



CITY PLAN COMMISSION REPORT

City of Kansas City, Missouri
City Planning & Development Department
www.kcmo.gov/cpc

December 7, 2021

Project Name Crescendo

Docket # Request
11 CD-CPC-2021-00182
Rezoning to UR

Applicant
Lamin Nyang
Taliaferro & Brown
1020 E 8th St Kansas City, MO 64106

Owner
Urban Neighborhood Initiative Inc
2300 Main St, Ste 180
Kansas City, MO 64108

Location 2401-2453 Highland Ave
Area About 2.27 acres
Zoning UR
Council District 3rd
County Jackson
School District KCMO 110

Surrounding Land Uses
North: vacant (UR district)
East: multi-family residential use (UR/R-1.5 district)
West: school/ball fields (R-1.5)
South: residential (R-1.5)

Land Use Plan
The Greater Downtown Area Plan recommends Downtown Mixed Use land uses. The request conforms to this recommendation.

Major Street Plan
No adjacent major street has been identified on the site.

APPROVAL PROCESS



NEIGHBORHOOD AND CIVIC ORGANIZATIONS NOTIFIED

Notice of this case was sent to Wendell Phillips Neighborhood Association and Washington Wheatly Neighborhood Association.

REQUIRED PUBLIC ENGAGEMENT

Public engagement as required by 88-505-12 applies to this request. A public meeting was held on November 22, 2021.

EXISTING CONDITIONS

The subject property spans across the western portion of 2 city blocks. The northern-most lot is located at the northeast corner of E 24th Ter and Highland Ave, and the southern-most lot is located at the southeast corner of E 24th Ter and Highland Ave. The property is currently vacant with an approved tax incentive plan allows this property to be zoned UR.

NEARBY DEVELOPMENTS

North: vacant, wooded land (zoned UR)
East: multi-family residential use
West: Wendell Phillips Elementary and ball fields
South: sparse residential

SUMMARY OF REQUEST

A request to approve a preliminary development plan which also serves as a preliminary plat to create two (2) lots in order to construct thirty-nine (39) residential units in District UR (Urban Redevelopment) on about 2.276 acres generally located on the east side of Highland Avenue in between 24th Street to the north and 25th Street to the south.

KEY POINTS

- Rezoning from UR to UR in order to amend a previously approved plan
- Multi-family residential

PROFESSIONAL STAFF RECOMMENDATION

Docket # Recommendation
11 Approval with conditions

CONTROLLING CASE

Case 11134-URD-3 – Ordinance 990128 was passed by the City Council on March 25, 1999 approving an amendment to a previously approved development plan in District URD (Urban Redevelopment District) on approximately a 30 acre tract of land generally bounded by Paseo Boulevard on the west, a line about 300 feet north of 17th Terrace on the north, a line about 405 feet east of Woodland Avenue on the east and 19th Street on the south.

RELATED RELEVANT CASES

13505-P: The Crossroads East/Jazz District study area is roughly bounded by Truman Road on the north, Brooklyn Avenue on the east, the Kansas City Terminal Railway tracks on the south, and Grand Boulevard on the west.

CD-ROW-2021-00039: A request to vacate an alley located between E. 24th Street to the north, E. 25th Street to the south, Highland Avenue to the west, and Woodland Avenue to the east, to allow for the construction of 39 residential units.

HISTORY

The subject property is located within an existing UR district that must be amended in order to allow for the proposed development on the subject site.

PLAN REVIEW

ANALYSIS

Two lots and 1 tract will be created from the existing parcels spanning 2 city blocks. Lot 1 will be 0.9 acres, Lot 2 will be 1.1 acres, and Tract A will contain a detention pond. The proposed use includes approximately 52,000 square feet of residential space for 39 total units across 10 multi-family buildings, 2 to 3 stories tall. The approximate net density for the site will be 16 units per acre. In addition to the dwelling units, a community center in Building 1 containing 2,600 square feet of office space and 1,000 square feet of amenity space is proposed. Building 1 will also have 2,700 square feet of residential area, and the building will be 32 feet-tall. Buildings 2, 3, 6, 7, 8, and 9 will be 41 feet tall and contain only residential space, as well as Buildings 4, 5, and 10—at 38 feet tall. The entire project is intended to be constructed in 1 phase. The approved UR Plan indicates 25 feet front yard setbacks; however, this development is proposing 15 feet front yard setbacks.

The applicant proposes four vehicular accesses—2 from 24th Ter, 1 from E 24th St, and 1 from E 25th St. The plans show 43 surface parking spaces located on the east side of the proposed residential development, abutting the existing alley. The applicant has submitted an application for vacation of said alley (CD-ROW-2021-00039) that is currently under review by staff. The plan shows pedestrian sidewalks around both the perimeter, and internally through the site, in addition to around the vehicular use areas. The sidewalks will connect the site to the surrounding areas. Fencing is proposed around the entirety of the proposed development: 4 feet tall in the front and 6 feet tall in the rear. Little information is indicated on the plans about the material or how users will enter the site through the gates/fence crossing the vehicular access points.

The applicant has provided street trees along E 24th St, e 24th Ter, and E 25th St. Interior landscaping and landscaping of vehicular use areas are also show on the plan. The landscaping includes a variety of

ornamental trees, medium shade trees, large shade trees, evergreen trees, and shrubs. The interior areas not paved with sidewalk will be sodded.

The proposed outdoor lighting spills over into the public right-of-way and adjacent residential properties. One condition of approval for this project is to submit revised lighting plans to meet 88-430-04-C prior to building permit.

The elevations show materials to be use as roof shingles, colored fiber cement lap siding, and masonry. The architectural design incorporates the Greater Downtown Area Plan Design Guidelines for general character, massing and scale, materials, and windows/transparency. Proposed facades are broken up by using different colored materials, step-backs, and windows.

No signage plan has been submitted for review. Regardless of the concept of the proposed wall sign on the elevations, all future proposed signage shall comply with 88-445 and are subject to sign permits.

Use-Specific (88-300) and Development Standards (88-400)

Standards	Applicability	Meets	More Information
<i>Boulevard and Parkway Standards (88-323)</i>	No	N/A	
<i>Parkland Dedication (88-408)</i>	Yes	Subject to Conditions	The developer will pay fee in lieu as stated by Parks Department.
<i>Parking and Loading Standards (88-420)</i>	Yes	Yes	
<i>Landscape and Screening Standards (88-425)</i>	Yes	Subject to Conditions	Landscaping affidavit required prior to Certificate of Occupancy
<i>Outdoor Lighting Standards (88-430)</i>	Yes	Subject to Conditions	Shall submit revised plans prior to building permit.
<i>Sign Standards (88-445)</i>	N/A	N/A	A sign package was not submitted, but the signs are expected to comply with 88-445 and be permitted separately.
<i>Pedestrian Standards (88-450)</i>	Yes	Yes	

PLAN REVIEW CRITERIA

88-515-08-A. conformance with adopted plans and planning policies;

The plan, as proposed, doesn't comply with the approved UR plan. The approved plan recommends single family housing with 25 ft front yard setbacks. The applicant is proposing 39 residential units across 10 multi-family buildings; therefore, a major amendment to the approved UR plan is required. The subject site is located in the Phase IV-B area of the previously approved UR Plan.

88-515-08-B. zoning and use of nearby property;

The subject site is located in the Wendell Philips neighborhood area and zoned UR. Much of the surrounding properties are vacant or a residential use. Wendell Philips Elementary is across the street to the west of the site. The land is cut to the west by The Paseo and Bruce R Watkins Dr (Hwy 71).

88-515-08-C. physical character of the area in which the subject property is located;

The surrounding land use of this area is mostly a mix of single and multi-family residential. There are many newer housing developments to replace old housing in disrepair; additionally, there are many vacant lots that were once used for residential. The proposed multi-family use is appropriate for this area to increase housing stock and reduce unused land.

88-515-08-D. whether public facilities (infrastructure) and services will be adequate to serve development allowed by the requested zoning map amendment;

Infrastructure and services are expected to be adequate for the development with conditions list in the condition and correction report.

88-515-08-E. suitability of the subject property for the uses to which it has been restricted under the existing zoning regulations;

The subject property is suitable for multi-family housing, considering the surrounding residential uses. The subject site is also across the street from an elementary school, which will make this development potentially appealing to families.

88-515-08-F. length of time the subject property has remained vacant as zoned;

This property has been vacant for a long time, but staff doesn't have specific length of its vacancy.

88-515-08-G. the extent to which approving the rezoning will detrimentally affect nearby properties

The plan is not expected to have a detrimental effect on nearby properties,

88-515-08-H. the gain, if any, to the public health, safety, and welfare due to denial of the application, as compared to the hardship imposed upon the landowner, if any, as a result of denial of the application.**PROFESSIONAL STAFF RECOMMENDATION**

Staff recommends APPROVAL WITH CONDITIONS to the rezoning to UR plan application as stated in the attached Condition Report.

Respectfully submitted,



Xue Wood, AICP
Staff Planner



Plan Conditions, Corrections, & Recommendations Report

Recommended to CPC
Recommended by Development Review Committee

Report Date: December 01, 2021

Case Number: CD-CPC-2021-00182

Project: Crescendo

Plan Corrections

Correction(s) by Land Development Division of the City Planning and Development Department. Contact Stacey Lowe at 816-513-2552 / stacey.lowe@kcmo.org with questions.

1. Preliminary plat sheet does not accurately reflect the proposed property lines taking into account the proposed vacation of the alleyway on the east side of the property. Revise the drawing accordingly and ensure it shows the minimum information required for the preliminary plat. Revise Plat and Resubmit (11/17/2021)

Plan Conditions

Condition(s) by City Planning and Development Department. Contact Stacey Lowe at 816-513-2552 / stacey.lowe@kcmo.org with questions.

2. The developer must secure permits to extend public sanitary and storm water conveyance systems to serve all proposed lots within the development and determine adequacy of receiving systems as required by the Land Development Division, prior to recording the plat or issuance of a building permit whichever occurs first. (10/29/2021)
3. The developer shall submit plans to Land Development Division and obtain permits to construct sidewalks along the platted frontage, as shown on the approved street plans for _____ and to a tie-in point with the existing sidewalks at _____ and construct associated ADA ramps at the proposed entrance drives as necessary for the type of drive approach. (10/29/2021)
4. The developer must submit covenants, conditions and restrictions to the Land Development Division for review by the Law Department for approval for the maintenance of private open space and enter into a covenant agreement for the maintenance of any stormwater detention area tracts, prior to recording the plat. (10/29/2021)
5. After the City Plan Commission enters its disposition for the development plan, the developer shall not enter into any agreement that would encumber or otherwise have any impact on the proposed right-of-way dedications for the planned project without the prior written consent of the Land Development Division. (10/29/2021)
6. The developer must grant a [BMP and/or Surface Drainage Easement] to the City as required by the Land Development Division, prior to recording the plat or issuance of any building permits. (10/29/2021)
7. The owner/developer must submit plans for grading, siltation, and erosion control to Land Development Division for review and acceptance, and secure a Site Disturbance permit for any proposed disturbance area equal to one acre or more prior to beginning any construction activities. (10/29/2021)
8. The developer must obtain the executed and recorded city approved grading, temporary construction, drainage/sewer, or any other necessary easements from the abutting property owner(s) that may be required prior to submitting any public improvements crossing properties not controlled by the developer and include said document(s) within the public improvement applications submitted for permitting (10/29/2021)
9. The developer shall cause the area to be platted and processed in accordance with Chapter 88, Code of Ordinances of the City of Kansas City, Missouri, as amended, commonly known as the Development Regulations. (10/29/2021)
10. The developer shall submit an analysis to verify adequate capacity of the existing sewer system as required by the Land Development Division prior to issuance of a building permit to connect private system to the public sewer main and depending on adequacy of the receiving system, make other improvements may be required. (10/29/2021)

Condition(s) by City Planning and Development Department. Contact Stacey Lowe at 816-513-2552 / stacey.lowe@kcmo.org with questions.

11. The developer must integrate into the existing street light system any relocated existing street lights within the street right-of-way impacted by the new drive or approach entrances as required by the Land Development Division, and the relocated lights must comply with all adopted lighting standards. (10/29/2021)
12. The developer shall submit a Storm Drainage analysis from a Missouri-licensed civil engineer to the Land Development Division evaluating proposed improvements and impact to drainage conditions. Since this project is within a "Combined Sewer Overflow" (CSO) district, the project shall be designed to retain rainfall of 1.5 inch depth over the entire site to simulate natural runoff conditions and reduce small storm discharge to the combined sewer system. Manage the 10-year storm and 100-year storm per currently adopted APWA standards. The analysis shall be submitted, and the developer shall secure permits to construct any improvements required by the Land Development Division prior to recording the plat. (10/29/2021)
13. The developer must subordinate to the City all private interest in the area of any right-of-way dedication, in accordance with Chapter 88 and as required by the Land Development Division, prior to issuance of any construction permits within said right-of-way, and that the owner/developer shall be responsible for all costs associated with subordination activities now and in the future. (10/29/2021)
14. That the south half of 24th Street shall be improved to City standards as required by Chapter 88, to current standards, including curbs and gutters, sidewalks, street lights, relocating any utilities as may be necessary and adjusting vertical grades for the road, etc., and obtaining required permit from Land Development Division for said improvement prior to recording the plat or prior to issuance of a Building Permit, whichever occurs first. (10/29/2021)
15. The developer shall submit verification of vertical and horizontal sight distance for the drive connection to public right-of-way to the Land Development Division and make improvements to ensure local jurisdiction and/or minimum AASHTO adequate sight distance standards are met, prior to issuance of any certificate of occupancy. (10/29/2021)
16. That the north half of 25th Street shall be improved to City standards as required by Chapter 88, to current standards, including curbs and gutters, sidewalks, street lights, relocating any utilities as may be necessary and adjusting vertical grades for the road, etc., and obtaining required permit from Land Development Division for said improvement prior to recording the plat or prior to issuance of a Building Permit, whichever occurs first. (10/29/2021)
17. That the east half of Highland Avenue shall be improved to City standards as required by Chapter 88, to current standards, including curbs and gutters, sidewalks, street lights, relocating any utilities as may be necessary and adjusting vertical grades for the road, etc., and obtaining required permit from Land Development Division for said improvement prior to recording the plat or prior to issuance of a Building Permit, whichever occurs first. (10/29/2021)
18. That the full width of 24th Terrace shall be improved to City standards as required by Chapter 88, to current standards, including curbs and gutters, sidewalks, street lights, relocating any utilities as may be necessary and adjusting vertical grades for the road, etc., and obtaining required permit from Land Development Division for said improvement prior to recording the plat or prior to issuance of a Building Permit, whichever occurs first. (10/29/2021)
19. The developer must petition for the vacation of the existing alleyway as shown on the development plan on the east side of the property and relocate sewers as required by the Departments of Water Services, the Land Development Division, and Development Services prior to recording of the final plat. (11/17/2021)

Condition(s) by City Planning and Development Department. Contact Xue Wood at 816-513-8823 / Xue.Wood@kcmo.org with questions.

20. The developer shall submit an affidavit, completed by a landscape architect licensed in the State of Missouri, verifying that street trees have been installed in accordance with the approved street tree planting plan and are healthy prior to Certificate of Occupancy. (10/27/2021)
21. The developer shall secure approval of a final development plan from Development Management Division staff prior to building permit. (10/27/2021)
22. That the developer shall submit an affidavit, prepared by an engineer licensed in the State of Missouri, verifying that all outdoor lighting has been installed in accordance with approved plans and that lighting levels do not exceed that shown on the approved lighting plan at the property lines prior to Certificate of Occupancy. (10/27/2021)

Condition(s) by City Planning and Development Department. Contact Xue Wood at 816-513-8823 / Xue.Wood@kcmo.org with questions.

23. The required street vacation application shall be approved prior to issuance of building permit. (10/27/2021)
24. The developer shall submit an affidavit, completed by a landscape architect licensed in the State of Missouri, verifying that all landscaping required of the approved plan has been installed in accordance with the plan and is healthy prior to Certificate of Occupancy. (10/27/2021)
25. That all signage shall conform to 88-445 and shall require a sign permit prior to installation. (10/27/2021)
26. Revise the outdoor lighting plan to conform to 88-430 prior to building permit. (11/15/2021)
27. The parking requirement on Sheet C001 shall be updated to reflect the proposed office use prior to request for ordinance. (11/15/2021)
28. The proposed fence shall not exceed 4 feet in the front and street side yard and 6 feet for the rear and interior side yard. (11/23/2021)

Condition(s) by Fire Department. Contact Michael Schroeder at 816-513-4611 / michael.schroeder@kcmo.org with questions.

29. The expectation is the project will meet the fire flow requirements as set forth in Appendix B of the International Fire Code 2018. (IFC-2018 § 507.1) (10/27/2021)
30. Buildings equipped with a fire standpipe system shall have an operable fire hydrant within 100 feet of the Fire Department Connection (FDC). (IFC2018 § 507.5.1.1) (10/27/2021)
31. Fire hydrant distribution shall follow IFC-2018 Table C102.1 (10/27/2021)

Condition(s) by Parks & Recreation. Contact Justin Peterson at 816-513-7599 / Justin.Peterson@kcmo.org with questions.

32. The developer shall submit a streetscape plan with street tree planting plan per 88-425-03 for approval and permitting by the Parks & Recreation Department's Forestry Division prior to beginning work in the public right-of-way (10/27/2021)
33. With the developer proposing to provide payment in lieu of parkland dedication per plans, said payment equates to \$22,839.04. Fee shall be due prior to Certificate of Occupancy.
 $(39 \text{ units}) \times (2.0) \times (0.006) \times (\$48,801.37) = \text{Fee.}$ (10/27/2021)
34. The developer is responsible for dedication of parkland, private open space in lieu of parkland, or payment of cash-in-lieu of either form of dedication, or any combination thereof in accordance with 88-408. Should the developer choose to pay cash-in-lieu of dedicating all or a portion of the required area, the amount due shall be based upon the (2021) acquisition rate of (\$48,801.37) per acre. This requirement shall be satisfied prior to certificate of occupancy. (10/27/2021)

Condition(s) by Water Services Department. Contact Heather Massey at / heather.massey@kcmo.org with questions.

35. The developer shall ensure that water and fire service lines should meet current Water Services Department Rules and Regulations.
<https://www.kcwater.us/wp-content/uploads/2019/04/2018-Rules-and-Regulations-for-Water-Service-Lines.pdf>
(10/25/2021)
36. The developer shall have a water flow test done to ensure there is adequate water pressure to serve the development.
South of River contact –Sean Allen -816-513-0318
North of River contact Dan Richardson – 816-513-4883 (10/25/2021)

Condition(s) by Water Services Department. Contact Jerald Windsor at 816-513-2904 / Jerald.Windsor@kcmo.org with questions.

37. The developer must submit Fire Hydrant installation plans meeting the 300' maximum spacing along the adjacent public roadways. Plans shall be prepared by a registered professional Engineer in Missouri. They shall be submitted to the water main extension desk for review, acceptance and contracts per the KC Water Rules and Regulations for Water main extensions and Relocations.
<https://www.kcwater.us/wp-content/uploads/2019/04/2018-Rules-and-Regulations-for-Water-Main-Extensions.pdf>
(10/25/2021)
38. The developer shall submit an analysis by a registered Professional Engineer in Missouri to verify adequate capacity of the existing water mains and verify fire flow capacity prior to the issuance of new water service permits. Depending on adequacy of the existing water mains systems, making other improvements may be required. (10/25/2021)



CITY PLANNING & DEVELOPMENT

Public Meeting Summary Form

Project Case # CD-CPC-2021-00182

Meeting Date: 11/22/2021

Meeting Location: Virtual: <https://global.gotomeeting.com/join/406056773>

Meeting Time (include start and end time): Start: 6:00pm CT; End: 6:46pm CT

Additional Comments (optional):

The development team (UNI and Brinshore) presented the project plans and took questions from the neighborhood.

Meeting Sign-In Sheet

Project Name and Address

Crescendo; 24-25th and Highland Avenue, Kansas City, MO 64108

Crescendo; 24-25th and Highland Avenue, Kansas City, MO 64108

Name	Address	Phone	Email
Abby Judah			
Pat Jordan			
Tarold David Sr			
John P James			
Kevin Holoman			
Henry E. Lyons			
Shontrice Patillo			
Daniel Edwards			
Ardonyalasha Johnson			
Aakanhcha Raj -- Urban Neighborhood Initiative			
Jamee Rodgers -- Urban Neighborhood Initiative			
Shalaunda Holmes -- Urban Neighborhood Initiative			
Dianne Cleaver - Urban Neighborhood Initiative			
Edward English -- Rosemann & Associates			
Todd Lieberman -- Brinshore Development			
Kathleen Bole -- Brinshore Development			

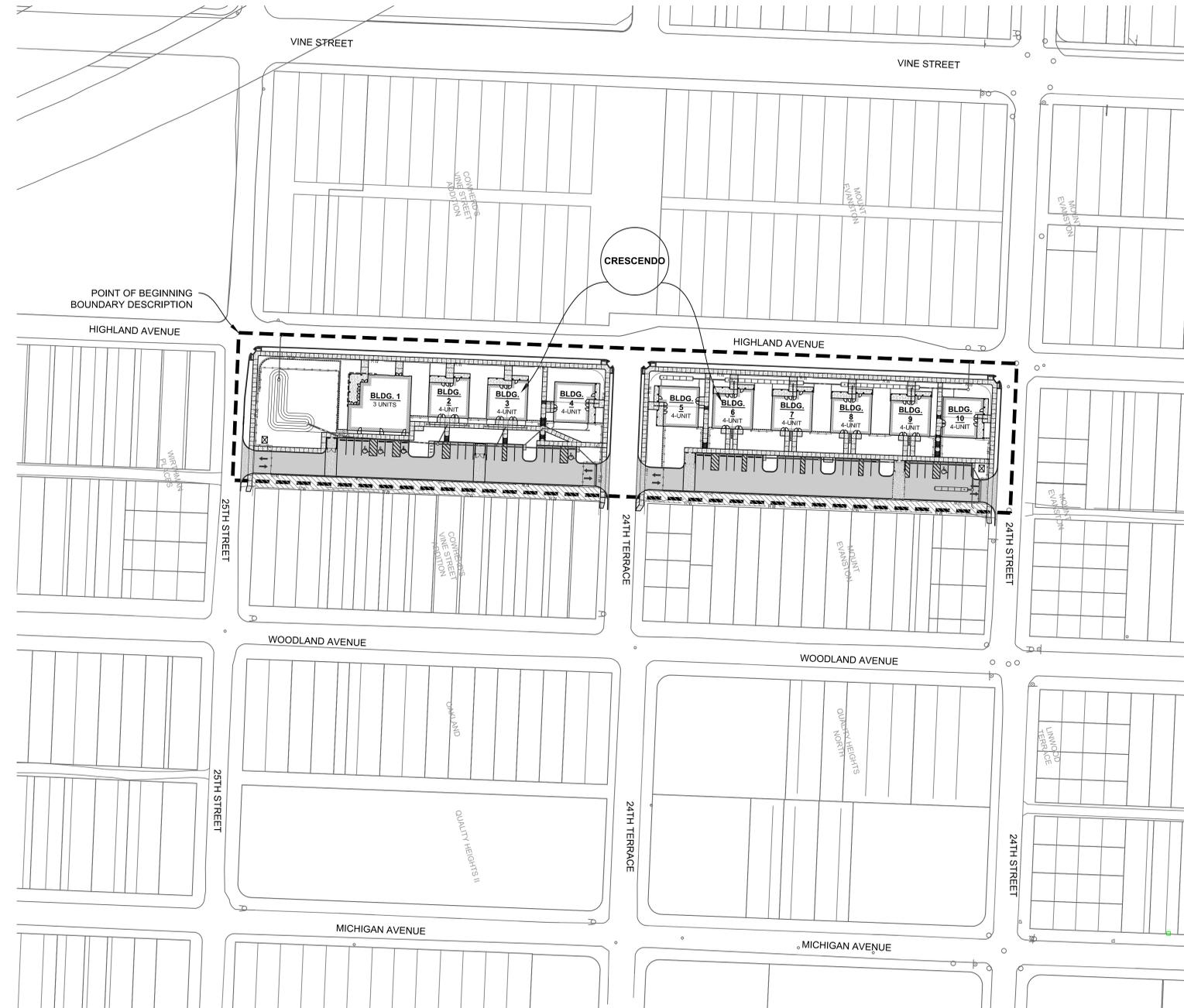
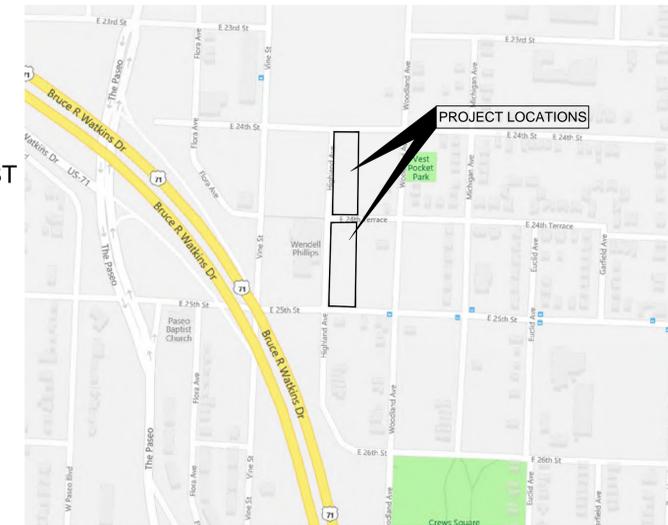
SHEET LIST:

- C001 COVER SHEET
- C002 EXISTING CONDITIONS
- C003 PROPOSED SITE PLAN
- C004 PROPOSED UTILITY PLAN
- C005 PROPOSED GRADING PLAN
- C006 PRELIMINARY PLAT
- L100 LANDSCAPE SITE PLAN
- E001 SITE PHOTOMETRIC LIGHTING PLAN
- E002 EXTERIOR LIGHT FIXTURES DETAILS
- A-200P EXTERIOR ELEVATIONS 1
- A-201P EXTERIOR ELEVATIONS 2
- A-202P EXTERIOR ELEVATIONS 3

CRESCENDO

UR DISTRICT REZONING PLAN AMENDMENT, PRELIMINARY PLAT & FINAL DEVELOPMENT PLAN

A RESIDENTIAL SUBDIVISION SECTION 09 TOWNSHIP 49 NORTH, RANGE 33 WEST
OF THE FIFTH PRINCIPAL MERIDIAN
IN KANSAS CITY, JACKSON COUNTY, MISSOURI



PROPERTY DESCRIPTION:

COWHERDS VINE STREET ADDITION LOTS 31-45 TOGETHER WITH: MOUNT EVANSTON LOTS 16-30

TABLE 1 - SITE DATA

Site Data	Existing	Proposed	Deviation Requested	Approved
Zoning	UR	UR	No	
Gross Land Area				
in square feet	99,144	99,144	No	
in acres	2,276	2,276	No	
Right-of-way Dedication	0	0	No	
in square feet	0.00	0.00	No	
in acres	0.00	0.00	No	
Right-of-way Vacation	0	5,049	No	
in square feet	0.00	0.116	No	
in acres	0.00	0.116	No	
Net Land Area				
in square feet	99,144	104,193	No	
in acres	2,276	2,392	No	
Building Area (sq. ft.)	0	52,456	No	
Floor Area Ratio	0.00	0.50	No	
Residential Use Info				
Total Dwelling Units	0	39	No	
Detached House	0	0	No	
Zero Lot Line House	0	0	No	
Cottage House	0	0	No	
Semi-attached House	0	0	No	
Two-unit House	0	0	No	
Multi-unit House	0	0	No	
Multiplex	0	0	No	
Multi-unit Building	0	39	No	
Total Lots	30	2	No	
Residential	30	2	No	
Public/Civic	0	0	No	
Commercial	0	0	No	
Industrial	0	0	No	
Other	0	0	No	

TABLE 2 - BUILDING DATA

Building Data	Existing	Proposed	Deviation Requested	Approved
Rear Setback	25 ft	0 ft	No	
Front Setback	25 ft	0 ft	No	
Side Setback	0 ft	0 ft	No	
Side Setback (abutting street)	0 ft	0 ft	No	
Height	Building 1 - Community Center	32 ft - 2 in	No	
	Building 2, 3, 6, 7, 8, 9	41 ft - 8 in	No	
	Building 4, 5, 10	38 ft - 5 in	No	
		Building Height: 32'-2", 41'-8", 38'-6"		

TABLE 4 - PARKING

Building Data	Vehicle Spaces Required	Proposed	Bike Spaces Required	Proposed	Alternatives Proposed (See 88-420-16-H)
Proposed Use(s)					
Residential	39	43	4	4	NONE
Short Term Bicycle	0	0	0	0	
Long Term Bicycle	0	0	0	0	
Total	39	43	4	4	

NOTE:
- 43 SPACES ALLOCATED FOR SHARED PUBLIC / UNIT PARKING
- 39 UNIT PARKING

TABLE 5 - OTHER DEVELOPMENT STANDARDS

88-425 OTHER DEVELOPMENT STANDARDS	Developer to provide payment in-lieu.
88-408 Parkland Dedication	Developer to provide payment in-lieu.
88-415 Stream Buffers	Not Applicable
88-430 Outdoor Lighting	See Outdoor Lighting Plan
88-435 Outdoor Display, Storage, and Work Areas	Not Applicable
88-445 Signs	Storage comply with 88-445.
88-450 Pedestrian Standards	On site meets 88-450 criteria.

DEVELOPMENT SUMMARY TABLE

Name	Use	Above Grade	No. Floors	No.	Usage	Area (sf)	Total Units	Spaces	Area (sf)
CRESCENDO Building 1	Office/ Amenity Space	899'-8"	2	1	Office Space	2,637	-	4	6,421
				2	Amenity Space	1,080	-	3	
CRESCENDO Building 2, 3, 6, 7, 8, 9	Dwelling	896' - 910'	3	1	Residential	2,704	3	3	
				2	Amenity	1,745	24	24	30,690
				3	Residential	1,685			
CRESCENDO Building 4, 5, 10	Dwelling	891' - 911'	3	1	Residential	1,685	12	12	15,345
				2	Amenity	1,685			
				3	Residential	1,685			
Totals:						39	43	52,456	

- Height above grade is measured from 1st floor elevation to top of roof.
- Total Area (sf) per zoning requirements.
- Building Coverage = 18,422 SF

DENSITY

- GROSS DENSITY: 17.1 UNITS / ACRE (BASED ON TOTAL LAND AREA)
- NET DENSITY: 16.3 UNITS / ACRE (BASED ON NET PROPOSED LAND AREA)

PROJECT TIMELINE:

CONSTRUCTION START: SPRING 2022
CONSTRUCTION END: SPRING 2023
THE PROJECT WILL BE CONSTRUCTED IN ONE PHASE

PROPERTY DESCRIPTION:

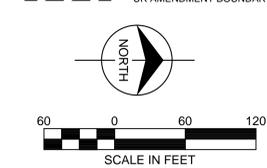
LOT 1:
ALL THAT PART OF LOTS 31 THROUGH 45, INCLUSIVE, COWHERD'S VINE STREET ADDITION, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI, DESCRIBED AS FOLLOWS, BEGINNING AT THE SOUTH EAST CORNER OF SAID LOT 45; THENCE N87°17'28"W, ALONG THE SOUTH LINE OF SAID LOT 45 AND THE NORTH RIGHT-OF-WAY LINE OF EAST 25TH STREET, 49.33 FEET; THENCE N02°12'58"E, 89.51 FEET; THENCE N87°43'09"W, 81.10 FEET, TO THE WEST LINE OF LOT 42, SAID SUBDIVISION AND THE EAST RIGHT-OF-WAY LINE OF HIGHLAND AVENUE; THENCE N02°16'32"E, ALONG SAID EAST RIGHT-OF-WAY LINE, 275.42 FEET; THENCE IN A NORTHEASTERLY DIRECTION ON A CURVE TO THE RIGHT, WITH A RADIUS OF 15.00 FEET, THROUGH A CENTRAL ANGLE OF 90°06'32", AN ARC DISTANCE OF 23.59 FEET, TO THE NORTH LINE OF SAID LOT 31 AND THE SOUTH LINE OF EAST 24TH TERRACE; THENCE S87°36'56"E, ALONG SAID SOUTH RIGHT-OF-WAY LINE, 115.55 FEET, TO THE NORTHEAST CORNER OF SAID LOT 31; THENCE S02°17'01"W, ALONG THE EAST LINE OF SAID LOTS AND THE WEST LINE OF A 14.00 FOOT-WIDE ALLEY, 380.09 FEET TO THE POINT OF BEGINNING, CONTAINING 42,285 SQUARE FEET OR 0.971 ACRES.

LOT 2:
ALL THAT PART OF LOTS 16 THROUGH 30, INCLUSIVE, MOUNT EVANSTON, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI, DESCRIBED AS FOLLOWS, BEGINNING AT THE SOUTH EAST CORNER OF SAID LOT 16; THENCE N87°38'56"W, ALONG THE SOUTH LINE OF SAID LOT 16 AND THE NORTH RIGHT-OF-WAY LINE OF EAST 24TH TERRACE, 116.61 FEET; THENCE IN A NORTHWESTERLY DIRECTION ON A CURVE TO THE RIGHT, WITH A RADIUS OF 15.00 FEET, THROUGH A CENTRAL ANGLE OF 90°20'30", AN ARC DISTANCE OF 23.65 FEET, TO THE NORTH LINE OF SAID LOT 30 AND THE SOUTH LINE OF EAST 24TH STREET; THENCE S87°22'58"E, ALONG SAID SOUTH RIGHT-OF-WAY LINE, 116.55 FEET, TO THE NORTHEAST CORNER OF SAID LOT 30; THENCE S02°17'01"W, ALONG THE EAST LINE OF SAID LOTS AND THE WEST LINE OF A 14.00 FOOT-WIDE ALLEY, 374.17 FEET TO THE POINT OF BEGINNING, CONTAINING 49,182 SQUARE FEET OR 1.129 ACRES.

TRACT A:
ALL THAT PART OF LOTS 42 THROUGH 45, INCLUSIVE, COWHERD'S VINE STREET ADDITION, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI, DESCRIBED AS FOLLOWS, BEGINNING AT THE SOUTH EAST CORNER OF SAID LOT 45; THENCE N87°17'28"W, ALONG THE SOUTH LINE OF SAID LOT 45 AND THE NORTH RIGHT-OF-WAY LINE OF EAST 25TH STREET, 49.33 FEET, TO THE POINT OF BEGINNING; THENCE N87°17'28"W, CONTINUING ALONG THE SOUTH LINE OF SAID LOT 45 AND THE NORTH RIGHT-OF-WAY LINE OF EAST 25TH STREET 86.31 FEET; THENCE IN A NORTHWESTERLY DIRECTION ON A CURVE TO THE RIGHT, WITH A RADIUS OF 15.00 FEET, THROUGH A CENTRAL ANGLE OF 89°33'59", AN ARC DISTANCE OF 23.45 FEET, TO THE WEST LINE OF SAID LOT 45 AND THE EAST LINE OF HIGHLAND AVENUE; THENCE N02°16'32"E, ALONG SAID EAST RIGHT-OF-WAY LINE, 74.02 FEET; THENCE S87°43'09"E, 81.10 FEET; THENCE S02°12'58"W, 89.51 FEET TO THE POINT OF BEGINNING, CONTAINING 7,192 SQUARE FEET OR 0.165 ACRES.

LOCATION MAP

UR AMENDMENT BOUNDARY

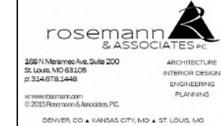


PAYMENT IN LIEU OF LAND DEDICATION: THE DEVELOPER ELECTS TO PAY THE CITY OF KANSAS CITY, MISSOURI, A SUM OF \$18,540.99 IN LIEU OF REQUIRED PARKLAND DEDICATION FOR 39 RESIDENTIAL UNITS PURSUANT TO SECTION 88-408-C OF THE ZONING AND DEVELOPMENT CODE.

PROJECT DESIGN FOR CRESCENDO SHALL GENERALLY COMPLY WITH THE GREATER DOWNTOWN AREA PLAN. SIGNAGE SHALL COMPLY WITH 88-445. LANDSCAPE SHALL COMPLY WITH 88-425. EXTERIOR LIGHTING SHALL COMPLY WITH 88-430.

BRINSHORE DEVELOPMENT, LLC
222 W. GREGORY BLVD, SUITE 323
KANSAS CITY, MISSOURI 64114
T 847-562-9400

CIVIL ENGINEER:
TALIAFERRO & BROWNE, INC.
1020 E. 8th STREET
KANSAS CITY, MO 64108
T 816-283-3456
F 816-283-0810



CRESCENDO
25th Street and Highland Ave
Kansas City, MO 64108

GENERAL DRAWINGS SCALE TO 3/4" = 1'-0"
PRINCIPAL IN CHARGE: ---
PROJECT MANAGER: --- PROJECT ARCHITECT: ---
PROJECT TEAM MEMBERS: ---

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES, OR IMPLEMENTATION.

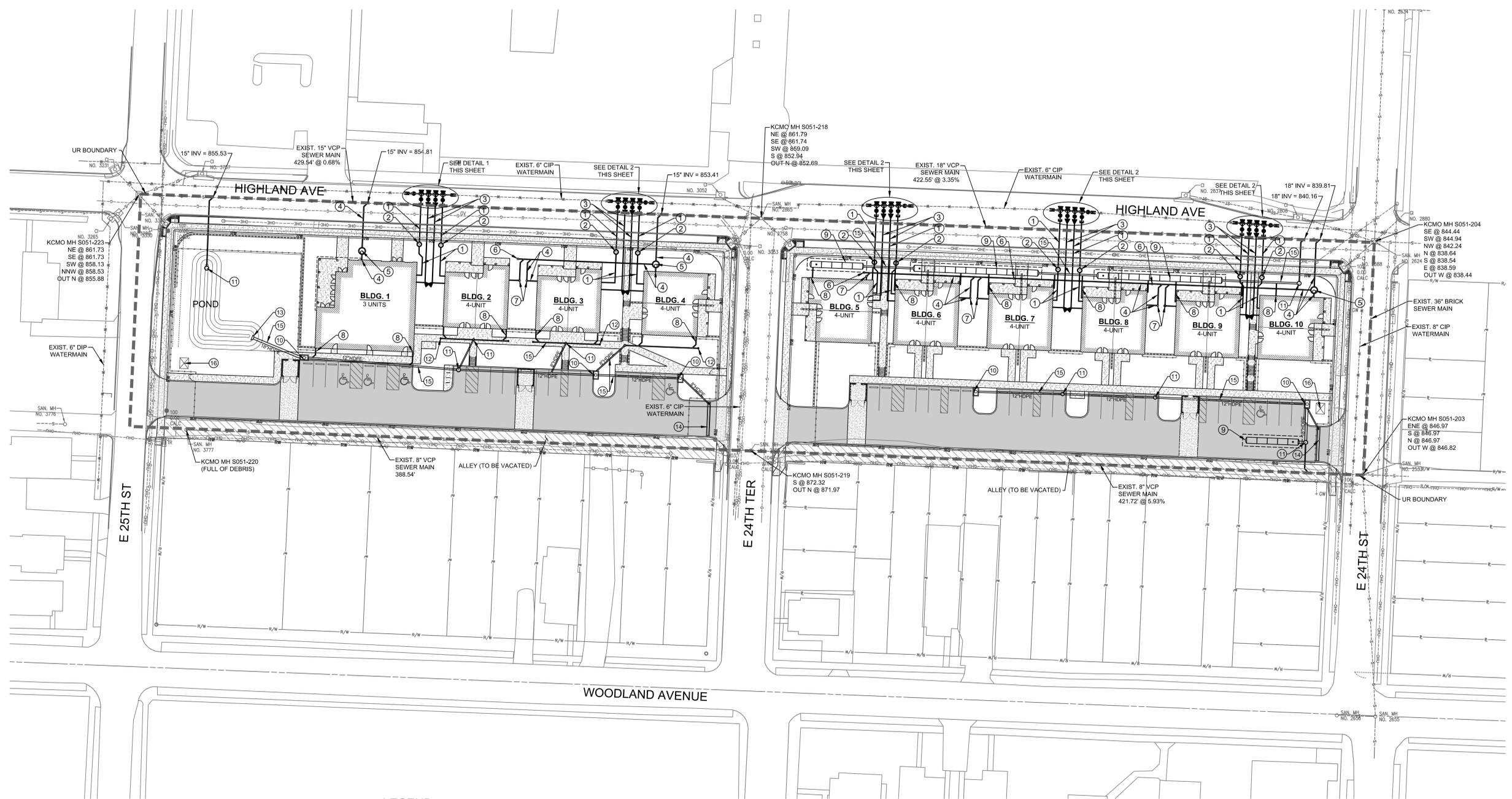
KEY PLAN:

1 REZONING PLANS 2019.11.22

COVER SHEET

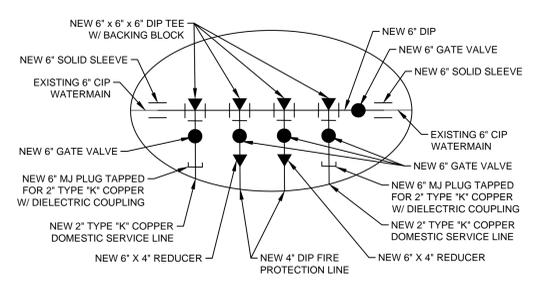
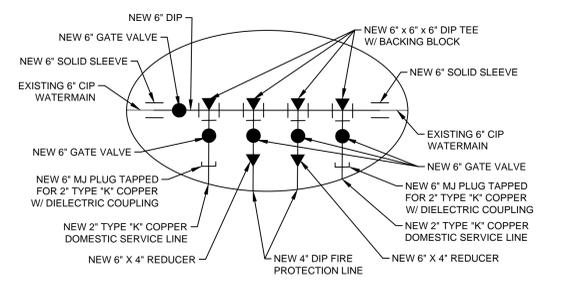
C001

Printed 11/10/2021



LEGEND

- ① PROPOSED 2" TYPE "K" COPPER DOMESTIC WATER SERVICE LINE (TYP.)
- ② PROPOSED 2" WATER METER PER KCMO STD. DWG. 6207 (TYP.)
- ③ PROPOSED 4" DIP FIRE PROTECTION LINE (TYP.)
- ④ PROPOSED 6" SDR-26 PVC SANITARY SEWER SERVICE (TYP.)
- ⑤ PROPOSED 4" DIA. KCMO TYPE MH-1 SAMPLING MANHOLE (TYP.)
- ⑥ 6" SANITARY SEWER CLEANOUT (TYP.)
- ⑦ PROPOSED 6" SANITARY SAMPLING PORT (TYP.)
- ⑧ PROPOSED ROOFDRAIN PIPE (TYP.)
- ⑨ PROPOSED UNDERGROUND STORM WATER DETENTION SYSTEM
- ⑩ KCMO CURB INLET TYPE CI-1 (TYP.)
- ⑪ PROPOSED NYLOPLAST DRAIN BASIN
- ⑫ 6" STORM CLEANOUT (TYP.)
- ⑬ HDPE PIPE END SECTION
- ⑭ PROPOSED TRENCH DRAIN
- ⑮ PROPOSED HDPE STORM PIPE (TYP.)
- ⑯ PROPOSED TRANSFORMER LOCATION



UNDERGROUND DETENTION SYSTEM

1. UNDERGROUND DETENTION SYSTEMS WEST OF BUILDINGS SHALL BE ADS STORMTECH MC-3500 OR EQUAL WITH 9" AGGREGATE AT TOP AND BOTTOM OF CHAMBERS. APPROXIMATELY 5016 CF FOR SOUTH SITE AND 5658 CF FOR NORTH SITE.

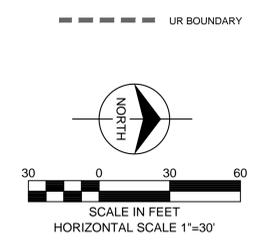
2. UNDERGROUND DETENTION SYSTEMS UNDER PARKING LOT SHALL BE 42" HDPE PIPE WITH WATER-TIGHT JOINT OR EQUAL. APPROXIMATELY 1174 CF FOR SOUTH SITE AND 532 CF FOR NORTH SITE.

NO OFF-SITE EASEMENT IS NEEDED FOR PROPOSED PRIVATE OR PUBLIC IMPROVEMENTS.

NO PROPOSED PUBLIC WATERLINE, STORM OR SANITARY SEWER ON SITE.

NO PROPOSED SEWER EXTENSION, RELOCATION OR ABANDONMENT ON SITE.

ALL PROPOSED SERVICE CONNECTIONS FOR WATER SERVICE AND SANITARY SEWER SERVICE ARE PRIVATE IMPROVEMENT.

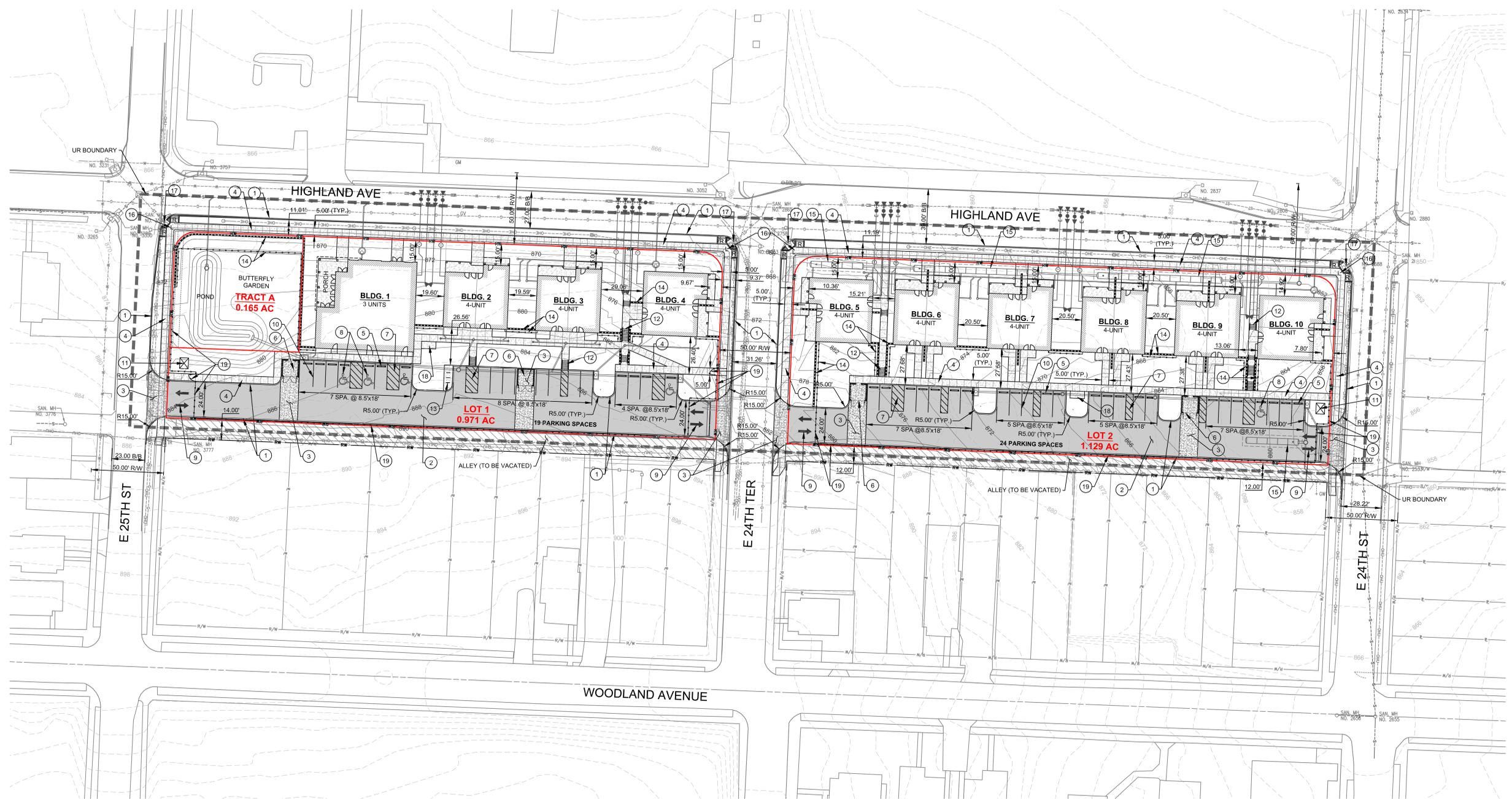




UR BOUNDARY



SCALE IN FEET
 HORIZONTAL SCALE 1"=30'



PROPERTY DESCRIPTION:

LOT 1:
 ALL THAT PART OF LOTS 31 THROUGH 45, INCLUSIVE, COWHERD'S VINE STREET ADDITION, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI, DESCRIBED AS FOLLOWS, BEGINNING AT THE SOUTH EAST CORNER OF SAID LOT 45, THENCE N87°17'26"W, ALONG THE SOUTH LINE OF SAID LOT 45 AND THE NORTH RIGHT-OF-WAY LINE OF EAST 25TH STREET, 49.33 FEET; THENCE N02°12'58"E, 89.51 FEET; THENCE N87°43'09"W, 81.10 FEET; TO THE WEST LINE OF LOT 42, SAID SUBDIVISION AND THE EAST RIGHT-OF-WAY LINE OF HIGHLAND AVENUE; THENCE N02°16'32"E, ALONG SAID EAST RIGHT-OF-WAY LINE, 275.42 FEET; THENCE IN A NORTHEASTERLY DIRECTION ON A CURVE TO THE RIGHT, WITH A RADIUS OF 15.00 FEET, THROUGH A CENTRAL ANGLE OF 80°06'32", AN ARC DISTANCE OF 23.59 FEET, TO THE NORTH LINE OF SAID LOT 31 AND THE SOUTH LINE OF SAID LOT 16 AND THE EAST LINE OF SAID LOT 16 AND THE EAST LINE OF HIGHLAND AVENUE; THENCE S87°36'56"E, ALONG SAID SOUTH RIGHT-OF-WAY LINE, 115.55 FEET, TO THE NORTHEAST CORNER OF SAID LOT 31; THENCE S02°17'01"W, ALONG THE EAST LINE OF SAID LOTS AND THE WEST LINE OF A 14.00 FOOT-WIDE ALLEY, 380.09 FEET TO THE POINT OF BEGINNING, CONTAINING 42,285 SQUARE FEET OR 0.971 ACRES.

LOT 2:
 ALL THAT PART OF LOTS 16 THROUGH 30, INCLUSIVE, BLOCK 2, MOUNT EVANSTON, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI, DESCRIBED AS FOLLOWS, BEGINNING AT THE SOUTH EAST CORNER OF SAID LOT 16, THENCE N87°36'56"W, ALONG THE SOUTH LINE OF SAID LOT 16 AND THE NORTH RIGHT-OF-WAY LINE OF EAST 24TH TERRACE, 116.61 FEET; THENCE IN A NORTHWESTERLY DIRECTION ON A CURVE TO THE RIGHT, WITH A RADIUS OF 15.00 FEET, THROUGH A CENTRAL ANGLE OF 89°53'28", AN ARC DISTANCE OF 23.53 FEET, TO THE WEST LINE OF SAID LOT 16 AND THE EAST LINE OF HIGHLAND AVENUE; THENCE N02°16'32"E, ALONG SAID EAST RIGHT-OF-WAY LINE, 344.65 FEET; THENCE IN A NORTHEASTERLY DIRECTION ON A CURVE TO THE RIGHT, WITH A RADIUS OF 15.00 FEET, THROUGH A CENTRAL ANGLE OF 80°20'30", AN ARC DISTANCE OF 23.65 FEET, TO THE NORTH LINE OF SAID LOT 30 AND THE SOUTH LINE OF EAST 24TH STREET; THENCE S87°22'59"E, ALONG SAID SOUTH RIGHT-OF-WAY LINE, 115.55 FEET, TO THE NORTHEAST CORNER OF SAID LOT 30; THENCE S02°17'01"W, ALONG THE EAST LINE OF SAID LOTS AND THE WEST LINE OF A 14.00 FOOT-WIDE ALLEY, 374.17 FEET TO THE POINT OF BEGINNING, CONTAINING 49,182 SQUARE FEET OR 1.129 ACRES.

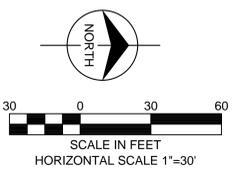
TRACT A:
 ALL THAT PART OF LOTS 42 THROUGH 45, INCLUSIVE, COWHERD'S VINE STREET ADDITION, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI, DESCRIBED AS FOLLOWS, COMMENCING AT THE SOUTH EAST CORNER OF SAID LOT 45, THENCE N87°17'26"W, ALONG THE SOUTH LINE OF SAID LOT 45 AND THE NORTH RIGHT-OF-WAY LINE OF EAST 25TH STREET, 49.33 FEET; TO THE POINT OF BEGINNING, THENCE N87°17'26"W, CONTINUING ALONG THE SOUTH LINE OF SAID LOT 45 AND THE NORTH RIGHT-OF-WAY LINE OF EAST 25TH STREET 66.31 FEET; THENCE IN A NORTHWESTERLY DIRECTION ON A CURVE TO THE RIGHT, WITH A RADIUS OF 15.00 FEET, THROUGH A CENTRAL ANGLE OF 89°33'59", AN ARC DISTANCE OF 23.45 FEET, TO THE WEST LINE OF SAID LOT 45 AND THE EAST LINE OF HIGHLAND AVENUE; THENCE N02°16'32"E, ALONG SAID EAST RIGHT-OF-WAY LINE, 74.02 FEET; THENCE S87°43'09"E, 81.10 FEET; THENCE S02°12'58"W, 89.51 FEET TO THE POINT OF BEGINNING, CONTAINING 7,192 SQUARE FEET OR 0.165 ACRES.

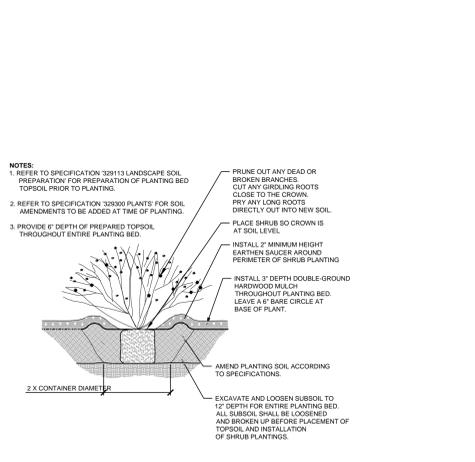
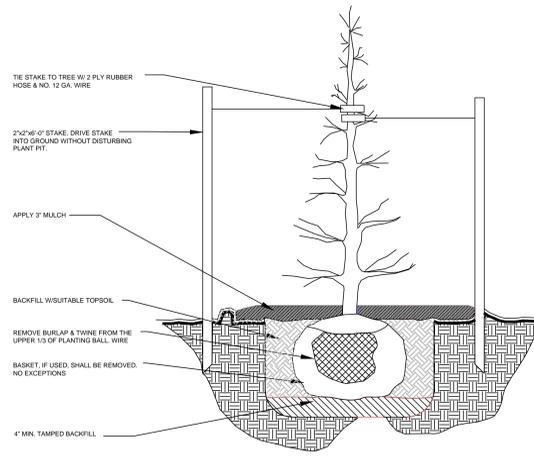
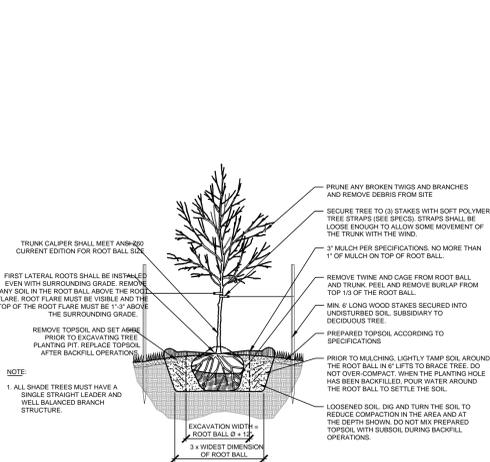
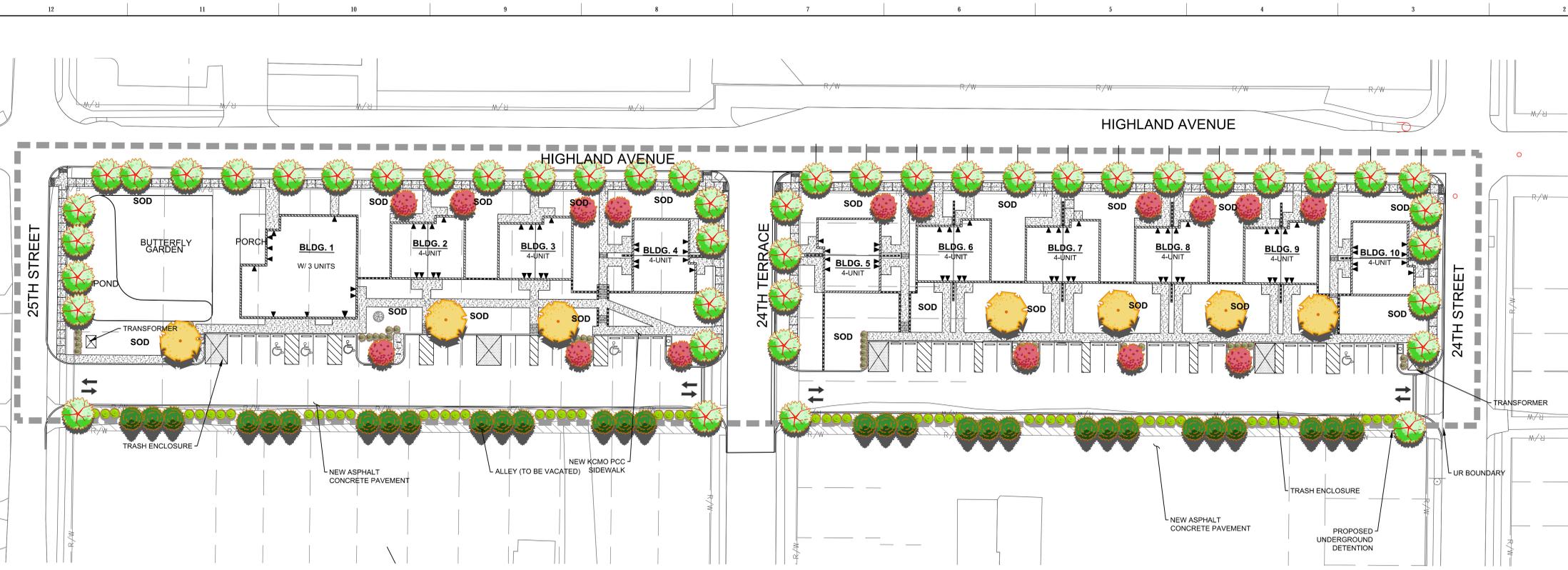
LEGEND:

- ① PROPOSED KCMO TYPE C-1 CURB (TYP.)
- ② PROPOSED ASPHALT PAVEMENT
- ③ KCMO STD. D-2 TYPE VI COMM. DRIVEWAY, 8" CONCRETE PAVEMENT ON AGGREGATE BASE
- ④ PROPOSED KCMO TYPE SW-1 4" PCC SIDEWALK (TYP.)
- ⑤ CONCRETE WHEELSTOP (TYP.)
- ⑥ PROPOSED TRASH ENCLOSURE LOCATION
- ⑦ 4" PAINTED STRIPING WHITE @ 3.00' O.C. (TYP.)
- ⑧ PROPOSED ADA PARKING W/ PAVEMENT MARKING AND SIGNAGE (TYP.)
- ⑨ PAINTED DIRECTIONAL ARROW PER MUTCD (TYP.)
- ⑩ PAINTED 4" WIDE STRIPING WHITE (TYP.)
- ⑪ PROPOSED TRANSFORMER LOCATION
- ⑫ PROPOSED STAIRS W/ HANDRAILS (TYP.)
- ⑬ PROPOSED BIKE RACK LOCATION
- ⑭ PROPOSED MSE RETAINING WALL W/ FENCE (TYP.)
- ⑮ PROPOSED UNDERGROUND STORMWATER DETENTION SYSTEM
- ⑯ PROPOSED ADA RAMPS
- ⑰ EXISTING CURB INLET TO REMAIN
- ⑱ PROPOSED 10' x 5' MAILBOX PAD
- ⑲ PROPOSED FENCE AND YELP GATE (TYP.)

LEGEND:

- ② ASPHALT PAVEMENT
- ③ CONCRETE PAVEMENT
- ④ SIDEWALK PAVEMENT
- KCMO TYPE C-1 CURB
- RETAINING WALL
- ALLEY TO BE VACATED
- UR AMENDMENT BOUNDARY

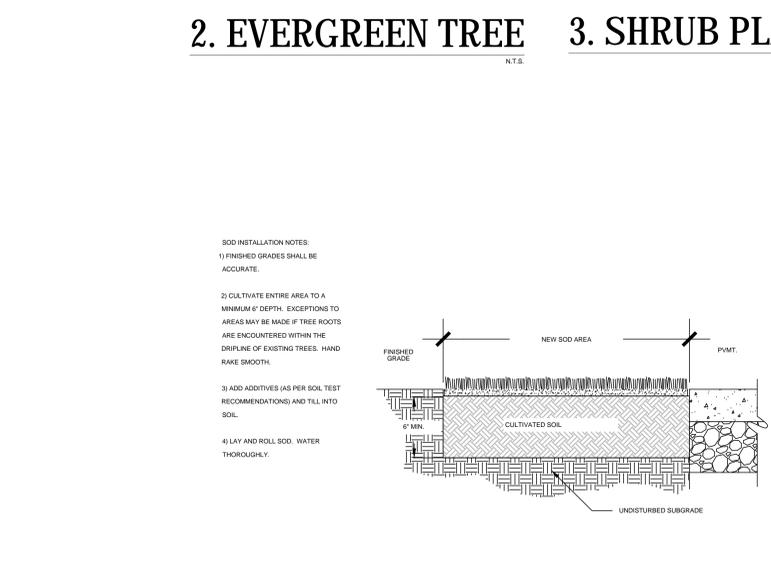
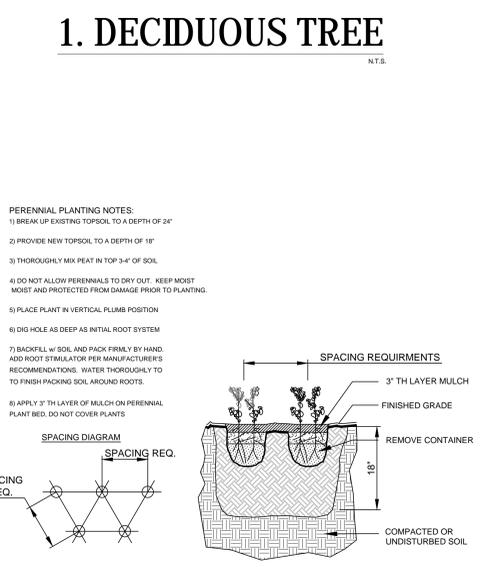




KCMO LANDSCAPE & SCREENING STANDARDS				
88-425 -LANDSCAPE REQUIREMENTS	Required	Proposed	Alternative Requested?	Approved
88-425-03 Street Trees	46	47		
88-425-04-D General Trees				
Building Area: 18,422 SF / 5,000 SF per Tree	4	7		
88-425-05 Perimeter Vehicular Use Area				
Adjacent to Streets				
Buffer Width	10'	10'		
Trees	18	18		
Shrubs / Berms / Wall - (72 LF / A = 21.5)				
Adjacent to Residential Zones				
Buffer Width	n/a	n/a		
Shrubs / Berms / Fence / wall	n/a	n/a		
88-425-06 Interior Vehicular Use Area				
Interior Area - (45 pkg spaces x 35 SF per space = 1,575 SF)	1,505 SF	7,806 SF		
Trees - (45 pkg spaces / 5 pkg spaces per tree = 9 trees)	9	20		
Shrubs - (45 pkg spaces x 1 shrub per pkg = 45 shrubs)	43	59		
88-425-08 Mechanical/Utility Equipment Screening				
88-425-09 Outdoor Use Screening	Describe			
Describe: There will be landscape screening where there Mechanical Units and utility equipment once the final design and locations are shown.				

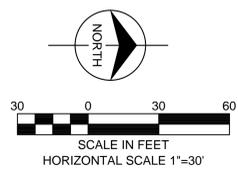
CRESCENDO
25th Street and Highland Ave
Kansas City, MO 64108

GENERAL DRAWING SCALE TO BE 1/4" = 4'-0" SHEET
PRINCIPAL IN CHARGE: ---
PROJECT MANAGER: --- PROJECT ARCHITECT: ---
PROJECT TEAM MEMBERS: ---
UNLESS A PROFESSIONAL SEAL WITH SCIENTIFY AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT BEING FOR CONSTRUCTION, RECORDING PURPOSES, OR IMPLEMENTATION.



CONCEPT PLANT SCHEDULE

	ORNAMENTAL TREES Amelanchier x grandiflora 'Autumn Brilliance' / Autumn Brilliance Serviceberry Cercis canadensis var. texensis / Oklahoma Redbud Malus x 'Prairifire' / Prairifire Crab Apple Malus x 'Royal Raindrops' / Royal Raindrops Crab Apple Picea abies / Norway Spruce	16
	MEDIUM SHADE TREES / STREET TREES Gleditsia triacanthos inermis 'Shademaster' TM / Shademaster Locust Picea glauca 'Densata' / Black Hills Spruce Picea omorika 'Riverside' / Riverside Serbian Spruce Quercus bicolor / Swamp White Oak	46
	LARGE SHADE TREES Nyssa sylvatica 'Blackgum' / Blackgum Quercus rubra / Red Oak Quercus shumardii / Shumard Red Oak Ulmus x 'Frontier' / Frontier Elm	7
	EVERGREEN TREES Juniperus chinensis 'Perfecta' / Perfecta Juniper Juniperus virginiana 'Taylor' / Taylor Eastern Redcedar Picea abies / Norway Spruce Picea glauca 'Densata' / Black Hills Spruce Picea omorika 'Riverside' / Riverside Serbian Spruce	30
	SHRUBS Buxus microphylla var. koreana 'Winter Green' / Winter Green Boxwood Physocarpus opulifolius 'Little Devil' TM / Dwarf Ninebark Rosa x 'Raztkopnik' / Pink Double Knock Out Rose Viburnum cerasi / Korean Spice Viburnum	58
	LARGE SHRUBS Abelia x grandiflora 'Kaleidoscope' / Glossy Abelia Physocarpus opulifolius 'Diablo' / Diablo Ninebark	58



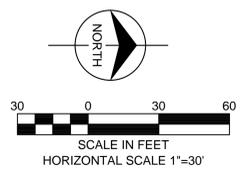


1 SITE PHOTOMETRIC LIGHTING CALCULATIONS PLAN
 SCALE: 1"=30'

IES RECOMMENDED MAINTAINED ILLUMINANCE VALUE FOR PARKING LOTS			
LABEL	UNITS	MIN	MAX/MIN
PARKING LOT AREA	FC	0.5	15:1

LUMINAIRE SCHEDULE								
SYMBOL	LABEL	DESCRIPTION	MANUFACTURE	DESCRIPTION	LAMP	VOLTAGE	LUMEN WATTS	LUMENS
■	PL	FULL CUTOFF SITE LED LIGHT WITH 20' POLE	MCGRAW-EDISON	GLEON-AF-06-LED-E1-5WQ-BZ	LED	240V	333 WATT	34605
■	W	FULL CUTOFF LED WALL PACK MOUNTED AT 10' ON WALL	LUMARK	XTOR8B-W-BZ	LED	120V	81 WATT	8502

CALCULATION SUMMARY						
LABEL	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN
PARKING LOT AREA #1	FC	3.37	6.1	0.9	3.74	6.78
PARKING LOT AREA #2	FC	2.50	5.0	0.60	4.17	8.33



Greater Downtown Area Plan Design Guidelines:

Architectural characteristics are in compliance with the area plan.

General Character:

- Preserve and enhance historic and cultural resources as development occurs.
- Encourage public art to be integrated into the building and site design.

Massing & Scale:

- New construction should relate to the mass, pattern, alignment and proportion/ scale of the existing or traditional building stock. Significant departures in height and mass can be visually disruptive. Building proportions should strive for a cohesive rhythm.
- Design buildings to provide human scale, interest, and variety using the following techniques:
 - Use the highest level of architectural detail and incorporate human scale elements near streets and entries, and around the ground floor.
 - Incorporate building entry details like porches and recesses, occupied spaces like bay windows and balconies.
 - Vary building form with recessed or projecting bays and changes in materials, details, surface relief, color, and texture.
 - Windows and other openings should relieve blank walls where possible, adding visual interest, improving pedestrians' sense of security, and introducing a human scale to street-level building frontages.
- Building orientation and massing should respond to the existing character and built environment.

Materials:

- Architectural materials should complement the character of the existing built environment through use of high quality, durable materials.
- Applied 'faux' facades or other inappropriate materials should not be used and should be removed as building renovation and reuse occurs.
- Sustainable design techniques and materials such as green roofs are encouraged to reduce the amount of stormwater runoff, enhance the local environment and reduce energy costs.
- New buildings should be designed in such a way that they don't appear to have been built significantly earlier than they were.
 - Care should be taken to avoid nostalgic reproductions and confusion of the historical record.
 - This guideline does not preclude consideration of the use of materials, scale or massing found on older buildings.
 - Preservation or restoration of original facade materials is desired.

Windows/Transparency:

- The street level of commercial/mixed use structures should have a dominant transparent quality.
- Windows at the street level of all buildings should be transparent.
- Windows and doors on street-fronting facades shall be vertically proportioned that are similar in size and shape to those used historically.
- Design buildings to minimize long windowless walls and service areas visible from public streets.
- Large blank walls along streets should be avoided whenever possible.
- Where blank walls are unavoidable they should be designed to increase pedestrian comfort and interest, through some combination of the following methods:
 - Installing vertical trellis in front of the wall with climbing vines or plant materials;
 - Providing art over a substantial portion of the blank wall surface;
 - Providing active display windows;
 - Dividing the mass of the wall into sections.



3 TOWNHOME - REAR ELEVATION
3/16" = 1'-0"

EXTERIOR ELEVATION MATERIAL

- ARCHITECTURAL GRADE ASPHALT SHINGLES PER SPECS. FINAL COLOR TBD BY OWNER
- FIBER CEMENT LAP SIDING, 4" REVEAL PER SPECS. FINAL COLOR TBD BY OWNER
- FIBER CEMENT LAP SIDING, 8" REVEAL PER SPECS. FINAL COLOR TBD BY OWNER
- FIBER CEMENT LAP SIDING, 8" REVEAL PER SPECS. FINAL COLOR TBD BY OWNER
- FIBER CEMENT PANEL, PER SPECS. FINAL COLOR TBD BY OWNER
- FIBER CEMENT SHAKE SIDING, 6" REVEAL PER SPECS. FINAL COLOR TBD BY OWNER
- MASONRY, RUNNING BOND PER SPECS. FINAL COLOR TBD BY OWNER

PRINTS ISSUED
09/17/2021

REVISIONS:



2 TOWNHOME - FRONT ELEVATIONS
3/16" = 1'-0"



1 TOWNHOME - SIDE ELEVATIONS
3/16" = 1'-0"

rosemann & ASSOCIATES P.C.
ARCHITECTURE
15226 Grand Boulevard
Kansas City, MO 64108-1404
P: 816.472.1448
www.rosemann.com
© 2021 Rosemann & Associates, P.C.
DENVER ■ KANSAS CITY ■ ST. LOUIS ■ ATLANTA

PRELIMINARY
NOT FOR
CONSTRUCTION

CRESCENDO
Highland Ave
Kansas City, MO

SHEET TITLE
COLORED EXTERIOR ELEVATIONS

PROJECT NUMBER: 21053
SHEET NUMBER:

A-200P

DRAWN BY: AD CHECKED BY: EE

Greater Downtown Area Plan Design Guidelines:

Architectural characteristics are in compliance with the area plan.

General Character:

Preserve and enhance historic and cultural resources as development occurs.
Encourage public art to be integrated into the building and site design.

Massing & Scale:

New construction should relate to the mass, pattern, alignment and proportion/ scale of the existing or traditional building stock. Significant departures in height and mass can be visually disruptive. Building proportions should strive for a cohesive rhythm. Design buildings to provide human scale, interest, and variety using the following techniques:
- Use the highest level of architectural detail and incorporate human scale elements near streets and entries, and around the ground floor.
- Incorporate building entry details like porches and recesses, occupied spaces like bay windows and balconies.
- Vary building form with recessed or projecting bays and changes in materials, details, surface relief, color, and texture.
- Windows and other openings should relieve blank walls where possible, adding visual interest, improving pedestrians' sense of security, and introducing a human scale to street-level building frontages. Building orientation and massing should respond to the existing character and built environment.

Materials:

Architectural materials should complement the character of the existing built environment through use of high quality, durable materials. Applied 'faux' facades or other inappropriate materials should not be used and should be removed as building renovation and reuse occurs. Sustainable design techniques and materials such as green roofs are encouraged to reduce the amount of stormwater runoff, enhance the local environment and reduce energy costs. New buildings should be designed in such a way that they don't appear to have been built significantly earlier than they were.
- Care should be taken to avoid nostalgic reproductions and confusion of the historical record.
- This guideline does not preclude consideration of the use of materials, scale or massing found on older buildings.
- Preservation or restoration of original facade materials is desired.

Windows/Transparency:

The street level of commercial/mixed use structures should have a dominant transparent quality. Windows at the street level of all buildings should be transparent. Windows and doors on street-fronting facades shall be vertically proportioned that are similar in size and shape to those used historically. Design buildings to minimize long windowless walls and service areas visible from public streets. Large blank walls along streets should be avoided whenever possible. Where blank walls are unavoidable they should be designed to increase pedestrian comfort and interest, through some combination of the following methods:
- Installing vertical trellis in front of the wall with climbing vines or plant materials;
- Providing art over a substantial portion of the blank wall surface;
- Providing active display windows;
- Dividing the mass of the wall into sections.

EXTERIOR ELEVATION MATERIAL

-  ARCHITECTURAL GRADE ASPHALT SHINGLES PER SPECS. FINAL COLOR TBD BY OWNER
-  FIBER CEMENT LAP SIDING, 4" REVEAL PER SPECS. FINAL COLOR TBD BY OWNER
-  FIBER CEMENT LAP SIDING, 8" REVEAL PER SPECS. FINAL COLOR TBD BY OWNER
-  FIBER CEMENT LAP SIDING, 8" REVEAL PER SPECS. FINAL COLOR TBD BY OWNER
-  FIBER CEMENT PANEL, PER SPECS. FINAL COLOR TBD BY OWNER
-  FIBER CEMENT SHAKE SIDING, 6" REVEAL PER SPECS. FINAL COLOR TBD BY OWNER
-  MASONRY, RUNNING BOND PER SPECS. FINAL COLOR TBD BY OWNER

PRINTS ISSUED
09/17/2021

REVISIONS:



2 STEPPED TOWNHOME - FRONT ELEVATION
3/16" = 1'-0"

PRELIMINARY
NOT FOR
CONSTRUCTION

CRESCENDO
Highland Ave
Kansas City, MO

SHEET TITLE
COLORED EXTERIOR ELEVATIONS

PROJECT NUMBER: 21053

SHEET NUMBER:

A-201P

DRAWN BY: AD CHECKED BY: EE



1 STEPPED TOWNHOME - REAR & SIDE ELEVATIONS
3/16" = 1'-0"

Greater Downtown Area Plan Design Guidelines:

Architectural characteristics are in compliance with the area plan.

General Character:

Preserve and enhance historic and cultural resources as development occurs.
Encourage public art to be integrated into the building and site design.

Massing & Scale:

New construction should relate to the mass, pattern, alignment and proportion/ scale of the existing or traditional building stock. Significant departures in height and mass can be visually disruptive. Building proportions should strive for a cohesive rhythm. Design buildings to provide human scale, interest, and variety using the following techniques:
- Use the highest level of architectural detail and incorporate human scale elements near streets and entries, and around the ground floor.
- Incorporate building entry details like porches and recesses, occupied spaces like bay windows and balconies.
- Vary building form with recessed or projecting bays and changes in materials, details, surface relief, color, and texture.
- Windows and other openings should relieve blank walls where possible, adding visual interest, improving pedestrians' sense of security, and introducing a human scale to street-level building frontages. Building orientation and massing should respond to the existing character and built environment.

Materials:

Architectural materials should complement the character of the existing built environment through use of high quality, durable materials. Applied 'faux' facades or other inappropriate materials should not be used and should be removed as building renovation and reuse occurs. Sustainable design techniques and materials such as green roofs are encouraged to reduce the amount of stormwater runoff, enhance the local environment and reduce energy costs. New buildings should be designed in such a way that they don't appear to have been built significantly earlier than they were.
- Care should be taken to avoid nostalgic reproductions and confusion of the historical record.
- This guideline does not preclude consideration of the use of materials, scale or massing found on older buildings.
- Preservation or restoration of original facade materials is desired.

Windows/Transparency:

The street level of commercial/mixed use structures should have a dominant transparent quality. Windows at the street level of all buildings should be transparent. Windows and doors on street-fronting facades shall be vertically proportioned that are similar in size and shape to those used historically. Design buildings to minimize long windowless walls and service areas visible from public streets. Large blank walls along streets should be avoided whenever possible. Where blank walls are unavoidable they should be designed to increase pedestrian comfort and interest, through some combination of the following methods:
- Installing vertical trellis in front of the wall with climbing vines or plant materials;
- Providing art over a substantial portion of the blank wall surface;
- Providing active display windows;
- Dividing the mass of the wall into sections.

EXTERIOR ELEVATION MATERIAL

-  ARCHITECTURAL GRADE ASPHALT SHINGLES PER SPECS. FINAL COLOR TBD BY OWNER
-  FIBER CEMENT LAP SIDING, 4" REVEAL PER SPECS. FINAL COLOR TBD BY OWNER
-  FIBER CEMENT LAP SIDING, 8" REVEAL PER SPECS. FINAL COLOR TBD BY OWNER
-  FIBER CEMENT LAP SIDING, 8" REVEAL PER SPECS. FINAL COLOR TBD BY OWNER
-  FIBER CEMENT PANEL, PER SPECS. FINAL COLOR TBD BY OWNER
-  FIBER CEMENT SHAKE SIDING, 6" REVEAL PER SPECS. FINAL COLOR TBD BY OWNER
-  MASONRY, RUNNING BOND PER SPECS. FINAL COLOR TBD BY OWNER

PRINTS ISSUED
09/17/2021

REVISIONS:

rosemann & ASSOCIATES P.C.
ARCHITECTURE
INTERIOR DESIGN
ENGINEERING
PLANNING

1526 Grand Boulevard
Kansas City, MO 64108-1404
P: 816.472.1448
www.rosemann.com
© 2021 Rosemann & Associates, P.C.
DENVER ■ KANSAS CITY ■ ST. LOUIS ■ ATLANTA



2 COMMUNITY BUILDING - FRONT ELEVATION
3/16" = 1'-0"



1 COMMUNITY BUILDING - SIDE ELEVATION
3/16" = 1'-0"

PRELIMINARY
NOT FOR
CONSTRUCTION

CRESCENDO
Highland Ave
Kansas City, MO

SHEET TITLE
COLORED EXTERIOR ELEVATIONS

PROJECT NUMBER: 21053

SHEET NUMBER:

A-202P

DRAWN BY: AD CHECKED BY: EE

9/14/2021 1:52:26 PM
C:\net\cad\2021\21053\Crescendo_01.dwg
User: jay@rosemann.com