COMMUNITY PROJECT/ZONING

Ordinance Fact Sheet

220006

Ordinance Number

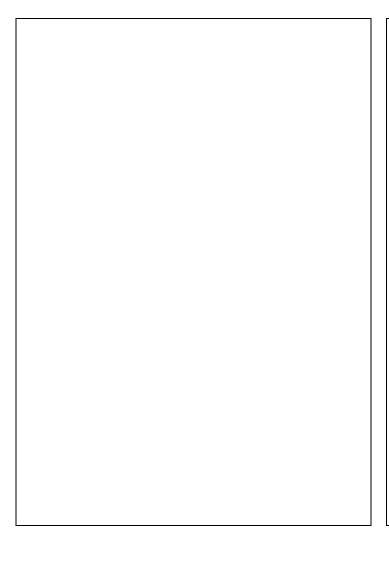
Brief Title

Approving the plat of Brighton Creek Crossing, an addition in Kansas City, Clay County, Missouri

Specific Address Approximately 17.63 acres generally located at the southeast corner of N. Brighton Avenue & Highway 152, creating 4 lots and 1 tract.
Reason for Project This final plat application was initiated by Beck-Cal LLC, in order to subdivide the property in accordance with the city codes and state statutes. (The developer intends to construct a 4 lot commercial development.)
Discussion This is a routine final plat ordinance that authorizes staff to continue to process the plat for recording. This plat can be added to the consent agenda.
CONTROLLING CASE Ordinance No. 080473 - On June 26, 2008 the Council approved a rezoning of approximately 19.8 acres generally located at the southeast corner of Missouri Highway 152 and N. Brighton Avenue from District C-2 to District PD/C-2 and approved a preliminary development plan for the same. (13087-PD-7)

Sponsor	Jeffrey Williams, AICP, Director Department of City Planning & Development		
Programs, Departments, or Groups Affected	City-Wide		
	Council District(s) 1(CL) O'Neill - Hall		
	Other districts (school, etc.)		
Applicants / Proponents	Applicant(s) BECK-CAL LLC,		
	City Department City Planning and Development		
	Other		
Opponents	Groups or Individuals None Known		
	Basis of Opposition		
Staff Recommendation	For Against Reason Against:		
Board or Commission	By: City Plan Commission		
Recommendation	April 21, 2020		
	☐ Approval ☐ Denial ☐ Approval, with conditions		
Council Committee			
Actions	 □ Do Pass □ Do Pass (as amended) □ Committee Sub. □ Without Recommendation □ Hold □ Do not pass 		

Details	Policy / Program Impact		
	Policy or Program Change	No ☐ Yes	
	N/A		
	Operational Impact Assessment N/A		
	Finances		
	Cost & Revenue Projections – Including Indirect Costs		
	N/A Financial Impact		
	N/A		
	Fund Source and Appropriation Account Costs		
	Is it good for the children?	Yes No	



How will this contribute to a sustainable Kansas City?

Date: August 9, 2021

This project consists of public and private improvements for a 4 lot commercial development and one private open space tract on approximately 18 acres of previously undeveloped property. There is also an existing storm water detention facility constructed by an earlier plat. These facilities will reduce the overall storm water volume and attenuate the peak runoff rate to less than existing conditions. The private open space will also retain much of the existing natural vegetation and natural waterways. Runoff from within the development will be conveyed in an enclosed storm sewer system and released into the detention facilities. Common areas will be maintained by the owners through a covenant agreement. Modern and safe, walkable streets with sidewalks, curb and gutter and street lights will be constructed. New sanitary sewers will be constructed that will minimize infiltration and inflow within the system conveyed to the treatment facility. This development will increase the tax base for the developed lots.

Written by Lucas Kaspar, PE

Project Start Date

Projected Completion or Occupancy Date

Fact Sheet Prepared by:

Thomas Holloway

Reviewed by:

Lucas Kaspar, PE, Land Development Division (LDD) City Planning & Development

Reference or Case Numbers: CLD-FnPlat-2020-00009

LEGAL DESCRIPTION: (per Thomas Arthur) The Fan Marcher 222200 (Dreward, dated September 11, 2016)
and on the finds that of the Schotter for September 1 feature, A. Marcher 322200 (Dreward, dated September 11, 2016)
and of the Schotter of the Schotter of September 1 feature, A. Marcher 322200 (Dreward, September 11, 2016), and the Schotter 1 feature 1 fea

EASEMENT DEDICATION:

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DRAINAGE EASEMENT:

SEWER EASEMENT:

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WATER MAIN EASEMENT:

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SURVEYOR'S LEGAL DESCRIPTION:

All that partium of the South-Half of the South-Half of Section 8, Ternship 51 North, Range 32 West, in Konses Cby, Clay County, Measure, Setty more particularly emorbled on follows: SOMETIMES IDEAL ID

STREET DEDICATION:

Streets shown hereon and not hereto'ore dedicated for public use as street right—of-way are hereby dedicated.

RESTRICTED ACCESS:
No direct volvinder occome to Mannari Ende Highway 152 from Lot 1 is parmitted.
UNDESIRABLE NOISE LEVELS:

The area described herein lies objected to Missouri State Highway 152 as such, such development may be subject to undestrable noise levels due to traffic generation. Appropriate measures should be taken through occustool site planning and/or accustical construction to reduce the impact of undestrable noise levels. RIGHT OF ENTRANCE:

The flight of Entrone and agence in treest abong any street or drive within the boundaries of the properly in heavily contact to Entrone Chy, Materials for the purpose of the and police presistant, manifestance and test most, making and entrol and entrol the United Entree Presist Service for the devicey of most previous, however, contribute for any descript to printing and entrol the Children Presist Service for the devicey of most previous, however, contribute for any descript to printing the contribution of the Children Service for the device of the Children Service for the Children Serv

BUILDING LINES: Building lines or setback lines are hereby established as shown on the accompanying plat and no buildings or partian

According to the Flood Insuronce Robe Map Community Panel Number 25095031320, dated January 20, 2017 on pur Federal Emergency Management Agency, this property lies within a fixed zone designated Other Areas Zone (X) Other Areas Zone (X) — Areas determined to be outside the OLZ annual chance Bookside.

Tract A (1.54 acres) is to be used for vehicular ingress and egrees and shall be maintained by the owners of the late, Tracts and Parasis shave within this plot pursuant to the declaration of covenants, conditions, restrictions and eccements recorded simultaneously with this plot.

FUTURE LOT SPLITS:

CROSS ACCESS:
The right of layers and egress between lots and diong the access drives or through the porting lots is hereby grantee
PEDESTRIAN EASEMENT:

SURVEYOR'S GENERAL NOTES:

This survey is board upon the Informity promotion provided by the client or researched by this surveyor.
 Four Information of the Information of the Information of the Information of Information of Information of Information of Information of Information Information October 18 (Note in all Pages 146.6.)
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Rundid E. Schroer, PLS-2569 CFS Engineers Corporate Auth. CF&S CLS 1999141100

Final Plat of
BRIGHTON CREEK CROSSING
South ½ of the Southeast ½
Section 8, Township 51 North, Range 32 West
Kansas City, Clay County, Missouri



The undersigned owners of the above described troot of land hove coused the same to be subdi-occurrentlying plat, which subdivision and plat shall hereafter be sharen as: BRIGHTON CREEK CROSSING

In witness whereof:

I have hereunto set my hand and affixed my naturial seal the day and year lost written above.

City County, Missouri, a first-class county duly organized and existing under the lows of the State of Missouri, has caused these presents to be executed this _____ day of ______ 2021.

n witness whereof: have hereunta set my hand and affixed my naturial seal the day and year last written above.

APPROVALS:

CITY PLAN COMMISSION

This is to certify that the within Pfst was duly submitted to and approved by the Council of Kaneos City, Missouri by Ordinance No. _______ duly outher/scated as passed this ______ day

Guinton Luces

Marilyn Sonders City Clerk

CFS Engineers 1421 E 104th Street, Suite 100 95 South Drake Konsos Chy, Missouri 64131 Disports, Missouri 64119 816–333–4477 816–459–6531

