



CITY PLAN COMMISSION STAFF REPORT

City of Kansas City, Missouri
City Planning & Development Department
www.kcmo.gov/cpc

December 18, 2024

Project Name

Falk Quarry

Docket # 9**Request**

CD-CPC-2024-00152

Applicant

Rachelle Biondo
Rouse Fret White Goss Gentile Rhodes,
P.C.

Owner

A. E. Wolfe Environmental Services, Inc.

Location	7300 E. 63 rd Trfy
Area	About 70 Acres
Zoning	M2-2
Council District	5 th
County	Jackson
School District	KCMO

Surrounding Land Uses

North: VFW Post and single family residences on large tracts, zoned R-7.5

South: DST, Winchester Office Center, zoned M2-2 & UR

East: I-435 & Blue Parkway.

West: telecommunication tower, zoned R-7.5 & R-80

Land Use Plan

The Blue Ridge Area Plan recommends Industrial Land Use for this location. The proposed plan aligns with this designation.

Major Street Plan

The City's Major Street Plan shows E. 63rd Trafficway as a "6 Through Lane Street" with three lanes in each direction and a "Thoroughfare" typology.

APPROVAL PROCESS**SUMMARY OF REQUEST + KEY POINTS**

The applicant is seeking approval of a major amendment to an approved development plan to incorporate new phasing and building layout, in District M2-2 (Manufacturing) to allow for the existing land reclamation, quarry, excavation, office, commercial and warehouse development.

PROJECT TIMELINE

The application for the subject request was filed on 10/11/2024. Scheduling deviations from 2024 Cycle 12.1 have occurred.

- Administrative error in public notification.

NEIGHBORHOOD AND CIVIC ORGANIZATIONS NOTIFIED

The subject site is located within the Swope Ridge Neighborhood Association.

REQUIRED PUBLIC ENGAGEMENT

Public engagement as required by 88-505-12 does apply to this request. Applicant hosted a meeting on November 19, 2024. A summary of the meeting is attached to the staff report, see Attachment #3.

EXISTING CONDITIONS

The site is an existing quarry/ underground mining operation which has approximately 2,000 feet of frontage along I-435 and approximately 3,200 feet along E. 63rd Trafficway. Access to the telecommunication tower parcel to the west is through this quarry. There is about 120 – 150 feet change in grade from the residentially zoned properties to the north. To the north of the site is the VFW post and single family residences on large tracts. South of the site is the DST Systems offices within the Winchester Business Center. To the east is I-435 & Blue Parkway and to the west is an existing telecommunication tower

PROFESSIONAL STAFF RECOMMENDATION

Docket #9 Recommendation
Approval subject to conditions.

CONTROLLING + RELATED CASES

Case Nos. 14459-P & 14459-P-1 – Ordinance No. 140482 passed by City Council on June 19, 2014, rezoned and approved a development plan in District M2-2 allowing for the existing land reclamation, quarry, excavation, and future office, commercial and warehouse development on about 70 acres generally located at the northwest corner of E. 63rd Trafficway and I-435.

Vicinity Map



Background

The current plan approved in 2014, rezoned and approved a development plan in District M2-2 allowing for the existing land reclamation, quarry, excavation, and future office, commercial and warehouse development on this site. The plan allowed for about 410,000 square feet of development with 465 parking spaces in 4 phases. The plan is yet to be activated.

The property was annexed into the City in 1957. Prior to 1965, the property was owned by Union Quarries who operated the underground mine/quarry. In 1965, it was transferred to Belger Cartage (or one of its entities) which continued the existing uses on the property. The property was acquired by A. E. Wolfe in 1983, who is the current owner/ operator and applicant.

PLAN REVIEW

The applicant is seeking approval of a major amendment to an approved development plan to incorporate new phasing and building layout, in District M2-2 (Manufacturing) to allow for the existing land reclamation, quarry, excavation, office, commercial and warehouse development. The current plan approved in 2014, rezoned and approved a development plan in District M2-2 allowing for the existing land reclamation, quarry, excavation, and future office, commercial and warehouse development on this site.

The proposed amendment will completely abandon the 400,000 square foot development proposal, and replaced it with a two story metal office building in conjunction with existing operations. The plan also serves as

a preliminary plat proosing two lots. Lot 1 will house the storage of materials, equipment, parking and the office building. Lot 2 will be limited to ongoing quarry operations.

Access to the development will be provided via the existing driveway on the north side of E. 63rd Traffic Way. The plan does not show pedestrian connectivity to the public right of way from the proposed office building. Staff recommends the plan be revised to show a safe pedestrian connection to E. 63rd Street.

Per Section 88-517-12-C, The city council may approve a development plan that deviates from any of the lot and building standards of this zoning and development code if the proposed use is consistent with the zoning of the property. This plan also allows the continued operation of the quarry.

WAIVERS AND DEVIATIONS

None.

PLAN ANALYSIS

*indicates adjustment/deviation requested

Standards	Applies	Meets	More Information
Lot and Building Standards (88-140)	YES	YES	
Parking and Loading Standards (88-420)*	YES	YES	
Landscape and Screening Standards (88-425)	Yes	YES	
Outdoor Lighting Standards (88-430)	YES	YES	
Sign Standards (88-445)	YES	NO	Signs must be permitted separately
Pedestrian Standards (88-450)	Yes	NO	Per staff correction

SPECIFIC REVIEW CRITERIA

Development Plans, Project Plan, or Site Plan (88-516-05)

In order to be approved, a development plan, project plan, or site plan must comply with all of the following criteria:

- A. The plan must comply with all standards of the Zoning and Development Code and all other applicable city ordinances and policies;**
The proposed development plan complies with all standards of the Zoning and Development Code as well as the Blue Ridge Area Plan. (OA)
- B. The proposed use must be allowed in the district in which it is located;**
Proposed use is allowed by Section 88-140 of the Zoning and Development Code. (OA)
- C. Vehicular ingress and egress to and from the site, and circulation within the site must provide for safe, efficient, and convenient movement of traffic not only within the site but on adjacent roadways;**
Proposed vehicular ingress and egress to and from the site allows for safe and efficient movement. (OA)
- D. The plan must provide for safe, efficient, and convenient non-motorized travel opportunities, being pedestrian and bicycle movement, on the subject site;**
The proposed plan does not show on site pedestrian circulation connecting to the public right of way. Staff recommend as sidewalk be shown on the plan. (OA)
- E. The plan must provide for adequate utilities based on City standards for the particular development proposed.**
There is existing public infrastructure serving the site from the perimeter. Additional utilities and infrastructure will be brought to City Standards subject to staff corrections and conditions. (OA)

F. The location, orientation, and architectural features, including design and material, of buildings and other structures on the site must be designed to be compatible with adjacent properties.

The developer submitted a typical metal building plans with elevation without material descriptions and details. This building will not be visible from the public right of way. (OA)

G. Landscaping, berms, fences, and/or walls must be provided to buffer the site from undesirable views, noises, lighting, or other off-site negative influences and to buffer adjacent properties from negative influences that may be created by the plan.

The site sits below the existing residences to the north and above E. 63rd Traffic Way on the south. The applicant has provided a landscaping plan that focuses landscaping elements along the public roadway frontages. (OA)

H. The design of streets, drives, and parking areas within the project should result in a minimum of area devoted to asphalt or other impervious surfaces consistent with the needs of the project and city code requirements.

The proposed site plan provides an efficient layout for the proposed uses as the uses will not be visible from the public right of way. (OA)

I. The plan must identify trees to be removed and trees to be preserved during the development of the subject property with the goal of saving trees that are not required to be removed for the development of the property.

There are no existing trees on the site. (OA)

ATTACHMENTS

1. Conditions Report
2. Applicants Submittal
3. Public Engagement Materials

PROFESSIONAL STAFF RECOMMENDATION

City staff recommend **APPROVAL subject to conditions** as stated in the conditions report.

Respectfully Submitted,



Olofu Agbaji
Planner



Plan Conditions

Report Date: December 17, 2024

Case Number: CD-CPC-2024-00152

Project: Falk Quarry

Condition(s) by City Planning and Development Department. Contact Matthew Barnes at (816) 513-8817 / matthew.barnes@kcmo.org with questions.

1. That the developer must submit application and gain approval of a Final Plat prior to issuance of any Certificate of Occupancy for this site.

Condition(s) by City Planning and Development Department. Contact Olofu Agbaji at (816) 513-8815 / Olofu.Agbaji@kcmo.org with questions.

2. All signage shall conform to 88-445 and shall require a sign permit prior to installation.
3. The developer shall submit an affidavit, completed by an ISA certified arborist, an SAF certified forester, a professional engineer, or a landscape architect licensed in the State of Missouri, verifying that all trees preserved and all trees planted to meet mitigation required of the approved plan, whichever is applicable, has been installed or preserved in accordance with the plan and is healthy prior to Certificate of Occupancy.
4. That prior to issuance of the Certificate of Occupancy for each lot within the plat the developer shall submit an affidavit, completed by a landscape architect licensed in the State of Missouri, verifying that street trees have been installed in accordance with the approved Street Tree Planting Plan and are healthy.
5. The developer shall screen all roof and/or ground mounted mechanical and utility equipment in compliance with 88-425-08.
6. The developer shall submit an affidavit, completed by a landscape architect licensed in the State of Missouri, verifying that all landscaping required of the approved plan has been installed in accordance with the plan and is healthy prior to Certificate of Occupancy.

Condition(s) by Fire Department. Contact Joseph Ragsdale at (816) 513-4643 / Joseph.Ragsdale@kcmo.org with questions.

7. Fire hydrants shall be installed and operable prior to the arrival of any combustible building materials onto the site. (IFC-2018 § 501.4 and 3312.1; NFPA 241-2013 § 8.7.2)
8. Security gates which span across a fire access road shall provide a means for emergency operation. Electric gates shall require a siren sensor device typically referred to as a "yelp gate" (IFC-2018 § 503.6).
9. Dead-end fire apparatus access roads in excess of 150 feet (45 720 mm) in length shall be provided with an approved area for turning around fire apparatus. (IFC-2018: § 503.2.5)
10. The turning radius for fire department access roads shall be 30 feet inside and 50 feet outside radius. (IFC-2018: § 503.2.4)
11. Required fire department access roads shall designed to support a fire apparatus with gross axle weight of 85,000 pounds. (IFC-2018: § 503.2.3)
12. A required fire department access roads shall be an all weather surface. (IFC-2012: § 503.2.3) (No Grass Pavers Allowed)
13. Required fire department access roads shall be a minimum unobstructed width of twenty (20) feet and 13 ft. 6 in clearance height. Check with Streets & Traffic (KCMO Public Works) or Missouri Department of Transportation (MODOT) that may have street planning regulations that supersede the Fire Code. (IFC-2018: § 503.2.1)
14. Fire Department access roads shall be provided prior to construction/demolition projects begin. (IFC-2018 § 501.4 and 3310.1; NFPA 241-2013 § 7.5.5)

Condition(s) by Fire Department. Contact Joseph Ragsdale at (816) 513-4643 / Joseph.Ragsdale@kcmo.org with questions.

15. Fire hydrant(s) shall be within 400 feet on a fire access road following an approved route established by the Authority Having Jurisdiction (AHJ) of any exterior portion of a building. The use of existing fire hydrant(s) may be used to satisfy this requirement otherwise a private fire hydrant(s) or hydrant system may be required. This distance may be increased to 600 feet for R-3 and U occupancy(s) or the building(s) is fully protected by an approved automatic fire sprinkler system(s).
(IFC-2018: § 507.5.1)
16. The developer shall meet the fire flow requirements as set forth in Appendix B of the project International Fire Code 2018.
(IFC-2018 § 507.1)

Condition(s) by Parks & Recreation. Contact Virginia Tharpe at / virginia.tharpe@kcmo.org with questions.

17. The developer shall submit a streetscape plan with street tree planting plan per 88-425-03 for approval and permitting by the Parks & Recreation Department's Forestry Division prior to beginning work in the public right-of-way
18. The developer shall be responsible for tree preservation in an easement or platted tract, mitigation planting, or payment of cash-in-lieu of preservation or mitigation planting, or any combination thereof in accordance with 88-424. Should the developer choose to pay cash-in-lieu of preservation or mitigation of all or a portion of the required area, the amount due shall be based upon the rate specified in 88-424. This requirement shall be satisfied prior to issuance of certificate of occupancy, or prior to the recording of the final plat, whichever occurs first.

Condition(s) by Public Works Department. Contact Terry Thomas at (816) 513-2510 / Terry.A.Thomas@kcmo.org with questions.

19. The developer shall submit verification of vertical and horizontal sight distance for the drive connection to public right-of-way to the Land Development Division and make improvements to ensure local jurisdiction and/or minimum AASHTO adequate sight distance standards are met, prior to issuance of any certificate of occupancy.
20. The developer shall pay impact fees as required by Chapter 39 of the City's Code of ordinances as required by the Land Development Division.
21. The developer shall submit a streetscape plan for approval and permitting by the Land Development Division prior to beginning construction of the streetscape improvements in the public right of way, and construct ADA compliant ramps at all required locations where new private drives are being added, or where existing sidewalks are modified or repaired.

Condition(s) by Water Services Department. Contact Heather Massey at (816) 513-2111 / heather.massey@kcmo.org with questions.

22. Water/Sewer Service lines shall serve only one lot or tract and shall not cross a separate lot or tract.
23. The developer shall have a water flow test done to ensure there is adequate water pressure to serve the development.
South of River contact - Patrick Lewis 816-513-0423
North of River contact - David Gilyard 816-513-4772
24. No water service tap permits will be issued until the public water main is released for taps.
25. The developer shall ensure that water and fire service lines should meet current Water Services Department Rules and Regulations. Prior to C of O.
<https://www.kcwater.us/wp-content/uploads/2022/05/2022-Rules-and-Regulations-for-Water-Service-Lines-Final.pdf>

Condition(s) by Water Services Department. Contact Kirk Rome at (816) 513-0368 / kirk.rome@kcmo.org with questions.

26. Submit water main extension plans through Compass KC as prepared by a Missouri PE meeting all KC Water Rules and Regulations. The water main extension shall be under contract (permitted) prior to plat recording or building permit issuance.

Condition(s) by Water Services Department. Contact Lucas Kaspar at (816) 513-2131 / Lucas.Kaspar@kcmo.org with questions.

27. The developer must submit a storm drainage study with the first Plat or Phase, from a Missouri-licensed civil engineer to KC Water showing compliance with current adopted standards in effect at the time of submission, including Water Quality BMP's, to KC Water for review and acceptance for the disturbed area. The developer shall secure permits to construct any improvements as necessary to mitigate impacts from rate, volume, and quality of runoff from each proposed phase, prior to recording the plat or prior to issuance of a Building Permit, whichever occurs first as required by KC Water.

Condition(s) by Water Services Department. Contact Lucas Kaspar at (816) 513-2131 / Lucas.Kaspar@kcmo.org with questions.

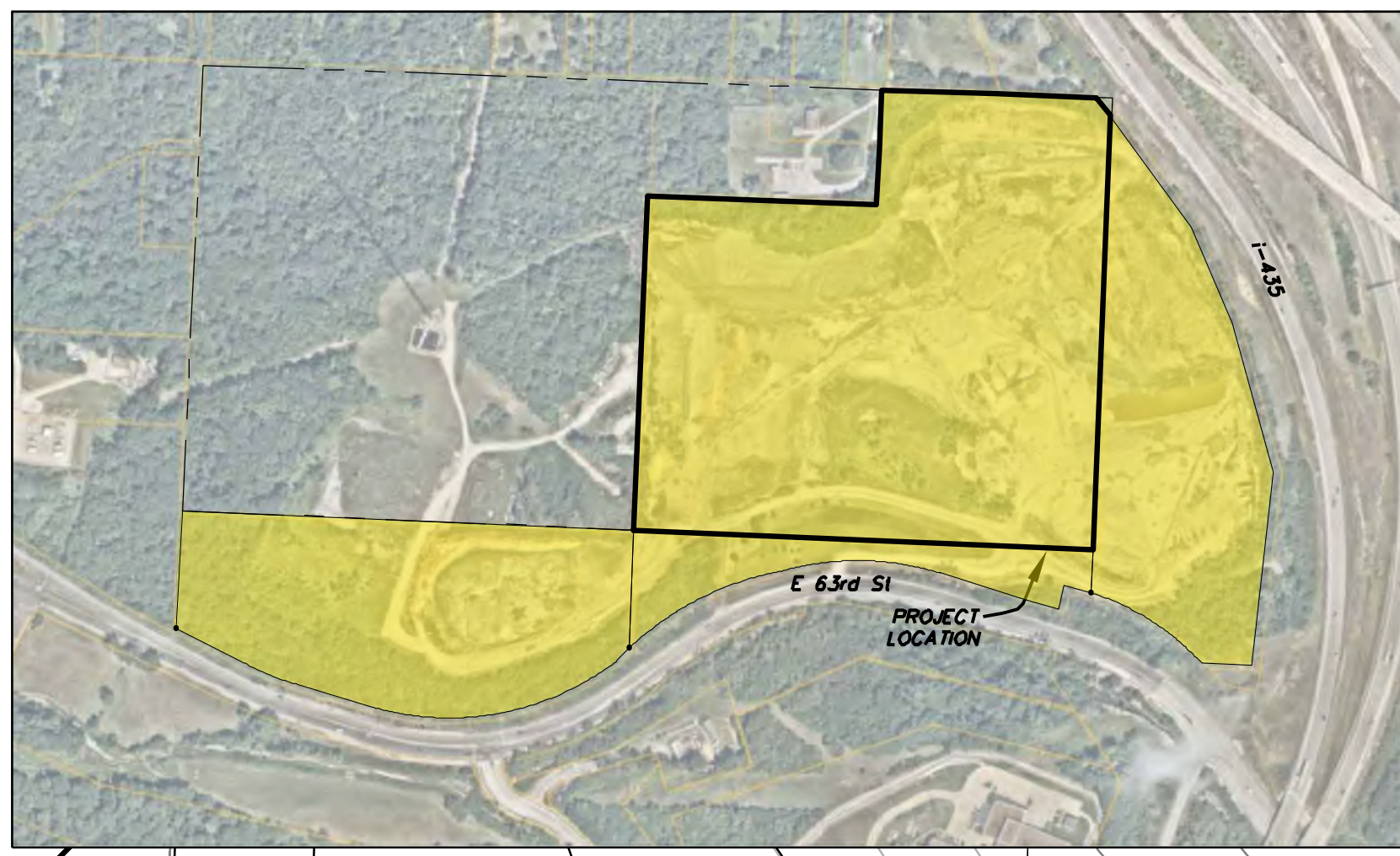
28. The owner/developer must submit plans for grading, siltation, and erosion control to KC Water for review and acceptance, and secure a Site Disturbance permit for any proposed disturbance area equal to one acre or more prior to beginning any construction activities.
29. The developer must grant a BMP Easement to the City as required by KC Water, prior to recording the plat or issuance of any building permits.
30. The developer shall cause the area to be platted and processed in accordance with Chapter 88, Code of Ordinances of the City of Kansas City, Missouri, as amended, commonly known as the Development Regulations.
31. The developer must obtain a Floodplain Development Permit from Development Services prior to beginning any construction activities with the floodplain.
32. The developer must show the limits of the 100-year floodplain on the final plat and show the Minimum Low Opening Elevation (MLOE) of any structure on each lot that abuts a 100-year flood prone area (including detention basins and engineered surface drainage conveyances) on any plat and plan, as required by KC Water.
33. The developer shall submit a Preliminary Stream Buffer plan prior to approval of the plan in accordance with the Section 88-415 requirements.
34. The developer shall submit a final stream buffer plan to KC Water for approval prior to issuance of any building permits and obtain permits for the Stream Buffer prior to removal of any mature riparian species within the buffer zones due to construction activities on the site, in accordance with the Section 88-415 requirements.
35. The developer must grant on City approved forms, a STREAM BUFFER Easement to the City, as required by Chapter 88 and KC Water, prior to issuance of any stream buffer permits.

NOTE:
Project Plan not required as this development plan contains all of the necessary information.

MONUMENT SIGN NOTES:
-Any monument or site sign shall comply with Section 88-445

MECHANICAL EQUIPMENT AND UTILITY CABINET NOTES:
-Any Mechanical Equipment and Utility Cabinets shall comply with Section 88-425-08-B and 88-425-08-D

INDEX OF SHEETS:
C.001 - DEVELOPMENT PLAN
C.002 - EXISTING CONDITIONS
C.003 - PRELIMINARY PLAT
C.100 - OVERALL SITE PLAN
C.200 - OVERALL GRADING PLAN
C.300 - UTILITY PLAN
L.100 - LANDSCAPE PLAN
L.101 - TREE PRESERVATION PLAN
A.1 - EXTERIOR ELEVATIONS
A.2 - EXTERIOR ELEVATIONS

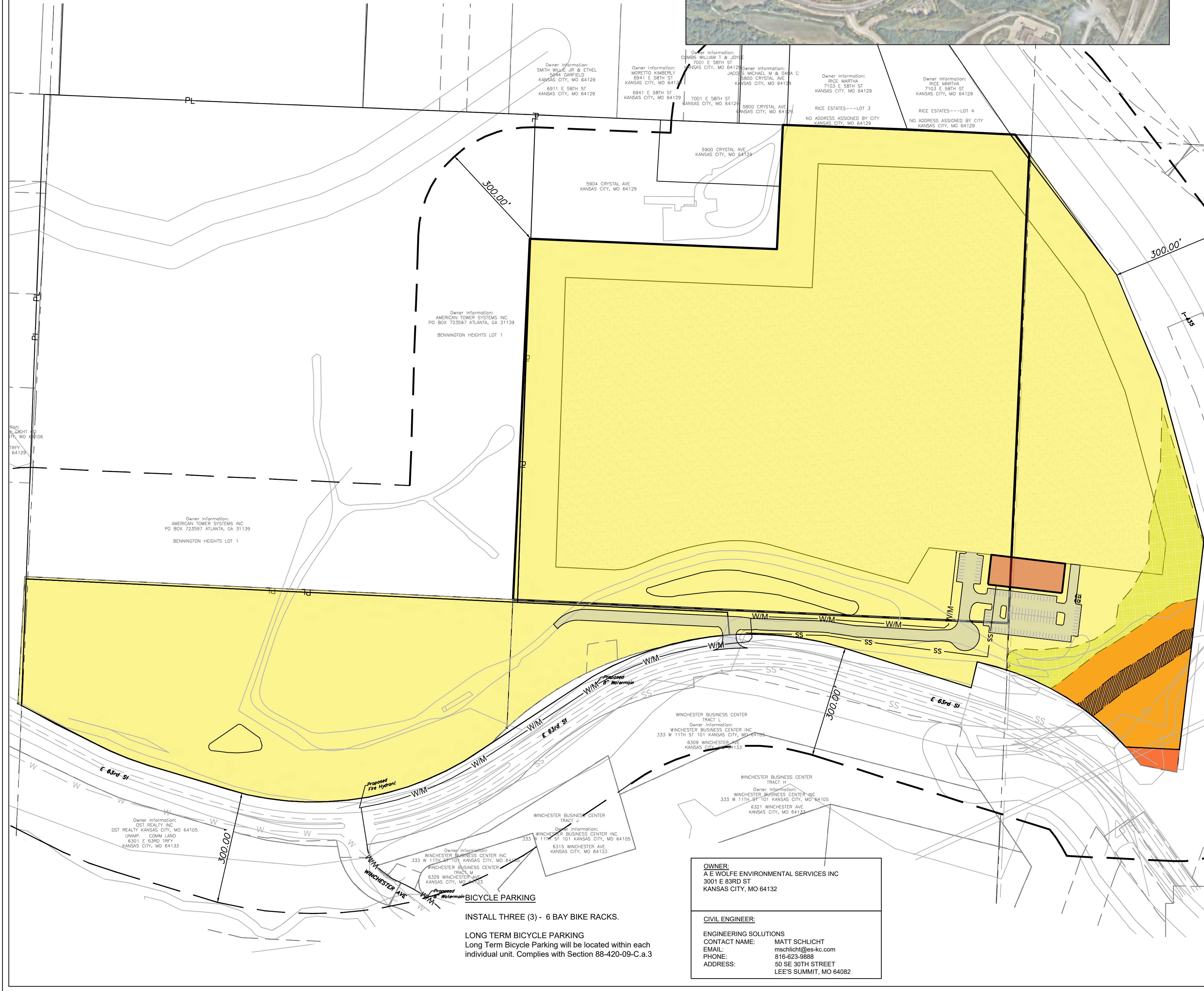
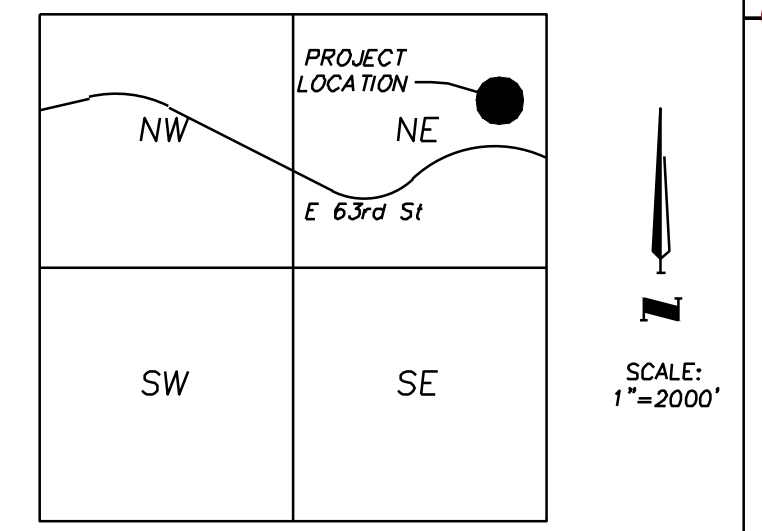
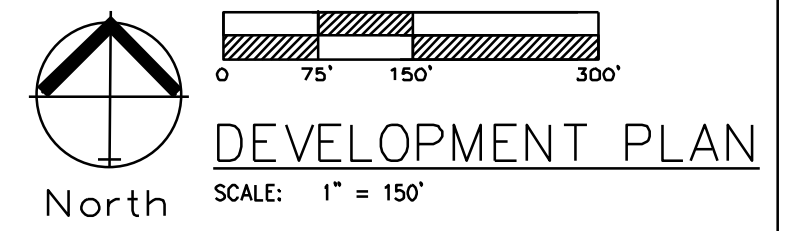


DEVELOPMENT PLAN

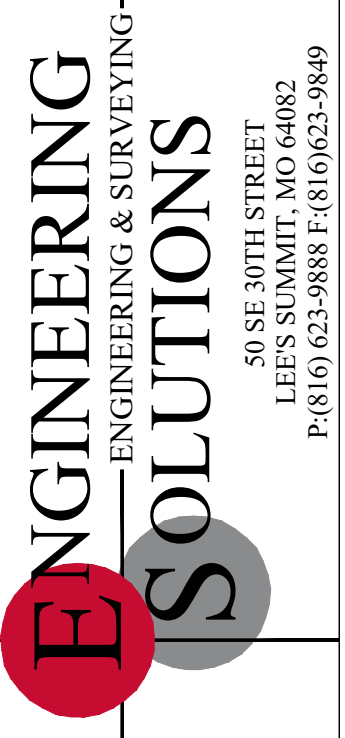
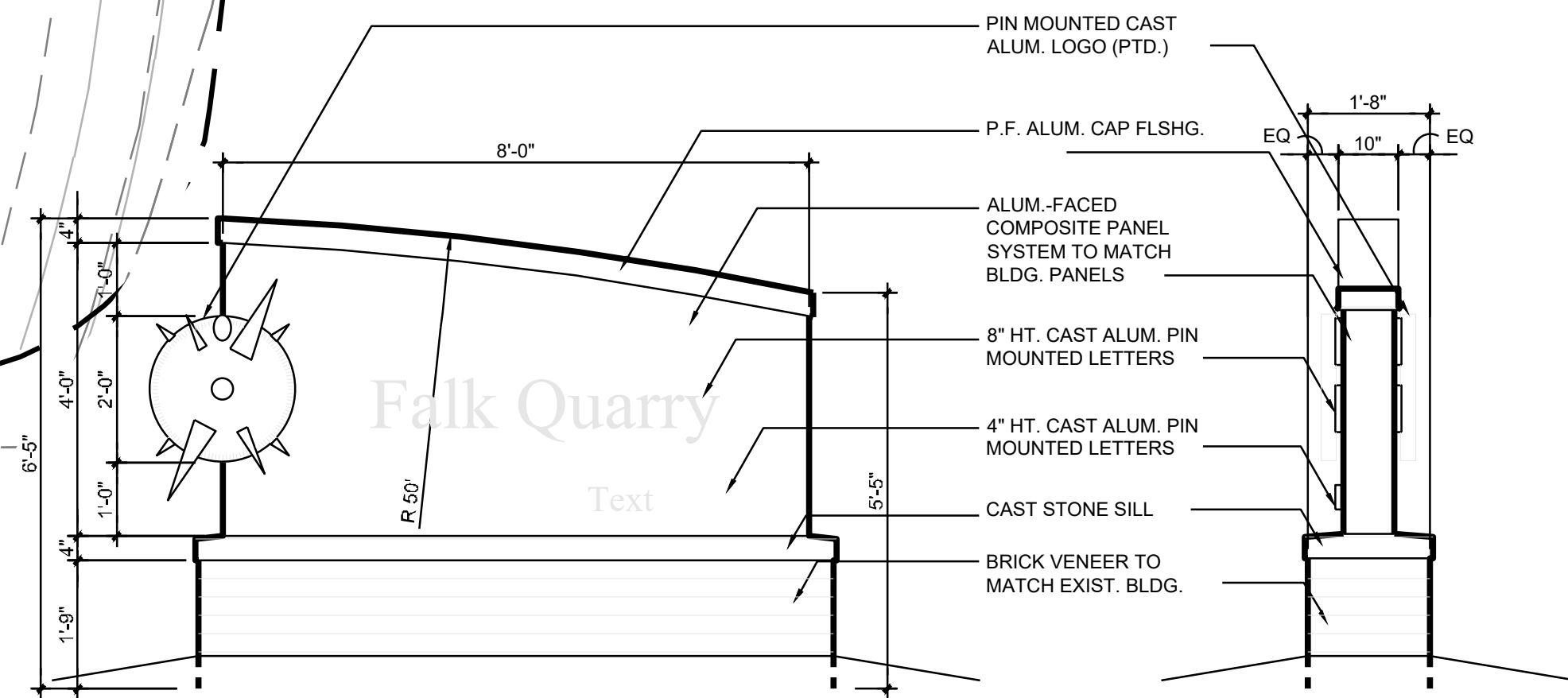
QUARRY YARD DEVELOPMENT

Kansas City, Jackson County, Missouri

NOTE:
Wayfinding signage will be installed.



Development Summary Table	
a	Zoning
	Existing: M2-2 Proposed: M2-2
b	Total Land Area
	Existing: 66.390 Acres Proposed: 66.390 Acres
c	Right-of-Way
	Existing: 0 Acres Proposed: 0 Acres
d	Net Land Area
	Existing: 66.390 Acres Proposed: 66.390 Acres
e	Proposed Uses
	COMMERCIAL
f	Structure Height & Number of Floors
	BUILDING Number of floors: 2 stories Height Above Grade: 24 feet
k	Vehicle Parking
	Ratio Required: 1 stall per unit Stalls Required: 113 Stalls Stalls Provided: 113 Stalls
l	Bike Parking
	Long Term Ratio Required: 10% of veh. Parking 11 Spaces in Unit Spaces Provided: 11 Spaces Short Term Ratio Required: 10% of Veh. Parking 11 Spaces Spaces Provided: 11 Spaces
m	Timeline
	Estimated Start Date: FALL 2024 Estimated Completion Date: FALL 2025
n	Deviation Requests
	NONE



Professional Registration
Missouri
Engineering 2005002186-D
Surveying 2005008318-D
Kansas
Engineering E-1695
Surveying LS-218
Oklahoma
Engineering 6254
Nebraska
Engineering CA2821

7300 E 63RD TRFY
7530 E 63RD ST
6625 E 63RD ST
KANSAS CITY, JACKSON COUNTY, MISSOURI

Project: QUARRY, KCMO
Issue Date: October 14, 2024

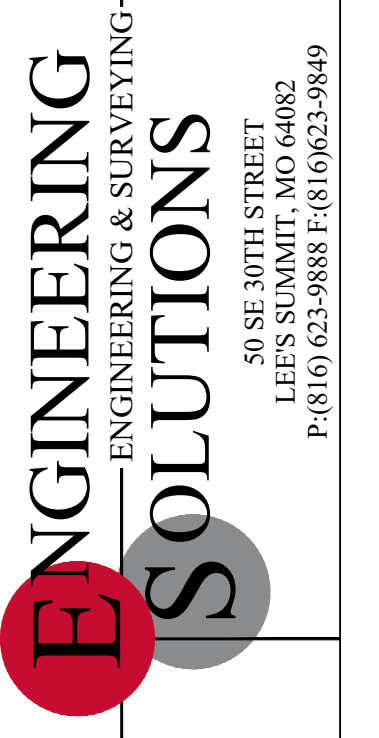
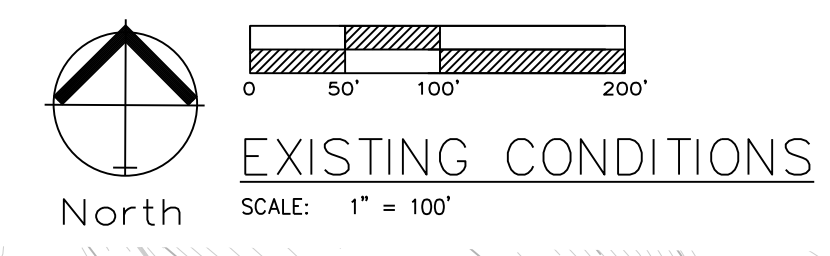
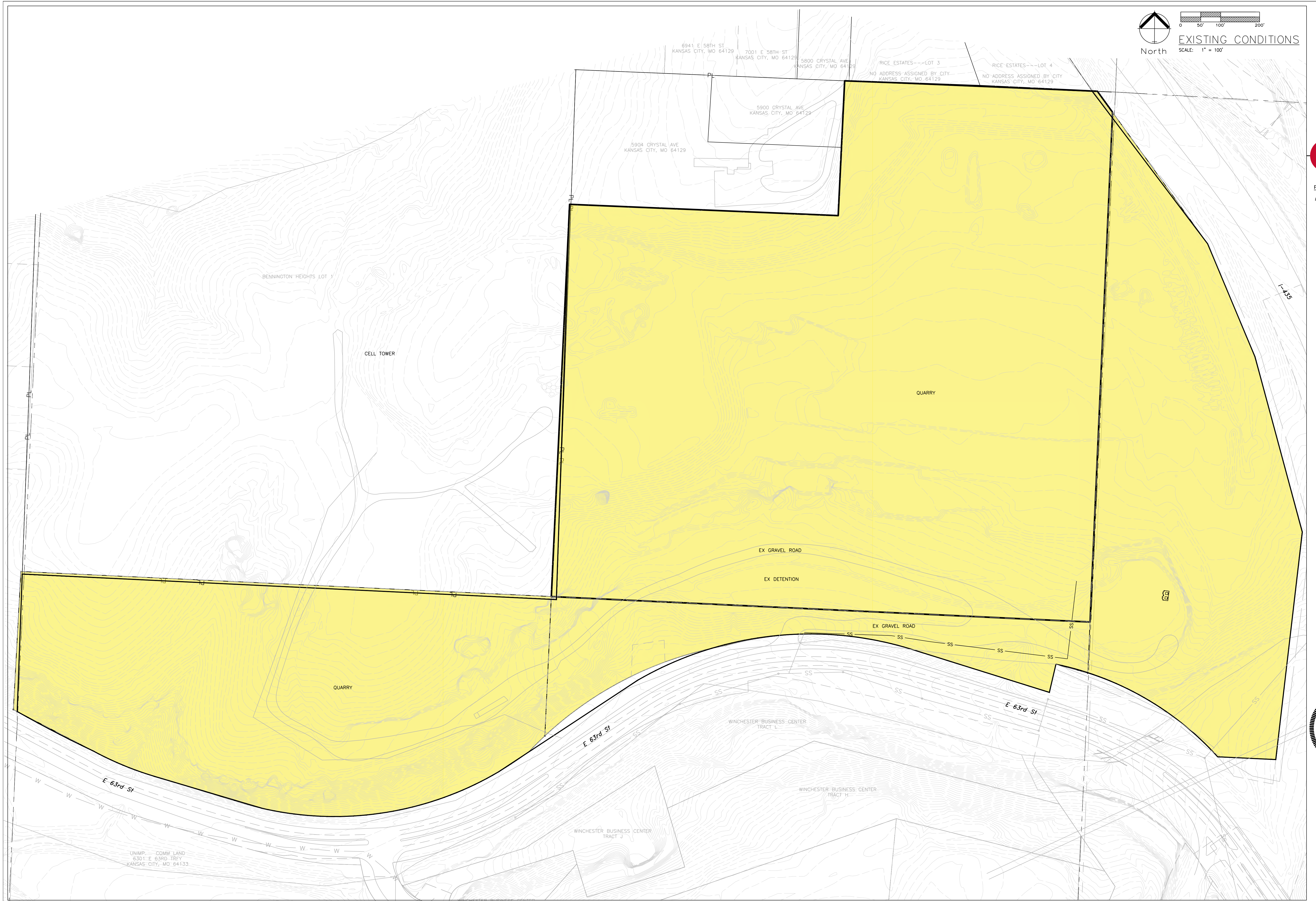
DEVELOPMENT PLAN
Development Plan for:
QUARRY YARD DEVELOPMENT
Kansas City, Jackson County, Missouri



Matthew J. Schlicht
MO PE 2006019708
KS PE 19071
OK PE 25226
NE PE E-14335

REVISIONS

NO.	DESCRIPTION



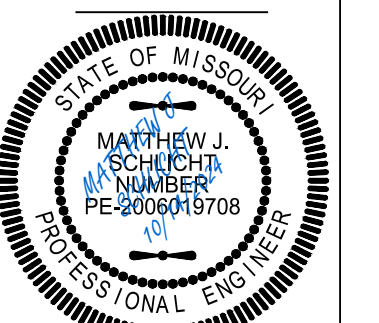
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Surveying 2005008319-D
Kansas
Engineering E-1685
Surveying LS-218
Oklahoma
Engineering 6284
Nebraska
Engineering CA2821

7300 E 63RD TRFY
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6625 E 63RD ST
KANSAS CITY, JACKSON COUNTY, MISSOURI

Project: QUARRY,
KCMO

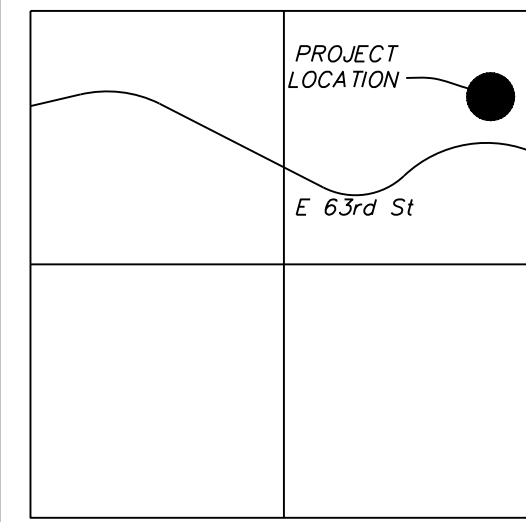
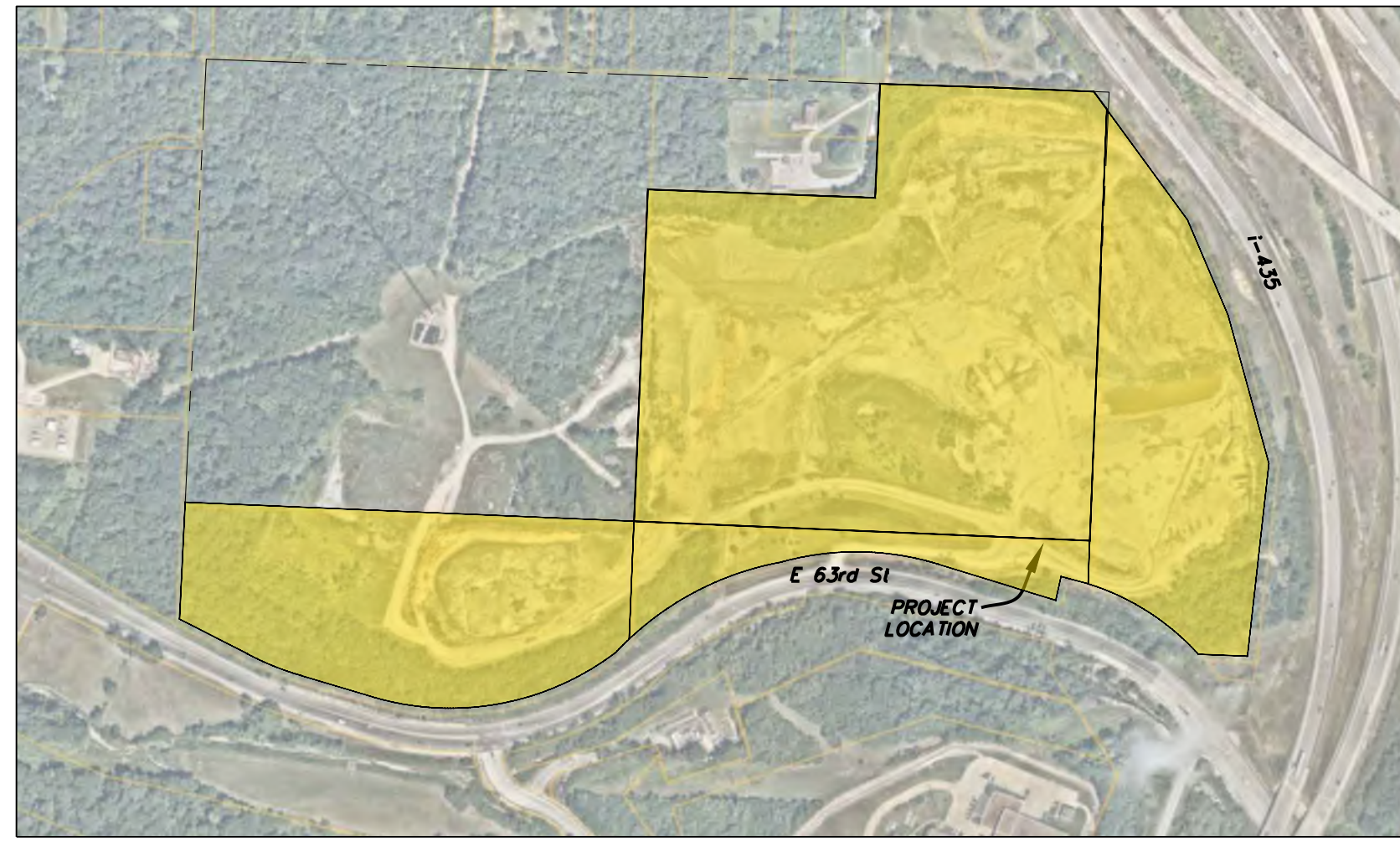
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EXISTING CONDITIONS
Development Plan for:
QUARRY YARD DEVELOPMENT
Kansas City, Jackson County, Missouri



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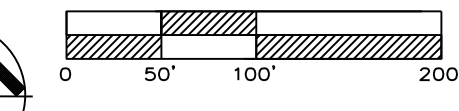
REVISIONS



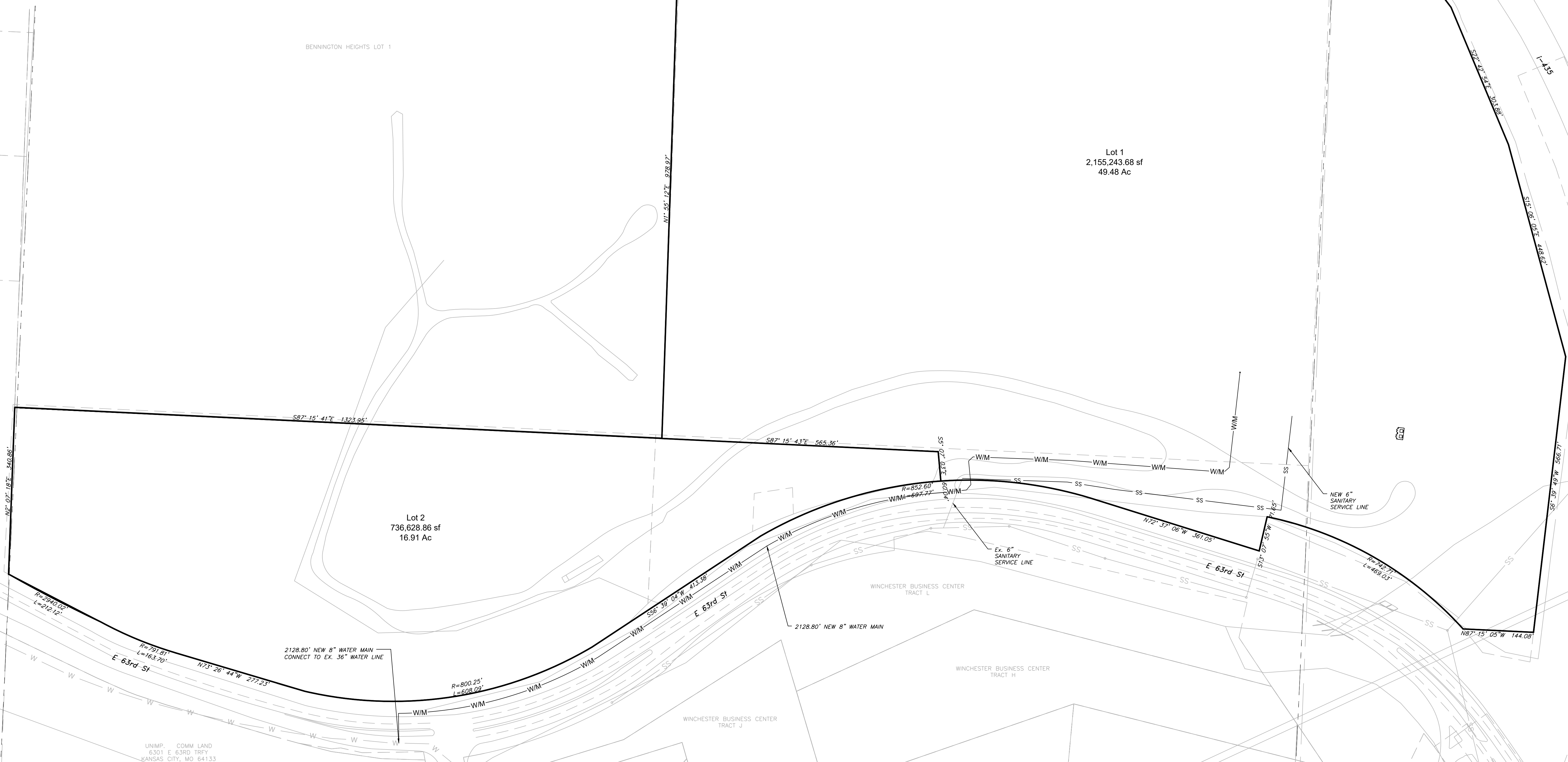
VICINITY MAP
SEC. 26-52-33

SCALE:
1"=2000'

Bike Parking	
Short Term Ratio Required	10% of Veh. Parking=29
Spaces Provided	30 Spaces



PRELIMINARY PLAT
SCALE: 1" = 100'



UNIMP. COMM LAND
6301 E 63RD TRFY
KANSAS CITY, MO 64133

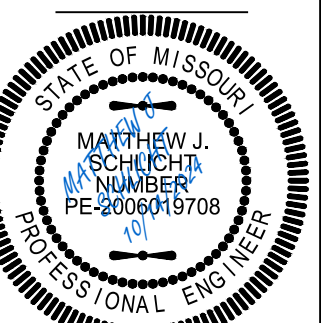


Professional Registration
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KANSAS CITY, JACKSON COUNTY, MISSOURI

Project QUARRY,
KCMO
Issue Date:
October 14, 2024

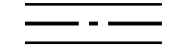


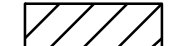
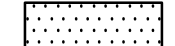
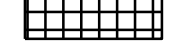
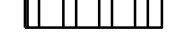
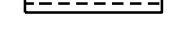
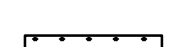

PRELIMINARY PLAT
Development Plan for:
QUARRY YARD DEVELOPMENT
Kansas City, Jackson County, Missouri



Matthew J. Schlicht
MO PE 2006019708
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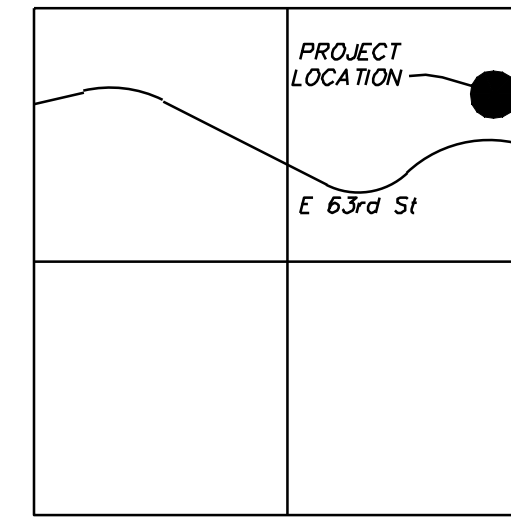
REVISIONS

LEGEND

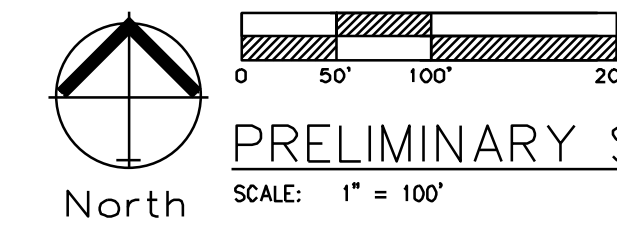
-  STREAM CHANNEL
-  STREAMSIDE ZONE
-  25' CLEAR FROM OUTER LIMIT OF MIDDLE OR STREAMSIDE ZONE, WHICHEVER IS GREATER
-  OUTER ZONE
-  DISTURBED AREA IN OUTER ZONE (BEYOND 25' CLEAR)
-  IMPACT ARE IN OUTER ZONE (VEGETATED)
-  IMPACT ARE IN OUTER ZONE (NON-VEGETATED)
-  IMPACT ARE IN STREAMSIDE & MIDDLE ZONE
-  IMPACT ARE IN STREAMSIDE & MIDDLE ZONE (REVEGETATED)
-  BUFFER RESTORATION (NEW PLANTINGS)

STREAM BUFFER CALCULATIONS

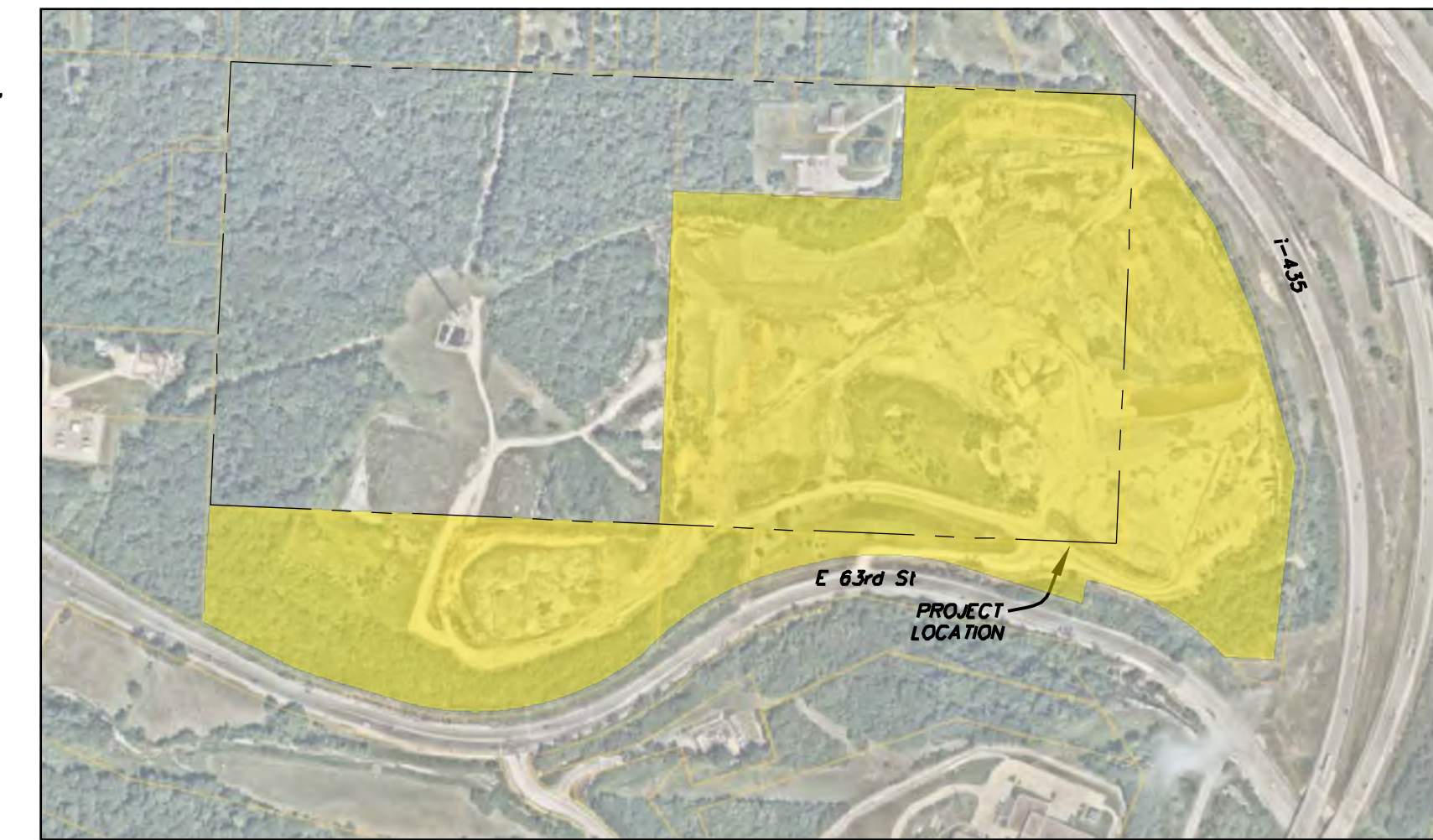
TOTAL STREAMSIDE ZONE AREA = NONE
 TOTAL OUTER ZONE AREA = 95,419 SF = 2.19 AC
 MAX. 40% DISTURBED AREA IN OUTER ZONE (W/NO MITIGATION) = 0.0 AC = 0.0%
 DISTURBED AREA IN OUTER ZONE (BEYOND 25' CLEAR) = 0.0 SF = 0.0 AC = 0.0%



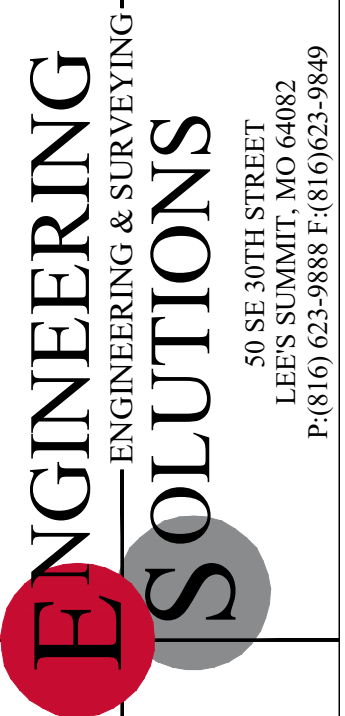
VICINITY MAP
SEC. 26-52-33



PRELIMINARY STREAM BUFFER PLAN



2. A preliminary buffer plan must be submitted for city review with preliminary plats and site or development plans. The preliminary buffer plan must include a plan at a scale no smaller than 1" = 100' showing at minimum: **X**
 - a. existing topography with at least 2-foot contour intervals; **X**
 - b. approximate stream locations based on approved city geographic information system mapping or city-approved mapping from state and federal agencies; **X**
 - c. approximate boundary of the FEMA- or city-designated floodplain based on city-approved geographic information system mapping or federal mapping; **NONE**
 - d. approximate 1% flood conveyance limits where no regulatory floodplain is identified as determined by a qualified engineer using city-approved methods; **NONE**
 - e. approximate wetland locations from the Mid-America Regional Council Natural Resource Inventory, or the U.S. Fish and Wildlife Service National Wetlands Inventory; **NONE**
 - f. approximate boundary of existing, mature riparian vegetation based on a field survey; **X**
 - g. slopes of 15% or greater in each sub-drainage area based on city-approved geographic information system mapping or a site topographic survey; **NONE**
 - h. the location of proposed structures or activities; **X**
 - i. identification of required stream buffer zones based on city-approved geographic information system mapping or a site topographic survey and a survey of mature riparian vegetation; **X**
 - j. the total acreage of mature riparian vegetation and steep slopes in the outer zone; **X**
 - k. the location and total acreage of proposed clearing and grading in the outer zone and the percentage of proposed outer zone area to be cleared (if applicable in accordance with 88-415-03-CB8-415-03-C, and **X**
 - l. the limits and total acreage of proposed mitigation of outer zone vegetation, and the percentage of outer zone area to be mitigated (if applicable in accordance with 88-415-07-C); **X**

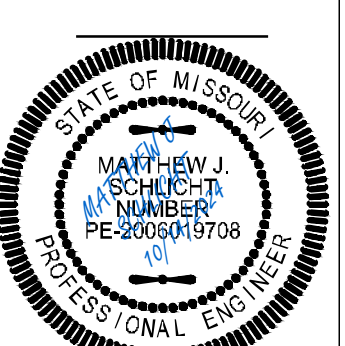


Professional Registration
 Missouri
 Engineering 2005002186-D
 Surveying 2005008318-D
 Kansas
 Engineering E-1695
 Surveying LS-218
 Oklahoma
 Engineering 6254
 Nebraska
 Engineering CA2821

7300 E 63RD TRFY
 7530 E 63RD ST
 6625 E 63RD ST
 KANSAS CITY, JACKSON COUNTY, MISSOURI

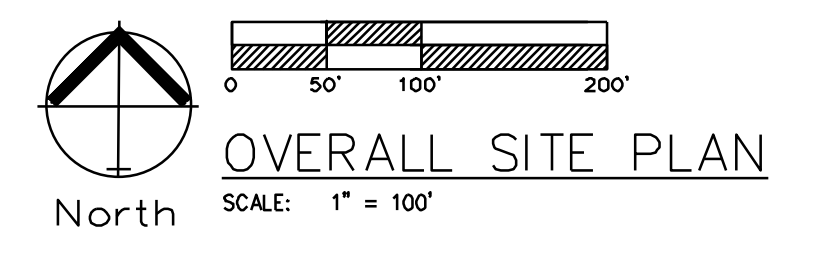
Project: QUARRY, KCMO
 Issue Date: October 14, 2024

PRELIMINARY STREAM BUFFER PLAN
 Development Plan for:
 QUARRY YARD DEVELOPMENT
 Kansas City, Jackson County, Missouri

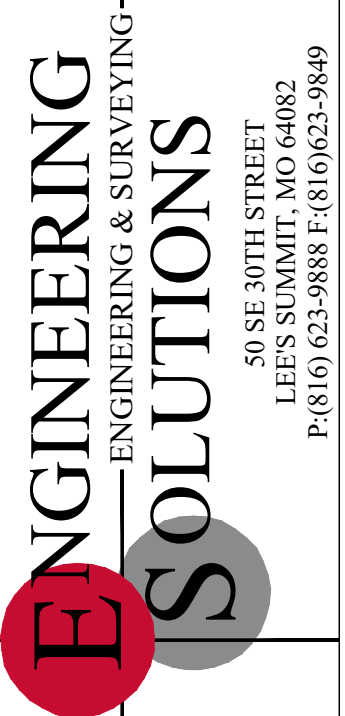
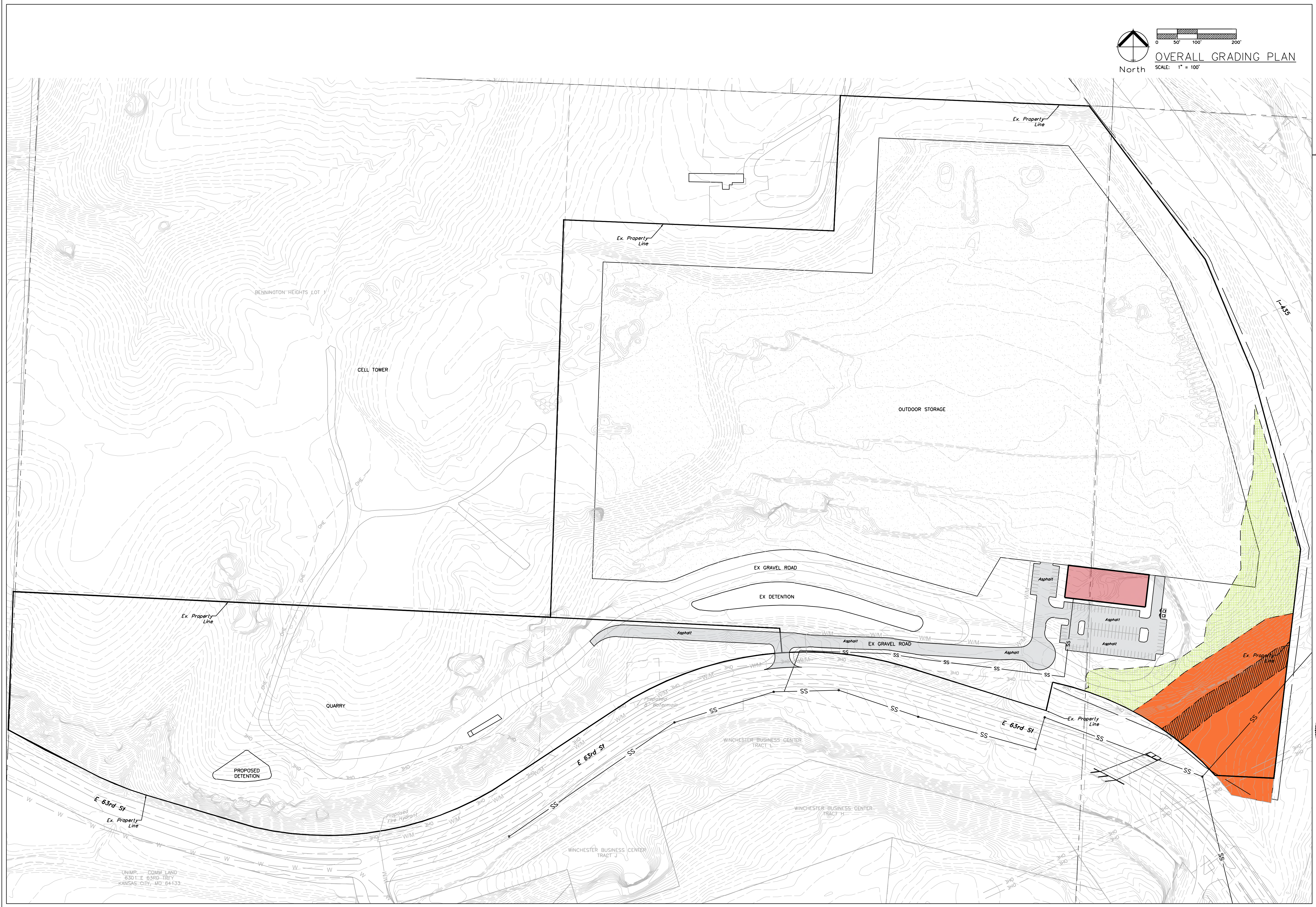
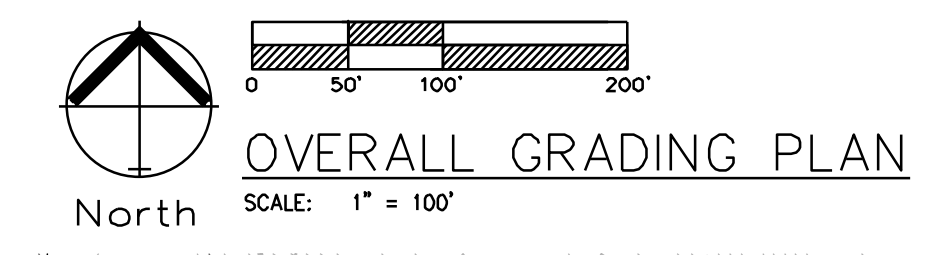


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Project: QUARRY, KCMO
 Issue Date: October 14, 2024

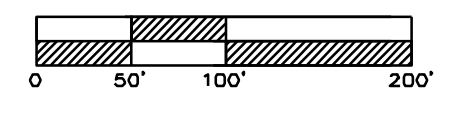
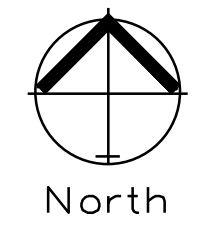
OVERALL GRADING PLAN
 Development Plan for:
 QUARRY YARD DEVELOPMENT
 Kansas City, Jackson County, Missouri



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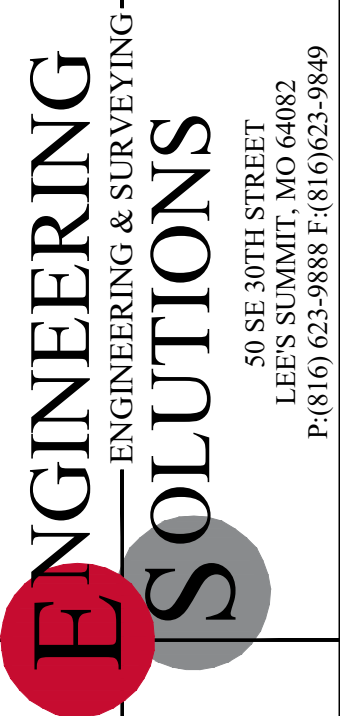
NOTE:
ALL UTILITIES ARE PUBLIC UNLESS OTHERWISE NOTED.



OVERALL UTILITY PLAN
SCALE: 1" = 100'



UNIMP. COMM LAND
6301 E 63RD TRFY
KANSAS CITY, MO 64133



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Missouri
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Surveying 2005008318-D
Kansas
Engineering E-1695
Surveying LS-210
Oklahoma
Engineering 6254
Nebraska
Engineering CA2821

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7530 E 63RD ST
6625 E 63RD ST
KANSAS CITY, JACKSON COUNTY, MISSOURI

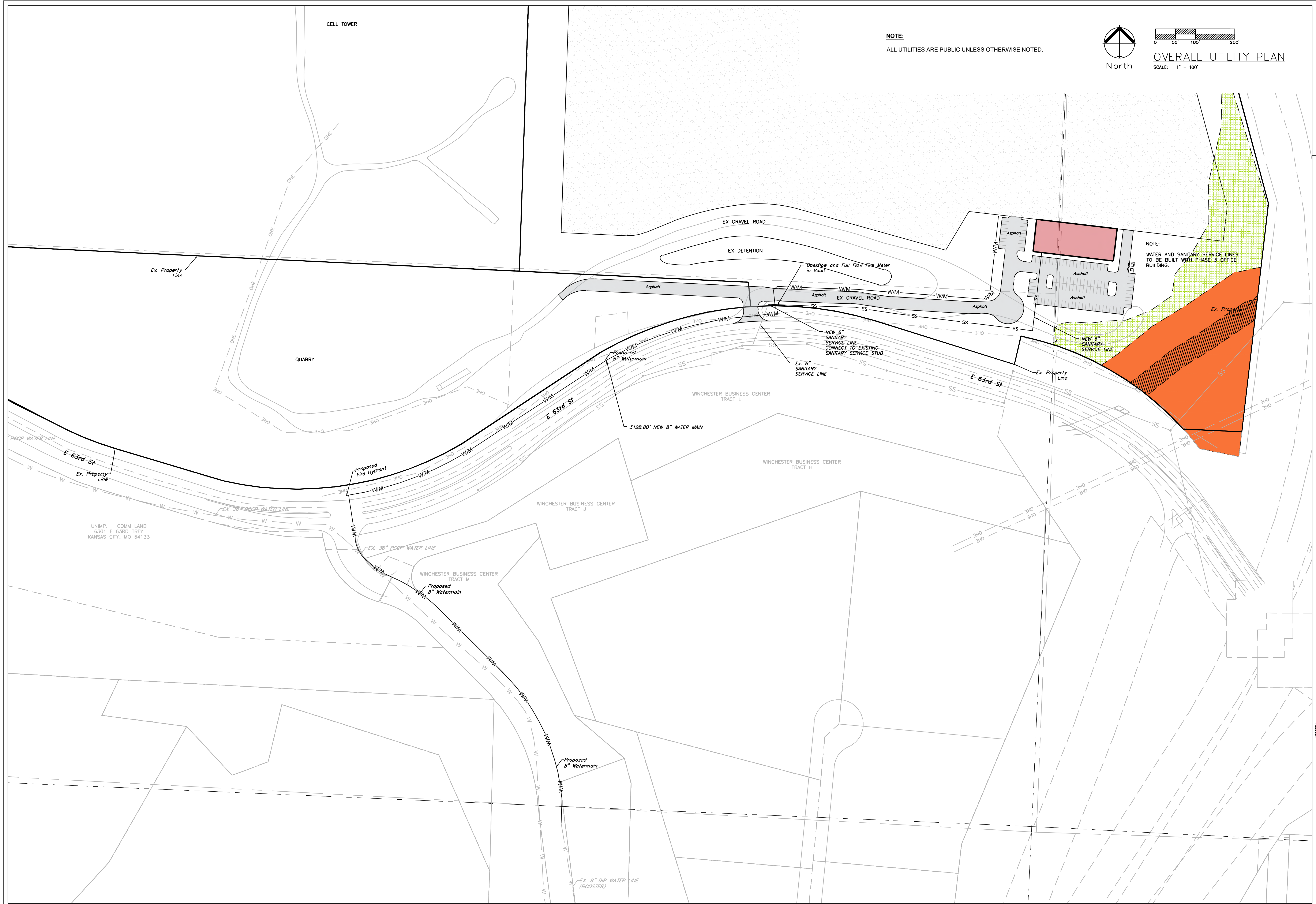
Project: QUARRY, KCMO
Issue Date: October 14, 2024

Overall Utility Plan
Development Plan for:
QUARRY YARD DEVELOPMENT
Kansas City, Jackson County, Missouri

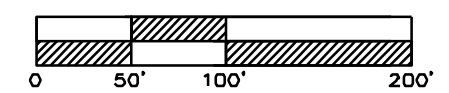


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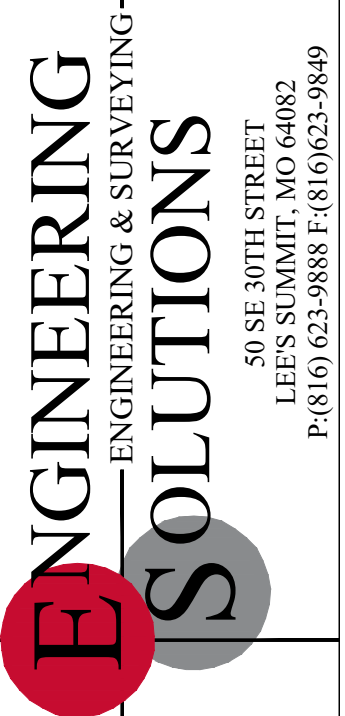
NOTE:
ALL UTILITIES ARE PUBLIC UNLESS OTHERWISE NOTED.



OVERALL UTILITY PLAN
SCALE: 1" = 100'

NOTE:
WATER AND SANITARY SERVICE LINES TO BE BUILT WITH PHASE 3 OFFICE BUILDING.

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KANSAS CITY, JACKSON COUNTY, MISSOURI

Project: QUARRY, KCMO
Issue Date: October 14, 2024

Overall Utility Plan
Development Plan for:
QUARRY YARD DEVELOPMENT
Kansas City, Jackson County, Missouri



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NE PE E-14335

REVISIONS

LANDSCAPE REQUIREMENTS

PER 88-425 OF THE CITY OF KANSAS CITY, MISSOURI ZONING AND DEVELOPMENT CODE:

STREET TREES (88-425-03)

LOCATION	REQUIREMENT	PROVIDED
I-435	210 Feet 7 Trees Required	7 Trees
E 63rd St	500 Feet 17 Trees Required	17 Trees

88-425-05 Perimeter Landscaping of Vehicular Use Areas

B. 1 Tree per 30 feet of parking and a continuous 3' high screening

Street trees are used to meet the tree requirement and a solid line of evergreen shrubs will provide the 3' high screening (Requirement Met)

88-425-06.B Interior Landscaping of Parking Lots

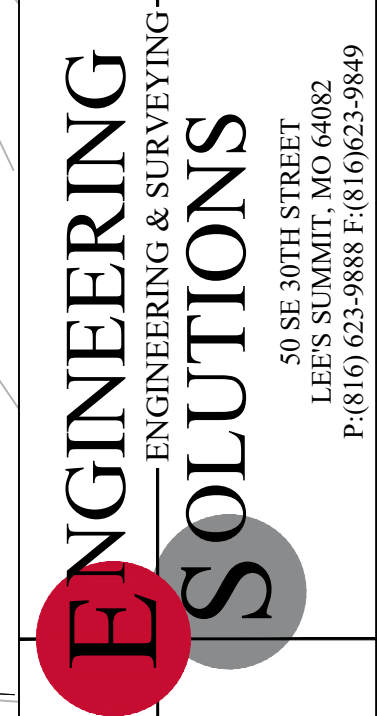
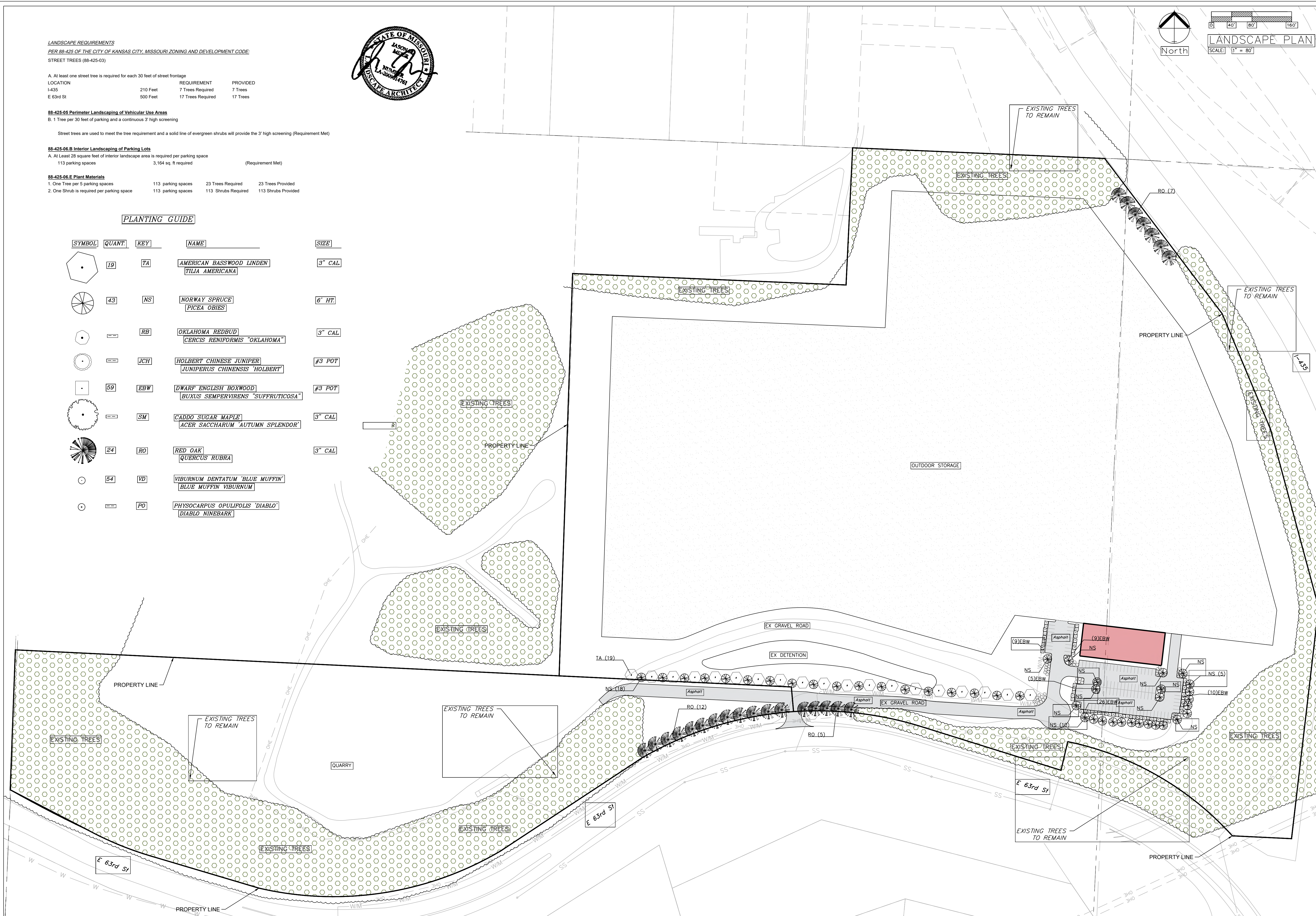
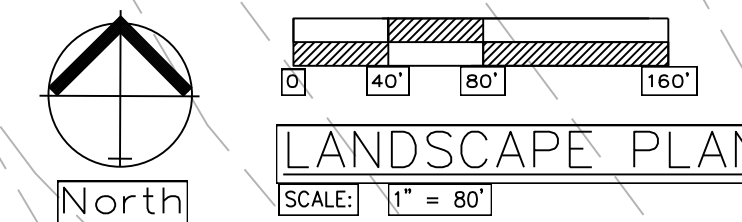
A. At Least 28 square feet of interior landscape area is required per parking space
113 parking spaces 3,164 sq. ft required (Requirement Met)

88-425-06.E Plant Materials

1. One Tree per 5 parking spaces 113 parking spaces 23 Trees Required 23 Trees Provided
2. One Shrub is required per parking space 113 parking spaces 113 Shrubs Required 113 Shrubs Provided

PLANTING GUIDE

SYMBOL	QUANT.	KEY	NAME	SIZE
	19	TA	AMERICAN BASSWOOD LINDEN TILIA AMERICANA	3" CAL.
	43	NS	NORWAY SPRUCE PICEA OBIES	6' HT.
		RB	OKLAHOMA REDBUD CERCIS RENIFORMIS "OKLAHOMA"	3" CAL.
		JCH	HOLBERT CHINESE JUNIPER JUNIPERUS CHINENSIS "HOLBERT"	#3 POT
	59	EBW	DWARF ENGLISH BOXWOOD BUXUS SEMPERVIRENS "SUFFRUTICOSA"	#3 POT
		SM	CADDO SUGAR MAPLE ACER SACCHARUM "AUTUMN SPLENDOR"	3" CAL.
	24	RO	RED OAK QUERCUS RUBRA	3" CAL.
	54	VD	VIBURNUM DENTATUM "BLUE MUFFIN" BLUE MUFFIN VIBURNUM	
		PO	PHYSOCARPUS OPULIFOLIUS "DIABLO" DIABLO NINEBARK	

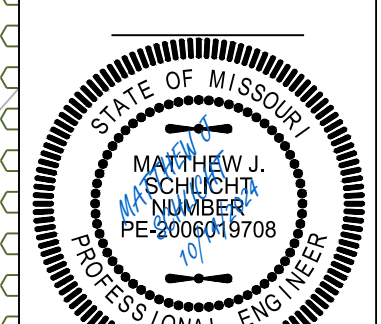


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Surveying LS-218
Oklahoma
Engineering S254
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KANSAS CITY, JACKSON COUNTY, MISSOURI

Project: QUARRY, MOJO
Issue Date: October 14, 2024

Landscape Plan
Development Plan for:
FALK QUARRY
Kansas City, Jackson County, Missouri

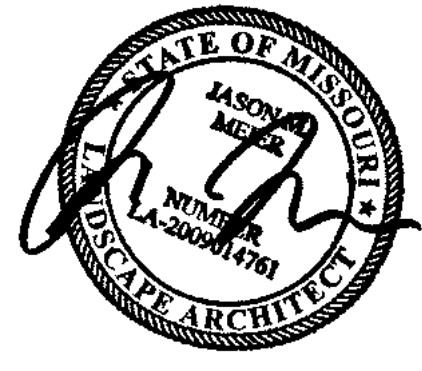


Matthew J. Schlicht
NO. PE-2005019708
KS. PE-19071
OK. PE-25226
NE. PE-E-14323

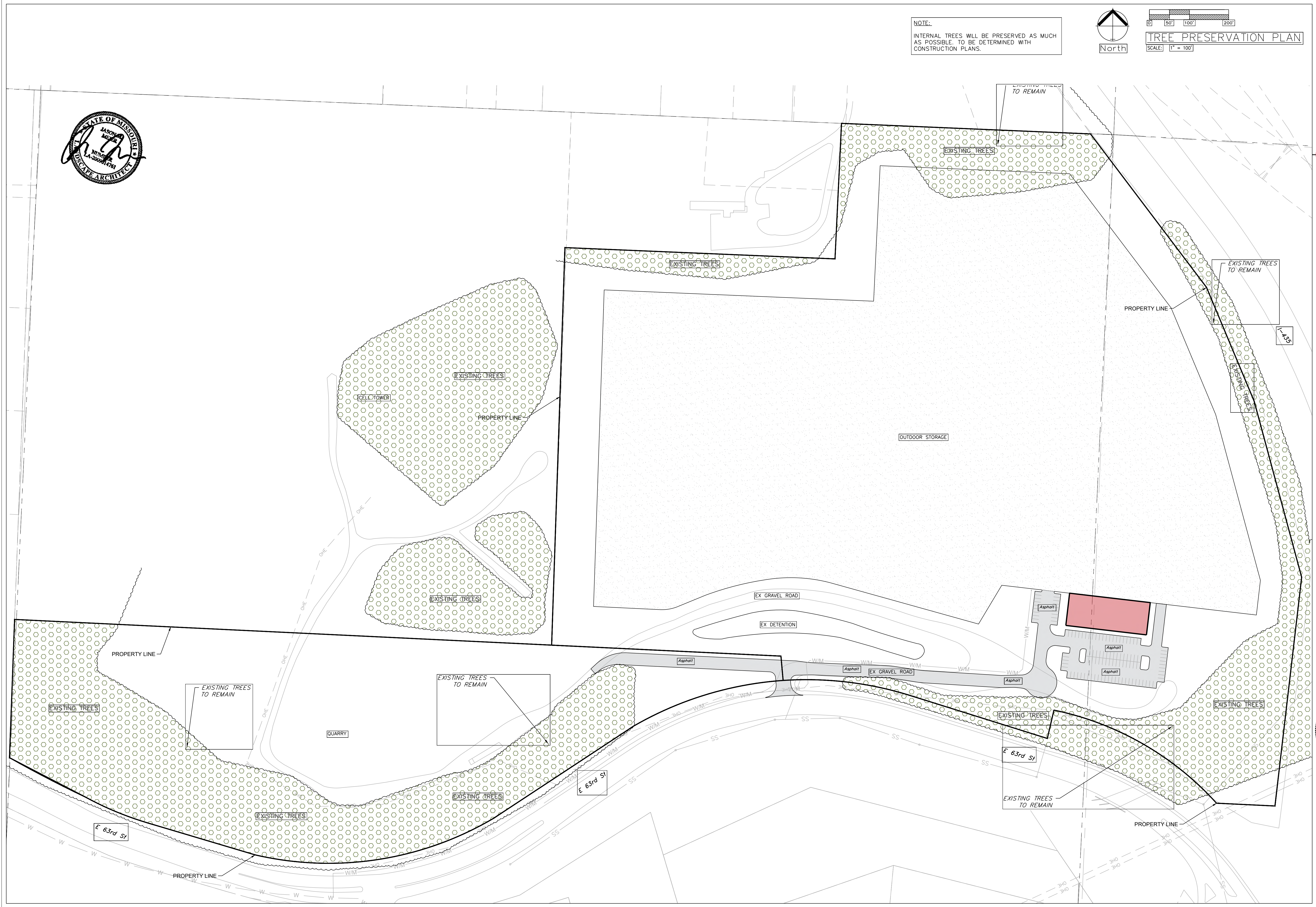
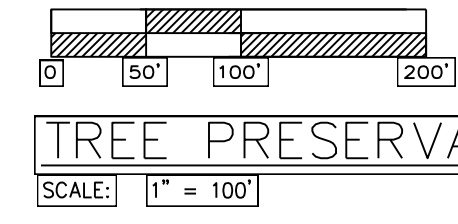
(REVISIONS)

NO.	DATE	DESCRIPTION

L.100



NOTE:
INTERNAL TREES WILL BE PRESERVED AS MUCH AS POSSIBLE. TO BE DETERMINED WITH CONSTRUCTION PLANS.

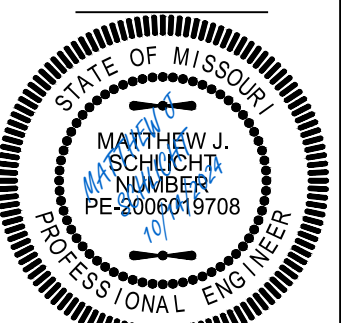


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Surveying 2005008319-D
Kansas
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Surveying LS-218
Oklahoma
Engineering 6254
Nebraska
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7530 E 63RD ST
6625 E 63RD ST
KANSAS CITY, JACKSON COUNTY, MISSOURI

Project: QUARRY, KCMO
Issue Date: October 14, 2024

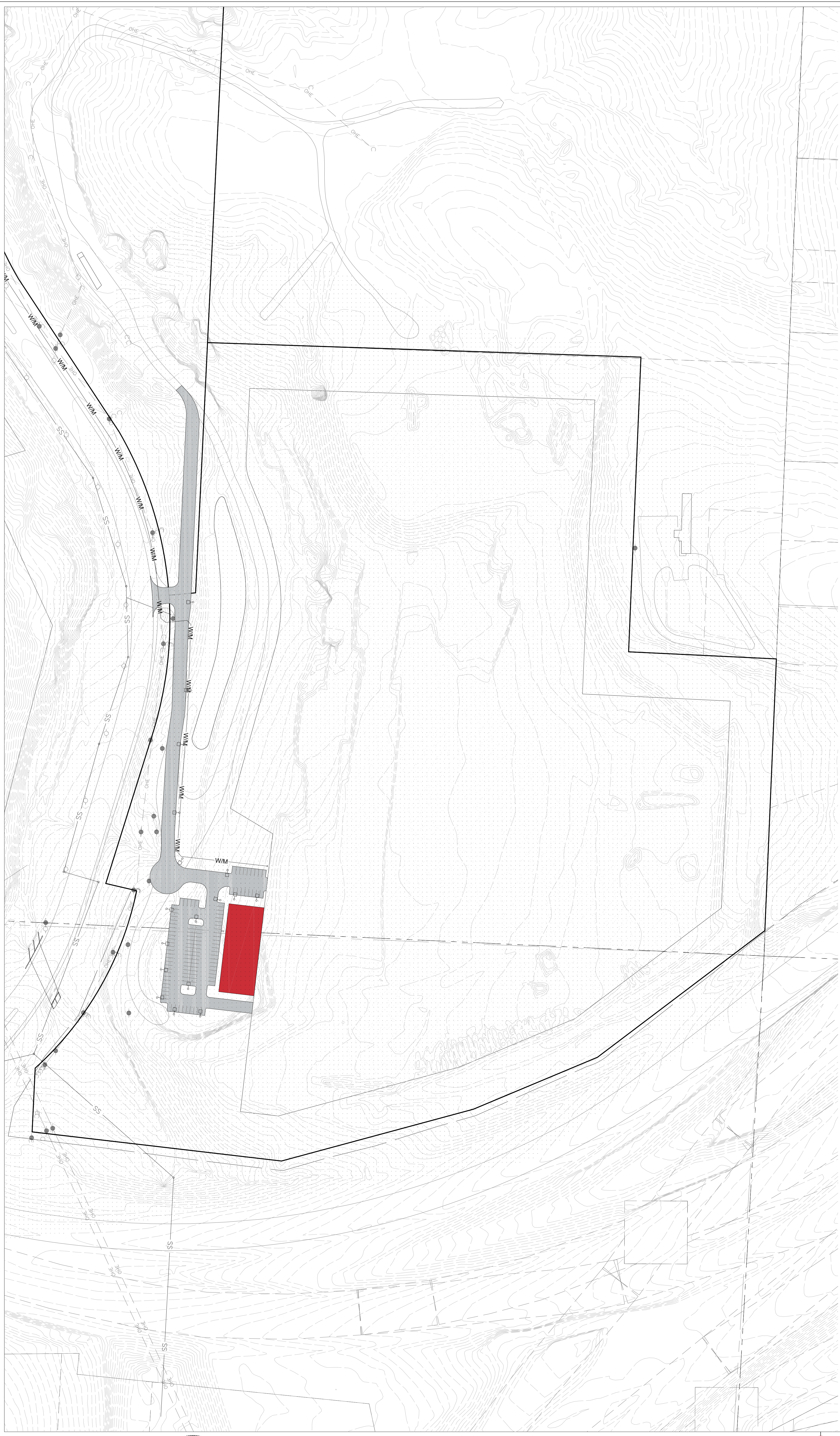
Tree Preservation Plan
Development Plan for:
FALK QUARRY
Kansas City, Jackson County, Missouri



Matthew J. Schlicht
MO PE-2005019708
KS PE-19071
OK PE-25226
NE PE-E-14325

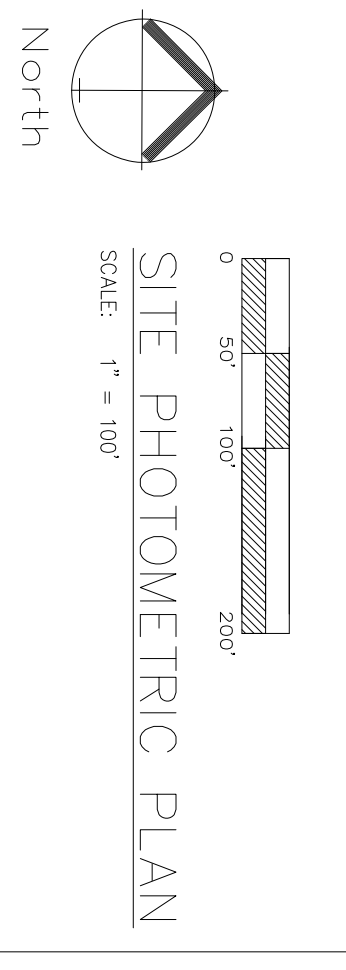
REVISIONS

NO.	DATE	DESCRIPTION



Light Fixture Schedule

Manufacturer & Catalog Number	Volts	Light Source	Description	Equivalent Manufacturers
Lithonia RSX1-LED-P2=40K-R3-SPA	120/208 V 73W	LED 500 LUM 4000K	17'-0" Pole Light Mounted on 3'-0" Pole Base With 7 year life span. Reference Pole Base Detail on this sheet.	Hubbell Lithonia or Equal
Statistical Area Summary				
Avg FC	Max FC	Min FC	Max / Min	Avg / Min
1.9	7.3	0.4	18.3	4.8



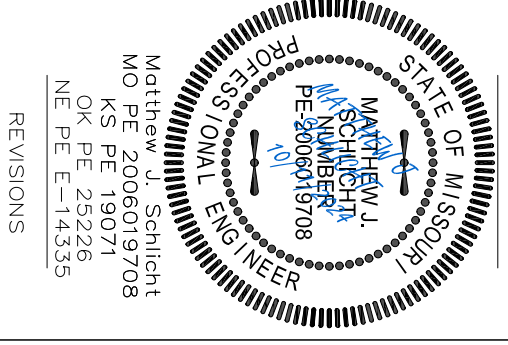
Site Photometric
Development Plan for:
FALK QUARRY
Kansas City, Jackson County, Missouri

Project:
FALK QUARRY,
KCMO
Issue Date:
October 11, 2024

7300 E 63RD TRFY
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Missouri
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Surveying 200808194-D
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Surveying LS-218
E. Oskanov
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ENGINEERING SOLUTIONS
ENGINEERING & SURVEYING
50 SE 30TH STREET
LEE'S SUMMIT, MO 64082
P:(816) 623-9888 F:(816)623-9849



DO NOT USE THIS DIGITAL COLOR CHART FOR COLOR MATCHING.

This digital color chart is intended to be viewed on computer monitors to show a wide range of colors available. Colors will vary depending on your computer monitor and monitor settings. Please ask for a physical color chart to view colors, and a metal sample for color matching purposes.



Charcoal
THRIFTY | PRIME

Desert
PRIME

Gray
THRIFTY | PRIME

Polar
THRIFTY | PRIME

Brilliant
PRIME

Roof and Trim Color

Wall Panel color

Fern
PRIME

Hunter
THRIFTY | PRIME

Colony
PRIME

Crimson
PRIME

Rustic
THRIFTY | PRIME

Burgundy
PRIME

Gallery
PRIME

Hawaiian
PRIME

Light Stone
THRIFTY | PRIME

Tan
THRIFTY | PRIME

Brown
THRIFTY | PRIME

Burnished Slate
PRIME

Commercial Color Selection Tool

M-Loc™
R-Loc™



*Contact your sales person for accurate pricing. † Color variation between orders is normal and not cause for rejection. ‡ Weathering and appearance variation, including color, sheen, and spangle, is common in non-painted materials and is not a cause for rejection. For consistent appearance, choose a paint-finished product.

Colors on this chart are close representations of actual metal color, limited by printing and viewing conditions. Color matching is optimized for outdoor viewing.

E CHRT_COML_200101

SHERWIN-WILLIAMS.
Coil Coatings



Check our website to verify which colors meet ENERGY STAR® requirements for steep slope roofs.

**PREMIUM
COLOR**

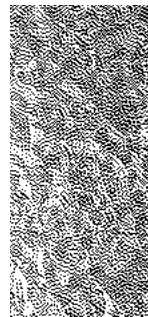
Fluropon® 70% PVDF

**Copper
Metallic*†**
PRIME



Clear acrylic coating

Galvalume®‡
PRIME



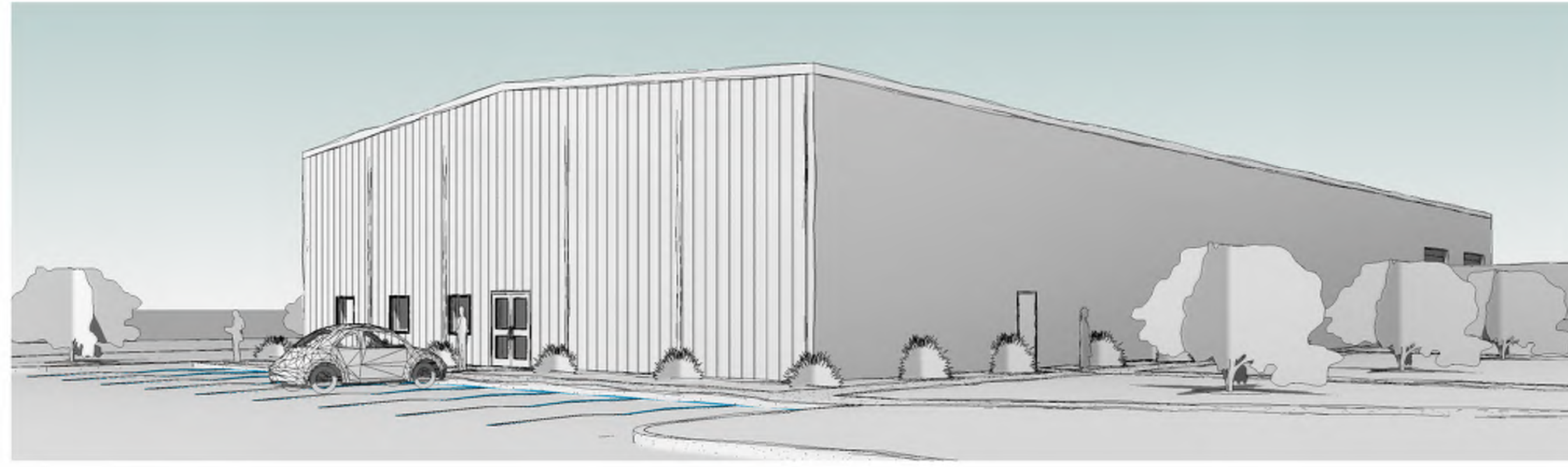
Choose CentralGuard[®] for the best protection and a lifetime warranty.

CentralGuard is our specific combination of everything that goes into making the highest-quality metal panels. Available on our Prime panels, the CentralGuard name is a guarantee that you have the best protection and a lifetime paint warranty.

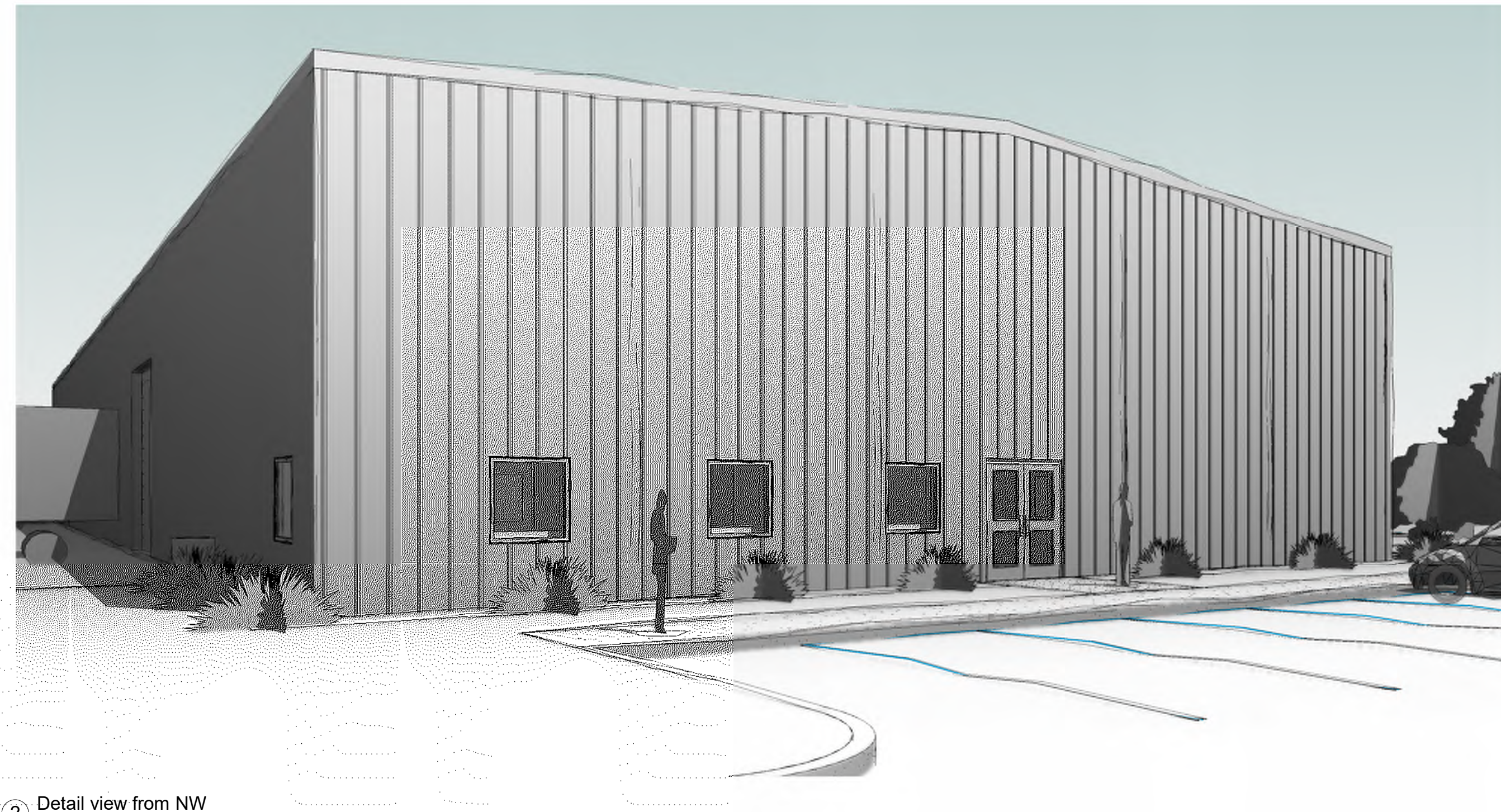
Choose CentralGuard for the perfect balance of fade protection, rust blocking, and dent resistance.

	THRIFTY	OUR BEST SELLER! PRIME CentralGuard
FADE PROTECTION		
Paint Warranty	20-YEAR	LIFETIME
Paint Thickness	THIN .70 mil	THICKER 1.0 mil
Fade Warranty	-	30-YEAR
Fade Protection	✓	✓✓
RUST BLOCKING		
Advanced Rust Blocking	-	✓
Perforation Warranty	-	20-YEAR
Substrate Thickness	1.12 mil	1.60 mil
DENT RESISTANCE		
Advanced Dent Resistance	-	✓✓
Steel Thickness	THIN	THICK
Steel Gauge	26 ga.	26 ga.
INSTALLATION		
Purlin Bearing Leg	-	✓

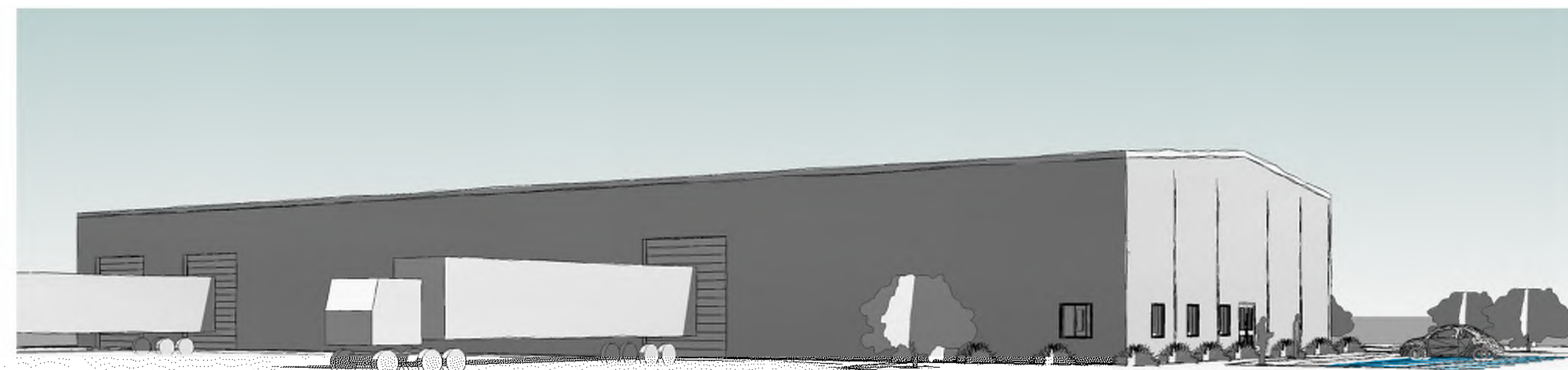




3 View from SW



2 Detail view from NW



1 Overall view from NW



NOTE: REFERENCE 'SIZE OF SHEET' ON PDF WHEN PRINTING. FULL-SIZED PRINTS ARE 22"x34". "PRINT TO FIT" CAN RESULT IN DRAWINGS NOT BEING TO SCALE. SEE GENERAL NOTE #1, SHEET A001

GENERAL PROJECT NOTES

1. ALL NEW WORK SHALL COMPLY WITH THE 2018 INTERNATIONAL BUILDING CODE (AS ADOPTED) AND ALL OTHER CODES AND ORDINANCES AS DICTATED BY THE AUTHORITY HAVING JURISDICTION.
2. WHERE DISCREPANCIES EXIST BETWEEN THE GENERAL NOTES, PLAN NOTES OR THE CODE, THE MOST RESTRICTIVE SHALL APPLY.
3. IF ANY CHANGES OR DEVIATIONS FROM THE DRAWINGS OR SPECIFICATIONS ARE MADE, OR ALLOWED TO BE MADE DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE AUTHORITY HAVING JURISDICTION AND THE DESIGN PROFESSIONAL OF RECORD. EITHER OR BOTH MAY REQUIRE REVISED DRAWINGS, CALCS OR SPECIFICATIONS AT THEIR DISCRETION.
4. REFER TO SHEET A001 FOR ABBREVIATIONS, TYPICAL MATERIAL SYMBOLS AND GENERAL NOTES.
5. REFER TO SHEET A002 FOR GENERAL ACCESSIBILITY NOTES AND DETAILS (IN ADDITION TO DRAWINGS & DETAILS PROVIDED WITHIN THE CONSTRUCTION DOCUMENT SET).

DRAWING INDEX

ARCHITECTURAL

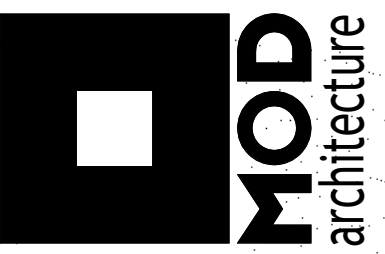
Cover Page	A000
Building Code Analysis	BC100
General Architectural Notes	A001
General ADA Information	A002
Overall Main Level Plan / Notes	A100
Office Plan & RCP / Notes	A101
Enlarged Plans / Interior Elevations / Notes	A102
Exterior Elevations / Notes	A200
Building Sections / Notes	A300
Details	A400
Door Schedule / Types / Notes	A500
Room Schedule / Notes	A501

MECHANICAL

PLUMBING

ELECTRICAL

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Project # 2021.12
 Issue Date: 03.11.2021
 Revision:
 A New Warehouse Development
 3rd Street @ Dr. Graeves Road
 Grandview, MO 64137

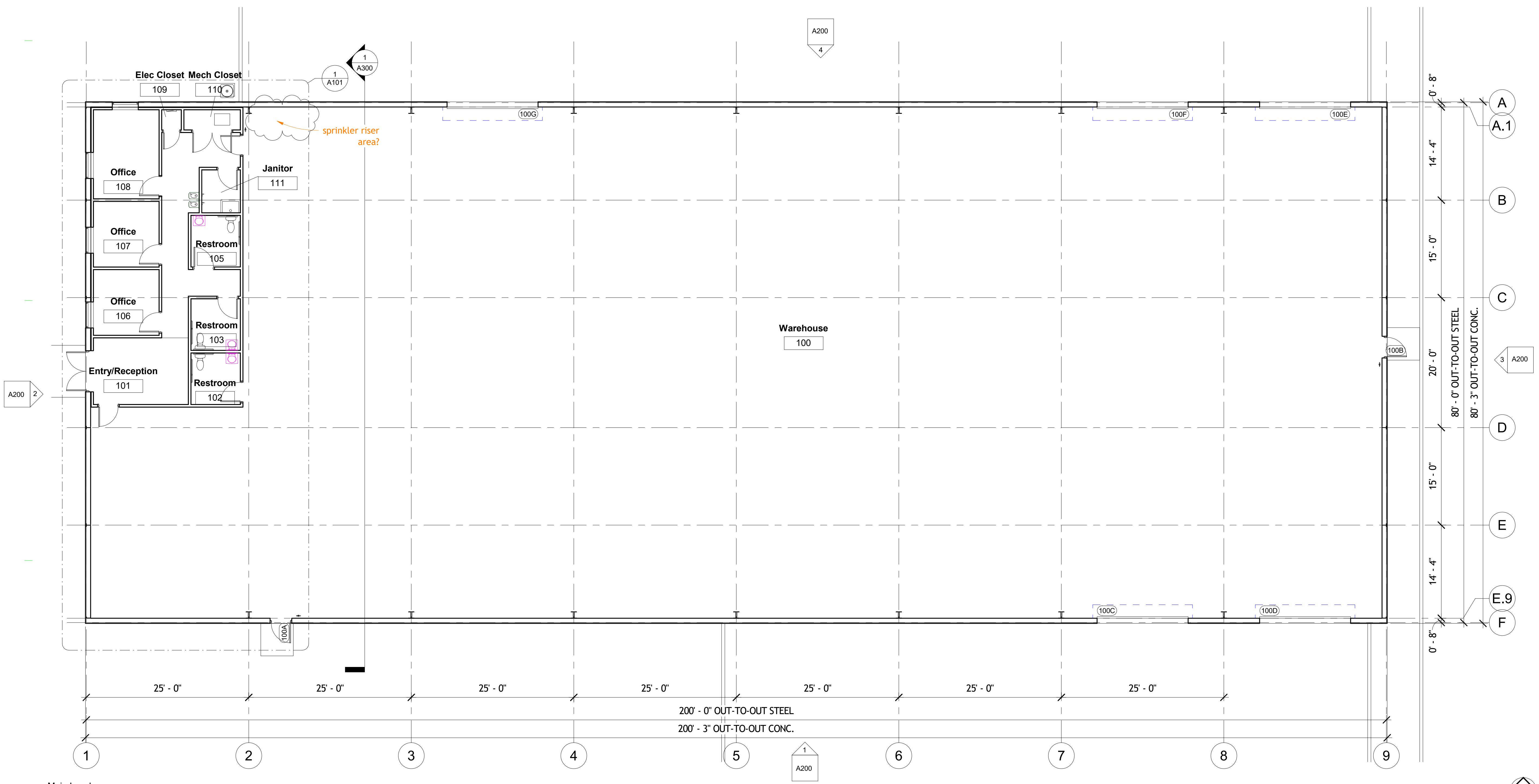
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professional seal

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A000





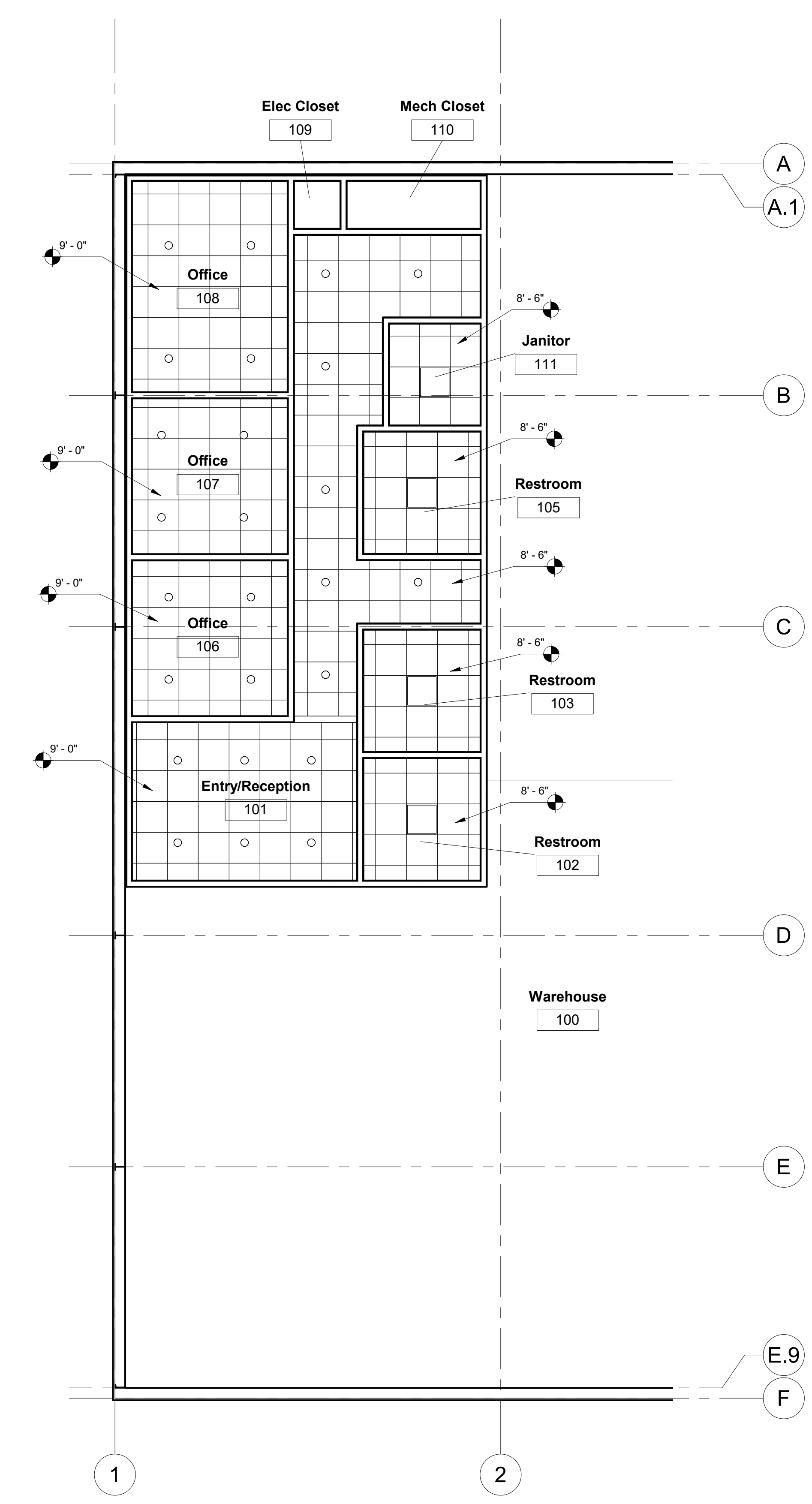
1 Main Level
1/8" = 1'-0"



NOTE: REFERENCE 'SIZE OF SHEET' ON PDF WHEN PRINTING. FULL-SIZED PRINTS ARE 22"x34". "PRINT TO FIT" CAN RESULT IN DRAWINGS NOT BEING TO SCALE. SEE GENERAL NOTE #1, SHEET A001

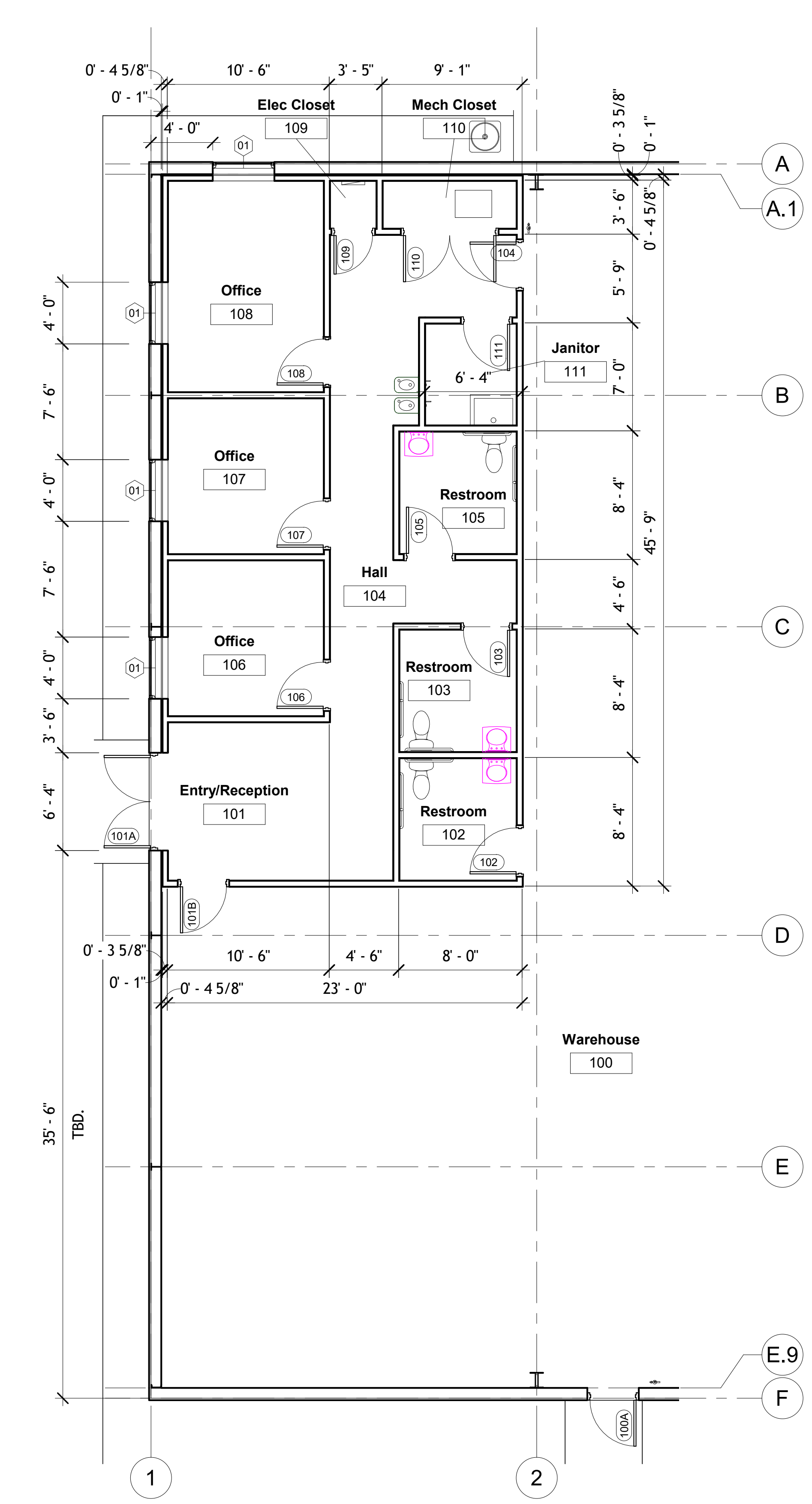
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② RCP - Main Level
3/16" = 1'-0"

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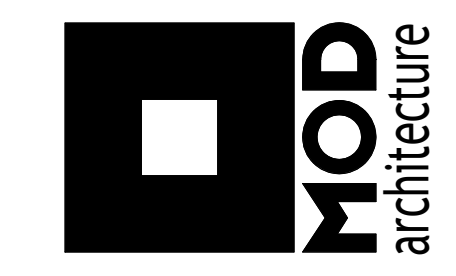
① Main Level - Enlarged Plan
3/16" = 1'-0"

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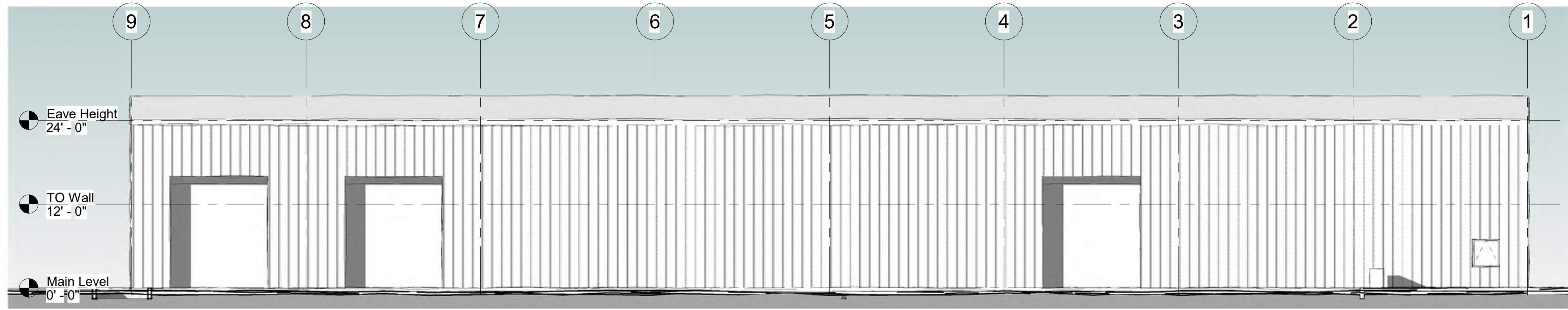
Project # 2021.12
Issue Date: 03.11.2021
Revision:
A New Warehouse Development
3rd Street @ Dr. Graeves Road
Grandview, MO 64137

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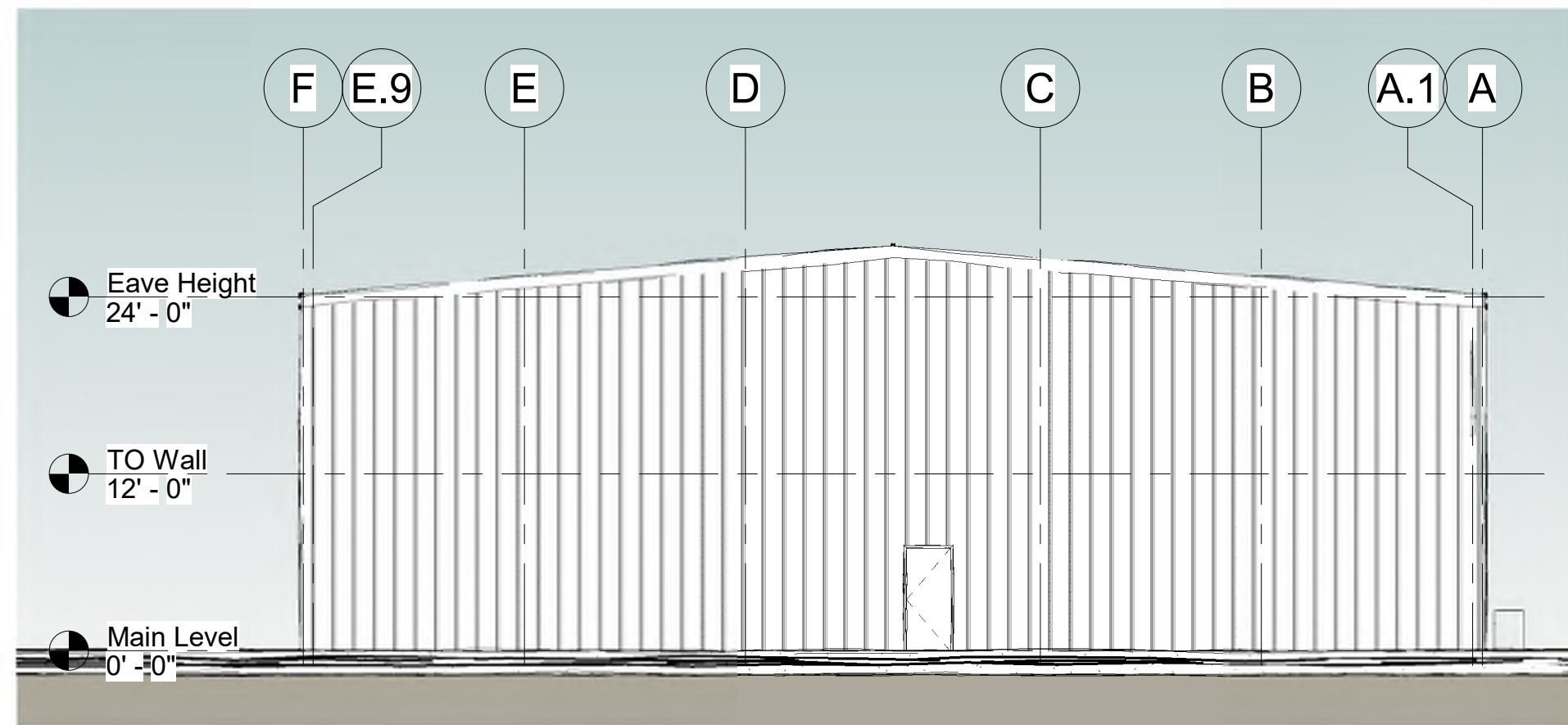


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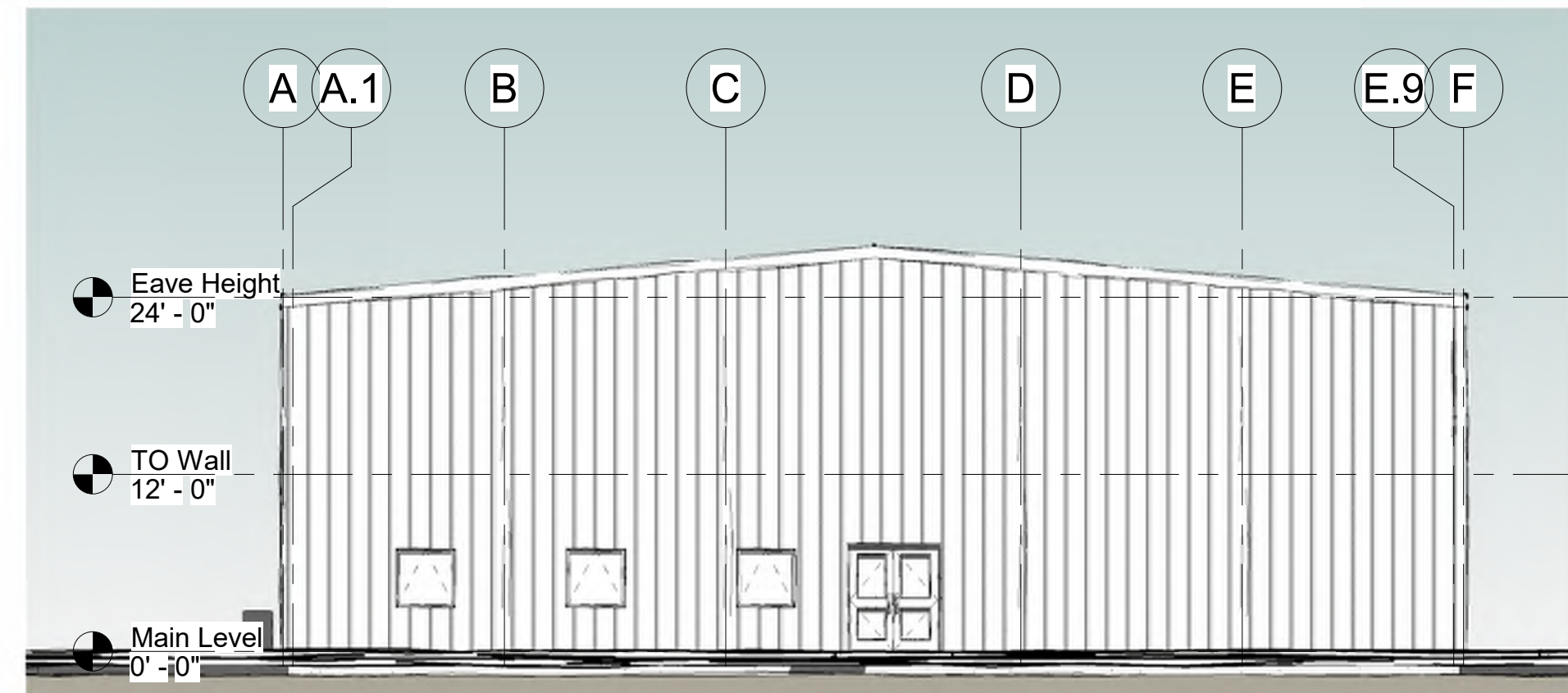
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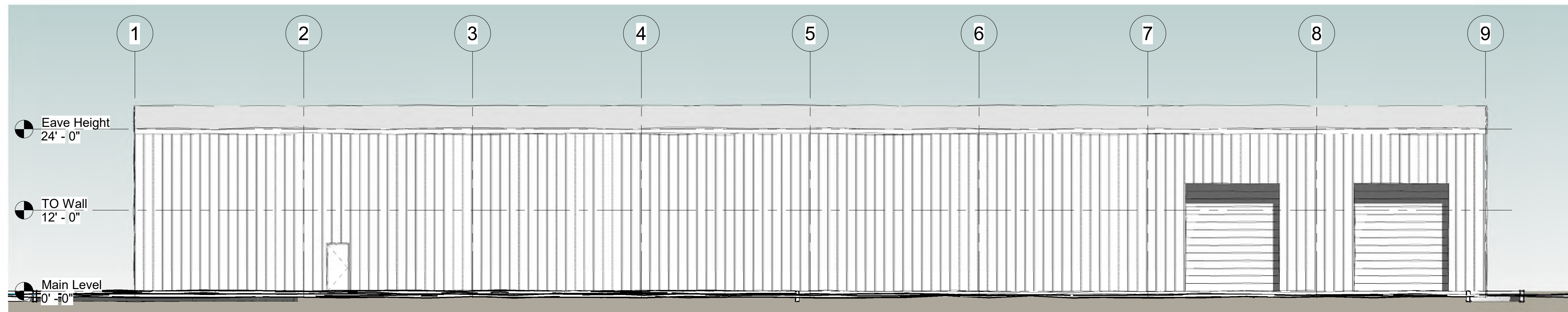
④ North Elevation
3/32" = 1'-0"



③ East Elevation
3/32" = 1'-0"



② West Elevation
3/32" = 1'-0"

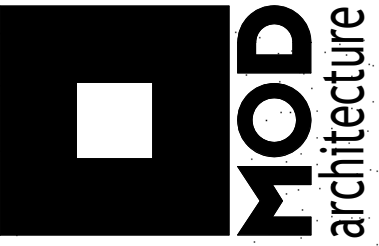


① South Elevation
3/32" = 1'-0"

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A200

sheet number

GENERAL NOTES



APPROVAL OF ALL-STEEL BUILDING SYSTEMS DRAWINGS INDICATE THAT ALL-STEEL BLDGS. CORRECTLY INTERPRETED AND APPLIED THE REQUIREMENTS OF THE CONTRACT DRAWINGS AND SPECIFICATIONS.
 WHERE DISCREPANCIES EXIST BETWEEN THE ALL-STEEL PLANS AND THE PLANS FOR OTHER TRADES, THE STRUCTURAL STEEL PLANS SHALL GOVERN. (SECT. 4.2.1 AISC CODE OF STANDARD PRACTICE 9TH ED.)
 DESIGN CONSIDERATIONS OF ANY MATERIALS IN THE STRUCTURE WHICH ARE NOT FURNISHED BY ALL-STEEL BLDGS. ARE THE RESPONSIBILITY OF THE CONTRACTORS AND ENGINEERS OTHER THAN ALL-STEEL BLDGS. UNLESS SPECIFICALLY INDICATED.

BUILDING LOADS / DESCRIPTION:

WIDTH: 80 LENGTH: 200 HEIGHT: 24 / 24
 (BUILDING DIMENSIONS ARE NOMINAL. REFER TO PLANS).

THIS STRUCTURE IS DESIGNED UTILIZING THE LOADS INDICATED AND APPLIED AS REQUIRED BY : IBC 18 .

THE CONTRACTOR IS TO CONFIRM THAT THESE LOADS COMPLY WITH THE REQUIREMENTS OF THE LOCAL BUILDING DEPARTMENT.

- ROOF DEAD LOAD: 2.000 PSF (ROOF PANELS & PURLINS)
- COLLATERAL LOAD: 2 PSF
- ROOF LIVE LOAD: 20.00 PSF
- GROUND SNOW LOAD: 20 PSF
- BASIC WIND SPEED: 110 MPH
- SEISMIC ZONE: B

IMPORTANCE FACTORS:

- WIND LOAD: 1.00
- SNOW LOAD 1.0000
- SEISMIC LOAD 1.00

OTHER LOADS

ROOF PANELS:

COLOR: Gray 40 yr

WALL PANELS:

COLOR: Polar 40 yr

TRIM COLORS:

- CABLE: Gray 40 yr
- CORNER: Gray 40 yr
- EAVE: Gray 40 yr
- FRAMED OPENINGS: Gray 40 yr

LINER PANELS:

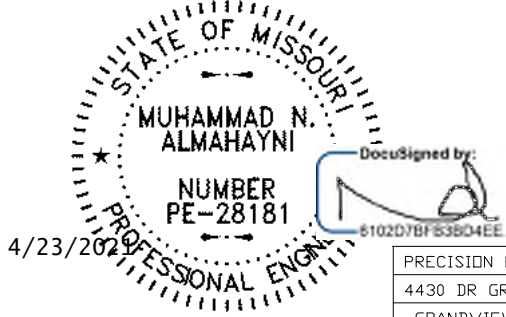
COLOR: N/A

LINER TRIM:

COLOR: N/A

SPECIAL NOTES:

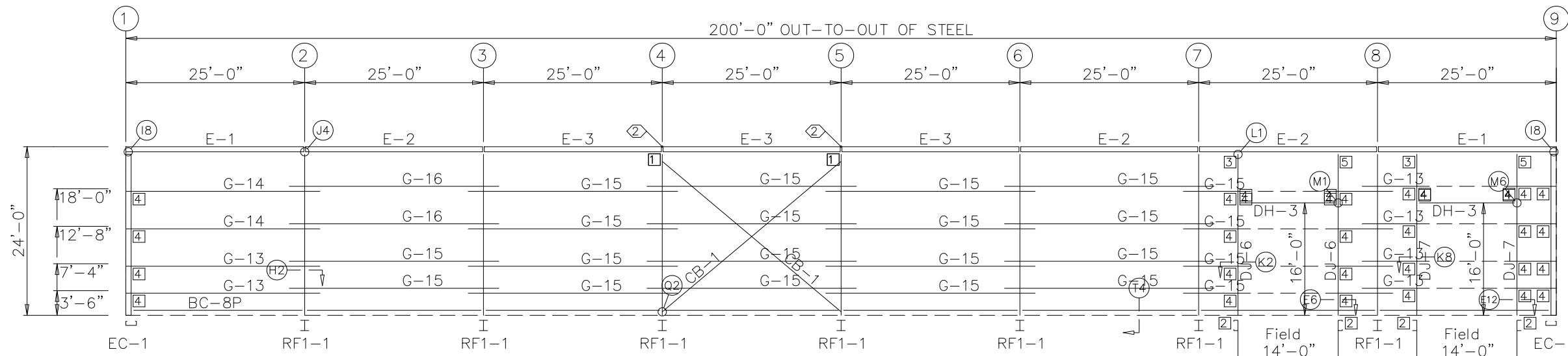
The undersigned professional engineer is not the Engineer of the Record of the overall project. The seal is limited to the structural design of the framing and covering parts furnished and delivered by manufacture only. And exclude all Accessory items such as doors, windows, louvers, translucent panels, ventilators, foundations, masonry walls, mechanical equipment and the erection and inspection of the building. The buyer is responsible to verify specified loads are in compliance with the local regulatory authorities.



MUHAMMAD ALMAHAYNI, PE
 5709 Northbrook Dr
 Plano, TX 75093 Ph:214-501-8000

PRECISION ENT.	JD YUTZY
4430 DR GREAVES RD	
GRANDVIEW MO 64030	
JOB: JD12	DESIGN: DRAFTER:
DATE: 4/22/21	
DRAWING NAME:	PAGE: @PAGE_ID of @PAGE_TOTAL

□ DOWNSPOUT LOCATIONS



GIRT LAPS 2'-1 3/4" 2'-1 3/4" 2'-1 3/4" 2'-1 3/4" 2'-1 3/4" 2'-1 3/4" 2'-1 3/4" 2'-1 3/4" 2'-1 3/4"

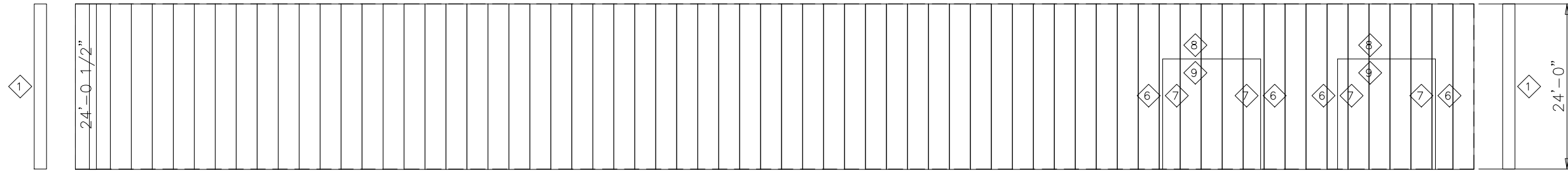
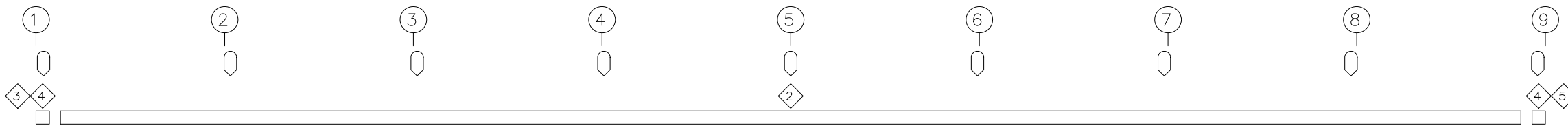
SIDEWALL FRAMING: FRAME LINE F

TRIM TABLE FRAME LINE F				
◇ ID	QUAN	MARK	LENGTH	DETAIL
1	2	OU122	12'-2"	TRIM_26
2	10	GU204	20'-4"	TRIM_15
3	1	GENL	1/2"	
4	1	OCB	10"	
5	1	GENR	1/2"	
6	1	JH162	16'-2"	TRIM_31
7	1	JA162	16'-2"	
8	1	JH142	14'-2"	
9	1	HE143	14'-3"	TRIM_33

SPECIAL BOLTS				
○ ID	QUAN	TYPE	DIA	LENGTH WASH
2	4	A325	1/2"	1 1/4" 0

MEMBER TABLE FRAME LINE F		
MARK	PART	LENGTH
DJ-6	C83516	23'-3 1/2"
DJ-7	C8x11.5	23'-3 1/2"
DH-3	C83516	13'-11 1/2"
E-1	08534DU1	24'-11 1/2"
E-2	08534DU1	24'-11 1/2"
E-3	08534DU1	24'-11 1/2"
G-13	Z82516	27'-1 1/2"
G-14	Z82514	27'-1 1/2"
G-15	Z82516	29'-3 1/2"
G-16	Z82514	29'-3 1/2"
CB-1	0.50_CBL	31'-1"

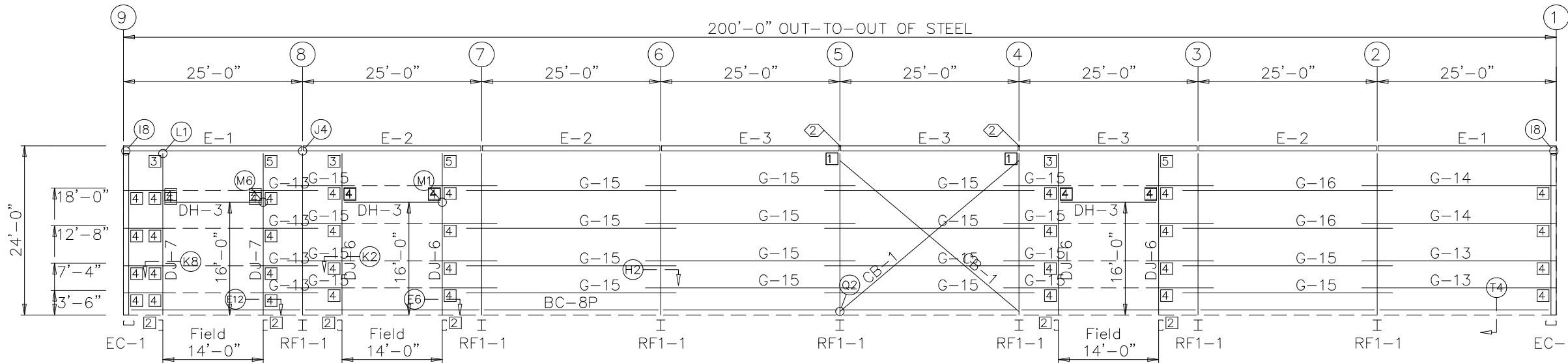
CONNECTION PLATES FRAME LINE F		
□ ID	QUAN	MARK/PART
1	2	k1
2	4	BC200
3	2	e1
4	32	GC200
5	2	e2



SIDEWALL SHEETING & TRIM: FRAME LINE F
PANELS: 26 Ga. RL - Polar 40 yr

 ALL-STEEL BUILDING SYSTEMS, LLC 1 (877) 275-5559	 MUHAMMAD N. ALMAHAYNI NUMBER PE-28181 4/23/2021	PRECISION ENT.	JD YUTZY
		4430 DR GREAVES RD	
		GRANDVIEW MO 64030	
		JOB: JD12	DESIGN:
DATE: 4/22/21			
DRAWING NAME: SIDEWALL FRAMING	PAGE: of		

⏏ DOWNSPOUT LOCATIONS



GIRT LAPS 2'-1 3/4" 2'-1 3/4" 2'-1 3/4" 2'-1 3/4" 2'-1 3/4" 2'-1 3/4" 2'-1 3/4" 2'-1 3/4"

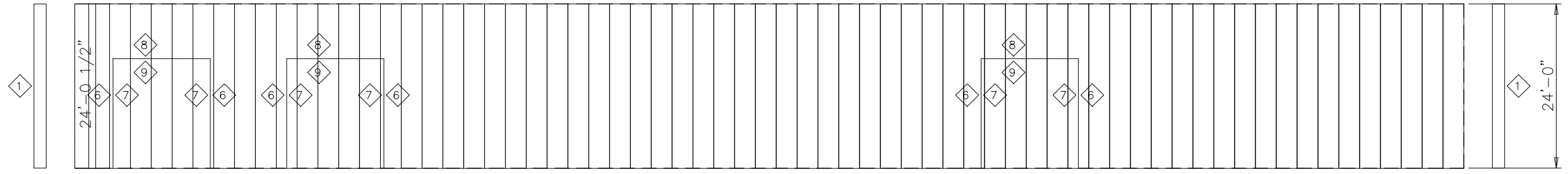
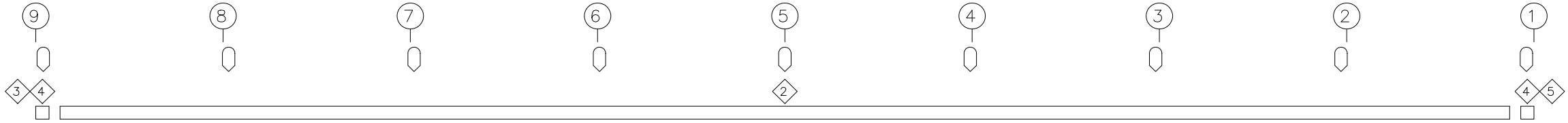
SIDEWALL FRAMING: FRAME LINE A

TRIM TABLE FRAME LINE A				
QID	QUAN	MARK	LENGTH	DETAIL
1	2	OU122	12'-2"	TRIM_26
2	10	GU204	20'-4"	TRIM_15
3	1	GENL	1/2"	
4	1	OCB	10"	
5	1	GENR	1/2"	
6	1	JH162	16'-2"	TRIM_31
7	1	JA162	16'-2"	TRIM_31
8	1	JH142	14'-2"	TRIM_31
9	1	HE143	14'-3"	TRIM_33

SPECIAL BOLTS					
QID	QUAN	TYPE	DIA	LENGTH	WASH
2	4	A325	1/2"	1 1/4"	0

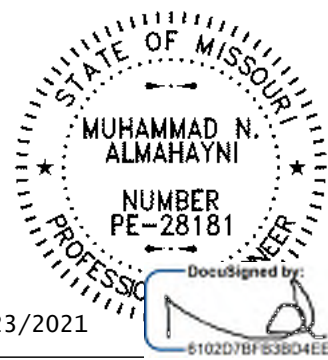
MEMBER TABLE FRAME LINE A		
MARK	PART	LENGTH
DJ-6	C83516	23'-3 1/2"
DJ-7	C8x11.5	23'-3 1/2"
DH-3	C83516	13'-11 1/2"
E-1	08534DU1	24'-11 1/2"
E-2	08534DU1	24'-11 1/2"
E-3	08534DU1	24'-11 1/2"
G-13	Z82516	27'-1 1/2"
G-14	Z82514	27'-1 1/2"
G-15	Z82516	29'-3 1/2"
G-16	Z82514	29'-3 1/2"
CB-1	0.50_CBL	31'-1"

CONNECTION PLATES FRAME LINE A		
QID	QUAN	MARK/PART
1	2	k1
2	6	BC200
3	3	e1
4	44	GC200
5	3	e2

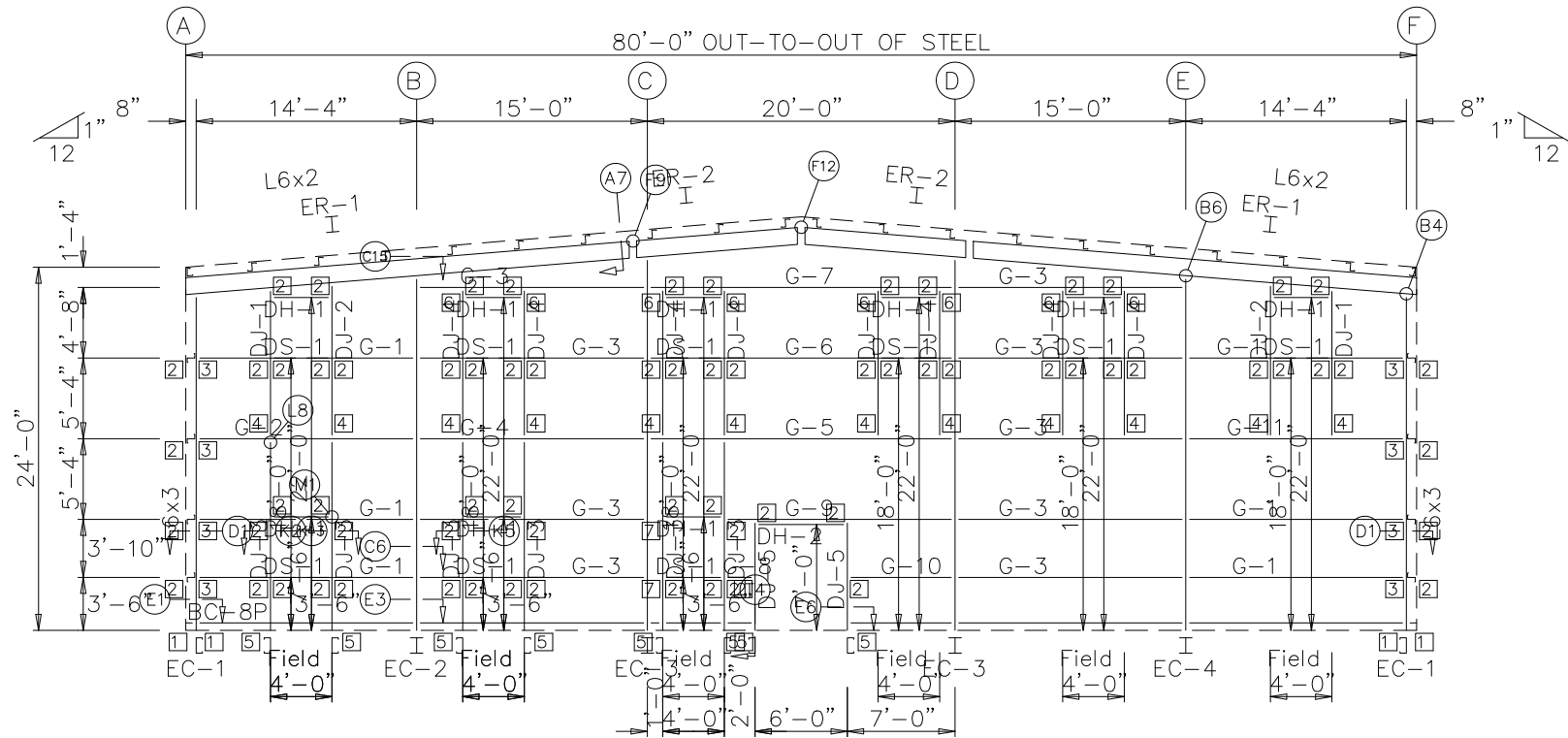


SIDEWALL SHEETING & TRIM: FRAME LINE A

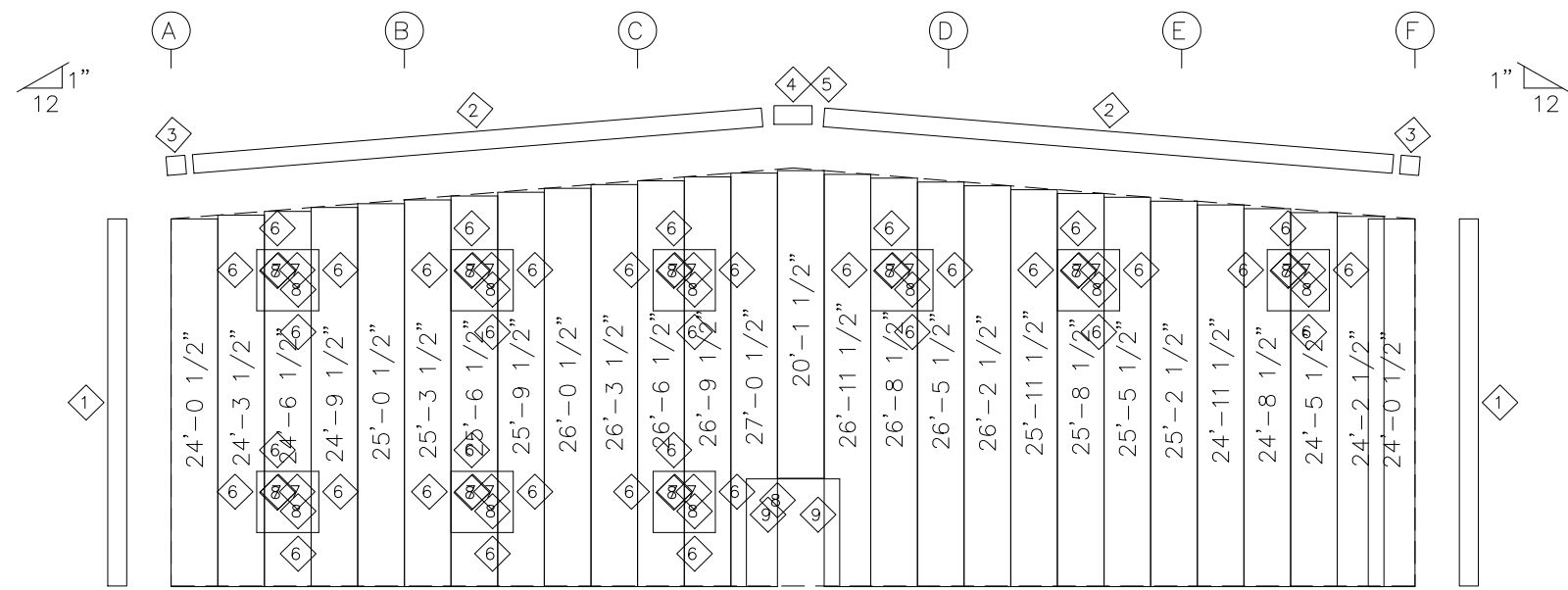
PANELS: 26 Ga. RL - Polar 40 yr



PRECISION ENT.	JD YUTZY
4430 DR GREAVES RD	
GRANDVIEW MO 64030	
JOB: JD12	DESIGN: DRAFTER:
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ENDWALL FRAMING: FRAME LINE 1



ENDWALL SHEETING & TRIM: FRAME LINE 1

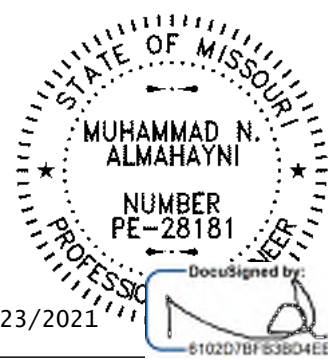
PANELS: 26 Ga. RL - Polar 40 yr

BOLT TABLE FRAME LINE 1				
LOCATION	QUAN	TYPE	DIA	LENGTH
ER-1/ER-2	8	A325	5/8"	1 3/4"
ER-2/ER-2	8	A325	5/8"	1 3/4"
Columns/Raf	2	A325	1/2"	1 1/2"
Jamb	2	A325	1/2"	1 1/2"

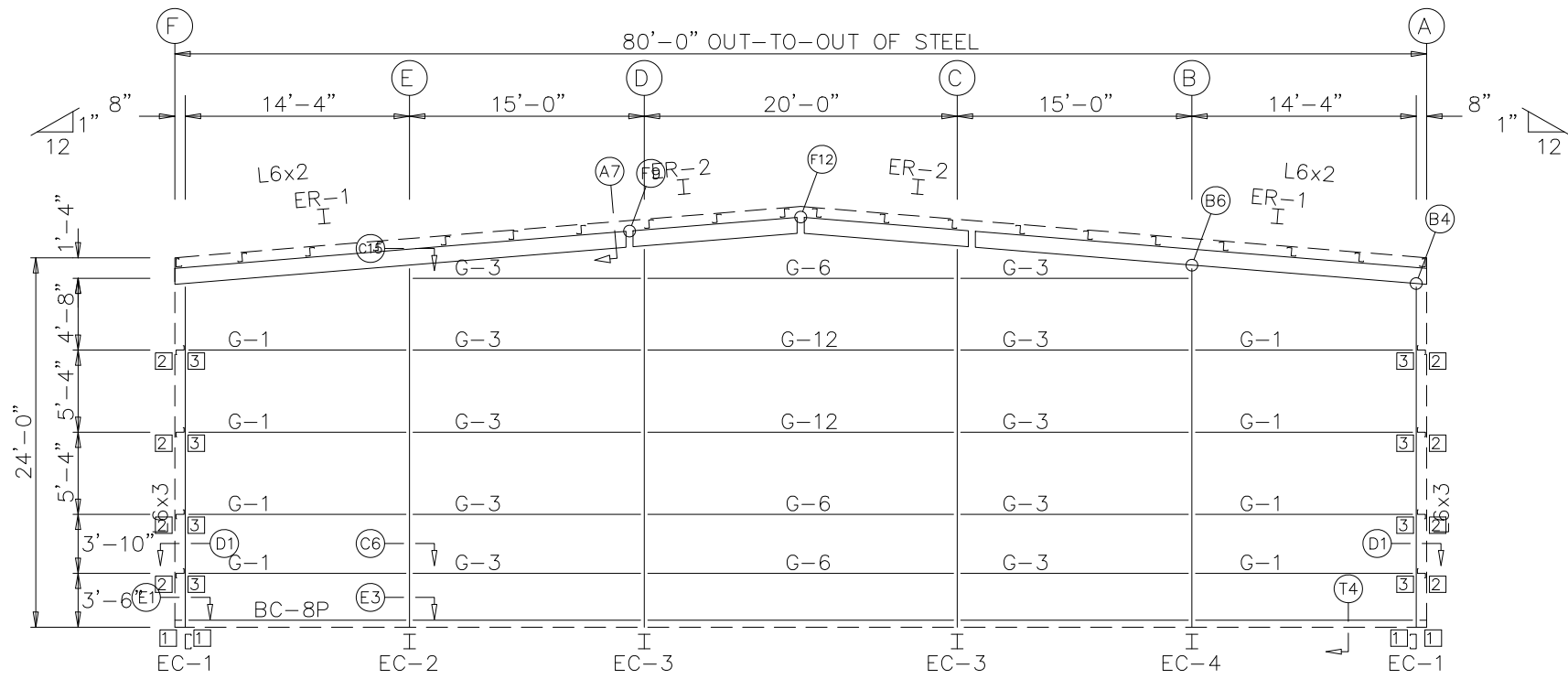
TRIM TABLE FRAME LINE 1			
ID	MARK	LENGTH	DETAIL
1	OU122	12'-2"	TRIM_26
2	RA204	20'-4"	TRIM_18
3	REND	1'-0"	
4	PBOXF	1'-0"	
5	PEAK	1'-0"	
6	JH102	10'-2"	
7	JA072	7'-2"	TRIM_31
8	HE063	6'-3"	TRIM_33
9	HE102	10'-2"	

MEMBER TABLE FRAME LINE 1		
MARK	PART	LENGTH
EC-1	C83516	22'-8 1/4"
EC-2	W8X10	23'-10 9/16"
EC-3	W8X13	25'-1 9/16"
EC-4	W8X10	23'-10 9/16"
ER-1	W8X10	29'-1 15/16"
ER-2	W8X10	10'-11 3/4"
DJ-1	C83516	10'-0 13/16"
DJ-2	C83516	10'-4 13/16"
DJ-3	C83516	12'-7 3/4"
DJ-4	C83516	9'-3 1/2"
DJ-5	C83516	7'-3 3/4"
DH-1	C83516	3'-11 1/2"
DH-2	C83516	5'-11 1/2"
DS-1	C83516	3'-11 1/2"
G-1	Z82516	13'-8"
G-2	Z82512	13'-8"
G-3	Z82516	14'-4"
G-4	Z82512	14'-4"
G-5	Z82512	19'-4"
G-6	Z82516	19'-4"
G-7	Z83514	19'-4"
G-8	Z82516	1'-3 1/2"
G-9	Z82516	14'-3 3/4"
G-10	Z82516	6'-3 3/4"
G-11	Z82514	13'-8"

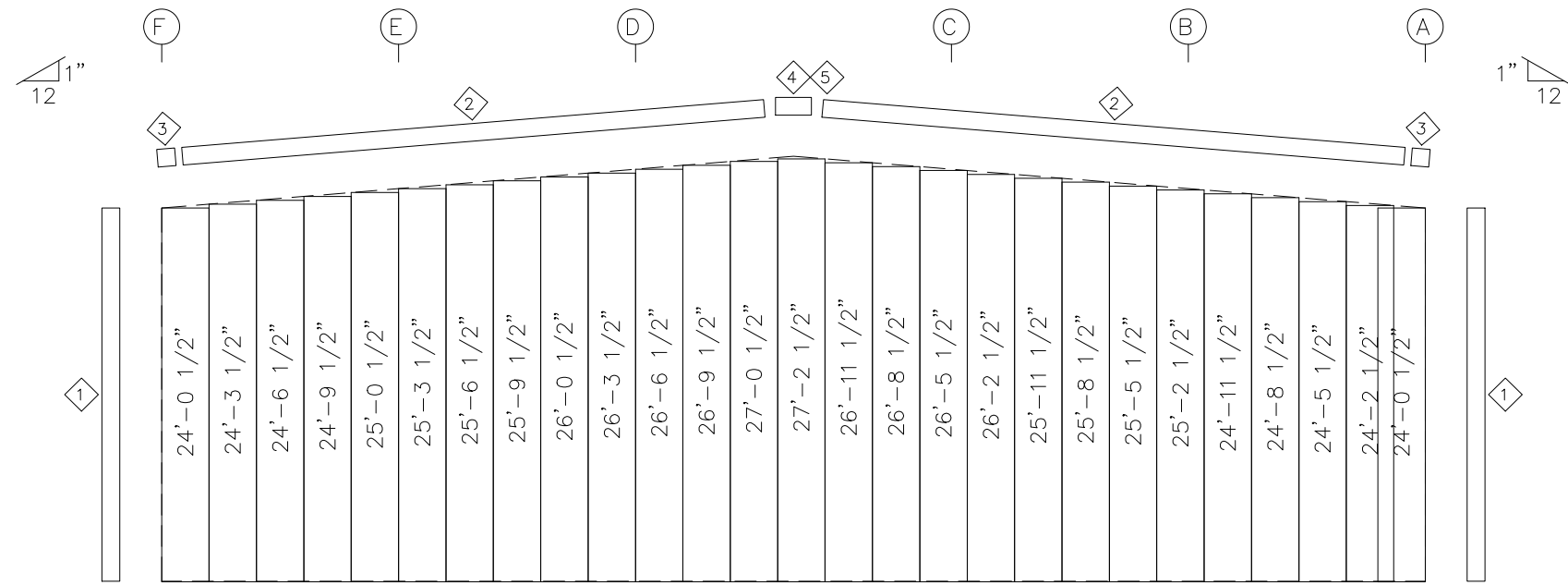
CONNECTION PLATES FRAME LINE 1	
ID	MARK/PART
1	f1
2	GC200
3	b1
4	f2
5	BC200
6	AK200
7	b3



PRECISION ENT.	JD YUTZY
4430 DR GREAVES RD	
GRANDVIEW MO 64030	
JOB: JD12	DESIGN: DRAFTER:
DATE: 4/22/21	
DRAWING NAME: ENDWALL FRAMING	PAGE: of



ENDWALL FRAMING: FRAME LINE 9



ENDWALL SHEETING & TRIM: FRAME LINE 9

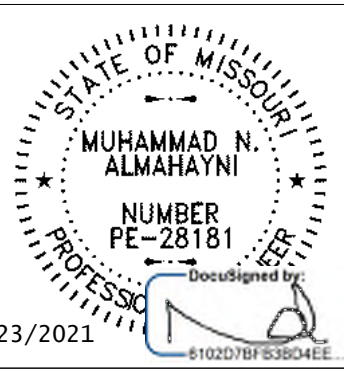
PANELS: 26 Ga. RL - Polar 40 yr

BOLT TABLE FRAME LINE 9				
LOCATION	QUAN	TYPE	DIA	LENGTH
ER-1/ER-2	8	A325	5/8"	1 3/4"
ER-2/ER-2	8	A325	5/8"	1 3/4"
Columns/Raf	2	A325	1/2"	1 1/2"

TRIM TABLE FRAME LINE 9			
ID	MARK	LENGTH	DETAIL
1	OU122	12'-2"	TRIM_26
2	RA204	20'-4"	TRIM_18
3	REND	1'-0"	
4	PBOXF	1'-0"	
5	PEAK	1'-0"	

MEMBER TABLE FRAME LINE 9		
MARK	PART	LENGTH
EC-1	C83516	22'-8 1/4"
EC-2	W8X10	23'-10 9/16"
EC-3	W8X13	25'-1 9/16"
EC-4	W8X10	23'-10 9/16"
ER-1	W8X10	29'-1 15/16"
ER-2	W8X10	10'-11 3/4"
G-1	Z82516	13'-8"
G-3	Z82516	14'-4"
G-6	Z82516	19'-4"
G-12	Z82514	19'-4"

CONNECTION PLATES FRAME LINE 9	
ID	MARK/PART
1	f1
2	GC200
3	b1



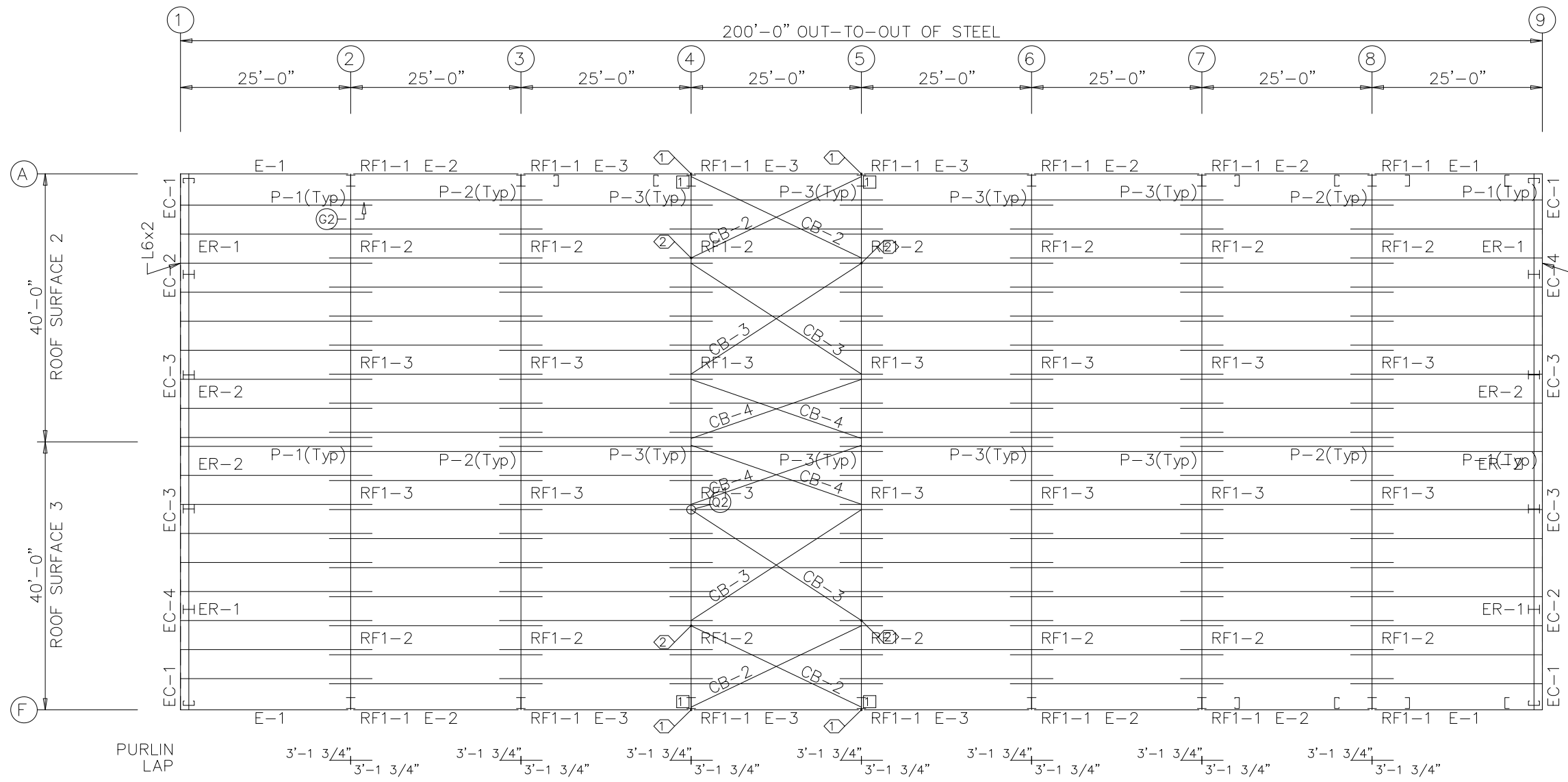
PRECISION ENT.		JD YUTZY	
4430 DR GREAVES RD			
GRANDVIEW MO 64030			
JOB:	JD12	DESIGN:	DRAFTER:
DATE:	4/22/21		
DRAWING NAME:	ENDWALL FRAMING	PAGE:	of

SPECIAL BOLTS					
ROOF PLAN					
Ø ID	QUAN	TYPE	DIA	LENGTH	WASH
1	4	A325	1/2"	1 1/4"	0
2	4	A307	1/2"	1 1/4"	0

TRIM TABLE			
ROOF PLAN			
Ø ID	MARK	LENGTH	DETAIL
1	FRC36	3'-0"	TRIM_23

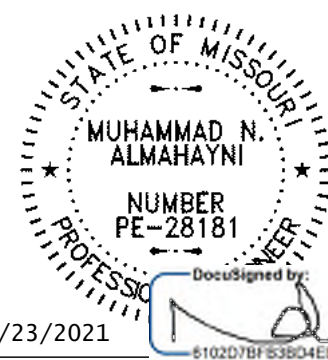
MEMBER TABLE		
ROOF PLAN		
MARK	PART	LENGTH
P-1	Z82512	28'-1 1/2"
P-2	Z82514	31'-3 1/2"
P-3	Z82516	31'-3 1/2"
E-1	08534DU1	24'-11 1/2"
E-2	08534DU1	24'-11 1/2"
E-3	08534DU1	24'-11 1/2"
CB-2	0.31_CBL	25'-8 1/4"
CB-3	0.25_CBL	28'-6 3/4"
CB-4	0.25_CBL	25'-1 3/4"

CONNECTION PLATES	
ROOF PLAN	
Ø ID	MARK/PART
1	k1



ROOF FRAMING PLAN

ROOF SHEETING
 PANELS: 26 Ga. RL
 Gray 40 yr



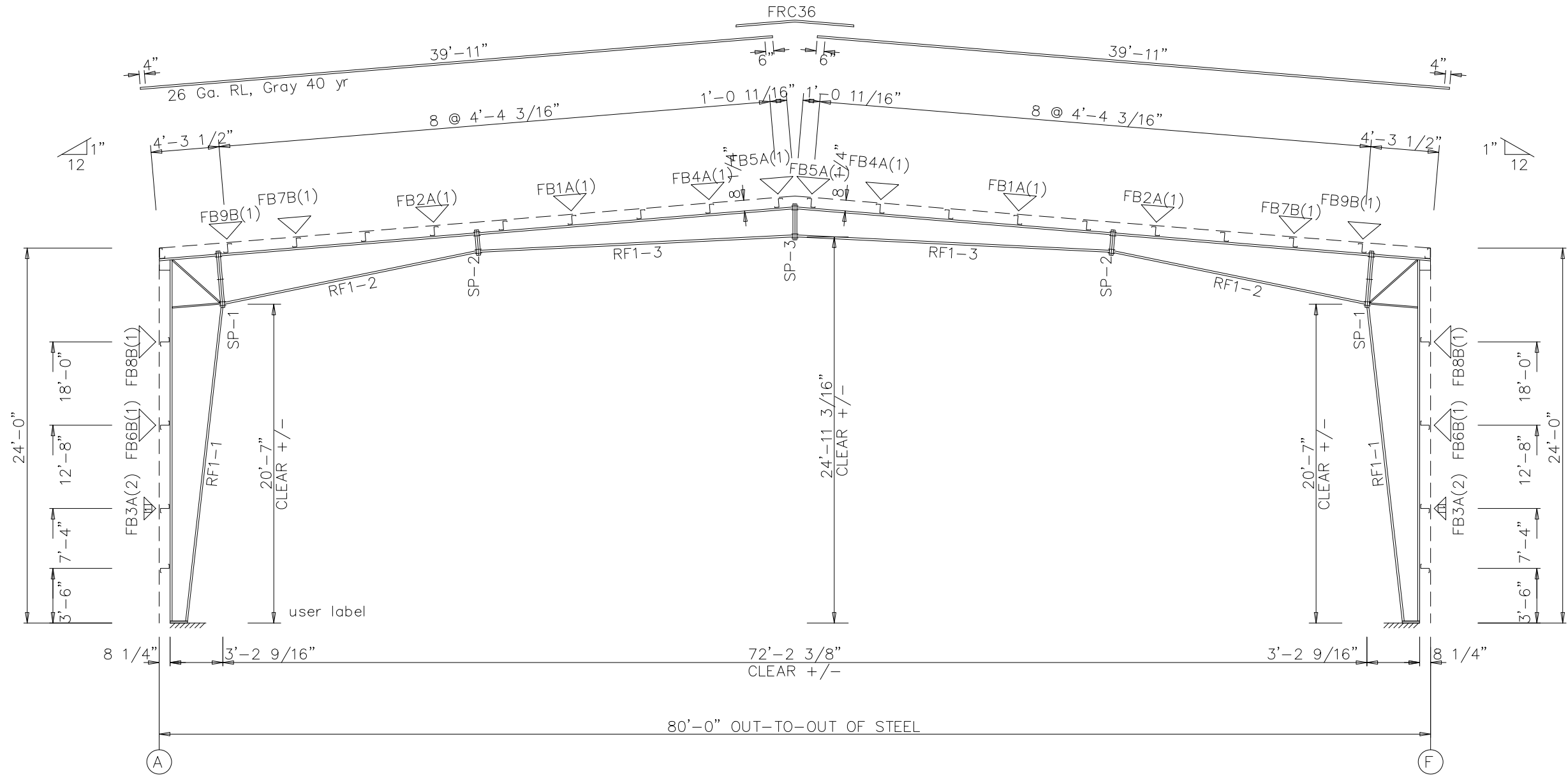
PRECISION ENT.		JD YUTZY	
4430 DR GREAVES RD			
GRANDVIEW MO 64030			
JOB:	JD12	DESIGN:	DRAFTER:
DATE:	4/22/21		
DRAWING NAME:	ROOF FRAMING	PAGE:	of

SPLICE BOLT TABLE						
Mark	Qty		Int	Type	Dia	Length
	Top	Bot				
SP-1	4	4	2	A325	1"	2' 1/2"
SP-2	4	4	0	A325	5/8"	2"
SP-3	4	4	0	A325	3/4"	2"

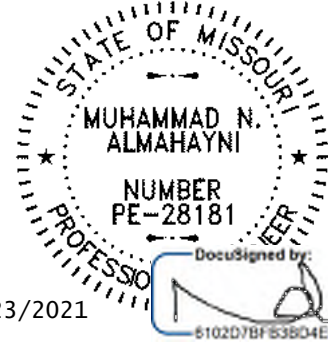
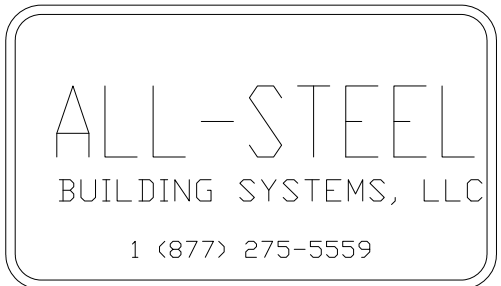
MEMBER TABLE								
Mark	Weight	Length	Web Depth		Web Plate		Outside Flange	Inside Flange
			Start/End	Thick	Length	W x Thk x Length	W x Thk x Length	
RF1-1	753	23'-4 7/8"	160.0/37.7	0.188	20'-0"	6 x 3/16" x 19'-6"	6 x 3/8" x 19'-6"	
			37.7/38.0	0.188	3'-6 5/8"	6 x 3/16" x 3'-9 3/4"	6 x 3/8" x 10 9/16"	
RF1-2	510	16'-4 3/8"	436.0/12.1	0.188	16'-3 5/8"	6 x 3/16" x 16'-3 5/8"	6 x 3/8" x 16'-5 1/16"	
RF1-3	427	20'-1"	12.0/20.0	0.135	20'-0"	6 x 5/16" x 20'-0"	6 x 1/4" x 19'-10 7/16"	

▽ FLANGE BRACES: FBxx (1 or 2)
 xx=length(in)
 (1) One Side; (2) Two Sides
 A - B2514
 B - L2X2X1/8

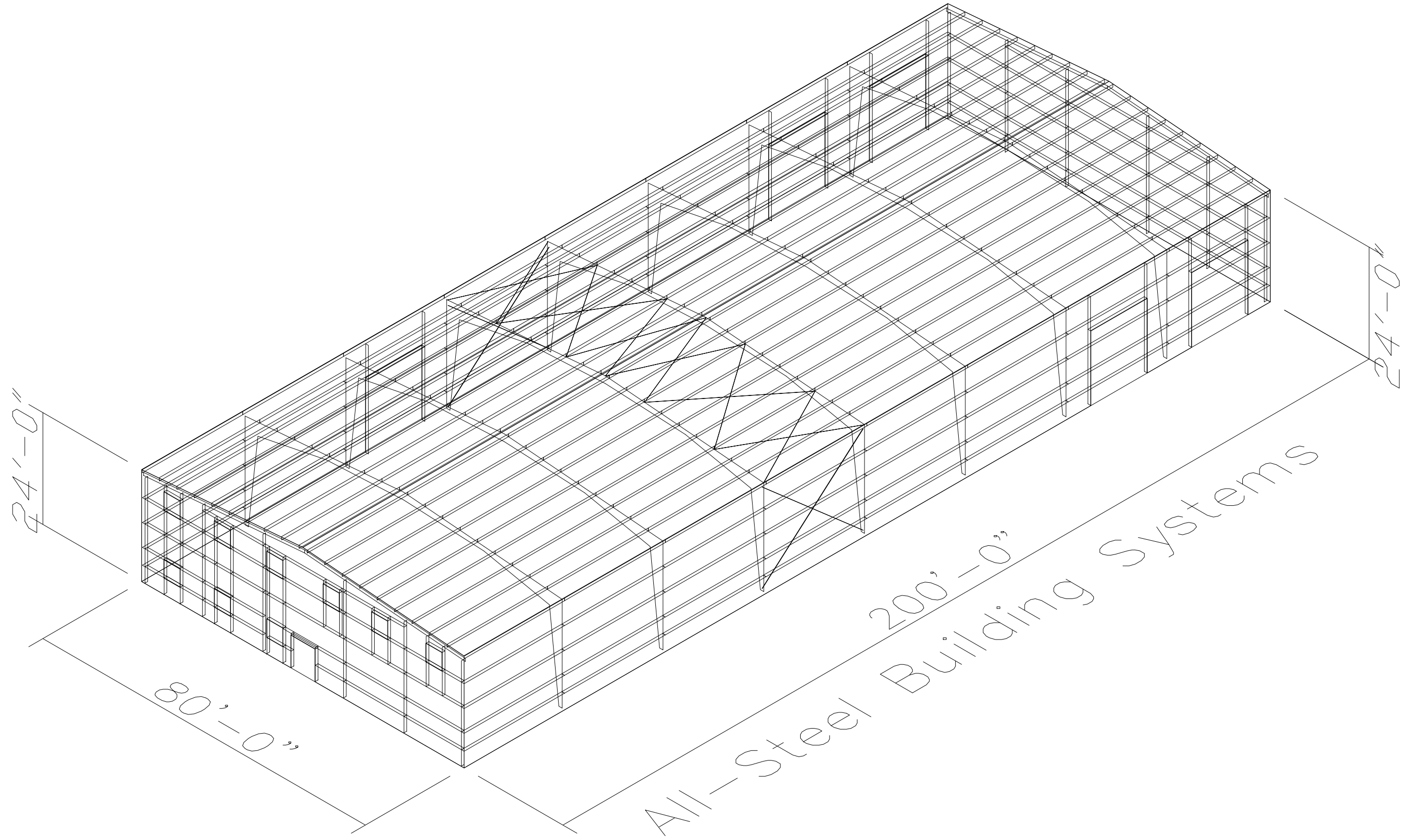
CONNECTION PLATES	
ID	Mark/Part
1	h1



RIGID FRAME ELEVATION: FRAME LINE 2 3 4 5 6 7 8

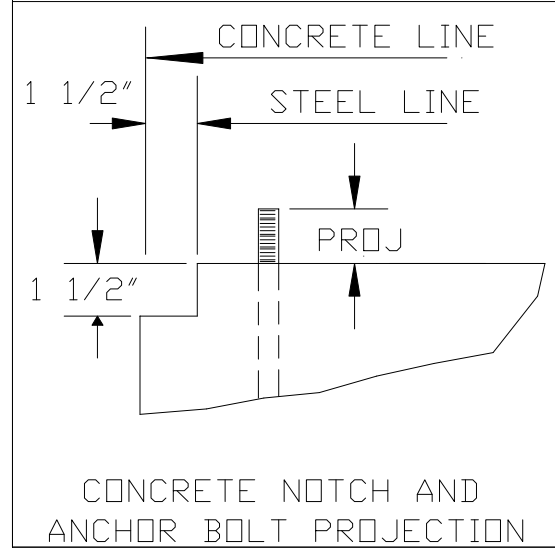
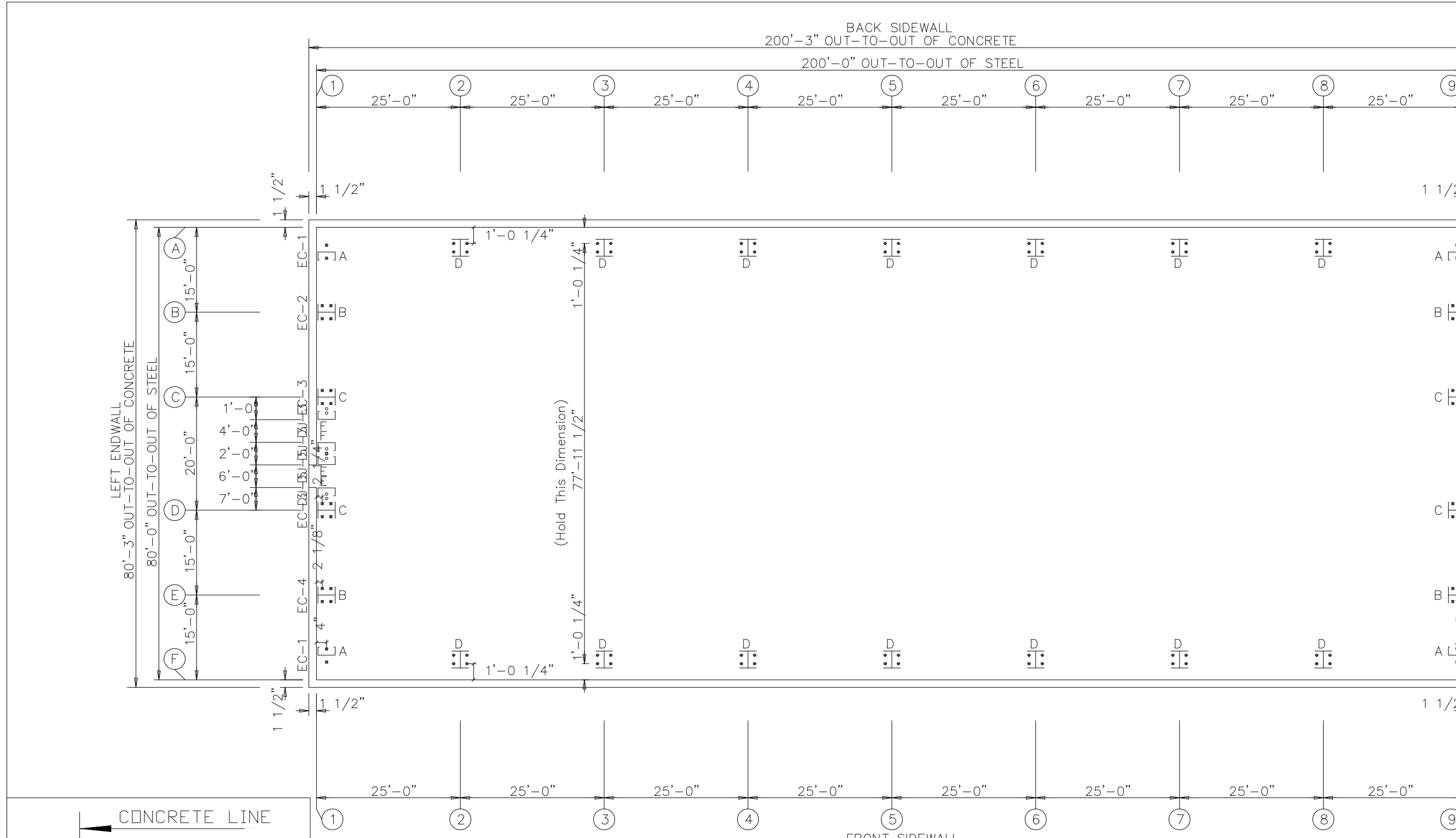


PRECISION ENT.		JD YUTZY	
4430 DR GREAVES RD			
GRANDVIEW MO 64030			
JOB:	JD12	DESIGN:	DRAFTER:
DATE:	4/22/21		
DRAWING NAME:	RIGID FRAME ELEVATION	PAGE:	of

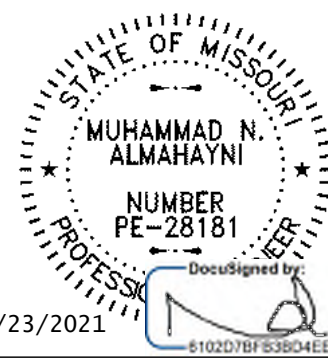


ANCHOR BOLT SUMMARY

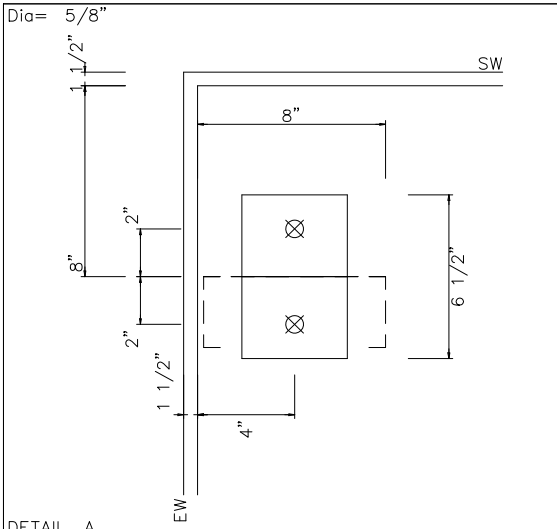
Qty	Locate	Dia (in)	Type	Total Len (in)	Proj (in)
8	Jamb	1/2"	A307	12.0	2.00
40	Endwall	5/8"	A307	12.0	3.00
56	Frame	3/4"	A307	18.0	3.00



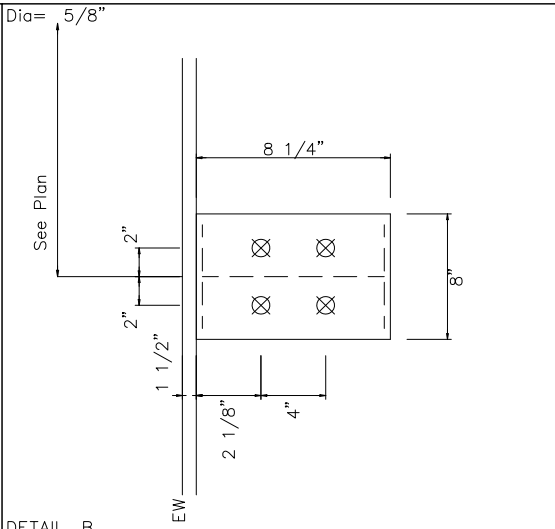
ANCHOR BOLT PLAN
NOTE: All Base Plates @ 100'-0" (U.N.)



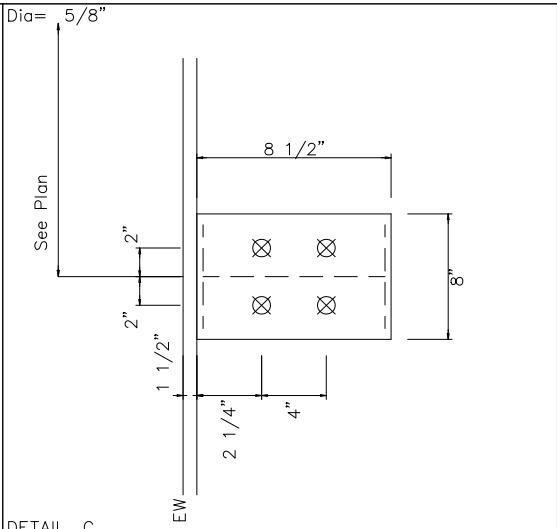
PRECISION ENT.	JD YUTZY
4430 DR GREAVES RD	
GRANDVIEW MO 64030	
JOB: JD12	DESIGN: DRAFTER:
DATE: 4/22/21	
DRAWING NAME: ANCHOR BOLT PLAN & REACTIONS	PAGE: of



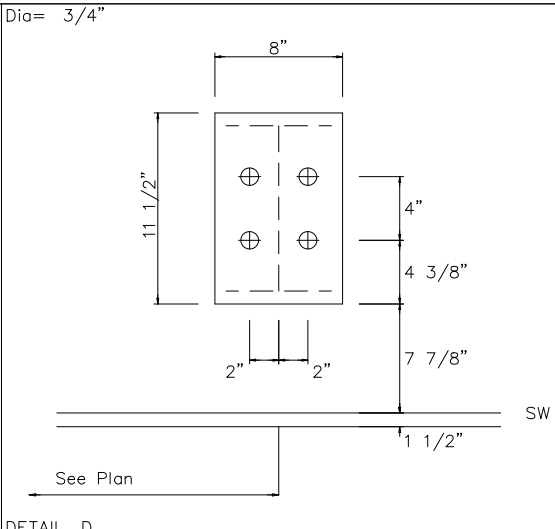
DETAIL A



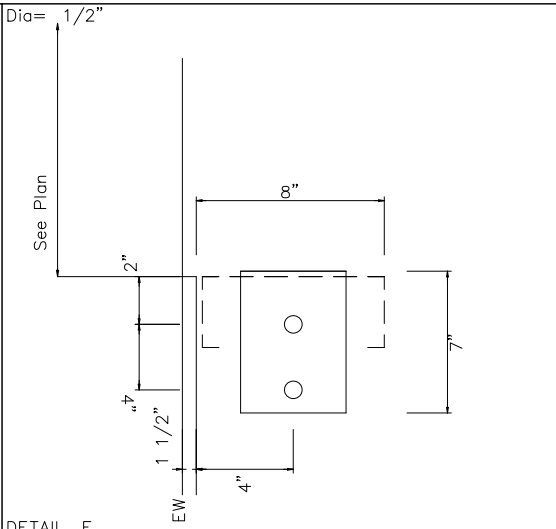
DETAIL B



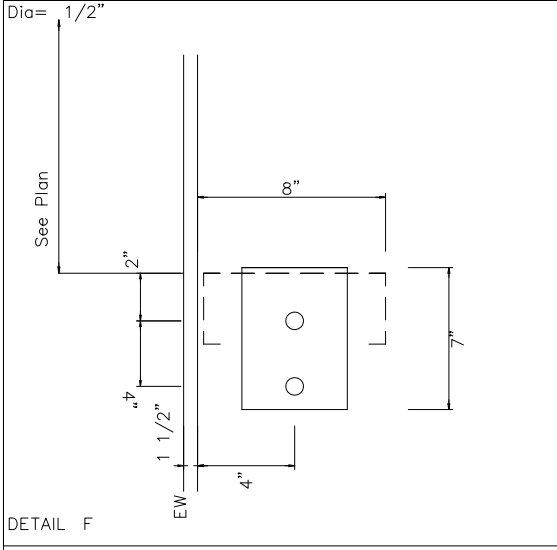
DETAIL C



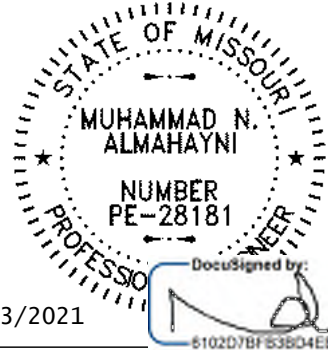
DETAIL D



DETAIL E



DETAIL F

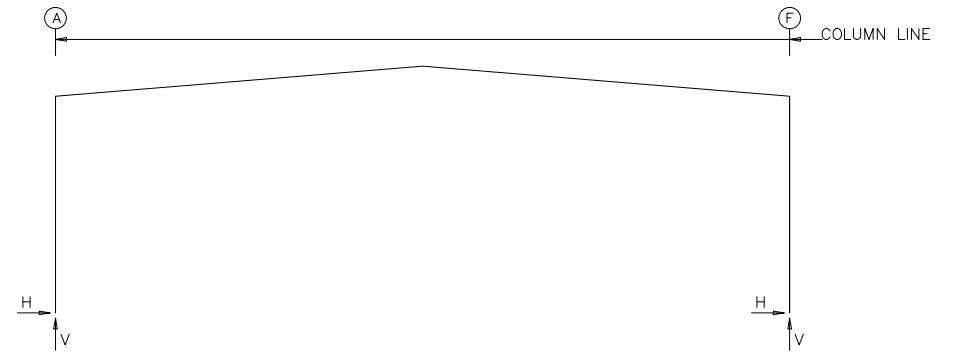


4/23/2021

PRECISION ENT.		JD YUTZY	
4430 DR GREAVES RD			
GRANDVIEW MO 64030			
JOB:	JD12	DESIGN:	DRAFTER:
DATE:	4/22/21		
DRAWING NAME:	ANCHOR BOLT DETAILS	PAGE:	of

DocuSigned by: [Signature]

FRAME LINES: 2 3 4 5 6 7 8



RIGID FRAME: MAXIMUM REACTIONS, ANCHOR BOLTS, & BASE PLATES

Frm Id	Col Line	Column_Reactions(k)						Bolt(in) Qty	Dia	Base_Plate(in)			Grout (in)
		Load Id	Hmax H	V Vmax	Load Id	Hmin H	V Vmin			Width	Length	Thick	
1*	A	5	14.51	25.49	1	-7.30	-10.05	4	0.750	8.000	11.50	0.500	0.0
		3			3	-1.97	-13.99						
		5	-14.51	25.49	4	1.97	-13.99						
1*	F	2	7.30	-10.05	5	-14.51	25.49	4	0.750	8.000	11.50	0.500	0.0
		5			4								

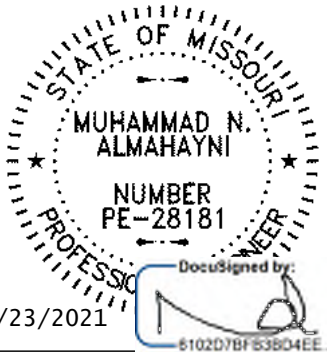
1* Frame lines: 2 3 4 5 6 7 8

ENDWALL COLUMN: MAXIMUM REACTIONS, ANCHOR BOLTS, & BASE PLATES

Frm Line	Col Line	Column_Reactions(k)						Bolt(in) Qty	Dia	Base_Plate(in)			Grout (in)
		Load Id	Hmax H	V Vmax	Load Id	Hmin H	V Vmin			Width	Length	Thick	
1	A	3	0.00	-1.30	3	0.00	-1.30	2	0.625	6.500	5.750	0.188	0.0
		5	0.00	2.09									
1	B	6	2.40	-3.00	7	-2.17	-3.00	4	0.625	8.000	8.250	0.375	0.0
		5	0.00	5.09	6	2.40	-3.00						
1	C	8	3.01	-3.16	7	-2.73	-2.95	4	0.625	8.000	8.500	0.375	0.0
		9	0.00	6.15	8	3.01	-3.16						
1	D	10	3.01	-3.16	11	-2.73	-2.95	4	0.625	8.000	8.500	0.375	0.0
		12	0.00	6.15	10	3.01	-3.16						
1	E	13	2.40	-3.00	11	-2.17	-3.00	4	0.625	8.000	8.250	0.375	0.0
		5	0.00	5.09	13	2.40	-3.00						
1	F	4	0.00	-1.30	4	0.00	-1.30	2	0.625	6.500	5.750	0.188	0.0
		5	0.00	2.09									
9	F	3	0.00	-1.30	3	0.00	-1.30	2	0.625	6.500	5.750	0.188	0.0
		5	0.00	2.09									
9	E	6	2.40	-3.00	7	-2.17	-3.00	4	0.625	8.000	8.250	0.375	0.0
		5	0.00	5.09	6	2.40	-3.00						
9	D	8	3.01	-3.16	7	-2.73	-2.95	4	0.625	8.000	8.500	0.375	0.0
		14	0.00	6.15	8	3.01	-3.16						
9	C	10	3.01	-3.16	11	-2.73	-2.95	4	0.625	8.000	8.500	0.375	0.0
		15	0.00	6.15	10	3.01	-3.16						
9	B	13	2.40	-3.00	11	-2.17	-3.00	4	0.625	8.000	8.250	0.375	0.0
		5	0.00	5.09	13	2.40	-3.00						
9	A	4	0.00	-1.30	4	0.00	-1.30	2	0.625	6.500	5.750	0.188	0.0
		5	0.00	2.09									

BUILDING BRACING REACTIONS

Wall Loc	Col Line	± Reactions(k)				Panel_Shear (lb/ft)	
		Wind Horz	Seismic Vert	Wind Horz	Seismic Vert	Wind	Seis
L_EW	1					80	45
F_SW	F	4,5	9.20	8.22	3.59	3.21	
R_EW	9					38	21
B_SW	A	5,4	9.20	8.22	3.59	3.21	



PRECISION ENT.	JD YUTZY
4430 DR GREAVES RD	
GRANDVIEW MO 64030	
JOB: JD12	DESIGN: DRAFTER:
DATE: 4/22/21	
DRAWING NAME: ANCHOR BOLT REACTIONS	PAGE: of

October 25, 2024

VIA U.S. MAIL

To Adjacent Neighbors

**Re: Falk Quarry / Public Engagement Meeting;
Case No. CP-CPC-2024-00152**

Dear Property Owner:

We represent LPJ Holdings, LLC concerning property generally located at the northwest corner of I-435 and E. 63rd Street. We submitted an application to the City Plan Commission for approval of a Development Plan. Approval of the application will amend the existing approved development plan to permit the continued operation of the quarry and outdoor storage and will reduce the proposed construction for four buildings to one building on 66.390 acres of land. A copy of the Development Plan is enclosed. No rezoning is required in connection with this project.

You are receiving this notice in accordance with city code that requires a public meeting with neighborhoods for certain types of development projects and that all property owners within 300 feet are invited. This public meeting is an opportunity for you to come learn more about the Development Plan and discuss these plans with the developer's representatives. You can read more about the process requirements at kcmo.gov/publicengagement. If you would like further information on this proposed project, please visit Kansas City's planning and permitting system, Compass KC, at Compasskc.kcmo.org. You may search by project type and address/case number to find project details.

This public meeting will be held by Zoom conference call on Tuesday, November 19, 2024, at 6:00 p.m.

Join the Zoom Meeting at <https://zoom.us/join>. Call-in instructions are as follows:

Meeting ID: 876 9420 9696
Passcode: 376985
Or dial: (312) 626-6799

Any questions or concerns can be addressed to:

Name: Patricia R. Jensen
Email: pjensen@rousepc.com
Phone: 816-502-4723
Title/Role: Attorney
Company: Rouse Frets White Goss Gentile Rhodes, P.C.
Representing: LPJ Holdings, LLC


{34768 / 73206; 1032938. }

Attorneys at Law || 4510 Belleview Avenue, Suite 300 || Kansas City, MO 64111 || rousepc.com

Adjacent Neighbors
October 25, 2024
Page 2

We anticipate the Application will be heard by the City Plan Commission on Wednesday, December 4, 2024.

Very truly yours,



Patricia R. Jensen

PRJ:kab

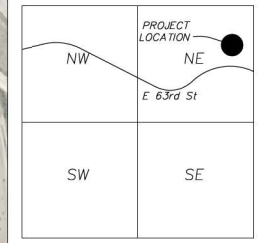
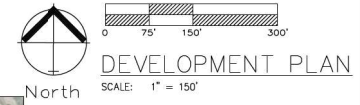
Enclosure

cc: Jeff Falk
Bob Collins
Matt Schlicht
Rachelle M. Biondo
City Planning and Development, publicengagement@kcmo.org

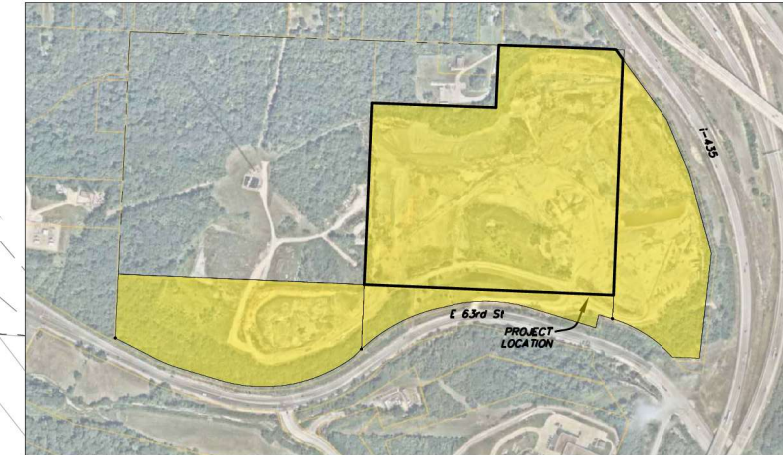
DEVELOPMENT PLAN FALK QUARRY

Kansas City, Jackson County, Missouri

NOTE:
Wayfinding signage will be installed.



VICINITY MAP
SEC. 26-52-33

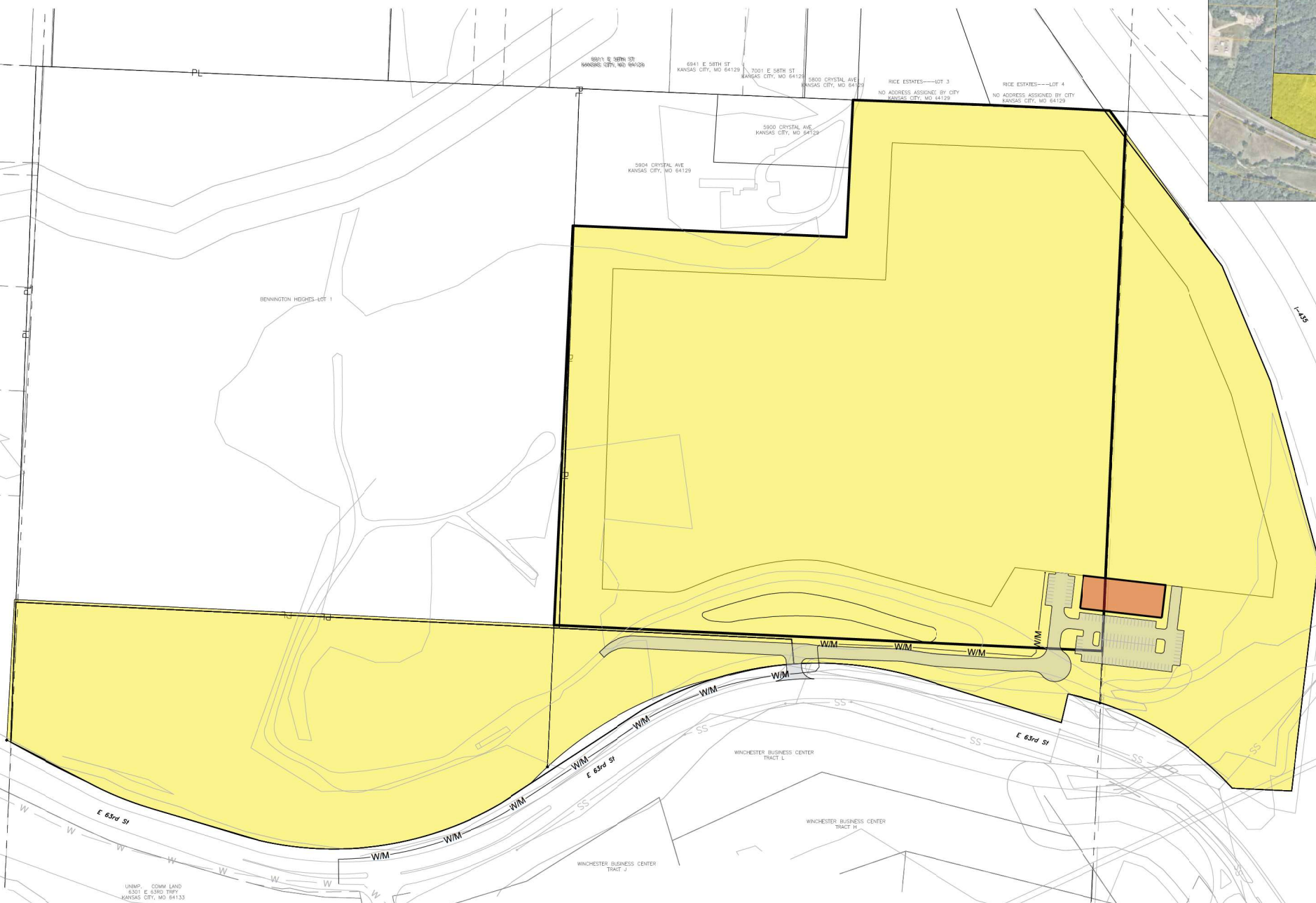


NOTE:
Project Plan not required as this development plan contains all of the necessary information.

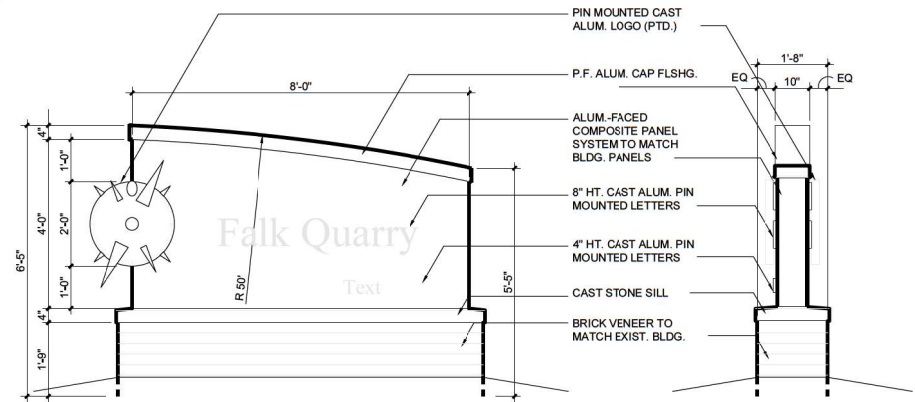
MONUMENT SIGN NOTES:
-Any monument or site sign shall comply with Section 88-445

MECHANICAL EQUIPMENT AND UTILITY CABINET NOTES:
-Any Mechanical Equipment and Utility Cabinets shall comply with Section 88-425-08-B and 88-425-08-D

INDEX OF SHEETS:
C.001 - DEVELOPMENT PLAN
C.002 - EXISTING CONDITIONS
C.003 - PRELIMINARY PLAT
C.100 - OVERALL SITE PLAN
C.101 - SITE PLAN SOUTH
C.102 - SITE PLAN WEST
C.103 - SITE PLAN NORTH
C.104 - OVERALL SIDEWALK PLAN
C.200 - OVERALL GRADING PLAN
C.201 - GRADING PLAN SOUTH
C.202 - GRADING PLAN WEST
C.203 - GRADING PLAN NORTH
C.300 - UTILITY PLAN
L.100 - LANDSCAPE PLAN
L.101 - TREE PRESERVATION PLAN
A.1 - EXTERIOR ELEVATIONS
A.2 - EXTERIOR ELEVATIONS



Development Summary Table	
a	Zoning
	Existing M3-2 Proposed M2-2
b	Total Land Area
	Existing 66.390 Acres Proposed 66.390 Acres
c	Right-of-Way
	Existing 0 Acres Proposed 0 Acres
d	Net Land Area
	Existing 66.390 Acres Proposed 66.390 Acres Proposed 2891872.540 SF
e	Proposed Uses
	COMMERCIAL
f	Structure Height & Number of Floors
	BUILDING Number of floors 2 stories Height Above Grade 24 feet
k	Vehicle Parking
	Ratio Required 1 stall per unit Stalls Required 113 Stalls Stalls Provided 113 Stalls
l	Bike Parking
	Long Term Ratio Required 10% of Veh. Parking=11 Spaces In Unit Spaces Provided 11 Spaces Short Term Ratio Required 10% of Veh. Parking=11 Spaces Spaces Provided 11 Spaces
m	Timeline
	Estimated Start Date: FALL 2024 Estimated Completion Date: FALL 2025
n	Deviation Requests
	NONE



BICYCLE PARKING
INSTALL THREE (3) - 6 BAY BIKE RACKS.

LONG TERM BICYCLE PARKING
Long Term Bicycle Parking will be located within each individual unit. Complies with Section 88-420-09-C. a.3

OWNER:
A E WOLFE ENVIRONMENTAL SERVICES INC
3001 E 63RD ST
KANSAS CITY, MO 64132

CIVIL ENGINEER:
ENGINEERING SOLUTIONS
CONTACT NAME: MATT SCHLICHT
EMAIL: mschl@ees-nc.com
PHONE: 816-623-9888
ADDRESS: 50 SE 30TH STREET
LEE'S SUMMIT, MO 64082

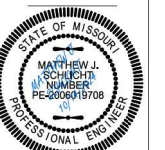
ENGINEERING SOLUTIONS
ENGINEERING & SURVEYING
50 SE 30TH STREET
LEE'S SUMMIT, MO 64082
P: (816) 623-9888 F: (816) 623-9849

Professional Registration
Missouri
Engineering 2005002186-D
Surveying 2005008319-D
Kansas
Engineering E-1695
Surveying LS-218
Oklahoma
Engineering 6254
Nebraska
Engineering CA2821

7300 E 63RD TRFY
7530 E 63RD ST
6625 E 63RD ST
KANSAS CITY, JACKSON COUNTY, MISSOURI

Project: FALK QUARRY, MOBILE
Issue Date: October 14, 2024

DEVELOPMENT PLAN
Development Plan for:
FALK QUARRY
Kansas City, Jackson County, Missouri



Matthew J. Schlicht
MO PE 2006019708
KS PE 19071
OK PE 25226
NE PE E-14335

REVISIONS

LANDSCAPE REQUIREMENTS
 PER 88-425 OF THE CITY OF KANSAS CITY, MISSOURI ZONING AND DEVELOPMENT CODE
 STREET TREES (88-425-03)

A. At least one street tree is required for each 30 feet of street frontage

LOCATION	REQUIREMENT	PROVIDED
I-435	7 Trees Required	7 Trees
E 63rd St	500 Feet	17 Trees Required 17 Trees

88-425-05 Perimeter Landscaping of Vehicular Use Areas
 B. 1 Tree per 30 feet of parking and a continuous 3' high screening (Requirement Met)

Street trees are used to meet the tree requirement and a solid line of evergreen shrubs will provide the 3' high screening (Requirement Met)

88-425-06 B Interior Landscaping of Parking Lots

A. At Least 23 square feet of interior landscape area is required per parking space

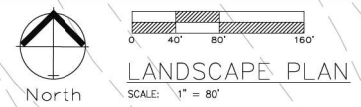
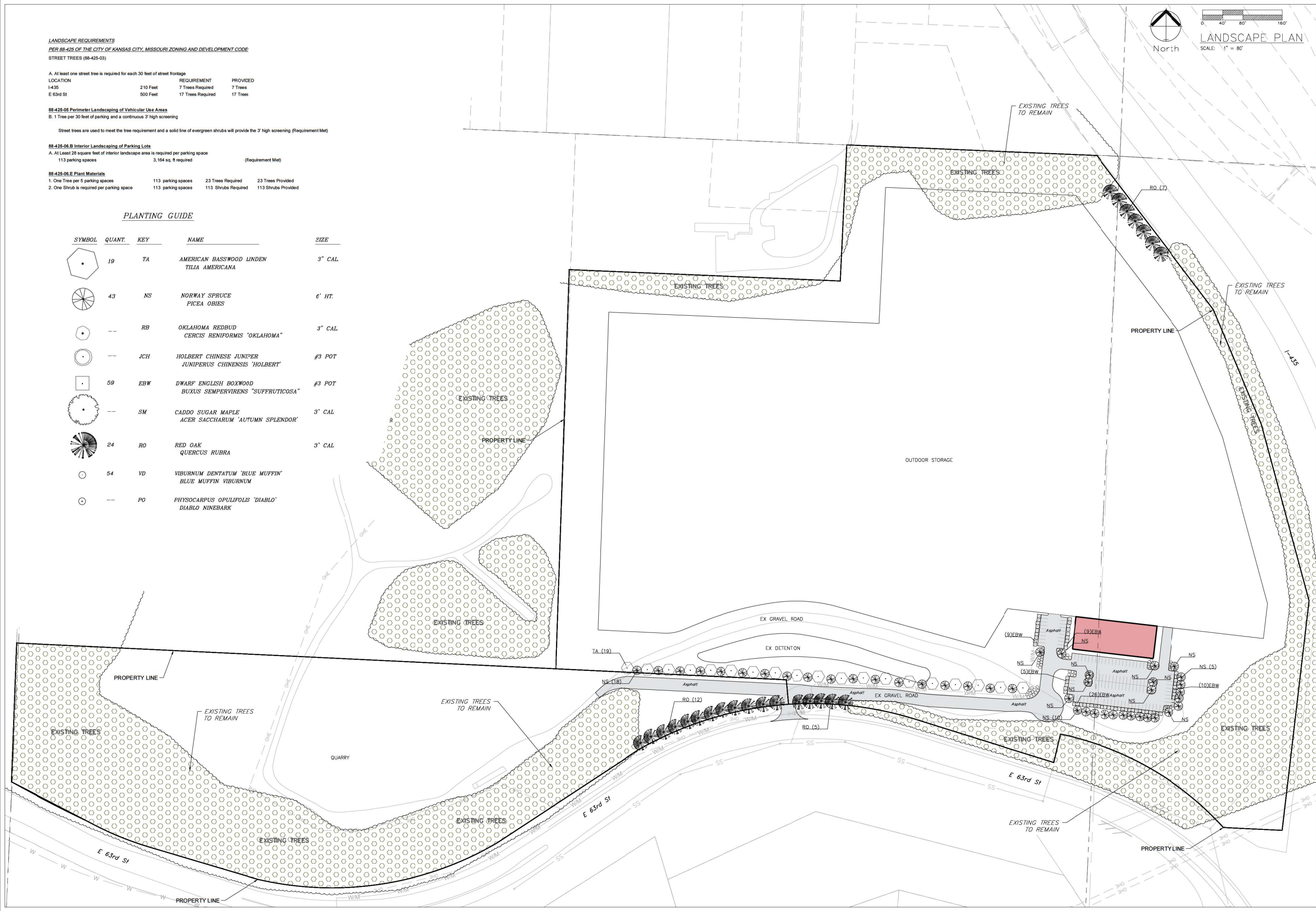
113 parking spaces	3,164 sq. ft required	(Requirement Met)
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88-425-06 E Plant Materials

1. One Tree per 5 parking spaces	113 parking spaces	23 Trees Required	23 Trees Provided
2. One Shrub per 30 feet of parking space	113 parking spaces	113 Shrubs Required	113 Shrubs Provided

PLANTING GUIDE

SYMBOL	QUANT.	KEY	NAME	SIZE
	19	TA	AMERICAN BASSWOOD LINDEN TILIA AMERICANA	3" CAL.
	43	NS	NORWAY SPRUCE PICEA OBIES	6' HT.
	--	RB	OKLAHOMA REDBUD CERCIS RENIFORMIS 'OKLAHOMA'	3" CAL.
	--	JCH	HOLBERT CHINESE JUNIPER JUNIPERUS CHINENSIS 'HOLBERT'	#3 POT
	59	EBW	DWARF ENGLISH BOXWOOD BUXUS SEMPERVIRENS 'SUFFRUTICOSA'	#3 POT
	--	SM	CADDO SUGAR MAPLE ACER SACCHARUM 'AUTUMN SPLENDOR'	3" CAL.
	24	RO	RED OAK QUERCUS RUBRA	3" CAL.
	54	VD	VIBURNUM DENTATUM 'BLUE MUFFIN' BLUE MUFFIN VIBURNUM	
	--	PO	PHYSOCARPUS OPULIFOLIS 'DIABLO' DIABLO NINEBARK	



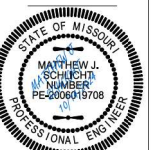
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 P: (816) 623-9888 F: (816) 623-9849

Professional Registration
 Missouri
 Engineering 200502186-D
 Surveying 2005008319-D
 Kansas
 Engineering E-1695
 Surveying LS-218
 Oklahoma
 Engineering 6254
 Nebraska
 Engineering CA2821

7300 E 63RD TRFY
 7530 E 63RD ST
 6625 E 63RD ST
 KANSAS CITY, JACKSON COUNTY, MISSOURI

Project: FALK QUARRY, MOBILE
 Issue Date: October 14, 2024

Landscape Plan for:
 FALK QUARRY
 Kansas City, Jackson County, Missouri



Matthew J. Schlicht
 MO PE 2006019708
 KS PE 19071
 OK PE 25226
 NE PE E-14335

REVISIONS

NO.	DATE	DESCRIPTION



CITY PLANNING & DEVELOPMENT

Public Meeting Summary Form

Project Case #

Meeting Date:

Meeting Location:

Meeting Time (include start and end time):

Additional Comments (optional):

Meeting Sign-In Sheet

Project Name and Address

Name	Address	Phone	Email
Mike Jacobs	5800 Crystal Ave.		