELEVATION, BUT PRIOR TO APPROVAL OF THE SUBGRADE FOR PAVING, ALL LANES SHALL BE ROLL TESTED IN THEIR ENTIRE LENGTH. THE SUBGRADE WILL NOT BE ACCEPTABLE IF RUTTING, PUMPING, OR DEFORMATION OF THE SUBGRADE RESULTS FROM THE ROLL TEST. THIS TESTING WILL BE DONE BY THE CONTRACTOR, AND WILL BE IN ADDITION TO THE APPLICABLE MOISTURE AND DENSITY TESTING.

EQUIPMENT FOR ROLL TESTING SHALL BE A TANDEM DUMP TRUCK (ONE FRONT AND TWO REAR AXLES) CARRYING A MINIMUM LOAD OF TWENTY (20) TONS.

THE TRUCK SHALL PROCEED SLOWLY ALONG EACH TRAFFIC LANE, ALLOWING THE ENGINEER TO WALK ALONGSIDE AND OBSERVE THE RESULTS. AREAS FAILING THE ROLL TEST WILL BE REWORKED AND RETESTED PRIOR TO APPROVAL OF THE SUBGRADE FOR PAVING.



Mar. 31, 2022 - 10:30am Plotted By: Buch G:\Shared drives\KC10 - Land Development\Projects\2021\21-KC10015-Bodhi\KC10015-SITS-GRAD.dwg Layout: GRADING PLAN

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3/31/2022	JDB	CITY REVIEW
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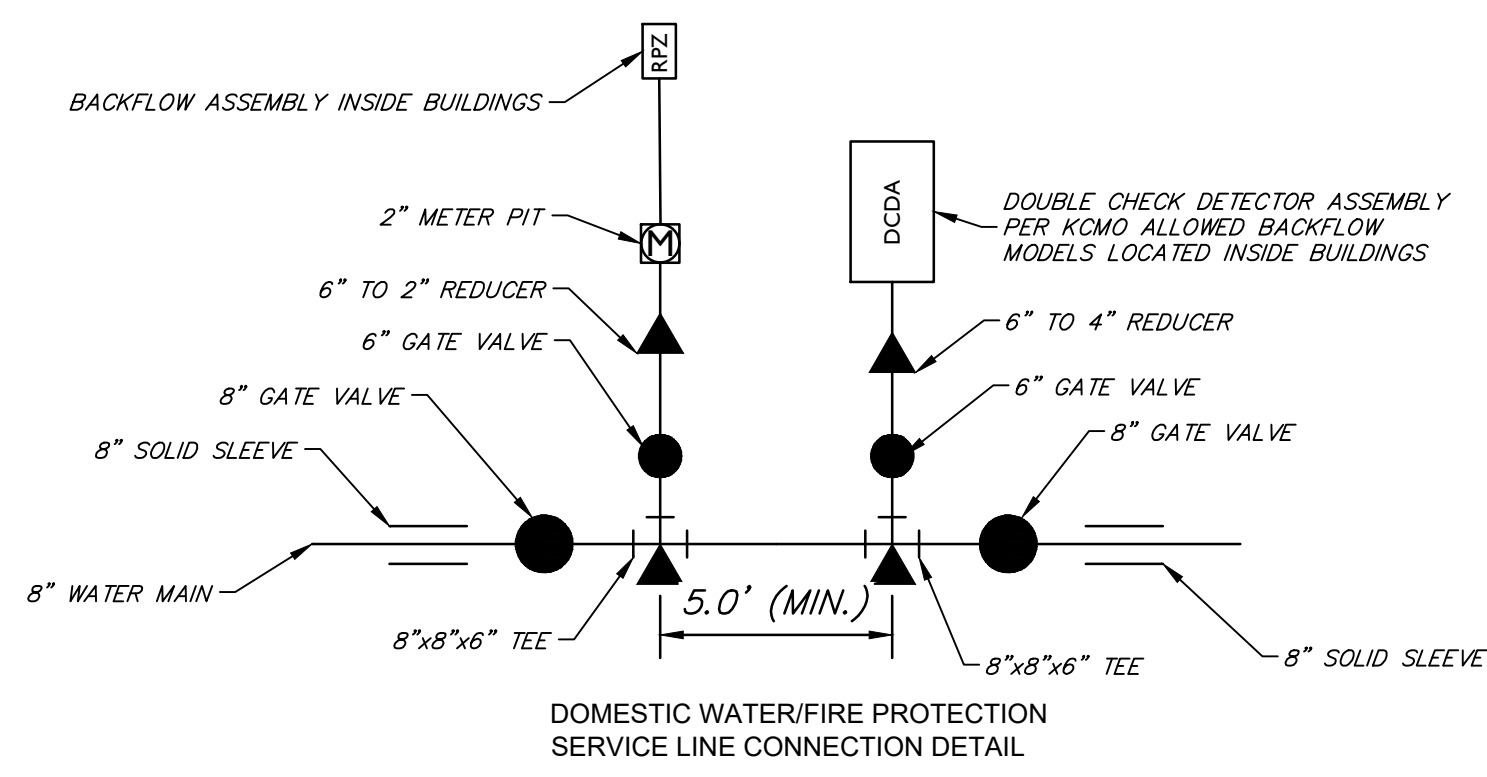
GRADING PLAN

3840 JACKSON AVE. KANSAS CITY, MO 64117

SHEET NUMBER
C3.0
5 OF 17

LEGEND

- R — PROPERTY LINE
- RW — RIGHT OF WAY LINE
- — — — — SETBACK LINE
- SAN — 8" PVC SANITARY SEWER MAIN
- SS — 6" PVC SANITARY SERVICE LINE
- W — 8" D.I.P. WATERMAIN
- WS — 2" TYPE K COPPER WATER SERVICE LINE
- FP — 4" D.I.P. FIRE PROTECTION LINE



GENERAL NOTES

- ALL FILL MATERIAL IS TO BE IN PLACE, COMPACTED, AND CONSOLIDATED BEFORE INSTALLATION OF PROPOSED UTILITIES. ALL UTILITIES ARE TO BE PLACED IN TRENCH CONDITIONS.
- CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
- ALL UNDERGROUND STORM AND OTHER UTILITY LINES SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING. FAILURE TO HAVE INSPECTION APPROVAL PRIOR TO BACKFILL WILL CONSTITUTE REJECTION OF WORK.
- TOPS OF EXISTING MANHOLES SHALL BE RAISED AS NECESSARY TO BE FLUSH WITH PROPOSED PAVEMENT ELEVATIONS OR FINISH GRADE ELEVATIONS IN NON-PAVED AREAS.
- DRAWINGS DO NOT PURPORT TO SHOW ALL EXISTING UTILITIES. EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH AND RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE RELOCATION OR REMOVAL OF EXISTING POWER POLES, TELEPHONE POLES AND GUYS WITH RESPECTIVE UTILITY COMPANIES. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS REGARDING UTILITY SERVICES.
- THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITION OF ALL STORM SEWERS ADJACENT TO THE PROJECT LIMITS TO DETERMINE IF ANY EXISTING STORM SEWERS ARE PLUGGED. NOTIFY THE ENGINEER OF ANY PRE-EXISTING CONDITIONS WHICH NEED ATTENTION. ONCE CONSTRUCTION BEGINS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL EXISTING AND ADJACENT STORM SEWERS IN GOOD WORKING ORDER UNTIL SUBSTANTIAL COMPLETION.
- CONTRACTOR TO PRESSURE TEST PRIVATE SANITARY SEWER MAIN.
- CONTRACTOR TO MAINTAIN MIN. 18" VERTICAL CROSSING WITH ALL UTILITIES. IF UNAVOIDABLE NOTIFY THE ENGINEER IMMEDIATELY. RE: SHEET C510 FOR PLAN AND PROFILE OF THE SANITARY SEWER MAIN WITH CROSSINGS AND CS10 FOR PLAN AND PROFILE OF THE STORM LINE WITH CROSSINGS.
- CONTRACTOR TO CORE DRILL EXISTING SANITARY SEWER MANHOLE AND INSERT A WATERTIGHT A-LOK GASKET.

UTILITY PLAN KEY NOTES

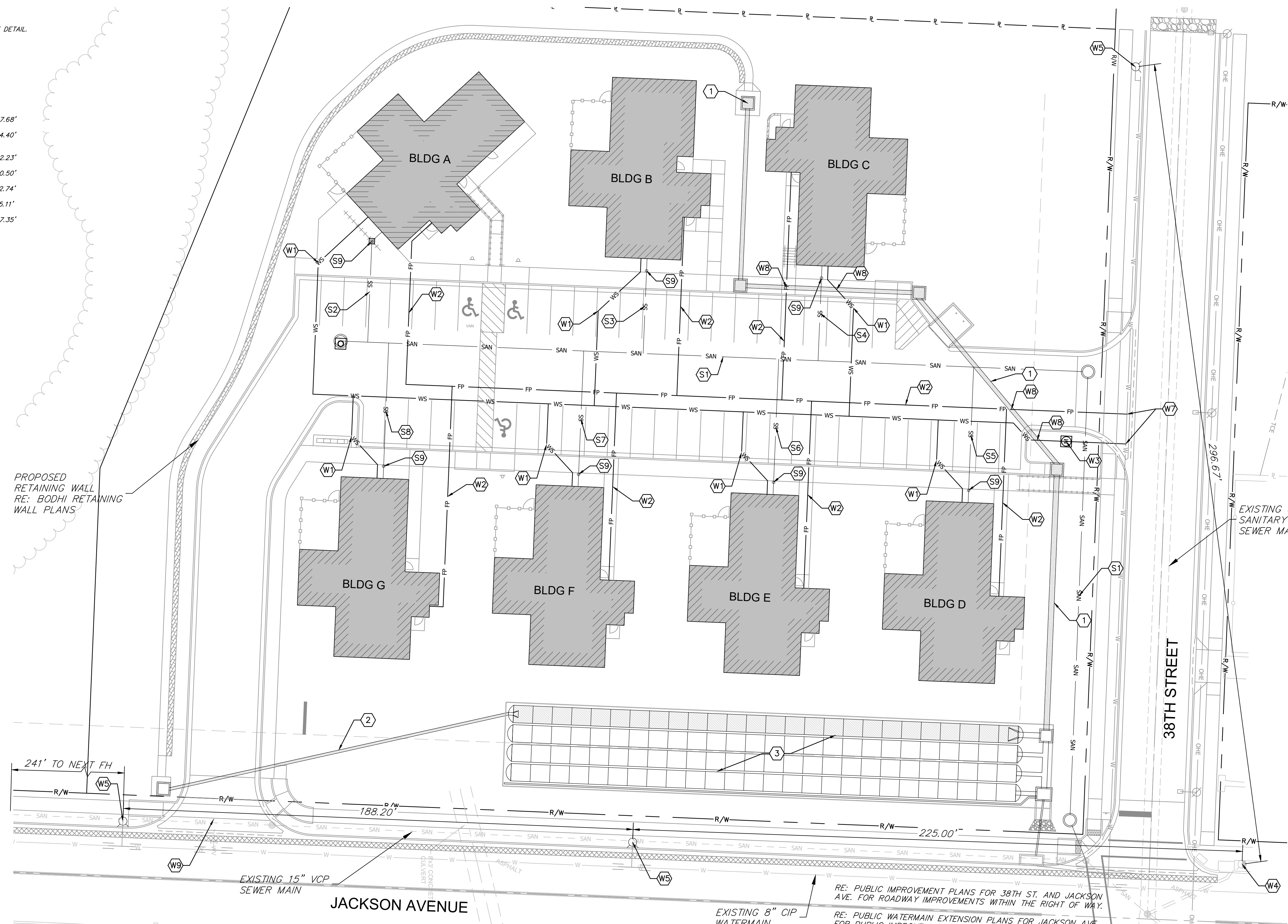
- PROPOSED STORM LINE 100. RE: CS10 STORM LINE 100.
- PROPOSED STORM LINE 200. RE: CS11 STORM LINE 200.
- UNDERGROUND DETENTION MC 3500 CHAMBERS. RE SHEET C520 UNDERGROUND DETENTION FOR MORE DETAIL.

SANITARY SEWER KEY NOTES

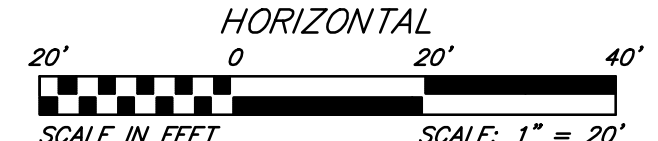
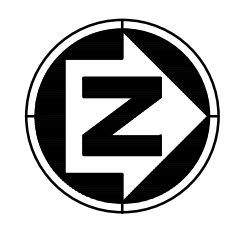
- 8" PVC PRIVATE SANITARY SEWER MAIN. RE: SHEET C310 SANITARY LINE A.
- SANITARY SEWER SERVICE LINE A. INSTALL 42 LF OF 6" SDR-26 PVC @ 1.00% MIN. ϵ @ MAIN = 847.68'
- SANITARY SEWER SERVICE LINE B. INSTALL 35 LF OF 6" SDR-26 PVC @ 1.00% MIN. ϵ @ MAIN = 844.40' LINE SHALL BE RUN UNDER STORM LINE 100. RE SHEET C510 FOR STORM PLAN AND PROFILE.
- SANITARY SEWER SERVICE LINE C. INSTALL 35 LF OF 6" SDR-26 PVC @ 1.00% MIN. ϵ @ MAIN = 842.23'
- SANITARY SEWER SERVICE LINE D. INSTALL 50 LF OF 6" SDR-26 PVC @ 1.00% MIN. ϵ @ MAIN = 840.50'
- SANITARY SEWER SERVICE LINE E. INSTALL 50 LF OF 6" SDR-26 PVC @ 1.00% MIN. ϵ @ MAIN = 842.74'
- SANITARY SEWER SERVICE LINE F. INSTALL 50 LF OF 6" SDR-26 PVC @ 1.00% MIN. ϵ @ MAIN = 845.11'
- SANITARY SEWER SERVICE LINE G. INSTALL 50 LF OF 6" SDR-26 PVC @ 1.00% MIN. ϵ @ MAIN = 847.35'
- INSTALL SANITARY SEWER CLEANOUT. (7 EA)

WATERLINE KEY NOTES

- WATER SERVICE LINE. INSTALL 610 LF OF 2" TYPE K COPPER WITH 48" OF COVER (MIN).
- FIRE PROTECTION LINE. INSTALL 4" CLASS 52 D.I.P. FIRE PROTECTION LINE FROM MAIN WITH 48" OF COVER (MIN). CONTRACTOR TO INSTALL A 6"x4" REDUCER ON THE PROPOSED LINE. BACKFLOW PREVENTERS LOCATED IN MECHANICAL ROOM. RE: MEP PLANS. RE: PUBLIC WATER MAIN EXTENSION PLANS FOR WORK TO BE DONE IN THE R.O.W.
- WATER METER. INSTALL 2" WATER METER INSIDE A METER PIT AND 6" TO 2" REDUCER.
- EXISTING FIRE HYDRANT.
- PROPOSED FIRE HYDRANT. RE: PUBLIC WATER MAIN EXTENSION PLANS.
- PROPOSED 8" D.I.P. PUBLIC WATER MAIN RE: WATER MAIN EXTENSION PLANS.
- TAP PROPOSED 8" D.I.P. PUBLIC WATER MAIN. RE DETAIL ON THIS SHEET.
- INSERT VERTICAL BEND UNDER STORM LINE 100. RE SHEET C510 FOR STORM PLAN AND PROFILE.
- EXISTING FIRE HYDRANT TO BE RELOCATED. RE: PUBLIC WATER MAIN EXTENSION PLANS.



RE: PUBLIC IMPROVEMENT PLANS FOR 38TH ST. AND JACKSON AVE. FOR ROADWAY IMPROVEMENTS WITHIN THE RIGHT OF WAY.
 RE: PUBLIC WATERMAIN EXTENSION PLANS FOR JACKSON AVE. FOR PUBLIC IMPROVEMENTS WITHIN THE RIGHT OF WAY.



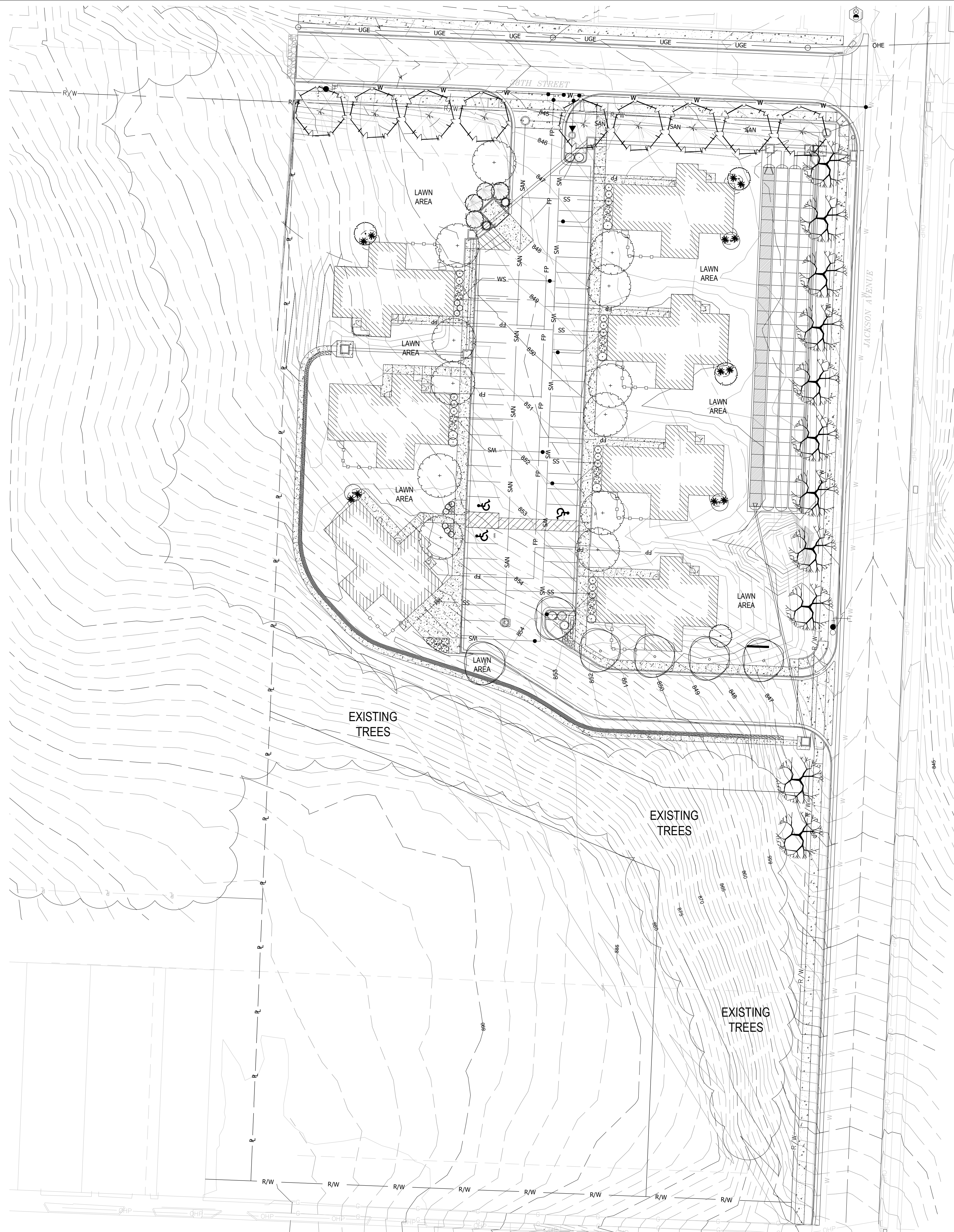
ANDERSON ENGINEERING
 EMPLOYEE OWNED
 ENGINEERS • SURVEYORS • LABORATORIES • DRILLING
 941 W 141ST TERR. STE. A • KANSAS CITY, MO 64145 • PHONE (816) 777-0400
 A LICENSED MISSOURI ENGINEERING & SURVEYING CORPORATION - LC 62

REVISIONS		DRAWING INFO.	
NO.	DESCRIPTION	DATE	JOB
1	CITY COMMENTS	10-1-2021	JOB TAF
2	CITY COMMENTS	2-11-2022	LICENSE NO. 3/31/2022
3	CITY COMMENTS	3-31-2022	ISSUED FOR: CITY REVIEW
			JOB NUMBER: 21KC10015

BODHI - KCMO
UTILITY PLAN
 3840 JACKSON AVE. KANSAS CITY, MO 64117

SHEET NUMBER
C4.0
 6 OF 17

Mar. 31, 2022 - 10:31am Plotted By: Buch G:\Shared drives\KC10 - Land Development\Projects\2021\21KC10015-Bodhi KC10015-SWTS-UTIL.dwg Layout: UTILITY PLAN



Planting Notes

1. Location of all existing utilities needs to be done before commencing work.
2. The planting plan graphically illustrates overall plant massings. Each plant species massing shall be placed in the field to utilize the greatest coverage of ground plane. The following applies for individual plantings:
 - a. Creeping groundcover shall be a minimum of 6" from paving edge.
 - b. All trees shall be a minimum of 3' from paving edge.
 - c. All plants of the same species shall be equally spaced apart and placed for best aesthetic viewing.
 - d. All shrubs shall be a minimum of 2' from paved edge.
3. Mulch all planting bed areas to a minimum depth of 3". Mulch individual trees to a minimum depth of 4".
4. Note: If plants are not labeled - they are existing and shall remain.

- Materials:**
1. Plant material shall be healthy, vigorous, and free of disease and insects as per AAN standards.
 2. Shredded bark mulch installed at trees shall be finely chipped and shredded hardwood chips, consisting of pure wood products and free of all other foreign substances. Pine bark compost mulch installed at planting bed areas shall be free of all other foreign substances.

- Installation:**
1. All planting beds shall be amended with 1 cubic yard of peat moss per 1,000 square feet. Till peat moss into soil to a 6" depth. A 10-10-10 fertilizer shall be spread over all planting areas prior to planting, at a rate of 50 pounds per 2,000 square feet.
 2. After plants have been installed, all planting beds shall be treated with Dacthal pre-emergent herbicide prior to mulch application.
 3. Plant pit backfill for trees and shrubs shall be 50% peat or well composted manure and 50% topsoil.
 4. Plant material shall be maintained and guaranteed for a period of one year after Owner's acceptance of finished job. All dead or damaged plant material shall be replaced at Landscape Contractor's expense.
 6. Landscape contractor shall maintain all plant material until final acceptance, at which point the one year guarantee begins.

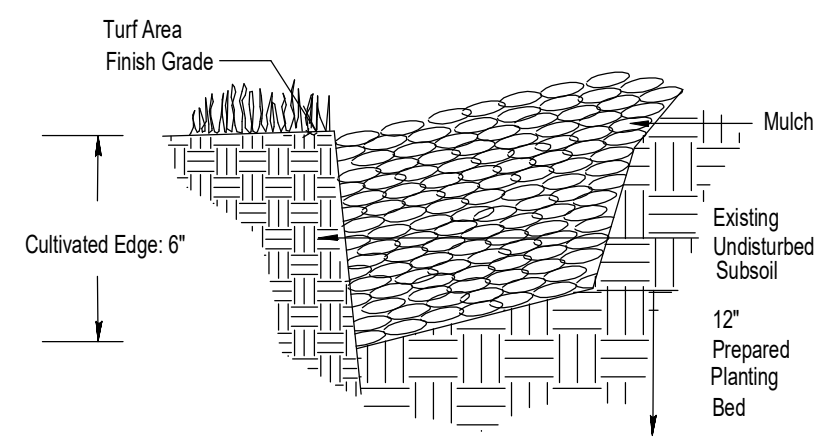
Landscape Requirements/Calculations

One street tree is required for each 30 feet of street frontage. Requirement Met.

88-425-LANDSCAPE SCHEDULE	Required	Proposed	Approved
88-425-03 Street Trees	30' o.c.	30' o.c.	
88-425-04 General	n/a		
88-425-05 Perimeter Vehicular Use Area	n/a		
Adjacent to streets	n/a		
Buffer Width	n/a		
Trees	n/a		
Shrub/Wall/Berm	n/a		
Adjacent to Residential Zones	n/a		
Buffer Width	n/a		
Shrub/Wall/Berm	n/a		
88-425-06 Interior Vehicular Use Area	n/a		
Buffer Width	n/a		
Trees (1 per 5 spaces)	11	11	
Shrubs (1 per 1 space)	53	53	
88-425-07 Parking Garage Screening	n/a		
88-425-08 Mech./Utility Equip. Screening	Screening provided per requirements.		
88-425-09 Outdoor Use Screening	n/a		

Landscape Schedule

Symbol	Qty	Botanical Name	Common Name	Min.Root	Min.Size	Caliper	Remarks
OVERSTORY TREES							
	6	Acer x truncatum 'Warrenred'	Pacific Sunset Maple			2"	6' min. clear, ground to canopy
	11	Quercus bicolor	Swamp White Oak			2"	6' min. clear, ground to canopy
	12	Acer griseum	Paperbark Maple			2"	6' min. clear, ground to canopy
	9	Gleditsia triacanthos 'Skyline'	Shademaster Honeylocust			2"	6' min. clear, ground to canopy
EVERGREEN TREES							
	4	Juniperus chinensis 'Keteleeri'	Keteleeri Juniper		5' ht.		symmetrical pyramidal form
ORNAMENTAL TREES							
	4	Cercis canadensis	Eastern Redbud			1.5"	
	3	Cornus florida 'Cloud Nine'	Cloud 9 Dogwood			1.5"	
DECIDUOUS SHRUBS/GRASSES							
	20	Festuca ovina glauca	Dear Blue Fescue	1 gal.			Plant @ 18" O.C.
	9	Spiraea x bumalda 'Goldflame'	Goldflame spirea		2' ht.		Plant @ 3' O.C.
	17	Hydrangea paniculata 'Quick Fire'	Little Quick Fire Hydrangea		2' ht.		Plant @ 4' O.C.
	6	Syringa X 'Penda'	Blooming Purple Lilac		2' ht.		Plant @ 5' O.C.
EVERGREEN SHRUBS							
	5	Juniperus chinensis 'Sea Green'	Sea Green Juniper	5 gal.			Plant @ 4' O.C.
	17	Juniperus chinensis 'Gold Coast'	Gold Coast Juniper	5 gal.			Plant @ 4' O.C.
	2	Juniperus chinensis 'Spartan'	Spartan Juniper		5' ht.		Symmetrical pyramidal form
GROUNDCOVERS AND GRASSES							
	12	Juniperus horizontalis 'Wiltonii'	Blue Rug Juniper	1 gal.			Plant @ 24" O.C.

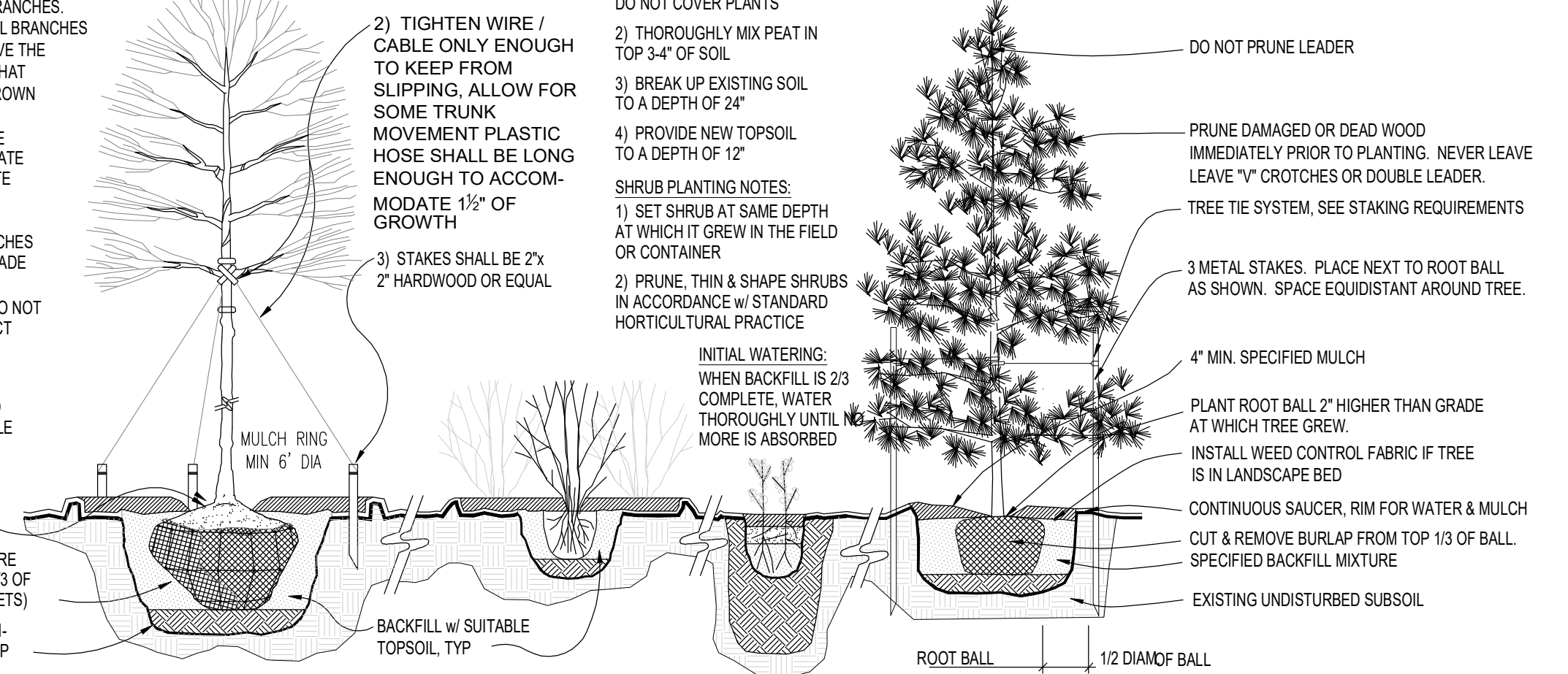


2 CULTIVATED EDGE DETAIL

- TREE PLANTING NOTES:**
- 1) DO NOT HEAVILY PRUNE THE TREE. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, & BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS & LATERAL BRANCHES MAY BE PRUNED. DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
 - 2) MARK THE NORTH SIDE OF THE TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHENEVER POSSIBLE.
 - 3) SET TOP OF ROOT BALL 1-2 INCHES HIGHER THAN SURROUNDING GRADE.
 - 4) APPLY 4" THK WOOD MULCH. DO NOT PLACE MULCH IN DIRECT CONTACT w/ TREE TRUNK.
 - 5) EACH TREE MUST BE PLANTED SUCH THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. TREES WHERE THE FLARE IS NOT VISIBLE SHALL BE REJECTED. DO NOT COVER THE TOP OF THE ROOT BALL w/ SOIL.
 - 6) REMOVE ALL TWINE, ROPE, WIRE AND BURLAP FROM THE UPPER 1/3 OF ROOT BALL (REMOVE WIRE BASKETS).
 - 7) PLACE ALL ROOT BALLS ON UN-EXCAVATED OR TAMPED SOIL. TYP

- STAKING REQUIREMENTS:**
- 1) WIRE / CABLE SHALL BE GALV. 12-GAUGE
 - 2) TIGHTEN WIRE / CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. PLASTIC HOSE SHALL BE LONG ENOUGH TO ACCOMMODATE 1/2" OF GROWTH
 - 3) STAKES SHALL BE 2" X 2" HARDWOOD OR EQUAL

- PERENNIAL PLANTING NOTES:**
- 1) APPLY 2" THK BED OF MULCH ON PERENNIAL PLANT BED. DO NOT COVER PLANTS
 - 2) THOROUGHLY MIX PEAT IN TOP 3-4" OF SOIL
 - 3) BREAK UP EXISTING SOIL TO A DEPTH OF 24"
 - 4) PROVIDE NEW TOPSOIL TO A DEPTH OF 12"
- SHRUB PLANTING NOTES:**
- 1) SET SHRUB AT SAME DEPTH AT WHICH IT GREW IN THE FIELD OR CONTAINER
 - 2) PRUNE THIN & SHAPE SHRUBS IN ACCORDANCE w/ STANDARD HORTICULTURAL PRACTICE



3 PLANTING INSTALLATION DETAILS

SCALE: NTS

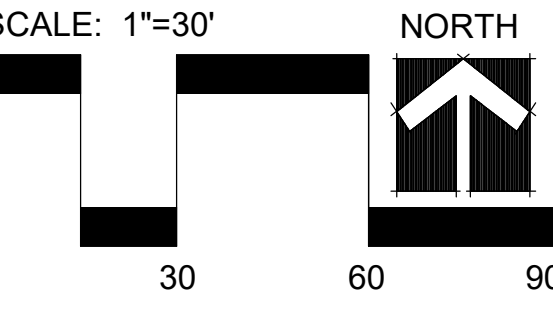
1 LANDSCAPE PLAN

SCALE: 1"=30'-0"



CLIENT
The Vecino Group
305 W Commercial St.
Springfield, MO 65803

PROJECT
Bodhi Kansas City
3840 Jackson Ave.
Kansas City, MO 64128



Date: 1.4.2022
Project #: 824
Landscape Plan



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REV	DESCRIPTION	DATE
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BUILDING AN OVERALL FIRST FLOOR

A101

GENERAL NOTES

- PROVIDE SOLID 2X8 WALL BLOCKING / REINFORCING AT TOILETS AND SHOWERS IN ALL UNITS PER SHEETS G-002 AND G-003. GRAB BARS ARE TO BE INSTALLED AT TOILET AND TUB/SHOWER LOCATIONS IN 'TYPE A' UNITS ONLY.
- REFER TO OVERALL PLANS FOR 'TYPE A' UNIT LOCATIONS.
- ALLOW INSPECTION OF WALL INSULATION INCLUDING FRAMING, PRE-DRYWALL INSTALLATION AND POST-DRYWALL CONSTRUCTION. NOTIFY RESPONSIBLE PARTY PRIOR TO ENCLOSING WALL INSULATION IN AREAS DESIGNATED FOR INSPECTIONS.
- THE DWELLING UNITS SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE OF LESS THAN 0.3 CFM PER SQUARE FOOT OF THE ENCLOSURE BOUNDING THE APARTMENT AT AN INDUCED PRESSURE DIFFERENCE OF 50 PASCALS. TESTING MAY BE PERFORMED IN ACCORDANCE WITH EITHER ASTM E 779 OR ASTM E 1827. TESTING WILL BE PERFORMED BY OWNER'S REPRESENTATIVE AT ANY TIME AFTER THE CREATION OF ALL PENETRATIONS WITHIN THE APARTMENT AIR BARRIER. SAMPLING REQUIREMENTS AS PER THE ENERGY STAR MULTIFAMILY HIGH RISE PROGRAM.
- CONFIRM EXTERIOR WALL TAGS MATCH EXTERIOR ELEVATIONS. WHEN THERE IS A CONFLICT, THE INTENT FROM THE EXTERIOR ELEVATIONS SHALL TAKE PRECEDENT.

GENERAL WALL AND PARTITION NOTES

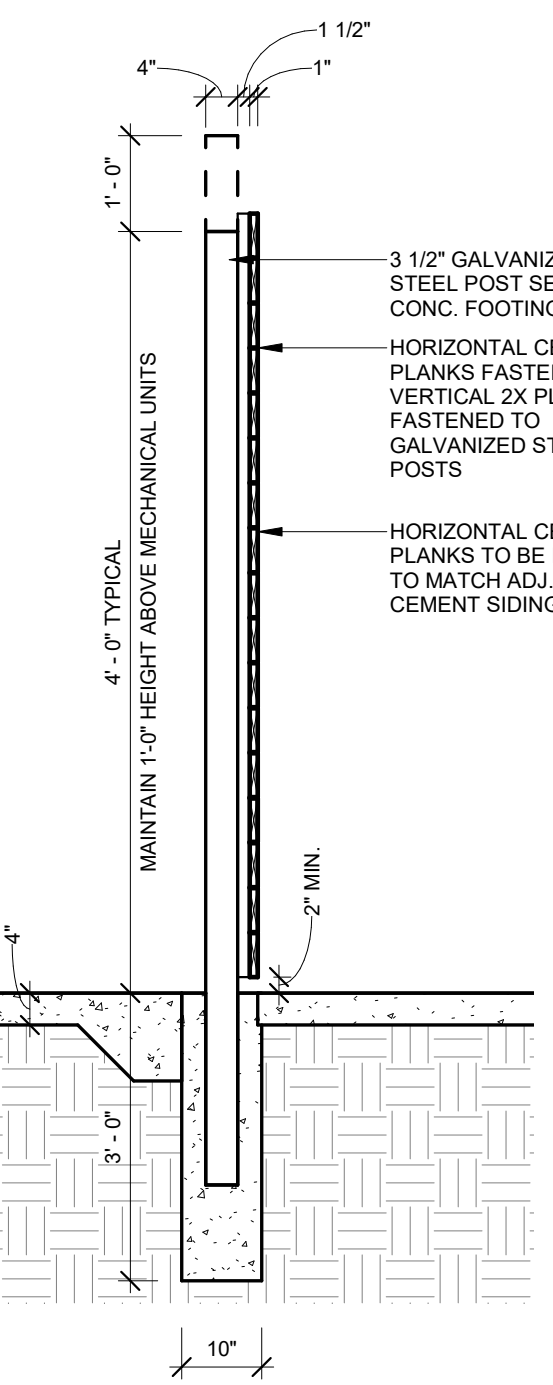
- CONTRACTOR SHALL REFERENCE SPECIFIED U.L. ASSEMBLIES ON G-SERIES SHEETS OR IN SPECIFICATIONS FOR ALLOWABLE PRODUCTS / MATERIALS AND THEIR RESPECTIVE INSTALLATION REQUIREMENTS.
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- U.L. CLASSIFIED GLASS FIBER BATT INSULATION MAY BE SUBSTITUTED WITH MINERAL WOOL BATT INSULATION (SAME 'R' VALUE). REFER TO U.L. ASSEMBLIES FOR INSTALLATION REQUIREMENTS.
- UNIT DEMISING WALLS AND CORRIDOR WALLS SHALL HAVE A 50 STC RATING (MINIMUM).
- PROVIDE LEVEL 03 GYPSUM BOARD FINISH WITH ORANGE PEEL TEXTURE / FINISH (TYPICAL AT INTERIOR WALL SURFACES). PRIME AND PAINT.
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KEYNOTE LEGEND

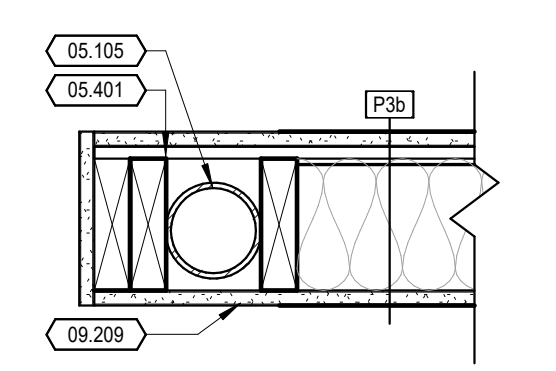
- 01.004 ALIGN FINISHED FACES.
- 05.105 PIPE COLUMN PER STRUCTURAL.
- 05.401 1/2" RESILIENT CHANNEL.
- 07.702 ALUMINUM DOWNSPOUTS. SEE ROOF PLAN FOR LOCATIONS AND SIZES. COLOR TO MATCH ADJACENT WALL SURFACE COLOR. SPLASHLOCKS ARE TO BE PROVIDED AT ALL DOWNSPOUT LOCATIONS.
- 09.209 5/8" GYPSUM BOARD.
- 21.001 SURFACE MOUNTED FIRE DEPARTMENT KNX BOX. MOUNT TOP OF KNX BOX 6'-0" MAX. ABOVE FINISHED GRADE / WALKING SURFACE.
- 21.002 FIRE DEPARTMENT CONNECTION (FDC) INSTALLED IN ACCORDANCE WITH NFPA SYSTEM REQUIREMENTS. REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION. INSTALL KNX FIRE DEPARTMENT SECURITY CAPS ON EACH FIRE DEPARTMENT CONNECTION PER THE FIRE MARSHAL AND LOCAL ORDINANCES.
- 21.003 FURNISH AND INSTALL EXTERIOR-GRADE METAL SIGN AT EACH FIRE DEPARTMENT CONNECTION. SIGN SHALL CONSIST OF 1" HIGH (MINIMUM) RAISED LETTERS ON A CONTRASTING COLOR BACKGROUND THAT READ: FIRE DEPARTMENT CONNECTION OR FIRE HOSE CONNECTION OR FIRE DEPARTMENT SPRINKLER CONNECTION OR A COMBINATION THEREOF AS APPLICABLE.
- 26.001 ELECTRIC METER BANK DISCONNECT, AND RULL BOX CONTRACTOR TO COORDINATE ELECTRIC SERVICE LOCATIONS AND INSTALLATION. REFER TO ELECTRICAL DRAWINGS AND LOCAL ELECTRIC SERVICE REQUIREMENTS MANUAL FOR ADDITIONAL INFORMATION.

FIRE RATING / EGRESS LEGEND

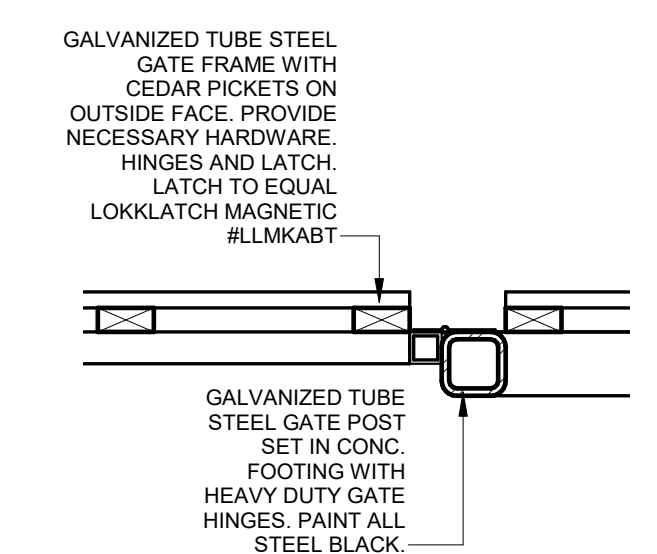
- EGRESS ROUTE
- ACCESSIBILITY ROUTE
- 1 HOUR FIRE RATED WALL
- 2 HOUR RATED WALL
- FIRE EXTINGUISHER



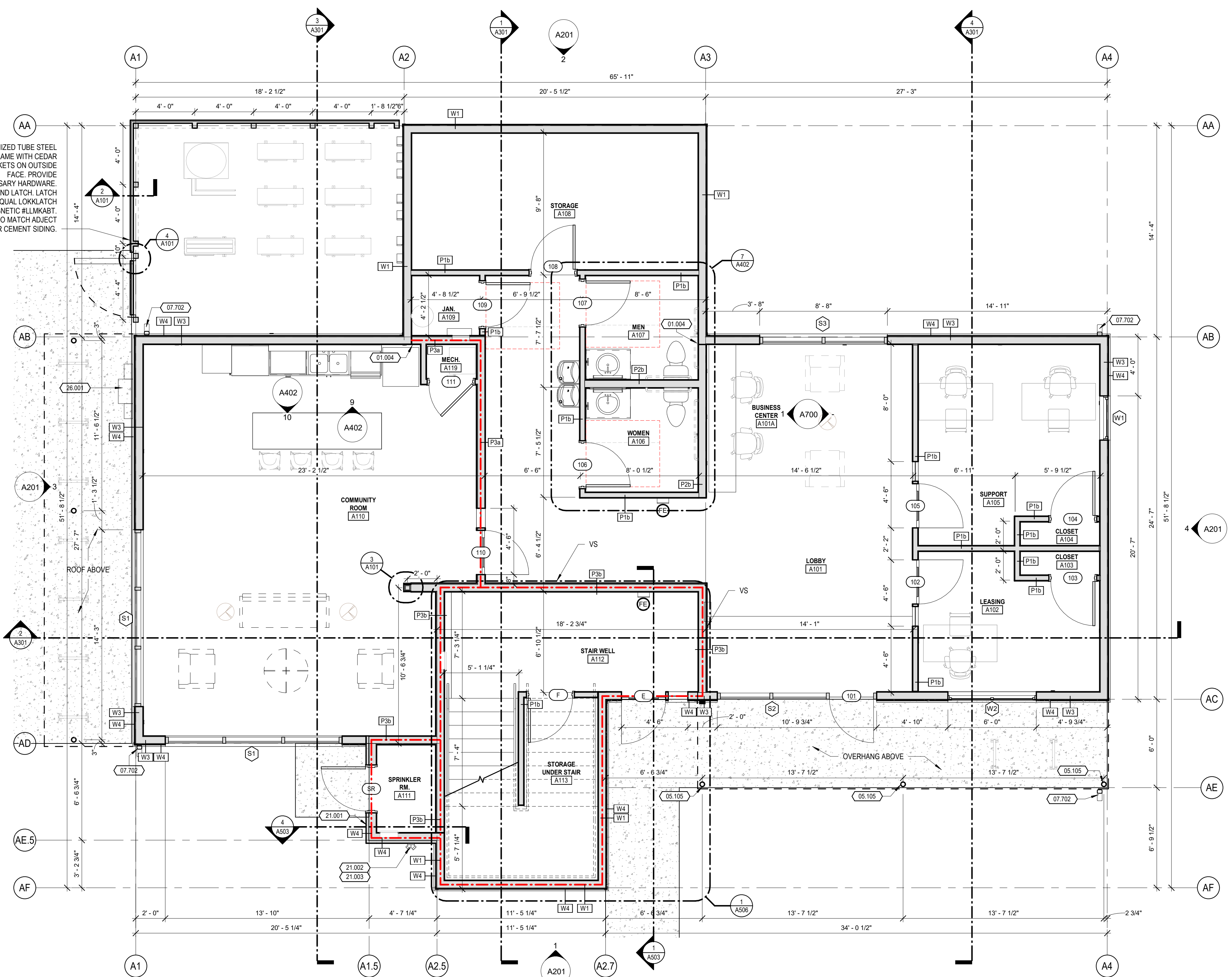
2 SCREENWALL SECTION - STEEL FRAME
1/2" = 1'-0"



3 COLUMN PLAN DETAIL
1 1/2" = 1'-0"



4 SCREENWALL GATE JAMB DTL
1" = 1'-0"



1 1ST FLOOR - BLDG A - COMMUNITY SPACE
1/4" = 1'-0"



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BODHI KANSAS CITY
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BUILDING B OVERALL FIRST FLOOR

A102

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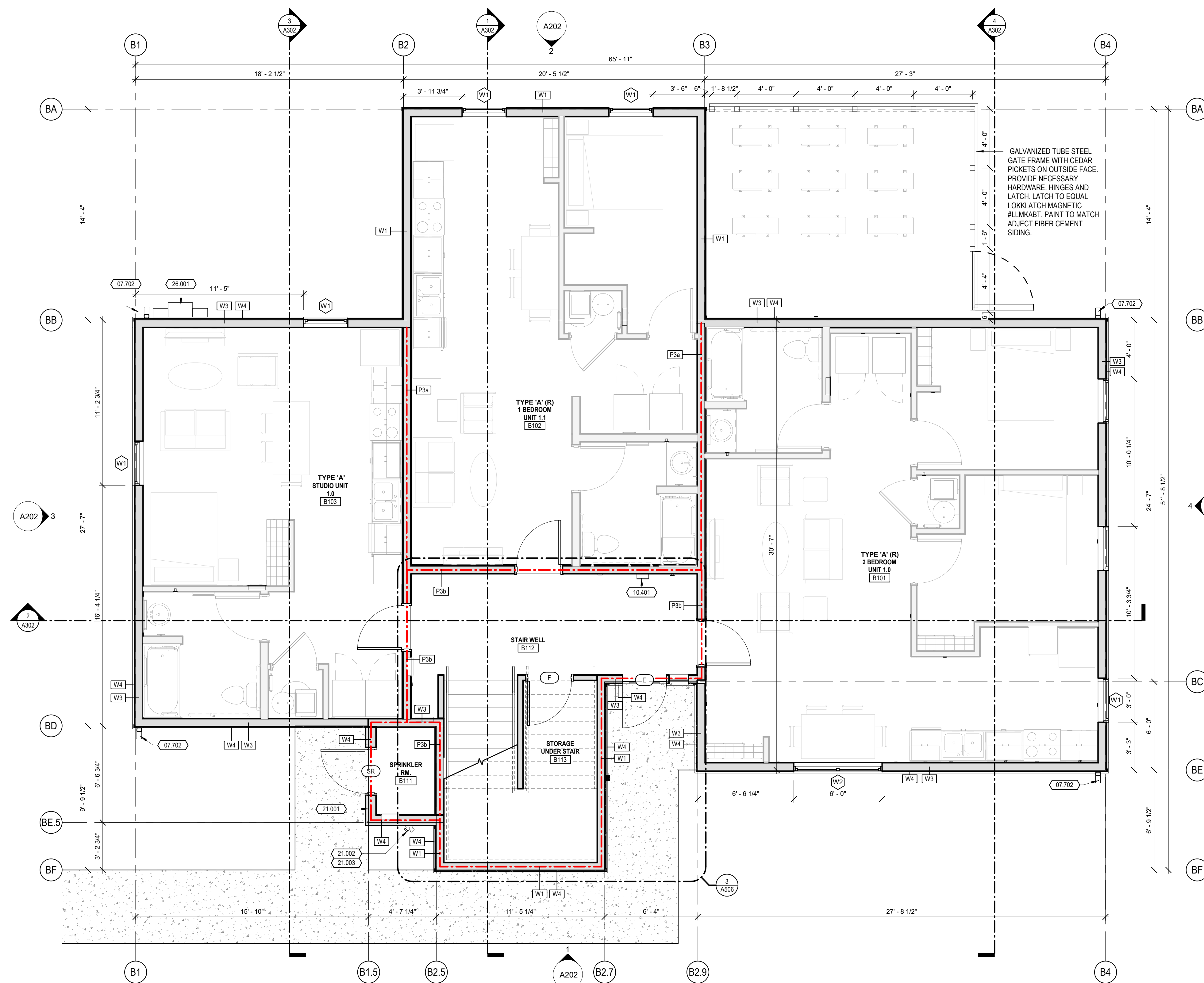
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KEYNOTE LEGEND

- 07.702 ALUMINUM DOWNSPOUTS. SEE ROOF PLAN FOR LOCATIONS AND SIZES. COLOR TO MATCH ADJACENT WALL SURFACE COLOR. SPLASHBLOCKS ARE TO BE PROVIDED AT ALL DOWNSPOUT LOCATIONS.
- 10.401 WALL MOUNTED FIRE EXTINGUISHER
- 21.001 SURFACE MOUNTED FIRE DEPARTMENT KNOX BOX. MOUNT TOP OF KNOX BOX 6'-0" MAX. ABOVE FINISHED GRADE / WALKING SURFACE.
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FIRE RATING / EGRESS LEGEND

- EGRESS ROUTE
- ACCESSIBILITY ROUTE
- 1 HOUR FIRE RATED WALL
- 2 HOUR RATED WALL
- FIRE EXTINGUISHER



1 1ST FLOOR - BLDG B
1/4" = 1'-0"

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BUILDING C-G FIRST FLOOR

A103

GENERAL NOTES

1. PROVIDE SOLID 2X8 WALL BLOCKING / REINFORCING AT TOILETS AND SHOWERS IN ALL UNITS PER SHEETS G-002 AND G-003. GRAB BARS ARE TO BE INSTALLED AT TOILET AND TUB/SHOWER LOCATIONS IN "TYPE A" UNITS ONLY.
2. REFER TO OVERALL PLANS FOR "TYPE A" UNIT LOCATIONS
3. ALLOW INSPECTION OF WALL INSULATION, INCLUDING FRAMING, PRE-DRYWALL INSTALLATION AND POST-DRYWALL CONSTRUCTION. NOTIFY RESPONSIBLE PARTY PRIOR TO ENCLOSING WALL INSULATION IN AREAS DESIGNATED FOR INSPECTIONS.
4. THE DWELLING UNITS SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE OF LESS THAN 0.3 CFM PER SQUARE FOOT OF THE ENCLOSURE BOUNDING THE APARTMENT AT AN INDUCED PRESSURE DIFFERENCE OF 50 PASCALS. TESTING MAY BE PERFORMED IN ACCORDANCE WITH EITHER ASTM E779 OR ASTM E1827. TESTING WILL BE PERFORMED BY OWNER'S REPRESENTATIVE AT ANY TIME AFTER THE CREATION OF ALL PENETRATIONS WITHIN THE APARTMENT AIR BARRIER. SAMPLING REQUIREMENTS AS PER THE ENERGY STAR MULTIFAMILY HIGH RISE PROGRAM.
5. CONFIRM EXTERIOR WALL TAGS MATCH EXTERIOR ELEVATIONS. WHEN THERE IS A CONFLICT, THE INTENT FROM THE EXTERIOR ELEVATIONS SHALL TAKE PRECEDENT.

GENERAL WALL AND PARTITION NOTES

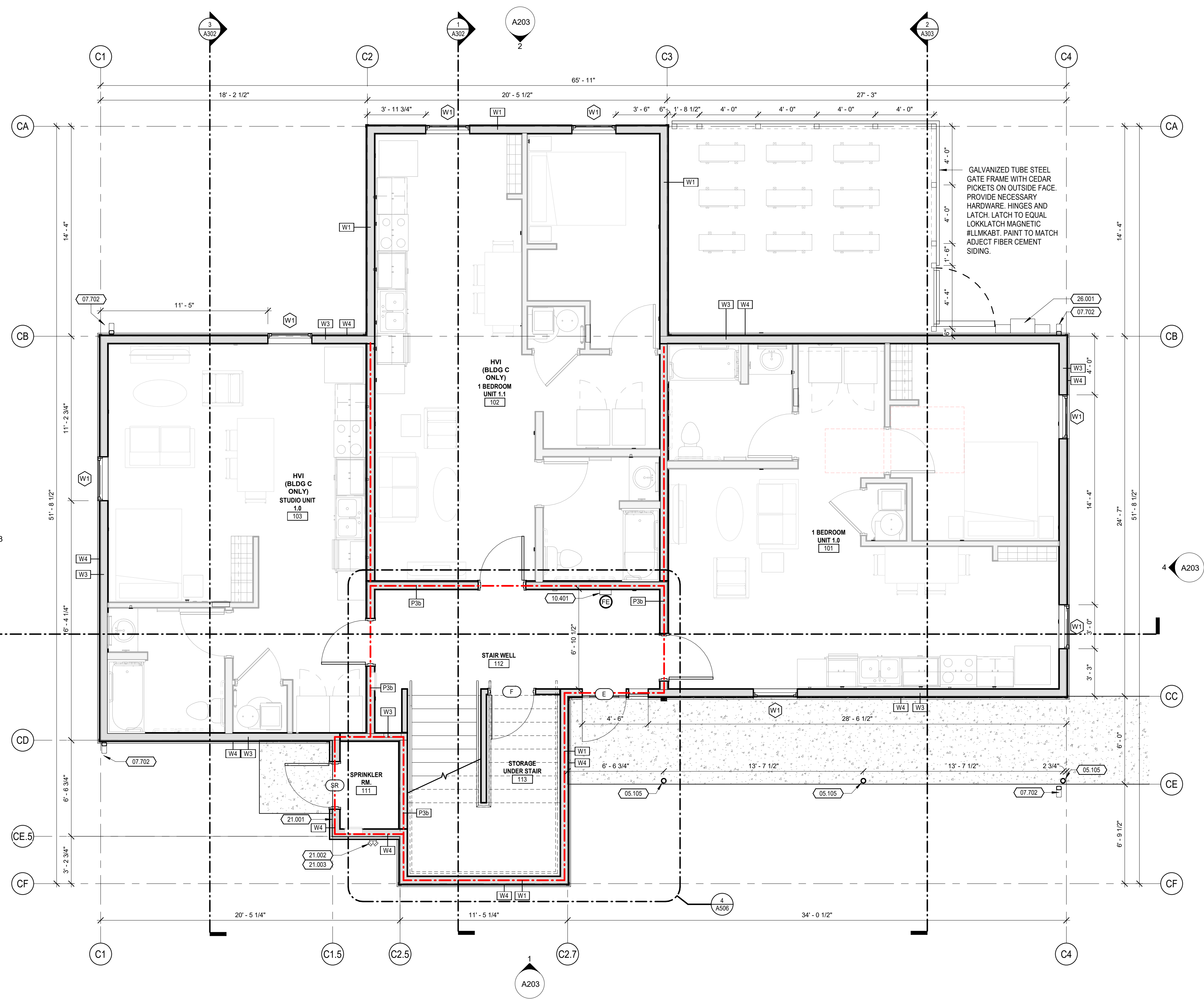
1. CONTRACTOR SHALL REFERENCE SPECIFIED U.L. ASSEMBLIES ON G-SERIES SHEETS OR IN SPECIFICATIONS FOR ALLOWABLE PRODUCTS / MATERIALS AND THEIR RESPECTIVE INSTALLATION REQUIREMENTS.
2. INSTALL MOLD & MOISTURE-RESISTANT GYPSUM BOARD AT BATHROOM WALL FACES. GYPSUM BOARD SHALL BE U.L. CLASSIFIED AT RATED ASSEMBLIES.
3. U.L. CLASSIFIED GLASS FIBER BATT INSULATION MAY BE SUBSTITUTED WITH MINERAL WOOL BATT INSULATION (SAME "R" VALUE). REFER TO U.L. ASSEMBLIES FOR INSTALLATION REQUIREMENTS.
4. UNIT DEMISING WALLS AND CORRIDOR WALLS SHALL HAVE A 50 STC RATING (MINIMUM).
5. PROVIDE LEVEL 03 GYPSUM BOARD FINISH WITH ORANGE PEEL TEXTURE / FINISH (TYPICAL AT INTERIOR WALL SURFACES). PRIME AND PAINT.
6. THE BUILDING ENVELOPE AND INTERIOR DWELLING UNIT DEMISING / CORRIDOR WALLS MUST BE THOROUGHLY SEALED TO PASS AIR INFILTRATION TESTING AS REQUIRED UNDER THE EARTHCRFT CERTIFICATION PROCESS. INSTALL WATER-BASED ELASTOMERIC SPRAY SEALANT EQUAL TO GREAT GUFF PRO GASKET BY DOW TO SEAL INTERIOR TOP AND BOTTOM PLATE AND ALL DOOR AND WINDOW PERIMETER OPENINGS (INSTALL PER MANUFACTURER REQUIREMENTS). GREAT STUFF PRO GASKET MUST BE INSTALLED BY TRAINED APPLICATORS. INSTALL FULL STRIPS OF SILL SEAL FOAM GASKET ALONG TOP PLATES AND BOTTOM PLATES INTERIOR AND EXTERIOR. CAULK ALL DUCT WALL PENETRATIONS, ELECTRICAL CONDUIT / BOX WALL PENETRATIONS, AND LIGHT FIXTURE BOX PENETRATIONS. CONTRACTOR TO CONSULT WITH THE EARTHCRFT RATER REGARDING APPLICATION AREAS, BEST PRACTICES, AND METHODS PRIOR TO PROCEEDING WITH INSTALLATION.
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8. NOTE: DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.
9. REFER TO ENLARGED UNIT PLANS FOR ADDITIONAL DETAILS.

KEYNOTE LEGEND

- 05.105 PIPE COLUMN PER STRUCTURAL
- 07.702 ALUMINUM DOWNSPOUTS. SEE ROOF PLAN FOR LOCATIONS AND SIZES. COLOR TO MATCH ADJACENT WALL SURFACE COLOR. SPLASHBLOCKS ARE TO BE PROVIDED AT ALL DOWNSPOUT LOCATIONS.
- 10.401 WALL MOUNTED FIRE EXTINGUISHER
- 21.001 SURFACE MOUNTED FIRE DEPARTMENT KNOX BOX. MOUNT TOP OF KNOX BOX 6'-0" MAX. ABOVE FINISHED GRADE / WALKING SURFACE.
- 21.002 FIRE DEPARTMENT CONNECTION (FDC) INSTALLED IN ACCORDANCE WITH NFPA SYSTEM REQUIREMENTS. REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION. INSTALL KNOX FIRE DEPARTMENT SECURITY CAPS ON EACH FIRE DEPARTMENT CONNECTION PER THE FIRE MARSHAL AND LOCAL ORDINANCES.
- 21.003 FURNISH AND INSTALL EXTERIOR-GRADE METAL SIGN AT EACH FIRE DEPARTMENT CONNECTION. SIGN SHALL CONSIST OF 1 INCH TALL (MINIMUM) RAISED LETTERS ON A CONTRASTING COLOR BACKGROUND THAT READ: FIRE DEPARTMENT CONNECTION OR FIRE HOSE CONNECTION OR FIRE DEPARTMENT SPRINKLER CONNECTION OR A COMBINATION THEREOF AS APPLICABLE.
- 26.001 ELECTRIC METER BANK, DISCONNECT, AND PULL BOX. CONTRACTOR TO COORDINATE ELECTRIC SERVICE LOCATIONS, AND INSTALLATION. REFER TO ELECTRICAL DRAWINGS AND LOCAL ELECTRIC SERVICE REQUIREMENTS MANUAL FOR ADDITIONAL INFORMATION.

FIRE RATING / EGRESS LEGEND

- EGRESS ROUTE
- - - ACCESSIBILITY ROUTE
- - - 1 HOUR FIRE RATED WALL
- - - 2 HOUR RATED WALL
- ⊕ FIRE EXTINGUISHER



1 1ST FLOOR - BLDG C-G
1/4" = 1'-0"

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BUILDING A-G
SECOND FLOOR
A104

GENERAL NOTES

1. PROVIDE SOLID 2X8 WALL BLOCKING / REINFORCING AT TOILETS AND SHOWERS IN ALL UNITS PER SHEETS G-002 AND G-003. GRAB BARS ARE TO BE INSTALLED AT TOILET AND TUB/SHOWER LOCATIONS IN "TYPE A" UNITS ONLY.
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4. THE DWELLING UNITS SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE OF LESS THAN 0.3 CFM PER SQUARE FOOT OF THE ENCLOSURE BOUNDING THE APARTMENT AT AN INDUCED PRESSURE DIFFERENCE OF 50 PASCALS. TESTING MAY BE PERFORMED IN ACCORDANCE WITH EITHER ASTM E779 OR ASTM E1827. TESTING WILL BE PERFORMED BY OWNER'S REPRESENTATIVE AT ANY TIME AFTER THE CREATION OF ALL PENETRATIONS WITHIN THE APARTMENT AIR BARRIER. SAMPLING REQUIREMENTS AS PER THE ENERGY STAR MULTIFAMILY HIGH RISE PROGRAM.
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GENERAL WALL AND PARTITION NOTES

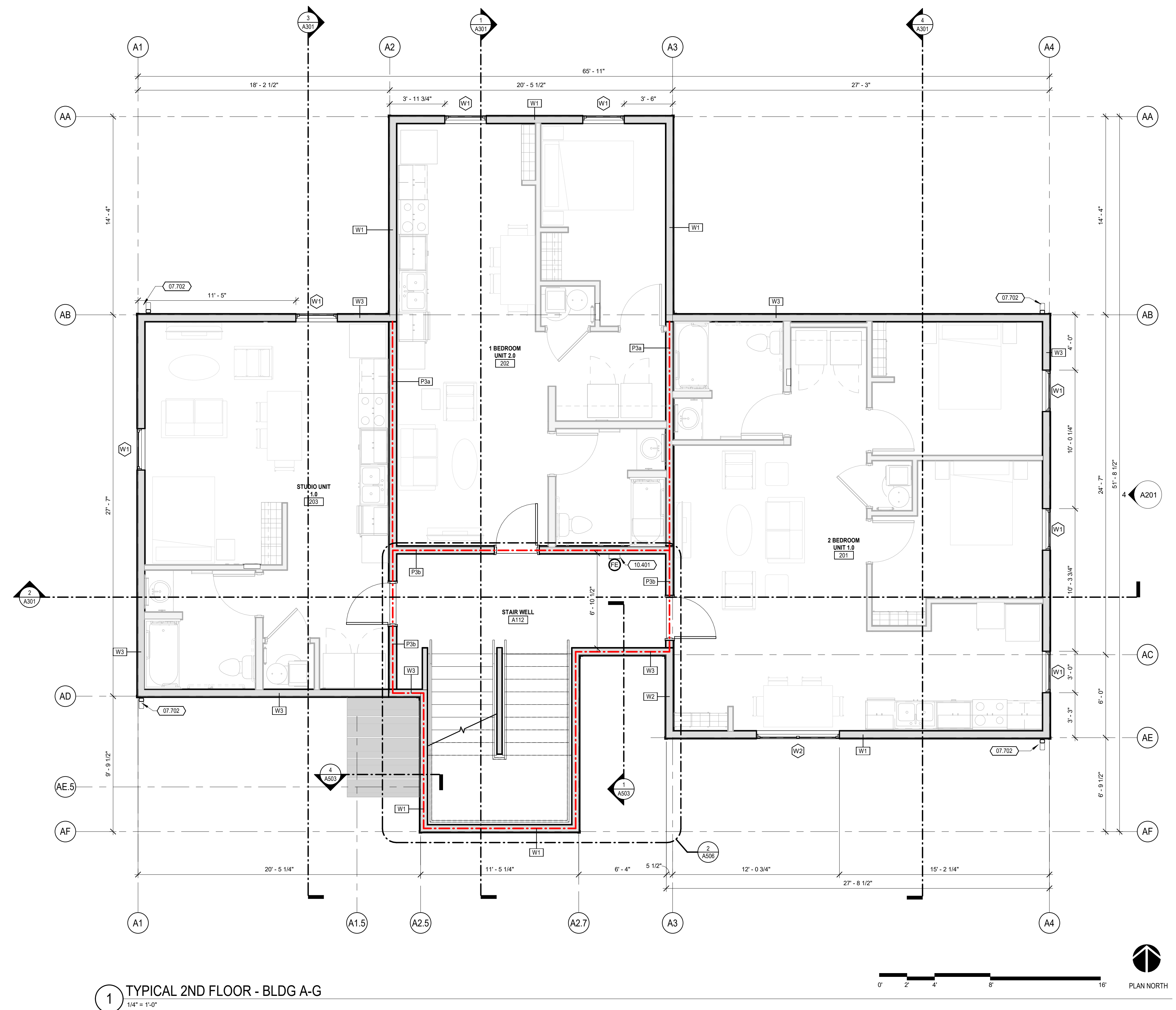
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4. UNIT DEMISING WALLS AND CORRIDOR WALLS SHALL HAVE A 50 STC RATING (MINIMUM).
5. PROVIDE LEVEL 03 GYPSUM BOARD FINISH WITH ORANGE PEEL TEXTURE / FINISH (TYPICAL AT INTERIOR WALL SURFACES). PRIME AND PAINT.
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KEYNOTE LEGEND

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- 10.401 WALL MOUNTED FIRE EXTINGUISHER

FIRE RATING / EGRESS LEGEND

- EGRESS ROUTE
- ACCESSIBILITY ROUTE
- 1 HOUR FIRE RATED WALL
- 2 HOUR RATED WALL
- FIRE EXTINGUISHER



1 TYPICAL 2ND FLOOR - BLDG A-G
1/4" = 1'-0"

2/8/2022 9:01:19 AM BIM 360://20460 - Bodhi KC 20460 - Bldg A-G 2/F 1/4"

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BUILDING A-G THIRD FLOOR PLAN

A105

GENERAL NOTES

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GENERAL WALL AND PARTITION NOTES

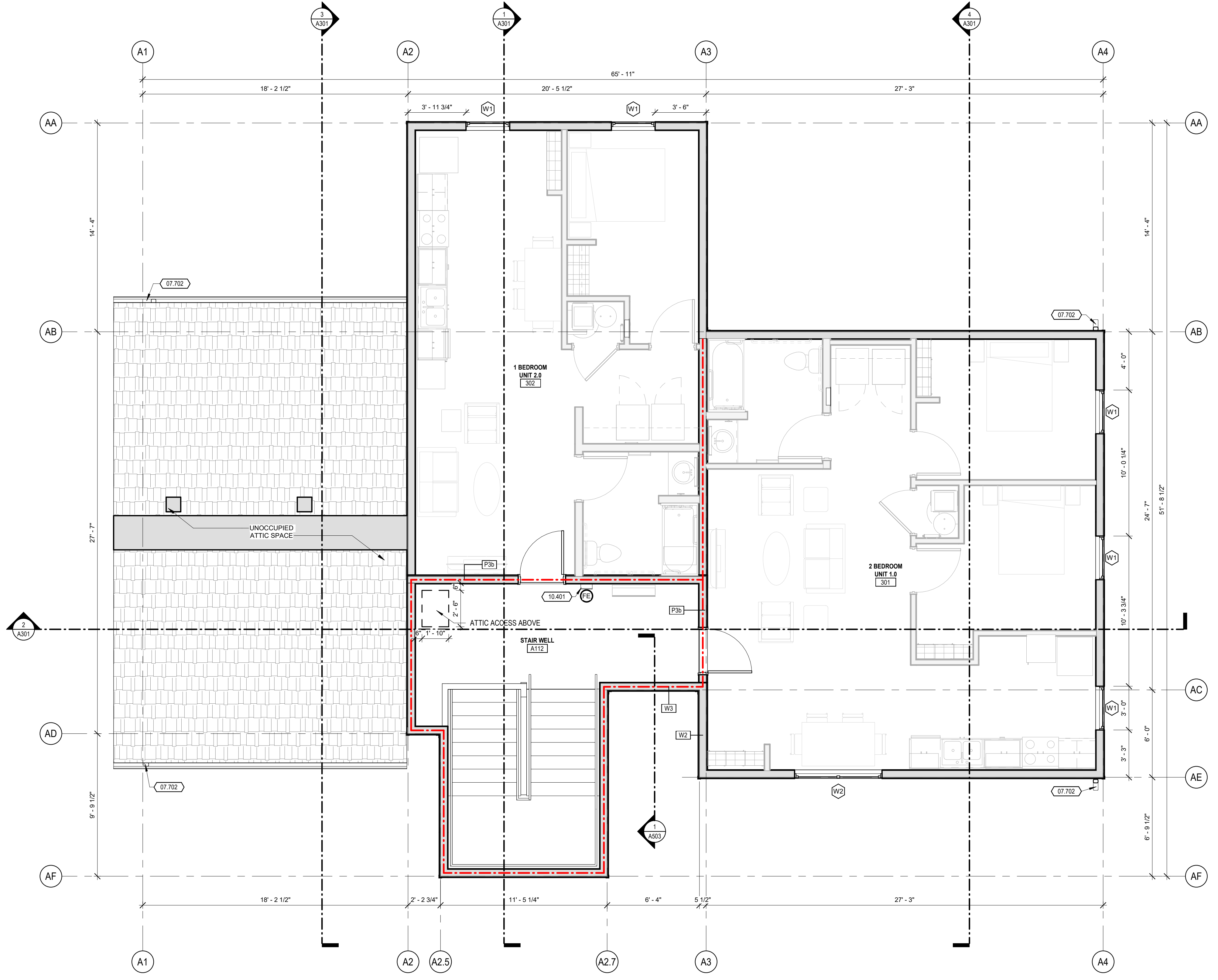
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KEYNOTE LEGEND

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- 10.401 WALL MOUNTED FIRE EXTINGUISHER

FIRE RATING / EGRESS LEGEND

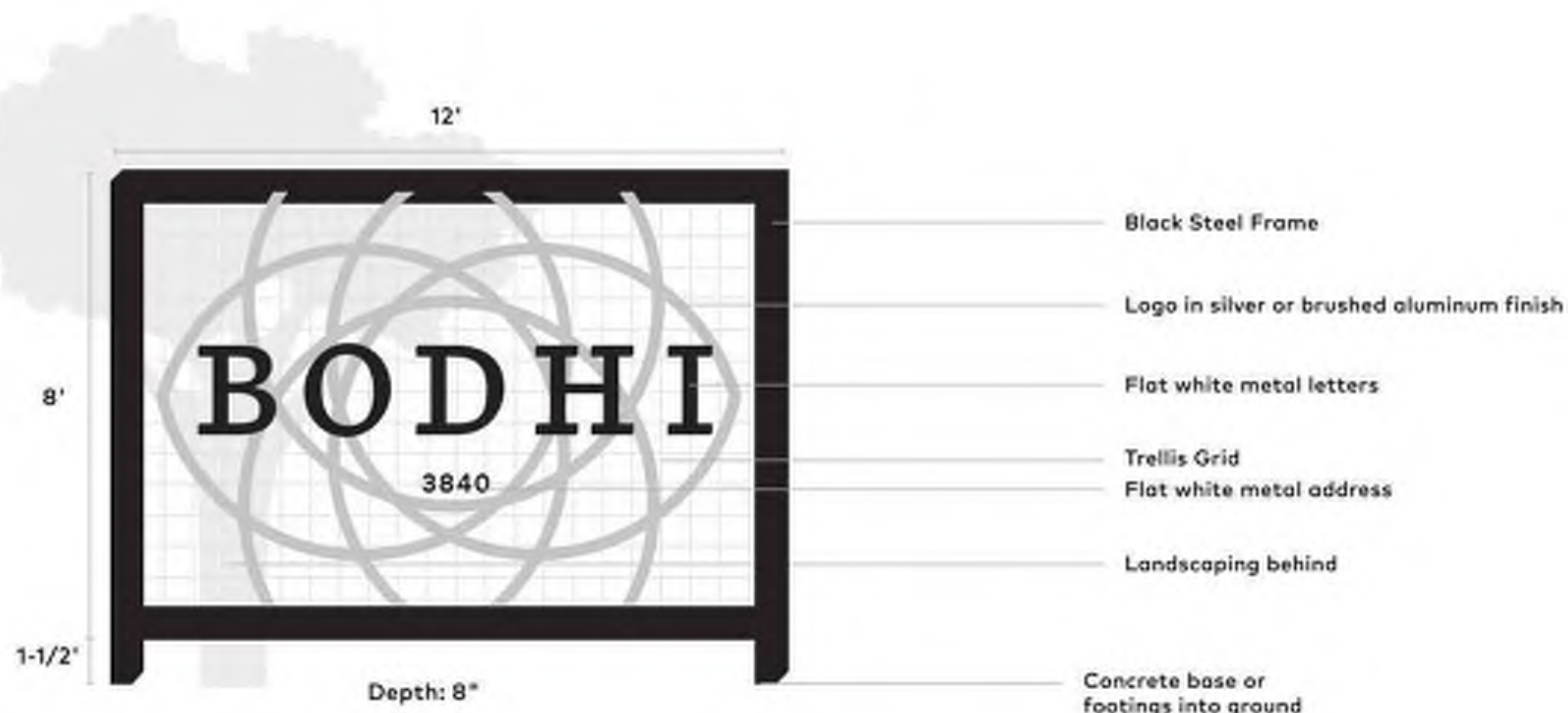
- EGRESS ROUTE
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- - - 2 HOUR RATED WALL
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1 TYPICAL 3RD FLOOR - BLDG A-G
1/4" = 1'-0"



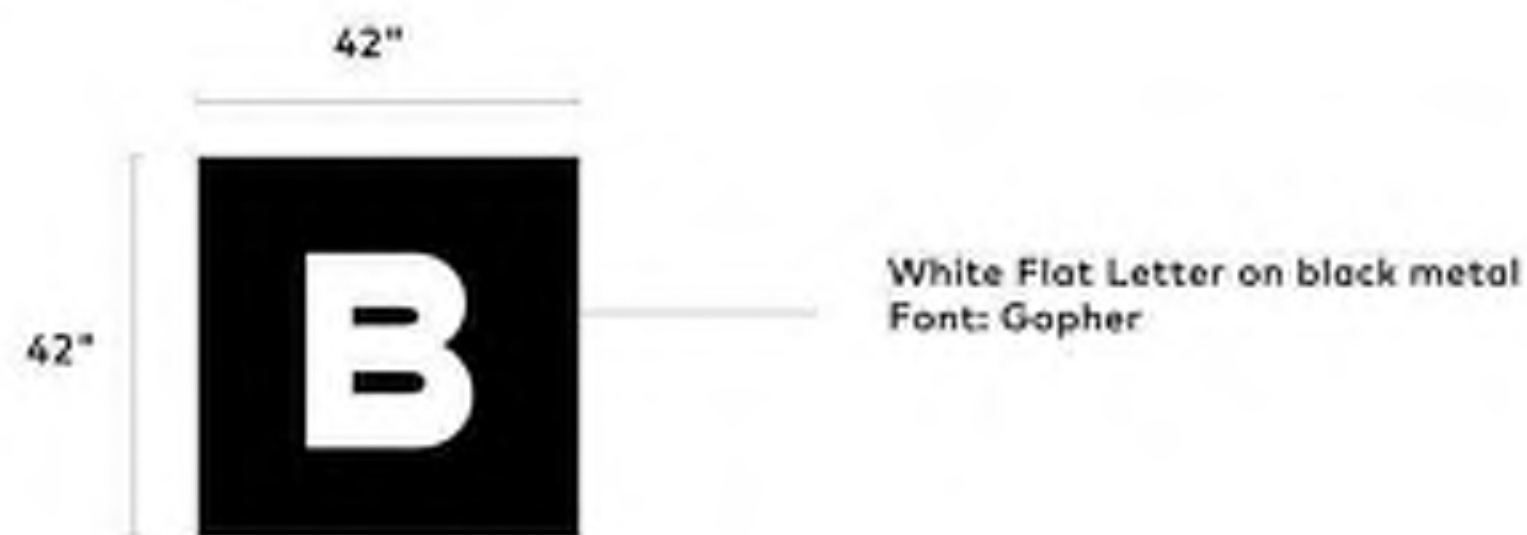
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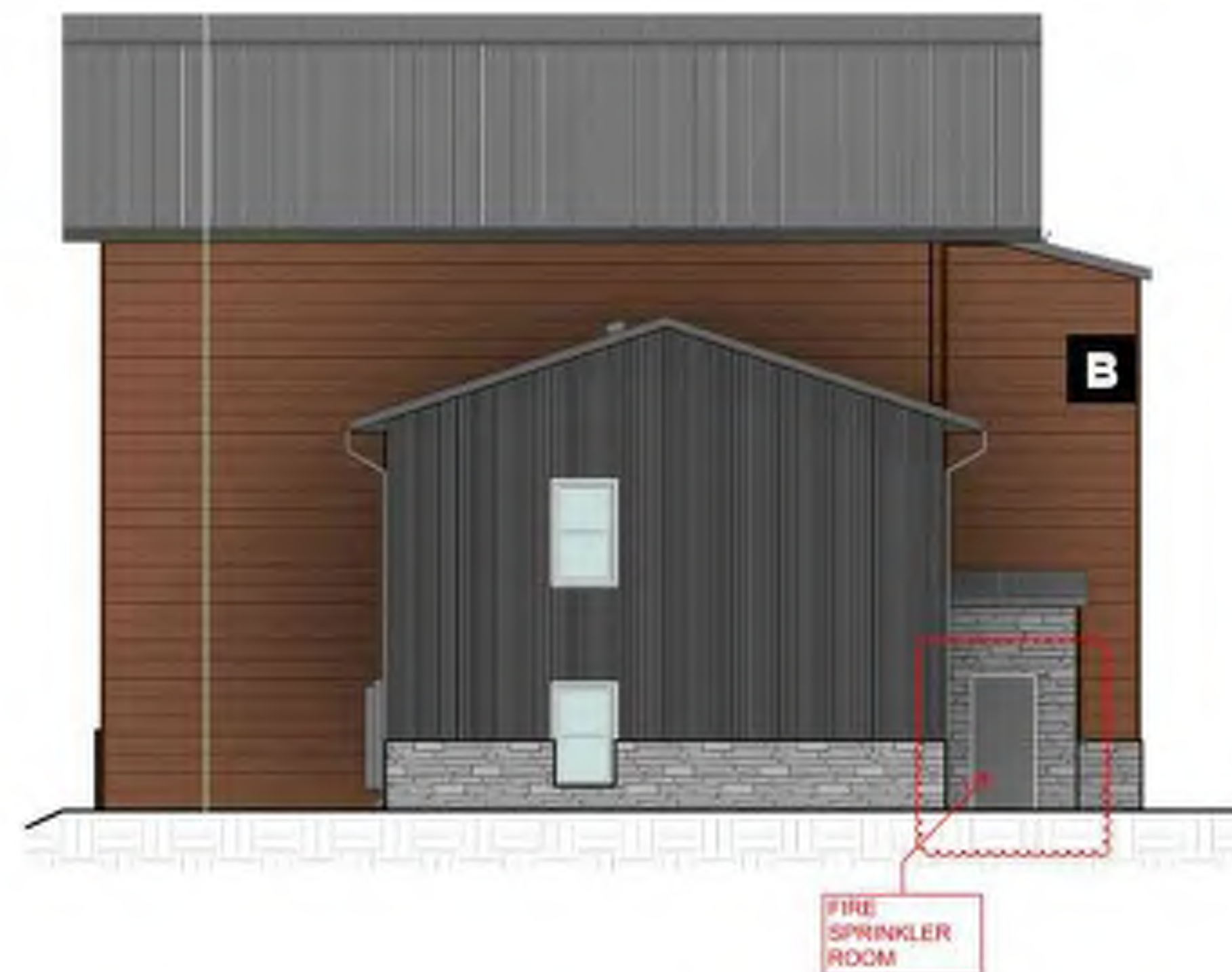
Illumination: Ground lights

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ADDRESS SIGNS PER BUILDING



Letters B, C, D, E, F, G to be produced



SIGNAGE PLACEMENT: BUILDING B



SIGNAGE PLACEMENT: BUILDING C-G

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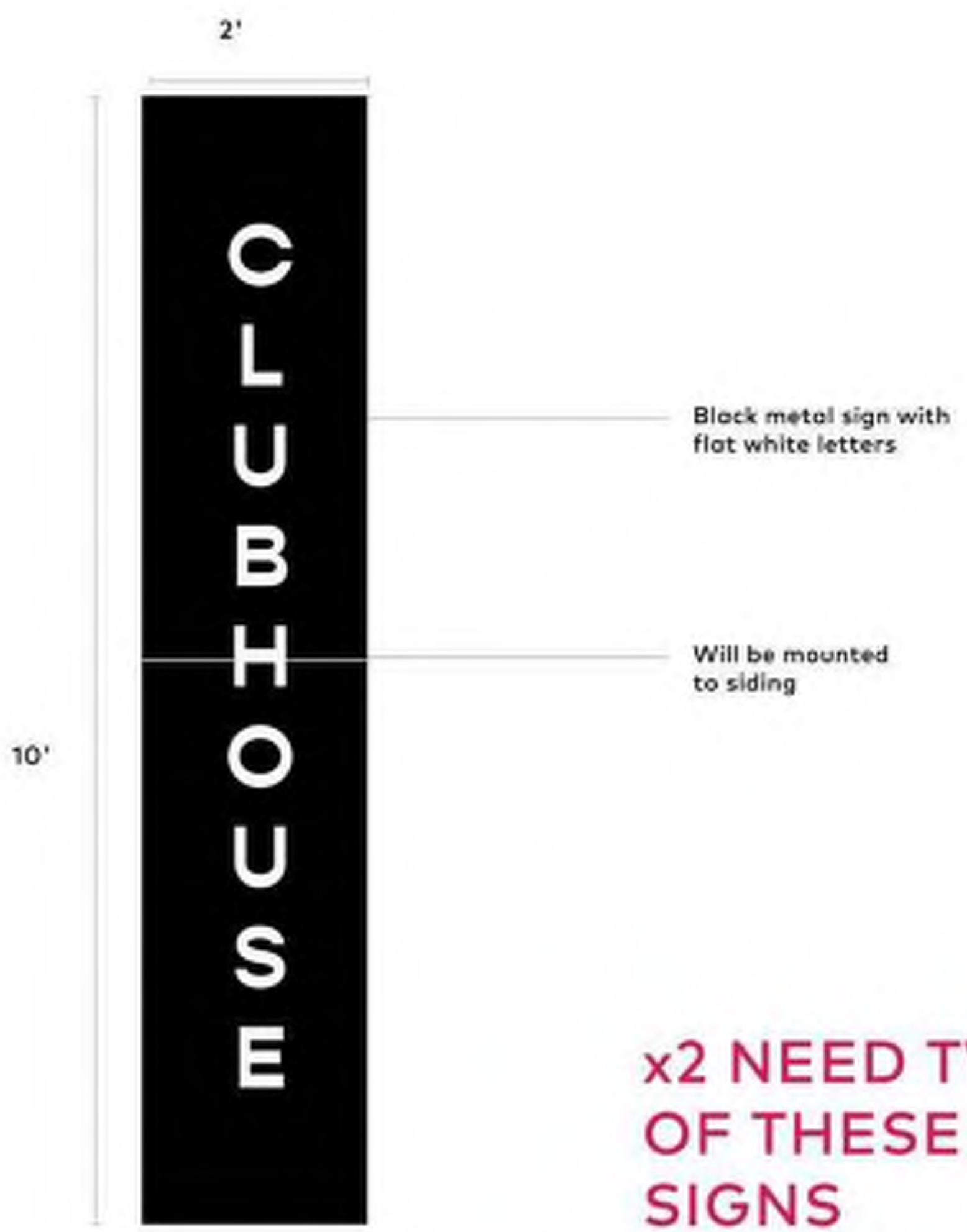
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BUILDING SIGNAGE

A107

SIGNAGE PLACEMENT: BUILDING A (CLUBHOUSE)



x2 NEED TWO OF THESE SIGNS

SIGNAGE PLACEMENTS



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BUILDING SIGNAGE

A108

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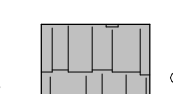

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KEYNOTE LEGEND

- 05.105 PIPE COLUMN PER STRUCTURAL
- 07.410 FIBER CEMENT FASCIA
- 07.411 FIBER CEMENT TRIM. SLOPE WITH ROOF WHERE APPLICABLE.
- 07.702 ALUMINUM DOWNSPOUTS. SEE ROOF PLAN FOR LOCATIONS AND SIZES. COLOR TO MATCH ADJACENT WALL SURFACE COLOR. SPLASHBOARDS ARE TO BE PROVIDED AT ALL DOWNSPOUT LOCATIONS.
- 07.703 INSTALL 4" PRE-FINISHED METAL GUTTER WITH BOX STYLE PROFILE. CONNECT GUTTER TO WALL DOWNSPOUT AT BUILDING. GUTTER AND DOWNSPOUT FINISH TO MATCH FACIA.
- 07.709 ROOF VENT. PLACE PER MANUFACTURER RECOMMENDATIONS
- 11.101 "J-RACK BICYCLE RACK - SURFACE MOUNTED INTO CONCRETE SIDEWALK
- 21.001 SURFACE MOUNTED FIRE DEPARTMENT KNOX BOX. MOUNT TOP OF KNOX BOX 6'-0" MAX. ABOVE FINISHED GRADE / WALKING SURFACE.
- 21.002 FIRE DEPARTMENT CONNECTION (FDC) INSTALLED IN ACCORDANCE WITH NFPA SYSTEM REQUIREMENTS. REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION. INSTALL KNOX FIRE DEPARTMENT SECURITY CAPS ON EACH FIRE DEPARTMENT CONNECTION PER THE FIRE MARSHAL AND LOCAL ORDINANCES.
- 21.003 FURNISH AND INSTALL EXTERIOR-GRADE METAL SIGN AT EACH FIRE DEPARTMENT CONNECTION. SIGN SHALL CONSIST OF 1 INCH TALL MINIMUM RAISED LETTERS ON A CONTRASTING COLOR BACKGROUND THAT READ: FIRE DEPARTMENT CONNECTION OR FIRE HOSE CONNECTION OR FIRE DEPARTMENT SPRINKLER CONNECTION OR A COMBINATION THEREOF AS APPLICABLE.
- 23.002 WALL VENT. COLOR MATCH TO ADJ. FIBER CEMENT PANELS.
- 26.001 ELECTRIC METER BANK, DISCONNECT, AND PULL BOX. CONTRACTOR TO COORDINATE ELECTRIC SERVICE, LOCATIONS, AND INSTALLATION. REFER TO ELECTRICAL DRAWINGS AND LOCAL ELECTRIC SERVICE REQUIREMENTS MANUAL FOR ADDITIONAL INFORMATION.
- 32.301 CEDAR PICKET FENCE WITH STEEL GATE FRAME. REFER TO SHEET A101 FOR DETAILS.

MATERIAL LEGEND

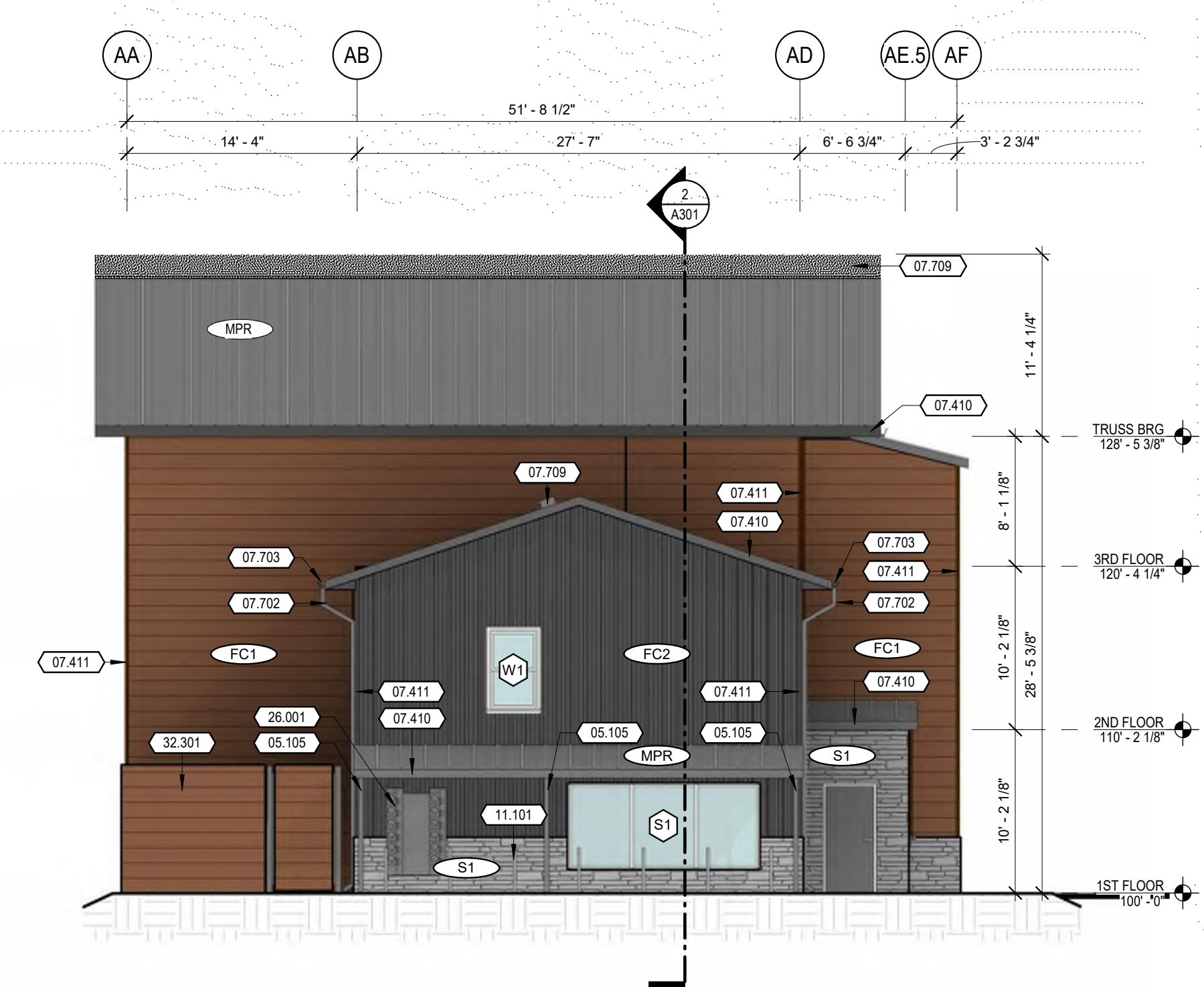
-  FC1 FIBER CEMENT LAP SIDING
-  FC2 FIBER CEMENT BOARD & BATTEN SIDING
-  S1 THIN STONE VENEER
-  ASR ASPHALT SHINGLE ROOF
-  MPR METAL STANDING SEAM ROOF



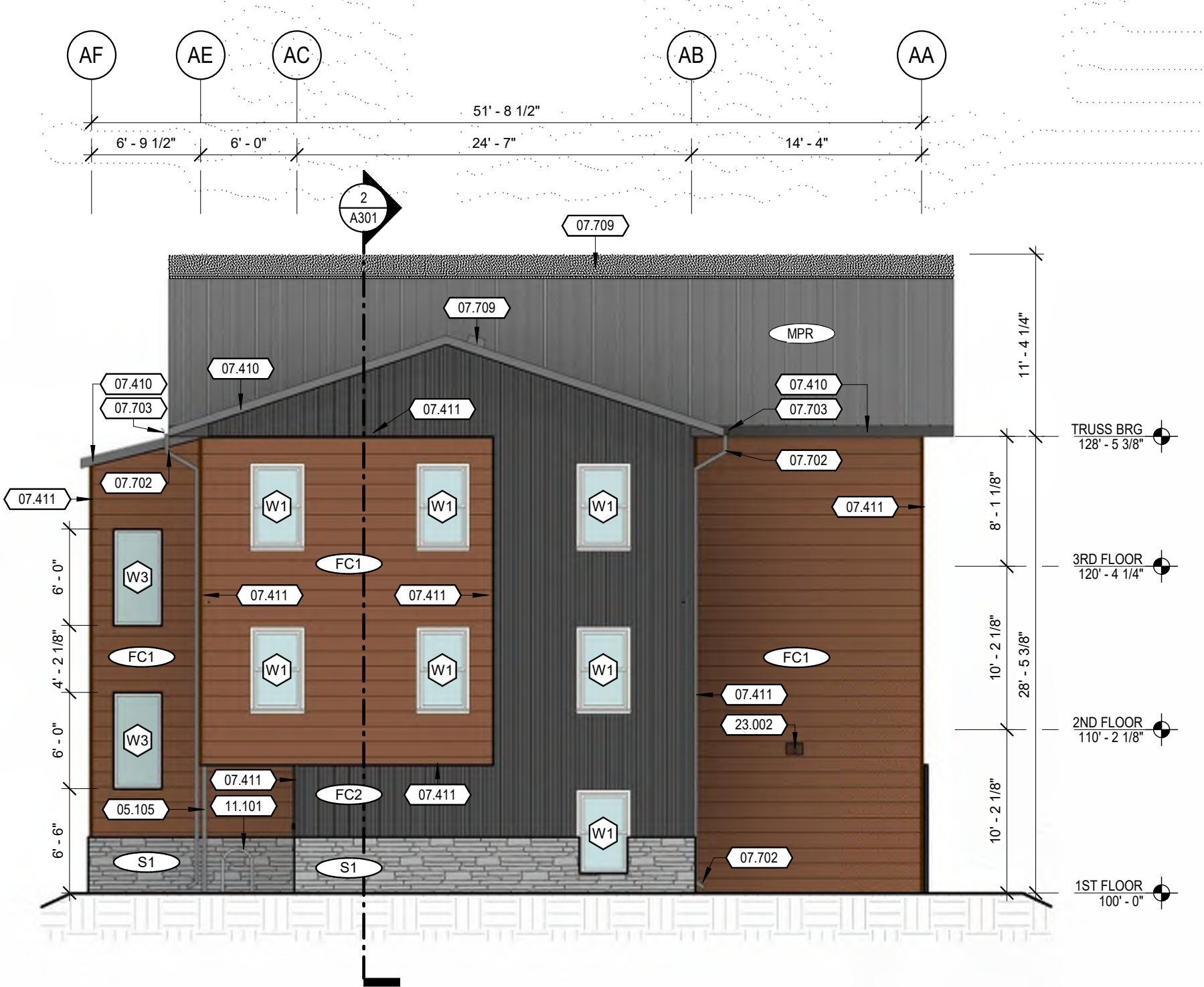
1 SOUTH ELEVATION - BLDG A - COMMUNITY BUILDING
1/8" = 1'-0"



2 NORTH ELEVATION - BLDG A - COMMUNITY BUILDING
1/8" = 1'-0"



3 WEST ELEVATION - BLDG A - COMMUNITY BUILDING
1/8" = 1'-0"



4 EAST ELEVATION - BLDG A - COMMUNITY BUILDING
1/8" = 1'-0"

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BUILDING A ELEVATIONS
A201

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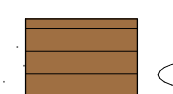




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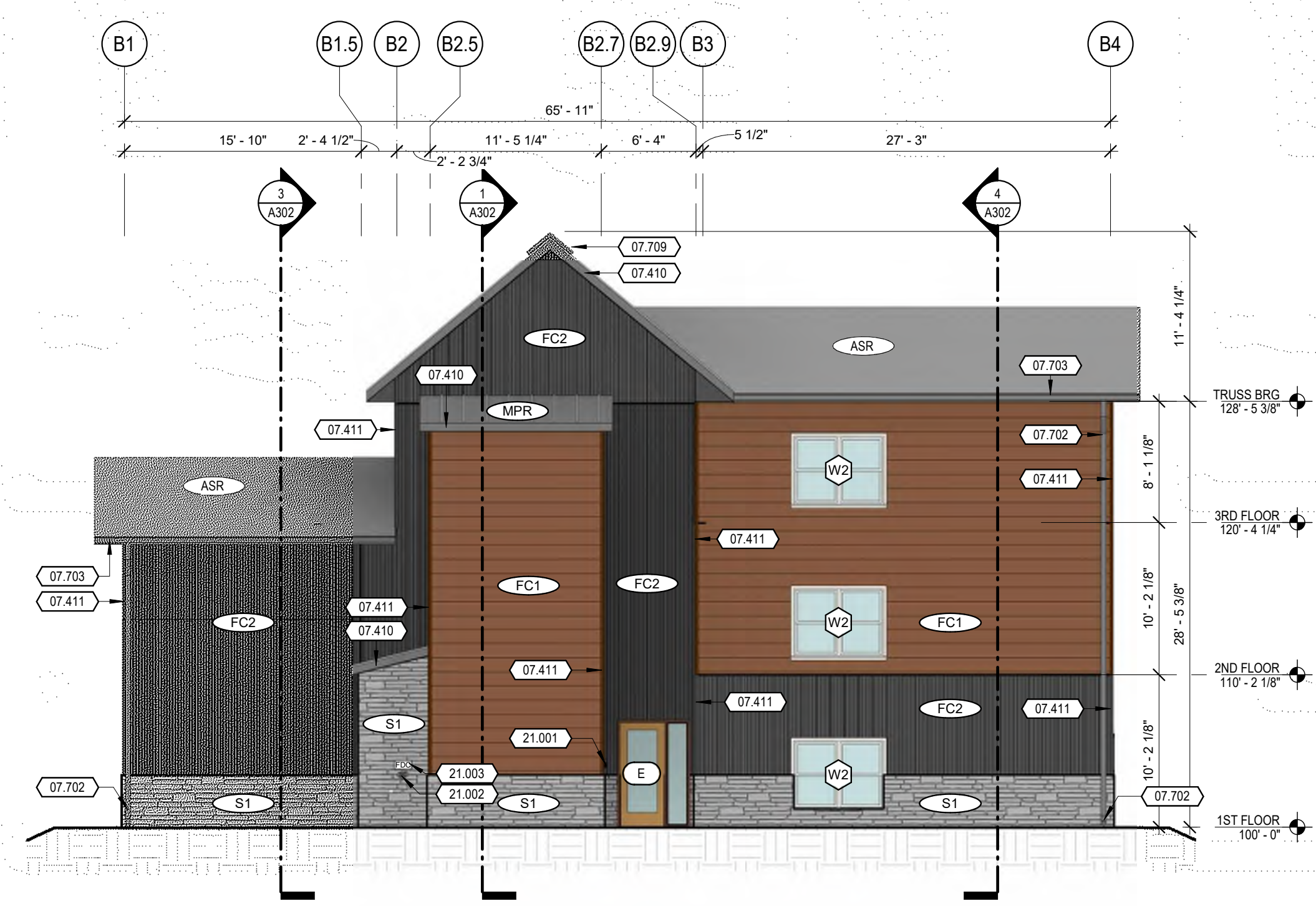
BUILDING B ELEVATIONS
A202

KEYNOTE LEGEND

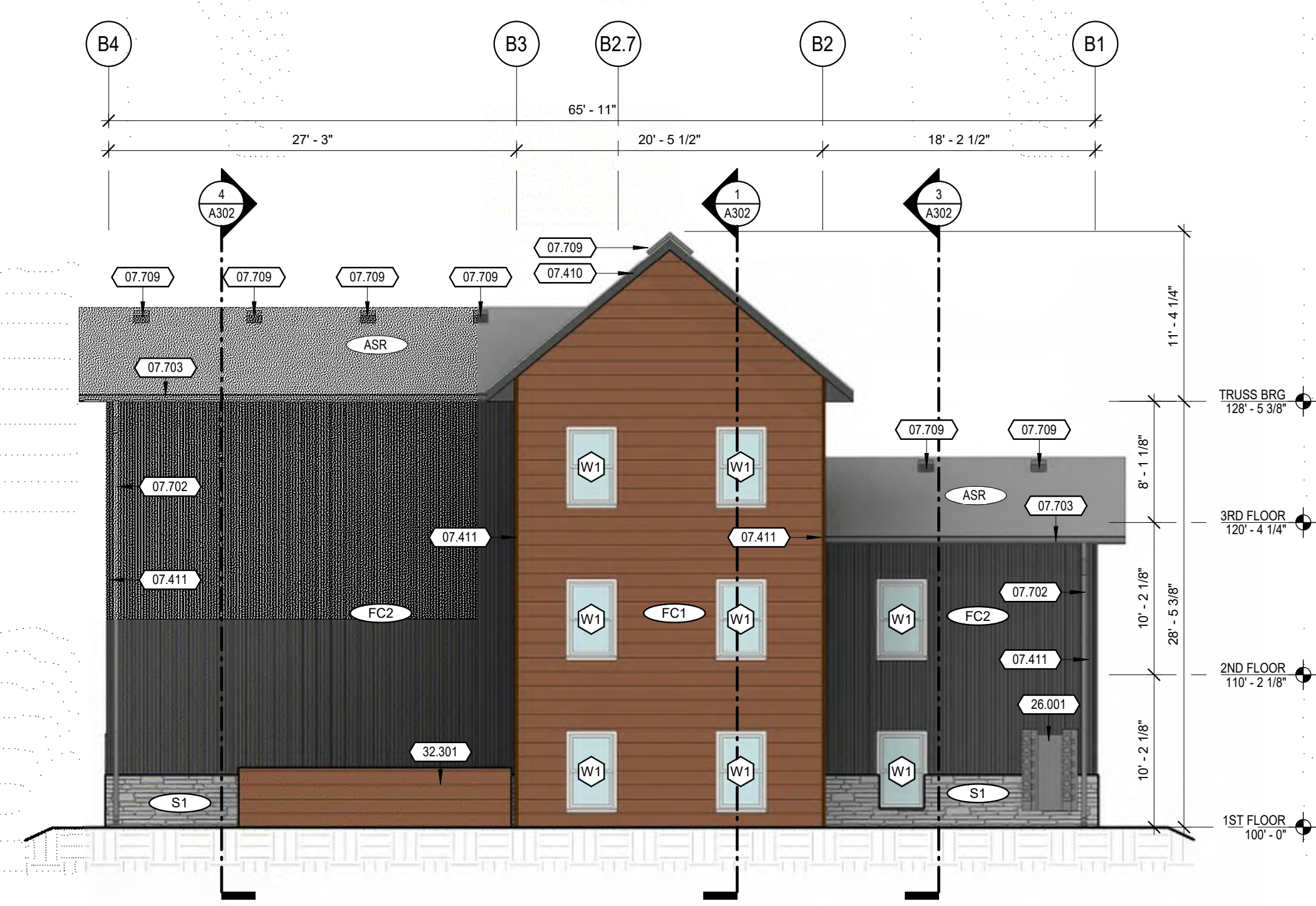
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- 32.301 CEDAR PICKET FENCE WITH STEEL GATE FRAME. REFER TO SHEET A101 FOR DETAILS.

MATERIAL LEGEND

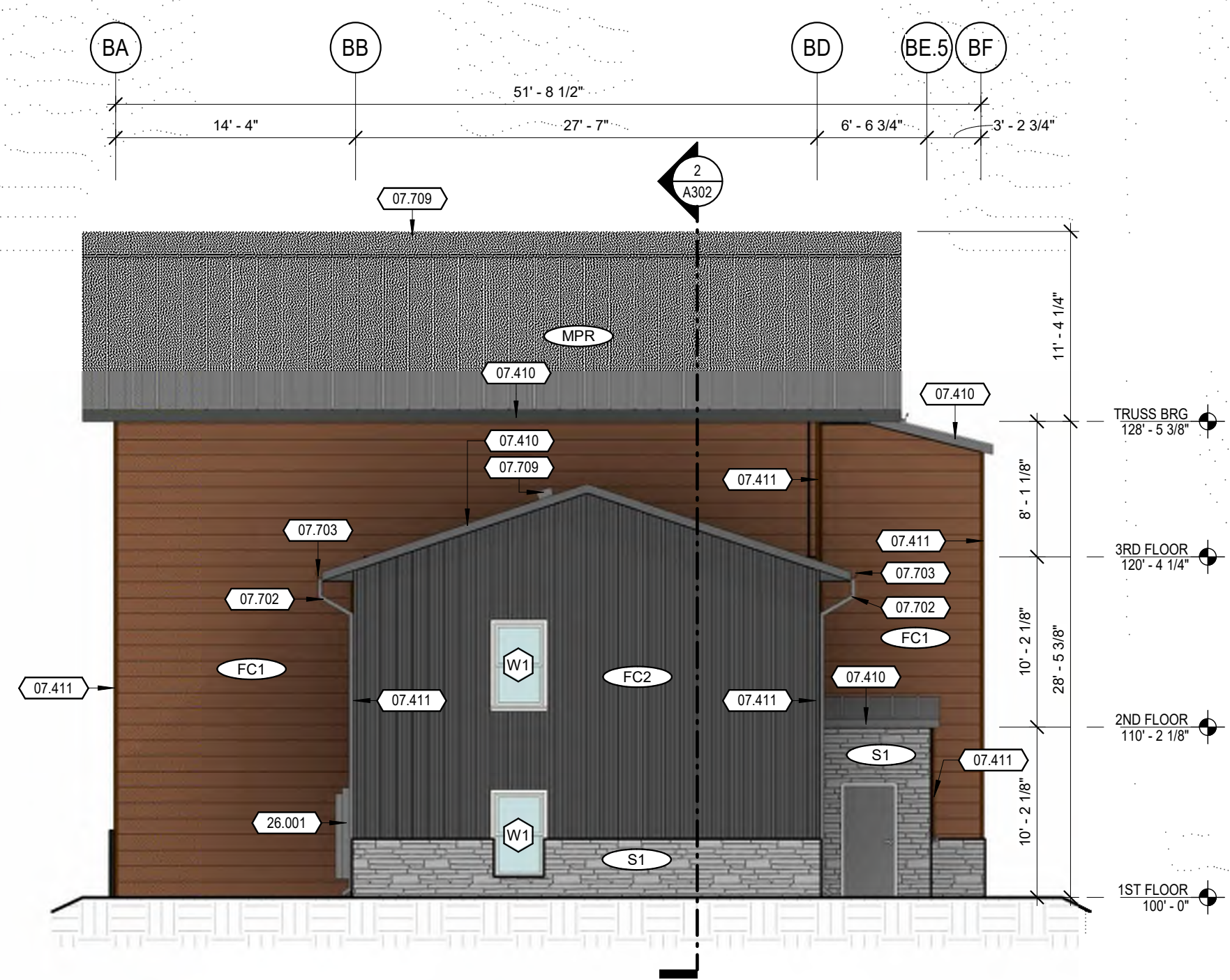
-  **FC1 FIBER CEMENT LAP SIDING**
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-  **S1 THIN STONE VENEER**
-  **ASR ASPHALT SHINGLE ROOF**
-  **MPR METAL STANDING SEAM ROOF**



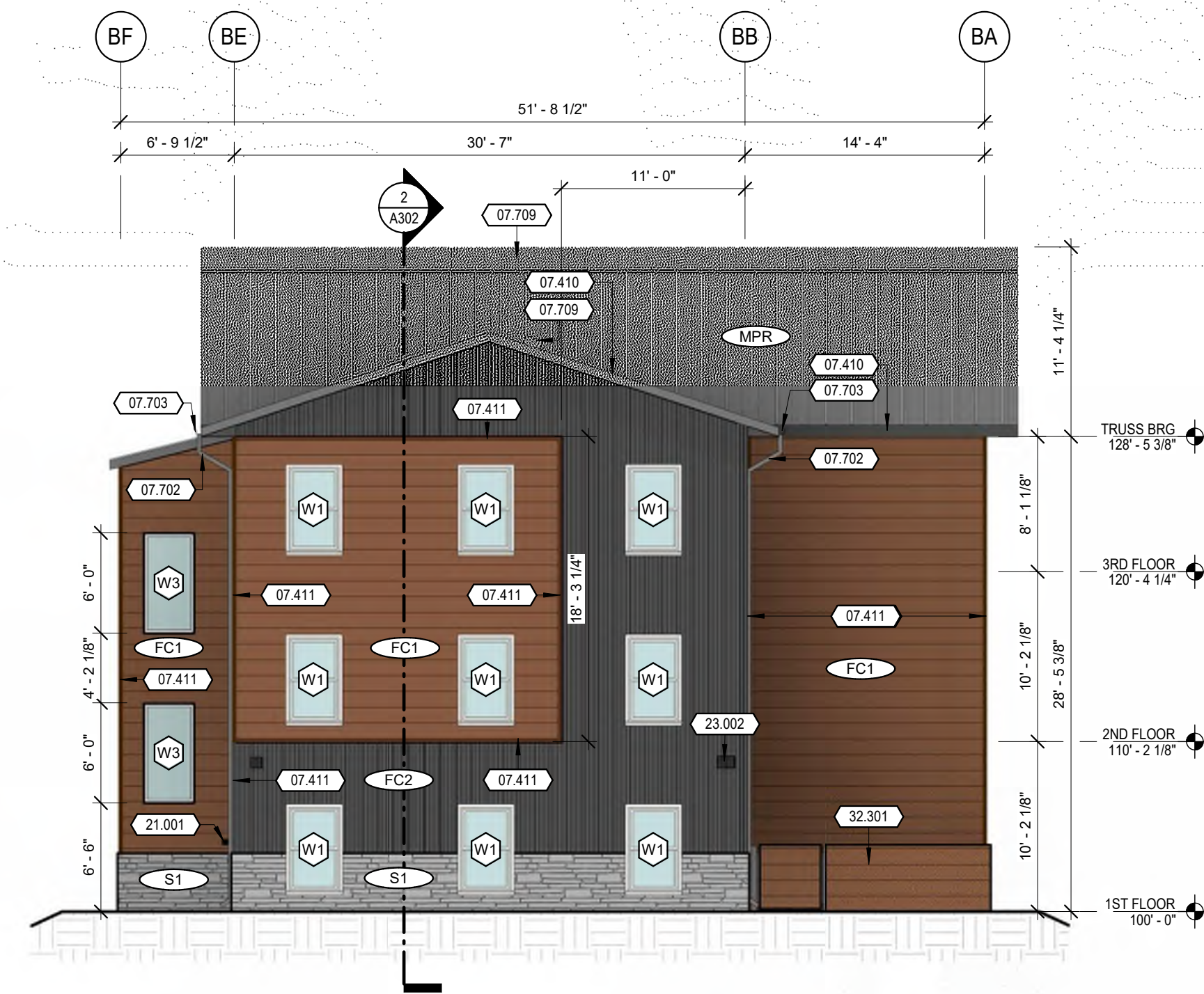
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1/8" = 1'-0"



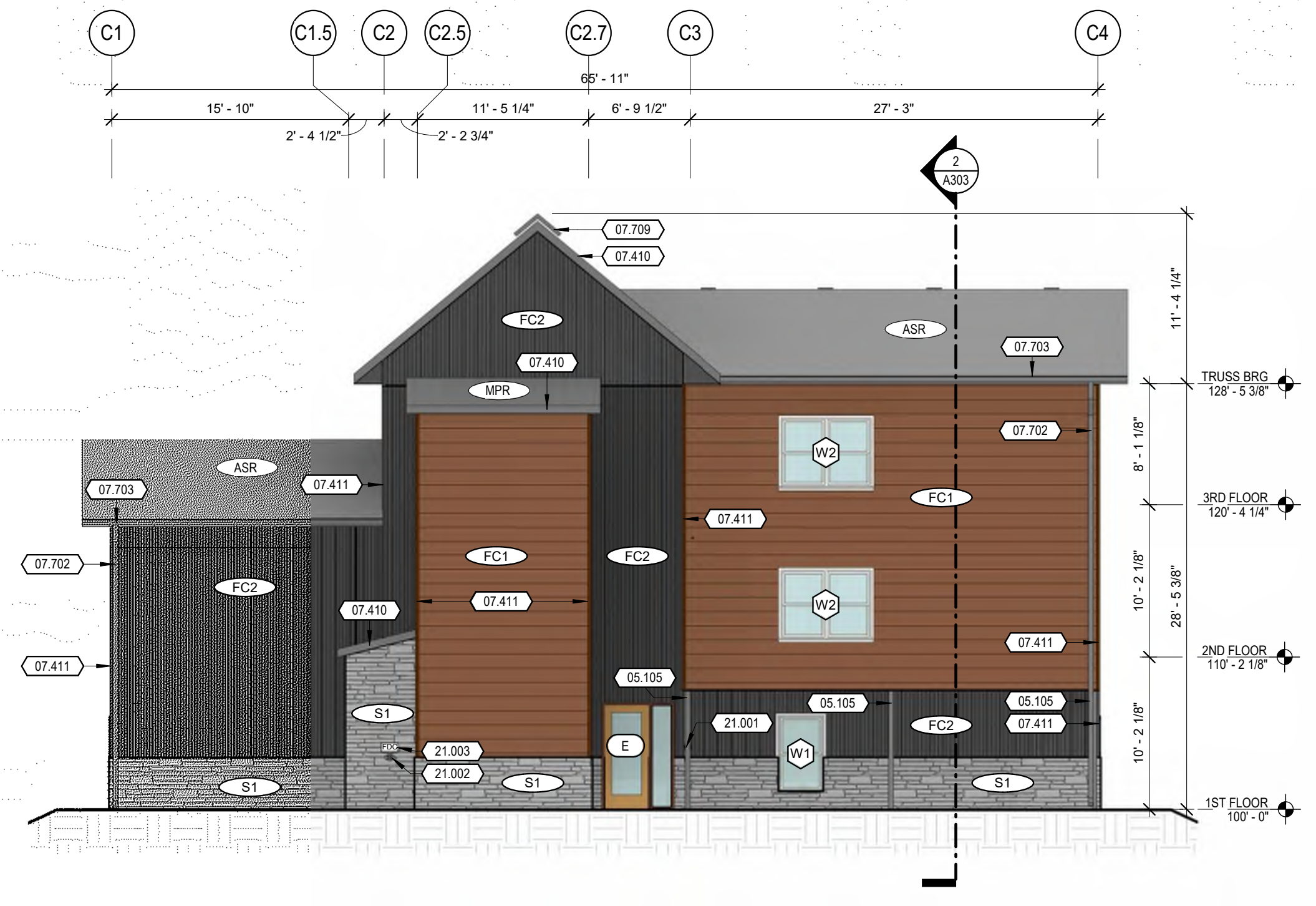
2 NORTH ELEVATION - BLDG B
1/8" = 1'-0"



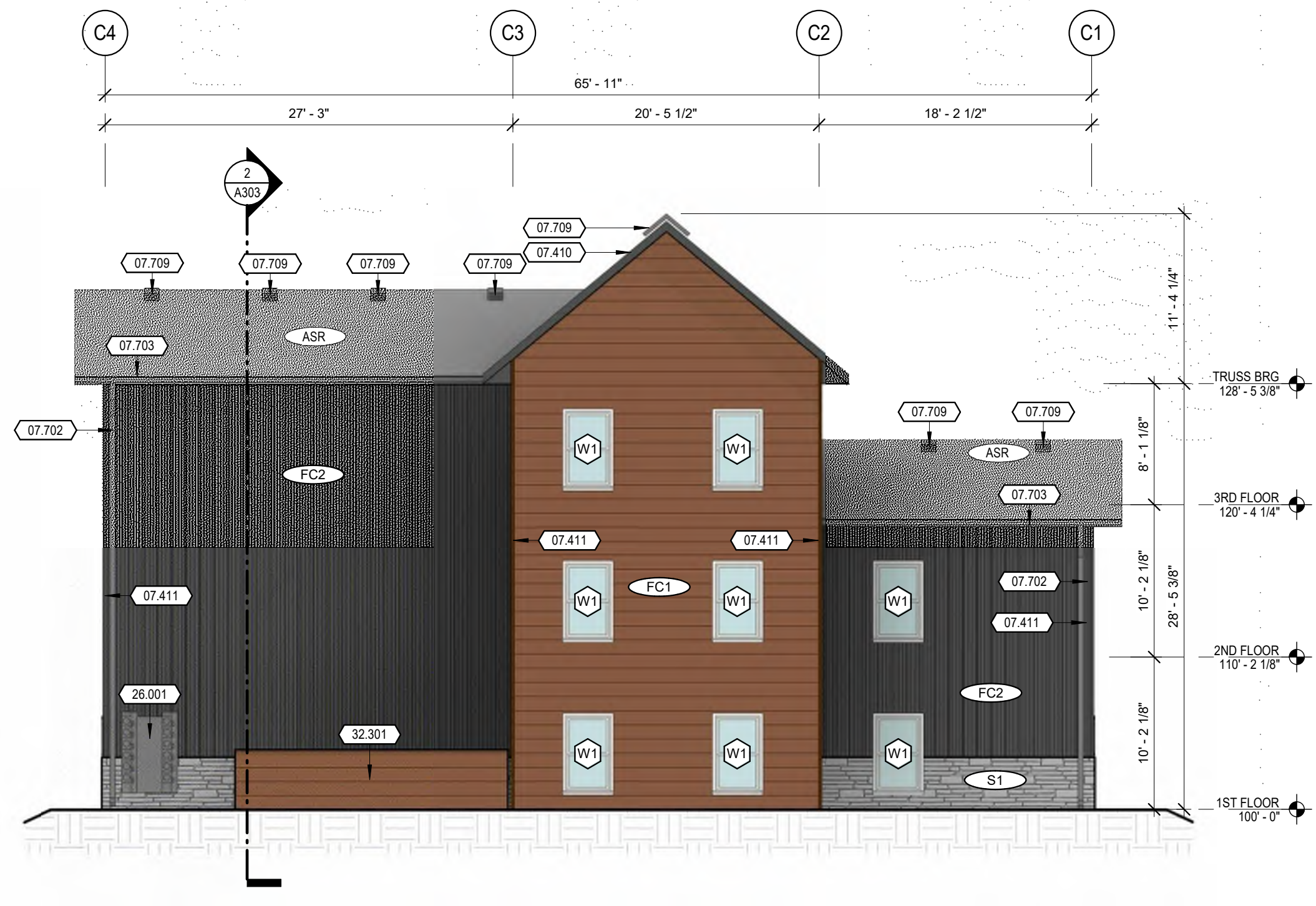
3 WEST ELEVATION - BLDG B
1/8" = 1'-0"



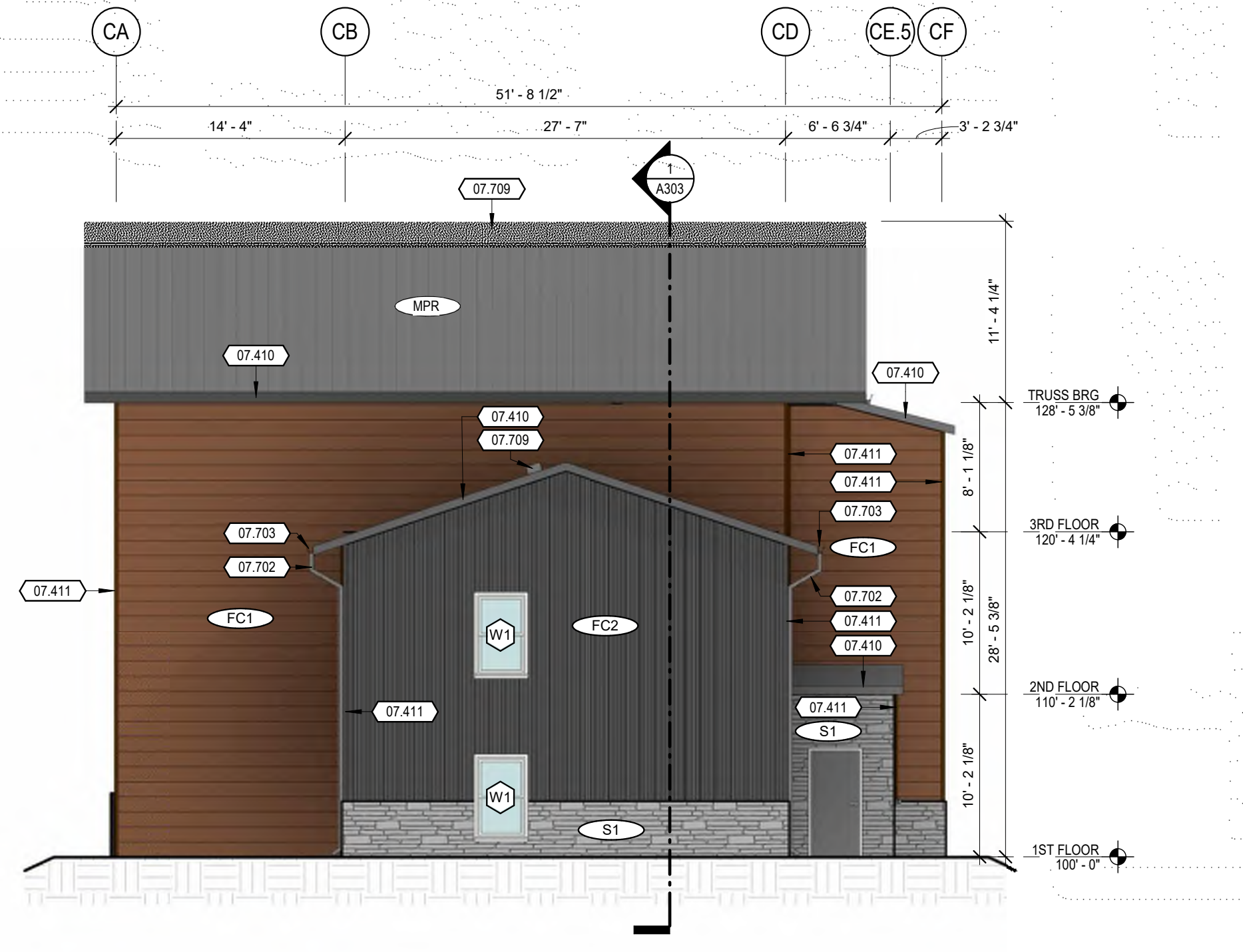
4 EAST ELEVATION - BUILDING B
1/8" = 1'-0"



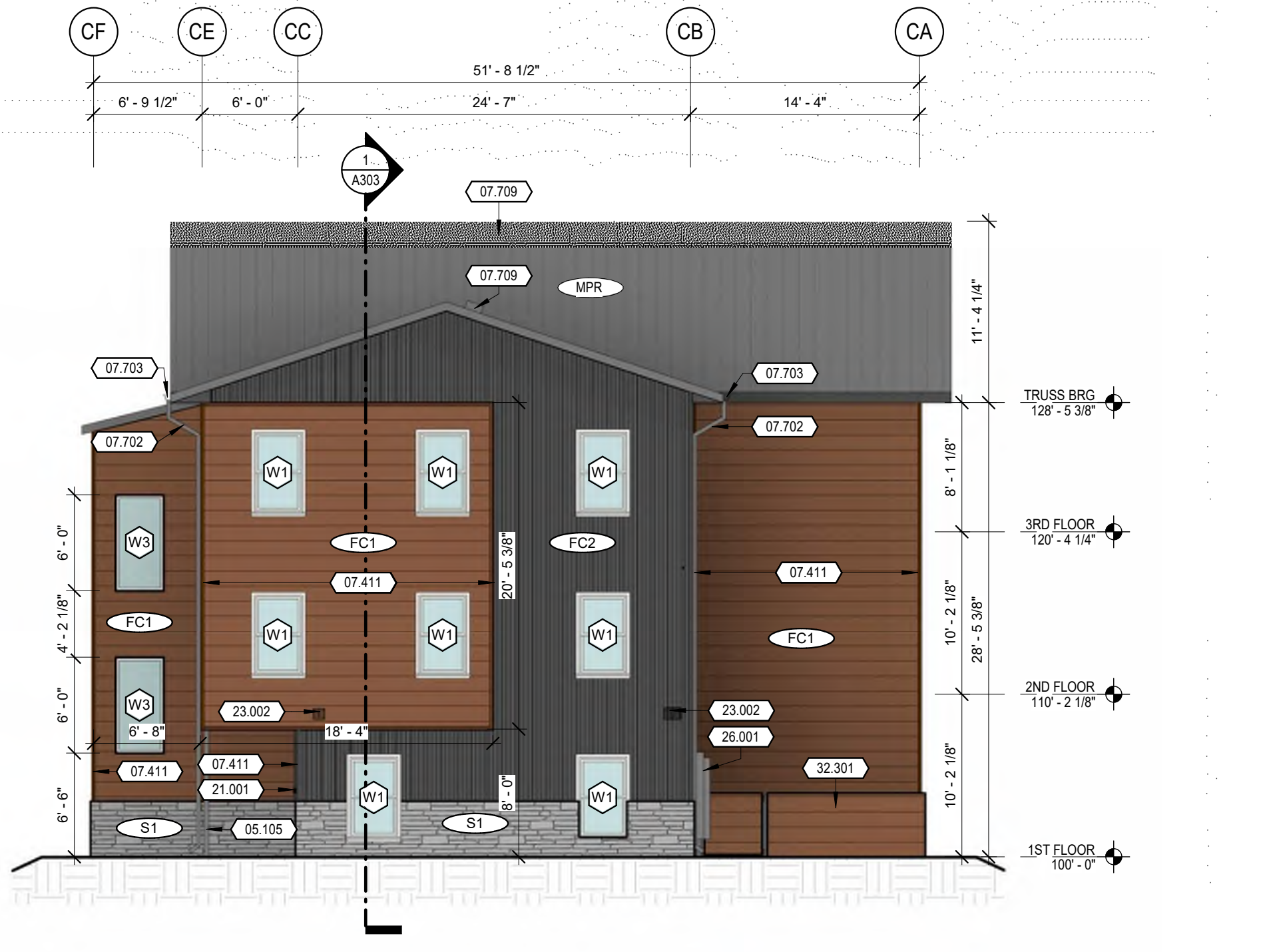
1 SOUTH ELEVATION - BLDG C-G
1/8" = 1'-0"



2 NORTH ELEVATION - BLDG C-G
1/8" = 1'-0"



3 WEST ELEVATION - BLDG C-G
1/8" = 1'-0"




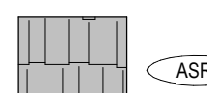



4 EAST ELEVATION - BLDG C-G
1/8" = 1'-0"

KEYNOTE LEGEND

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BUILDING C-G
ELEVATIONS
A203