

Preliminary Plat DeFeo Apartments

A replat of Lots 393-395, Block 35 and Lots 396 and 397, Block 36, together with part of Vacated Fourth Street right of way, all being a part of Town of Kansas, a subdivision in Kansas City, Jackson County, Missouri, lying in Fractional Section 32, Township 50 North, Range 32 West

Area Summary Table			
Lot 1	49,960 S.F.	1.1469 Ac.	
Total	49,960 S.F.	1.1469 Ac.	
Total Replatted Area	49,960 S.F.	1.1469 Ac.	



Property Description

All of Lots 393, 394 and 395, Block 35, together with all of Lots 396 and 397, Block 36, together with all that part of Vacated Fourth Street right of way, all as established in Town of Kansas, a subdivision in Kansas City, Jackson County, Missouri, and as vacated in Document 1965B0506737, all in Fractional Section 32, Township 50 North, Range 32 West, more particularly described by Patrick Ethan Ward, MOPLS-2005000071, of Olsson, MOLA-366, as follows:

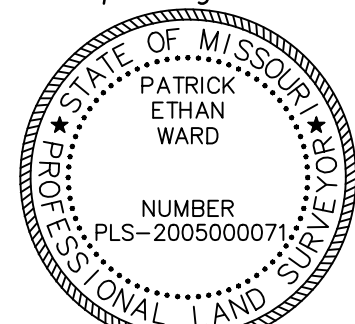
BEGINNING at the Northwest corner of Block 35, Town of Kansas, a subdivision in Kansas City, Jackson County, Missouri; thence North 75 degrees 36 minutes 37 seconds East, on the North line of said Block 35, a distance of 142.65 feet to the Northeast corner of Lot 395 of said Block 35; thence South 14 degrees 33 minutes 00 seconds East, on the Easterly line of said Lot 395, and on the East line of Lots 394 and 393 of said Block 35, and on the Southeast extension of said East line, and on the East line of Lots 396 and 397 of Block 36 of said Town of Kansas, a distance of 350.79 feet to the Southeast corner of said Lot 397; thence South 75 degrees 37 minutes 44 seconds West, departing said East line, on the South line of said Lot 397, a distance of 142.21 feet to the Southwest corner of said Lot 397; thence North 14 degrees 37 minutes 22 seconds West, on the West line of said Lot 397, and on the West line of said Lot 396 and its Northwesterly extension, and on the West line of said Block 35, a distance of 350.74 feet to the POINT OF BEGINNING, containing 49,960 Square Feet or 1.1469 Acres, more or less, including 1.1469 Acres of Replatted Area.

Surveyor's Notes:

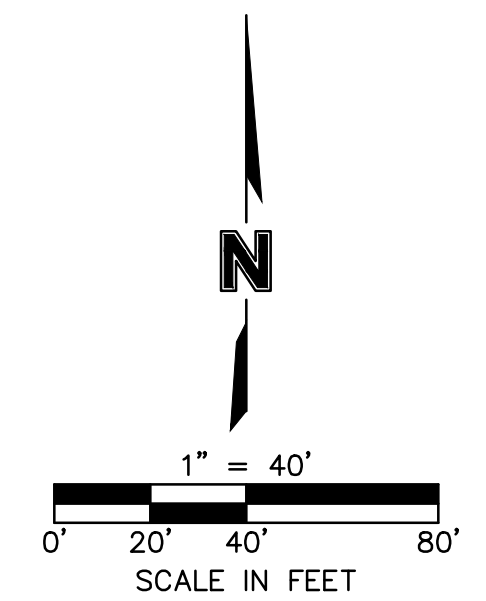
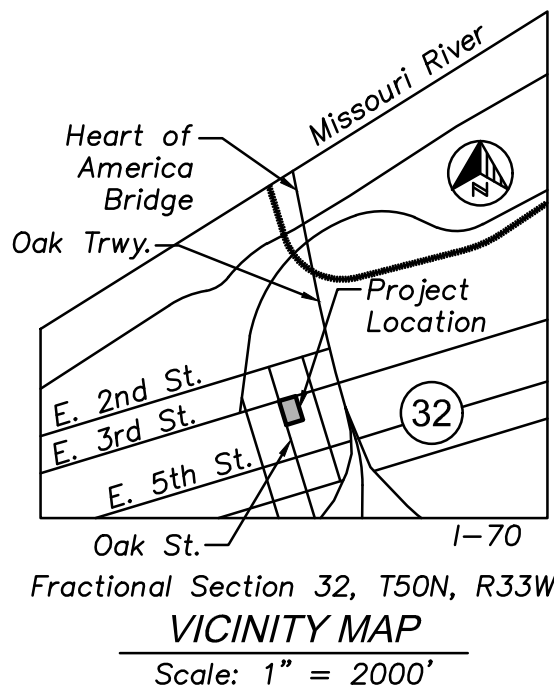
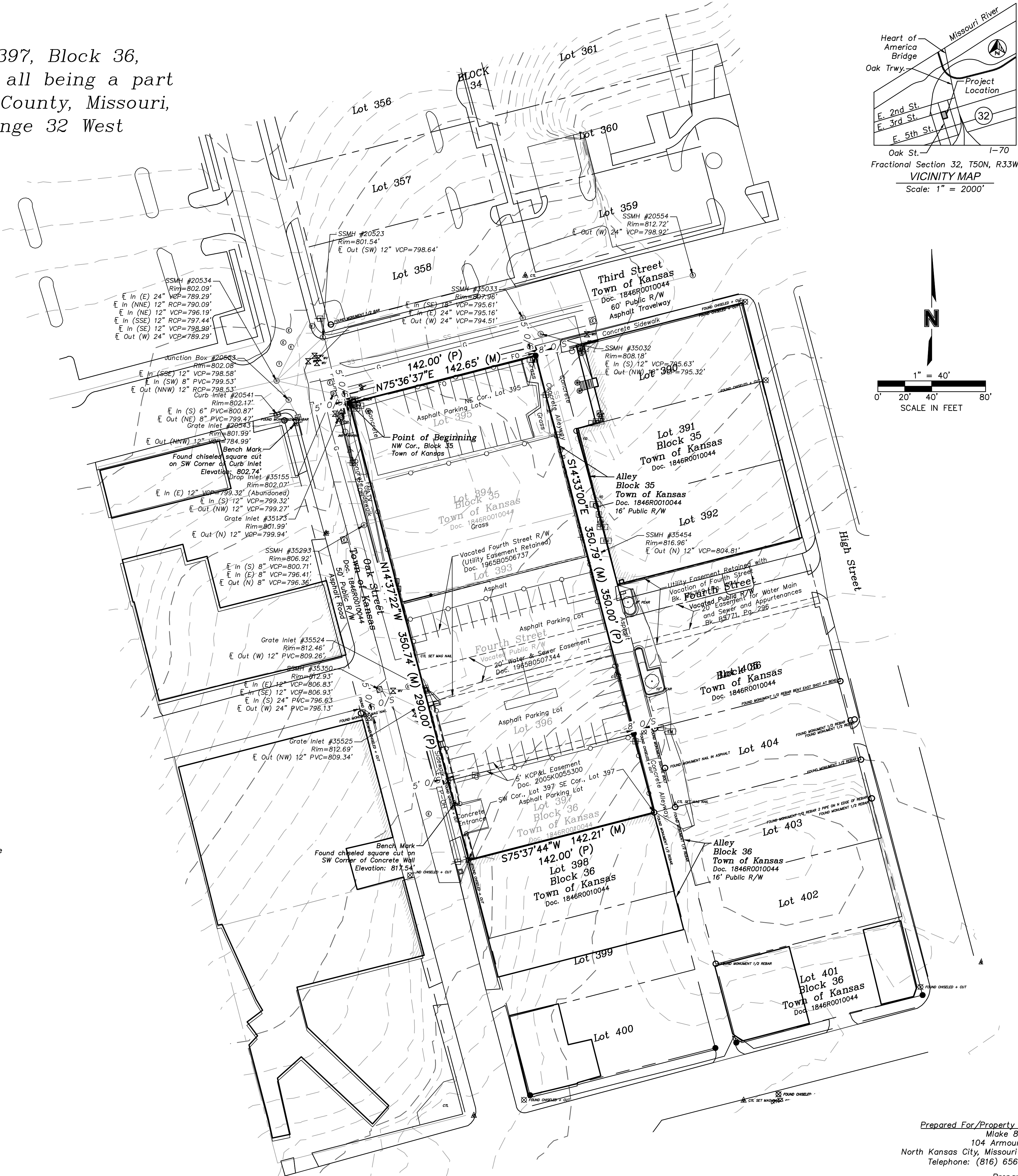
1. Basis of Bearings: Held West Line of Blocks 35 & 36, of the Town of Kansas @ N14°37'22"W, Missouri Coordinate System 1983, West Zone. Distances shown hereon are ground distances in US Survey Feet.
2. Subject Property lies within "Zone X - Areas determined to be outside the 0.2% annual chance floodplain," according to the FEMA Flood Insurance Rate Map Number 29095C02526, Revision Date January 20, 2017.
3. Subject Property contains 49,960 Square Feet or 1.1469 Acres, more or less.
4. This survey meets or exceeds the Urban Property Accuracy Standard of Closure of 1:20,000 as defined by the Department of Insurance, Financial Institutions and Professional Registration, Division 2030, Chapter 16, Title 20 CSR 2030-16-040 - Accuracy Standards for Property Boundary Surveys, Effective June 30, 2017.
5. Subject Property was last conveyed in Document 2014E0097942.
6. Subject Property's proposed use is an apartment building.

Certification

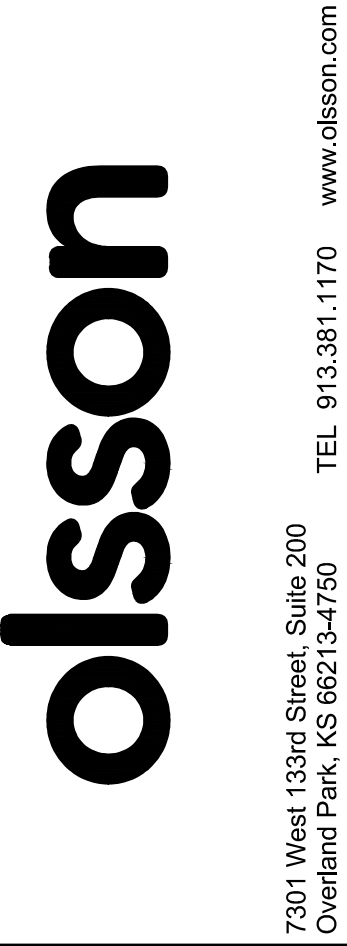
I hereby certify that this Preliminary Plat of "DeFeo Apartments", a subdivision, is based on an actual survey made by me or under my direct supervision and that survey meets or exceeds the current "Missouri Standards for Property Boundary Surveys" as established by the Missouri Board for Architects, Professional Engineers and Land Surveyors in Division 2030 - Chapter 16 (20 CSR 2030-16). I further certify that the bearings shown on this plat are based on the State Plane Coordinate System of Missouri, Western Zone of the North American Datum of 1983; that the section and section subdivision corner monuments and Survey boundary corner monuments were either found or set as indicated on this plat; that the corner lots and street center lines have been marked with permanent monumentation as indicated on this plat; that I have complied with all State and Jackson County Statutes, ordinances, and regulations governing the practice of Surveying and the platting of subdivisions to the best of my professional knowledge and belief.



By: Patrick Ethan Ward, MO PLS No. 2005000071
Olsson, LC-366
pward@olsson.com



DWS: F:\2019\2001-3500\019-3016-A140-Design\Survey\SRVY\Sheets\VP_PP_93016.dwg
DATE: Apr 15, 2021 6:48pm
USER: m.pogina
XREFS:



REV. NO.	DATE	REVISIONS DESCRIPTION

Preliminary Plat
DeFeo Apartments
A replat of Lots 393-395, Block 35 and Lots 396-397, Block 36 & part of Vacated Fourth Street R/W, all of Town of Kansas, lying in Frac. Sec. 32, T50N, R32W
Kansas City, Jackson County, Missouri

Prepared For/Property Owner:
Mike B3, LLC
104 Armour Road
North Kansas City, Missouri 64116
Telephone: (816) 656-2995

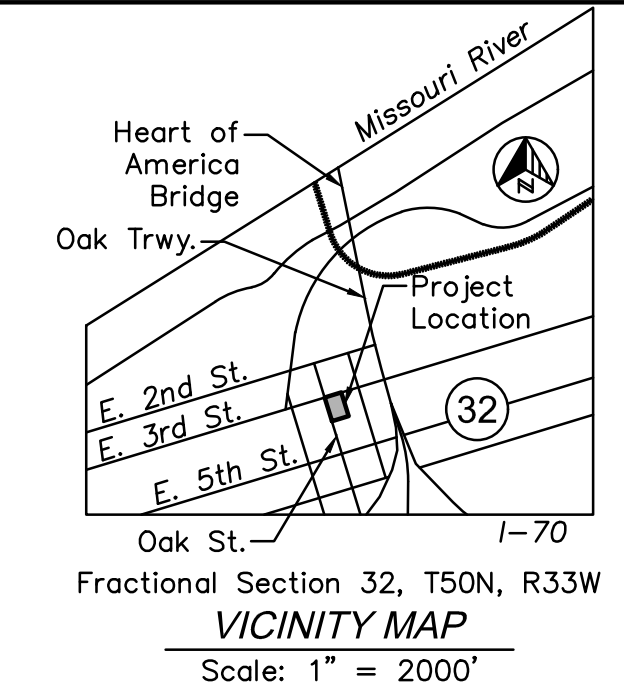
drawn by: MJB
checked by: TBW
approved by: PEW
QA/QC by: TBW
project no.: B19-3016
drawing no.: V PP-93016
date: 2021.04.15

Prepared By:
Olsson
7301 W. 133rd Street, Suite 200
Overland Park, Kansas 66213
Telephone (913) 381-1170

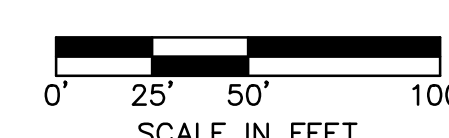
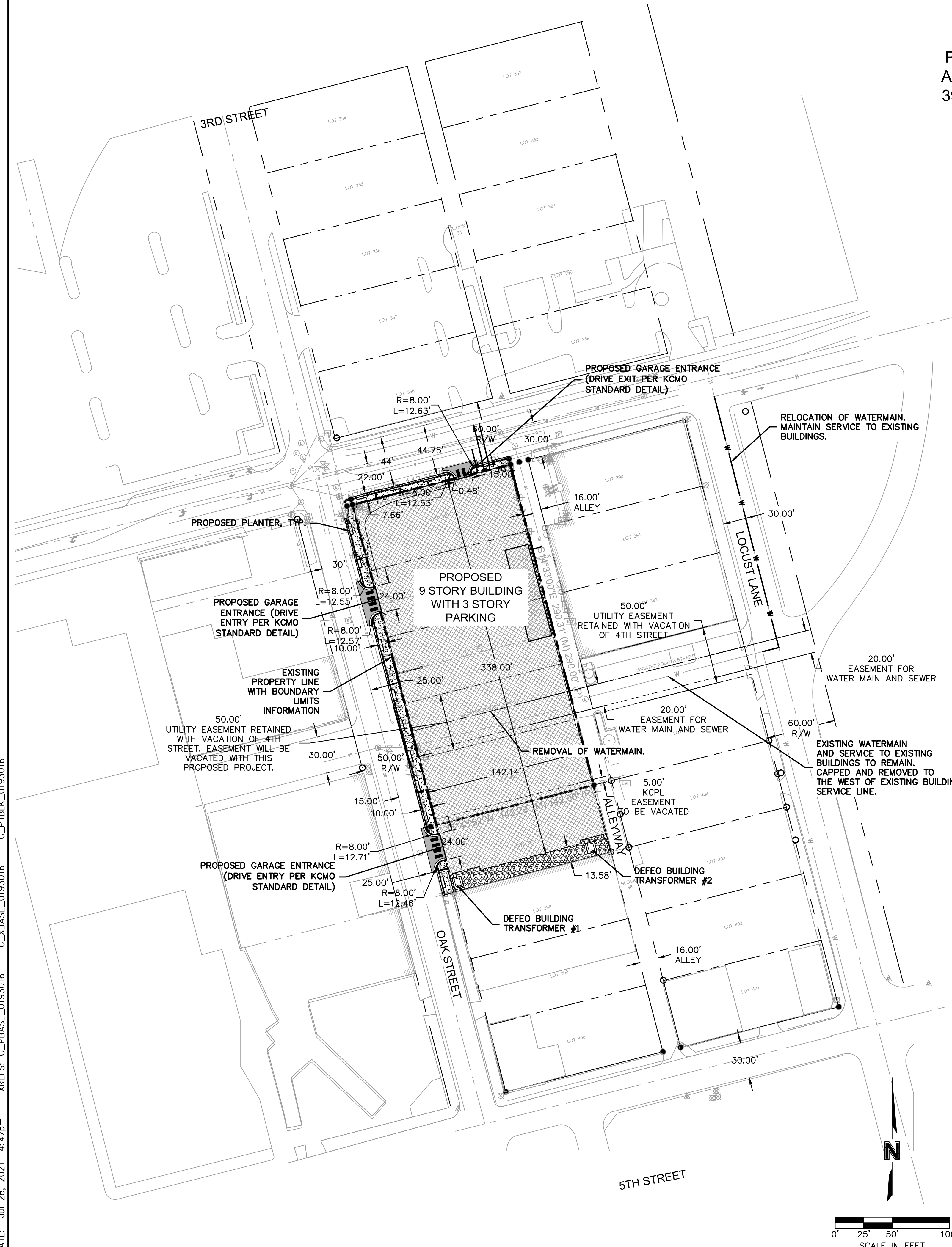
DEVELOPMENT PLAN

FOR DEFEO

PLL OF LOTS 393, 394 AND 395 IN BLOCK 35, AND ALL OF LOT 396 IN BLOCK 36, AND ALL THAT PART OF VACATED 4TH STREET, LYING ADJACENT TO SAID LOTS 393 AND 396, ALL BEING PART OF THE TOWN OF KANSAS, COMMONLY CALLED OLD TOWN, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI



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DEVELOPMENT SUMMARY TABLE		
ITEM	DESCRIPTION	
ZONING		
A	EXISTING = DC-15 PROPOSED = UR	
TOTAL LAND AREA		
B	EXISTING = 1.15 AC PROPOSED = 1.15 AC	
RIGHT-OF-WAY LAND AREA		
C	EXISTING = 0.08 AC PROPOSED = 0.08 AC	
NET LAND AREA		
D	EXISTING = 1.15 AC PROPOSED = 1.15 AC	
PROPOSED BUILDING USE		
E	MEP/ CIRC./ AMENITIES = 98,430 SF PARKING AREA = 89,805 SF RESIDENTIAL AREA = 190,501 SF	
STRUCTURE HEIGHT AND NUMBER OF FLOORS		
F	MAX. ABOVE GRADE = 155' 0" FT. MAX. ABOVE GRADE PLANE = 143' 6" FT. 12 FLOORS	
GROSS FLOOR AREA AND UNITS		
G	LEVEL 1/ P1	32,964 SF PARKING 9,397 SF MEP/ CIRC./ AMENITY
	LEVEL 2/ P2	26,531 SF PARKING 14,328 SF MEP/ CIRC./ AMENITY
	LEVEL 3/ P3	30,310 SF PARKING 3,661 SF 4 UNITS 10,775 SF MEP/ CIRC./ AMENITY
	LEVEL 4	16,214 SF 19 UNITS 29,669 SF MEP/ CIRC./ AMENITY
	LEVEL 5	22,364 SF 28 UNITS 4,287 SF MEP/ CIRC./ AMENITY
	LEVEL 6	22,364 SF 28 UNITS 4,287 SF MEP/ CIRC./ AMENITY
	LEVEL 7	22,364 SF 28 UNITS 4,287 SF MEP/ CIRC./ AMENITY
	LEVEL 8	22,364 SF 28 UNITS 4,287 SF MEP/ CIRC./ AMENITY
	LEVEL 9	22,364 SF 28 UNITS 4,287 SF MEP/ CIRC./ AMENITY
	LEVEL 10	21,569 SF 26 UNITS 4,282 SF MEP/ CIRC./ AMENITY
	LEVEL 11	19,906 SF 23 UNITS 4,099 SF MEP/ CIRC./ AMENITY
	LEVEL 12	17,331 SF 20 UNITS 4,110 SF MEP/ CIRC./ AMENITY

G	ROOF	335 SF
	MEP/ CIRC./ AMENITY	
	PROJECT TOTAL =	378,736 SF
H	PROJECT TOTAL =	232 UNITS
	BUILDING COVERAGE AND FLOOR AREA RATIO	
I	FAR =	5.78 (NOT COUNT PARKING)
	GROSS AND NET DENSITY	
J	GROSS DENSITY	216.82 UNITS/ACRE
	NET DENSITY	201.74 UNITS/ACRE
K	VEHICLE PARKING	
	RATIO (RESIDENTIAL) =	1.08 SPACE PER UNIT
	REQUIRED SPACES =	0
	PROVIDED SPACES =	250 (7 ADA)
L	BIKE PARKING	
	SHORT TERM RATIO =	10% OF VEHICLE PARKING
	REQUIRED SPACES =	18
	PROVIDED SPACES =	20
M	CONSTRUCTION TIMELINE	
	BEGIN =	- MONTHS
	CONSTRUCTION =	- MONTHS
	COMPLETION =	- MONTHS
AMENDMENTS TO DEVELOPMENT PLAN		NONE

LEGEND

- PROPERTY LINE
- INSTALL CONCRETE CURB & GUTTER
- INSTALL CONCRETE SIDEWALK
- INSTALL CONCRETE PAVEMENT
- INSTALL SANITARY SEWER SERVICE
- INSTALL STORM SEWER LINE
- INSTALL DOMESTIC WATER SERVICE
- INSTALL FIRE PROTECTION LINE
- INSTALL GAS SERVICE
- INSTALL ELECTRICAL LINE
- PROPOSED SETBACK LINE
- PROPOSED BUILDING OVERHAND

NOTE:

- ALL CURB REPLACED SHALL BE TYPE C-1 CURB & GUTTER.
- ANY FUTURE DEVELOPMENT OR AMENDMENTS TO THE UR WILL COMPLY WITH THE USE AND DEVELOPMENT STANDARDS OF THE DC ZONING DISTRICT.

LEGAL DESCRIPTION:
 ALL OF LOTS 393, 394 AND 395, BLOCK 35, IN THE PLAT OF THE TOWN OF KANSAS COMMONLY CALLED OLD TOWN, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF, TOGETHER WITH THE NORTH 1/2 OF VACATED 4TH STREET LYING SOUTH OF AND ADJOINING SAID LOT 393, AND ALL OF LOTS 396, BLOCK 36, IN THE PLAT OF THE TOWN OF KANSAS COMMONLY CALLED OLD TOWN, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF, TOGETHER WITH THE SOUTH 1/2 OF VACATED 4TH STREET LYING NORTH OF AND ADJOINING SAID LOT 396.

GROSS AREA = ±1.15 ACRES / ±49,960 SQ.FT.
CONTACT INFORMATION:
ENGINEER:
 OLSSON
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 ADDRESS: 7301 WEST 133RD STREET, SUITE 200
 OVERLAND PARK, KANSAS 66213

ARCHITECT:
 HIVE DESIGN COLLABORATIVE
 CONTACT: STEVEN HERZBERG
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 EMAIL: STEVE@HIVEKC.COM
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 KANSAS CITY, MISSOURI 64108

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REV. NO.	DATE	REVISIONS DESCRIPTION
1	04.19.21	Dev. Plan QC Response

GENERAL LAYOUT PLAN
 PRELIMINARY DEVELOPMENT PLAN

ASCEND: IN THE RIVER MARKET APARTMENT DEVELOPMENT
 413 E. 3RD STREET
 KANSAS CITY, MISSOURI

REVISIONS
 2021

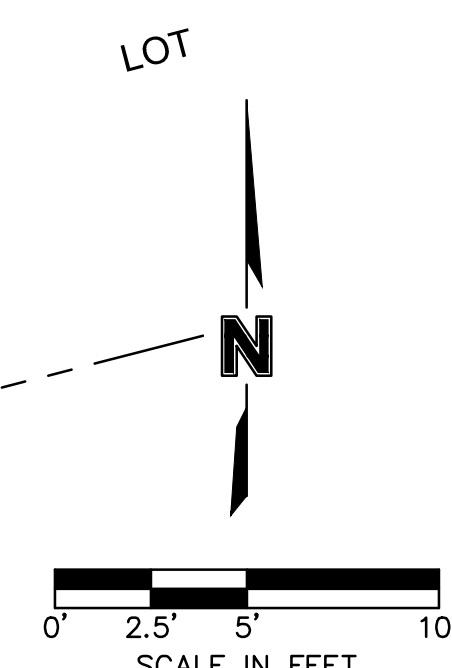
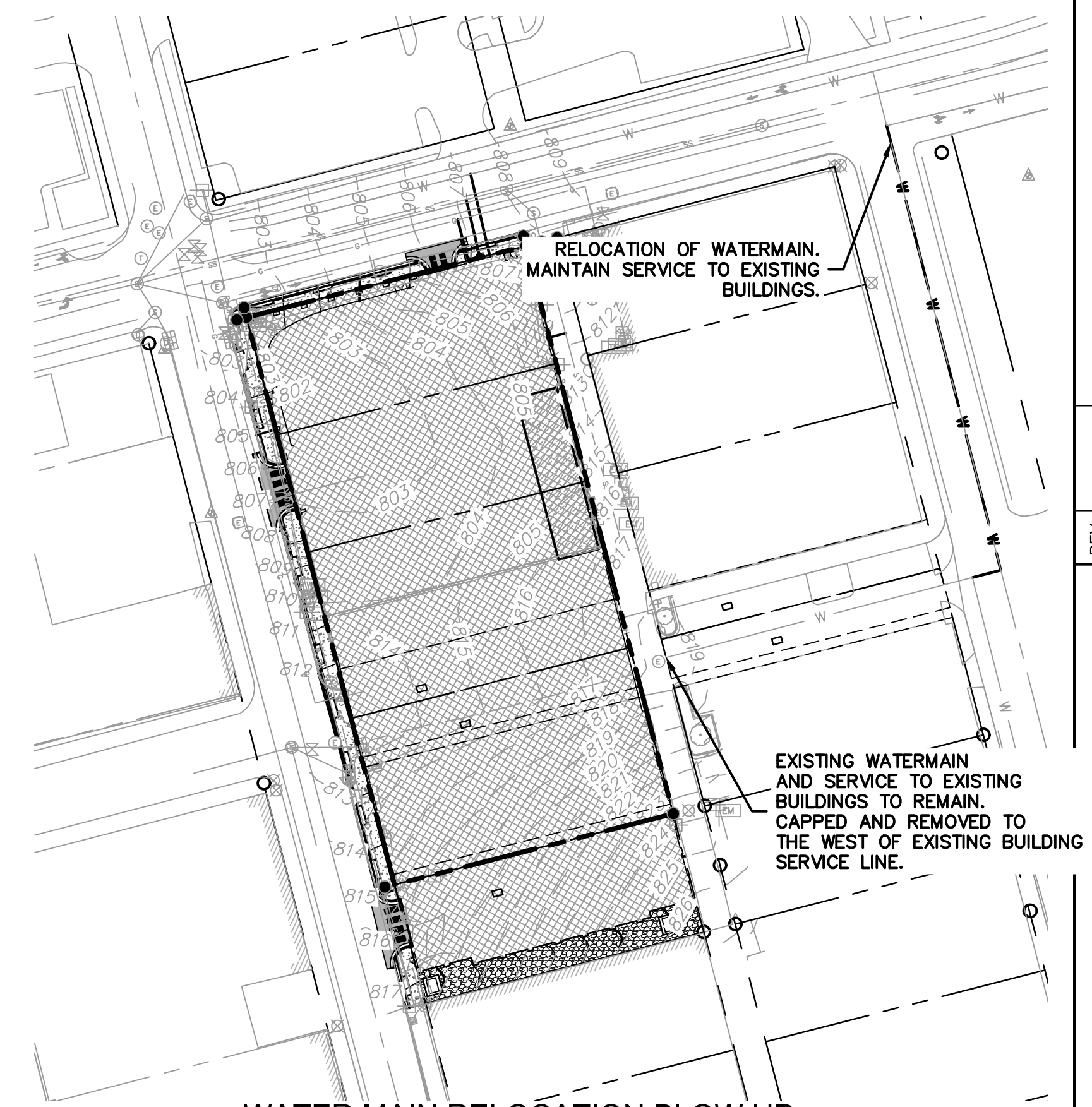
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- LEGEND**
- PROPERTY LINE - MIDTOWN CROSSING
 - SURROUNDING PROPERTY LINES
 - INSTALL CONCRETE CURB & GUTTER
 - INSTALL CONCRETE SIDEWALK
 - INSTALL CONCRETE PAVEMENT
 - SS --- SS --- INSTALL SANITARY SEWER SERVICE
 - --- --- INSTALL STORM SEWER LINE
 - W --- W --- INSTALL DOMESTIC WATER SERVICE
 - FP --- FP --- INSTALL FIRE PROTECTION LINE
 - GAS --- GAS --- INSTALL GAS SERVICE
 - UGE --- UGE --- INSTALL ELECTRICAL LINE
 - --- --- PROPOSED SETBACK LINE
 - --- --- PROPOSED BUILDING OVERHAND

- NOTES:**
1. ALL EXISTING WATER MAIN AND EASEMENTS TO BE VACATED AND RELOCATED BEFORE CONSTRUCTION BEGINS. WATER MAIN EXTENSION PLANS TO BE SUBMITTED AND APPROVED BEFORE VACATED.
 2. EXISTING WATER METERS AND GAS METERS OF EXISTING BUILDINGS PLANNED FOR DEMOLITION ARE TO BE REMOVED.
 3. ALL EXISTING SERVICE LINES TO EXISTING PROPERTIES TO BE REMOVED AND CAPPED.
 4. DUE TO CONFLICTS WITH UTILITIES, STREET TREES CAN NOT BE PROVIDED. ALL LANDSCAPE WILL NEED TO BE IN RAISED PLANTERS TO AVOID CONFLICTS WITH UTILITIES.



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GRADING PLAN
 PRELIMINARY DEVELOPMENT PLAN

ASCEND: IN THE RIVER MARKET APARTMENT DEVELOPMENT
 413 E. 3RD STREET

KANSAS CITY, MISSOURI

drawn by: CAD
 checked by: LM
 approved by: SR
 QA/QC by: MB
 project no.: ABC.DWG
 drawing no.:
 date:

2021

SHEET C2

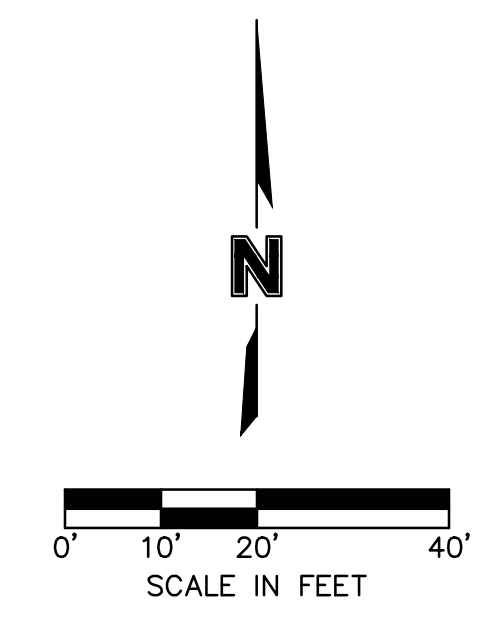
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LANDSCAPE REQUIREMENTS		
	REQUIRED	PROPOSED
STREET TREES OAK STREET	1 TREE PER 30' OF STREET FRONTAGE (35.3 LF) 11 TREES	DUE TO OVERHEAD POWER NO TREES ARE PROVIDED ALONG ROAD. ALTERNATE: 9 PLANTERS PROVIDED
STREET TREES 3RD STREET	1 TREE PER 30' OF STREET FRONTAGE (14.2 LF) 4 TREES	DUE TO UTILITIES NO TREES ARE PROVIDED. ALTERNATE: 4 PLANTERS PROVIDED
OPEN SPACE	1 TREE PER 5,000 SF OF BUILDING FOOTPRINT (47,192 SF) 9 TREES	UNABLE TO PROVIDE, DUE TO SITE CONSTRAINTS

AMENITY REQUIREMENTS		
	REQUIRED	PROPOSED
SPECIALTY PAVING	ACCENT BRICK SOLDIER COURSE. 1'4" FROM BACK OF CURB	SEE PLAN
CURBED PLANTERS	10' CURB PLANTERS WITH 4" CURB 20' APART WITH DECORATIVE GRAVEL	SEE PLAN
AMENITY ZONE	5' AMENITY ZONE REQUIRED PER RIVER MARKET EAST AND WEST DISTRICT	SEE PLAN
ADDITIONAL AMENITIES	BIKE RACKS, LITTER RECEPTACLES, STREET LIGHTS PLACED 60' ON CENTER, AND SEATING ELEMENTS	2 BIKE RACKS, 3 LITTER RECEPTACLES, 2 BENCHES PROVIDED. EXISTING STREET LIGHTS

PLANT SCHEDULE				
SHRUBS	BOTANICAL / COMMON NAME	SIZE		QTY
(+)	ASTER NOVAE-ANGLIAE 'PURPLE DOME' PURPLE DOME NEW ENGLAND ASTER	1 GAL		70
ORNAMENTAL GRASSES	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
	ELYMUS ARENARIUS BLUE DUNE BLUE DUNE LYME GRASS	1 GAL	24" o.c.	52



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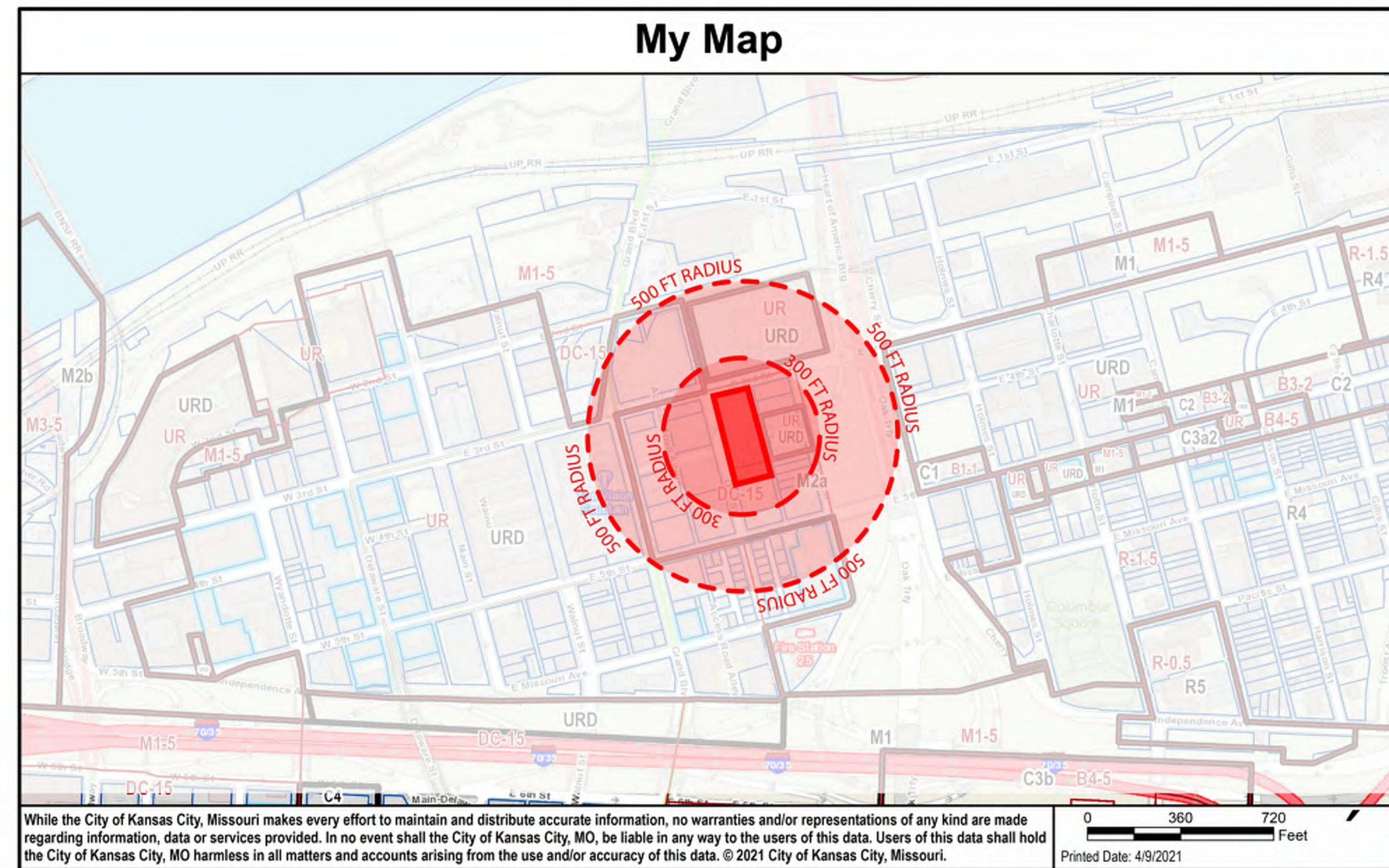
LANDSCAPE PLAN
PRELIMINARY DEVELOPMENT PLAN

ASCEND: IN THE RIVER MARKET APARTMENT DEVELOPMENT
413 E. 3RD STREET

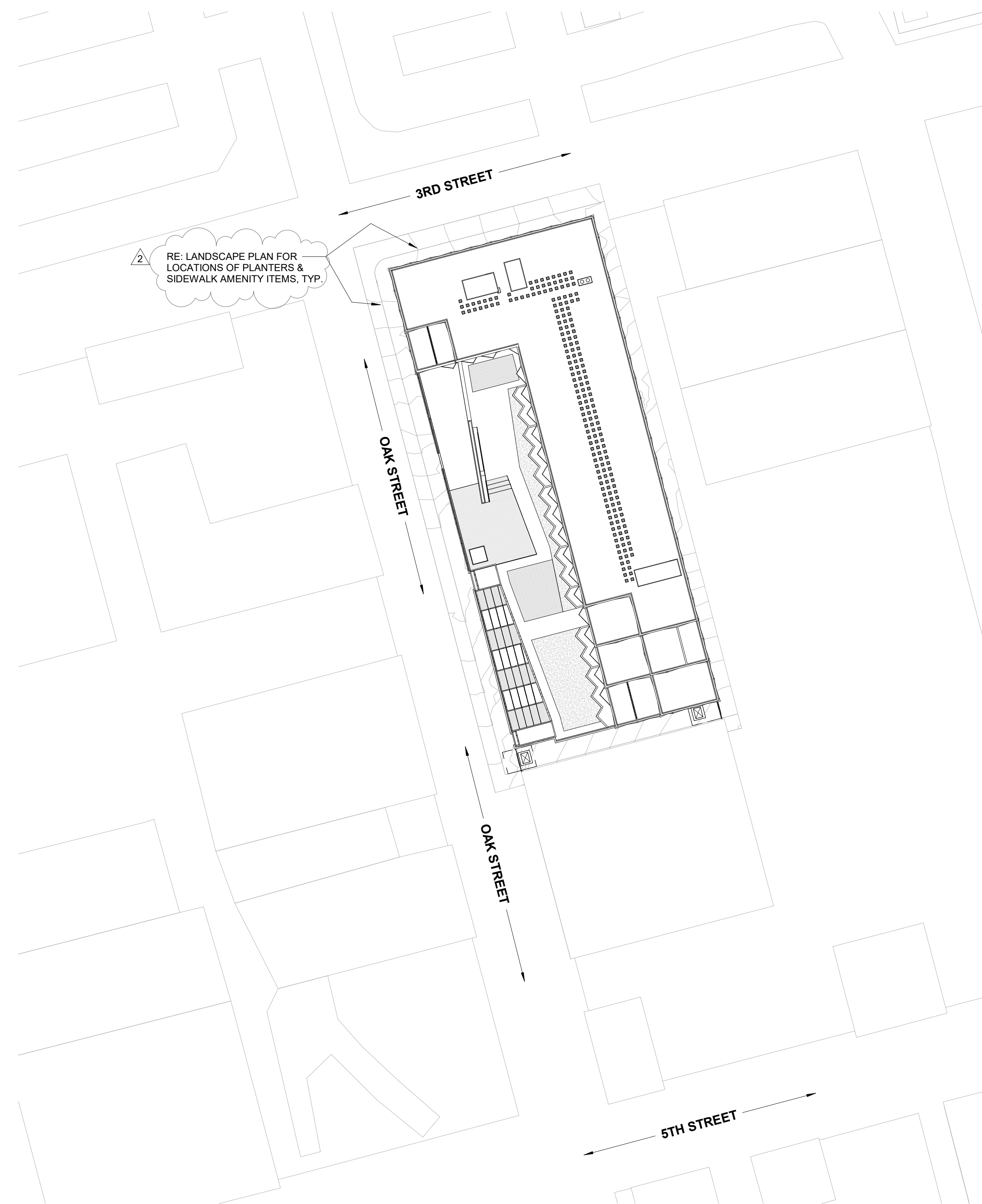
KANSAS CITY, MISSOURI

drawn by: CAD
checked by: LM
approved by: SR
QA/QC by: MB
project no.:
drawing no.: ABC.DWG
date:

SHEET
L1



SHEET INDEX - PRELIMINARY DEVELOPMENT PLAN	
C	PRELIMINARY PLAT
C1.0	GENERAL LAYOUT PLAN
C2.0	GRADING & UTILITY PLAN
L1.0	LANDSCAPE PLAN
AS110	ARCHITECTURAL SITE PLAN / COVER
A110	LEVELS 1 & 2 - FLOOR PLANS
A111	LEVELS 3 & 4 - FLOOR PLANS
A112	LEVELS 5 & 6 - FLOOR PLANS
A113	LEVELS 7 & 8 - FLOOR PLANS
A114	LEVELS 9 & 10 - FLOOR PLANS
A115	LEVELS 11 & 12 - FLOOR PLANS
A116	ROOF PLAN
A200	EXTERIOR ELEVATIONS
A201	EXTERIOR ELEVATIONS
A202	EXTERIOR ELEVATIONS - INSET
A300	BUILDING SECTIONS
A301	BUILDING SECTIONS
A1000	3D VIEWS
A1001	3D VIEWS



ASCEND: IN THE RIVER MARKET - APARTMENT DEVELOPMENT

413 E. 3RD ST.
KANSAS CITY, MO
HIVE DESIGN COLLABORATIVE, INC.
1617 WALNUT STREET, KANSAS CITY, MO 64108
816.581.6363

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seal/signature

project number 2020-037

date 07.29.21

issued for RE-ZONE TO UR / SD

rev	date	description
2	07.29.21	DRC Comments Response

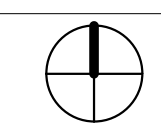
RE-ZONE TO UR / SCHEMATIC DESIGN PLANS & INFO
NOT FOR CONSTRUCTION

ARCHITECTURAL SITE PLAN / COVER

sheet number

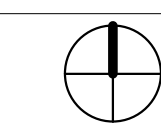
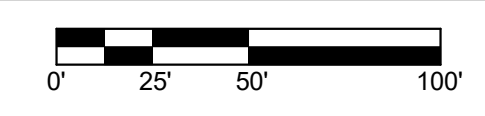
AS110

VICINITY MAP



1 ARCHITECTURAL SITE PLAN

1" = 50'-0"



NOTES

1/4" = 1'-0"

- GENERAL NOTES - ARCHITECTURAL SITE:**
- RE: SHEET G0.01 FOR ADDITIONAL GENERAL NOTES THAT ARE APPLICABLE.
 - ALL SIDEWALKS SHALL SLOPE 1/4 INCH PER FOOT AWAY FROM THE BUILDING, UNLESS NOTED OTHERWISE.
 - ALL GRADES SHALL SLOPE AWAY FROM THE BUILDING AT 5 PERCENT FOR THE FIRST 10 FT.
 - LOCATIONS AND SIZES OF ALL CONCRETE MECHANICAL AND ELECTRICAL PADS SHALL BE COORDINATED BY THE MECHANICAL AND ELECTRICAL CONTRACTORS, WITH THE SELECTED EQUIPMENT MANUFACTURERS/SUPPLIER, AND ARE TO BE APPROVED BY THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.



ASCEND: IN THE RIVER MARKET - APARTMENT DEVELOPMENT

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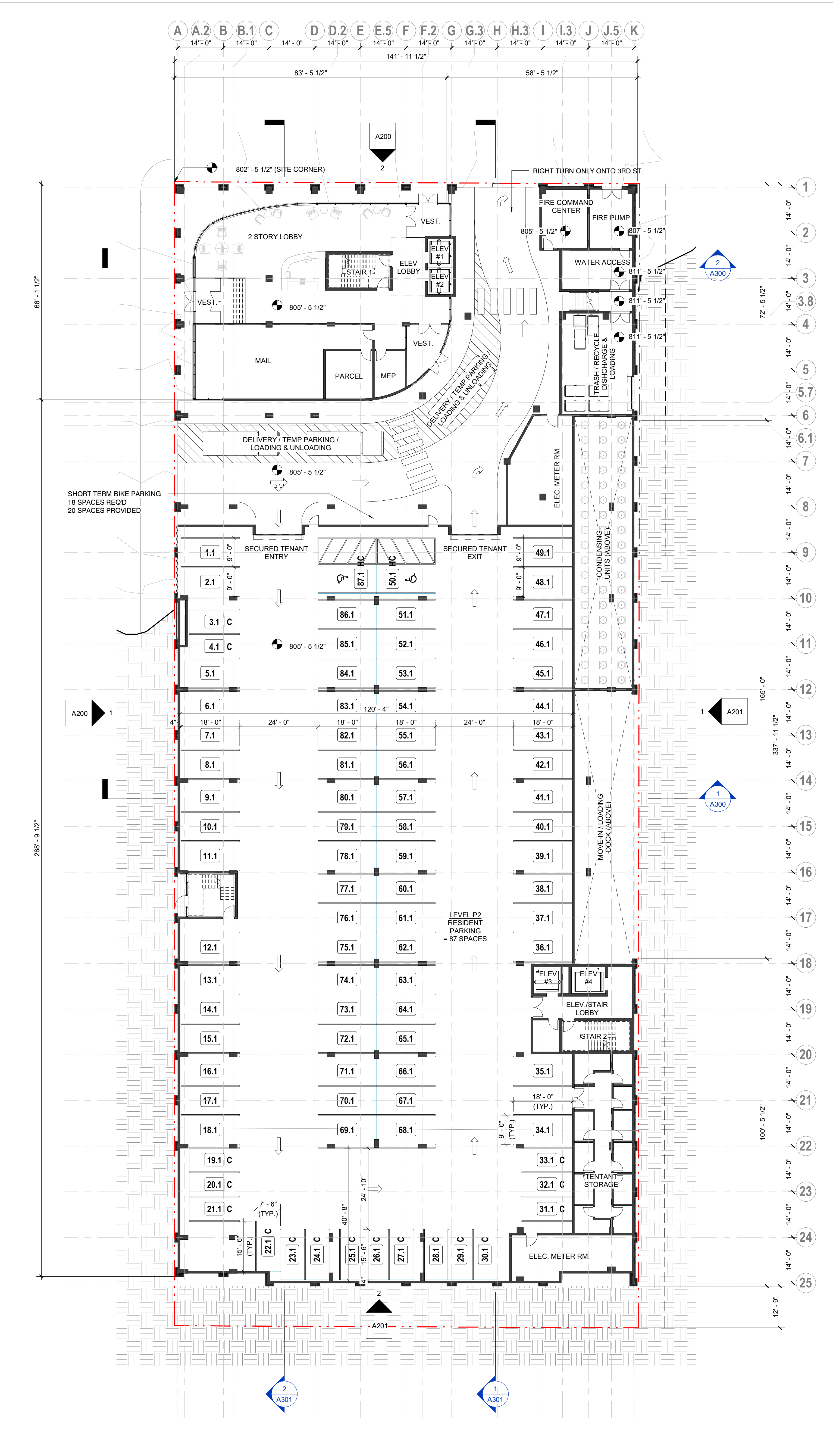
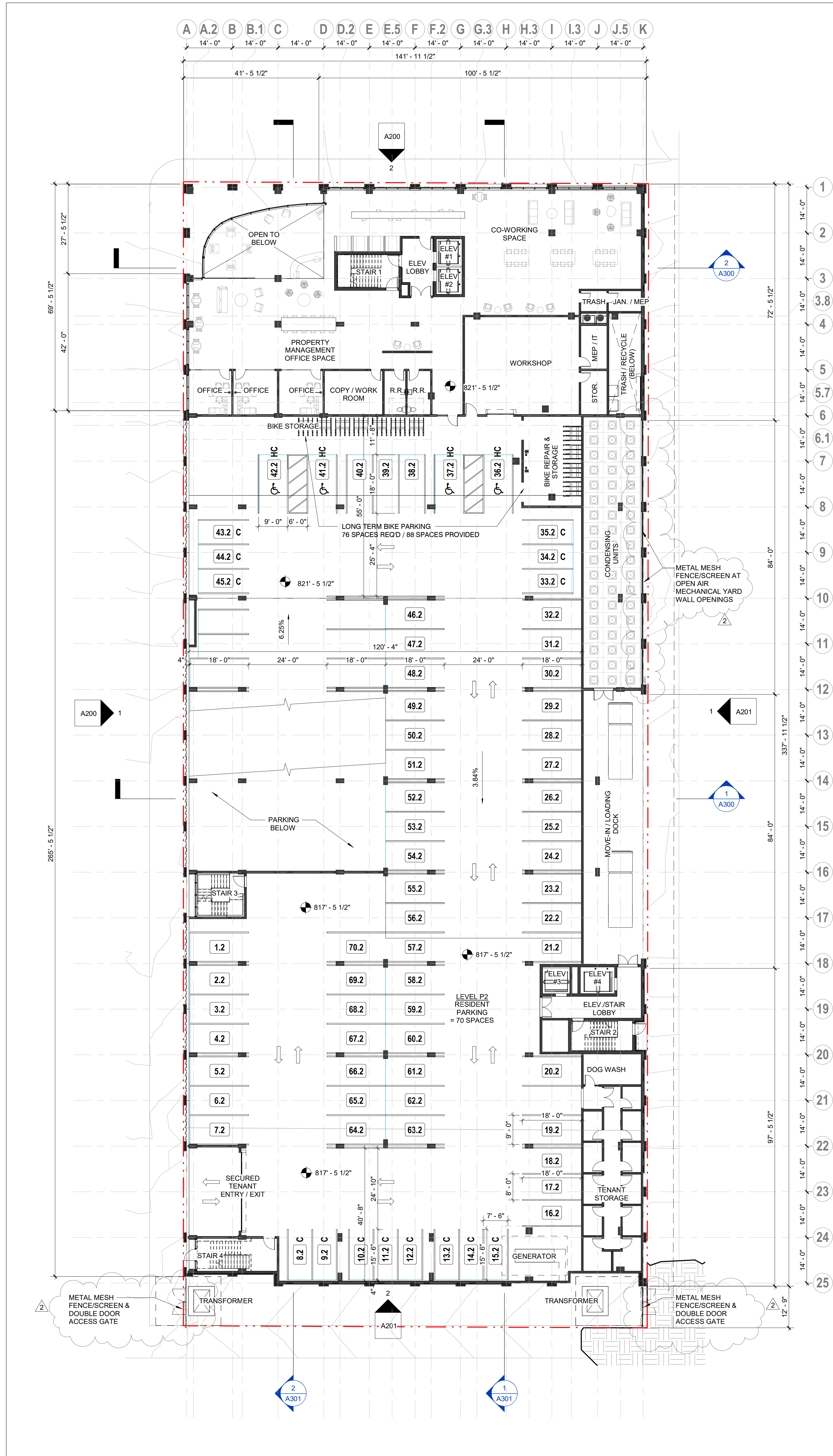
project number	2020-037	
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issued for	RE-ZONE TO UR / SD	
rev	date	description
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RE-ZONE TO UR / SCHEMATIC DESIGN PLANS & INFO

NOT FOR CONSTRUCTION

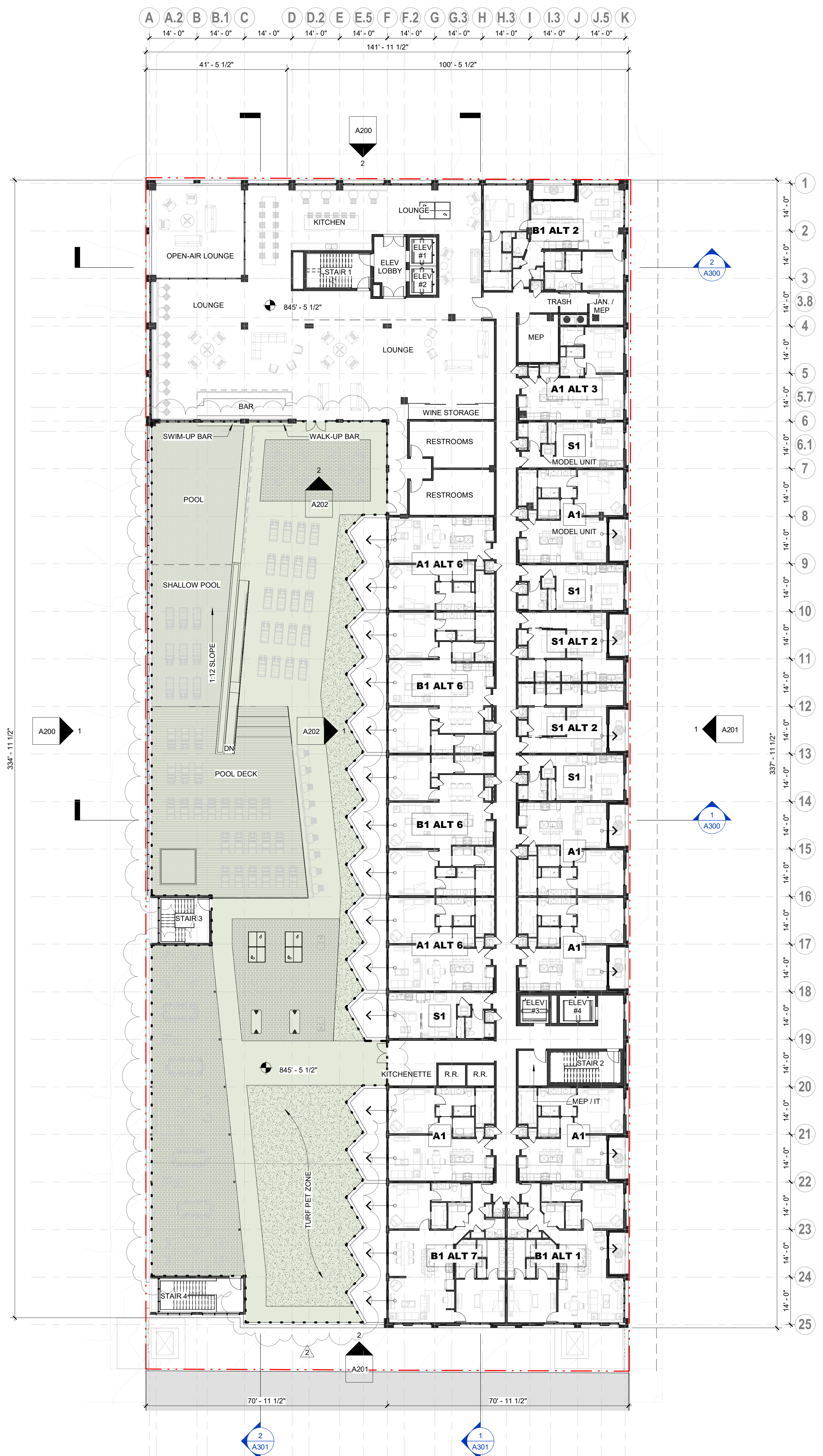
LEVELS 1 & 2 - FLOOR PLANS

sheet number A110



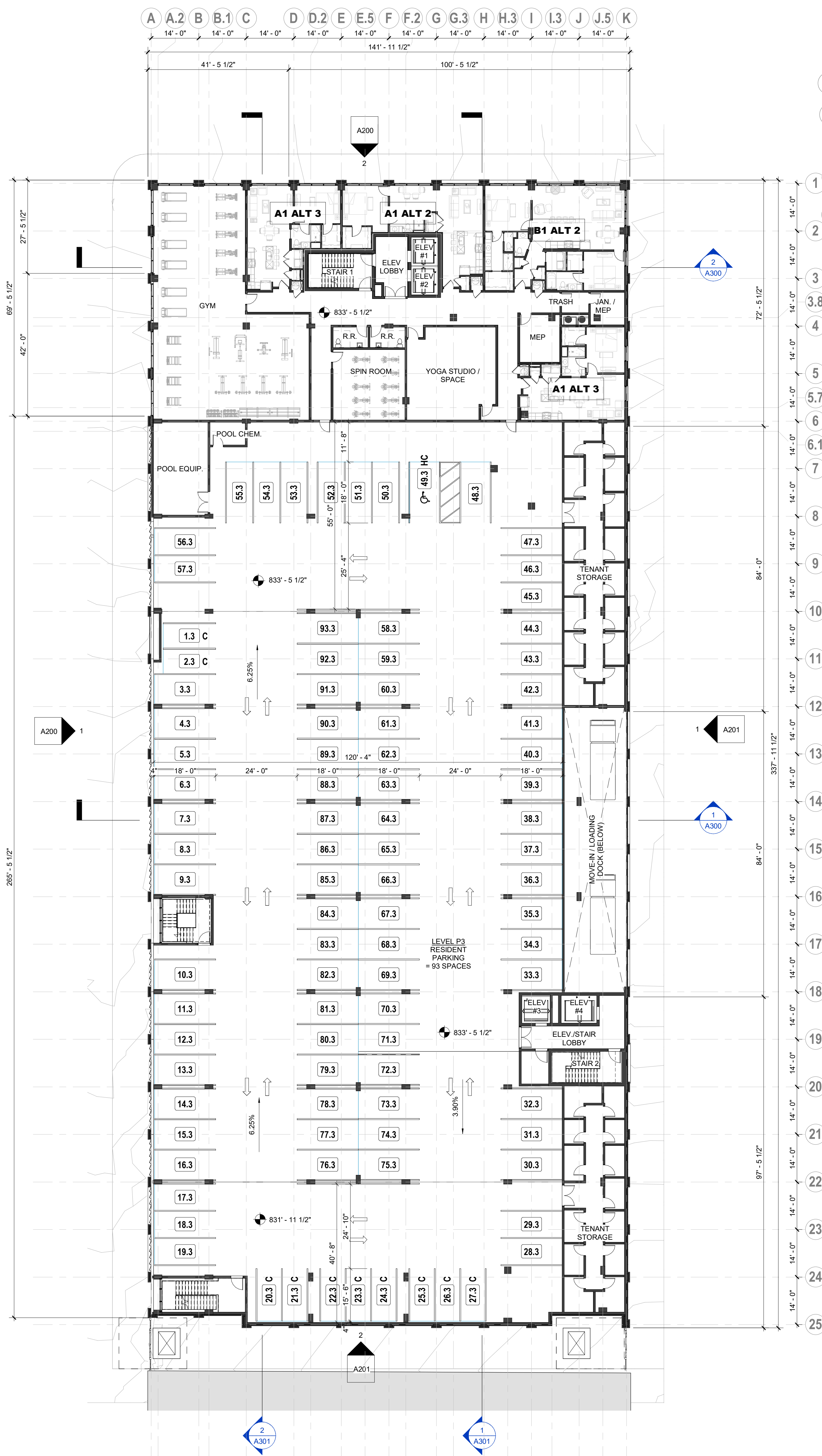
- GENERAL NOTES - FLOOR PLANS:**
- DIMENSIONS SHOWN ON THE FLOOR PLAN ARE TO THE FACE OF STUD WALL (FOS), FACE OF MASONRY (FOM), FACE OF CONCRETE WALLS (FCO), AND COLUMN GRID LINES, UNLESS NOTED OR SHOWN OTHERWISE.
 - DOOR OPENINGS NOT LOCATED BY DIMENSION SHALL BE CENTERED IN WALL SHOWN OR LOCATED 4 INCHES FROM FINISH WALL TO HINGE SIDE OF THE DOOR, ALWAYS ALLOWING A MINIMUM OF 18" FROM THE FULL SIDE (STRIKE SIDE) OF THE DOOR TO THE INTERSECTING WALL, OR OTHER PROTRUDING OBJECTS.
 - ALL CLOSETS AND ALCOVES WITHOUT A SPACE IDENTIFICATION NUMBER SHALL HAVE THE SAME FINISHES AS THE ADJOINING SPACES.
 - ALL PUBLIC SPACES: THE WALLS WILL BE FINISHED WITH 5/8" GYP. BD. TO A LEVEL 5 FINISH AND PAINTED, UNLESS NOTED OR SPECIFIED OTHERWISE.
 - RE: FINISH LEGEND, FINISH SCHEDULE AND SPECIFICATIONS FOR DOOR AND DOOR FRAME FINISHES.
 - ALL GLAZING IN CODE SPECIFIED "HAZARDOUS LOCATIONS" (I.E. DOORS, SIDE LITES, ETC.) SHALL COMPLY WITH THE SAFETY GLAZING REQUIREMENTS AS OUTLINED IN SECTIONS 2406 AND 2408.3 OF THE IBC.

NOTES
1/4" = 1'-0"



2 LEVEL 4 - OVERALL PLAN

1/16" = 1'-0"



1 LEVEL 3 - P3 - OVERALL PLAN

1/16" = 1'-0"

PARKLAND DEDICATION (PAYMENT IN LIEU OF LAND DEDICATION):
 PER KCMO ORDINANCE:
 232 UNITS x 2 PEOPLE PER UNIT x 0.006 = 2.784 ACRE
CREDIT FOR OPEN SPACE PROVIDED FOR RESIDENTS (AREAS SHADED IN GREEN ON LEVELS 4 & 12):
 LEVEL 4 AMENITY TERRACE = 15,594 SF
 LEVEL 12 AMENITY ROOF TERR. = 644 SF
 TOTAL = 16,238 SF (0.373 ACRE)
TOTAL PARKLAND DEDICATION:
 2.784 ACRE - 0.373 ACRE = 2.411± ACRE
TOTAL PAYMENT IN LIEU OF PARKLAND:
 2.411± ACRE x \$48,801.37 per acre = \$117,660.10

LIST OF AMENITIES:
 • LEVEL 4 TERRACE AMENITIES:
 1. POOL
 2. JACUZZI
 3. SUN BATHING SEATING AREAS
 4. WALK-UP/SWIM-UP BAR
 5. GENERAL SEATING/GATHERING
 6. YARD GAMES
 7. BBQ GRILLS & LOUNGE AREAS
 8. DOG PARK
 9. VIEWS OF DOWNTOWN SKYLINE
 • LEVEL 12 ROOF DECK AMENITY:
 1. GENERAL SEATING/GATHERING
 2. VIEWS OF DOWNTOWN SKYLINE

UNIT MATRIX

UNIT TYPE	UNIT TYPE COMMENTS	UNIT AREA	%	UNIT TYPE COUNT
BT-BASE	2 BED (2.5 BATH)	444 SF	29.7%	98
BT-ALT 1-CORNER	1 BED (1 BATH)	443 SF	29.6%	51
BT-ALT 2-BASE	2 BED (2 BATH)	601 SF	3.9%	13
BT-BASE	1 BED (1 BATH)	508 SF	21.2%	48
AT-ALT 1-CORNER	1 BED (1 BATH)	996 SF	6.1%	14
AT-ALT 2	1 BED (1 BATH)	987 SF	5.5%	13
AT-ALT 3	1 BED (1 BATH)	767 SF	4.8%	10
AT-ALT 4-CORNER	1 BED (1 BATH)	892 SF	5.8%	11
AT-ALT 5-CORNER	1 BED (1 BATH)	1,003 SF	6.4%	12
AT-ALT 6	1 BED (1 BATH)	893 SF	5.8%	11
BT-BASE	2 BED (2.5 BATH)	1,274 SF	7.5%	17
BT-ALT 1-CORNER	2 BED (2.5 BATH)	1,381 SF	8.7%	11
BT-ALT 2-CORNER	2 BED (2.5 BATH)	1,214 SF	7.8%	11
BT-ALT 3-CORNER	2 BED (2.5 BATH)	1,507 SF	9.4%	11
BT-ALT 4-CORNER	2 BED (2.5 BATH)	1,507 SF	9.4%	11
BT-ALT 5	2 BED (2.5 BATH)	1,341 SF	8.6%	11
BT-ALT 6	2 BED (2.5 BATH)	1,468 SF	9.4%	11
BT-ALT 7-CORNER	2 BED (2.5 BATH)	1,468 SF	9.4%	11
BT-ALT 8-CORNER	2 BED (2.5 BATH)	1,341 SF	8.6%	11
BT-INSET CORNER	2 BED (2.5 BATH)	1,300 SF	8.4%	8
				202

GENERAL NOTES - FLOOR PLANS:

- DIMENSIONS SHOWN ON THE FLOOR PLAN ARE TO THE FACE OF STUD WALL (FOS), FACE OF MASONRY (FOM), FACE OF CONCRETE WALLS (FCW), AND COLUMN GRID LINES, UNLESS NOTED OR SHOWN OTHERWISE.
- DOOR OPENINGS NOT LOCATED BY DIMENSION SHALL BE CENTERED IN WALL SHOWN OR LOCATED 4 INCHES FROM FINISH WALL TO HINGE SIDE OF THE DOOR, ALWAYS ALLOWING A MINIMUM OF 18" FROM THE FULL SIDE (STRIKE SIDE) OF THE DOOR TO THE INTERSECTING WALL, OR OTHER PROTRUDING OBJECTS.
- ALL CLOSETS AND ALCOVES WITHOUT A SPACE IDENTIFICATION NUMBER SHALL HAVE THE SAME FINISHES AS THE ADJOINING SPACES.
- ALL PUBLIC SPACES: THE WALLS WILL BE FINISHED WITH 5/8" GYP. BD. TO LEVEL 5 FINISH AND PAINTED, UNLESS NOTED OR SPECIFIED OTHERWISE.
- RE: FINISH LEGEND, FINISH SCHEDULE AND SPECIFICATIONS FOR DOOR AND DOOR FRAME FINISHES.
- ALL GLAZING IN CODE SPECIFIED "HAZARDOUS LOCATIONS" (I.E. DOORS, SIDE LITES, ETC.) SHALL COMPLY WITH THE SAFETY GLAZING REQUIREMENTS AS OUTLINED IN SECTIONS 2406 AND 2408.3 OF THE IBC.

NOTES

1/4" = 1'-0"



ASCEND: IN THE RIVER MARKET - APARTMENT DEVELOPMENT
 413 E. 3RD ST.
 KANSAS CITY, MO

HIVE DESIGN COLLABORATIVE, INC.
 1617 WALNUT STREET, KANSAS CITY, MO 64108
 816.581.6363

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project number 2020-037
 date 07.29.21
 issued for RE-ZONE TO UR / SD
 rev date description
 2 07.29.21 DRC Comments Response

RE-ZONE TO UR / SCHEMATIC DESIGN PLANS & INFO
NOT FOR CONSTRUCTION

LEVELS 3 & 4 - FLOOR PLANS

sheet number

A111



ASCEND: IN THE RIVER MARKET - APARTMENT DEVELOPMENT

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816.581.6363

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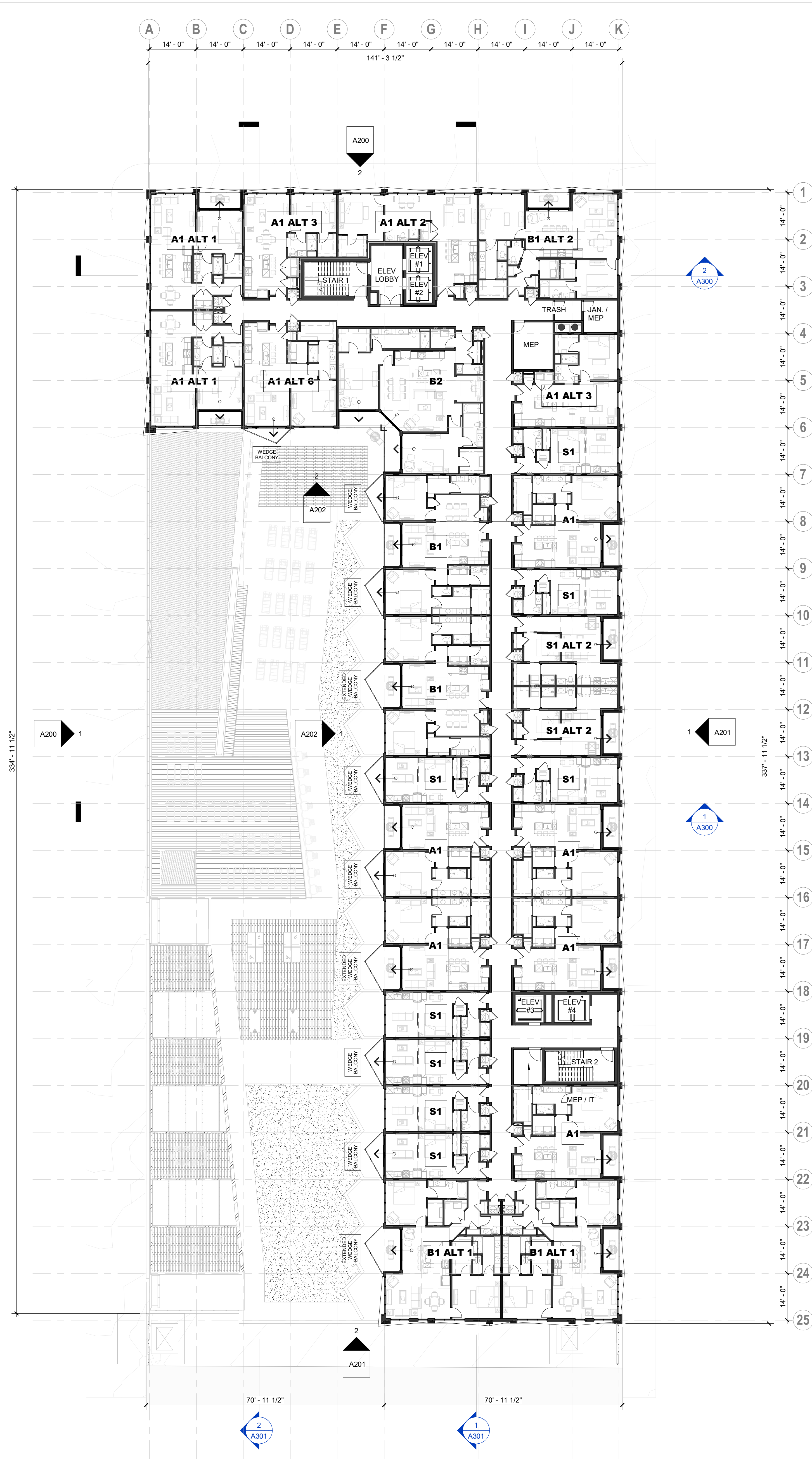
project number 2020-037
date 07.29.21
issued for RE-ZONE TO UR / SD
rev date description

RE-ZONE TO UR / SCHEMATIC DESIGN PLANS & INFO
NOT FOR CONSTRUCTION

LEVELS 5 & 6 - FLOOR PLANS

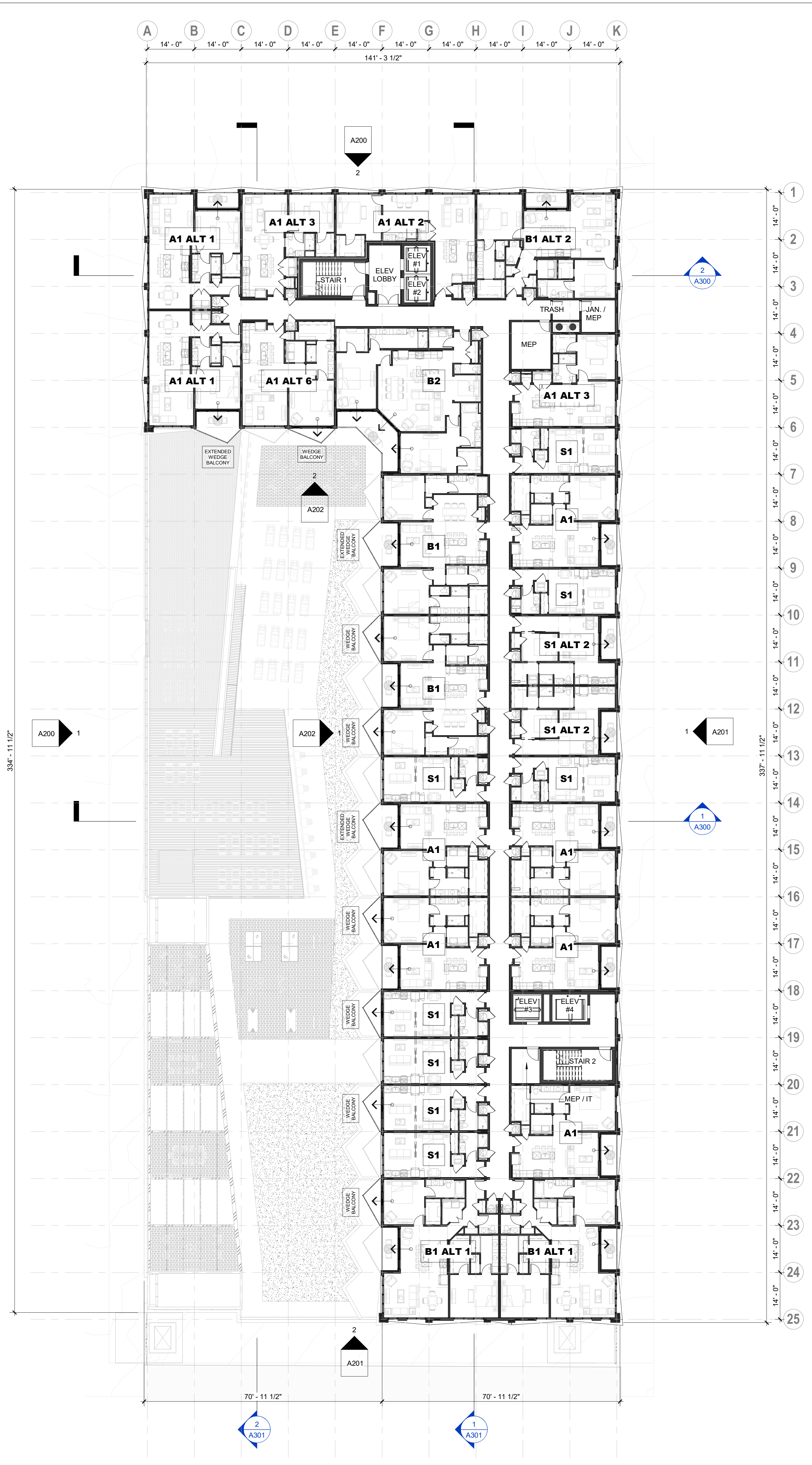
sheet number

A112



1 LEVEL 5 - OVERALL PLAN

1/16" = 1'-0"



2 LEVEL 6 - OVERALL PLAN

1/16" = 1'-0"

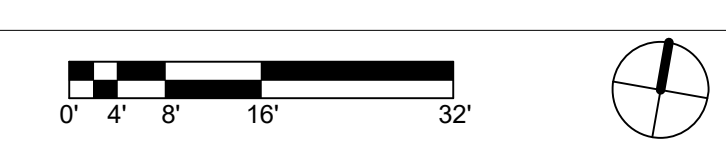
UNIT MATRIX				
UNIT TYPE	UNIT TYPE COMMENTS	UNIT AREA	%	UNIT TYPE COUNT
B1 - BASE	2 BED / 2.5 BATH	444 SF	20.7%	96
B1 - ALT 1 - CORNER	2 BED / 1 BATH	444 SF	20.7%	11
B1 - ALT 2 - BASE	2 BED / 1 BATH	611 SF	28.6%	13
A1 - BASE	1 BED / 1 BATH	608 SF	28.2%	48
A1 - ALT 1 - CORNER	1 BED / 1 BATH	996 SF	45.9%	14
A1 - ALT 2	1 BED / 1 BATH	987 SF	45.4%	15
A1 - ALT 3	1 BED / 1 BATH	762 SF	35.0%	16
A1 - ALT 4 - CORNER	1 BED / 1 BATH	892 SF	40.8%	17
A1 - ALT 5 - CORNER	1 BED / 1 BATH	1,203 SF	55.4%	18
A1 - ALT 6	1 BED / 1 BATH	893 SF	40.9%	11
B1 - BASE	2 BED / 2.5 BATH	1,274 SF	58.7%	17
B1 - ALT 1 - CORNER	2 BED / 2.5 BATH	1,381 SF	62.6%	11
B1 - ALT 2 - CORNER	2 BED / 2.5 BATH	1,214 SF	55.8%	11
B1 - ALT 3 - CORNER	2 BED / 2.5 BATH	1,507 SF	68.4%	11
B1 - ALT 4 - CORNER	2 BED / DEN / 2.5 BATH	1,507 SF	68.4%	11
B1 - ALT 5	2 BED / 2.5 BATH	1,341 SF	60.8%	11
B1 - ALT 6	2 BED / 2.5 BATH	1,468 SF	66.8%	11
B1 - ALT 7 - CORNER	2 BED / 2.5 BATH	1,468 SF	66.8%	11
B1 - ALT 8 - CORNER	2 BED / DEN / 2.5 BATH	1,341 SF	60.8%	11
B1 - INSET CORNER	2 BED / DEN / 2.5 BATH	1,300 SF	59.4%	8
				202

GENERAL NOTES - FLOOR PLANS:

- DIMENSIONS SHOWN ON THE FLOOR PLAN ARE TO THE FACE OF STUD WALL (FOS), FACE OF MASONRY (FOM), FACE OF CONCRETE WALLS (FOC), AND COLUMN GRID LINES, UNLESS NOTED OR SHOWN OTHERWISE.
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NOTES

1/4" = 1'-0"





ASCEND: IN THE RIVER MARKET - APARTMENT DEVELOPMENT

413 E. 3RD ST. KANSAS CITY, MO
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1617 WALNUT STREET, KANSAS CITY, MO 64108
816.581.6363

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project number 2020-037

date 07.29.21

issued for RE-ZONE TO UR / SD

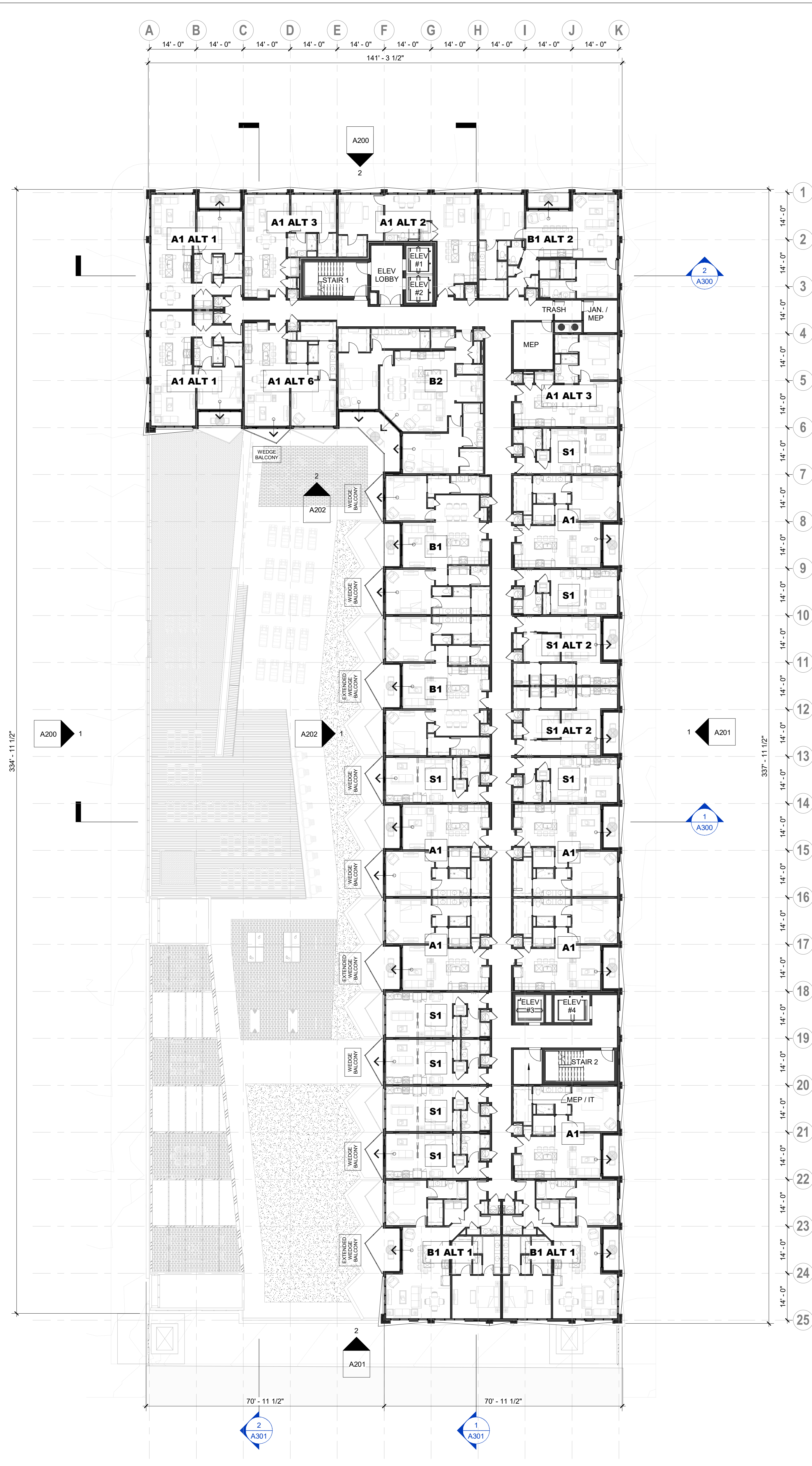
rev date description

RE-ZONE TO UR / SCHEMATIC DESIGN PLANS & INFO
NOT FOR CONSTRUCTION

LEVELS 7 & 8 - FLOOR PLANS

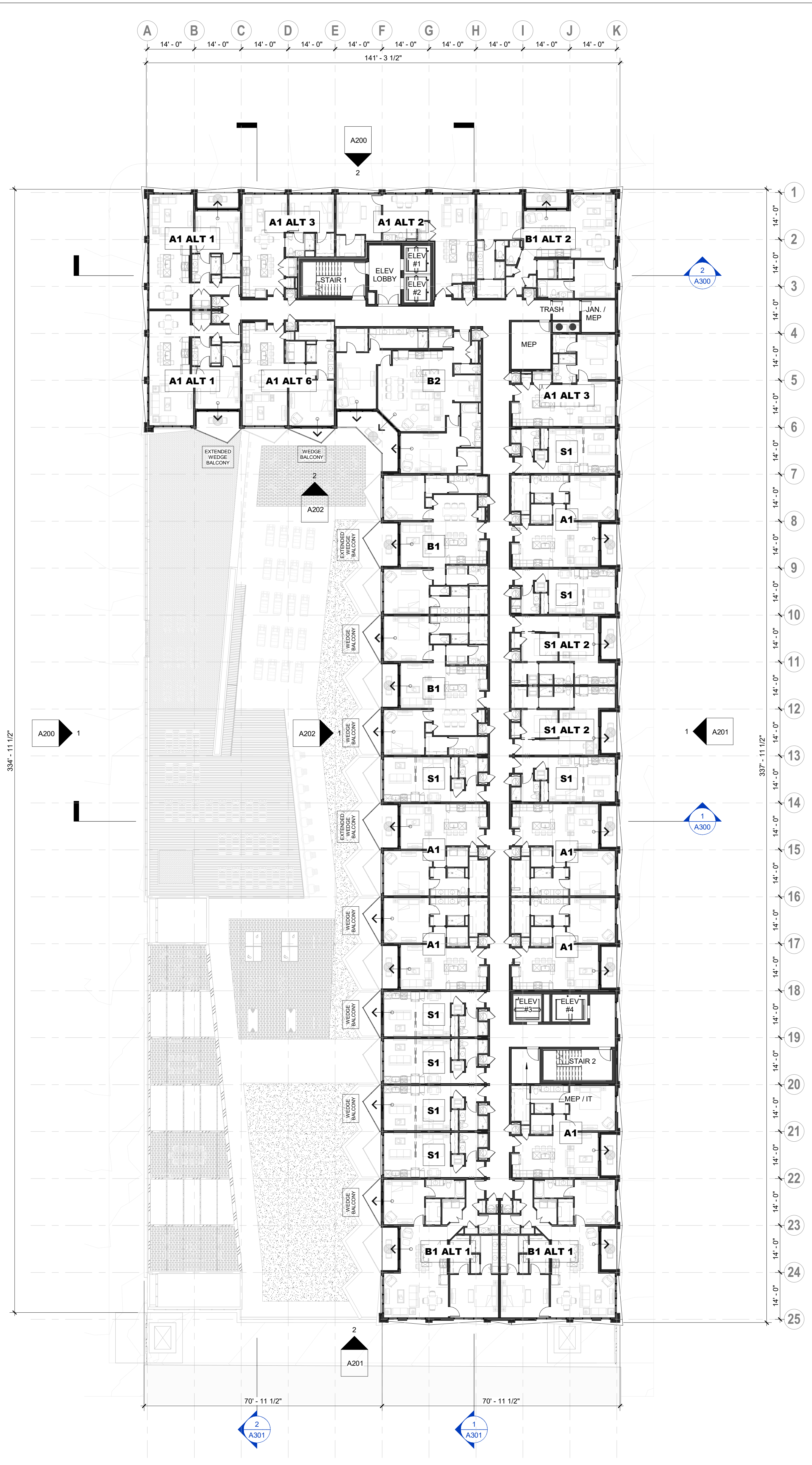
sheet number

A113



1 LEVEL 7 - OVERALL PLAN

1/16" = 1'-0"



2 LEVEL 8 - OVERALL PLAN

1/16" = 1'-0"



UNIT MATRIX				
UNIT TYPE	UNIT COMMENTS	UNIT AREA	%	UNIT COUNT
BT - BASE	2 BDR / 2.5 BATH	444 SF	20.7%	96
BT - ALT 1 - CORNER	1 BDR / 1 BATH	444 SF	20.7%	11
BT - ALT 2 - BASE	2 BDR / 2.5 BATH	611 SF	28.6%	13
BT - ALT 3 - CORNER	1 BDR / 1 BATH	608 SF	28.4%	48
BT - ALT 4 - CORNER	1 BDR / 1 BATH	996 SF	45.9%	14
BT - ALT 5 - CORNER	1 BDR / 1 BATH	987 SF	45.4%	11
BT - ALT 6 - CORNER	1 BDR / 1 BATH	767 SF	35.4%	11
BT - ALT 7 - CORNER	1 BDR / 1 BATH	767 SF	35.4%	11
BT - ALT 8 - CORNER	1 BDR / 1 BATH	1,341 SF	61.4%	11
BT - ALT 9 - CORNER	1 BDR / 1 BATH	1,468 SF	67.4%	11
BT - ALT 10 - CORNER	1 BDR / 1 BATH	1,341 SF	61.4%	11
BT - INSET CORNER	2 BDR / DEN / 2.5 BATH	1,300 SF	59.4%	6
				202

GENERAL NOTES - FLOOR PLANS:

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NOTES

1/4" = 1'-0"



ASCEND: IN THE RIVER MARKET - APARTMENT DEVELOPMENT

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1617 WALNUT STREET, KANSAS CITY, MO 64108
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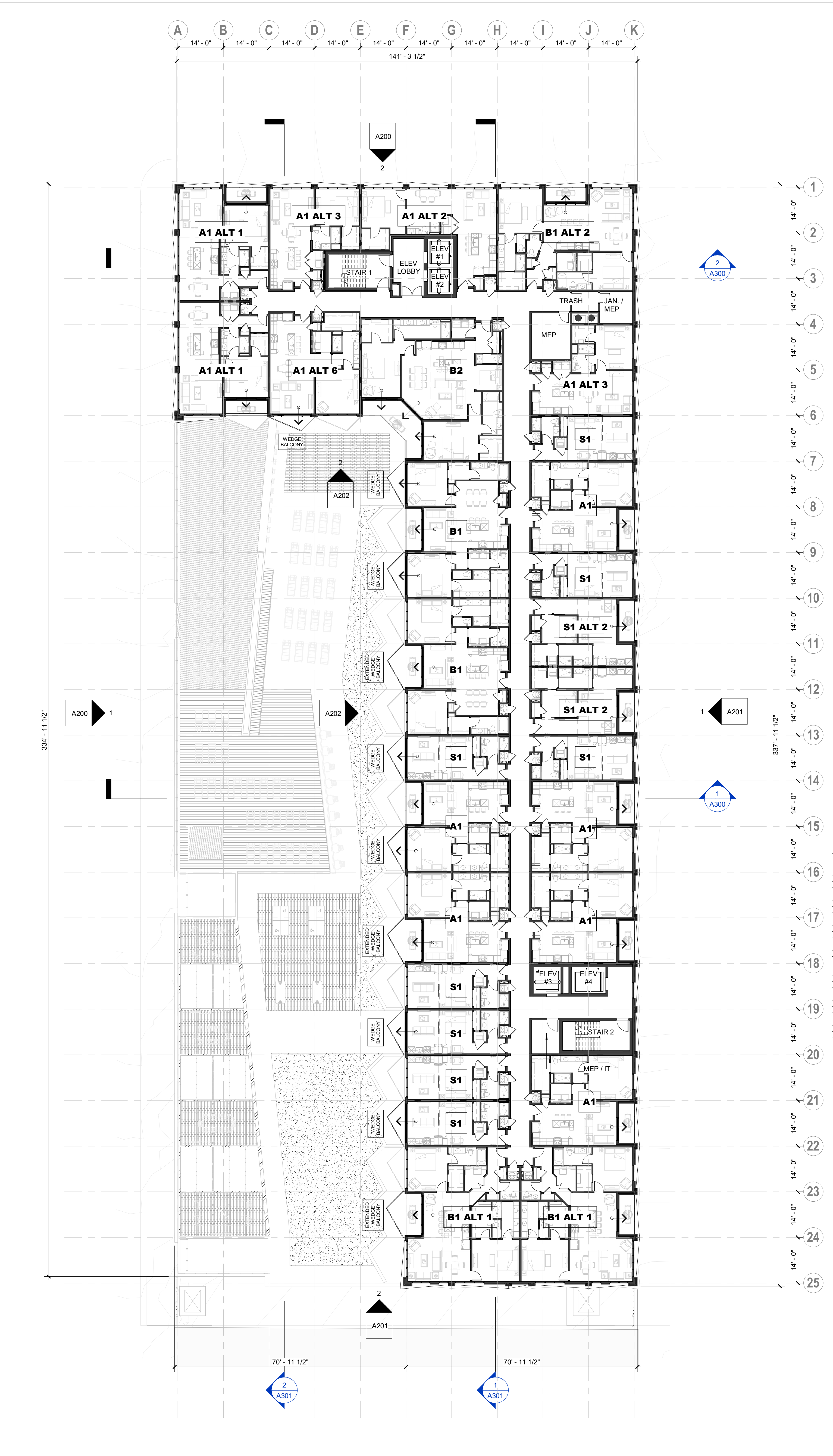
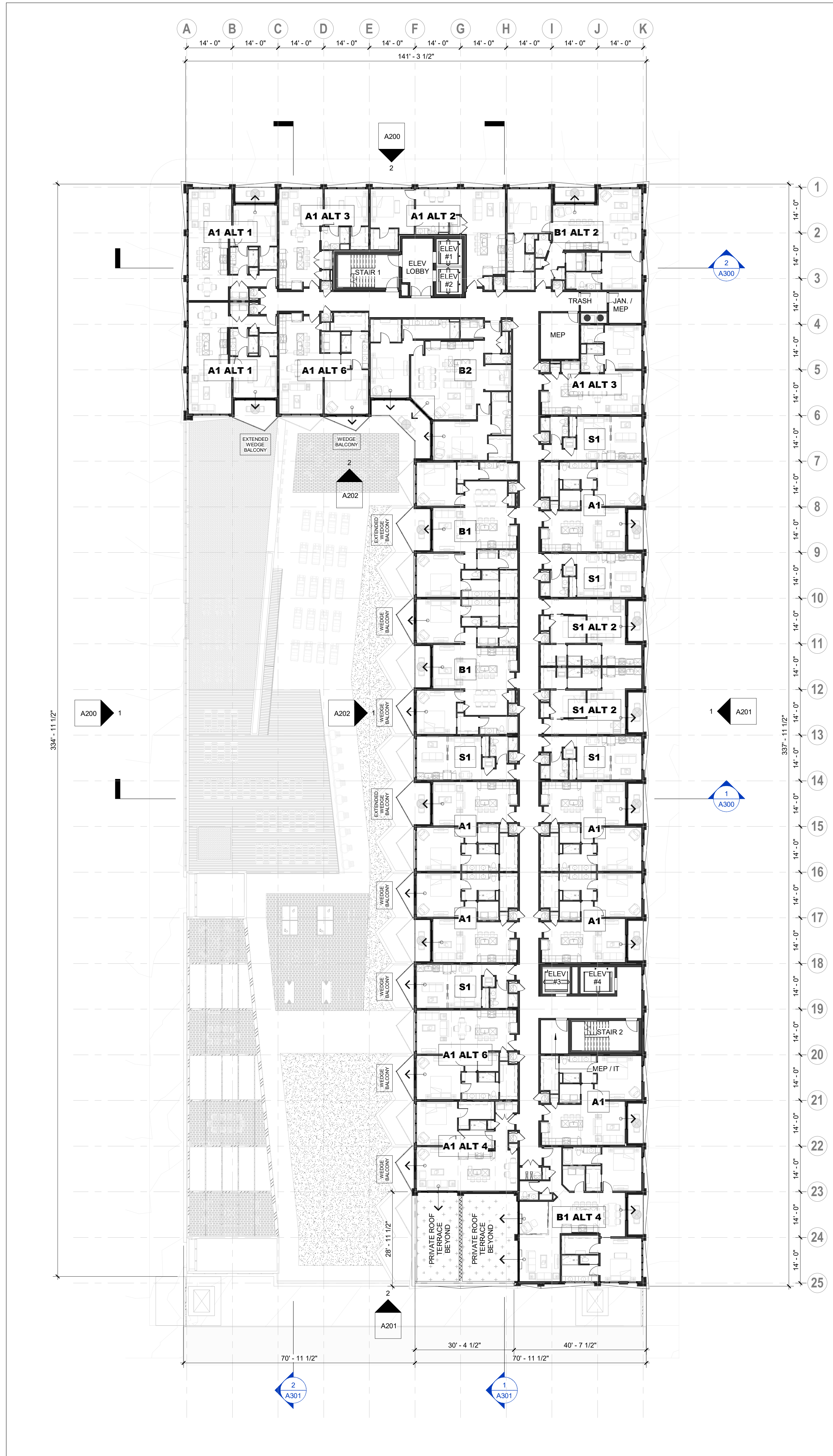
project number 2020-037
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LEVELS 9 & 10 - FLOOR PLANS

sheet number

A114



UNIT MATRIX

UNIT TYPE	UNIT TYPE COMMENTS	UNIT AREA	%	UNIT TYPE COUNT
BT - BASE	2 BED / 1 BATH	444 SF	20.7%	98
BT - ALT 1 - CORNER	2 BED / 1 BATH	444 SF	20.7%	1
BT - ALT 2 - BASE	2 BED / 1 BATH	611 SF	28.6%	13
BT - ALT 2 - CORNER	2 BED / 1 BATH	611 SF	28.6%	1
BT - ALT 2 - DEN	2 BED / 1 BATH	608 SF	28.2%	48
BT - ALT 2 - CORNER	2 BED / 1 BATH	996 SF	45.9%	14
BT - ALT 2 - CORNER	2 BED / 1 BATH	987 SF	45.4%	1
BT - ALT 3 - CORNER	2 BED / 1 BATH	767 SF	35.3%	1
BT - ALT 4 - CORNER	2 BED / 1 BATH	892 SF	40.8%	1
BT - ALT 5 - CORNER	2 BED / 1 BATH	1,203 SF	55.4%	1
BT - ALT 6	1 BED / 1 BATH	893 SF	40.7%	11
BT - BASE	2 BED / 2.5 BATH	1,274 SF	58.7%	17
BT - ALT 1 - CORNER	2 BED / 2.5 BATH	1,341 SF	61.5%	11
BT - ALT 2 - CORNER	2 BED / 2.5 BATH	1,274 SF	58.7%	11
BT - ALT 3 - CORNER	2 BED / 2.5 BATH	1,307 SF	60.4%	1
BT - ALT 4 - CORNER	2 BED / 2.5 BATH	1,307 SF	60.4%	1
BT - ALT 5 - CORNER	2 BED / 2.5 BATH	1,341 SF	61.5%	1
BT - ALT 6	2 BED / 2.5 BATH	1,341 SF	61.5%	1
BT - ALT 7 - CORNER	2 BED / 2.5 BATH	1,468 SF	67.4%	1
BT - ALT 8 - CORNER	2 BED / 2.5 BATH	1,341 SF	61.5%	1
BT - INSET CORNER	2 BED / DEN / 2.5 BATH	1,300 SF	59.6%	8
				202

- GENERAL NOTES - FLOOR PLANS:**
- DIMENSIONS SHOWN ON THE FLOOR PLAN ARE TO THE FACE OF STUD WALL (FOS), FACE OF MASONRY (FOM), FACE OF CONCRETE WALLS (FOC), AND COLUMN GRID LINES, UNLESS NOTED OR SHOWN OTHERWISE.
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2 LEVEL 10 - OVERALL PLAN

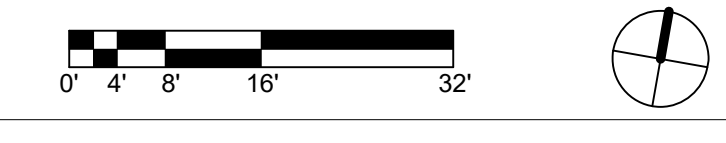
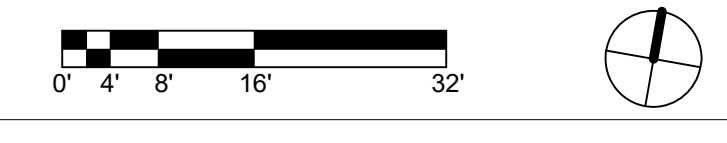
1 LEVEL 9 - OVERALL PLAN

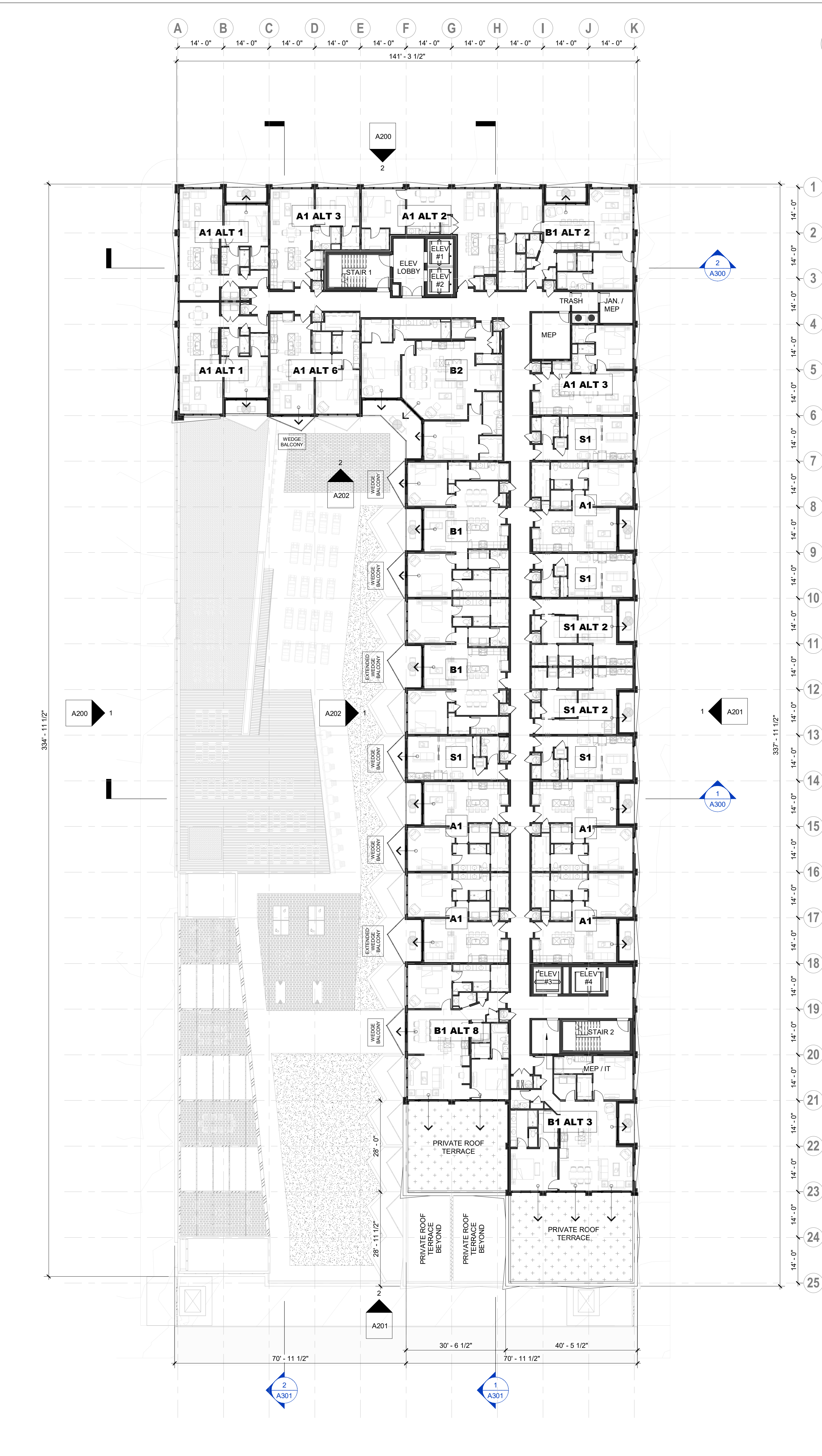
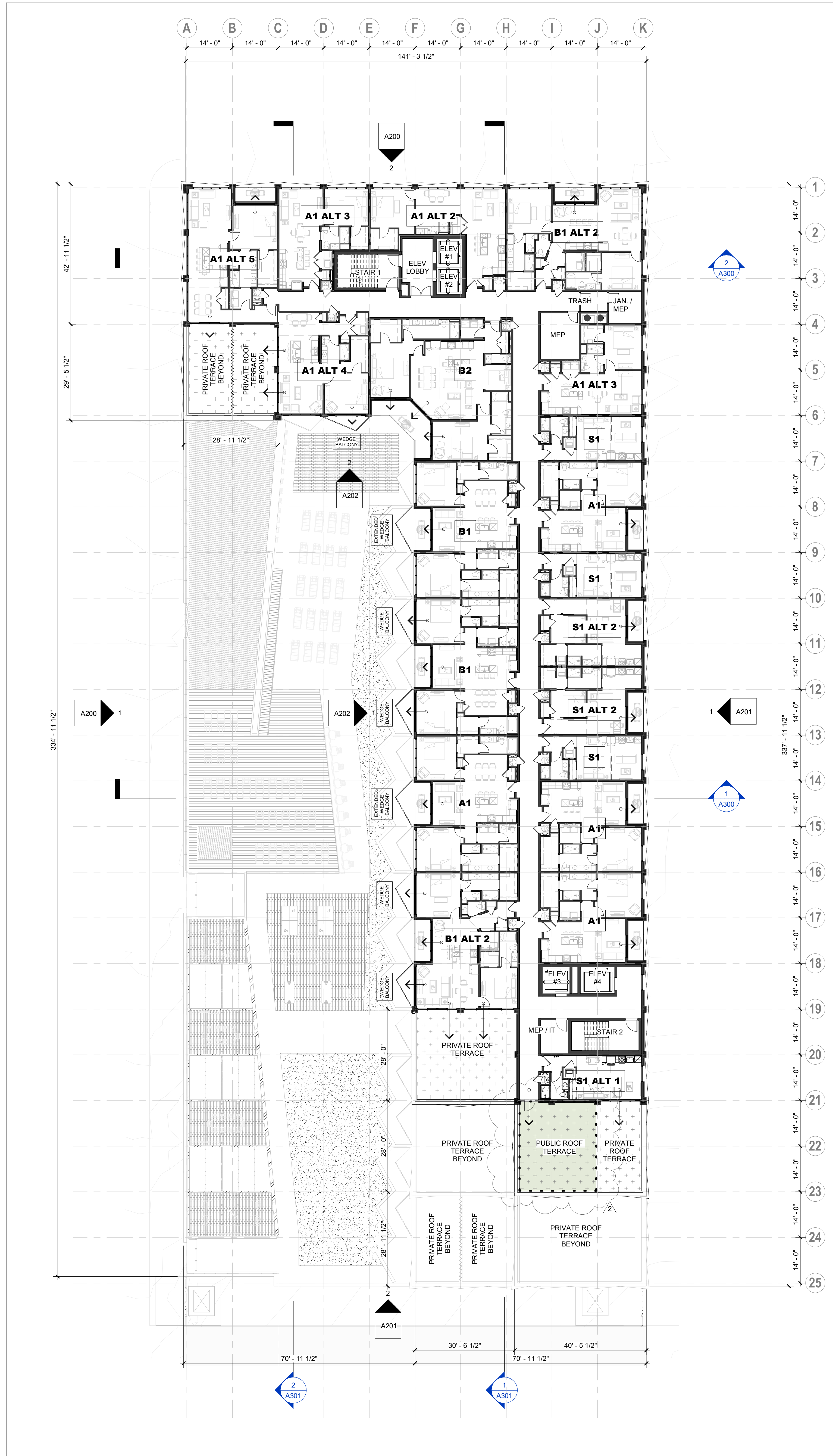
NOTES

1/16" = 1'-0"

1/16" = 1'-0"

1/4" = 1'-0"





PARKLAND DEDICATION (PAYMENT IN LIEU OF LAND DEDICATION):
 RE: SHEET A111 FOR TYPICAL INFO.



UNIT MATRIX

UNIT TYPE	UNIT TYPE COMMENTS	UNIT AREA	%	UNIT TYPE COUNT
B1-BASE	2 BED / 2.5 BATH	444 SF	20.7%	98
B1-ALT 1-CORNER	1 BED / 1 BATH	444 SF	20.7%	1
B1-ALT 2-BASE	2 BED / 2.5 BATH	611 SF	28.6%	13
A1-BASE	1 BED / 1 BATH	508 SF	23.2%	48
A1-ALT 1-CORNER	1 BED / 1 BATH	995 SF	45.9%	1
A1-ALT 2	1 BED / 1 BATH	987 SF	45.4%	1
A1-ALT 3	1 BED / 1 BATH	767 SF	35.2%	1
A1-ALT 4-CORNER	1 BED / 1 BATH	892 SF	40.8%	1
A1-ALT 5-CORNER	1 BED / 1 BATH	1,203 SF	54.8%	1
A1-ALT 6	1 BED / 1 BATH	893 SF	40.9%	1
B1-BASE	2 BED / 2.5 BATH	1,274 SF	58.7%	17
B1-ALT 1-CORNER	2 BED / 2.5 BATH	1,381 SF	62.1%	1
B1-ALT 2-CORNER	2 BED / 2.5 BATH	1,214 SF	55.3%	1
B1-ALT 3-CORNER	2 BED / 2.5 BATH	1,507 SF	68.4%	1
B1-ALT 4-CORNER	2 BED + DEN / 2.5 BATH	1,507 SF	68.4%	1
B1-ALT 5	2 BED / 2.5 BATH	1,341 SF	60.7%	1
B1-ALT 6	2 BED / 2.5 BATH	1,468 SF	66.4%	1
B1-ALT 7-CORNER	2 BED / 2.5 BATH	1,468 SF	66.4%	1
B1-ALT 8-CORNER	2 BED + DEN / 2.5 BATH	1,341 SF	60.7%	1
B1-INSET CORNER	2 BED + DEN / 2.5 BATH	1,300 SF	59.6%	1
				202

- GENERAL NOTES - FLOOR PLANS:**
- DIMENSIONS SHOWN ON THE FLOOR PLAN ARE TO THE FACE OF STUD WALL (FOS), FACE OF MASONRY (FOM), FACE OF CONCRETE WALLS (FCW), AND COLUMN GRID LINES, UNLESS NOTED OR SHOWN OTHERWISE.
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ASCEND: IN THE RIVER MARKET -
 APARTMENT DEVELOPMENT
 413 E. 3RD ST.
 KANSAS CITY, MO

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RE-ZONE TO UR /
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 PLANS & INFO
 NOT FOR
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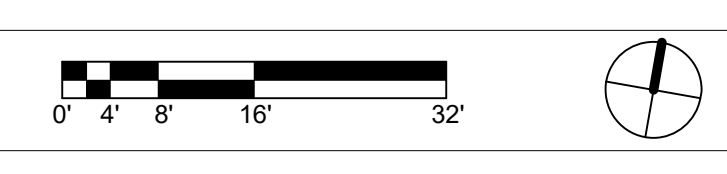
LEVELS 11 &
 12 - FLOOR
 PLANS

sheet number

A115

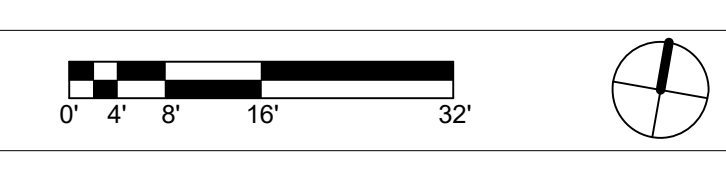
2 LEVEL 12 - OVERALL PLAN

1/16" = 1'-0"



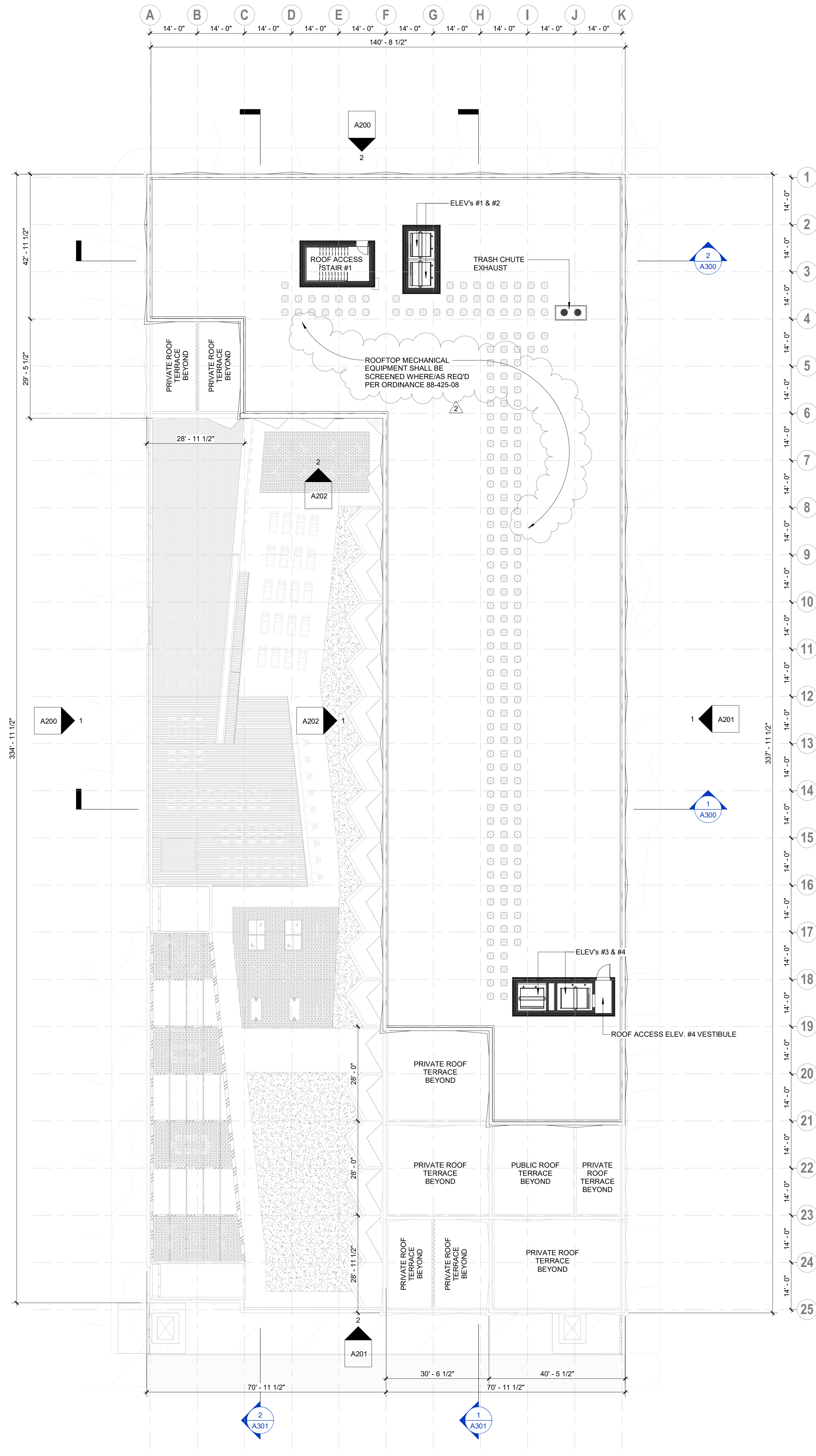
1 LEVEL 11 - OVERALL PLAN

1/16" = 1'-0"



NOTES

1/4" = 1'-0"



UNIT MATRIX

UNIT TYPE	UNIT TYPE COMMENTS	UNIT AREA	%	UNIT TYPE COUNT
BT - BASE	2 STUDIO (1 BATH)	444 SF	29.78%	98
BT - ALT 1 - CORNER	2 STUDIO (1 BATH)	444 SF	29.64%	11
BT - ALT 2 - BASE	2 STUDIO (1 BATH)	601 SF	3.96%	48
AT - BASE	1 BED (1 BATH)	608 SF	21.24%	15
AT - ALT 1 - CORNER	1 BED (1 BATH)	608 SF	6.19%	14
AT - ALT 2	1 BED (1 BATH)	607 SF	3.54%	10
AT - ALT 3	1 BED (1 BATH)	767 SF	7.08%	6
AT - ALT 4 - CORNER	1 BED (1 BATH)	602 SF	0.98%	2
AT - ALT 5 - CORNER	1 BED (1 BATH)	1,203 SF	2.44%	1
AT - ALT 6	1 BED (1 BATH)	603 SF	4.87%	11
BT - BASE	2 BED (2.5 BATH)	1,274 SF	7.32%	17
BT - ALT 1 - CORNER	2 BED (2.5 BATH)	1,341 SF	4.87%	11
BT - ALT 2 - CORNER	2 BED (2.5 BATH)	1,214 SF	3.98%	11
BT - ALT 3 - CORNER	2 BED (2.5 BATH)	1,507 SF	0.44%	1
BT - ALT 4 - CORNER	2 BED (2.5 BATH)	1,507 SF	0.44%	1
BT - ALT 5	2 BED (2.5 BATH)	1,341 SF	0.88%	3
BT - ALT 7 - CORNER	2 BED (2.5 BATH)	1,468 SF	0.44%	1
BT - ALT 8 - CORNER	2 BED (2.5 BATH)	1,341 SF	0.44%	1
BT - INSET CORNER	2 BED (2.5 BATH)	1,300 SF	3.54%	8
				202

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ASCEND: IN THE RIVER MARKET - APARTMENT DEVELOPMENT

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project number 2020-037

date 07.29.21

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2 07.29.21 DRC Comments Response

ROOF PLAN

sheet number

A116

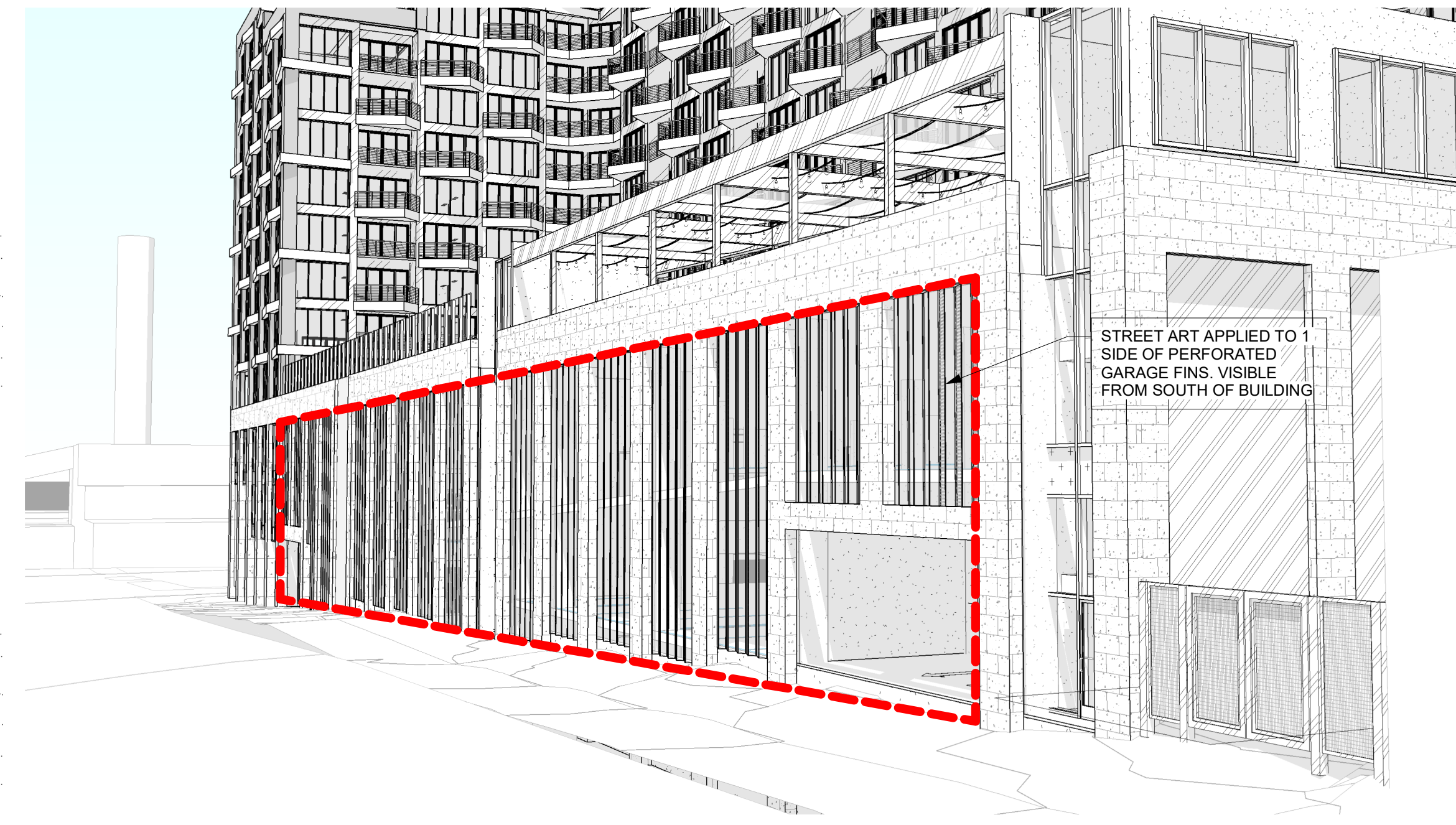
1 ROOF - OVERALL PLAN

1/16" = 1'-0"

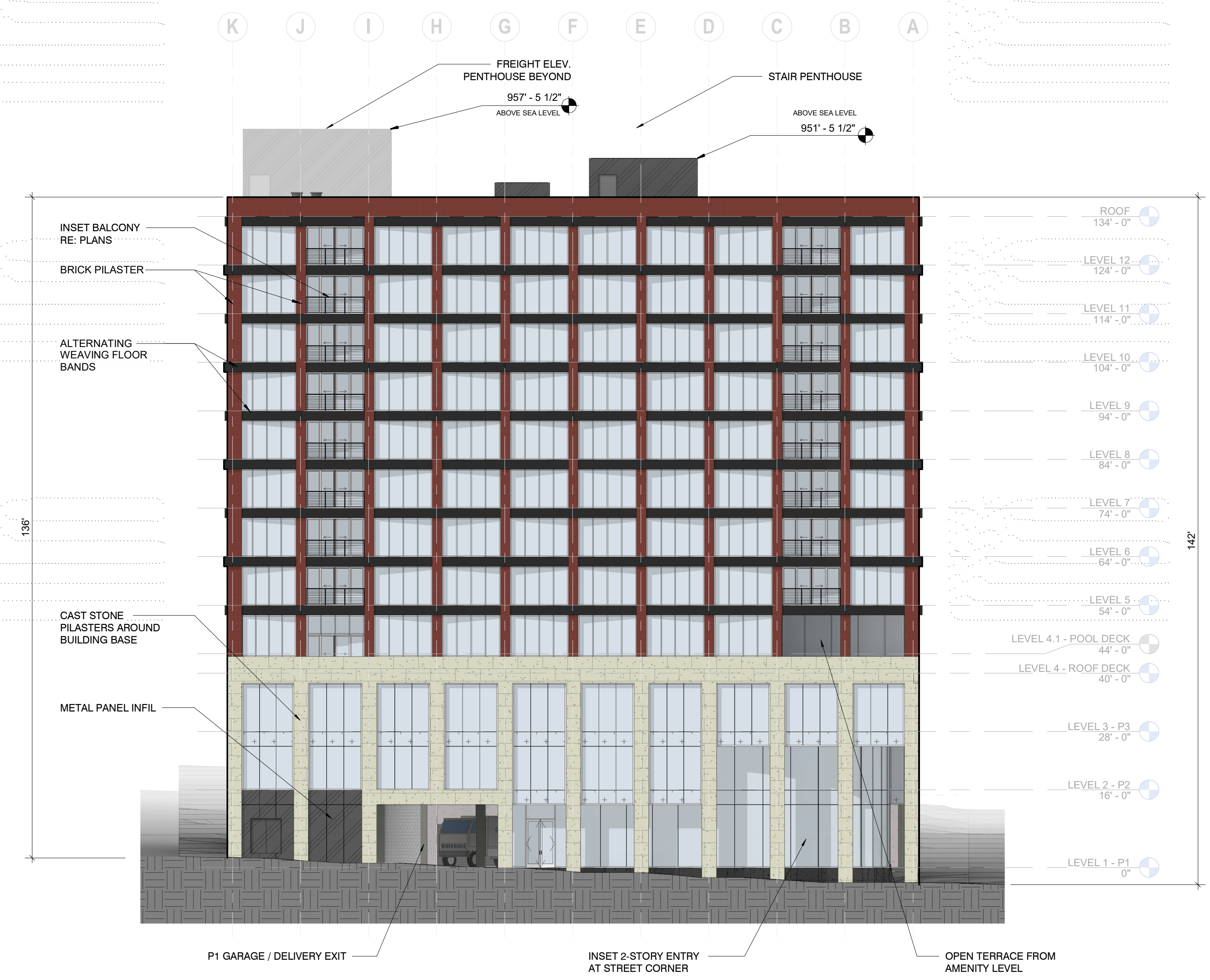
NOTES

1/4" = 1'-0"





3 STREET ART



2 NORTH ELEVATION

1/16" = 1'-0"

EXTERIOR MATERIAL LEGEND

- CAST STONE VENEER BLOCK
 - LARGE FORMAT (12'x24")
 - MECHANICALLY FASTENED
- BRICK VENEER
 - RUNNING BOND
 - FULL DEPTH
- METAL PANEL
- TEXTURED PANEL INFILL, VARYING SHADES OF COLOR, RE: ELEVATIONS
- PERFORATED METAL PANEL (APPLIED MURAL GRAPHICS / ART AT GARAGE)
- GLASS - VISION
- GLASS - SPANDREL
- ALTERNATING WEAVING FLOOR BANDS, SMOOTH FINISH (MATERIAL TBD)



ASCEND - IN THE RIVER MARKET - APARTMENT DEVELOPMENT

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 816.581.6363

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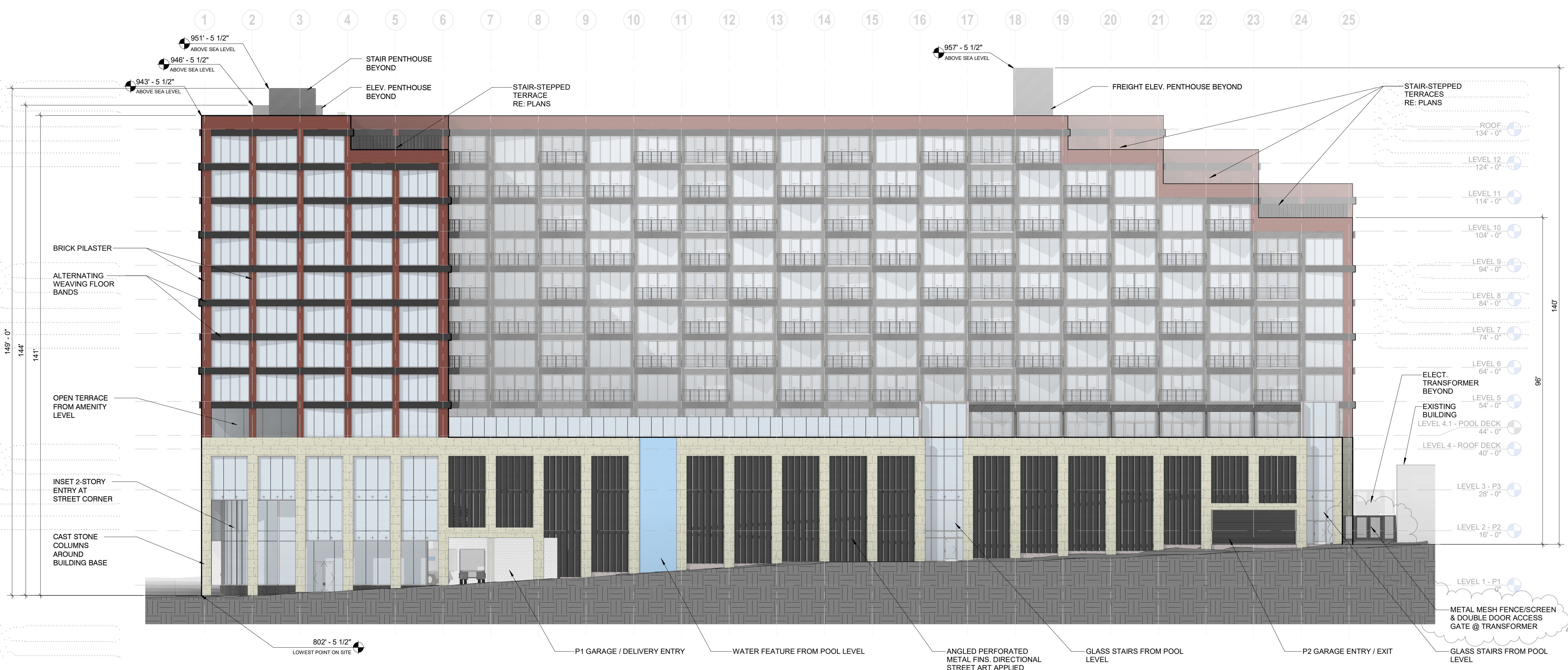
project number 2020-037
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 2 07.29.21 DRC Comments Response

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EXTERIOR ELEVATIONS

sheet number

A200



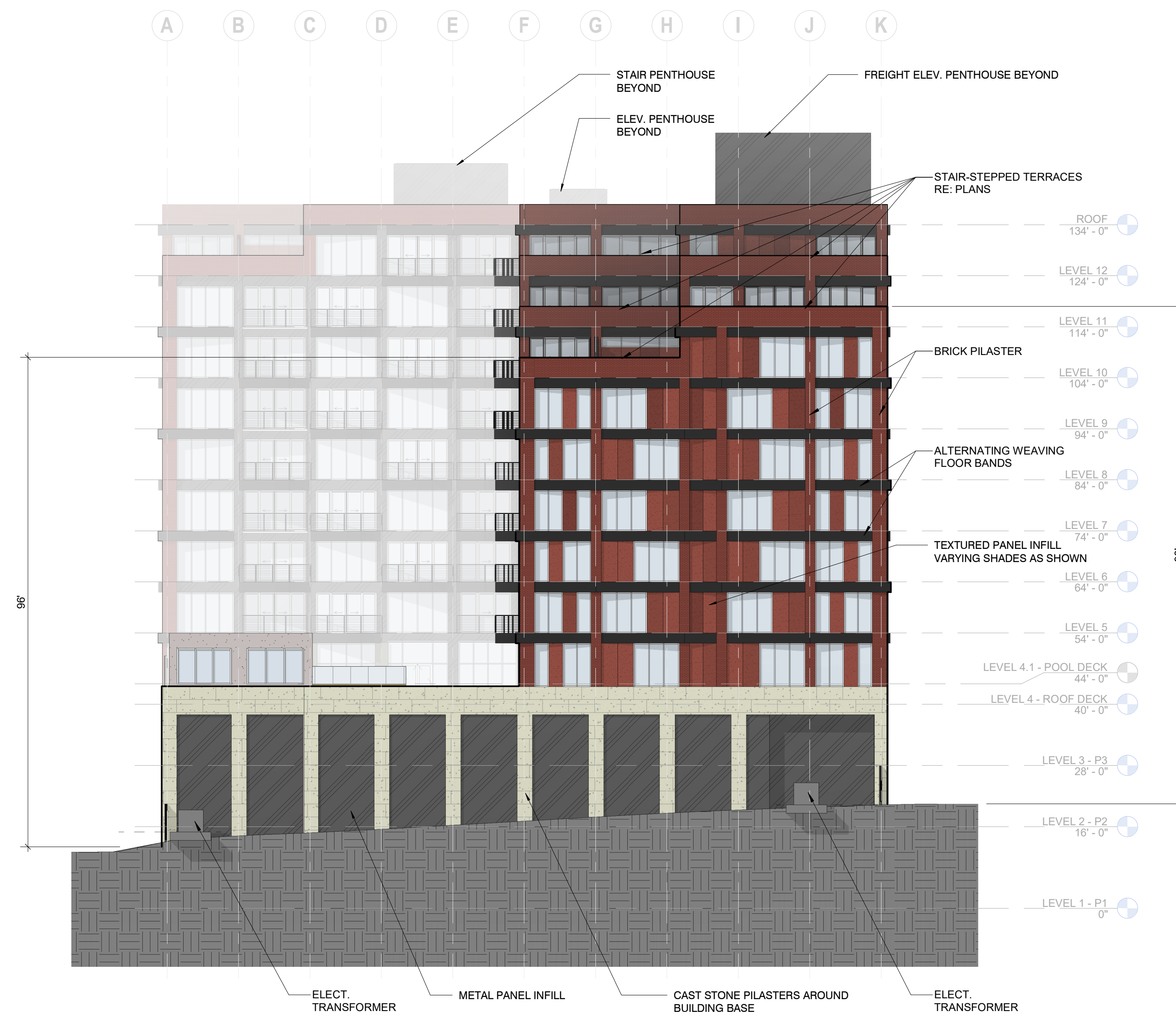
1 WEST ELEVATION

1/16" = 1'-0"

NOTES

1/4" = 1'-0"

- GENERAL NOTES - EXTERIOR ELEVATIONS:**
1. DIMENSIONS SHOWN ON THE EXTERIOR ELEVATIONS ARE TO THE FACE OF EXTERIOR WALL, FACE OF MASONRY (FOM), FACE OF CONCRETE WALLS (FOC), AND COLUMN GRID LINES, UNLESS OTHERWISE NOTED OR INDICATED.
 2. RE: THE WINDOW TYPES SHEET FOR ALL EXTERIOR WINDOW TYPES AND GLASS TYPES.
 3. ALL GLAZING IN CODE SPECIFIED "HAZARDOUS LOCATIONS" (I.E. DOORS, SIDE LITES, ETC.) SHALL COMPLY WITH THE SAFETY GLAZING REQUIREMENTS AS OUTLINED IN SECTIONS 2406 AND 2406.3 OF THE IBC.



2 SOUTH ELEVATION

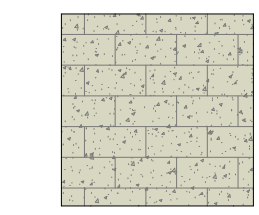
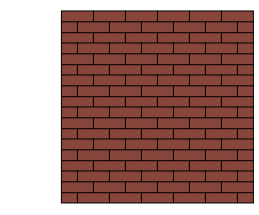
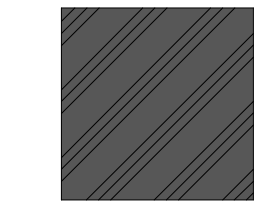
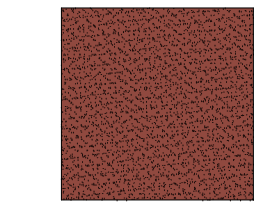
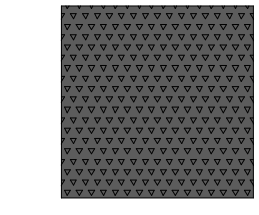
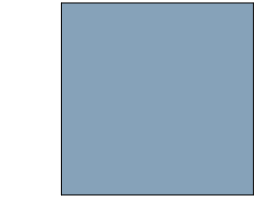
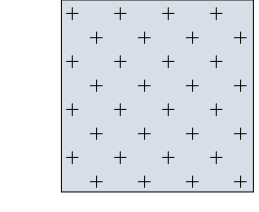

1/16" = 1'-0"



1 EAST ELEVATION

1/16" = 1'-0"

EXTERIOR MATERIAL LEGEND

-  CAST STONE VENEER BLOCK
 - LARGE FORMAT (12'X24')
 - MECHANICALLY FASTENED
-  BRICK VENEER
 - RUNNING BOND
 - FULL DEPTH
-  METAL PANEL
-  TEXTURED PANEL INFILL, VARYING SHADES OF COLOR, RE: ELEVATIONS
-  PERFORATED METAL PANEL (APPLIED MURAL GRAPHICS / ART AT GARAGE)
-  GLASS - VISION
-  GLASS - SPANDREL
-  ALTERNATING WEAVING FLOOR BANDS, SMOOTH FINISH (MATERIAL TBD)



ASCEND: IN THE RIVER MARKET -
APARTMENT DEVELOPMENT

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2	07.29.21	DRC Comments Response

GENERAL NOTES - EXTERIOR ELEVATIONS:

1. DIMENSIONS SHOWN ON THE EXTERIOR ELEVATIONS ARE TO THE FACE OF EXTERIOR WALL, FACE OF MASONRY (FOM), FACE OF CONCRETE WALLS (FOC), AND COLUMN GRID LINES, UNLESS OTHERWISE NOTED OR INDICATED.
2. RE: THE WINDOW TYPES SHEET FOR ALL EXTERIOR WINDOW TYPES AND GLASS TYPES.
3. ALL GLAZING IN CODE SPECIFIED "HAZARDOUS LOCATIONS" (I.E. DOORS, SIDE LITES, ETC.) SHALL COMPLY WITH THE SAFETY GLAZING REQUIREMENTS AS OUTLINED IN SECTIONS 2406 AND 2406.3 OF THE IBC.

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EXTERIOR
ELEVATIONS

sheet number

NOTES

1/4" = 1'-0"

A201

A B C D E F G H I J K



2 SOUTH ELEVATION - INSET

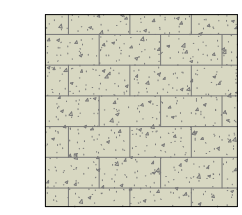
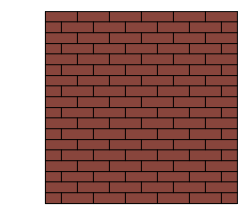
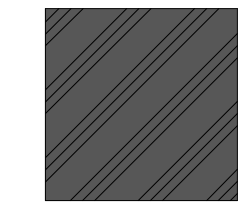
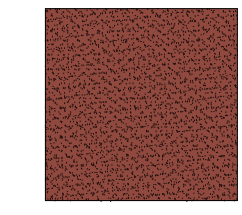
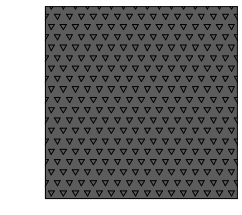
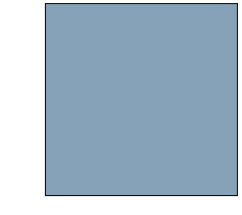
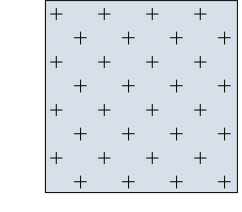

1/16" = 1'-0"



1 WEST ELEVATION - INSET

1/16" = 1'-0"

EXTERIOR MATERIAL LEGEND

-  CAST STONE VENEER BLOCK
 - LARGE FORMAT (12'X24')
 - MECHANICALLY FASTENED
-  BRICK VENEER
 - RUNNING BOND
 - FULL DEPTH
-  METAL PANEL
-  TEXTURED PANEL INFILL, VARYING SHADES OF COLOR, RE: ELEVATIONS
-  PERFORATED METAL PANEL (APPLIED MURAL GRAPHICS / ART AT GARAGE)
-  GLASS - VISION
-  GLASS - SPANDREL
-  ALTERNATING WEAVING FLOOR BANDS, SMOOTH FINISH (MATERIAL TBD)

GENERAL NOTES - EXTERIOR ELEVATIONS:

1. DIMENSIONS SHOWN ON THE EXTERIOR ELEVATIONS ARE TO THE FACE OF EXTERIOR WALL, FACE OF MASONRY (FOM), FACE OF CONCRETE WALLS (FOC), AND COLUMN GRID LINES, UNLESS OTHERWISE NOTED OR INDICATED.
2. RE: THE WINDOW TYPES SHEET FOR ALL EXTERIOR WINDOW TYPES AND GLASS TYPES.
3. ALL GLAZING IN CODE SPECIFIED "HAZARDOUS LOCATIONS" (I.E. DOORS, SIDE LITES, ETC.) SHALL COMPLY WITH THE SAFETY GLAZING REQUIREMENTS AS OUTLINED IN SECTIONS 2406 AND 2406.3 OF THE IBC.

NOTES

1/4" = 1'-0"



ASCEND: IN THE RIVER MARKET -
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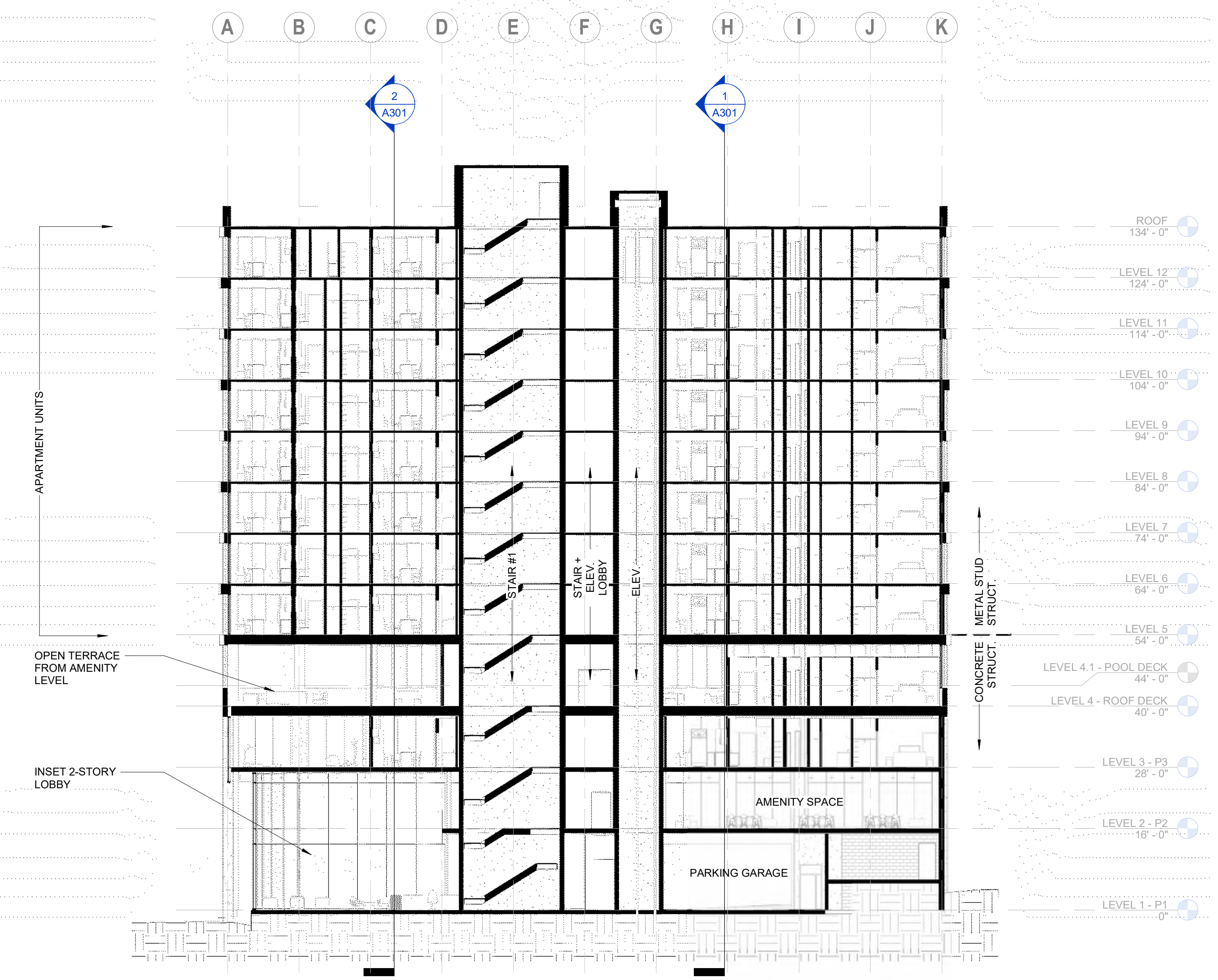
project number 2020-037
date 07.29.21
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rev date description

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EXTERIOR
ELEVATIONS -
INSET

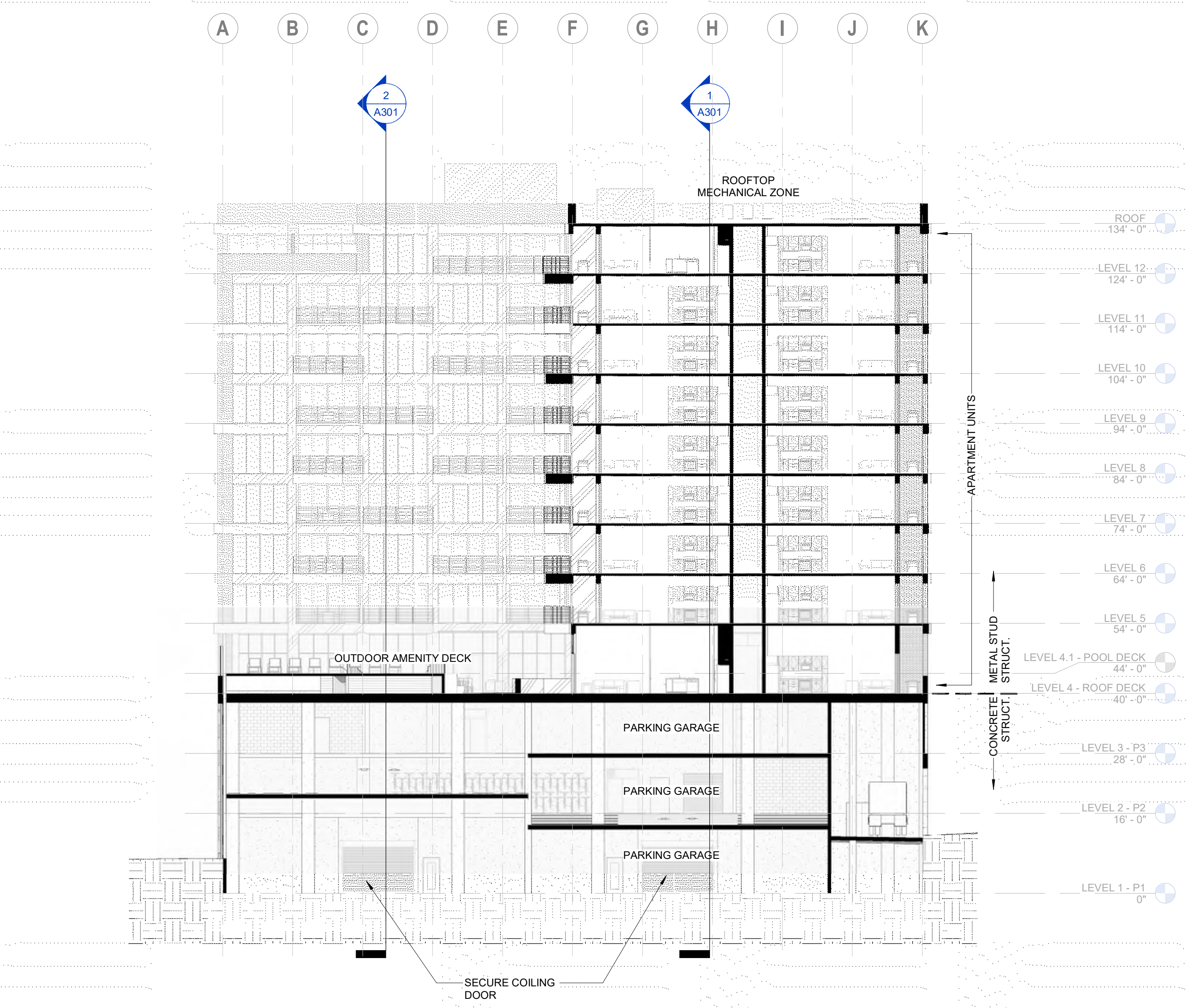
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A202



2 BUILDING SECTION

1/16" = 1'-0"



1 BUILDING SECTION

1/16" = 1'-0"

- GENERAL NOTES - EXTERIOR WALL SECTIONS/ DETAILS:**
1. RE: FLOOR PLANS, ROOF PLAN AND ELEVATIONS FOR SECTION CUT LOCATIONS.
 2. ALL WINDOW AND DOOR OPENING DIMENSIONS ARE ROUGH OPENING DIMENSIONS, UNLESS NOTED OTHERWISE. DIMENSIONS SHOWN ON THE WALL SECTIONS ARE TO THE FACE OF EXTERIOR WALL, FACE OF MASONRY (FOM), FACE OF CONCRETE WALLS (FC), AND COLUMN GRID LINES, UNLESS NOTED OR SHOWN OTHERWISE.
 3. ALL GLAZING IN CODE SPECIFIED "HAZARDOUS LOCATIONS" (i.e. DOORS, SIDE LITES, ETC.) SHALL COMPLY WITH THE SAFETY GLAZING REQUIREMENTS AS OUTLINED IN SECTIONS 2406 AND 2406.3 OF THE IBC.

ASCEND: IN THE RIVER MARKET - APARTMENT DEVELOPMENT

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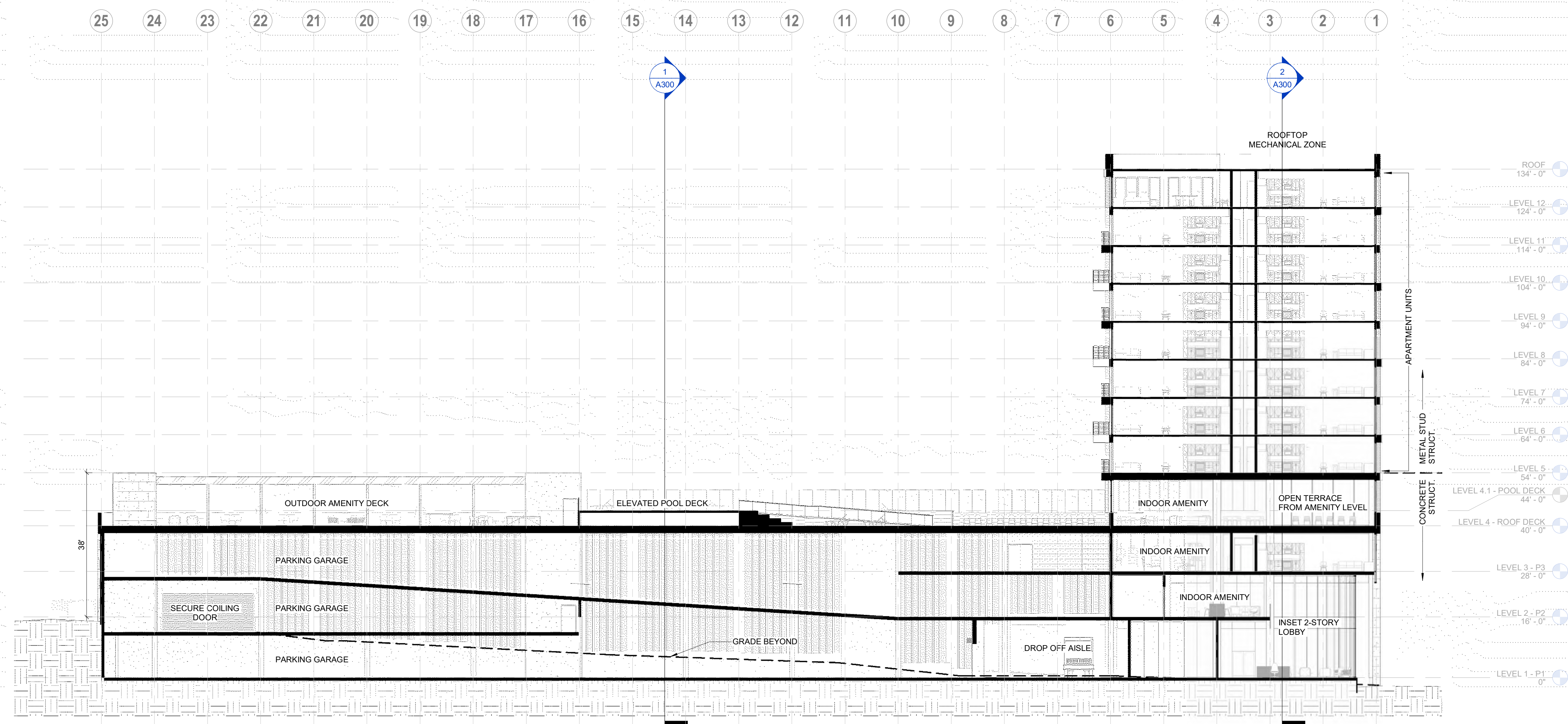
BUILDING SECTIONS

sheet number

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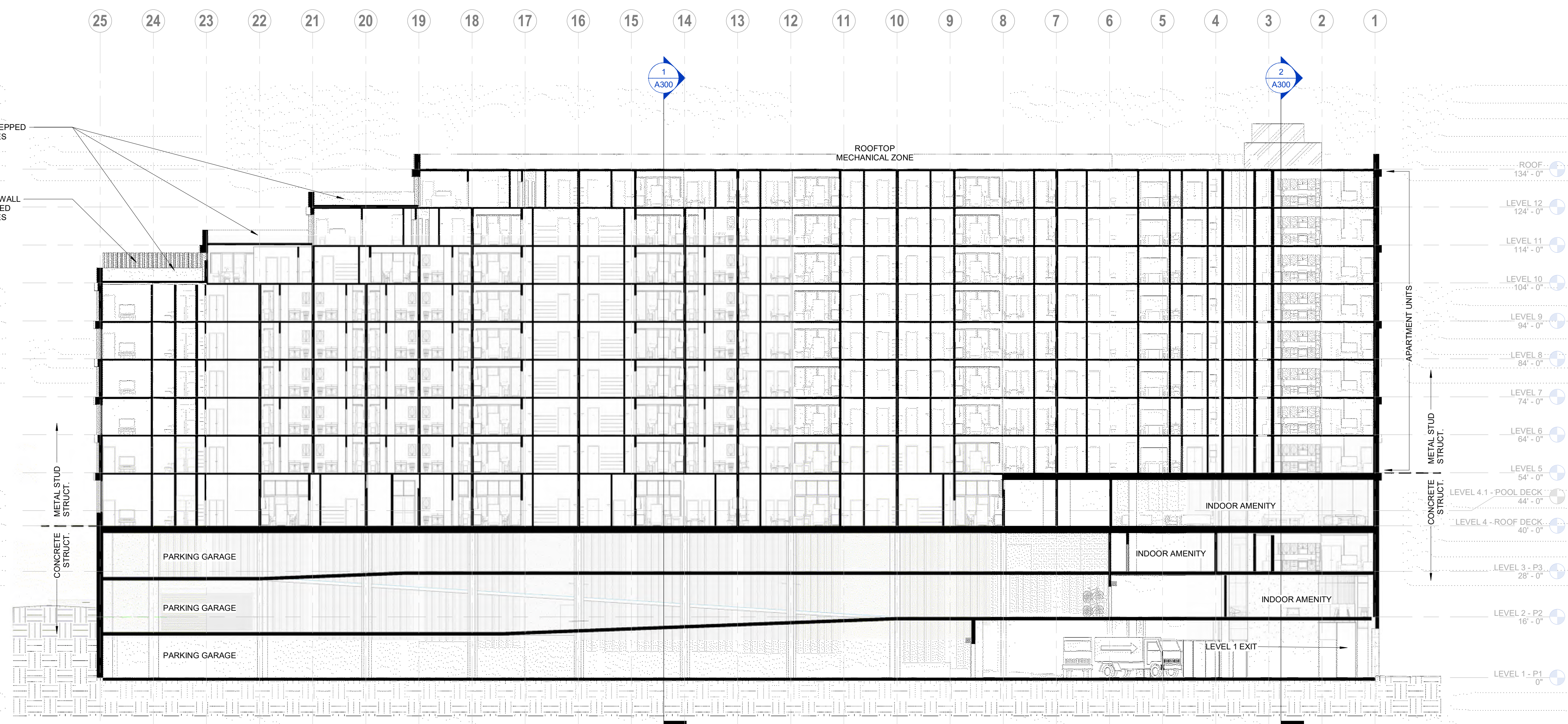
1/4" = 1'-0"

A300



2 BUILDING SECTION

1/16" = 1'-0"



1 BUILDING SECTION

1/16" = 1'-0"

ASCEND: IN THE RIVER MARKET -
APARTMENT DEVELOPMENT

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BUILDING
SECTIONS

sheet number

- GENERAL NOTES - EXTERIOR WALL SECTIONS/
DETAILS:**
1. RE: FLOOR PLANS, ROOF PLAN AND ELEVATIONS FOR SECTION CUT LOCATIONS.
 2. ALL WINDOW AND DOOR OPENING DIMENSIONS ARE ROUGH OPENING DIMENSIONS, UNLESS NOTED OTHERWISE. DIMENSIONS SHOWN ON THE WALL SECTIONS ARE TO THE FACE OF EXTERIOR WALL, FACE OF MASONRY (FOM), FACE OF CONCRETE WALLS (FOC), AND COLUMN GRID LINES, UNLESS NOTED OR SHOWN OTHERWISE.
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NOTES

1/4" = 1'-0"

A301



3D VIEW

3D VIEW



3D VIEW

3D VIEW

ASCEND: IN THE RIVER MARKET -
APARTMENT DEVELOPMENT

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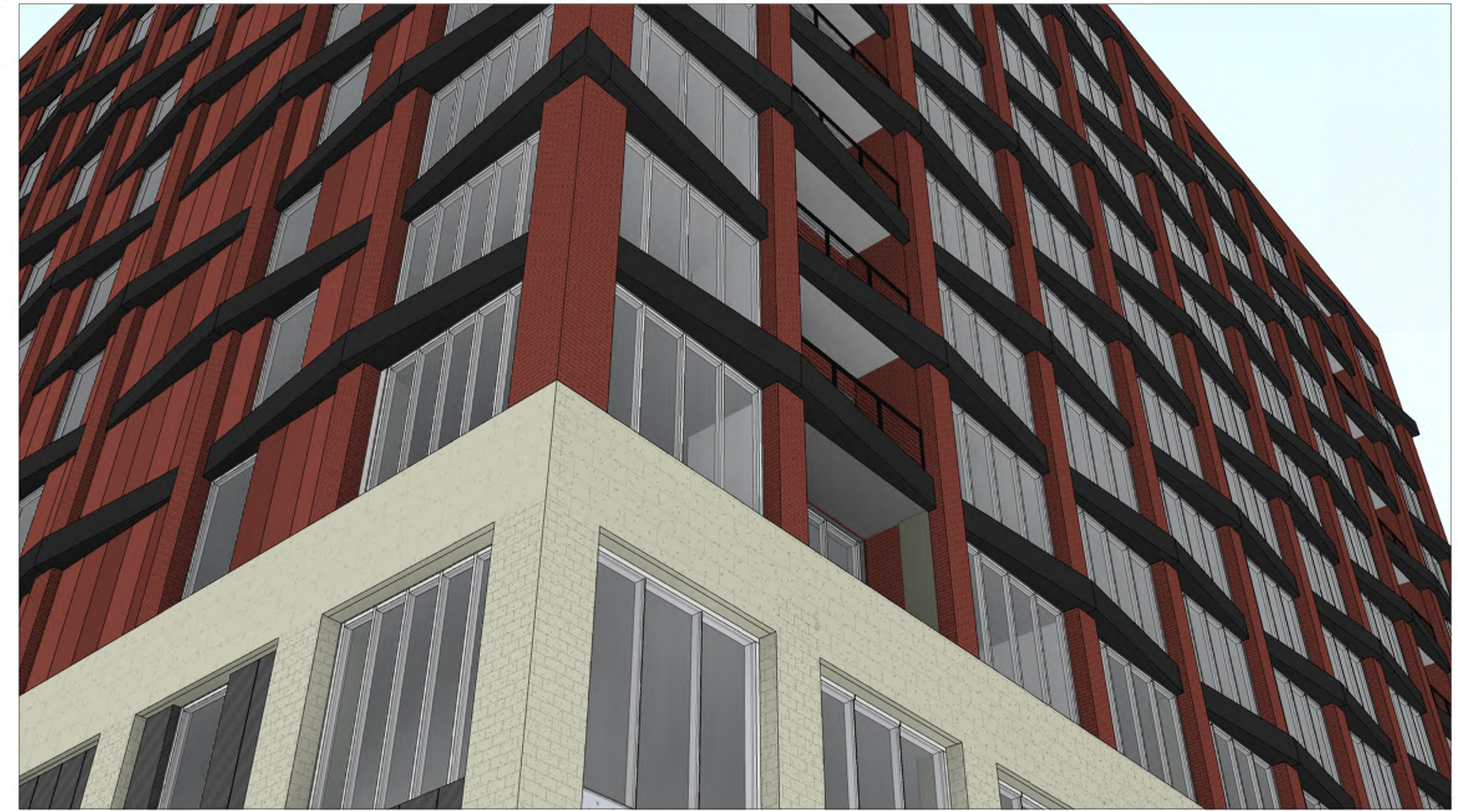
3D VIEWS

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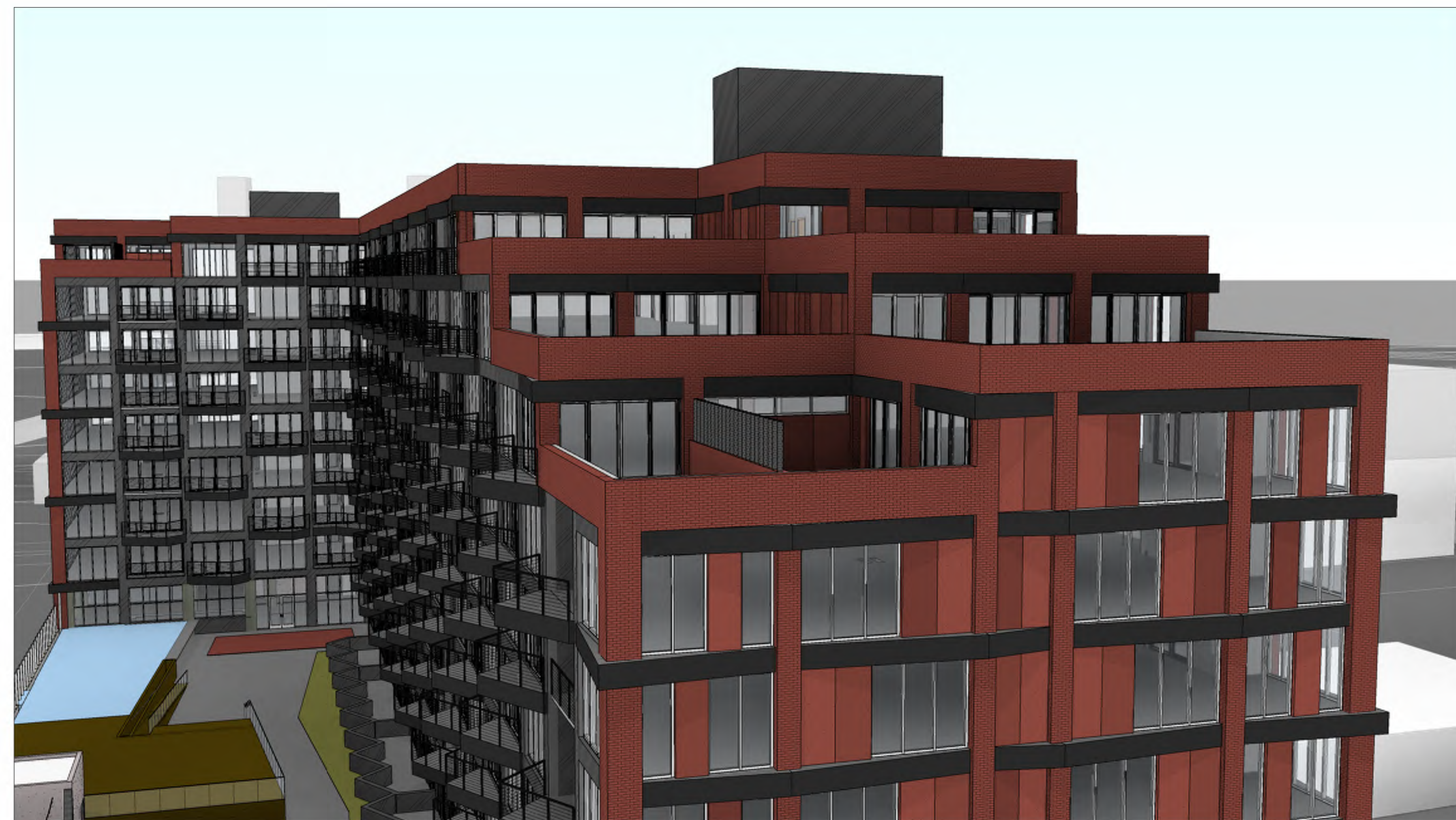
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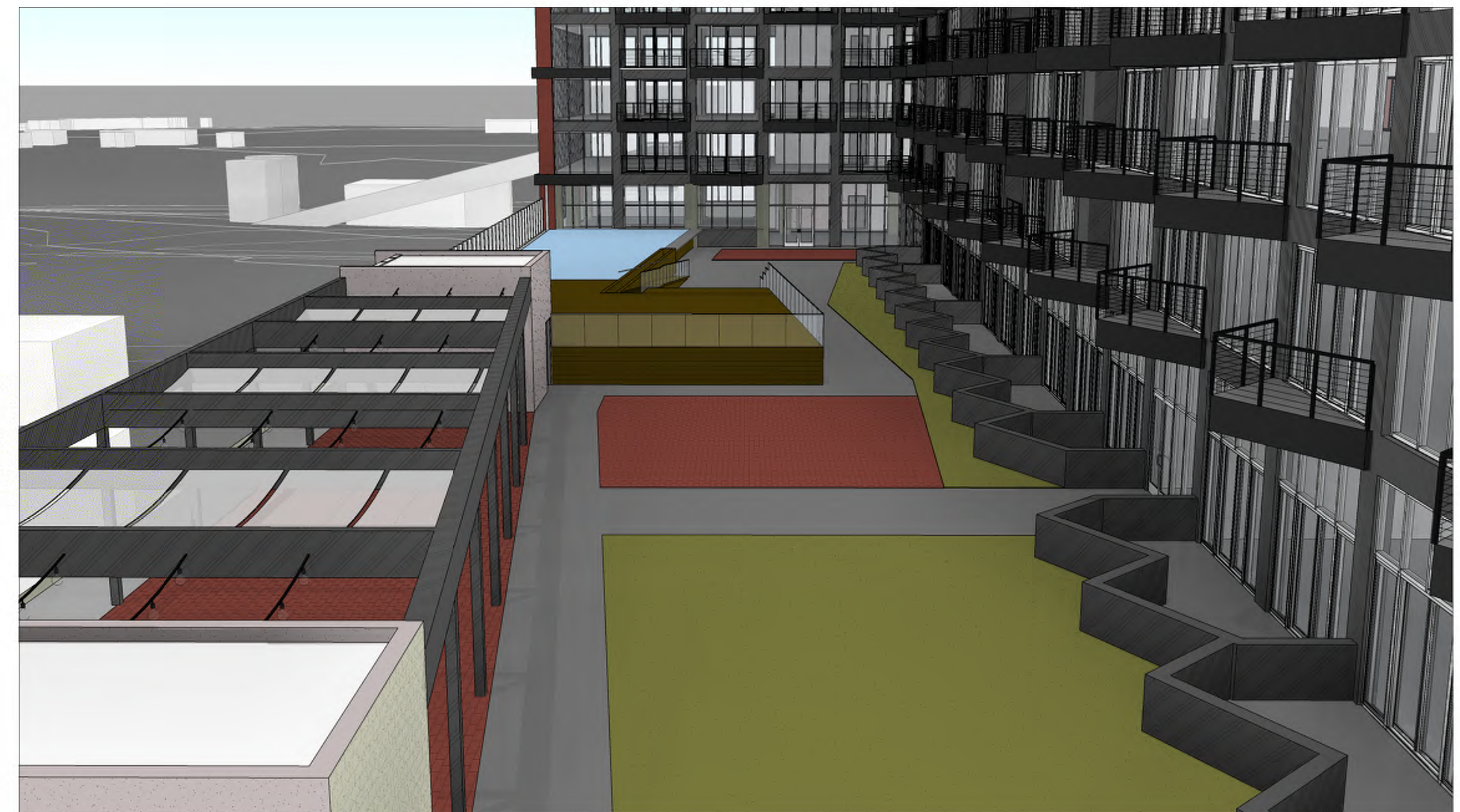
3D VIEW



3D VIEW



3D VIEW



3D VIEW

ASCEND: IN THE RIVER MARKET -
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3D VIEWS

sheet number

A1001