



## Agenda

### Neighborhood Planning and Development Committee

Chairperson Ryana Parks-Shaw

Vice Chair Eric Bunch

Councilmember Nathan Willett

Councilmember Melissa Patterson Hazley

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**Tuesday, April 15, 2025**

**1:30 PM**

**26th Floor, Council Chamber**

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**Webinar Link: <https://us02web.zoom.us/j/84530222968>**

#### PUBLIC OBSERVANCE OF MEETINGS

Members of the City Council may attend this meeting via videoconference.

Any closed session may be held via teleconference.

The public can observe this meeting at the links provided below.

Applicants and citizens wishing to participate have the option of attending each meeting or they may do so through the videoconference platform ZOOM, using this link:

<https://us02web.zoom.us/j/84530222968>

\*\*\*Public Testimony is Limited to 2 Minutes\*\*\*

#### FIRST READINGS

#### CITY PLANNING AND DEVELOPMENT

**Director of City Planning & Development**

**250261** Sponsor: Director of City Planning and Development Department

Approving the petition to establish the Blue Ridge Crossing Community Improvement District; establishing the Blue Ridge Crossing Community Improvement District generally bounded by Interstate 70 to the north, Blue Ridge Boulevard to the east, East 43rd Street to the south, and Northern Avenue to the west in Kansas City, Jackson County, Missouri; requiring the annual submission of certain records; and directing the City Clerk to report the creation of the District to the Missouri Department of Economic Development and the Missouri State Auditor.

**Attachments:** [Blue Ridge Crossing CID - Docket Memo](#)

**Director of City Planning & Development**

**250264** Sponsor: Director of City Planning and Development Department

Approving an amendment to the Midtown/Plaza Area Plan on about 0.4 acres generally located at the northwest corner of West 47th Street and Belleview Avenue by changing the Future Land Use from office/residential to mixed use community. (CD-CPC-2025-00031)

**Attachments:** [Docket Memo CD-CPC-2025-00031 4646 Belleview Ave](#)

**Director of City Planning & Development and Bough**

**250265** Sponsor: Director of City Planning and Development Department

Rezoning an area of about 0.4 acres generally located at the northwest corner of West 47th Street and Belleview Avenue from Districts R-1.5 and B1-1 to District B2-2 and approving a development plan to allow for the expansion of an existing building to be used as an event venue. (CD-CPC-2025-00006 and CD-CPC-2025-00005).

**Attachments:** [Docket Memo CD-CPC-2025-00005 00006 4646 Belleview Ave](#)

**Director of City Planning & Development**

**250274** Sponsor: Director of City Planning and Development Department

Rezoning an area of about 4.71 acres generally located on East Truman Road between McGee Street and Oak Street from District UR to District UR and approving a development plan to allow for new uses to be added to the previously approved plan, including Communications Service Establishments; Office; Artist Work or Sales Space; Artisan Manufacturing; Entertainment Venue; and Warehousing, Wholesaling, Storage, and Freight Movement.  
(CD-CPC-2024-00191)

**Attachments:** [Docket Memo 1601 McGee Street](#)

**NEIGHBORHOOD SERVICES DEPARTMENT**

**Director of Neighborhoods**

**250278** Sponsor: Director of Neighborhood Services Department

Approving contracts in the amount of \$3,223,310.00 from previously appropriated funds in the Neighborhood Tourist Development Fund with various nonprofit organizations selected as part of the FY 2025-26 annual application cycle for the purpose of promoting neighborhoods and tourism through cultural, social, ethnic, historic, educational, and recreational activities.

**Attachments:** [Docket Memo 0.1.5 \(4\)](#)

**MAYOR'S OFFICE**

**Lucas**

**250266** Sponsor: Mayor Quinton Lucas

RESOLUTION - Appointing Doug Winter, Steve Drehle and Jesse Hufft as successor directors to the 1707 Locust Community Improvement District.

**Attachments:** [Docket Memo 250266](#)

**Lucas**

**250267** Sponsor: Mayor Quinton Lucas

RESOLUTION - Appointing Roger Summers and Babette Macy as successor directors to the 906 Grand Community Improvement District.

**Attachments:** [Docket Memo 250267](#)

**Lucas**

[250268](#) Sponsor: Mayor Quinton Lucas

RESOLUTION - Appointing Mark Thompson as successor director to the Kansas City Convention Center Headquarters Hotel Community Improvement District.

**Attachments:** [Docket Memo 250268](#)

**Lucas**

[250269](#) Sponsor: Mayor Quinton Lucas

RESOLUTION - Appointing Nathan Guffey, Erin Brower and Steve Doyal as successor directors to the Pershing and Grand Community Improvement District.

**Attachments:** [Pershing and Grand - Successor Directors 3.26.2025](#)  
[Docket Memo 250269](#)

**Lucas**

[250270](#) Sponsor: Mayor Quinton Lucas

RESOLUTION - Appointing Matt Smith, Kyle Kelly and Erik Wullschleger as successor directors to the Romanelli Shops Community Improvement District.

**Attachments:** [Docket Memo 250270](#)

**COUNCIL**

**Willett**

[250276](#) Sponsor: Councilmember Nathan Willett

Rezoning an area of about 16.3 acres generally located on the south side of Old N.E. Barry Road and on both sides of N. Cleveland Avenue from Districts R-80 and R-7.5 to District R-1.5 and approving a development plan that also serves as a preliminary plat to allow for a residential development. (CD-CPC-2024-00186 and CD-CPC-2024-00187)

**Attachments:** [No Docket Memo 250276](#)

**Willett**

**250279** Sponsor: Councilmember Nathan Willett

RESOLUTION - Directing the City Manager to research and report back to the City Council on the feasibility of installing Safe Haven Baby Boxes in fire stations throughout Kansas City, Missouri.

**Attachments:** [No Docket Memo 250279](#)

**Rea**

**250285** Sponsor: Councilmember Crispin Rea

Amending Chapter 88, the Zoning and Development Code, by repealing Section 88-110-04, "Residential Building Types," and Section 88-110-06, "Lot and Building Standards," and enacting in lieu thereof new sections of like number and subject matter for the purpose of expanding the housing types allowed on corner lots within R-6 zoning districts. (CD-CPC-2025-00011)

**Attachments:** [Docket Memo 250285](#)

**Robinson**

**250287** Sponsor: Councilmember Melissa Robinson

Accepting the Community Project Funding Grant from the Department of Housing and Urban Development; estimating revenues in the amount of \$4,000,000.00 in the Capital Improvements Grant Fund; appropriating that amount to the 18th Street Pedestrian Mall project; authorizing a construction contract with Gunter Construction Company in the amount of \$7,695,418.00; and recognizing this ordinance as having an accelerated effective date.

**Attachments:** [Docket Memo 250287](#)

**Robinson**

**250289** Sponsor: Councilmember Melissa Robinson

Approving a modification of the incentivized project construction timeline for the Promise Place Central City Economic Development affordable housing project located at 4423 Olive Street.

**Attachments:** [Docket Memo 250289](#)

**Robinson**

**250290** Sponsor: Councilmember Melissa Robinson

Authorizing the Manager of Procurement Services to execute a Central City Economic Development (CCED) funding agreement with Santa Fe Neighborhood Council for the rehabilitation of existing homes; authorizing the Director of the Housing and Community Development Department to expend up to \$273,437.74 of previously appropriated Central City Economic Development Fund dollars and \$181,316.85 of previously appropriated Maintenance Reserve Fund dollars.

**Attachments:** [Docket Memo 250290](#)

HELD IN COMMITTEE

**Director of City Planning & Development**

**240967** Sponsor: Director of City Planning and Development Department

Rezoning an area of about 10.75 acres generally located west of Interstate 29 on N.W. Prairie View Road, between N.W. Cookingham Drive to the north and N.W. 112th Street to the south from District B3-3 to District M1-2 to allow for industrial uses. (CD-CPC-2024-00117)

**Attachments:** [11530NWPrairieViewRd Docket Memo](#)

**Director of City Planning & Development**

**241057** Sponsor: Director of City Planning and Development Department

RESOLUTION - Approving an area plan amendment to the Line Creek Valley Area Plan for an area of approximately 1.5 acres generally located at N.W. Barry Road and N.W. Winter Avenue by changing the recommended land use from low density residential to mixed use community. (CD-CPC-2024-00170)

**Attachments:** [Docket Memo TMP 4986](#)

**Director of City Planning & Development**

**241058** Sponsor: Director of City Planning and Development Department

Rezoning an area of about 1.5 acres generally located at N.W. Barry Road and N.W. Winter Avenue from Districts B3-3/R-2.5 and R-7.5 to District B3-3 to allow for commercial land uses. (CD-CPC-2024-00153).

**Attachments:** [Docket Memo TMP 4987](#)

**Director of City Planning & Development**

**250207** Sponsor: Director of City Planning and Development Department

Approving an amendment to the Gashland/Nashua Area Plan on about 16.3 acres generally located south of Old N.E. Barry Road and on both sides of N. Cleveland Avenue by changing the recommended land use designation from residential low density to residential high density for a residential development.  
(CD-CPC-2024-00187)

**Attachments:** [TMP 5135](#)

**ADDITIONAL BUSINESS**

1. There may be general discussion for current Neighborhood Planning and Development Committee issues.
2. Closed Session
  - Pursuant to Section 610.021 subsection 1 of the Revised Statutes of Missouri to discuss legal matters, litigation, or privileged communications with attorneys;
  - Pursuant to Section 610.021 subsection 2 of the Revised Statutes of Missouri to discuss real estate;
  - Pursuant to Section 610.021 subsections 3 and 13 of the Revised Statutes of Missouri to discuss personnel matters;
  - Pursuant to Section 610.021 subsection 9 of the Revised Statutes of Missouri to discuss employee labor negotiations;
  - Pursuant to Section 610.021 subsection 11 of the Revised Statutes of Missouri to discuss specifications for competitive bidding;
  - Pursuant to Section 610.021 subsection 12 of the Revised Statutes of Missouri to discuss sealed bids or proposals; or
  - Pursuant to Section 610.021 subsection 17 of the Revised Statutes of Missouri to discuss confidential or privileged communications with auditors.
3. Those who wish to comment on proposed ordinances can email written testimony to [public.testimony@kcmo.org](mailto:public.testimony@kcmo.org). Comments received will be distributed to the committee and added to the public record by the clerk.

The city provides several ways for residents to watch City Council meetings:

- Livestream on the city's website at [www.kcmo.gov](http://www.kcmo.gov)
- Livestream on the city's YouTube channel at <https://www.youtube.com/watch?v=3hOuBlg4fok>
- Watch Channel 2 on your cable system. The channel is available through Time Warner Cable (channel 2 or 98.2), AT&T U-verse (channel 99 then select Kansas City) and Google Fiber on Channel 142.
- To watch archived meetings, visit the City Clerk's website and look in the Video on Demand section: [http://kansascity.granicus.com/ViewPublisher.php?view\\_id=2](http://kansascity.granicus.com/ViewPublisher.php?view_id=2)

The City Clerk's Office now has equipment for the hearing impaired for use with every meeting. To check out the equipment please see the secretary for each committee. Be prepared to leave your Driver's License or State issued Identification Card with the secretary and she will give you the equipment. Upon returning the equipment your license will be returned.

Adjournment





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**File #: 250261**

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### ORDINANCE NO. 250261

Sponsor: Director of City Planning and Development Department

Approving the petition to establish the Blue Ridge Crossing Community Improvement District; establishing the Blue Ridge Crossing Community Improvement District generally bounded by Interstate 70 to the north, Blue Ridge Boulevard to the east, East 43rd Street to the south, and Northern Avenue to the west in Kansas City, Jackson County, Missouri; requiring the annual submission of certain records; and directing the City Clerk to report the creation of the District to the Missouri Department of Economic Development and the Missouri State Auditor.

#### BE IT ORDAINED BY THE COUNCIL OF KANSAS CITY:

Section 1. That the petition to establish the Blue Ridge Crossing Community Improvement District (the “District”) as a political subdivision in accordance with Sections 67.1401 through 67.1571, RSMo., otherwise known as the Missouri Community Improvement District Act (the “Act”), and which is attached to this ordinance as Exhibit 1, is hereby approved in its entirety.

Section 2. That the District is hereby established for the purposes set forth in the petition, which the District shall have all the powers and authority authorized by the petition, the Act and by law, and shall continue to exist for a period of twenty years, unless extended pursuant to Section 67.1481.6, RSMo.

Section 3. That the District shall annually submit its proposed budget, annual report and copies of written resolutions passed by the District’s board to the City pursuant to Section 67.1471, RSMo., and Section 74-304 of the City’s Code of Ordinances (“Code”).

Section 4. That upon the effective date of this ordinance, the City Clerk is hereby directed to report the creation of the District to the Missouri Department of Economic Development and state auditor pursuant to Section 67.1421.6, RSMo., by sending a copy of this ordinance to said entities.

Section 5. That the District shall enter into a cooperative agreement with the City pursuant to Code Section 74-302(e), the form of which shall be substantially similar to that which is attached to this ordinance as Exhibit 2.

..end

Approved as to form:

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Eluard Alegre  
Associate City Attorney



# City of Kansas City, Missouri

## Docket Memo

Ordinance/Resolution #: 250261

Submitted Department/Preparer: City Planning

Revised 6/10/24

Docket memos are required on all ordinances initiated by a Department Director. More information can be found in [Administrative Regulation \(AR\) 4-1](#).

### Executive Summary

Approving the petition to establish the Blue Ridge Crossing Community Improvement District; establishing the Blue Ridge Crossing Community Improvement District generally bounded by Interstate 70 to the north; Blue Ridge Boulevard to the east; East 43rd Street to the south; and Northern Avenue to the west in Kansas City, Jackson County, Missouri; requiring the annual submission of certain records; and directing the City Clerk to report the creation of the District to the Missouri Department of Economic Development and the Missouri State Auditor

### Discussion

This ordinance would approve the petition to establish the Blue Ridge Crossing CID for a 20-year term, unless extended. This CID would be located, generally, in the location of the former Blue Ridge Mall in the 3<sup>rd</sup> Council District. This CID would not overlap any other CID, and is composed of 14 parcels with 10 separate owners. 60% of property owners within the boundaries signed the petition. Of those who signed, they own 50.3% of the assessed property value. These percentages both meet the minimum thresholds of greater than 50% which is required by state statute.

The District would have the authority to impose a 1% sales tax. The District would not have authority to levy special assessments. The CID is proposing the following improvements and services: streetscaping, energy efficient security lighting, public benches, trash receptacles, public parking lots, public art, litter/trash removal, security personnel/equipment, landscaping maintenance, graffiti removal, and any other improvement and services allowed by state statute.

The CID would be required to submit proposed budgets, annual reports, and copies of resolutions passed by the CID's board of directors per state statute in addition to entering into a cooperative agreement with the City.

### Fiscal Impact

1. Is this legislation included in the adopted budget? ☐ Yes ☒ No
2. What is the funding source?  
1000-642044 CID Support; General Fund
3. How does the legislation affect the current fiscal year?  
There are City expenses incurred related to the mailing of notices and staff time reviewing the petition and future reports. These expenses are intended to be off-set by reimbursement fees charged to the District.
4. Does the legislation have a fiscal impact in future fiscal years? Please notate the difference between one-time and recurring costs.  
There are no recurring costs associated with this legislation.
5. Does the legislation generate revenue, leverage outside funding, or deliver a return on investment?  
No

#### **Office of Management and Budget Review**

(OMB Staff will complete this section.)

1. This legislation is supported by the general fund. ☒ Yes ☐ No
2. This fund has a structural imbalance. ☒ Yes ☐ No
3. Account string has been verified/confirmed. ☒ Yes ☐ No

#### **Additional Discussion (if needed)**

Click or tap here to enter text.

### **Citywide Business Plan (CWBP) Impact**

1. View the [Adopted 2025-2029 Citywide Business Plan](#)
2. Which CWBP goal is most impacted by this legislation?  
Inclusive Growth and Development (Press tab after selecting.)
3. Which objectives are impacted by this legislation (select all that apply):

- ☐ Align the City's economic development strategies with the objectives of the City Council to ensure attention on areas traditionally underserved by economic development and redevelopment efforts.
- ☒ Ensure quality, lasting development of new growth.
- ☐ Increase and support local workforce development and minority, women, and locally owned businesses.
- ☐ Create a solutions-oriented culture to foster a more welcoming business environment.
- ☐ Leverage existing institutional assets to maintain and grow Kansas City's position as an economic hub in the Central United States.
- ☐

## Prior Legislation

210565, 240024, 240979

## Service Level Impacts

This ordinance will have no impact on existing service levels.

## Other Impacts

1. What will be the potential health impacts to any affected groups?  
No change.
2. How have those groups been engaged and involved in the development of this ordinance?  
N/A
3. How does this legislation contribute to a sustainable Kansas City?  
N/A
4. Does this legislation create or preserve new housing units?  
No (Press tab after selecting)

Click or tap here to enter text.

Click or tap here to enter text.

5. Department staff certifies the submission of any application Affirmative Action Plans or Certificates of Compliance, Contractor Utilization Plans (CUPs), and

Letters of Intent to Subcontract (LOIs) to CREO prior to, or simultaneously with, the legislation entry request in Legistar.

No - CREO's review is not applicable (Press tab after selecting)

Please provide reasoning why not:

N/A

6. Does this legislation seek to approve a contract resulting from an Invitation for Bid?

No(Press tab after selecting)

7. Does this legislation seek to approve a contract resulting from a Request for Proposal/Qualification (RFP/Q)?

No(Press tab after selecting)



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**File #: 250264**

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### RESOLUTION NO. 250264

Sponsor: Director of City Planning and Development Department

Approving an amendment to the Midtown/Plaza Area Plan on about 0.4 acres generally located at the northwest corner of West 47th Street and Belleview Avenue by changing the Future Land Use from office/residential to mixed use community. (CD-CPC-2025-00031)

WHEREAS, on January 7, 2016, the City Council by passage of Committee Substitute for Resolution No. 150899, As Amended, adopted the Midtown/Plaza Area Plan; and

WHEREAS, after further review it has been deemed appropriate to amend the Midtown/Plaza Area Plan as it affects 0.4 acres generally located at the northwest corner of West 47th Street and Belleview Avenue, by changing the recommended land use from office/residential to mixed use community; and

WHEREAS, the City Plan Commission considered this amendment to the Midtown/Plaza Area Plan on March 5, 2025; and

WHEREAS, after all interested persons were given an opportunity to present testimony, the City Plan Commission did, on March 5, 2025, recommend approval of the proposed amendment to Midtown/Plaza Area Plan to the City Council; NOW, THEREFORE,

BE IT RESOLVED BY THE COUNCIL OF KANSAS CITY:

Section A. That the Midtown/Plaza Area Plan is hereby amended as to the Future Land Use Map for that area of 0.4 acres generally located at the northwest corner of West 47th Street and Belleview Avenue by changing the recommended land use from office/residential to mixed use community.

Section B. That the amendment to the Midtown/Plaza Area Plan is consistent and complies with the KC Spirit Playbook, adopted on April 20, 2023, by Resolution No. 230257, and is adopted as a supplement to the KC Spirit Playbook.

Section C. That the Council finds and declares that before taking any action on the proposed amendment hereinabove, all public notices have been given and hearings have been held as required by law.

..end

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# City of Kansas City, Missouri

## Docket Memo

Ordinance/Resolution #: 250264

Submitted Department/Preparer: City Planning

Revised 6/10/24

Docket memos are required on all ordinances initiated by a Department Director. More information can be found in [Administrative Regulation \(AR\) 4-1](#).

### Executive Summary

Approving an Area Plan Amendment to the Midtown/Plaza Area Plan on about 0.4 acres generally located at the northwest corner of West 47th Street and Belleview Avenue, changing the Future Land Use from Office/Residential to Mixed Use Community. (CD-CPC-2025-00031)

### Discussion

Applicant is seeking approval of an Area Plan Amendment on about 0.4 acres generally located at the northwest corner of West 47th Street and Belleview Avenue, changing the Future Land Use from Office/Residential to Mixed Use Community. This area plan amendment is a companion to a requested rezoning to allow an existing building to add a third floor with a rooftop bar. An ordinance for the rezoning and development plan has also been submitted.

There was no public testimony on this case before the CPC. The West Plaza Neighborhood Association submitted a letter stating their “non-opposition” to the project.

Staff Recommendation: Approval

CPC Recommendation: Approval

### Fiscal Impact

1. Is this legislation included in the adopted budget? ☐ Yes ☒ No
2. What is the funding source?  
Not applicable as this is a resolution which controls the future land use of a property. .
3. How does the legislation affect the current fiscal year?

Not applicable as this is a resolution which controls the future land use of a property.

4. Does the legislation have a fiscal impact in future fiscal years? Please notate the difference between one-time and recurring costs.

Not applicable as this is a resolution which controls the future land use of a property.

5. Does the legislation generate revenue, leverage outside funding, or deliver a return on investment?

Not applicable as this is a resolution which controls the future land use of a property.

### **Office of Management and Budget Review**

(OMB Staff will complete this section.)

- |   |                              |  |
|---|------------------------------|--|
| 1. This legislation is supported by the general fund. | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |
| 2. This fund has a structural imbalance.              | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |
| 3. Account string has been verified/confirmed.        | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |

### **Additional Discussion (if needed)**

Not Applicable.

## **Citywide Business Plan (CWBP) Impact**

1. View the [Adopted 2025-2029 Citywide Business Plan](#)
2. Which CWBP goal is most impacted by this legislation?  
Inclusive Growth and Development (Press tab after selecting.)
3. Which objectives are impacted by this legislation (select all that apply):
  - ☐ Align the City's economic development strategies with the objectives of the City Council to ensure attention on areas traditionally underserved by economic development and redevelopment efforts.
  - ☒ Ensure quality, lasting development of new growth.
  - ☐ Increase and support local workforce development and minority, women, and locally owned businesses.
  - ☐ Create a solutions-oriented culture to foster a more welcoming business environment.

- ☐ Leverage existing institutional assets to maintain and grow Kansas City's position as an economic hub in the Central United States.
- ☐

## Prior Legislation

There is no prior legislation on the subject site.

## Service Level Impacts

Not applicable as this is a resolution which controls the future land use of a property.

## Other Impacts

1. What will be the potential health impacts to any affected groups?  
Not applicable as this is a resolution which controls the future land use of a property.
2. How have those groups been engaged and involved in the development of this ordinance?  
Not applicable as this is a resolution which controls the future land use of a property.
3. How does this legislation contribute to a sustainable Kansas City?  
Not applicable as this is a resolution which controls the future land use of a property.
4. Does this legislation create or preserve new housing units?  
No (Press tab after selecting)  
  
Not applicable as this is a resolution which controls the future land use of a property.  
Click or tap here to enter text.
5. Department staff certifies the submission of any application Affirmative Action Plans or Certificates of Compliance, Contractor Utilization Plans (CUPs), and Letters of Intent to Subcontract (LOIs) to CREO prior to, or simultaneously with, the legislation entry request in Legistar.  
  
No - CREO's review is not applicable (Press tab after selecting)

Please provide reasoning why not:

Not applicable as this is a resolution which controls the future land use of a property.

6. Does this legislation seek to approve a contract resulting from an Invitation for Bid?

No(Press tab after selecting)

Not applicable as this is a resolution which controls the future land use of a property.

7. Does this legislation seek to approve a contract resulting from a Request for Proposal/Qualification (RFP/Q)?

No(Press tab after selecting)



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**File #: 250265**

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### ORDINANCE NO. 250265

Sponsor: Director of City Planning and Development Department

Rezoning an area of about 0.4 acres generally located at the northwest corner of West 47th Street and Belleview Avenue from Districts R-1.5 and B1-1 to District B2-2 and approving a development plan to allow for the expansion of an existing building to be used as an event venue. (CD-CPC-2025-00006 and CD-CPC-2025-00005).

#### BE IT ORDAINED BY THE COUNCIL OF KANSAS CITY:

Section A. That Chapter 88, Code of Ordinances of the City of Kansas City, Missouri, commonly known as the Zoning and Development Code, is hereby amended by enacting a new section to be known as Section 88-20A-1474, rezoning an area of about 0.4 acres generally located at the northwest corner of West 47th Street and Belleview Avenue from Districts R-1.5 (Residential) and B1-1 (Commercial) to District B2-2 (Commercial), said section to read as follows:

Section 88-20A-1474. That an area legally described as:

Lots 25, 26, 27, 28 and 29, Block 14, Bunker Hill, a subdivision in Kansas City, Jackson County, Missouri, according to recorded plat thereof.

is hereby rezoned from Districts R-1.5 (Residential) and B1-1 (Commercial) to District B2-2 (Commercial), all as shown outlined on a map marked Section 88-20A-1474, which is attached hereto and made a part hereof, and which is hereby adopted as a part of an amendment to the zoning maps constituting a part of said chapter and in accordance with Section 88-20 thereof.

Section B. That a development plan for the area legally described above is hereby approved, subject to the following conditions:

1. The developer shall submit an affidavit, prepared by an engineer licensed in the State of Missouri, verifying that all outdoor lighting has been installed in accordance with approved plans and that lighting levels do not exceed that shown on the approved lighting plan at the property lines prior to a certificate of occupancy.
2. The developer shall submit an affidavit, completed by a landscape architect licensed in the State of Missouri, verifying that all landscaping required of the

approved plan has been installed in accordance with the plan and is healthy prior to a certificate of occupancy.

3. The developer shall screen all roof and/or ground mounted mechanical and utility equipment in compliance with 88-425-08.
4. All signage shall conform to 88-445 and shall require a sign permit prior to installation.
5. Prior to issuance of any certificate of occupancy, the developer shall provide a copy of an agreement for shared parking of at least 100 spaces at 4700 Belleview Avenue. This agreement must be recorded with the Jackson County Recorder of Deeds.
6. If any new lighting is proposed on the exterior of the building a lighting plan in accordance with the Zoning and Development Code must be submitted for review.
7. Building plans shall meet the requirements of the Kansas City Building and Rehabilitation Code in effect at the time of submission.
8. The developer shall ensure the fire protection systems are sufficient for the use.
9. The developer shall meet the fire flow requirements as set forth in Appendix B of the International Fire Code 2018. (IFC-2018 § 507.1)
10. Prior to issuance of a certificate of occupancy the applicant shall provide a lighting study which shows at least an average maintained footcandle of 3 with an average to minimum ratio of 4:1, which would be the minimum Illumination Engineering Society (IES) standard for a parking lot. If the existing lighting is not adequate, additional lighting must be installed in order to comply with lighting standards.
11. The developer shall submit a letter to the Land Development Division from a licensed civil engineer, licensed architect, or licensed landscape architect, who is registered in the State of Missouri, that identifies sidewalks, curbs, and gutters in disrepair as defined by Public Works Department's "OUT OF REPAIR CRITERIA FOR SIDEWALK, DRIVEWAY AND CURB revised 11/5/2013" and based on compliance with Chapters 56 and 64, Code of Ordinances, for the sidewalks, curbs, and gutters where said letter shall identify the quantity and location of sidewalks, curbs, and gutters that need to be constructed, repaired, or reconstructed to remedy deficiencies and/or to remove existing approaches no longer needed by this project. The developer shall secure permits to repair or reconstruct the identified sidewalks, curbs, and gutters as necessary along all development street frontages as required by the Land Development Division and

prior to issuance of any certificate of occupancy permits including temporary certificate of occupancy permits.

12. The developer shall submit a streetscape plan for approval and permitting by the Land Development Division prior to beginning construction of the streetscape improvements in the public right-of-way, and construct ADA compliant ramps at all required locations where new private drives are being added, or where existing sidewalks are modified or repaired.
13. The developer shall pay impact fees as required by Chapter 39 of the City's Code of Ordinances, as required by the Land Development Division
14. The developer shall ensure that water and fire service lines should meet current Water Services Department rules and regulations prior to a certificate of occupancy.
15. The developer shall have a water flow test done to ensure there is adequate water pressure to serve the development.
16. The developer shall submit a storm drainage analysis from a Missouri-licensed civil engineer to the Kansas City Water Services Department evaluating proposed improvements and impact to drainage conditions. Since this project is within a "Combined Sewer Overflow" (CSO) district, the project shall be designed to retain rainfall of 1.5 inch depth over the disturbed area to simulate natural runoff conditions and reduce small storm discharge to the combined sewer system and manage the 10-year storm and 100-year storm per currently adopted APWA standards. The analysis shall be submitted prior to issuance of any building permits, and the developer shall secure permits to construct any improvements required by the Kansas City Water Services Department prior to issuance of any certificate of occupancy. If the total disturbed area for the project is less than 10,000 square feet, a storm drainage letter may be provided in lieu of the full drainage study.

A copy of said development plan is on file in the office of the City Clerk with this ordinance and is made a part hereof.

Section C. That the Council finds and declares that before taking any action on the proposed amendment and development plan hereinabove, all public notices and hearings required by the Zoning and Development Code have been given and had.

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I hereby certify that as required by Chapter 88, Code of Ordinances, the foregoing ordinance was duly advertised and public hearings were held.

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Sara Copeland, FAICP  
Secretary, City Plan Commission

Approved as to form:

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Sarah Baxter  
Senior Associate City Attorney





# City of Kansas City, Missouri

## Docket Memo

Ordinance/Resolution #: 250265

Submitted Department/Preparer: City Planning

Revised 6/10/24

Docket memos are required on all ordinances initiated by a Department Director. More information can be found in [Administrative Regulation \(AR\) 4-1](#).

### Executive Summary

Rezoning an area of about 0.4 acres generally located at the northwest corner of West 47th Street and Belleview Avenue from Districts R-1.5 (Residential) and B1-1 (Commercial) to District B2-2 (Commercial) and approving a development plan to allow for an expansion of an existing building and permitting an event venue in lieu of a Special Use Permit. (CD-CPC-2025-00006 & CD-CPC-2025-00005).

### Discussion

The applicant is proposing to rezone approximately 0.4 acres from Districts B1-1 and R-1.5 to District B2-2. This rezoning will allow for the expansion of an existing building to add a third floor with a roof top bar. The project site consists of an existing building which is currently vacant. The proposed rezoning is associated with the accompanying plan.

The applicant is seeking approval of a Development Plan in proposed District B2-2 on approximately 0.4 acres generally located at the northwest corner of West 47th Street and Belleview Avenue, allowing for the expansion of an existing building. This application is in lieu of a Special Use Permit, which would be required for an Entertainment Venue in the B2 zoning district.

The existing building footprint is approximately 7,500 square feet. There are 23 parking spaces shown on the plans located on the north side of the building. The applicant is proposing a shared parking agreement with the property located at 4700 Belleview Avenue which will provide an additional 100 spaces. Access to the site will come from the exiting curb cut on Belleview Avenue located on the eastern side of the site, north of the building. Vehicular circulation is not proposed to change from the existing pattern. No additional pedestrian connections will be provided. The site currently has sidewalks on both street frontages.

Landscaping for this project includes continuous shrub lines to screen vehicular use areas and landscaping along the façade of the building on Belleview. Some species

provided include Green Gem Boxwood, Green Mountain Boxwood, Hicksi Yew, and Perfecta Juniper.

There was no public testimony on this application before the CPC. The West Plaza Neighborhood Association submitted a letter indicating their "non-opposition" to the project.

Staff Recommendation Development Plan: Approval with Conditions  
Staff Recommendation Rezoning: Approval

CPC Recommendation Development Plan: Approval with Conditions  
CPC Recommendation Rezoning: Approval

## Fiscal Impact

1. Is this legislation included in the adopted budget? ☐ Yes ☒ No
2. What is the funding source?  
Not applicable as this is an ordinance authorizing private use of a property. .
3. How does the legislation affect the current fiscal year?  
Not applicable as this is an ordinance authorizing private use of a property.
4. Does the legislation have a fiscal impact in future fiscal years? Please notate the difference between one-time and recurring costs.  
Not applicable as this is an ordinance authorizing private use of a property.
5. Does the legislation generate revenue, leverage outside funding, or deliver a return on investment?  
Not applicable as this is an ordinance authorizing private use of a property.

## Office of Management and Budget Review

(OMB Staff will complete this section.)

1. This legislation is supported by the general fund. ☐ Yes ☒ No
2. This fund has a structural imbalance. ☐ Yes ☒ No
3. Account string has been verified/confirmed. ☐ Yes ☒ No

**Additional Discussion (if needed)**

Not applicable as this is an ordinance authorizing private use of a property.

**Citywide Business Plan (CWBP) Impact**

1. View the [Adopted 2025-2029 Citywide Business Plan](#)
2. Which CWBP goal is most impacted by this legislation?  
Inclusive Growth and Development (Press tab after selecting.)
3. Which objectives are impacted by this legislation (select all that apply):
  - ☐ Align the City's economic development strategies with the objectives of the City Council to ensure attention on areas traditionally underserved by economic development and redevelopment efforts.
  - ☒ Ensure quality, lasting development of new growth.
  - ☐ Increase and support local workforce development and minority, women, and locally owned businesses.
  - ☐ Create a solutions-oriented culture to foster a more welcoming business environment.
  - ☐ Leverage existing institutional assets to maintain and grow Kansas City's position as an economic hub in the Central United States.
  - ☐

**Prior Legislation**

There is no prior legislation on the subject site.

**Service Level Impacts**

Not applicable as this is an ordinance authorizing private use of a property.

**Other Impacts**

1. What will be the potential health impacts to any affected groups?  
Not applicable as this is an ordinance authorizing private use of a property.
2. How have those groups been engaged and involved in the development of this ordinance?  
Not applicable as this is an ordinance authorizing private use of a property.

3. How does this legislation contribute to a sustainable Kansas City?  
Not applicable as this is an ordinance authorizing private use of a property.

4. Does this legislation create or preserve new housing units?  
No (Press tab after selecting)

Not applicable as this is an ordinance authorizing private use of a property.  
[Click or tap here to enter text.](#)

5. Department staff certifies the submission of any application Affirmative Action Plans or Certificates of Compliance, Contractor Utilization Plans (CUPs), and Letters of Intent to Subcontract (LOIs) to CREO prior to, or simultaneously with, the legislation entry request in Legistar.

No - CREO's review is not applicable (Press tab after selecting)  
Please provide reasoning why not:  
Not applicable as this is an ordinance authorizing private use of a property.

6. Does this legislation seek to approve a contract resulting from an Invitation for Bid?

No(Press tab after selecting)

Not applicable as this is an ordinance authorizing private use of a property.

7. Does this legislation seek to approve a contract resulting from a Request for Proposal/Qualification (RFP/Q)?  
No(Press tab after selecting)



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**File #: 250274**

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### ORDINANCE NO. 250274

Sponsor: Director of City Planning and Development Department

Rezoning an area of about 4.71 acres generally located on East Truman Road between McGee Street and Oak Street from District UR to District UR and approving a development plan to allow for new uses to be added to the previously approved plan, including Communications Service Establishments; Office; Artist Work or Sales Space; Artisan Manufacturing; Entertainment Venue; and Warehousing, Wholesaling, Storage, and Freight Movement. (CD-CPC-2024-00191)

#### BE IT ORDAINED BY THE COUNCIL OF KANSAS CITY:

Section A. That Chapter 88, Code of Ordinances of the City of Kansas City, Missouri, commonly known as the Zoning and Development Code, is hereby amended by enacting a new section to be known as Section 88-20A-1473, rezoning an area of about 4.71 acres generally located on East Truman Road between McGee Street and Oak Street from District UR (Urban Redevelopment) to District UR (Urban Redevelopment), said section to read as follows:

Section 88-20A-1473. That an area legally described as:

Star Oak Street Addition Lot 1

is hereby rezoned from District UR (Urban Redevelopment) to District UR (Urban Redevelopment), all as shown outlined on a map marked Section 88-20A-1473 which is attached hereto and made a part hereof, and which is hereby adopted as a part of an amendment to the zoning maps constituting a part of said chapter and in accordance with Section 88-20 thereof.

Section B. That a development plan for the area legally described above is hereby approved, subject to the following conditions:

1. The developer shall secure approval of a UR final development plan from the director of City Planning and Development prior to obtaining a change of use permit for Phase 1.
2. Signage has not been reviewed with this application. All signage shall conform to 88-445 and shall require a sign permit prior to installation.
3. The developer shall submit an affidavit, completed by a landscape architect

licensed in the State of Missouri, verifying that all landscaping required of the approved plan has been installed in accordance with the plan and is healthy prior to a certificate of occupancy.

4. A change in occupancy permit will be required for each new use; each future use will require approval of a UR final plan.
5. The developer shall ensure that fire and life safety systems that are in place and are adequate for the new use.
6. Adding address labeling on the entry/exit door will be important for wayfinding for emergency response. This must be finalized prior to obtaining UR final plan approval.

A copy of said development plan is on file in the office of the City Clerk with this ordinance and is made a part hereof.

Section C. That the Council finds and declares that before taking any action on the proposed amendment and development plan hereinabove, all public notices and hearings required by the Zoning and Development Code have been given and had.

..end

I hereby certify that as required by Chapter 88, Code of Ordinances, the foregoing ordinance was duly advertised and public hearings were held.

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Sara Copeland, FAICP  
Secretary, City Plan Commission

Approved as to form:

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Sarah Baxter  
Senior Associate City Attorney



# City of Kansas City, Missouri

## Docket Memo

Ordinance/Resolution #: 250274

Submitted Department/Preparer: City Planning

Revised 6/10/24

Docket memos are required on all ordinances initiated by a Department Director. More information can be found in [Administrative Regulation \(AR\) 4-1](#).

### Executive Summary

Approving a major amendment to a previously approved UR Plans to add Communication Service Establishment and additional uses on about 4.71 acres generally located on East Truman Road between McGee Street and Oak Street.

### Discussion

The proposed amendment will add new uses to the existing Kansas City Star building. The building is zoned UR with a specific use of production, printing, distribution, warehouse and office use. Due to the UR zoning, a major amendment is required for any uses not listed in the approved plan. The applicant is proposing to add the following uses: Communication Service Establishment, Office, Artist Work or Sales Space, Artisan Manufacturing, Entertainment Venue (Indoor small/medium).

No new building additions, signage, or lighting are proposed. The applicant will need to submit affidavits ensuring the landscaping is healthy prior to certificate of occupancy. Additionally, any new change of use permits will require approval of a UR Final Plan (administratively approved) to ensure that new uses comply with the Zoning and Development Code.

The City Plan Commission heard the proposal at the 02/05/2025 Commission meeting, there was no public testimony given at the hearing. The applicant received a letter of support from the Crossroads Neighborhood Association. During the hearing the Commission discussed the proposed uses and added two conditions that were to be resolved prior to ordinance request. One of the proposed conditions was that the applicant remove the Warehousing/Wholesaling/Storage, and Freight Movement use from the future uses. The second condition was that the applicant work with city staff to provide maximum square footages for the uses listed on the plan. Any changes over those proposed maximums would require the application go through the public process. The Commission voted to approve the amendment with conditions.

## Fiscal Impact

1. Is this legislation included in the adopted budget? ☐ Yes ☒ No
2. What is the funding source?  
Not applicable as this is a zoning ordinance authorizing the uses on the property.
3. How does the legislation affect the current fiscal year?  
Not applicable as this is a zoning ordinance authorizing the uses on the property.
4. Does the legislation have a fiscal impact in future fiscal years? Please notate the difference between one-time and recurring costs.  
Not applicable as this is a zoning ordinance authorizing the uses on the property.
5. Does the legislation generate revenue, leverage outside funding, or deliver a return on investment?  
Not applicable as this is a zoning ordinance authorizing the uses on the property. .

### Office of Management and Budget Review

(OMB Staff will complete this section.)

1. This legislation is supported by the general fund. ☐ Yes ☒ No
2. This fund has a structural imbalance. ☐ Yes ☒ No
3. Account string has been verified/confirmed. ☐ Yes ☒ No

### Additional Discussion (if needed)

Not applicable.

## Citywide Business Plan (CWBP) Impact

1. View the [Adopted 2025-2029 Citywide Business Plan](#)
2. Which CWBP goal is most impacted by this legislation?  
Inclusive Growth and Development (Press tab after selecting.)
3. Which objectives are impacted by this legislation (select all that apply):



- ☐ Align the City's economic development strategies with the objectives of the City Council to ensure attention on areas traditionally underserved by economic development and redevelopment efforts.
- ☐ Ensure quality, lasting development of new growth.
- ☒ Increase and support local workforce development and minority, women, and locally owned businesses.
- ☒ Create a solutions-oriented culture to foster a more welcoming business environment.
- ☒ Leverage existing institutional assets to maintain and grow Kansas City's position as an economic hub in the Central United States.
- ☐

## Prior Legislation

**Ordinance No. 021115** – Rezoning 6.7 acres from districts C-4 (Central Business District), C-3a2 (Intermediate Business – High Buildings) and M-1 (Light Industry) to District URD and approving a development plan for the same.

## Service Level Impacts

No service level impacts expected.

## Other Impacts

1. What will be the potential health impacts to any affected groups?  
Not applicable as this is a zoning ordinance authorizing the uses on the property.
2. How have those groups been engaged and involved in the development of this ordinance?  
Not applicable as this is a zoning ordinance authorizing the uses on the property. The applicant completed the public engagement process as required by the Zoning and Development Code.
3. How does this legislation contribute to a sustainable Kansas City?  
Not applicable as this is a zoning ordinance authorizing the uses on the property. The applicant provided a statement regarding green initiatives for the Communication Service Establishment, see the attached Staff Report Packet.

4. Does this legislation create or preserve new housing units?  
No (Press tab after selecting)

Click or tap here to enter text.  
Click or tap here to enter text.

5. Department staff certifies the submission of any application Affirmative Action Plans or Certificates of Compliance, Contractor Utilization Plans (CUPs), and Letters of Intent to Subcontract (LOIs) to CREO prior to, or simultaneously with, the legislation entry request in Legistar.

No - CREO's review is not applicable (Press tab after selecting)  
Please provide reasoning why not:  
N/A

6. Does this legislation seek to approve a contract resulting from an Invitation for Bid?

No(Press tab after selecting)

7. Does this legislation seek to approve a contract resulting from a Request for Proposal/Qualification (RFP/Q)?  
No(Press tab after selecting)



## Legislation Text

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**File #: 250278**

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### ORDINANCE NO. 250278

Sponsor: Director of Neighborhood Services Department

Approving contracts in the amount of \$3,223,310.00 from previously appropriated funds in the Neighborhood Tourist Development Fund with various nonprofit organizations selected as part of the FY 2025-26 annual application cycle for the purpose of promoting neighborhoods and tourism through cultural, social, ethnic, historic, educational, and recreational activities.

#### BE IT ORDAINED BY THE COUNCIL OF KANSAS CITY:

Section 1. That the Director of Neighborhoods Services Department is authorized to execute contracts in the total amount of \$3,223,310.00 with the following agencies in the respective amounts for Neighborhood Tourist Development Fund projects from the funds previously appropriated in Account No. 26-2350-672100-B. These contracts are hereby approved in substantial form, as that on file in the Neighborhood Services Department.

<b>Applicant</b>	<b>Event</b>	<b>Award</b>
1 Movement Hoops Foundation	1MH Showcase	\$6,090.00
1 Movement Hoops Foundation	1MH Top Tier Combine	\$3,240.00
1 Movement Hoops Foundation	March Madness	\$6,700.00
1 Movement Hoops Foundation	Middle of the Map Mayhem	\$5,700.00
1 Movement Hoops Foundation	Never Walk on the Hardwood	\$13,170.00
1 Movement Hoops Foundation	The Finals	\$9,140.00
1 Movement Hoops Foundation	The First Look	\$5,700.00
18th and Vine Arts Festival Foundation	18th and Vine and Arts Festival	\$17,100.00
18th and Vine Arts Festival Foundation	18th and Vine Arts Festival Artist Call	\$2,360.00
18th and Vine Arts Festival Foundation	18th and Vine Arts Festival Foundation Arts Conference	\$3,440.00
18th and Vine Arts Festival Foundation	18th and Vine Arts Festival Foundation Honors Awards	\$3,240.00
American Jazz Museum Inc	Charlie Parker Day	\$11,010.00
American Jazz Museum Inc	Jazz Appreciation Month Programming (JAM)	\$4,910.00
American Jazz Museum Inc	Jazz Masters Lecture Series	\$3,150.00
American Jazz Museum Inc	Jazz Storytelling	\$4,910.00

American Jazz Museum Inc	Summer Concert Series	\$4,910.00
American Jazz Museum Inc	Women in Jazz Month	\$5,010.00
Art as Mentorship	2025 Celebrate AMERI'KANA Music & Arts Festival	\$12,330.00
ArtsTech	ArtsTech Regional and Community Events	\$11,500.00
Bach Aria Soloists	Bach Aria Soloists 2025-2026 Concert Season	\$6,980.00
Big Brother Big Sister Kansas City	Rise Rooftop Crawl	\$4,910.00
Black Archives of Mid-America in Kansas City	BLACK HISTORY MONTH GALA	\$23,980.00
Black Archives of Mid-America in Kansas City	Black Joy Youth Conference	\$4,130.00
Black Archives of Mid-America in Kansas City	Fill18th and Vine Arts Festival at the Black Archives	\$4,910.00
Black Archives of Mid-America in Kansas City	Find Your Folks: A Genealogical Seminar	\$2,850.00
Black Archives of Mid-America in Kansas City	Honoring Black Women Suffragists	\$5,800.00
Black Archives of Mid-America in Kansas City	NATIONAL AFRICAN AMERICAN QUILT CONVENTION	\$7,960.00
Black Archives of Mid-America in Kansas City	Operation Hero Homecoming	\$2,260.00
Black Archives of Mid-America in Kansas City	Salvaging the History of Black Churches	\$5,800.00
Black Archives of Mid-America in Kansas City	Stop the Violence Basketball Tournament	\$1,470.00
Black Archives of Mid-America in Kansas City	The Lies Were Uneven; Even the Ball was White	\$4,910.00
Black Archives of Mid-America in Kansas City	Women's Empowerment Summit	\$2,950.00
Boston Heights & Mt. Hope Neighborhood Association	2025 Family Fun Day	\$2,950.00
Boulevardia	Boulevardia 2025	\$39,320.00
Boys Clubs of Greater Kansas City	Putts Fore Kids 2025	\$12,290.00
Brookside Irish Fest dba Kansas City Irish Fest	Kansas City Irish Fest 2025	\$32,650.00
Brothers Liberating Our Communities INC	Soul Yoga Fest	\$980.00
Central Industrial District Association dba Historic West Bottoms Association	HWBA HERITAGE DAYS EVENTS	\$30,170.00
Charlotte Street Foundation	2025 Charlotte Street Public	\$28,220.00

	Programming	
City in Motion Dance Theater	22nd Modern Night	\$2,750.00
City in Motion Dance Theater	26th Dance in the Park	\$5,600.00
Clay County Clothes Closet d/b/a Northland Clothing Center	Fall Festival	\$2,700.00
Clay County Clothes Closet d/b/a Northland Clothing Center	Neighborhood Speaker Series	\$2,160.00
Creative City KC Inc	MUSIC MOVES THE GOALS!	\$24,570.00
Creative Emajinations	Cultural Heritage Arts Festival	\$2,160.00
Creative Emajinations	Freestyle Fridays: Creating Safe Spaces	\$3,440.00
Creative Emajinations	Stop the Violence and Crime Talent Show	\$1,470.00
Crossroads Community Association	First Friday in the Crossroads Arts District	\$17,950.00
Cultivate Kansas City	Midtown Hoedown	\$1,670.00
Cultivate Kansas City	Urban Grown Farms and Gardens Tour	\$5,840.00
Duckworth Foundation	Bloom With Me	\$2,950.00
Emmanuel Family & Child Development Center and Emergency Shelter for Children	Emmanuel's Community Back to School Rally & Health Fair	\$4,910.00
Emmanuel Family & Child Development Center and Emergency Shelter for Children	Miracle on 47th St Christmas Eve Gala	\$7,860.00
Ensemble Iberica INC	Ensemble Ibérica's 2025-2026 Concert Series	\$23,790.00
Ethnic Enrichment Cultural Council	2025 Diplomatic Ball	\$0.00
Ethnic Enrichment Cultural Council	2026 Diplomatic Ball	\$0.00
Ethnic Enrichment Cultural Council	Ethnic Enrichment Festival	\$14,740.00
Footprints Inc.	Heroes Home Gate Grand Opening	\$2,060.00
Friends of Reggae International	Bob Marley Day (Black History Month Celebration) 2026	\$11,210.00
Friends of Reggae International	Kansas City's Reggae Music & Jerk Festival 2025	\$24,570.00
Friends of the City Market	Merry Market 2025	\$16,760.00
Friends of the Zoo, Inc. of Kansas City MO	Boo at the Zoo	\$16,760.00
Friends of the Zoo, Inc. of Kansas City MO	Dinosaurs Around the World	\$10,600.00
Friends of the Zoo, Inc. of Kansas City MO	GloWild 2025	\$19,570.00
Friends of the Zoo, Inc. of Kansas City MO	Jazzoo 2025	\$16,430.00

Friends of the Zoo, Inc. of Kansas City MO	Wine Walk for Wildlife	\$3,890.00
GIGI THE Vegan/KC HEALTH INITIATIVE	Midwest Soul Vegfest	\$29,490.00
Global One Urban Farming	Kansas City Jazz in the Garden	\$2,950.00
Greater Kansas City Hispanic Collaborative	Comida KC	\$11,680.00
Greater Kansas City National Hispanic Heritage Committee, Inc.	Fiesta Hispana 2025	\$39,680.00
Greater Kansas City Sports Commission	2025 Division 1 Women's Soccer Championships	\$4,320.00
Greater Kansas City Sports Commission	2025 Garmin Kansas City Marathon	\$24,570.00
Greater Kansas City Sports Commission	2025 Hospital Hill Run	\$11,140.00
Greater Kansas City Sports Commission	2025 NCAA DI Women's Volleyball CHAMPIONSHIP	\$11,800.00
Greater Kansas City Sports Commission	2026 Big 12 Men's & Women's Basketball Tournament	\$22,490.00
Greater KC LINC Inc.	Caring Communities Day	\$25,190.00
Guadalupe Centers	Cinco de Mayo Fiesta 2025	\$26,060.00
Guadalupe Centers	Día de Muertos (Day of the Dead)	\$3,680.00
Guadalupe Centers	National UnidosUS Welcome Reception	\$8,330.00
Guadalupe Centers	Tony Aguirre Latino Men's Basketball Tournament	\$4,000.00
Harris Park Midtown Sports and Activities Center	Harris Park Stage Play	\$4,910.00
Harris Park Midtown Sports and Activities Center	Harris Park Youth Healthy Lifestyle Program	\$9,190.00
Harvesters- The Community Food Network	Feastival	\$31,900.00
Head for the Cure Foundation	Concert for a Cure	\$4,000.00
Head for the Cure Foundation	Tour de Bier	\$15,730.00
Heart of America Shakespeare Festival	2025 Festival	\$22,490.00
Heart of the City Neighborhood Association, Inc.	6th Annual Make Music Day at Dunbar Park	\$6,490.00
Heartland Men's Chorus Kansas City	Heartland Men's Chorus Concert Season 40	\$8,220.00
Hella Good Deeds	AANHPI Month	\$14,810.00
Hella Good Deeds	Fall of Saigon 50th Anniversary	\$1,670.00
Hella Good Deeds	Hella Good Health Fair	\$2,750.00
Hella Good Deeds	Hella Good Socials Series	\$5,210.00
Hella Good Deeds	Hella Growth Series	\$4,720.00

Hella Good Deeds	Mid Autumn Moon Festival	\$8,550.00
Hispanic Economic Development Corporation	First Friday Under The Bridge I-35	\$17,950.00
Ivanhoe Neighborhood Council	Earth Day Fair	\$880.00
Ivanhoe Neighborhood Council	Excellence! A Showcase of Black History	\$690.00
Ivanhoe Neighborhood Council	Farmer's Market Passport & KCCG Launch Event	\$2,060.00
Ivanhoe Neighborhood Council	Halloween Fest & Trunk or Treat	\$690.00
Ivanhoe Neighborhood Council	Holiday Market/Meet & Greet with Santa	\$390.00
Ivanhoe Neighborhood Council	Ivanhoe After-School Programming	\$5,900.00
Ivanhoe Neighborhood Council	Ivanhoe Park Celebration	\$1,470.00
Ivanhoe Neighborhood Council	KC Growers Seed Swap	\$980.00
Ivanhoe Neighborhood Council	Music in the Orchard	\$790.00
Ivanhoe Neighborhood Council	Show and Shed (Instrumental Music Workshop)	\$2,650.00
Ivanhoe Neighborhood Council	Thanksgiving Food Shop Day	\$1,380.00
Ivanhoe Neighborhood Council	Youth Entrepreneur Showcase & Backpack Giveaway	\$2,750.00
Jazz District Renaissance Corporation	Celebrating 11th Annual American Jazz Walk of Fame	\$17,300.00
JuneteenthKC	4th Annual Miss JuneteenthKC Pageant	\$4,720.00
JuneteenthKC	Fall Fest 2025	\$3,240.00
JuneteenthKC	Food Truck War	\$4,230.00
JuneteenthKC	Haunt on the Vine 2025	\$3,050.00
JuneteenthKC	JuneteenthKC 14th Annual Heritage Festival 2025	\$36,220.00
JuneteenthKC	JuneteenthKC 8th Annual Cultural Parade 2025	\$22,810.00
JuneteenthKC	Reggae Fest 2025	\$4,820.00
JuneteenthKC	Strengthen the Vine Fridays May 2025-April 2026	\$9,840.00
JuneteenthKC	The Hunt KC	\$3,440.00
JuneteenthKC	Umoja Community 9th Annual Holiday Celebration	\$3,340.00
KACICO Dance	Through Her Eyes: From All Angles	\$2,460.00
Kanbe's Markets	Kanbe's Markets Community Celebration	\$7,670.00
Kanbe's Markets	Kanbe's Markets Ugly Dinner Series	\$7,770.00
Kansas City Actors Theatre	Kansas City Actors Theatre 2025-2026 Season 21	\$21,520.00
Kansas City Artists Coalition	KCAC Exhibition Series 2025 - 2026	\$6,160.00
Kansas City Artists Coalition	KCAC's 43rd Annual Benefit Art Auction	\$1,950.00
Kansas City Artists Coalition	Rant & Rave 2025	\$980.00
Kansas City Ballet Association	Americana - Professional Ballet Performance in Celebration of America's	\$13,300.00

	Semiquincentennial	
Kansas City Ballet Association	Fusion (a program of 4 dances) - Professional Ballet Performance	\$12,970.00
Kansas City Ballet Association	Snow White - Professional Ballet Performance	\$13,520.00
Kansas City Ballet Association	Swan Lake - Professional Ballet Performance	\$22,270.00
Kansas City Ballet Association	The Nutcracker - Professional Ballet Performance	\$34,400.00
Kansas City Chalk and Walk Festival, Inc.	2025 Kansas City Chalk and Walk Festival	\$7,030.00
Kansas City Chamber Orchestra Incorporated	Kansas City Chamber Orchestra 2025-2026 Concert Season	\$12,760.00
Kansas City Chapter of Young Audiences, Inc.	Benefit Concert for Kansas City Young Audiences	\$3,890.00
Kansas City Chapter of Young Audiences, Inc.	Summer Camps at KCYA	\$2,850.00
Kansas City Disc Golf, Inc	43rd Annual Kansas City Wide Open	\$3,350.00
Kansas City Folk Festival	Kansas City Folk Festival	\$15,350.00
Kansas City Friends of Alvin Ailey	Kansas City Friends of Alvin Ailey Presents Ailey Trio	\$2,360.00
Kansas City Friends of Alvin Ailey	Kansas City Friends of Alvin Ailey Presents Alvin Ailey American Dance Theatre	\$10,810.00
Kansas City Friends of Alvin Ailey	Kansas City Friends of Alvin Ailey Presents Setting the Stage	\$2,460.00
Kansas City Jazz ALIVE	KCKC Jazz ALIVE's Vivid Vision Sessions and Jazz Heritage Outreach Series	\$5,210.00
Kansas City Jazz ALIVE	Spotlight: Charlie Parker	\$6,270.00
Kansas City Metropolitan Crime Commission	Guns N Hoses Charity Boxing Event	\$10,320.00
Kansas City Pet Project	KC Pet Project 5K	\$3,890.00
Kansas City Pride Community Alliance - Our Spot KC	Kansas City Pride Parade and Festival	\$49,150.00
Kansas City Public Theatre	Kansas City Public Theatre Presents: Theatre Lab Festival	\$1,950.00
Kansas City Repertory Theatre, Inc.	A CHRISTMAS CAROL	\$9,080.00
Kansas City Repertory Theatre, Inc.	ONE OF THE GOOD ONES Production and Community Tour	\$8,760.00
Kansas City Repertory Theatre, Inc.	THE COLOR PURPLE	\$8,970.00
Kansas City St. Patrick's Day Parade Committee, Inc.	Kansas City St. Patrick's Day Parade	\$19,660.00



Kansas City Startup Foundation dba Startland	Kansas City Small Biz to Watch	\$5,840.00
Kansas City Startup Foundation dba Startland	Kansas City Startups to Watch	\$5,950.00
Kansas City Startup Foundation dba Startland	Startland News Startup Crawl	\$8,000.00
Kansas City Symphony	Holidays with the Kansas City Symphony	\$22,490.00
Kansas City Symphony	Kansas City Symphony Celebration at the Station Presented by Bank of America	\$34,400.00
Kansas City Urban Youth Academy	National Christian College Athletic Association (NCCAA) Baseball World Series	\$11,680.00
Kansas City Urban Youth Academy	NCCAA Non Dual Affiliate Group Independent Tournament	\$4,910.00
Kansas City Women's Chorus	Kansas City Women's Chorus 25th Anniversary Concert Season	\$20,760.00
Kauffman Center for the Performing Arts	2025 Future Stages Festival	\$8,760.00
KC CORE	MO River Mural Festival	\$26,540.00
KC Fringe Festival	Kansas City Fringe Festival	\$33,300.00
KC Parade of Hearts Organization	Parade of Hearts 2026	\$31,570.00
KC Rebels Youth	Rise for the Rebels: Benefit Concert and Fundraiser	\$5,110.00
KC Rebels Youth	Stronger Together KC Rebels Annual Track Meet	\$6,780.00
KC Urban Academy Inc	2025 12 Courts of Christmas	\$10,700.00
Kids Community Growing Prosperity	13th Annual Kansas City Greek Festival	\$20,980.00
Latino Foundation for the Arts	The Comeback Event	\$1,670.00
Liberated Grounds	Common Unity Conference	\$8,000.00
Lifted of Kansas City	Kansas City Adult Prom	\$3,150.00
Lifted of Kansas City	Men Heal Conference	\$3,050.00
Lincoln Prep Booster Club	Castle on the Hill Gala	\$22,710.00
Line Creek Figure Skating Club	Line Creek Figure Skating Club Ice Shows & Exhibitions	\$11,800.00
Lyric Opera of Kansas City, Inc.	Select Productions in Lyric Opera of Kansas City's 2025-2026 Season	\$26,060.00
Lyric Opera of Kansas City, Inc.	Turandot	\$8,430.00
Marlborough Community Coalition	Marlborough 2.5-mile Fun Run/Walk	\$2,850.00
Marlborough Community Coalition	Marlborough Fall Festival & Resource Fair 2025	\$6,490.00
Metropolitan Arts Council of Greater Kansas City	SpraySeeMO Mural Festival	\$25,560.00

Metropolitan Community College Foundation	MCC Presents Jazz in the Valley	\$6,050.00
Metropolitan Community College Foundation	Metropolitan Community College Chancellor's Martin Luther King Jr. Scholarship Luncheon	\$22,610.00
Metropolitan Community College Foundation	Metropolitan Community College Passport Around the World	\$1,950.00
Metropolitan Ensemble Theatre	MET Season 21	\$40,300.00
Metropolitan Ensemble Theatre	Return to the Warwick Music Festival	\$8,750.00
MIAA MO, INC.	2026 MIAA Basketball Championships	\$8,220.00
Mid-America Arts Alliance	First Fridays at the Culture Lab	\$1,950.00
Mid-America Regional Council Community Services Corporation	Age of Celebration	\$16,120.00
Mid-Coast Radio Project, Inc	KKFI Crossroads Music Fest	\$20,980.00
Midwest Music Foundation, Inc.	Apocalypse Meow	\$1,950.00
MINDDRIVE, Inc	2024 MINDDRIVE Invitational	\$4,110.00
Missouri Gay Rodeo Association Inc.	M.G.R.A. All-Inclusive Rodeo	\$9,930.00
Missouri Restaurant Association Education Foundation	Gilbert Robinson Awards Dinner	\$3,830.00
Missouri Restaurant Association Education Foundation	Greater Kansas City Gala	\$7,860.00
Missouri Restaurant Association Education Foundation	Hospitality Day at the K	\$7,180.00
Missouri Restaurant Association Education Foundation	Industry Night	\$3,740.00
Mountaintop Inc.	Community Celebration	\$6,590.00
Music Theater Heritage	Music Theater Heritage Annual Season	\$20,330.00
Music Theater Heritage	Music Theater Heritage's Education and Outreach Program	\$7,780.00
Music Theater Heritage	Ruby Room Series at Music Theater Heritage	\$2,920.00
Mutual Musicians Foundation International	Kansas City Music Industry Micro Conference	\$8,260.00
Mutual Musicians Foundation International	Last Of The Blue Devils Anniversary Film Screening	\$4,910.00
Mutual Musicians Foundation International	Mutual Musicians Foundation Regular Museum Hours	\$29,490.00
Mutual Musicians Foundation International	The Jazz Lab	\$6,290.00
Mutual Musicians Foundation International	The Rhythm Section (Live Podcast and Stream)	\$5,500.00
Nascent Project-Kansas City	Veterans on the Vine	\$980.00
National Congress of Black	NCBW-KC's Annual Women & Girls	\$3,240.00

Women, Inc.-Kansas City	Torch Carriers Conference	
National Congress of Black Women, Inc.-Kansas City	The 12th Anniversary The Ebony Rose Scholarship & Awards Gala	\$25,650.00
National Congress of Black Women, Inc.-Kansas City	The NCBW-KC Entrepreneurship Program	\$4,910.00
National World War I Museum & Memorial	Memorial Day Weekend 2025	\$6,490.00
National World War I Museum & Memorial	Night at the Tower 2025	\$10,490.00
National World War I Museum & Memorial	Scout Day and Winnie the Pooh Day	\$1,380.00
National World War I Museum & Memorial	Stars and Stripes Picnic 2025	\$21,300.00
National World War I Museum & Memorial	Symposium 2025	\$3,240.00
National World War I Museum & Memorial	Taps at the Tower Ceremonies 2025	\$3,140.00
National World War I Museum & Memorial	Temporary Exhibition: Paris at War	\$29,490.00
National World War I Museum & Memorial	Veterans Day Activities 2025	\$6,050.00
Negro Leagues Baseball Museum	Game Changers: A Celebration of the Negro League's Leaders & Innovators	\$43,570.00
Nets Developmental League	10th Annual Border War Invitational	\$12,000.00
Nets Developmental League	2025 Cobbler Fest	\$7,860.00
Nets Developmental League	2025 Midwest Showcase Basketball Camp	\$2,750.00
Nets Developmental League	Fountain of Hoops	\$4,720.00
Nets Developmental League	KC Fireworks	\$5,300.00
Nets Developmental League	Midwest Magic	\$5,410.00
Nets Developmental League	Midwest Mayhem AYF National Challenge	\$12,330.00
Nets Developmental League	MO Nets D1 Challenge	\$5,950.00
Nets Developmental League	MO Nets Football Combine Camp	\$3,150.00
New Music Institute of Kansas City, Inc.	9th Annual KC Contemporary Music Festival	\$1,510.00
Next Paige Foundation	Fam Jam	\$24,970.00
Next Paige Foundation	Last Fridays	\$2,850.00
Next Paige Foundation	Master Class Series	\$5,410.00
Next Paige Foundation	Next Paige Foundation Annual Fundraising "A Night At The GEM"	\$11,010.00
No Divide KC	6th Annual Queer Narratives Festival	\$3,140.00
No Divide KC	Come as You Are: Vulnerability in the Concert Space	\$3,440.00
Northeast Arts KC	Chalk Walk in Historic Northeast	\$1,670.00

Northeast Arts KC	Summer Dusk Concert Series	\$1,280.00
Northeast Community Center	Harmony Project KC: Back at the Folly!	\$1,380.00
Northland Symphony Orchestra Association	Small Chamber Concert	\$1,570.00
Oak Park Neighborhood Assn	Prospect Day Parade & Festival	\$8,450.00
Owen/Cox Dance Group	Creative Intersections	\$3,150.00
Owen/Cox Dance Group	Moving Arts Kansas City	\$3,340.00
Owen/Cox Dance Group	Owen/Cox Dance Group Spring Performance	\$4,030.00
Owen/Cox Dance Group	Take the Stage Spring 2026 performance	\$2,650.00
Owen/Cox Dance Group	World Premiere with Krystle Warren	\$4,030.00
Pendleton Heights Neighborhood Association	2025 Bee Install Party	\$980.00
Pendleton Heights Neighborhood Association	2025 Pendleton Heights Homes Tour	\$2,950.00
Pendleton Heights Neighborhood Association	2025 PH Honey Harvest	\$980.00
Pendleton Heights Neighborhood Association	2025 PH Movie Nights	\$0.00
Pendleton Heights Neighborhood Association	2025 PH Orchard Fest	\$2,160.00
Pendleton Heights Neighborhood Association	2025 PH Portrait Sessions	\$0.00
Pendleton Heights Neighborhood Association	Meet Your Neighbor Nights at PH Coffee	\$0.00
Performing Arts Foundation of Kansas City	2025 Folly Frolic	\$13,620.00
Performing Arts Foundation of Kansas City	2025-2026 Folly Americana Series	\$14,060.00
Performing Arts Foundation of Kansas City	2025-2026 Folly Jazz Series	\$13,840.00
Performing Arts Foundation of Kansas City	Folly Pride Celebration Concert featuring Andrew Rannells	\$7,890.00
Pilgrim Center, Inc.	2025 Gillham Road GobbleTrot	\$2,050.00
Poetry for Personal Power Inc.	5th Annual Art-A-Thon	\$2,460.00
Poetry for Personal Power Inc.	Rite of Joy	\$9,530.00
Prospect Business Association	2nd Annual Prospect Business Association Trunk Or Treat	\$15,530.00
Providence School of Arts Inc	Disney's The Jungle Book KIDS	\$980.00
Providence School of Arts Inc	Straight Outta Bethlehem	\$1,670.00
Reclaiming Our Community	Restorative Justice Symposium	\$2,460.00
Reconciliation Services	Hike For Reconciliation 2025	\$3,340.00
Reel Images Film and Video Group	Jazz Talk	\$3,930.00
reStart Inc	2025 Homecoming: Providing Pathways	\$1,670.00

Ruby Jean's Foundation	Juice Jamz & Ruby Jean's 10th Anniversary Festival	\$19,660.00
Ryogoku Soccer Academy / Independence Boulevard Christian Church	2025 Harvest Festival	\$1,670.00
Ryogoku Soccer Academy / Independence Boulevard Christian Church	3rd Annual Kansas City Racial Justice Summit 2025	\$3,240.00
Ryogoku Soccer Academy / Independence Boulevard Christian Church	Copa de Calle	\$13,470.00
Ryogoku Soccer Academy / Independence Boulevard Christian Church	Films For a Cause Film Screening & Conversation Series '25-'26	\$7,270.00
Scarritt Renaissance Neighborhood Association	Scare-It Halloween 2025	\$5,950.00
Serve the World Charities	Fireworks at Evangel	\$3,440.00
Sheffield Place	Off the Wall	\$1,670.00
Show Me KC Schools	City School Fair	\$3,140.00
Show Me KC Schools	School Saturday	\$2,650.00
Show Me Riders Horse Club of Kansas City	Horses for the Holidays XII	\$2,060.00
Show Me Riders Horse Club of Kansas City	Ponies and Pumpkins Fall Festival	\$5,410.00
Show Me You Care KC	Moulin Noir KC: Renaissance Reimagined	\$6,090.00
Show Me You Care KC	Show Me You Ball	\$3,930.00
Show Me You Care KC	The Care Gala	\$2,360.00
Show-Me Pride Ensembles	Show-Me Pride Ensembles Seasons 21 and 22	\$9,930.00
Sparrow Community Development Corporation	34th Street Community Festival	\$2,460.00
Spire Chamber Ensemble	Summer International Choral Music Institute	\$19,570.00
Starlight Theatre Association of Kansas City, Inc.	2025 Starlight Broadway Series	\$44,980.00
StoneLion Puppet Theatre	Puppets A Glow VI	\$8,430.00
Summerfest Concerts and/or Recordings Inc.	Summerfest Concerts 2025 Season	\$1,670.00
Te Deum, Inc.	Te Deum 2025-2026 Kansas City, MO Concerts	\$3,150.00
The Art in the Loop Foundation	2025 Downtown KC Music Series & Art Exhibition	\$12,330.00
The Arts Asylum	'Bare: A Pop Opera'	\$4,000.00
The Arts Asylum	Be Our Guest: A Block Party and	\$2,160.00

	Anniversary Celebration	
The Arts Asylum	'Sylvia'	\$2,650.00
The Black Repertory Theatre of Kansas City	Ten Years of African America Excellence in the Arts - African Company presents Richard the III	\$2,650.00
The Black Repertory Theatre of Kansas City	Ten Years of African American Excellence - Jaja's Hair-Braiding Company	\$3,240.00
The Coterie Inc.	2025 Musical Series	\$21,730.00
The Don Bosco Centers	Savor the Flavors 2025	\$11,890.00
The Educator Academy	Imagine If? A Celebration of Education & Exploration	\$8,060.00
The Foundation for Delta Educational and Economic Development	1st Annual DEED 5K Run & Walk	\$1,870.00
The Foundation for Delta Educational and Economic Development	2nd Annual Brown Girl J.O.Y.	\$4,420.00
The Foundation for Delta Educational and Economic Development	Crimson Nights	\$2,060.00
The Friends of Bruce R. Watkins	The History of Black Cowboys, Featuring Rex Purefoy – Hollywood Cowboy Exhibit	\$9,830.00
The Friends of Chamber Music Kansas City	The Friends of Chamber Music Kansas City 2025-2026 Season Support	\$6,050.00
THE KANSAS CITY BLUES SOCIETY, INC.	Blues in the Bottoms 3	\$3,150.00
THE KANSAS CITY BLUES SOCIETY, INC.	Women in Blues 4	\$980.00
The Kansas City Jazz Orchestra	Kansas City Jazz Orchestra's 2025-2026 Signature Series	\$13,620.00
The Kansas City Metro Lutheran Ministry	3B- Beer, Basketball, BBQ	\$1,570.00
The Kansas City Metro Lutheran Ministry	Metro Lutheran Ministry Christmas Store	\$2,460.00
The Kansas City Public Library Foundation	2025 Summer Reading Program - Color Our World	\$11,600.00
The Kansas City Public Library Foundation	Heartland Book Festival	\$7,960.00
The Mattie Rhodes Memorial Society	Día de Los Muertos Art Exhibition & Calaca Night Parade	\$21,730.00
The Mattie Rhodes Memorial Society	Tamale Fest	\$3,460.00
The National Museum of Toys	Exhibition: Native Arts in Miniature	\$34,400.00

and Miniatures		
The National Museum of Toys and Miniatures	Exhibition: The Nostalgia Awakens: Retro Kenner Star Wars Action Figure Toys	\$49,150.00
The Society for Friendship with China, Inc.	2025 Kansas City International Dragon Boat Festival	\$4,870.00
The Soul of Santa "Do Good" Foundation	The Soul of Santa Christmas in Color Extravaganza Events	\$58,980.00
The Soul of Santa "Do Good" Foundation	The Soul of Santa Christmas Karaoke	\$1,970.00
The Soul of Santa "Do Good" Foundation	The Soul of Santa Pop-Up Ice Skating Rink	\$19,660.00
Tour de Hope	2025 Tour de Hope Charity Bike Ride	\$4,030.00
Transformations Youth Group	Kansas City Trans Day of Visibility (March 31, 2026)	\$9,830.00
Transformations Youth Group	KCMO Trans Pride (June 20-22, 2025)	\$12,090.00
Transformations Youth Group	Trans Day of Remembrance (November 20, 2025)	\$4,820.00
Twelfth Street Heritage Corporation	Santa's Wonderland	\$13,960.00
UNICO National-Kansas City Men's Chapter, Inc of Kansas City, Missouri	Festa Italiana	\$23,890.00
Unicorn Theatre	2025-2026 Annual Season	\$31,570.00
Union Station Kansas City, Inc.	Holidays at the Station	\$32,330.00
Union Station Kansas City, Inc.	The Science of Guinness World Records	\$14,810.00
Urban Community Connections	Adopt-A-Family @ Christmas Tour	\$2,460.00
Urban Community Connections	Christmas In July	\$2,750.00
Urban Community Connections	Connect, Brunch, & Build Networking Vibes	\$1,080.00
Urban Community Connections	Mom & Baby Fest	\$4,910.00
Urban Community Connections	Project Cinderella's Closet & Man of the Hour	\$980.00
Volker Neighborhood Association	Volker Homes Tour	\$2,360.00
Wayside Waifs	Strutt With Your Mutt	\$2,050.00
Westport Regional Business League	2nd Annual Westport Cornhole Tournament	\$3,240.00
Westport Regional Business League	3rd Annual Westport Christmas Market	\$3,440.00
Westport Regional Business League	45th Annual Art Westport	\$11,790.00
WESTSIDE NEIGHBORHOOD ASSOCIATION	West Fest 2025	\$1,280.00

Winners Circle Collective	Winners Circle Weekend	\$16,910.00
YouLEAD Assistance Network	Pursuing MY Dreams In MY Neighborhood Summit	\$22,020.00
Youth Symphony Association of Kansas City, Inc.	Kansas City Classic Orchestra and Band Festival 2026	\$3,440.00
Youth Symphony Association of Kansas City, Inc.	Youth Music Community Concerts	\$5,840.00
		\$3,223,310.00

..end

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I hereby certify that there is a balance, otherwise unencumbered, to the credit of the appropriation to which the foregoing expenditure is to be charged, and a cash balance, otherwise unencumbered, in the treasury, to the credit of the fund from which payment is to be made, each sufficient to meet the obligation hereby incurred.

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Tammy Queen  
Director of Finance

Approved as to form:

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Bret Kassen  
Associate City Attorney





# City of Kansas City, Missouri

## Docket Memo

Ordinance/Resolution #: 250278

Submitted Department/Preparer: Neighborhoods

Revised 6/10/24

Docket memos are required on all ordinances initiated by a Department Director. More information can be found in [Administrative Regulation \(AR\) 4-1](#).

### Executive Summary

Approving contracts in the amount of \$3,223,310 from previously appropriated funds in the Neighborhood Tourist Development Fund with various nonprofit organizations selected as part of the FY 2025-26 annual application cycle for the purpose of promoting neighborhoods and tourism through cultural, social, ethnic, historic, educational, and recreational activities.

### Discussion

Neighborhood Services Department (NSD) received 339 applications which supports activities occurring May 1, 2025 through April 30, 2026. The application timeline for NTDF Annual with an opening date of December 9, 2024 with a deadline of January 24, 2025. NSD received 200 applications by the deadline for FY2024-2025, annual All applications were reviewed by the Neighborhood Tourist Development (NTDF) Committee.

The NTDF Committee met from February 18, 2025 through March 5, 2025 to review the applications and to interview applicants. Deliberations were held on March 6, 12<sup>th</sup>, and 19<sup>th</sup> and take action on funding recommendations. The committee recommended a total of 331 awards for a total funding amount of \$3,223,310. The committee didn't award 10 events.

### Fiscal Impact

1. Is this legislation included in the adopted budget? ☒ Yes ☐ No
2. What is the funding source?  
26-2350-672100-B; Neighborhood Tourist Development Fund

3. How does the legislation affect the current fiscal year?  
N/A
4. Does the legislation have a fiscal impact in future fiscal years? Please notate the difference between one-time and recurring costs.  
N/A – Rollover from FY2025 and Approved in FY2026 Annual Budget.
5. Does the legislation generate revenue, leverage outside funding, or deliver a return on investment?  
N/A

### Office of Management and Budget Review

(OMB Staff will complete this section.)

1. This legislation is supported by the general fund. ☐ Yes ☒ No
2. This fund has a structural imbalance. ☐ Yes ☒ No
3. Account string has been verified/confirmed. ☒ Yes ☐ No

### Additional Discussion (if needed)

Click or tap here to enter text.

## Citywide Business Plan (CWBP) Impact

1. View the [Adopted 2025-2029 Citywide Business Plan](#)
2. Which CWBP goal is most impacted by this legislation?  
Inclusive Growth and Development (Press tab after selecting.)
3. Which objectives are impacted by this legislation (select all that apply):
  - ☐ Align the City's economic development strategies with the objectives of the City Council to ensure attention on areas traditionally underserved by economic development and redevelopment efforts.
  - ☒ Ensure quality, lasting development of new growth.
  - ☐ Increase and support local workforce development and minority, women, and locally owned businesses.
  - ☐ Create a solutions-oriented culture to foster a more welcoming business environment.
  - ☐ Leverage existing institutional assets to maintain and grow Kansas City's position as an economic hub in the Central United States.



## Prior Legislation

Code of Ordinances: Section 2-931: Neighborhood Tourist Development

## Service Level Impacts

Awarding this grant money will allow local organizations to host events in Kansas City Neighborhoods, which will not only help support local businesses but also increase resident satisfaction and impart a sense of community. Combined, all awarded events are expected to attract over 1 million tourists, which contributes to the overall economic well-being of the City.

## Other Impacts

1. What will be the potential health impacts to any affected groups?  
This legislation will increase recreation opportunities to our residents, which will promote connectivity and community within neighborhoods. Some of the events are held to increase funding to service-based organizations that offer free or reduced services to residents (including homeless shelters, community gardens, insurance, resource centers, etc).
2. How have those groups been engaged and involved in the development of this ordinance?  
The funding opportunity was open to the public, and training was provided using neighborhood and community feedback and questions. The funding awards were selected by a committee made up of a variety of residents from all districts and communities.
3. How does this legislation contribute to a sustainable Kansas City?  
This project is funded through a tourism tax and gives out grant awards to events, which then in turn promote tourism and spending in our neighborhoods. The funding is self-sustaining when used appropriately.
4. Does this legislation create or preserve new housing units?  
No (Press tab after selecting)

Click or tap here to enter text.

Click or tap here to enter text.

5. Department staff certifies the submission of any application Affirmative Action Plans or Certificates of Compliance, Contractor Utilization Plans (CUPs), and Letters of Intent to Subcontract (LOIs) to CREO prior to, or simultaneously with, the legislation entry request in Legistar.

No - CREO's review is not applicable (Press tab after selecting)

Please provide reasoning why not:

Click or tap here to enter text.

6. Does this legislation seek to approve a contract resulting from an Invitation for Bid?

No(Press tab after selecting)

Click or tap here to enter text.

7. Does this legislation seek to approve a contract resulting from a Request for Proposal/Qualification (RFP/Q)?

No(Press tab after selecting)



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**File #:** 250266

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### RESOLUTION NO. 250266

Sponsor: Mayor Quinton Lucas

**RESOLUTION** - Appointing Doug Winter, Steve Drehle and Jesse Hufft as successor directors to the 1707 Locust Community Improvement District.

WHEREAS, the 1707 Locust Community Improvement District (the “District”) was established by petition of the property owners (the “Petition”) and approved by City Council by Ordinance No. 180494; and

WHEREAS, the Petition provides for successor directors to be appointed by the Mayor, with the consent of the City Council, according to slates which have been submitted by the District; and

WHEREAS, the District has submitted a slate to the City Clerk as provided by the Petition; NOW, THEREFORE,

#### BE IT RESOLVED BY THE COUNCIL OF KANSAS CITY:

That the following persons are hereby appointed as successor directors to the 1707 Locust Community Improvement District to serve such terms as is provided for by the Petition, each term to commence the date upon which the preceding term shall have expired:

Doug Winter  
Steve Drehle  
Jesse Hufft

..end

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# City of Kansas City, Missouri

## Docket Memo

Ordinance/Resolution #: 250267

Submitted Department/Preparer: City Planning

Revised 6/10/24

Docket memos are required on all ordinances initiated by a Department Director. More information can be found in [Administrative Regulation \(AR\) 4-1](#).

### Executive Summary

Appointing Roger Summers and Babette Macy as successor directors to the 906 Grand Community Improvement District.

### Discussion

The 906 Grand Community Improvement District (the "District") was established by petition of the property owners (the "Petition") and approved by the City Council by Ordinance No. 220087.

The Petition provides for successor directors to be appointed by the Mayor, with the consent of the City Council, according to slates which have been submitted by the District.

The District has submitted a slate to the City Clerk as provided by the Petition.

### Fiscal Impact

1. Is this legislation included in the adopted budget? ☐ Yes ☒ No
2. What is the funding source?  
There is no direct fiscal impact as a result of this resolution.
3. How does the legislation affect the current fiscal year?  
There is no direct fiscal impact as a result of this resolution.
4. Does the legislation have a fiscal impact in future fiscal years? Please notate the difference between one-time and recurring costs.  
There is no direct fiscal impact as a result of this resolution.

5. Does the legislation generate revenue, leverage outside funding, or deliver a return on investment?

There is no direct fiscal impact as a result of this resolution.

### Office of Management and Budget Review

(OMB Staff will complete this section.)

- |   |                              |  |
|---|------------------------------|--|
| 1. This legislation is supported by the general fund. | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |
| 2. This fund has a structural imbalance.              | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |
| 3. Account string has been verified/confirmed.        | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |

### Additional Discussion (if needed)

There is no direct fiscal impact as a result of this resolution.

## Citywide Business Plan (CWBP) Impact

1. View the [Adopted 2025-2029 Citywide Business Plan](#)
2. Which CWBP goal is most impacted by this legislation?  
Finance and Governance (Press tab after selecting.)
3. Which objectives are impacted by this legislation (select all that apply):
  - ☒ Ensure the resiliency of a responsive, representative, engaged, and transparent City government.
  - ☐ Engage in workforce planning including employee recruitment, development, retention, and engagement.
  - ☐ Foster a solutions-oriented, welcoming culture for employees and City Partners.
  - ☐
  - ☐
  - ☐

## Prior Legislation

## Service Level Impacts

N/A

## Other Impacts

1. What will be the potential health impacts to any affected groups?  
N/A

2. How have those groups been engaged and involved in the development of this ordinance?  
N/A

3. How does this legislation contribute to a sustainable Kansas City?  
N/A

4. Does this legislation create or preserve new housing units?  
No (Press tab after selecting)

Click or tap here to enter text.

Click or tap here to enter text.

5. Department staff certifies the submission of any application Affirmative Action Plans or Certificates of Compliance, Contractor Utilization Plans (CUPs), and Letters of Intent to Subcontract (LOIs) to CREO prior to, or simultaneously with, the legislation entry request in Legistar.

No - CREO's review is not applicable (Press tab after selecting)

Please provide reasoning why not:

N/A

6. Does this legislation seek to approve a contract resulting from an Invitation for Bid?

No(Press tab after selecting)

7. Does this legislation seek to approve a contract resulting from a Request for Proposal/Qualification (RFP/Q)?

No(Press tab after selecting)







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**File #:** 250267

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### RESOLUTION NO. 250267

Sponsor: Mayor Quinton Lucas

**RESOLUTION** - Appointing Roger Summers and Babette Macy as successor directors to the 906 Grand Community Improvement District.

WHEREAS, the 906 Grand Community Improvement District (the “District”) was established by petition of the property owners (the “Petition”) and approved by the City Council by Ordinance No. 220087; and

WHEREAS, the Petition provides for successor directors to be appointed by the Mayor, with the consent of the City Council, according to slates which have been submitted by the District; and

WHEREAS, the District has submitted a slate to the City Clerk as provided by the Petition; NOW, THEREFORE,

**BE IT RESOLVED BY THE COUNCIL OF KANSAS CITY:**

That the following persons are hereby appointed as successor directors to the 906 Grand Community Improvement District to serve such terms as is provided for by the Petition, each term to commence the date upon which the preceding term shall have expired:

Roger Summers  
Babette Macy

..end

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# City of Kansas City, Missouri

## Docket Memo

Ordinance/Resolution #: 250267

Submitted Department/Preparer: City Planning

Revised 6/10/24

Docket memos are required on all ordinances initiated by a Department Director. More information can be found in [Administrative Regulation \(AR\) 4-1](#).

### Executive Summary

Appointing Roger Summers and Babette Macy as successor directors to the 906 Grand Community Improvement District.

### Discussion

The 906 Grand Community Improvement District (the "District") was established by petition of the property owners (the "Petition") and approved by the City Council by Ordinance No. 220087.

The Petition provides for successor directors to be appointed by the Mayor, with the consent of the City Council, according to slates which have been submitted by the District.

The District has submitted a slate to the City Clerk as provided by the Petition.

### Fiscal Impact

1. Is this legislation included in the adopted budget? ☐ Yes ☒ No
2. What is the funding source?  
There is no direct fiscal impact as a result of this resolution.
3. How does the legislation affect the current fiscal year?  
There is no direct fiscal impact as a result of this resolution.
4. Does the legislation have a fiscal impact in future fiscal years? Please notate the difference between one-time and recurring costs.  
There is no direct fiscal impact as a result of this resolution.

5. Does the legislation generate revenue, leverage outside funding, or deliver a return on investment?

There is no direct fiscal impact as a result of this resolution.

### Office of Management and Budget Review

(OMB Staff will complete this section.)

- |   |                              |  |
|---|------------------------------|--|
| 1. This legislation is supported by the general fund. | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |
| 2. This fund has a structural imbalance.              | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |
| 3. Account string has been verified/confirmed.        | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |

### Additional Discussion (if needed)

There is no direct fiscal impact as a result of this resolution.

## Citywide Business Plan (CWBP) Impact

1. View the [Adopted 2025-2029 Citywide Business Plan](#)
2. Which CWBP goal is most impacted by this legislation?  
Finance and Governance (Press tab after selecting.)
3. Which objectives are impacted by this legislation (select all that apply):
  - ☒ Ensure the resiliency of a responsive, representative, engaged, and transparent City government.
  - ☐ Engage in workforce planning including employee recruitment, development, retention, and engagement.
  - ☐ Foster a solutions-oriented, welcoming culture for employees and City Partners.
  - ☐
  - ☐
  - ☐

## Prior Legislation

## Service Level Impacts

N/A

## Other Impacts

1. What will be the potential health impacts to any affected groups?  
N/A

2. How have those groups been engaged and involved in the development of this ordinance?  
N/A

3. How does this legislation contribute to a sustainable Kansas City?  
N/A

4. Does this legislation create or preserve new housing units?  
No (Press tab after selecting)

Click or tap here to enter text.

Click or tap here to enter text.

5. Department staff certifies the submission of any application Affirmative Action Plans or Certificates of Compliance, Contractor Utilization Plans (CUPs), and Letters of Intent to Subcontract (LOIs) to CREO prior to, or simultaneously with, the legislation entry request in Legistar.

No - CREO's review is not applicable (Press tab after selecting)

Please provide reasoning why not:

N/A

6. Does this legislation seek to approve a contract resulting from an Invitation for Bid?

No(Press tab after selecting)

7. Does this legislation seek to approve a contract resulting from a Request for Proposal/Qualification (RFP/Q)?

No(Press tab after selecting)





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**File #: 250268**

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### RESOLUTION NO. 250268

Sponsor: Mayor Quinton Lucas

**RESOLUTION** - Appointing Mark Thompson as successor director to the Kansas City Convention Center Headquarters Hotel Community Improvement District.

WHEREAS, the Kansas City Convention Center Headquarters Hotel Community Improvement District ("District") was established by petition of the property owners ("Petition") and approved by the City Council by Committee Substitute for Ordinance No. 150597; and

WHEREAS, the Petition provides for successor directors to be appointed by the Mayor, with the consent of the City Council, according to slates which have been submitted by the District; and

WHEREAS, the District has submitted a slate to the City Clerk as provided by the Petition; NOW, THEREFORE,

### BE IT RESOLVED BY THE COUNCIL OF KANSAS CITY:

That the following person is hereby appointed as successor director to the Kansas City Convention Center Headquarters Hotel Community Improvement District to serve such term as is provided for by the Petition, such term to commence the date upon which the preceding term shall have expired:

Mark Thompson

..end

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# City of Kansas City, Missouri

## Docket Memo

Ordinance/Resolution #: 250268

Submitted Department/Preparer: City Planning

Revised 6/10/24

Docket memos are required on all ordinances initiated by a Department Director. More information can be found in [Administrative Regulation \(AR\) 4-1](#).

### Executive Summary

Appointing Mark Thompson as successor director to the Kansas City Convention Center Headquarters Hotel Community Improvement District.

### Discussion

The Kansas City Convention Center Headquarters Hotel Community Improvement District ("District") was established by petition of the property owners ("Petition") and approved by the City Council by Committee Substitute for Ordinance No. 150597.

The Petition provides for successor directors to be appointed by the Mayor, with the consent of the City Council, according to slates which have been submitted by the District.

The District has submitted a slate to the City Clerk as provided by the Petition.

### Fiscal Impact

1. Is this legislation included in the adopted budget? ☐ Yes ☒ No
2. What is the funding source?  
There is no direct fiscal impact as a result of this resolution.
3. How does the legislation affect the current fiscal year?  
There is no direct fiscal impact as a result of this resolution.
4. Does the legislation have a fiscal impact in future fiscal years? Please notate the difference between one-time and recurring costs.  
There is no direct fiscal impact as a result of this resolution.



5. Does the legislation generate revenue, leverage outside funding, or deliver a return on investment?

There is no direct fiscal impact as a result of this resolution.

### Office of Management and Budget Review

(OMB Staff will complete this section.)

- |   |                              |  |
|---|------------------------------|--|
| 1. This legislation is supported by the general fund. | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |
| 2. This fund has a structural imbalance.              | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |
| 3. Account string has been verified/confirmed.        | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |

### Additional Discussion (if needed)

There is no direct fiscal impact as a result of this resolution.

## Citywide Business Plan (CWBP) Impact

1. View the [Adopted 2025-2029 Citywide Business Plan](#)
2. Which CWBP goal is most impacted by this legislation?  
Finance and Governance (Press tab after selecting.)
3. Which objectives are impacted by this legislation (select all that apply):
  - ☒ Ensure the resiliency of a responsive, representative, engaged, and transparent City government.
  - ☐ Engage in workforce planning including employee recruitment, development, retention, and engagement.
  - ☐ Foster a solutions-oriented, welcoming culture for employees and City Partners.
  - ☐
  - ☐
  - ☐

## Prior Legislation

Click or tap here to list prior, related ordinances/resolutions.

## Service Level Impacts

N/A

## Other Impacts

1. What will be the potential health impacts to any affected groups?  
N/A

2. How have those groups been engaged and involved in the development of this ordinance?  
N/A

3. How does this legislation contribute to a sustainable Kansas City?  
N/A

4. Does this legislation create or preserve new housing units?  
No (Press tab after selecting)

Click or tap here to enter text.

Click or tap here to enter text.

5. Department staff certifies the submission of any application Affirmative Action Plans or Certificates of Compliance, Contractor Utilization Plans (CUPs), and Letters of Intent to Subcontract (LOIs) to CREO prior to, or simultaneously with, the legislation entry request in Legistar.

No - CREO's review is not applicable (Press tab after selecting)

Please provide reasoning why not:

N/A

6. Does this legislation seek to approve a contract resulting from an Invitation for Bid?

No(Press tab after selecting)

7. Does this legislation seek to approve a contract resulting from a Request for Proposal/Qualification (RFP/Q)?

No(Press tab after selecting)





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**File #:** 250269

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### RESOLUTION NO. 250269

Sponsor: Mayor Quinton Lucas

**RESOLUTION** - Appointing Nathan Guffey, Erin Brower and Steve Doyal as successor directors to the Pershing and Grand Community Improvement District.

WHEREAS, the Pershing and Grand Community Improvement District (“District”) was established by petition of the property owners (“Petition”) and approved by the City Council by Committee Substitute for Ordinance No. 170362; and

WHEREAS, the Petition provides for successor directors to be appointed by the Mayor, with the consent of the City Council, according to slates which have been submitted by the District; and

WHEREAS, the District has submitted a slate to the City Clerk as provided by the Petition; NOW, THEREFORE,

**BE IT RESOLVED BY THE COUNCIL OF KANSAS CITY:**

That the following persons are hereby appointed as successor directors to the Pershing and Grand Community Improvement District to serve such terms as is provided for by the Petition, each term to commence the date upon which the preceding term shall have expired:

Nathan Guffey  
Erin Brower  
Steve Doyal

..end

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**RESOLUTION NO. 2025-03**

**THE PERSHING AND GRAND COMMUNITY IMPROVEMENT DISTRICT**

**RESOLUTION OF THE BOARD OF DIRECTORS (THE "BOARD") OF THE PERSHING AND GRAND COMMUNITY IMPROVEMENT DISTRICT (THE "DISTRICT") NOMINATING A SLATE OF SUCCESSOR DIRECTORS**

WHEREAS, the District, which was formed by Committee Substitute for Ordinance No. 170362 adopted by the City Council of Kansas City, Missouri, is a public body created under the authority of the "Missouri Community Improvement District Act," Section 67.1401, *et seq.*, RSMo, as may be amended (the "Act"); and is transacting business and exercising powers granted by the Act;

WHEREAS, the Petition to establish the District (the "Petition") authorizes the Board to nominate qualified individuals for appointment as Successor Directors in accordance with the qualifications set forth in the Petition;

WHEREAS, the terms of Nathan Guffey, Erin Brower, and Steve Doyal are set to expire in May 2025;

WHEREAS, the Board wishes to nominate for appointment as Successor Directors Nathan Guffey, Erin Brower, and Steve Doyal for four (4) year terms; and


WHEREAS, the Petition authorizes the Board to submit to the Mayor, with the consent of the City Council, a slate of individuals nominated as Successor Directors in accordance with the qualifications set forth in the Petition.


NOW, THEREFORE, BE IT RESOLVED by the Board as follows:

1. The Board nominates Nathan Guffey, Erin Brower, and Steve Doyal for appointment as Successor Directors for four (4) year terms.
2. The District's Legal Counsel is authorized to take all actions necessary to carry out this Resolution;
3. This Resolution shall take effect immediately.

Adopted this 25<sup>th</sup> day of March, 2025.

ATTEST:

DocuSigned by:  
  
62007B17242B42D...  
Phyllis Leach, Secretary

DocuSigned by:  
  
7D9AF60F3106400...  
Nathan Guffey, Chairman



# City of Kansas City, Missouri

## Docket Memo

Ordinance/Resolution #: 250269

Submitted Department/Preparer: City Planning

Revised 6/10/24

Docket memos are required on all ordinances initiated by a Department Director. More information can be found in [Administrative Regulation \(AR\) 4-1](#).

### Executive Summary

Appointing Nathan Guffey, Erin Brower and Steve Doyal as successor directors to the Pershing and Grand Community Improvement District.

### Discussion

The Pershing and Grand Community Improvement District ("District") was established by petition of the property owners ("Petition") and approved by the City Council by Committee Substitute for Ordinance No. 170362.

The Petition provides for successor directors to be appointed by the Mayor, with the consent of the City Council, according to slates which have been submitted by the District. The District has submitted a slate to the City Clerk as provided by the Petition

### Fiscal Impact

1. Is this legislation included in the adopted budget? ☐ Yes ☒ No
2. What is the funding source?  
Not applicable as this resolution does not have a fiscal impact.
3. How does the legislation affect the current fiscal year?  
Not applicable as this resolution does not have a fiscal impact.
4. Does the legislation have a fiscal impact in future fiscal years? Please notate the difference between one-time and recurring costs.  
Not applicable as this resolution does not have a fiscal impact.
5. Does the legislation generate revenue, leverage outside funding, or deliver a return on investment?

Not applicable as this resolution does not have a fiscal impact.

**Office of Management and Budget Review**

(OMB Staff will complete this section.)

- |   |                              |  |
|---|------------------------------|--|
| 1. This legislation is supported by the general fund. | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |
| 2. This fund has a structural imbalance.              | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |
| 3. Account string has been verified/confirmed.        | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |

**Additional Discussion (if needed)**

No account string to verify because this resolution does not have a fiscal impact.

**Citywide Business Plan (CWBP) Impact**

1. View the [Adopted 2025-2029 Citywide Business Plan](#)
2. Which CWBP goal is most impacted by this legislation?  
Finance and Governance (Press tab after selecting.)
3. Which objectives are impacted by this legislation (select all that apply):
  - ☒ Ensure the resiliency of a responsive, representative, engaged, and transparent City government.
  - ☐ Engage in workforce planning including employee recruitment, development, retention, and engagement.
  - ☐ Foster a solutions-oriented, welcoming culture for employees and City Partners.
  - ☐
  - ☐
  - ☐

**Prior Legislation**

There is no prior legislation on the subject.

**Service Level Impacts**

Not applicable as this resolution does not have any fiscal impact.

## Other Impacts

1. What will be the potential health impacts to any affected groups?  
Not applicable as this resolution does not a fiscal impact.
2. How have those groups been engaged and involved in the development of this ordinance?  
Not applicable as this resolution does not have a fiscal impact.
3. How does this legislation contribute to a sustainable Kansas City?  
Not applicable as this resolution does not have a fiscal impact.
4. Does this legislation create or preserve new housing units?  
No (Press tab after selecting)

Not applicable as this resolution does not have a fiscal impact.  
[Click or tap here to enter text.](#)

5. Department staff certifies the submission of any application Affirmative Action Plans or Certificates of Compliance, Contractor Utilization Plans (CUPs), and Letters of Intent to Subcontract (LOIs) to CREO prior to, or simultaneously with, the legislation entry request in Legistar.

No - CREO's review is not applicable (Press tab after selecting)  
Please provide reasoning why not:  
Not applicable as this resolution does not have a fiscal impact.

6. Does this legislation seek to approve a contract resulting from an Invitation for Bid?

No(Press tab after selecting)

Not applicable as this resolution does not have a fiscal impact.

7. Does this legislation seek to approve a contract resulting from a Request for Proposal/Qualification (RFP/Q)?  
No(Press tab after selecting)





## Legislation Text

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**File #:** 250270

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### RESOLUTION NO. 250270

Sponsor: Mayor Quinton Lucas

**RESOLUTION** - Appointing Matt Smith, Kyle Kelly and Erik Wullschleger as successor directors to the Romanelli Shops Community Improvement District.

WHEREAS, the Romanelli Shops Community Improvement District (the “District”) was established by petition of the property owners (the “Petition”) and approved by the City Council by Ordinance No. 190889; and

WHEREAS, the Petition provides for successor directors to be appointed by the Mayor, with the consent of the City Council, according to slates which have been submitted by the District; and

WHEREAS, the District has submitted a slate to the City Clerk as provided by the Petition; NOW, THEREFORE,

#### BE IT RESOLVED BY THE COUNCIL OF KANSAS CITY:

That the following persons are hereby appointed as successor directors to the Romanelli Shops Community Improvement District to serve such terms as is provided for by the Petition, each term to commence the date upon which the preceding term shall have expired:

Matt Smith  
Kyle Kelly  
Erik Wullschleger

..end

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# City of Kansas City, Missouri

## Docket Memo

Ordinance/Resolution #: 250270

Submitted Department/Preparer: City Planning

Revised 6/10/24

Docket memos are required on all ordinances initiated by a Department Director. More information can be found in [Administrative Regulation \(AR\) 4-1](#).

### Executive Summary

Appointing Matt Smith, Kyle Kelly and Erik Wullschleger as successor directors to the Romanelli Shops Community Improvement District.

### Discussion

The Romanelli Shops Community Improvement District (the "District") was established by petition of the property owners (the "Petition") and approved by the City Council by Ordinance No. 190889.

The Petition provides for successor directors to be appointed by the Mayor, with the consent of the City Council, according to slates which have been submitted by the District. The District has submitted a slate to the City Clerk as provided by the Petition.

### Fiscal Impact

1. Is this legislation included in the adopted budget? ☐ Yes ☒ No
2. What is the funding source?  
Not applicable as this resolution does not have a fiscal impact.
3. How does the legislation affect the current fiscal year?  
Not applicable as this resolution does not have a fiscal impact.
4. Does the legislation have a fiscal impact in future fiscal years? Please notate the difference between one-time and recurring costs.  
Not applicable as this resolution does not have a fiscal impact.
5. Does the legislation generate revenue, leverage outside funding, or deliver a return on investment?  
Not applicable as this resolution does not have a fiscal impact.

## Office of Management and Budget Review

(OMB Staff will complete this section.)

- |   |                              |  |
|---|------------------------------|--|
| 1. This legislation is supported by the general fund. | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |
| 2. This fund has a structural imbalance.              | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |
| 3. Account string has been verified/confirmed.        | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |

## Additional Discussion (if needed)

No account string to verify because this resolution does not have a fiscal impact.

## Citywide Business Plan (CWBP) Impact

1. View the [Adopted 2025-2029 Citywide Business Plan](#)
2. Which CWBP goal is most impacted by this legislation?  
Finance and Governance (Press tab after selecting.)
3. Which objectives are impacted by this legislation (select all that apply):
  - ☒ Ensure the resiliency of a responsive, representative, engaged, and transparent City government.
  - ☐ Engage in workforce planning including employee recruitment, development, retention, and engagement.
  - ☐ Foster a solutions-oriented, welcoming culture for employees and City Partners.
  - ☐
  - ☐
  - ☐

## Prior Legislation

There is no prior legislation on the subject.

## Service Level Impacts

Not applicable as this resolution does not have any fiscal impact.

## Other Impacts

1. What will be the potential health impacts to any affected groups?  
Not applicable as this resolution does not a fiscal impact.
2. How have those groups been engaged and involved in the development of this ordinance?  
Not applicable as this resolution does not have a fiscal impact.
3. How does this legislation contribute to a sustainable Kansas City?  
Not applicable as this resolution does not have a fiscal impact.

4. Does this legislation create or preserve new housing units?  
No (Press tab after selecting)

Not applicable as this resolution does not have a fiscal impact.  
[Click or tap here to enter text.](#)

5. Department staff certifies the submission of any application Affirmative Action Plans or Certificates of Compliance, Contractor Utilization Plans (CUPs), and Letters of Intent to Subcontract (LOIs) to CREO prior to, or simultaneously with, the legislation entry request in Legistar.

No - CREO's review is not applicable (Press tab after selecting)  
Please provide reasoning why not:  
Not applicable as this resolution does not have a fiscal impact.

6. Does this legislation seek to approve a contract resulting from an Invitation for Bid?

No(Press tab after selecting)

Not applicable as this resolution does not have a fiscal impact.

7. Does this legislation seek to approve a contract resulting from a Request for Proposal/Qualification (RFP/Q)?  
No(Press tab after selecting)



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**File #: 250276**

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### ORDINANCE NO. 250276

Sponsor: Councilmember Nathan Willett

Rezoning an area of about 16.3 acres generally located on the south side of Old N.E. Barry Road and on both sides of N. Cleveland Avenue from Districts R-80 and R-7.5 to District R-1.5 and approving a development plan that also serves as a preliminary plat to allow for a residential development. (CD-CPC-2024-00186 and CD-CPC-2024-00187)

#### BE IT ORDAINED BY THE COUNCIL OF KANSAS CITY:

Section A. That Chapter 88, Code of Ordinances of the City of Kansas City, Missouri, commonly known as the Zoning and Development Code, is hereby amended by enacting a new section to be known as Section 88-20A-1463, rezoning an area of about 16.3 acres generally located on the south side of Old N.E. Barry Road and on both sides of N. Cleveland Avenue from District R-80 (Residential 80) and R-7.5 (Residential 7.5) to District R-1.5 (Residential 1.5), said section to read as follows:

Section 88-20A-1463. That an area legally described as:

#### TRACT 1

Lots 2, 3, and 4, Leejan Heights, a subdivision in Kansas City, Clay County, Missouri, according to the recorded plat thereof, except that part deeded to the State of Missouri.

and

All of Lot 1, Leejan Heights, a subdivision in Kansas City, Clay County, Missouri, according to the recorded plat thereof, except that part deeded to the State of Missouri.

#### TRACT 2

All that part of the East 1/2 of the Southeast 1/4 of Section 7, Township 51 North, Range 32 West, in Kansas City, Clay County, Missouri, more particularly described as follows: Commencing at the northeast corner of said 1/2-1/4 section; thence South 2° 51' 06" East, along the east line of said 1/2-1/4 section, 5.86 feet to a point on the south right-of-way line of Missouri State Route No. 152, as now

established, and the point of beginning of the tract of land to be herein described: Thence South 88° 24' 28" West, along said south right-of-way line, 514.91 feet to a point on the north line of said 1/2-1/4 section which is 514.81 feet west of the northeast corner thereof, measured along said north line; thence South 87° 45' 19" West, along said north line, 39.17 feet; thence South 1° 35' 32" East, 14.60 feet; thence South 88° 24' 28" West, 35.00 feet; thence North 1° 35' 32" West, 14.20 feet; thence South 87° 45' 19" West, along the north line of said 1/2-1/4 section, 691.05 feet; thence South 1° 35' 32" East, 1.33 feet; thence South 88° 24' 28" West, 4.99 feet to a point on the east line of Antioch Road (Missouri State Route J-1), as now established, 30.00 feet east of, and parallel with the west line of said 1/2-1/4 section; thence South 2° 29' 00" East, along said east line, 278.51 feet; thence North 87° 21' 00" East, 507.79 feet; thence South 2° 39' 00" East, 218.37 feet to a point on the northeasterly line of a tract of land conveyed to the State of Missouri for highway purposes by Document No. D-6867, recorded in Book 1171, at page 249; thence South 69° 17' 49" East, along said northeasterly line, 460.39 feet; thence South 70° 37' 58" East, along said northeasterly line, 385.54 feet to a point on the east line of said 1/2-1/4 section; thence North 2° 51' 05" West, along said east line, 810.24 feet to the point of beginning.

### TRACT 3

A part of the Northeast 1/4 of the Southeast 1/4 Section 7, Township 51, Range 32, in Kansas City, Clay County, Missouri, more particularly described as follows: Beginning at a point on the west line of the Northeast 1/4 of the Southeast 1/4 of Section 7, Township 51, Range 32, Clay County, Missouri, which is 280 feet south of the northwest corner of said quarter quarter section; thence east at right angles to the said west line of said quarter quarter section, a distance of 537.78 feet; thence south and parallel to the said west line of said quarter quarter section, a distance of 405 feet; thence west a distance of 537.78 feet to a point on the said west line of the said quarter quarter section which is 405 feet south of the point of beginning; thence north along the said west line of the said quarter quarter section, a distance of 405 feet to the point of beginning, except that part conveyed to the State of Missouri by Deed filed as Document No. 52096 in Book 273 at page 244 and General Warranty Deed filed as Document No. C98034 in Book 1152 at page 371 and General Warranty Deed filed as Document No. C98035 in Book 1152 at page 373, and except any other part thereof in public roads.

is hereby rezoned from Districts R-80 (Residential 80) and R-7.5 (Residential 7.5) to District R-1.5 (Residential 1.5), all as shown outlined on a map marked Section 88-20A-1463, which is attached hereto and made a part hereof, and which is hereby adopted as a part of an amendment to the zoning maps constituting a part of said chapter and in accordance with Section 88-20 thereof.

Section B. That a development plan that also serves as a preliminary plat for the area legally described above is hereby approved, subject to the following conditions:

1. The developer shall submit an affidavit, completed by an ISA certified arborist, an SAF certified forester, a professional engineer, or a landscape architect licensed in the State of Missouri, verifying that all trees preserved and all trees planted to meet mitigation required of the approved plan, whichever is applicable, has been installed or preserved in accordance with the plan and is healthy prior to a certificate of occupancy.
2. The developer shall screen all roof and/or ground mounted mechanical and utility equipment in compliance with 88-425-08.
3. That prior to issuance of the certificate of occupancy for each lot within the plat the developer shall submit an affidavit, completed by a landscape architect licensed in the State of Missouri, verifying that street trees have been installed in accordance with the approved street tree planting plan and are healthy.
4. The developer shall submit an affidavit, completed by a landscape architect licensed in the State of Missouri, verifying that all landscaping required of the approved plan has been installed in accordance with the plan and is healthy prior to a certificate of occupancy.
5. All signage shall conform to 88-445 and shall require a sign permit prior to installation.
6. The developer shall submit an affidavit, prepared by an engineer licensed in the State of Missouri, verifying that all outdoor lighting has been installed in accordance with approved plans and that lighting levels do not exceed that shown on the approved lighting plan at the property lines prior to a certificate of occupancy.
7. The front facade of any attached house may not include more than 40% garage wall area pursuant to 88-110-06-B-3(G).
8. Prior to the sale of any individual townhomes, the developer shall submit to the City and record a minor subdivision plat for the same.
9. Fire Department access roads shall be provided before construction/demolition projects begin. (IFC-2018 § 501.4 and 3310.1; NFPA 241-2013 § 7.5.5)
10. A required Fire Department access road shall be an all-weather surface. (IFC-2012: § 503.2.3) (No Grass Pavers Allowed)
11. Fire hydrants shall be installed and operable prior to the arrival of any combustible building materials onto the site. (IFC-2018 § 501.4 and 3312.1; NFPA 241-2013 § 8.7.2). Fire hydrant distribution shall follow IFC-2018 Table C102.1.

12. The developer shall meet the fire flow requirements as set forth in Appendix B of the International Fire Code 2018. (IFC-2018 § 507.1)
13. Required Fire Department access roads shall be designed to support a fire apparatus with a gross axle weight of 85,000 pounds. (IFC-2018: § 503.2.3)
14. The turning radius for Fire Department access roads shall be 30 feet inside and 50 feet outside radius. (IFC-2018: § 503.2.4)
15. Address must be determined, and location should be identified and described or shown on site plan prior to approval of building permit. Address should be placed in a position that is visible from the street or road fronting the property. Address identification characters shall contrast with their background and be Arabic or alphabetical letters. Each character should not be less than 4 inches in height with a stroke width of not less than 0.5 inches.
16. The developer shall submit a lighting plan with proper foot-candle readings at the overall exterior property line prior to obtaining a building permit.
17. The developer shall be responsible for dedication of parkland, private open space in lieu of parkland, or payment of cash-in-lieu of either form of dedication, or any combination thereof in accordance with 88-408. Should the developer choose to pay cash-in-lieu of dedicating all or a portion of the required area, the amount due shall be based upon the 2025 acquisition rate of \$20,065.67 per acre and a multiplier of 2 persons per townhome unit. This requirement shall be satisfied prior to recording of the final plat.
18. Trails used to satisfy the parkland dedication requirements shall be a minimum width of 7', be constructed of concrete, and meet Parks and Recreation construction standards.
19. The developer shall submit a project plan detailing recreational amenities proposed within each private open space tract serving to satisfy the parkland dedication requirements. Each area shall provide recreational amenities. The project plan shall be submitted prior to release of the final plat for recording.
20. The developer shall be responsible for tree preservation in an easement or platted tract, mitigation planting, or payment of cash-in-lieu of preservation or mitigation planting, or any combination thereof in accordance with Section 88-424. Should the developer choose to pay cash-in-lieu of preservation or mitigation of all or a portion of the required area, the amount due shall be based upon the rate specified in Section 88-424. This requirement shall be satisfied prior to issuance of a certificate of occupancy, or prior to the recording of the final plat, whichever occurs first.



21. The developer shall submit a streetscape plan with street tree planting plan Section 425-03 for approval and permitting by the Parks and Recreation Department's Forestry Division prior to beginning work in the public right-of-way.
22. The developer shall submit verification of vertical and horizontal sight distance for the drive connection to public right-of-way to the Land Development Division and make improvements to ensure local jurisdiction and/or minimum AASHTO adequate sight distance standards are met prior to issuance of any certificate of occupancy.
23. The developer shall submit a streetscape plan for approval and permitting by the Land Development Division prior to beginning construction of the streetscape improvements in the public right-of-way and construct ADA compliant ramps at all required locations where new private drives are being added or where existing sidewalks are modified or repaired.
24. The developer shall design and construct all interior public streets to City standards, as required by Chapter 88 and the Land Development Division, including curb, gutter, storm sewers, streetlights, and sidewalks.
25. The developer shall construct street improvements to the south side of Old N.E. Barry Road by widening Old N.E. Barry Road to create two (2) 12 foot wide paved lanes, sidewalks, curbs, gutters, storm sewer, and site lighting. The installation of the roadway improvements will include a horizontal curve alignment on the east side which reduces the width of the roadway from 40 feet, measured from back of curb to back of curb, to 26 feet, measured from the north edge of Old N.E. Barry Road to the south edge of the new curb line at such time as the property is platted or prior to issuance of a certificate of occupancy for the first townhome building, whichever first occurs.
26. The developer shall petition for the vacation of N.W. Cleveland Avenue as shown on the development plan and relocate sewers as required by the Departments/Divisions of Water Services, Land Development and Development Services prior to recording of the final plat.
27. The developer shall pay impact fees as required by Chapter 39 of the City's Code of Ordinances, as required by the Land Development Division.
28. The developer shall ensure that water and fire service lines should meet current Water Services Department rules and regulations prior to a certificate of occupancy.
29. The developer shall have a water flow test done to ensure there is adequate water pressure to serve the development.

30. No water service tap permits will be issued until the public water main is released for taps.
31. The developer shall hire a Missouri professional engineer to prepare public water main extension plans for review, approval, and contracting (permitting) prior to building permit issuance. The plans shall follow all Kansas City Water rules and regulations for water main extensions. Based on the current development plan layout water main relocations may be necessary for the existing water mains if the Kansas City Water Services Department requirements are not met including but not limited to 25' of separation to buildings, 42" min. ground cover, or 10' of separation to parallel storm and sewer lines.
32. The developer shall obtain a floodplain development permit from Development Services prior to beginning any construction activities within the floodplain.
33. The developer shall grant on City approved forms a stream buffer easement to the City, as required by Chapter 88 and the Kansas City Water Services Department, prior to issuance of any stream buffer permits.
34. The developer shall submit a final stream buffer plan to the Kansas City Water Services Department for approval prior to issuance of any building permits and obtain permits for the stream buffer prior to removal of any mature riparian species within the buffer zones due to construction activities on the site, in accordance with the Section 88-415 requirements.
35. The Kansas City Water Services Department public utilities shall be located within exclusive easements.
36. The developer shall grant a BMP easement to the City as required by the Kansas City Water Services Department prior to recording the plat or issuance of any building permits.
37. The developer shall secure permits to extend public sanitary and storm water conveyance systems to serve all proposed lots within the development and determine adequacy of receiving systems as required by the Kansas City Water Services Department prior to recording the plat or issuance of a building permit, whichever occurs first.
38. The developer shall submit an analysis to verify adequate capacity of the existing sewer system as required by the Kansas City Water Services Department prior to issuance of a building permit to connect the private system to the public sewer main and depending on adequacy of the receiving system, make other improvements as may be required.
39. The developer shall submit plans for grading, siltation, and erosion control to the Kansas City Water Services Department for review and acceptance and secure a

site disturbance permit for any proposed disturbance area equal to one acre or more prior to beginning any construction activities.

40. The developer shall obtain the executed and recorded City approved grading, temporary construction, drainage/sewer, or any other necessary easements from the abutting property owner(s) that may be required prior to submitting any public improvements crossing properties not controlled by the developer and include said document(s) within the public improvement applications submitted for permitting.
41. The developer shall submit a macro storm drainage study with the first plat or phase, from a Missouri-licensed civil engineer to the Kansas City Water Services Department showing compliance with current adopted standards in effect at the time of submission, including water quality BMP's, to the Kansas City Water Services Department for review and acceptance for the disturbed area, and submit a micro storm drainage study with each subsequent plat or phase showing compliance with the approved macro and adopted standards. The developer shall secure permits to construct any improvements as necessary to mitigate impacts from rate, volume, and quality of runoff from each proposed phase, prior to recording the plat or prior to issuance of a building permit, whichever occurs first, as required by the Kansas City Water Services Department.
42. The developer shall cause the area to be platted and processed in accordance with Chapter 88, Code of Ordinances of the City of Kansas City, Missouri.
43. The developer shall show the limits of the 100-year floodplain on the final plat and show the Minimum Low Opening Elevation (MLOE) of any structure on each lot that abuts a 100-year floodplain area (including detention basins and engineered surface drainage conveyances) on any plat and plan, as required by the Kansas City Water Services Department.
44. The developer shall submit covenants, conditions and restrictions to the Kansas City Water Services Department for approval by the Law Department and enter into covenant agreements for the maintenance of any private open space tracts with stream buffer zones or storm water detention area tracts, prior to recording the plat.

A copy of said development plan is on file in the office of the City Clerk with this ordinance and is made a part hereof.

Section C. That the Council finds and declares that before taking any action on the proposed amendment and development plan hereinabove, all public notices and hearings required by the Zoning and Development Code have been given and had.

..end

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I hereby certify that as required by Chapter 88, Code of Ordinances, the foregoing ordinance was duly advertised and public hearings were held.

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Sara Copeland, FAICP  
Secretary, City Plan Commission

Approved as to form:

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Sarah Baxter  
Senior Associate City Attorney



# City of Kansas City, Missouri

## Docket Memo

Ordinance/Resolution #: 250276

Submitted Department/Preparer: City Planning

Revised 6/10/24

Docket memos are required on all ordinances initiated by a Department Director. More information can be found in [Administrative Regulation \(AR\) 4-1](#).

### Executive Summary

Rezoning an area of about 16.3 acres generally located on the south side of Old N.E. Barry Road and on both sides of N. Cleveland Avenue from Districts R-80 and R-7.5 to District R-1.5 and approving a development plan that also serves as a preliminary plat to allow for a residential development. (CD-CPC-2024-00186 & CD-CPC-2024-00185)

### Discussion

Monarch Townhomes will be comprised of 29 four-plexes for a total of 116 dwelling units that will sit on just over 16 acres of undeveloped land north of Missouri Route 152 and south of NE Barry Road, commonly known as "old Barry." The undeveloped site is comprised of three parcels and forms the general shape of a scalene triangle due to the alignment of 152, constructed in the 1980s. The subject properties are currently zoned R-80 and R-7.5. Both of these zoning districts do not permit multi-unit residential structures. The applicant is proposing to rezone the subject properties to R-1.5 to allow for the residential development and proposed density of 7.11 units per acre. The proposed rezoning and density has required that the developer submit an application to amend the Gashland/Nashua Area Plan from Residential Low Density to Residential High Density. The applicant will be required to vacate N. Cleveland Avenue prior to the issuance of any building permits. The applicant has stated they have an interest in vacating NE Barry Road west of N. Cleveland Avenue.

Staff recommends approval for the proposed rezoning and development plan. On January 15<sup>th</sup>, 2025 the City Plan Commission (CPC) voted 5-0 to approve the area plan amendment.

No public input was sent to staff and nobody testified in opposition to the application at the City Plan Commission hearing.

## Fiscal Impact

1. Is this legislation included in the adopted budget? ☐ Yes ☒ No
2. What is the funding source?  
Not applicable, as this is a zoning ordinance.
3. How does the legislation affect the current fiscal year?  
Not applicable, as this is a zoning ordinance.
4. Does the legislation have a fiscal impact in future fiscal years? Please notate the difference between one-time and recurring costs.  
Not applicable, as this is a zoning ordinance.
5. Does the legislation generate revenue, leverage outside funding, or deliver a return on investment?  
Potentially.

### Office of Management and Budget Review

(OMB Staff will complete this section.)

1. This legislation is supported by the general fund. ☐ Yes ☒ No
2. This fund has a structural imbalance. ☐ Yes ☒ No
3. Account string has been verified/confirmed. ☐ Yes ☒ No

### Additional Discussion (if needed)

No account string to verify as this ordinance has no direct fiscal impact.

## Citywide Business Plan (CWBP) Impact

1. View the [Adopted 2025-2029 Citywide Business Plan](#)
2. Which CWBP goal is most impacted by this legislation?  
Housing and Healthy Communities (Press tab after selecting.)
3. Which objectives are impacted by this legislation (select all that apply):
  - ☒ Utilize planning approaches in neighborhoods to reduce blight, ensure sustainable housing, and improve resident wellbeing and cultural diversity.

- ☐ Maintain and increase affordable housing supply to meet the demands of a diverse population.
- ☐ Address the various needs of the City's most vulnerable population by working to reduce disparities.
- ☐ Foster an inclusive environment and regional approach to spur innovative solutions to housing challenges.
- ☐ Ensure all residents have safe, accessible, quality housing by reducing barriers.
- ☐ Protect and promote healthy, active amenities such as parks and trails, play spaces, and green spaces.

### **Prior Legislation**

No prior legislation is associated with the subject property.

### **Service Level Impacts**

No service level impacts were identified.

### **Other Impacts**

1. What will be the potential health impacts to any affected groups?  
No potential health impacts were identified.
2. How have those groups been engaged and involved in the development of this ordinance?  
The applicant held the required public engagement on January 7<sup>th</sup>, 2025.
3. How does this legislation contribute to a sustainable Kansas City?  
No information related to the sustainability of this project was submitted to the City.
4. Does this legislation create or preserve new housing units?  
Yes (Press tab after selecting)

Total Number of Units 116

Number of Affordable Units unknown

5. Department staff certifies the submission of any application Affirmative Action Plans or Certificates of Compliance, Contractor Utilization Plans (CUPs), and Letters of Intent to Subcontract (LOIs) to CREO prior to, or simultaneously with, the legislation entry request in Legistar.

No - CREO's review is not applicable (Press tab after selecting)

Please provide reasoning why not:

Click or tap here to enter text.

6. Does this legislation seek to approve a contract resulting from an Invitation for Bid?

No(Press tab after selecting)

Click or tap here to enter text.

7. Does this legislation seek to approve a contract resulting from a Request for Proposal/Qualification (RFP/Q)?

No(Press tab after selecting)





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**File #: 250279**

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### RESOLUTION NO. 250279

Sponsor: Councilmember Nathan Willett

**RESOLUTION** - Directing the City Manager to research and report back to the City Council on the feasibility of installing Safe Haven Baby Boxes in fire stations throughout Kansas City, Missouri.

WHEREAS, the City Council desires to prevent infant abandonment by providing a safe and anonymous method for parents to surrender newborns; NOW, THEREFORE,

BE IT RESOLVED BY THE COUNCIL OF KANSAS CITY:

That the City Manager is directed to research and report back to the City Council within 30 days on feasibility of installing Safe Haven Baby Boxes in Kansas City Fire Department stations throughout Kansas City, Missouri. The report shall include, but not be limited to, the following:

- a) Identification of potential fire stations throughout the City that would support a Safe Haven Baby Box;
- b) A recommendation as to the appropriate number of Safe Haven Baby Boxes and specific locations;
- c) A cost estimate of installation and operation of the Safe Haven Baby Boxes; and
- d) Identification of potential funding sources.

..end

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**No Docket  
Memo Provided  
for Ordinance  
No. 250279**



**File #: 250285**

### ORDINANCE NO. 250285

Sponsor: Councilmember Crispin Rea

Amending Chapter 88, the Zoning and Development Code, by repealing Section 88-110-04, “Residential Building Types,” and Section 88-110-06, “Lot and Building Standards,” and enacting in lieu thereof new sections of like number and subject matter for the purpose of expanding the housing types allowed on corner lots within R-6 zoning districts. (CD-CPC-2025-00011)

#### BE IT ORDAINED BY THE COUNCIL OF KANSAS CITY:

Section 1. That Chapter 88, Zoning and Development Code, is hereby amended by repealing Section 88-110-04, “Residential Building Types,” and enacting in lieu thereof a new section of like number and title, with said new section to read as follows:

#### **88-110-04 RESIDENTIAL BUILDING TYPES**

##### **88-110-04-A. RESIDENTIAL BUILDING TYPES ALLOWED**

The residential uses allowed in R districts must be located in residential buildings. The following residential building types are allowed in R districts. Many residential building types are subject to supplemental standards, as referenced in 88-110-06-C.

Building Type	R-80	R-10	R-7.5	R-6	R-5	R-2.5	R-1.5	R-0.75	R-0.5	R-0.3
Detached house	P	P	P	P	P	P	P	P	P	P
Zero lot line house	P	P	P	P	P	P	P	P	P	P
Cottage house	-	-	P	P	P	P	P	P	P	P
Attached house										
Semi-attached										
on corner lots	-	P[1]	P[1]	P	P	P	P	P	P	P
in other situations	-	-	-	-	P	P	P	P	P	P
Townhouse	-	-	-	-	P	P	P	P	P	P
Two-unit house										
on corner lots	-	P[1]	P[1]	P	P	P	P	P	P	P
in other situations	-	-	-	-	P	P	P	P	P	P
Multi-unit house	-	-	-	-	-	S	P	P	P	P
Colonnade	-	-	-	-	-	-	P	P	P	P

Multiplex	-	-	-	-	-	-	P	P	P	P
Multi-unit building	-	-	-	-	-	-	P	P	P	P


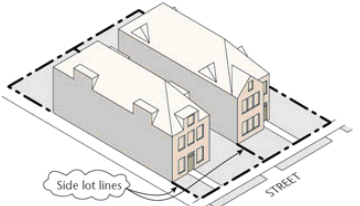

P = permitted building type      - = prohibited building type





S = special use permit required




[1] Permitted only in approved open space development or conservation development; subject to 88-110-06-C.4

## 88-110-04-B. RESIDENTIAL BUILDING TYPES DEFINED AND REGULATED

Definitions and regulations for residential building types are as follows:

Detached House	A detached house is a principal building containing one dwelling unit located on a single lot with private yards on all sides. Detached houses are subject to the lot and building standards of 88-110-06-B (Table 110-2). No more than one detached house may be located on a single lot.	
Zero Lot Line House	A zero lot line house is a principal building containing one dwelling unit located on a single lot. The building is shifted to one side of the lot so that there is a more usable side yard on one side of the house and very little or no private yard on the other side. Zero lot line houses are subject to the lot and building standards of 88-110-06-B (Table 110-2) except as modified or supplemented by the zero lot line standards of 88-110-06-C. No more than one zero lot line house may be located on a single lot.	
Cottage House	A small detached house that is grouped with other cottages around a shared open space. Cottage houses are subject to the lot and building standards of 88-110-06 (table 110-2) except as modified or supplemented by the cottage house development standards of 88-110-06-C. Multiple cottage houses may be located on a single lot, subject to the limitation of 88-110-06-C.	
Attached House	A building containing multiple dwelling units, each located on its own lot with a common or abutting wall along shared lot lines. Each	

	dwelling unit has its own external entrance. There are two types of attached houses: semi attached houses and townhouses. Attached houses are subject to the lot and building standards of 88-110-06-B (Table 110-2) except as modified or supplemented by the attached house standards of 88-110-06-C. No more than one attached house may be located on a single lot.	
	A semi-attached house is an attached house building containing 2 dwelling units, divided by a vertical plane.	
	A townhouse is an attached house building containing 3 or more dwelling units, divided by a vertical plane.	
Two-unit House	A two-unit house is a building containing 2 dwelling units, both of which are located on a single lot or parcel (also referred to as a "duplex" or "two-flat"). The dwelling units are attached and may be located on separate floors or side-by-side. Two-unit houses are subject to the lot and building standards of 88-110-06-B (Table 110-2) except as modified or supplemented by the two-unit house standards of 88-110-06-C. No more than one two-unit house may be located on a single lot.	
Multi-unit House	A multi-unit house is a building containing 3 to 8 dwelling units located on a single lot. Multi-unit houses appear as large detached houses and have only one entrance visible from the street. Multi-unit houses are subject to the lot and building standards of 88-110-06-B (Table 110-2) except as modified or supplemented by the multi-unit house standards of 88-110-06-C. More than one multi-unit house may be located on a single lot, subject to compliance with all applicable lot and building standards.	

Colonnade	A colonnade is typically a two- to four-story masonry building with two prominent multi-story colonnade porches, open or enclosed, located on the primary facade. The number of porch levels matches the number of stories of the building. A colonnade contains two units per floor, opening onto a central hall. More than one colonnade may be located on a single lot, subject to compliance with all applicable lot and building standards.	
Multiplex	A multiplex is a building containing 3 to 8 dwelling units, each of which has its own external entrance. Multiplexes are subject to the lot and building standards of 88-110-06-B (Table 110-2). More than one multiplex may be located on a single lot, subject to compliance with all applicable lot and building standards and subject to site plan review	
Multi-unit building	A multi-unit building is a building containing 3 or more dwelling units (other than a multiplex or multi-unit house) that share common walls and/or common floors/ceilings. Multi-unit buildings are typically served by one or more common building entrances. Multi-unit buildings are subject to the lot and building standards of 88-110-06-B (Table 110-2) except as modified or supplemented by the Multi-unit building standards of 88-110-06-C. More than one multi-unit building may be located on a single lot, subject to compliance with all applicable lot and building standards.	

Section 2. That Chapter 88, Zoning and Development Code, is hereby amended by repealing Section 88-110-06, “Lot and Building Standards,” and enacting in lieu thereof a new section of like number and title, with said new section to read as follows:

## **88-110-06 LOT AND BUILDING STANDARDS**

### **88-110-06-A. GENERAL**

This section establishes basic lot and building standards for development in R districts, except for development on infill residential lots, which are governed by the lot and building standards set forth in Section 88-110-07. The standards vary based on zoning classification, building type and development type. These standards are not to be interpreted as a guarantee that allowed densities and development yields can be achieved on every lot. Other factors, such as off-street parking requirements, central water and

wastewater service availability, and others may limit development more than these standards.

### 88-110-06-B. BASIC STANDARDS

All residential and nonresidential development in R districts, except for development on infill residential lots, must comply with the lot and building standards of Table 110-2, unless otherwise expressly provided by the building type-specific standards of 88-110-06-C. Nonresidential development in R districts must comply with the "conventional" development standards of Table 110-2. General exceptions to lot and building standards and rules for measuring compliance can be found in 88-820.

**Table 110-2**  
**Lot and Building Standards**

	R-80	R-10	R-7.5	R-6	R-5	R-2.5	R-1.5	R-0.75	R-0.5	R-0.3
<b>CONVENTIONAL DEVELOPMENT</b>										
<b>Lot Size</b>										
» Min. lot area (sq. ft.)	80,000	10,000	7,500	6,000	5,000	4,000	3,000	3,000	3,000	2,500
» Min. lot area per unit (sq. ft.)	80,000	10,000	7,500	6,000	5,000	2,500	1,500	750	500 <sup>2</sup>	300
» Min. lot width (ft.)	150	85	50	50	45	40	30	30	30	25
<b>Front Setback<sup>1</sup></b>										
» Minimum (% of lot depth)	25	25	25	25	25	25	15	15	15	15
» Min. garage (% of lot depth)	25	25	25	25	25	25	20	20	20	20
» Maximum required (ft.)	40	30	30	30	25	25	20	20	20	20
<b>Rear Setback<sup>1</sup></b>										
» Minimum (% of lot depth)	25	25	25	25	25	25	25	25	25	25
» Maximum required (ft.)	50	30	30	30	30	25	25	25	25	25
<b>Side Setback<sup>1</sup></b>										
» Min. each side (% lot width)	10	10	10	10	10	10	10	10	10	10
» Maximum required (ft.)	8	8	8	8	8	8	8	8	8	8
» Min. abutting street (ft.)	15	15	15	15	15	15	15	15	15	15
<b>Height (ft.)</b>										

» Maximum	35	35	35	35	35	40	45	60	164	235
<b>OPEN SPACE DEVELOPMENT</b>										
<b>Overall Site</b>										
» Min. open space (% of site)	30	30	30	30	30	30	30	30	30	30
» Min. lot area per unit (sq. ft.)	72,000	9,000	6,750	5,400	4,500	2,000	1,350	900	450	270
<b>Lot Size</b>										
» Min. lot area (sq. ft.)	12,000	7,500	6,000	5,000	3,750	3,000	2,500	2,500	2,500	2,500
» Min. lot width (ft.)	100	75	50	45	35	25	25	25	25	25
<b>Front Setback<sup>1</sup></b>										
» Minimum (% of lot depth)	20	15	15	15	15	15	15	15	15	15
» Min. garage (% of lot depth)	25	25	25	25	25	20	20	20	20	20
» Maximum required (ft.)	25	25	25	25	25	20	20	20	20	20
<b>Rear Setback<sup>1</sup></b>										
» Minimum (% of lot depth)	25	25	25	25	25	25	25	25	25	25
» Maximum required (ft.)	50	30	30	30	30	25	25	25	25	25
<b>Side Setback<sup>1</sup></b>										
» Min. each side (% lot width)	10	10	10	10	10	10	10	10	10	10
» Maximum required (ft.)	8	8	8	8	8	8	8	8	8	8
» Min. abutting street (ft.)	15	15	15	15	15	15	15	15	15	15
<b>Height (ft.)</b>										
» Maximum	35	35	35	35	35	50	60	60	120	200
<b>CONSERVATION DEVELOPMENT</b>										
<b>Overall Site</b>										
» Min. open space (% of site)	60	60	60	60	60	60	60	60	60	60
» Min. lot area per unit (sq. ft.)	64,000	8,000	6,000	4,800	4,000	2,000	1,200	800	400	240
<b>Lot Size</b>										
» Min. lot area	9,600	3,200	2,500	2,500	2,500	2,500	2,500	2,500	2,500	2,500



(sq. ft.)										
» Min. lot width (ft.)	85	50	45	35	30	25	25	25	25	25
<b>Front Setback<sup>1</sup></b>										
» Minimum (% of lot depth)	20	15	15	15	15	15	15	15	15	15
» Min. garage (% of lot depth)	25	25	25	25	25	20	20	20	20	20
» Maximum required (ft.)	25	25	25	25	25	20	20	20	20	20
<b>Rear Setback<sup>1</sup></b>										
» Minimum (% of lot depth)	25	25	25	25	25	25	25	25	25	25
» Maximum required (ft.)	50	30	30	30	30	25	25	25	25	25
<b>Side Setback<sup>1</sup></b>										
» Min. each side (% lot width)	10	10	10	10	10	10	10	10	10	10
» Maximum required (ft.)	8	8	8	8	8	8	8	8	8	8
» Min. abutting street (ft.)	15	15	15	15	15	15	15	15	15	15
<b>Height (ft.)</b>										
» Maximum	35	35	35	35	35	50	60	60	120	200
<sup>1</sup> Required building setback shall be per this table or the platted building line, whichever is greater.										
<sup>2</sup> Any residential unit having less than 350 sq. ft. per unit as of January 1, 2011, shall be considered conforming.										

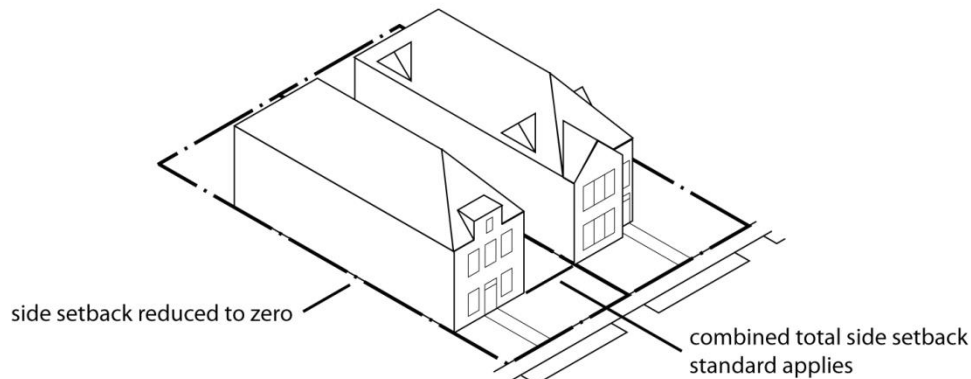
### 88-110-06-C. BUILDING-TYPE SPECIFIC STANDARDS

#### 1. ZERO LOT LINE HOUSES

Zero lot line houses are subject to the standards of 88-110-06-B (*Table 110-2*), except as expressly modified by the following zero lot line house standards:

- (a) Zero lot line building arrangements require that the planning for all house locations be done at the same time. Because the exact location of each house is predetermined, greater flexibility in site planning is possible, while ensuring that neighborhood character is maintained.
- (b) The side setback on one side of the lot may be reduced to as little as zero. The zero-setback side may not abut a street or a lot that is not part of the zero lot line development. The minimum combined side setback requirements of 88-110-06-B apply on the "non-zero"

side, which means that a lot with a zero side setback on one side must provide a setback equal to at least 20% of the lot width on the opposite side of the lot.



- (c) Eaves on the side of a house with a reduced setback may project over the abutting lot line only if a perpetual eave overhang easement at least 5 feet in width is provided on the lot abutting the zero lot line property line, which, with the exception of walls and/or fences, must be kept clear of structures. The easement must be shown on the plat and incorporated into each deed transferring title on the property.
- (d) When the zero lot line house's exterior wall or eaves are set back less than 2 feet from the abutting side lot line, a perpetual maintenance easement at least 5 feet in width must be provided on the lot abutting the zero lot line property line, which, with the exception of walls and/or fences, must be kept clear of structures. The easement must be shown on the plat and incorporated into each deed transferring title on the property. This provision is intended to ensure the ability to conduct maintenance and upkeep activities on the zero lot line house.
- (e) Windows or other openings that allow for visibility into the side yard of the lot abutting the zero-setback side lot are not allowed on zero lot line houses. Windows that do not allow visibility into the side yard of the abutting lot, such as clerestory windows or translucent windows, are allowed, subject to compliance with the building code.

## 2. **COTTAGE HOUSE**

Cottage house developments are subject to the standards of 88-110-06-B (*Table 110-2*), except as expressly modified by the following cottage house development standards:

### (a) **DEVELOPMENT SIZE**

Cottage house developments must contain at least 4 and no more than 12 cottage houses. A development site may contain more than one cottage house development.

(b) **LOT SIZE**

- (1) In the R-7.5, R-6 and R-5 districts the minimum required lot area per cottage unit is 50% of the minimum lot area per unit standard of 88-110-06-B (*Table 110-2*).
- (2) In the R-2.5 district the minimum required lot area per cottage unit is 75% of the minimum lot area per unit standard of 88-110-06-B (*Table 110-2*).
- (3) In the R-1.5, R-0.5 and R-0.3 districts the minimum lot area per unit standard of 88-110-06-B (*Table 110-2*) applies.

(c) **FLOOR AREA**

- (1) The total floor area of each cottage may not exceed either 1.5 times the area of the main floor or 1,250 square feet, whichever is less. Attached garages are counted in the calculation of total floor area.
- (2) The maximum main floor area for cottages is 850 square feet. For the purposes of this calculation, the area of interior stairways may be allocated between floors served.

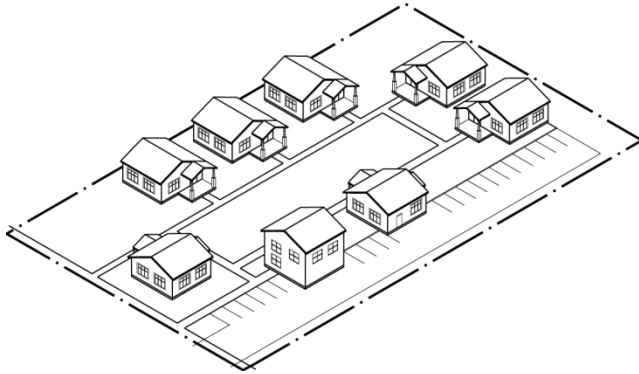
(d) **SETBACKS AND BUILDING SEPARATION**

All structures within cottage house developments must be set back at least 15 feet from property lines abutting streets and 10 feet from other property lines along the outer perimeter of the cottage house development site. When vehicular access to a cottage housing development is from an alley, a 4-foot minimum rear setback is allowed. All buildings within the cottage house development must be separated by a minimum distance of 10 feet.

(e) **BUILDING HEIGHT**

Cottage houses may not exceed 18 feet in height, except that pitched roofs with a minimum pitch of 6:12 may extend up to 25 feet in height. All parts of a roof above 18 feet in height must be pitched.

(f) **OPEN SPACE**



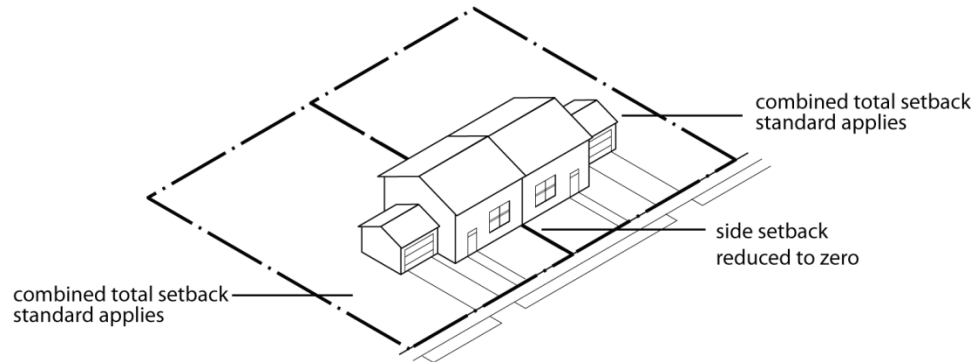
Each cottage unit must have 150 square feet of private, contiguous, usable open space adjacent to each dwelling unit, for the exclusive use of the cottage resident. Such private open space must be oriented toward the common open space as much as possible, with no dimension less than 10 feet.

All cottages must have a roofed porch at least 80 square feet in area with a minimum dimension of 8 feet on any side.

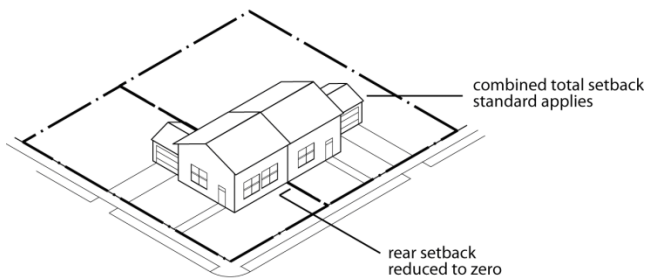
3. **ATTACHED HOUSE**

Attached houses are subject to the standards of 88-110-06-B (*Table 1102*), except as expressly modified or supplemented by the following attached house standards.

- (a) The minimum lot width for an attached house is 18 feet.
- (b) The minimum lot area per unit requirements of 88-110-06-B (*Table 110-2*) apply to attached house projects on a project-wide basis, meaning that the total area of the attached house site, including common areas comprising up to 20% of the overall site, may be counted as lot area. Common areas may include commonly owned open space, access drives and parking areas. Such common areas may also be included in setback calculations.
- (c) No side setback is required for common or abutting walls. The minimum total (combined) side setback standard of 88-110-06-B (*Table 110-2*) applies along the sides of the building that do not have common or abutting walls.



- (d) Common or abutting walls must be shared for at least 50% of their length.
- (e) On corner lots, either the rear setback or side setback may be reduced to zero. However, the remaining side or rear setback must comply with the standards of 88-110-06-B (*Table 110-2*).



- (f) The minimum total (combined) side setback standard of Section 88-110-06-B (*Table 110-2*) applies along the sides of the building that do not have common or abutting walls.
- (g) The front facade of any attached house may not include more than 40% garage wall area.
- (h) Townhouse buildings may not contain more than 9 attached dwelling units.

#### 4. TWO-UNIT HOUSES AND SEMI-ATTACHED HOUSES ON CORNER LOTS

Under the conventional development option, two-unit houses and semi-attached houses are subject to the standards of Section 88-110-06-B (*Table 110-2*). In approved open space or conservation developments two-unit houses and semi-attached houses are allowed on corner lots in all R districts except R-80. In R-10, R-7.5 and R-6 districts they are subject to the following additional standards.

- (a) Two-unit houses and semi-attached houses are allowed on corner lots in situations in which such building types would not otherwise be allowed because they can be designed so each unit is oriented towards a different street. This gives the two-unit house and the

semi-attached house the overall appearance of a detached house when viewed from either street.

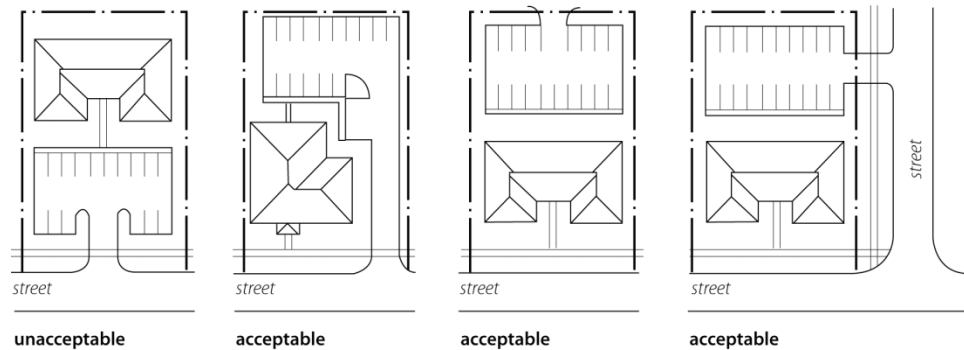
- (b) The corner lot must comply with the minimum lot area standard of the subject zoning district. No lot with less than 3,000 square feet of lot area may be used for the corner lot option.
- (c) Each dwelling unit within the two-unit house or semi-attached house must have its address, main entrance, and garage oriented towards a separate street frontage. Conversion of an existing detached house may provide one main entrance with internal access to both units.

5. **MULTI-UNIT HOUSE** (includes Multiplex)

Multi-unit houses are subject to the standards of Section 88-110-06-B (*Table 110-2*) except as expressly modified or supplemented by the following standards.

- (a) The street-facing façade of a multi-unit house may have only one visible entrance to the building. If the building is located on a corner lot, one building entrance may be visible from each street.
- (b) Visible building entrances must be clearly emphasized by any one of the following means:
  - (1) covered porch or canopy;
  - (2) transom and sidelight windows;
  - (3) pilasters and pediment; or
  - (4) other significant architectural treatment that emphasizes the entrance. (Simple trim around the doorway does not meet this standard.)
- (c) Patio-style doors, such as sliding glass doors, may not be used for main entrance doors.
- (d) A pedestrian circulation system must be provided that connects residential entrances to adjacent public rights-of-way and to parking areas and other on-site facilities.
- (e) Surface parking and parking within accessory structures must be located behind the front building line and otherwise concealed from view of abutting streets. Parking areas may not be located directly between the principal building and the street or within any

required side setback area. Surface parking and the edge of the driveway from the right-of-way to any parking area or structure must be landscaped in accordance with 88-425-05 and 88-425-06.



(f) The front facade of new multi-unit houses may not exceed 40 feet in width. Buildings may exceed this limitation if the street-facing plane of the building is broken into horizontal modules that comply with the following standards:

- (1) Each module must be no greater than 30 feet and no less than 10 feet in width and must be distinguished from adjacent modules by a change in the wall plane of at least 16 inches in depth. For buildings that are 3 or more stories in height, the width of the module may be increased to 40 feet.
- (2) Each module must have a corresponding change in the roofline.
- (3) Each module must be distinguished from the adjacent module by at least one of the following means:
  - a. changes in material colors, types or textures;
  - b. changes in the building and/or parapet height;
  - c. changes in the architectural details such as decorative banding, reveals, stone, or tile accents;
  - d. change in window pattern; and
  - e. the use of balconies and recesses.
- (f) Architecture of the multi-unit house shall be designed in context with and reflect the predominant characteristics of other residential buildings within 500 feet of the exterior property

lines of the multiunit house, in regard to scale, roof pitch, material, ingress/egress, and fenestration.

6. **COLONNADE BUILDING**

A colonnade building is subject to the standards of 88-110-06-B (*Table 110-2*) except as expressly modified or supplemented by the following standards.

- a. The street-facing facade of a colonnade building may have only one visible entrance to the building. If the building is located on a corner lot, one building entrance may be visible from each street.
- b. Visible building entrances must be clearly emphasized by any one of the following means:
  1. covered porch or canopy;
  2. transom and sidelight windows;
  3. pilasters and pediment; or
  4. other significant architectural treatment that emphasizes the entrance. (Simple trim around the doorway does not meet this standard.)
- c. Patio-style doors, such as sliding glass doors, may not be used for main entrance doors.
- d. A colonnade building must have porches available to each unit of the building. The porch must be a minimum of 5 feet in depth. On the main street-facing facade, porches must be located on each side of the main entrance, extending the full height of the building. If the building is on a corner lot, additional porches may be located on the side facade. Basement units are not required to have a porch.
- e. Cladding must be of brick, stone, or acceptable materials. Stucco may also be used on the upper stories of secondary facades.
- f. The main roof of a colonnade building must be flat, with a parapet that may include a hipped roof element.
- g. A pedestrian circulation system must be provided that connects residential entrances to adjacent public rights-of-way and to parking areas and other on-site facilities.



- h. Surface parking and parking within accessory structures must be located at the rear of the building and otherwise concealed from view of abutting streets. Parking areas may not be located directly between the principal building and the street or within any required side setback area. Surface parking area, and the edge of the driveway from the right-of-way to any parking area or structure, must be landscaped in accordance with 88-425-05 and 88-425-06.
- i. The front facade of a new colonnade building may not exceed 40 feet in width. Buildings may exceed this limitation if the street-facing plane of the building is broken into horizontal modules that comply with the following standards:
  - 1. Each module must be no greater than 30 feet and no less than 10 feet in width and must be distinguished from adjacent modules by a change in the wall plane of at least 16 inches in depth. For buildings that are 3 or more stories in height, the width of the module may be increased to 40 feet.
  - 2. Each module must have a corresponding change in the roofline.
  - 3. Each module must be distinguished from the adjacent module by at least one of the following means:
    - i. changes in material colors, types or textures;
    - ii. changes in the building and/or parapet height;
    - iii. changes in the architectural details such as decorative banding, reveals, stone, or tile accents; and
    - iv. change in window pattern.
- j. Architecture of the colonnade building shall be designed in context with and reflect the predominant characteristics of other residential buildings within 500 feet of the exterior property lines of the building, in regard to scale, roof pitch, material, ingress/egress, and fenestration.
- k. Colonnade buildings shall be designed in accordance with one of the following types:

1. Classical Colossal Column Porch distinctive for Neoclassical styling featuring smooth or fluted Colossal columns of the Classical Order that rise the full height of the dark brick facade;



2. Combined Column Porch featuring columns that extend more than one story in height and support a smaller column of different material and design or the reverse — columns that extend one story and support columns that extend upward for several stories;



3. Square Brick Column Porch, a simpler version comprised of square brick columns;



4. Transitional Enclosed Colonnade, this version retains the design of the original porch projections, but are enclosed and integrated with the interior living space.



5. Courtyard Colonnaded Apartments: Colonnaded courtyard apartment are sets of three to seven buildings arranged in a U-shaped pattern around a courtyard with the courtyard opened to the street. The main facades of the buildings fact onto the courtyard.

## 7. **MULTI-UNIT BUILDING**

Multi-unit buildings (i.e., buildings containing 3 or more dwelling units, other than multi-unit houses) are subject to the standards of 88-110-06-B (*Table 110-2*) except as modified or supplemented by the following standards.

- (a) Visible building entrances to dwelling units on the ground floor must be clearly emphasized by any one of the following means:
  - (1) covered porch or canopy;
  - (2) transom and sidelight windows;
  - (3) pilasters and pediment; or
  - (4) other significant architectural treatment that emphasizes the entrance. (Simple trim around the doorway does not meet this standard.)
- (b) Patio-style doors, such as sliding glass doors, may not be used for main entrance doors.
- (c) A pedestrian circulation system must be provided that connects residential entrances to adjacent public rights-of-way and to parking areas and other on-site facilities.
- (d) Surface parking and parking within accessory structures must be located behind front building line or otherwise screened from view of abutting

streets. Parking areas may not be located directly between the principal building and the street or within any required side setback area. Surface parking and the edge of the driveway from the right-of-way to any parking area or structure must be landscaped in accordance with 88-425-05 and 88-425-06.

- (e) Street-facing walls that are greater than 50 feet in length must be articulated with bays, projections, recesses or other design elements that effectively break-up the mass of the building.

**88-110-06-D.** A lot shall be occupied by only one principal building and any customarily accessory uses, unless otherwise approved.

Section 3. That the Council finds and declares that before taking any action on the proposed amendment hereinabove, all public notices and hearings required by law have been given and had.

..end

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I hereby certify that as required by Chapter 88, Code of Ordinances, the forgoing ordinance was duly advertised and public hearings were held.

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Sara Copeland, FAICP  
Secretary, City Plan Commission

Approved as to form:

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Sarah Baxter  
Senior Associate City Attorney



# City of Kansas City, Missouri

## Docket Memo

Ordinance/Resolution #: 250285

Submitted Department/Preparer: City Planning

Revised 6/10/24

Docket memos are required on all ordinances initiated by a Department Director. More information can be found in [Administrative Regulation \(AR\) 4-1](#).

### Executive Summary

Amending Chapter 88, the Zoning and Development Code, by repealing Section 88-110-04, "Residential Building Types," and Section 88-110-06, "Lot and Building Standards," and enacting in lieu thereof new sections of like number and subject matter for the purpose of expanding the housing types allowed on corner lots within R-6 zoning districts. (CD-CPC-2025-00011)

### Discussion

This ordinance would amend Chapter 88, the Zoning and Development Code, to expand the variety of housing types allowed on corner lots within R-6 zoning districts.

### Fiscal Impact

1. Is this legislation included in the adopted budget? ☐ Yes ☒ No
2. What is the funding source?  
There is no direct fiscal impact as a result of this ordinance.
3. How does the legislation affect the current fiscal year?  
There is no direct fiscal impact as a result of this ordinance.
4. Does the legislation have a fiscal impact in future fiscal years? Please notate the difference between one-time and recurring costs.  
There is no direct fiscal impact as a result of this ordinance.
5. Does the legislation generate revenue, leverage outside funding, or deliver a return on investment?  
There is no direct fiscal impact as a result of this ordinance.

### Office of Management and Budget Review

(OMB Staff will complete this section.)

- |   |                              |  |
|---|------------------------------|--|
| 1. This legislation is supported by the general fund. | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |
| 2. This fund has a structural imbalance.              | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |
| 3. Account string has been verified/confirmed.        | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |

**Additional Discussion (if needed)**

There is no direct fiscal impact as a result of this ordinance.

### Citywide Business Plan (CWBP) Impact

1. View the [Adopted 2025-2029 Citywide Business Plan](#)
2. Which CWBP goal is most impacted by this legislation?  
Housing and Healthy Communities (Press tab after selecting.)
3. Which objectives are impacted by this legislation (select all that apply):
  - ☒ Utilize planning approaches in neighborhoods to reduce blight, ensure sustainable housing, and improve resident wellbeing and cultural diversity.
  - ☐ Maintain and increase affordable housing supply to meet the demands of a diverse population.
  - ☐ Address the various needs of the City's most vulnerable population by working to reduce disparities.
  - ☐ Foster an inclusive environment and regional approach to spur innovative solutions to housing challenges.
  - ☒ Ensure all residents have safe, accessible, quality housing by reducing barriers.
  - ☐ Protect and promote healthy, active amenities such as parks and trails, play spaces, and green spaces.

### Prior Legislation

There is no other applicable legislation for this ordinance.

### Service Level Impacts

Not applicable as this is an ordinance updating text within the Zoning and Development Code.

## Other Impacts

1. What will be the potential health impacts to any affected groups?  
Not applicable as this is an ordinance updating text within the Zoning and Development Code.
2. How have those groups been engaged and involved in the development of this ordinance?  
Not applicable as this is an ordinance updating text within the Zoning and Development Code.
3. How does this legislation contribute to a sustainable Kansas City?  
Not applicable as this is an ordinance updating text within the Zoning and Development Code.
4. Does this legislation create or preserve new housing units?  
No (Press tab after selecting)  
  
Not applicable as this is an ordinance updating text within the Zoning and Development Code.  
[Click or tap here to enter text.](#)
5. Department staff certifies the submission of any application Affirmative Action Plans or Certificates of Compliance, Contractor Utilization Plans (CUPs), and Letters of Intent to Subcontract (LOIs) to CREO prior to, or simultaneously with, the legislation entry request in Legistar.  
  
No - CREO's review is not applicable (Press tab after selecting)  
Please provide reasoning why not:  
Not applicable as this is an ordinance updating text within the Zoning and Development Code.
6. Does this legislation seek to approve a contract resulting from an Invitation for Bid?  
  
No(Press tab after selecting)  
  
Not applicable as this is an ordinance updating text within the Zoning and Development Code.

7. Does this legislation seek to approve a contract resulting from a Request for Proposal/Qualification (RFP/Q)?  
No(Press tab after selecting)





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**File #: 250287**

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### ORDINANCE NO. 250287

Sponsor: Councilmember Melissa Robinson

Accepting the Community Project Funding Grant from the Department of Housing and Urban Development; estimating revenues in the amount of \$4,000,000.00 in the Capital Improvements Grant Fund; appropriating that amount to the 18th Street Pedestrian Mall project; authorizing a construction contract with Gunter Construction Company in the amount of \$7,695,418.00; and recognizing this ordinance as having an accelerated effective date.

WHEREAS, City was awarded a \$4,000,000.00 grant from Department of Housing and Urban Development as part of the FY 2023 Economic Development Initiative, Community Project Funding Grant, award number B-23-CP-MO-0898; and

WHEREAS, the proposed improvements will include new concrete street and sidewalk pavement, decorative street and pedestrian lighting, streetscaping, water main replacement and storm drainage improvements; NOW, THEREFORE

#### BE IT ORDAINED BY THE COUNCIL OF KANSAS CITY:

Section 1. That the City Manager, or her designee, is hereby authorized to accept Community Project Funding Grant (B-23-CP-MO-0898) from Department of Housing and Urban Development for the purpose of construction activities for \$4,000,000.00 in the 18th Street Pedestrian Mall project. A copy of the Grant Agreement is on file in the Department of Public Works and is incorporated herein by reference.

Section 2. That revenue in the following account of the Capital Improvements Grant Fund is hereby estimated in the following amount:

26-3091-895113-479350-89060886	18th Street Pedestrian Mall	\$4,000,000.00
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Section 3. That the sum of \$4,000,000.00 is hereby appropriated from the Unappropriated Fund Balance of the Capital Improvements Grant Fund to the following account:

26-3091-895113-B-89060886	18th Street Pedestrian Mall	\$4,000,000.00
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Section 4. That the Director of the Public Works Department is authorized to execute a \$7,695,418.00 contract with Gunter Construction Company for the 18th Street Pedestrian Mall

from Paseo to Woodland Ave project from funds previously and hereby appropriated to the following accounts:

26-3091-895113-B-89060886	18th Street Pedestrian Mall	\$4,000,000.00
26-1000-897312-B-89060886	18th Street Pedestrian Mall	625,642.00
26-3090-898013-B-89060886	18th Street Pedestrian Mall	1,539,776.00
26-8010-807705-B-80002342	Water Main Relocation	<u>1,530,000.00</u>
	<b>TOTAL:</b>	<b>\$7,695,418.00</b>

A copy of the contract is on file in the Public Works Department.

Section 5. That the Director of Public Works is designated the requisitioning authority for Account No. 26-3091-895113-B.

Section 6. That this ordinance, relating to the design, repair, maintenance or construction of a public improvement, is recognized as an ordinance with an accelerated effective date as provided by Section 503(a)(3)(D) of the City Charter and shall take effect in accordance with Section 503, City Charter.

..end

\_\_\_\_\_

I hereby certify that there is a balance, otherwise unencumbered, to the credit of the appropriation to which the foregoing expenditure is to be charged, and a cash balance, otherwise unencumbered, in the treasury, to the credit of the fund from which payment is to be made, each sufficient to meet the obligation hereby incurred.

\_\_\_\_\_  
Tammy L. Queen  
Director of Finance

Approved as to form:

\_\_\_\_\_  
Dustin E. Johnson  
Assistant City Attorney



# City of Kansas City, Missouri

## Docket Memo

Ordinance/Resolution #: 250287

Submitted Department/Preparer: Public Works

Revised 6/10/24

Docket memos are required on all ordinances initiated by a Department Director. More information can be found in [Administrative Regulation \(AR\) 4-1](#).

### Executive Summary

Accepting the Community Project Funding Grant from the Department of Housing and Urban Development; estimating revenues in the amount of \$4,000,000.00 in the Capital Improvements Grant Fund; reducing an appropriation in the amount of \$1,000,000.00 in the General Fund; appropriating \$5,000,000.00 to the 18th Street Pedestrian Mall project; authorizing a construction contract with Gunter Construction Company in the amount of \$7,695,418.00; designating requisitioning authority and recognizing this ordinance as having an accelerated effective date.

### Discussion

The City was awarded a \$4,000,000.00 grant from Department of Housing and Urban Development as part of the FY 2023 Economic Development Initiative, Community Project Funding Grant, award number B-23-CP-MO-0898. The City Council approved Ordinance No. 230218, appropriating \$9,000,000.00 in surplus incremental revenues from the Midtown TIF to the Barney Allis Plaza Garage and 18th Street Pedestrian Mall projects. There are \$1,000,000.00 in near-term savings from the Barney Allis Plaza Garage project to be reappropriated to the 18th Street Pedestrian Mall Project. Also, \$1,000,000.00 are to be repaid to Council District 3 PIAC Contingency, as this amount of funding was fronted to the project earlier to keep it moving forward before other funding was received. The proposed improvements will include new concrete street and sidewalk pavement, decorative street and pedestrian lighting, streetscaping, water main replacement and storm drainage improvements.

### Fiscal Impact

1. Is this legislation included in the adopted budget? ☐ Yes ☒ No

2. What is the funding source?  
General Fund 1000  
Capital Improvements 3090  
Capital Improvements Grant 3091  
Water Fund 8010
3. How does the legislation affect the current fiscal year?  
N/A; funding is from FY26.
4. Does the legislation have a fiscal impact in future fiscal years? Please notate the difference between one-time and recurring costs.  
There are ongoing asset maintenance and operations costs during the assets' life cycles.
5. Does the legislation generate revenue, leverage outside funding, or deliver a return on investment?  
Yes, \$4,000,000.00 in federal funding through a Community Project Funding Grant from HUD.

### Office of Management and Budget Review

(OMB Staff will complete this section.)

1. This legislation is supported by the general fund. ☒ Yes ☐ No
2. This fund has a structural imbalance. ☒ Yes ☐ No
3. Account string has been verified/confirmed. ☒ Yes ☐ No

### Additional Discussion (if needed)

Click or tap here to enter text.

## Citywide Business Plan (CWBP) Impact

1. View the [Adopted 2025-2029 Citywide Business Plan](#)
2. Which CWBP goal is most impacted by this legislation?  
Inclusive Growth and Development (Press tab after selecting.)
3. Which objectives are impacted by this legislation (select all that apply):

- ☒ Align the City's economic development strategies with the objectives of the City Council to ensure attention on areas traditionally underserved by economic development and redevelopment efforts.
- ☐ Ensure quality, lasting development of new growth.
- ☒ Increase and support local workforce development and minority, women, and locally owned businesses.
- ☐ Create a solutions-oriented culture to foster a more welcoming business environment.
- ☒ Leverage existing institutional assets to maintain and grow Kansas City's position as an economic hub in the Central United States.
- ☐

## Prior Legislation

230218

## Service Level Impacts

The project will improve pedestrian safety, accessibility, and mobility along 18th Street, improve storm drainage and reduce combined sewer overflows, update water mains in Vine St and Highland Ave, and provide new street and pedestrian lighting.

## Other Impacts

1. What will be the potential health impacts to any affected groups?  
There will be better walkability and accessibility and added landscaping/plantings.
2. How have those groups been engaged and involved in the development of this ordinance?  
Community engagement has been conducted through planning meetings and coordination with area stakeholders.
3. How does this legislation contribute to a sustainable Kansas City?  
Stormwater detention facilities are provided that reduce combined sewer overflows and potential flooding, and added landscaping/plantings help to reduce urban heat island effects and improve air and water quality,
4. Does this legislation create or preserve new housing units?  
No (Press tab after selecting)

Click or tap here to enter text.

Click or tap here to enter text.

5. Department staff certifies the submission of any application Affirmative Action Plans or Certificates of Compliance, Contractor Utilization Plans (CUPs), and Letters of Intent to Subcontract (LOIs) to CREO prior to, or simultaneously with, the legislation entry request in Legistar.

Yes - I have submitted documents for CREO Review (Press tab after selecting)  
Please attach or copy and paste CREO's review.

The prime contractor has submitted a CUP (Contractor Utilization Plan) meeting the project goals of 15% MBE and 14% WBE. After review of the CUP, the prime contractor will meet or exceed goals at 15% MBE and 14% WBE.  
Prime Contractor is self-performing WBE work.

6. Does this legislation seek to approve a contract resulting from an Invitation for Bid?

Yes(Press tab after selecting)

List the three (3) lowest bidders in addition to the selected bidder.

1. Gunter Construction Company
2. MegaKC Corporation
3. n/a (only two bidders)

7. Does this legislation seek to approve a contract resulting from a Request for Proposal/Qualification (RFP/Q)?

No(Press tab after selecting)



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**File #: 250289**

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### ORDINANCE NO. 250289

Sponsor: Councilmember Melissa Robinson

Approving a modification of the incentivized project construction timeline for the Promise Place Central City Economic Development affordable housing project located at 4423 Olive Street.

WHEREAS, on September 23, 2021, Council passed Ordinance No. 210695 that authorized the City Manager to negotiate and execute a \$2,666,667.00 development agreement for the purpose of constructing a 101-unit affordable housing development located at 4423 Olive Street; and

WHEREAS, on May 26, 2022, Council passed Ordinance No. 220430 that authorized the Director of Housing and Community Development to negotiate and execute a CCED Funding Agreement with Promise Place, LLC in the amount of \$3,600,000.00 for the for the same development at 4423 Olive Street; and

WHEREAS, on July 18, 2024, Council passed Ordinance No. 240504 that awarded the project \$250,000.00 in Community Development Block Grant (CDBG) dollars and \$250,000.00 in federal HOME dollars; and

WHEREAS, the proposal provides for the creation of 101 units of affordable housing for families with incomes between 30% - 60% of AMI, consisting of one, two- and three-bedroom units, a community room, leasing office, and fitness center; and

WHEREAS, on April 13, 2023, Council approved Ordinance No. 230316, enacting Code § 74-12, which provides default construction timelines for incentivized projects; and

WHEREAS, Code § 74-12 provides that construction of the Project must be substantially complete by September 23, 2026; and

WHEREAS, the construction delay for the Project is due to no fault of the developer, as the developer has to rebuild its capital stack and will resubmit for a 4% low-income housing tax credit; and

WHEREAS, the Original Redeveloper has remained unable to complete construction for the Project; and

WHEREAS, the Council believes that the public purpose supporting the Project remains unchanged and the incentives remain appropriate; and

WHEREAS, Code § 74-12 provides that Council may modify the construction timelines for projects; NOW, THEREFORE,

BE IT ORDAINED BY THE COUNCIL OF KANSAS CITY:

Section 1. That pursuant to Code § 74-12, the timeline for the substantial completion of the Promise Place project, located at 4423 Olive Street, is hereby modified to require substantial completion by December 31, 2027.

..end

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Approved as to form:

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Joseph A. Guarino  
Senior Associate City Attorney





# City of Kansas City, Missouri

## Docket Memo

Ordinance/Resolution #: 250287

Submitted Department/Preparer: Housing

Revised 6/10/24

Docket memos are required on all ordinances initiated by a Department Director. More information can be found in [Administrative Regulation \(AR\) 4-1](#).

### Executive Summary

Approving a modification of the incentivized project construction timeline for the Promise Place Central City Economic Development affordable housing project located at 4423 Olive Street.

### Discussion

On September 23, 2021, Council passed Ordinance No. 210695 that authorized the City Manager to negotiate and execute a \$2,666,667.00 development agreement for the purpose of constructing a 101-unit affordable housing development located at 4423 Olive Street; and

On May 26, 2022, Council passed Ordinance No. 220430 that authorized the Director of Housing and Community Development to negotiate and execute a CCED Funding Agreement with Promise Place, LLC in the amount of \$3,600,000.00 for the same development at 4423 Olive Street; and

On July 18, 2024, Council passed Ordinance No. 240504 that awarded the project \$250,000.00 in Community Development Block Grant (CDBG) dollars and \$250,000.00 in federal HOME dollars; and

The proposal provides for the creation of 101 units of affordable housing for families with incomes between 30% - 60% of AMI, consisting of one, two- and three-bedroom units, a community room, leasing office, and fitness center; and

On April 13, 2023, Council approved Ordinance No. 230316, enacting Code § 74-12, which provides default construction timelines for incentivized projects; and

Code § 74-12 provides that construction of the Project must be substantially complete by September 23, 2026; and

The construction delay for the Project is due to no fault of the developer, as the developer has to rebuild its capital stack and will resubmit for a 4% low-income housing tax credit; and

The Original Redeveloper has remained unable to complete construction for the Project; and

The Council believes that the public purpose supporting the Project remains unchanged and the incentives remain appropriate; and

Code § 74-12 provides that Council may modify the construction timelines for projects.

### **Fiscal Impact**

1. Is this legislation included in the adopted budget? ☒ Yes ☐ No
2. What is the funding source?  
Central City Economic Development fund 2200
3. How does the legislation affect the current fiscal year?  
N/A
4. Does the legislation have a fiscal impact in future fiscal years? Please notate the difference between one-time and recurring costs.  
N/A
5. Does the legislation generate revenue, leverage outside funding, or deliver a return on investment?  
N/A

### **Office of Management and Budget Review**

(OMB Staff will complete this section.)

1. This legislation is supported by the general fund. ☐ Yes ☒ No
2. This fund has a structural imbalance. ☐ Yes ☒ No
3. Account string has been verified/confirmed. ☐ Yes ☒ No

### **Additional Discussion (if needed)**

There is no fiscal impact.

## Citywide Business Plan (CWBP) Impact

1. View the [Adopted 2025-2029 Citywide Business Plan](#)
2. Which CWBP goal is most impacted by this legislation?  
Housing and Healthy Communities (Press tab after selecting.)
3. Which objectives are impacted by this legislation (select all that apply):
  - ☒ Utilize planning approaches in neighborhoods to reduce blight, ensure sustainable housing, and improve resident wellbeing and cultural diversity.
  - ☒ Maintain and increase affordable housing supply to meet the demands of a diverse population.
  - ☒ Address the various needs of the City's most vulnerable population by working to reduce disparities.
  - ☒ Foster an inclusive environment and regional approach to spur innovative solutions to housing challenges.
  - ☒ Ensure all residents have safe, accessible, quality housing by reducing barriers.
  - ☐ Protect and promote healthy, active amenities such as parks and trails, play spaces, and green spaces.

## Prior Legislation

Ordinance 220430

## Service Level Impacts

The construction delay for the Project is due to no fault of the developer, as the developer has to rebuild its capital stack and will resubmit for a 4% low-income housing tax credit; and

The Original Redeveloper has remained unable to complete construction for the Project; and

The Council believes that the public purpose supporting the Project remains unchanged and the incentives remain appropriate; and

Code § 74-12 provides that Council may modify the construction timelines for projects.

## Other Impacts

1. What will be the potential health impacts to any affected groups?  
NA
2. How have those groups been engaged and involved in the development of this ordinance?  
NA
3. How does this legislation contribute to a sustainable Kansas City?  
The proposal provides for the creation of 101 units of affordable housing for families with incomes between 30% - 60% of AMI, consisting of one, two- and three-bedroom units, a community room, leasing office, and fitness center
4. Does this legislation create or preserve new housing units?  
Yes (Press tab after selecting)  
  
Total Number of Units 101  
Number of Affordable Units 101
5. Department staff certifies the submission of any application Affirmative Action Plans or Certificates of Compliance, Contractor Utilization Plans (CUPs), and Letters of Intent to Subcontract (LOIs) to CREO prior to, or simultaneously with, the legislation entry request in Legistar.  
  
No - CREO's review is not applicable (Press tab after selecting)  
Please provide reasoning why not:  
N/A
6. Does this legislation seek to approve a contract resulting from an Invitation for Bid?  
  
No(Press tab after selecting)
7. Does this legislation seek to approve a contract resulting from a Request for Proposal/Qualification (RFP/Q)?  
No(Press tab after selecting)



## Legislation Text

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**File #: 250290**

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### ORDINANCE NO. 250290

Sponsor: Councilmember Melissa Robinson

Authorizing the Manager of Procurement Services to execute a Central City Economic Development (CCED) funding agreement with Santa Fe Neighborhood Council for the rehabilitation of existing homes; authorizing the Director of the Housing and Community Development Department to expend up to \$273,437.74 of previously appropriated Central City Economic Development Fund dollars and \$181,316.85 of previously appropriated Maintenance Reserve Fund dollars.

WHEREAS, Section 67.1305 of the Revised Statutes of Missouri authorizes the City to impose a retail sales tax not to exceed one-half of one percent if the imposition of such a retail sales tax is submitted to, and then approved by, a majority of votes cast; and

WHEREAS, on April 4, 2017, pursuant to authority granted by Section 67.1304, RSMo, a majority of Kansas City, Missouri voters approved a new 1/8 of one percent retail sales tax for funding economic development projects within the area bounded by 9th Street on the north, Gregory Boulevard on the south, Paseo Boulevard on the west and Indiana Avenue on the east; and

WHEREAS, the project serves a predominantly public municipal purpose because, without limitation, completion of the project (i) enhances the tax base of the Project Site; (ii) retains and generates jobs; (iii) promotes economic development in the area of the City in which the Project Site is located, and promotes consideration of areas of the City that the City Council has determined to be blighted as a location for business operations; (iv) results in generation of tax revenues to the City from the conduct of business and other activities in the City that would otherwise occur; (v) serves as a catalyst for additional investment in and further redevelopment and rehabilitation of the area of the City in which the Project Site is located; and (vi) furthers the City's policy of encouraging economic stability and growth; and

WHEREAS, the City desires to encourage the Developer to carry out the project for the purpose of realizing these predominantly public purposes by entering into an agreement to contribute certain revenues in an amount needed to cause the project to be undertaken and attract the necessary private investment; and

WHEREAS, on December 17, 2020, the City Council passed Ordinance No. 200997 which accepted the Board's recommendation to negotiate and execute a Funding Agreement with Santa Fe Neighborhood Council in the amount of \$610,000.00 for the purpose of rehabilitation

of existing homes including administrative fees and liaison expenses to be paid from funds previously appropriated to Account No. 21-2200-578998-B-57Fe, the Central City Economic Development Sales Tax fund; and

WHEREAS, on May 6, 2021, the City Council passed Ordinance No. 210379 which: (1) authorized the Santa Fe Neighborhood Council's housing rehabilitation program using \$300,000.00 of Maintenance Reserve Corporation Funds to support eligible rehabilitation expenses for low-to-moderate income homeowners in the Santa Fe Neighborhood and (2) authorized the Director of Neighborhoods and Housing Services Department to enter into a contract with Santa Fe Neighborhood Council (in partnership with Arvest Bank) using funds previously appropriated to Account No. AL-6930-572127-B, the Maintenance Reserve Fund; and

WHEREAS, previously appropriated funds from the Central City Economic Development Fund and Maintenance Reserve Fund were unexpended prior to contract end date on or before December 17, 2023; and

WHEREAS, the unique rehab grant with the following challenges, including City-staff turnover at the beginning of the project that made adherence to city processes and rules more difficult, and challenges with securing a general contractor; and

WHEREAS, the rehabilitation of ten houses has been completed, with five more houses yet to be completed; and

WHEREAS, the new contract will allow for \$40,000.00 to be used for support program management rather than an inspector budget line item; and

WHEREAS, contract expiration necessitates the execution of a new funding agreement for use of remaining dollars; NOW, THEREFORE,

**BE IT ORDAINED BY THE COUNCIL OF KANSAS CITY:**

Section 1. That the recommendation of the Central City Economic Development Board that were issued on February 11, 2025, to enter into this funding agreement for the rehabilitation of existing homes is hereby accepted.

Section 2. That the Manager of Procurement Services is authorized to execute a Central City Economic Development funding agreement with Santa Fe Neighborhood Council using previously appropriated funds in the amount of \$273,437.74 from the Central City Economic Development Sales Tax Fund and \$181,316.85 from the Maintenance Reserve Fund.

Section 3. That the Director of Housing and Community Development is authorized to expend up to \$273,437.74 from the Central City Economic Development Sales Tax Fund and \$181,316.85 from the Maintenance Reserve Fund on this contract.

Section 4. That this contract must comply, when applicable, with the City's Contracting Program Requirements set out in Article IV, Chapter 3, Code of Ordinances, (including, but not limited to, the provisions concerning affirmative action, Minority and Women's Business Enterprises and the Small Local Business Enterprises program).

Section 5. That the Funding Agreement shall prohibit the use of any CCED sales tax funding for the repayment of any preexisting debt or repayment for services or work performed prior to the execution of the funding agreement and must require the disclosure of total project funding sources and projected costs and periodic reporting of project progress.

..end

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I hereby certify that there is a balance, otherwise unencumbered, to the credit of the appropriation to which the foregoing expenditure is to be charged, and a cash balance, otherwise unencumbered, in the treasury, to the credit of the fund from which payment is to be made, each sufficient to meet the obligation hereby incurred.

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Tammy L. Queen  
Director of Finance

Approved as to form:

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Joseph A. Guarino  
Senior Associate City Attorney



# City of Kansas City, Missouri

## Docket Memo

Ordinance/Resolution #: 250290

Submitted Department/Preparer: Housing

Revised 6/10/24

Docket memos are required on all ordinances initiated by a Department Director. More information can be found in [Administrative Regulation \(AR\) 4-1](#).

### Executive Summary

Authorizing the Manager of Procurement Services to execute a contract extension and funding agreement with Santa Fe Area Council for the continued rehabilitation of existing homes previously approved by council; authorizing the Director of Housing and Community Development Department to execute this contract in the amount of \$454,754.19 funded from previously expended city funds on account with a disbursement agent in the amounts of \$273,437.74 of Central City Economic Development Fund dollars and \$181,316.85 of Maintenance Reserve Fund dollars.

### Discussion

Section 67.1305 of the Revised Statutes of Missouri authorizes the City to impose a retail sales tax not to exceed one-half of one percent if the imposition of such a retail sales tax is submitted to, and then approved by, a majority of votes cast; and

On April 4, 2017, pursuant to authority granted by Section 67.1304, RSMo, a majority of Kansas City, Missouri voters approved a new 1/8 of one percent retail sales tax for funding economic development projects within the area bounded by 9th Street on the north, Gregory Boulevard on the south, Paseo Boulevard on the west and Indiana Avenue on the east; and

The project serves a predominantly public municipal purpose because, without limitation, completion of the project (i) enhances the tax base of the Project Site; (ii) retains and generates jobs; (iii) promotes economic development in the area of the City in which the Project Site is located, and promotes consideration of areas of the City that the City Council has determined to be blighted as a location for business operations; (iv) results in generation of tax revenues to the City from the conduct of business and other activities in the City that would otherwise occur; (v) serves as a catalyst for additional investment in and further redevelopment and rehabilitation of the area of the City in which the Project Site is located; and (vi) furthers the City's policy of encouraging economic stability and growth; and



The City desires to encourage the Developer to carry out the project for the purpose of realizing these predominantly public purposes by entering into an agreement to contribute certain revenues in an amount needed to cause the project to be undertaken and attract the necessary private investment; and

On December 17, 2020, the City Council passed Ordinance No. 200997 which accepted the Board's recommendation to negotiate and execute a Funding Agreement with Santa Fe Neighborhood Council in the amount of \$610,000.00 for the purpose of rehabilitation of existing homes including administrative fees and liaison expenses to be paid from funds previously appropriated to Account No. 21-2200-578998-B-57Fe, the Central City Economic Development Sales Tax fund; and

On May 6, 2021, the City Council passed Ordinance No. 210379 which: (1) authorized the Santa Fe Neighborhood Council's housing rehabilitation program using \$300,000.00 of Maintenance Reserve Corporation Funds to support eligible rehabilitation expenses for low-to-moderate income homeowners in the Santa Fe Neighborhood and (2) authorized the Director of Neighborhoods and Housing Services Department to enter into a contract with Santa Fe Neighborhood Council (in partnership with Arvest Bank) using funds previously appropriated to Account No. AL-6930-572127-B, the Maintenance Reserve Fund; and

Previously appropriated funds from the Central City Economic Development Fund and Maintenance Reserve Fund were unexpended prior to contract end date on or before December 17, 2023; and

The unique rehab grant faced the following challenges, including City-staff turnover at the beginning of the project that made adherence to city processes and rules more difficult, and challenges with securing a general contractor; and

The rehabilitation of ten houses has been completed, with five more houses yet to be completed; and

The new contract will allow for \$40,000.00 to be used for support program management rather than an inspector budget line item; and

Contract expiration necessitates the execution of a new funding agreement for use of remaining dollars.

## **Fiscal Impact**

1. Is this legislation included in the adopted budget? ☐ Yes ☒ No
2. What is the funding source?

Central City Economic Development Sales Tax Fund 2200  
Maintenance Reserve Fund 6930

3. How does the legislation affect the current fiscal year?

There is no affect to the current fiscal year

4. Does the legislation have a fiscal impact in future fiscal years? Please notate the difference between one-time and recurring costs.

There is no affect on the future fiscal years

5. Does the legislation generate revenue, leverage outside funding, or deliver a return on investment?

NO

**Office of Management and Budget Review**

(OMB Staff will complete this section.)

- |   |   |  |
|---|---|--|
| 1. This legislation is supported by the general fund. | <input type="checkbox"/> Yes            | <input checked="" type="checkbox"/> No |
| 2. This fund has a structural imbalance.              | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No            |
| 3. Account string has been verified/confirmed.        | <input type="checkbox"/> Yes            | <input checked="" type="checkbox"/> No |

**Additional Discussion (if needed)**

Click or tap here to enter text.

**Citywide Business Plan (CWBP) Impact**

1. View the [Adopted 2025-2029 Citywide Business Plan](#)
2. Which CWBP goal is most impacted by this legislation?  
Housing and Healthy Communities (Press tab after selecting.)
3. Which objectives are impacted by this legislation (select all that apply):
  - ☒ Utilize planning approaches in neighborhoods to reduce blight, ensure sustainable housing, and improve resident wellbeing and cultural diversity.
  - ☒ Maintain and increase affordable housing supply to meet the demands of a diverse population.
  - ☒ Address the various needs of the City's most vulnerable population by working to reduce disparities.

- ☒ Foster an inclusive environment and regional approach to spur innovative solutions to housing challenges.
- ☒ Ensure all residents have safe, accessible, quality housing by reducing barriers.
- ☐ Protect and promote healthy, active amenities such as parks and trails, play spaces, and green spaces.

## Prior Legislation

Ordinance 200997 and 210379

## Service Level Impacts

Previously appropriated funds from the Central City Economic Development Fund and Maintenance Reserve Fund were unexpended prior to contract end date on or before December 17, 2023; and

The unique rehab grant faced the following challenges, including City-staff turnover at the beginning of the project that made adherence to city processes and rules more difficult, and challenges with securing a general contractor; and

The rehabilitation of ten houses has been completed, with five more houses yet to be completed; and

The new contract will allow for \$40,000.00 to be used for support program management rather than an inspector budget line item; and

Contract expiration necessitates the execution of a new funding agreement for use of remaining dollars.

## Other Impacts

1. What will be the potential health impacts to any affected groups?  
NA
2. How have those groups been engaged and involved in the development of this ordinance?  
NA
3. How does this legislation contribute to a sustainable Kansas City?  
(i) enhances the tax base of the Project Site; (ii) retains and generates jobs; (iii) promotes economic development in the area of the City in which the Project

Site is located, and promotes consideration of areas of the City that the City Council has determined to be blighted as a location for business operations; (iv) results in generation of tax revenues to the City from the conduct of business and other activities in the City that would otherwise occur; (v) serves as a catalyst for additional investment in and further redevelopment and rehabilitation of the area of the City in which the Project Site is located; and (vi) furthers the City's policy of encouraging economic stability and growth

4. Does this legislation create or preserve new housing units?  
Yes (Press tab after selecting)

Total Number of Units 20  
Number of Affordable Units 20

5. Department staff certifies the submission of any application Affirmative Action Plans or Certificates of Compliance, Contractor Utilization Plans (CUPs), and Letters of Intent to Subcontract (LOIs) to CREO prior to, or simultaneously with, the legislation entry request in Legistar.

No - CREO's review is not applicable (Press tab after selecting)  
Please provide reasoning why not:  
N/A

6. Does this legislation seek to approve a contract resulting from an Invitation for Bid?

No(Press tab after selecting)

7. Does this legislation seek to approve a contract resulting from a Request for Proposal/Qualification (RFP/Q)?  
No(Press tab after selecting)



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**File #: 240967**

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### ORDINANCE NO. 240967

Sponsor: Director of City Planning and Development Department

Rezoning an area of about 10.75 acres generally located west of Interstate 29 on N.W. Prairie View Road, between N.W. Cookingham Drive to the north and N.W. 112th Street to the south from District B3-3 to District M1-2 to allow for industrial uses. (CD-CPC-2024-00117)

#### BE IT ORDAINED BY THE COUNCIL OF KANSAS CITY:

Section A. That Chapter 88, Code of Ordinances of the City of Kansas City, Missouri, commonly known as the Zoning and Development Code, is hereby amended by enacting a new section to be known as Section 88-20A-1453, rezoning an area of about 10.75 acres generally located west of Interstate 29 on N.W. Prairie View Road, between N.W. Cookingham Drive to the north and N.W. 112th Street to the south from District B3-3 (Commercial) to District M1-2 (Manufacturing) said section to read as follows:

Section 88-20A-1453. That an area legally described as:

Platte Gardens Tract 1 & Thrifty Rent A Car Center Lot 1.

is hereby rezoned from District B3-3 (Commercial) to District M1-2 (Manufacturing), all as shown outlined on a map marked Section 88-20A-1453, which is attached hereto and made a part hereof, and which is hereby adopted as a part of an amendment to the zoning maps constituting a part of said chapter and in accordance with Section 88-20 thereof.

Section B. That the Council finds and declares that before taking any action on the proposed amendment hereinabove, all public notices and hearings required by the Zoning and Development Code have been given and had.

..end

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I hereby certify that as required by Chapter 88, Code of Ordinances, the foregoing ordinance was duly advertised and public hearings were held.

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Sara Copeland, FAICP

Secretary, City Plan Commission

Approved as to form:

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Sarah Baxter  
Senior Associate City Attorney



# City of Kansas City, Missouri

## Docket Memo

Ordinance/Resolution #: 240967

Submitted Department/Preparer: City Planning

Revised 6/10/24

Docket memos are required on all ordinances initiated by a Department Director. More information can be found in [Administrative Regulation \(AR\) 4-1](#).

### Executive Summary

Approving a rezoning without plan from district B3-3 (Commercial) to M1-2 (Manufacturing) on about 10.75 acres generally located west of Interstate 29 on NW Prairie View Road, between NW Cookingham Drive to the north and NW 112th Street to the south. (CD-CPC-2024-00117)

### Discussion

The applicant is requesting approval of a rezoning without plan from B3-3 to M1-2. The surrounding properties are used commercially or are currently undeveloped, and are zoned KCIA and B3-3, which are mainly commercial districts. The subject property is well suited for the uses of the B-3 district, the use and zoning of the surrounding properties are similar and the proximity of the site to the airport supports the use. The KCI Area Plan recommends Commercial/Industrial uses for this location.

The applicant does not have specific plans for the property at this time. The proposed zoning district will allow for potential manufacturing uses, however the low intensity of the proposed zoning district provides safety measures and requires entitlement for uses that might raise concerns for the wider community.

Public engagement as required by the Zoning and Development Code was completed on 10/04/2024; no one attended the neighborhood meeting. The application was heard at the 10/16/2024 City Plan Commission. No public comment was given at the meeting. The Commissioners voted to recommend approval without conditions.

### Fiscal Impact

1. Is this legislation included in the adopted budget? ☐ Yes ☒ No
2. What is the funding source?

Not applicable as this is a zoning ordinance authorizing the rezoning of a property for future development.

3. How does the legislation affect the current fiscal year?

Not applicable as this is a zoning ordinance authorizing the rezoning of a property for future development.

4. Does the legislation have a fiscal impact in future fiscal years? Please notate the difference between one-time and recurring costs.

Not applicable as this is a zoning ordinance authorizing the rezoning of a property for future development.

5. Does the legislation generate revenue, leverage outside funding, or deliver a return on investment?

Not applicable as this is a zoning ordinance authorizing the rezoning of a property for future development.

### Office of Management and Budget Review

(OMB Staff will complete this section.)

- |   |                              |  |
|---|------------------------------|--|
| 1. This legislation is supported by the general fund. | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |
| 2. This fund has a structural imbalance.              | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |
| 3. Account string has been verified/confirmed.        | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |

### Additional Discussion (if needed)

No account string to verify as this ordinance has no fiscal impact.

## Citywide Business Plan (CWBP) Impact

1. View the [Adopted 2025-2029 Citywide Business Plan](#)
2. Which CWBP goal is most impacted by this legislation?  
Inclusive Growth and Development (Press tab after selecting.)
3. Which objectives are impacted by this legislation (select all that apply):
  - ☐ Align the City's economic development strategies with the objectives of the City Council to ensure attention on areas traditionally underserved by economic development and redevelopment efforts.
  - ☒ Ensure quality, lasting development of new growth.



- ☐ Increase and support local workforce development and minority, women, and locally owned businesses.
- ☐ Create a solutions-oriented culture to foster a more welcoming business environment.
- ☐ Leverage existing institutional assets to maintain and grow Kansas City's position as an economic hub in the Central United States.
- ☐

### Prior Legislation

None.

### Service Level Impacts

No service level impacts expected.

### Other Impacts

1. What will be the potential health impacts to any affected groups?  
Not applicable as this is a zoning ordinance authorizing the rezoning of a property for future development
2. How have those groups been engaged and involved in the development of this ordinance?  
Not applicable as this is a zoning ordinance authorizing the rezoning of a property for future development. Public engagement is required for rezoning requests, the applicant held a public engagement meeting in compliance with the Zoning and Development Code on 10/04/2024.
3. How does this legislation contribute to a sustainable Kansas City?  
Not applicable as this is a zoning ordinance authorizing the rezoning of a property for future development.
4. Does this legislation create or preserve new housing units?  
No (Press tab after selecting)

Click or tap here to enter text.

Click or tap here to enter text.

5. Department staff certifies the submission of any application Affirmative Action Plans or Certificates of Compliance, Contractor Utilization Plans (CUPs), and Letters of Intent to Subcontract (LOIs) to CREO prior to, or simultaneously with, the legislation entry request in Legistar.

No - CREO's review is not applicable (Press tab after selecting)

Please provide reasoning why not:

NA

6. Does this legislation seek to approve a contract resulting from an Invitation for Bid?

No(Press tab after selecting)

[Click or tap here to enter text.](#)

7. Does this legislation seek to approve a contract resulting from a Request for Proposal/Qualification (RFP/Q)?

No(Press tab after selecting)



## Legislation Text

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**File #: 241057**

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### RESOLUTION NO. 241057

Sponsor: Director of City Planning and Development Department

**RESOLUTION** - Approving an area plan amendment to the Line Creek Valley Area Plan for an area of approximately 1.5 acres generally located at N.W. Barry Road and N.W. Winter Avenue by changing the recommended land use from low density residential to mixed use community. (CD-CPC-2024-00170)

WHEREAS, on February 10, 2011, the City Council through the adoption of Committee Substitute for Resolution No. 110030 adopted the Line Creek Valley Area Plan as a guide for the future development and redevelopment for the area generally bounded by M-152 Highway on the north, North Platte Purchase Drive on the east, N.W. Waukomis Drive/N. Green Hills Drive on the west, and N.W. 68th Street on the south; and

WHEREAS, due to certain changes, it is desirable to modify certain components of the Line Creek Valley Area Plan with an amendment to the Future Land Use Map as it affects that area generally located at N.W. Barry Road and N.W. Winter Avenue; and

WHEREAS, the City Plan Commission considered this amendment to the Land Use Map on November 20, 2024; and

WHEREAS, after all interested persons were given an opportunity to present testimony, the City Plan Commission did recommend approval of the proposed amendment to the Line Creek Valley Area Plan, NOW, THEREFORE,

BE IT RESOLVED BY THE COUNCIL OF KANSAS CITY:

Section A. That the Line Creek Valley Area Plan and Map are hereby amended for that area of approximately 1.5 acres generally located at N.W. Barry Road and N.W. Winter Avenue by changing the recommended land use from residential low density to mixed use community.

Section B. That the amendment to the Line Creek Valley Area Plan is consistent and complies with the KC Spirit Playbook, adopted on April 20, 2023, by Resolution 230257, and is adopted as a supplement to the KC Spirit Playbook.

Section C. That the Council finds and declares that before taking any action on the proposed amendment hereinabove, all public notices have been given and hearings have been held as required by law.

..end

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# City of Kansas City, Missouri

## Docket Memo

Ordinance/Resolution #: 241057

Submitted Department/Preparer: City Planning

Revised 6/10/24

Docket memos are required on all ordinances initiated by a Department Director. More information can be found in [Administrative Regulation \(AR\) 4-1](#).

### Executive Summary

A request to approve an area plan amendment to amend the Line Creek Valley Area Plan future land use recommendation from residential low density to mixed use community on about 2 acres generally located at NW Barry Road and NW Winter Avenue. (CD-CPC-2024-00170)

### Discussion

The Zona Rosa ownership group is proposing to rezone a 1.5 acre parcel of undeveloped land on the northeast corner of NW Barry Road and NW Winter Avenue from B3-3/R-2.5 and R-7.5 to B3-3 to allow for commercial land uses. In 2008, the City Council approved a Chick-fil-A, but no permit was pulled within two years of approval and the previously approved development plan has since lapsed. The approved ordinance, which is no longer in full force and effect, did require the developer to enter into a Cooperative Agreement with the City prior to issuance of a final certificate of occupancy. The developer was required to contribute \$7,200 towards the cost of improving the intersection at NW Barry Road and NW Winter Avenue.

The Line Creek Valley Area Plan, which originally recommended commercial uses on the subject property, was amended in 2009 when the KCI Area Plan was being revised and now currently recommends Residential Low Density as the future land use. NW Barry Road is identified as a thoroughfare on the City's Major Street Plan and the corridor is generally comprised of commercial uses, multi-unit residential structures, institutional uses and heavy vehicular traffic.

On November 20, 2024, staff recommended approval of the application and the City Plan Commission (CPC) recommended approval of the area plan amendment with a vote 6-0.

## Fiscal Impact

1. Is this legislation included in the adopted budget? ☐ Yes ☒ No
2. What is the funding source?  
Not applicable, as this is a zoning ordinance.
3. How does the legislation affect the current fiscal year?  
Not applicable, as this is a zoning ordinance.
4. Does the legislation have a fiscal impact in future fiscal years? Please notate the difference between one-time and recurring costs.  
Not applicable, as this is a zoning ordinance.
5. Does the legislation generate revenue, leverage outside funding, or deliver a return on investment?  
No specific users have been identified for the proposed developer, therefore it is extremely difficult for staff to determine if this legislation will generate revenue.

### Office of Management and Budget Review

(OMB Staff will complete this section.)

1. This legislation is supported by the general fund. ☐ Yes ☒ No
2. This fund has a structural imbalance. ☐ Yes ☒ No
3. Account string has been verified/confirmed. ☐ Yes ☒ No

### Additional Discussion (if needed)

No account string to verify as this ordinance has no direct fiscal impact.

## Citywide Business Plan (CWBP) Impact

1. View the [Adopted 2025-2029 Citywide Business Plan](#)
2. Which CWBP goal is most impacted by this legislation?  
Housing and Healthy Communities (Press tab after selecting.)
3. Which objectives are impacted by this legislation (select all that apply):

- ☒ Utilize planning approaches in neighborhoods to reduce blight, ensure sustainable housing, and improve resident wellbeing and cultural diversity.
- ☐ Maintain and increase affordable housing supply to meet the demands of a diverse population.
- ☐ Address the various needs of the City's most vulnerable population by working to reduce disparities.
- ☐ Foster an inclusive environment and regional approach to spur innovative solutions to housing challenges.
- ☐ Ensure all residents have safe, accessible, quality housing by reducing barriers.
- ☐ Protect and promote healthy, active amenities such as parks and trails, play spaces, and green spaces.

## **Prior Legislation**

On February 5, 2008, Case No. 12645-GP-1 was approved by the City Plan Commission to allow for rezoning from District GP-3/4 (regional business/high density residential) and District GP-6 (low density residential) to District GP-3/4 (regional business/high density residential), and approval of a preliminary development plan for a 3,921 square foot restaurant with drive-through. (Zona Rosa District A). The City Council approved the request on March 6, 2008 (Ord. No. 080147).

## **Service Level Impacts**

The area plan amendment resolution is required to allow for commercial uses on the subject property. Staff does anticipate that future commercial development may require additional public infrastructure (vehicular and pedestrian improvements).

## **Other Impacts**

1. What will be the potential health impacts to any affected groups?  
Additional vehicular traffic could be generated by additional commercial uses.
2. How have those groups been engaged and involved in the development of this ordinance?  
Area plan amendments (resolutions) do not require public engagement. The applicant did hold public engagement for the rezoning application (CD-CPC-2024-00153) on November 12, 2024.
3. How does this legislation contribute to a sustainable Kansas City?  
No sustainable contributions have been identified for the proposed project.

4. Does this legislation create or preserve new housing units?  
No (Press tab after selecting)

Click or tap here to enter text.  
Click or tap here to enter text.

5. Department staff certifies the submission of any application Affirmative Action Plans or Certificates of Compliance, Contractor Utilization Plans (CUPs), and Letters of Intent to Subcontract (LOIs) to CREO prior to, or simultaneously with, the legislation entry request in Legistar.

No - CREO's review is not applicable (Press tab after selecting)  
Please provide reasoning why not:  
Click or tap here to enter text.

6. Does this legislation seek to approve a contract resulting from an Invitation for Bid?

No(Press tab after selecting)

Click or tap here to enter text.

7. Does this legislation seek to approve a contract resulting from a Request for Proposal/Qualification (RFP/Q)?  
No(Press tab after selecting)





## Legislation Text

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**File #: 241058**

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### ORDINANCE NO. 241058

Sponsor: Director of City Planning and Development Department

Rezoning an area of about 1.5 acres generally located at N.W. Barry Road and N.W. Winter Avenue from Districts B3-3/R-2.5 and R-7.5 to District B3-3 to allow for commercial land uses. (CD-CPC-2024-00153).

#### BE IT ORDAINED BY THE COUNCIL OF KANSAS CITY:

Section A. That Chapter 88, Code of Ordinances of the City of Kansas City, Missouri, commonly known as the Zoning and Development Code, is hereby amended by enacting a new section to be known as Section 88-20A-1458, rezoning an area of about 1.5 acres generally located at N.W. Barry Road and N.W. Winter Avenue from Districts B3-3/R-2.5 (Community Business (Dash 3)/Residential 2.5) and R-7.5 (Residential 7.5) to District B3-3 (Community Business (Dash 3)), said section to read as follows:

Section 88-20A-1458. That an area legally described as:

Lot 2 and Tract A, Parcel A of Zona Rosa 1st Plat, a subdivision in Kansas City, Platte County, Missouri.

is hereby rezoned from Districts B3-3/R-2.5 (Community Business (Dash 3)/Residential 2.5) and R-7.5 (Residential 7.5) to District B3-3 (Community Business (Dash 3)), all as shown outlined on a map marked Section 88-20A-1458, which is attached hereto and made a part hereof, and which is hereby adopted as a part of an amendment to the zoning maps constituting a part of said chapter and in accordance with Section 88-20 thereof.

Section B. That the Council finds and declares that before taking any action on the proposed amendment and development plan hereinabove, all public notices and hearings required by the Zoning and Development Code have been given and had.

..end

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I hereby certify that as required by Chapter 88, Code of Ordinances, the foregoing ordinance was duly advertised and public hearings were held.

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Sara Copeland, FAICP  
Secretary, City Plan Commission

Approved as to form:

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Sarah Baxter  
Senior Associate City Attorney



# City of Kansas City, Missouri

## Docket Memo

Ordinance/Resolution #: 241058

Submitted Department/Preparer: City Planning

Revised 6/10/24

Docket memos are required on all ordinances initiated by a Department Director. More information can be found in [Administrative Regulation \(AR\) 4-1](#).

### Executive Summary

A request to approve a rezoning from district B3-3 (commercial) and R-2.5 (residential) and R-7.5 (residential) to district B3-3 (commercial) on about 2 acres generally located at NW Barry Road and NW Winter Avenue. (CD-CPC-2024-00153)

### Discussion

The Zona Rosa ownership group is proposing to rezone a 1.5 acre parcel of undeveloped land on the northeast corner of NW Barry Road and NW Winter Avenue from B3-3/R-2.5 and R-7.5 to B3-3 to allow for commercial land uses. In 2008, the City Council approved a Chick-fil-A, but no permit was pulled within two years of approval and the previously approved development plan has since lapsed. The approved ordinance, which is no longer in full force and effect, did require the developer to enter into a Cooperative Agreement with the City prior to issuance of a final certificate of occupancy. The developer was required to contribute \$7,200 towards the cost of improving the intersection at NW Barry Road and NW Winter Avenue.

The Line Creek Valley Area Plan, which originally recommended commercial uses on the subject property, was amended in 2009 when the KCI Area Plan was being revised and now currently recommends Residential Low Density as the future land use. NW Barry Road is identified as a thoroughfare on the City's Major Street Plan and the corridor is generally comprised of commercial uses, multi-unit residential structures, institutional uses and heavy vehicular traffic.

On November 20, 2024, staff recommended approval of the application. There was no public testimony. The City Plan Commission (CPC) recommended approval of the rezoning request with a vote 6-0.

### Fiscal Impact

1. Is this legislation included in the adopted budget? ☐ Yes ☒ No
2. What is the funding source?  
Not applicable, as this is a zoning ordinance.
3. How does the legislation affect the current fiscal year?  
Not applicable, as this is a zoning ordinance.
4. Does the legislation have a fiscal impact in future fiscal years? Please notate the difference between one-time and recurring costs.  
Not applicable, as this is a zoning ordinance.
5. Does the legislation generate revenue, leverage outside funding, or deliver a return on investment?  
No specific users have been identified for the proposed developer, therefore it is extremely difficult for staff to determine if this legislation will generate revenue.

#### **Office of Management and Budget Review**

(OMB Staff will complete this section.)

1. This legislation is supported by the general fund. ☐ Yes ☒ No
2. This fund has a structural imbalance. ☐ Yes ☒ No
3. Account string has been verified/confirmed. ☐ Yes ☒ No

#### **Additional Discussion (if needed)**

No account string to verify as this ordinance has no direct fiscal impact.

### **Citywide Business Plan (CWBP) Impact**

1. View the [Adopted 2025-2029 Citywide Business Plan](#)
2. Which CWBP goal is most impacted by this legislation?  
Housing and Healthy Communities (Press tab after selecting.)
3. Which objectives are impacted by this legislation (select all that apply):
  - ☒ Utilize planning approaches in neighborhoods to reduce blight, ensure sustainable housing, and improve resident wellbeing and cultural diversity.

- ☐ Maintain and increase affordable housing supply to meet the demands of a diverse population.
- ☐ Address the various needs of the City's most vulnerable population by working to reduce disparities.
- ☐ Foster an inclusive environment and regional approach to spur innovative solutions to housing challenges.
- ☐ Ensure all residents have safe, accessible, quality housing by reducing barriers.
- ☐ Protect and promote healthy, active amenities such as parks and trails, play spaces, and green spaces.

## **Prior Legislation**

On February 5, 2008, Case No. 12645-GP-1 was approved by the City Plan Commission to allow for rezoning from District GP-3/4 (regional business/high density residential) and District GP-6 (low density residential) to District GP-3/4 (regional business/high density residential), and approval of a preliminary development plan for a 3,921 square foot restaurant with drive-through. (Zona Rosa District A). The City Council approved the request on March 6, 2008 (Ord. No. 080147).

## **Service Level Impacts**

The rezoning application is required to allow for commercial uses on the subject property. Staff does anticipate that future commercial development may require additional public infrastructure (vehicular and pedestrian improvements).

## **Other Impacts**

1. What will be the potential health impacts to any affected groups?  
Additional vehicular traffic could be generated by additional commercial uses.
2. How have those groups been engaged and involved in the development of this ordinance?  
The applicant did hold public engagement for the rezoning application (CD-CPC-2024-00153) on November 12, 2024.
3. How does this legislation contribute to a sustainable Kansas City?  
No sustainable contributions have been identified for the proposed project.
4. Does this legislation create or preserve new housing units?

No (Press tab after selecting)

Click or tap here to enter text.

Click or tap here to enter text.

5. Department staff certifies the submission of any application Affirmative Action Plans or Certificates of Compliance, Contractor Utilization Plans (CUPs), and Letters of Intent to Subcontract (LOIs) to CREO prior to, or simultaneously with, the legislation entry request in Legistar.

No - CREO's review is not applicable (Press tab after selecting)

Please provide reasoning why not:

Click or tap here to enter text.

6. Does this legislation seek to approve a contract resulting from an Invitation for Bid?

No(Press tab after selecting)

Click or tap here to enter text.

7. Does this legislation seek to approve a contract resulting from a Request for Proposal/Qualification (RFP/Q)?

No(Press tab after selecting)



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**File #: 250207**

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### RESOLUTION NO. 250207

Sponsor: Director of City Planning and Development Department

Approving an amendment to the Gashland/Nashua Area Plan on about 16.3 acres generally located south of Old N.E. Barry Road and on both sides of N. Cleveland Avenue by changing the recommended land use designation from residential low density to residential high density for a residential development. (CD-CPC-2024-00187)

WHEREAS, on January 5, 2012, the City Council by Resolution No. 110952 adopted the Gashland-Nashua Area Plan; and

WHEREAS, after further review it has been deemed appropriate to amend the Gashland-Nashua Area Plan as it affects that area of approximately 16.3 acres generally located north of Missouri Route 152, south of Old N.E. Barry Road, east of Missouri Route 152 and west of N. Kensington Avenue by changing the recommended land use designation from residential low density to residential high density; and

WHEREAS, the City Plan Commission considered such amendment to the Proposed Land Use Map on January 15, 2025; and

WHEREAS, after all interested persons were given an opportunity to present testimony, the City Plan Commission did on January 15, 2025, recommend approval of the proposed amendment to Gashland-Nashua Area Plan; NOW, THEREFORE,

### BE IT RESOLVED BY THE COUNCIL OF KANSAS CITY:

Section A. That the Gashland-Nashua Area Plan is hereby amended as to the Proposed Land Use Plan and Map for that area of approximately 16.3 acres generally located south of Old N.E. Barry Road and on both sides of N. Cleveland Avenue by changing the recommended land use designation from residential low density to residential high density for a residential development

Section B. That the amendment to the Gashland/Nashua Area Plan is consistent and complies with the KC Spirit Playbook, adopted on April 20, 2023, by Resolution No. 230257, and is adopted as a supplement to the KC Spirit Playbook.

Section C. That the Council finds and declares that before taking any action on the proposed amendment hereinabove, all public notices have been given and hearings have been held as required by law.

..end

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# City of Kansas City, Missouri

## Docket Memo

Ordinance/Resolution #: 250207

Submitted Department/Preparer: City Planning

Revised 6/10/24

Docket memos are required on all ordinances initiated by a Department Director. More information can be found in [Administrative Regulation \(AR\) 4-1](#).

### Executive Summary

Amending the Gashland/Nashua Area Plan by amending the Proposed Land Use Plan and Map for three tracts of land, totaling 16.3 acres generally located north of Missouri Route 152, south of NE Barry Road, east of Missouri Route 152 and west of N. Kensington Avenue by changing the recommended land use designation from “residential low density” to “residential high density.” (CD-CPC-2024-00187)

### Discussion

Monarch Townhomes will be comprised of 29 four-plexes for a total of 116 dwelling units that will sit on just over 16 acres of undeveloped land north of Missouri Route 152 and south of NE Barry Road, commonly known as “Old Barry.” The undeveloped site is comprised of three parcels and forms the general shape of a scalene triangle due to the alignment of 152, constructed in the 1980s. The subject properties are currently zoned R-80 and R-7.5. Neither of these zoning districts permit multi-unit residential structures. The applicant is proposing to rezone the subject properties to R-1.5 to allow for the residential development and proposed density of 7.11 units per acre. The proposed rezoning and density requires that the developer submit an application to amend the Gashland/Nashua Area Plan from Residential Low Density to Residential High Density. The applicant will be required to vacate N. Cleveland Avenue prior to the issuance of any building permits. The applicant has stated they have an interest in vacating NE Barry Road west of N. Cleveland Avenue.

Staff recommends approval for the proposed area plan amendment. On January 15<sup>th</sup>, 2025 the City Plan Commission (CPC) voted 5-0 to approve the area plan amendment.

No public input was sent to staff and no one testified in opposition to the application at the City Plan Commission hearing.

## Fiscal Impact

1. Is this legislation included in the adopted budget? ☐ Yes ☒ No
2. What is the funding source?  
Not applicable, as this is a zoning resolution.
3. How does the legislation affect the current fiscal year?  
Not applicable, as this is a zoning resolution.
4. Does the legislation have a fiscal impact in future fiscal years? Please notate the difference between one-time and recurring costs.  
Not applicable, as this is a zoning resolution.
5. Does the legislation generate revenue, leverage outside funding, or deliver a return on investment?  
Potentially.

### Office of Management and Budget Review

(OMB Staff will complete this section.)

1. This legislation is supported by the general fund. ☐ Yes ☒ No
2. This fund has a structural imbalance. ☐ Yes ☒ No
3. Account string has been verified/confirmed. ☐ Yes ☒ No

### Additional Discussion (if needed)

No account string to verify as this resolution has no direct fiscal impact.

## Citywide Business Plan (CWBP) Impact

1. View the [Adopted 2025-2029 Citywide Business Plan](#)
2. Which CWBP goal is most impacted by this legislation?  
Housing and Healthy Communities (Press tab after selecting.)
3. Which objectives are impacted by this legislation (select all that apply):
  - ☒ Utilize planning approaches in neighborhoods to reduce blight, ensure sustainable housing, and improve resident wellbeing and cultural diversity.

- ☐ Maintain and increase affordable housing supply to meet the demands of a diverse population.
- ☐ Address the various needs of the City's most vulnerable population by working to reduce disparities.
- ☐ Foster an inclusive environment and regional approach to spur innovative solutions to housing challenges.
- ☐ Ensure all residents have safe, accessible, quality housing by reducing barriers.
- ☐ Protect and promote healthy, active amenities such as parks and trails, play spaces, and green spaces.

### Prior Legislation

No prior legislation is associated with the subject property.

### Service Level Impacts

No service level impacts were identified.

### Other Impacts

1. What will be the potential health impacts to any affected groups?  
No potential health impacts were identified.
2. How have those groups been engaged and involved in the development of this ordinance?  
The applicant held the required public engagement on April 16<sup>th</sup>, 2024.
3. How does this legislation contribute to a sustainable Kansas City?  
No information related to the sustainability of this project was submitted to the City.
4. Does this legislation create or preserve new housing units?  
No (Press tab after selecting)

Click or tap here to enter text.

Click or tap here to enter text.

5. Department staff certifies the submission of any application Affirmative Action Plans or Certificates of Compliance, Contractor Utilization Plans (CUPs), and Letters of Intent to Subcontract (LOIs) to CREO prior to, or simultaneously with, the legislation entry request in Legistar.

No - CREO's review is not applicable (Press tab after selecting)

Please provide reasoning why not:

Click or tap here to enter text.

6. Does this legislation seek to approve a contract resulting from an Invitation for Bid?

No(Press tab after selecting)

Click or tap here to enter text.

7. Does this legislation seek to approve a contract resulting from a Request for Proposal/Qualification (RFP/Q)?

No(Press tab after selecting)

**RESOLUTION NO. 2025-03**

**THE PERSHING AND GRAND COMMUNITY IMPROVEMENT DISTRICT**

**RESOLUTION OF THE BOARD OF DIRECTORS (THE "BOARD") OF THE PERSHING AND GRAND COMMUNITY IMPROVEMENT DISTRICT (THE "DISTRICT") NOMINATING A SLATE OF SUCCESSOR DIRECTORS**

WHEREAS, the District, which was formed by Committee Substitute for Ordinance No. 170362 adopted by the City Council of Kansas City, Missouri, is a public body created under the authority of the "Missouri Community Improvement District Act," Section 67.1401, *et seq.*, RSMo, as may be amended (the "Act"); and is transacting business and exercising powers granted by the Act;

WHEREAS, the Petition to establish the District (the "Petition") authorizes the Board to nominate qualified individuals for appointment as Successor Directors in accordance with the qualifications set forth in the Petition;

WHEREAS, the terms of Nathan Guffey, Erin Brower, and Steve Doyal are set to expire in May 2025;

WHEREAS, the Board wishes to nominate for appointment as Successor Directors Nathan Guffey, Erin Brower, and Steve Doyal for four (4) year terms; and

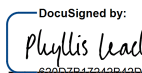
WHEREAS, the Petition authorizes the Board to submit to the Mayor, with the consent of the City Council, a slate of individuals nominated as Successor Directors in accordance with the qualifications set forth in the Petition.


NOW, THEREFORE, BE IT RESOLVED by the Board as follows:

1. The Board nominates Nathan Guffey, Erin Brower, and Steve Doyal for appointment as Successor Directors for four (4) year terms.
2. The District's Legal Counsel is authorized to take all actions necessary to carry out this Resolution;
3. This Resolution shall take effect immediately.

Adopted this 25<sup>th</sup> day of March, 2025.

ATTEST:

DocuSigned by:  
  
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Phyllis Leach, Secretary

DocuSigned by:  
  
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Nathan Guffey, Chairman