



CITY PLAN COMMISSION STAFF REPORT

City of Kansas City, Missouri
City Planning & Development Department
www.kcmo.gov/cpc

March 1, 2022

Project Name

Ashton Farms

Docket 4

Request

CD-CPC-2021-00240
Development Plan with associated
Preliminary Plat

Applicant

Kevin Rohner
Anderson Engineering
941 W 141st Ter
Kansas City, MO 64145

Owner

Zachary Nichols
Dalmark Group
12220 State Line Rd
Leawood, KS 66224

Location	15215 E US 40 Hwy
Area	About 48 acres
Zoning	R-2.5
Council District	5th
County	Jackson County
School District	Independence 160

Surrounding Land Uses

North: Commercial uses, zoned B2-2
South: Vacant land
East: Residential uses, zoned R-1.5
West: Residential uses, zoned R-2.5, R-80

Major Street Plan

US 40 Hwy is not identified on the City's
Major Street Plan.

Land Use Plan

The Little Blue Valley Area Plan
recommends Residential Low Density
and Residential Medium Density for this
location.

APPROVAL PROCESS



PROJECT TIMELINE

The application for the subject request was filed on 12/22/2021.
Scheduling deviations from 2022 Cycle D have occurred.
- Version 3 reviews were established on 2/8.

NEIGHBORHOOD AND CIVIC ORGANIZATIONS NOTIFIED

The Little Blue Valley Homes Association is tied to the subject site.

REQUIRED PUBLIC ENGAGEMENT

Public engagement as required by 88-505-12 does apply to this
request. Applicant hosted a meeting on February 7th and 8th 2022.
Summary of the meeting is attached to the staff report, see
Exhibit A.

EXISTING CONDITIONS

The subject site is vacant, on the eastern portion of the City
(along US 40 Hwy) towards Independence, MO.

SUMMARY OF REQUEST + KEY POINTS

The applicant is seeking approval of a Development Plan, with an
associated Preliminary Plat, to allow for the development of
duplexes (244 units) on the subject site.

CONTROLLING + RELATED CASES

None.

PROFESSIONAL STAFF RECOMMENDATION

Docket 4 Recommendation
Approval Subject to Conditions

PLAN REVIEW

The Development Plan review process allows for City Council to review plans proposing significant development, to determine whether such plans further the purposes of the Kansas City Zoning and Development Code.

The proposed project consists of 244 units on 118 lots. Duplexes feature two-car garages and concrete pads for patio use. There are several designs of duplexes featuring 2 or 1.5 floors.

88-515-05 Approval Criteria for Plans

In order to be approved, a Development Plan, Project Plan, or Site Plan must comply with all of the following criteria:

- A.** The plan must comply with all standards of the Kansas City, MO Zoning and Development Code and all other applicable city ordinances and policies. (Note: this provision is not intended to prohibit an application from seeking a variance or other form of relief authorized under the Kansas City, MO Zoning and Development Code or other applicable ordinances, when authorized.)
See table below. AN
- B.** The proposed use must be allowed in the district in which it is located.
Two-unit houses (duplexes) are permitted in the R-2.5 zoning district. AN
- C.** Vehicular ingress and egress to and from the site, and circulation within the site must provide for safe, efficient, and convenient movement of traffic not only within the site but adjacent roadways.
Connections from the west (E 48th St) and east (E 48th Ter and E 50th St) provide appropriate ingress and egress. The main entrance, to the north off US 40 Hwy needs to be approved by MoDOT. AN
- D.** The plan must provide for safe, efficient, and convenient non-motorized travel opportunities, being pedestrian and bicycle movement, on the subject site.
Sidewalks are provided throughout the proposed development. Bicycle facilities are only required for multi-unit residential structures containing more than 12 dwelling units and all non-residential development. AN
- E.** The plan must provide for adequate utilities based on City standards for the particular development proposed.
A utility plan was provided with the submittal, see the CCR Report (attached to this staff report) for any related conditions. AN
- F.** The location, orientation, and architectural features, including design and material, of buildings and other structures on the site must be designed to be compatible with adjacent properties.
The location, orientation, and architectural features of the duplexes within the proposed development appear to be compatible with each other. AN
- G.** Landscaping, berms fences, and/or walls must be provided to buffer the site from undesirable views, noises, lighting, or other off-site negative influences, and to buffer adjacent properties from negative influences that may be created by the plan.
The properties to the east and west are residential, no additional buffer is needed. When residential lots are platted with rear or side yards "facing" major streets, a minimum of a 30-ft buffer must be established. The proposed development provides an adequate buffer between duplexes on the northern portion of the site and US 40 Hwy. AN

- H. The design of streets, drives, and parking areas within the project should result in a minimum of area devoted to asphalt or other impervious surfaces consistent with the needs of the project and city code requirements.
A TIS was provided with the submittal, see the CCR Report (attached to this staff report) for any related conditions. AN
- I. The plan must identify trees to be removed and trees to be preserved during the development of the subject property with the goal of saving trees that are not required to be removed for the development of the property.
The site will be cleared for the proposed project. See the landscape plan attached to review the new planting program. AN

PLAN ANALYSIS

Use- Specific (88-300), and Development Standards (88-400)

**indicates adjustment/deviation*

Standards	Applicability	Meets	More Information
Boulevard and Parkway Standards (88-323)	No	-	
Parkland Dedication (88-408)	Yes	Yes	See Site Plan.
Parking and Loading Standards (88-420)	Yes	Yes	See Site Plan.
Landscape and Screening Standards (88-425)	Yes	Yes	See Site Plan.
Outdoor Lighting Standards (88-430)	No	-	
Sign Standards (88-445)	Yes	-	No signage plan was provided.
Pedestrian (88-450)	Yes	Yes	See Site Plan.

PROFESSIONAL STAFF RECOMMENDATION

City staff recommends the following **APPROVAL SUBJECT TO CONDITIONS**, as stated in the Corrections, Conditions, and Recommendations report.

Respectfully Submitted,

Ahna Nanoski, AICP
 Lead Planner



Plan Conditions, Corrections, & Recommendations Report

Recommended to City Plan Commission

Recommended by Staff

Report Date: February 23, 2022

Case Number: CD-CPC-2021-00240

Project: Ashton Farms

Plan Conditions

Condition(s) by City Planning and Development Department. Contact Ahnna Nanoski at (816) 513-8816 / Ahnna.Nanoski@kcmo.org with questions.

1. The developer shall secure approval of a street tree planting plan from the City Forester and plant according to said plan prior to recording the final plat. (1/12/2022)
2. Variances from 88-425-08 have not been requested. Mechanical equipment and utility cabinets shall comply with 88-425-08-B and 88-425-08-D. (1/12/2022)
3. Variances from 88-445 have not been requested. All proposed signage shall comply with 88-445 and are subject to sign permits. (1/12/2022)
4. A Final Plat will follow the development plan process in order to establish owner-occupied units. (2/16/2022)

Condition(s) by City Planning and Development Department. Contact Stacey Lowe at (816) 513-2552 / stacey.lowe@kcmo.org with questions.

5. The developer must secure permits to extend public sanitary and storm water conveyance systems to serve all proposed lots within the development and determine adequacy of receiving systems as required by the Land Development Division, prior to recording the plat or issuance of a building permit whichever occurs first. (1/11/2022)
6. The developer shall submit construction plans in compliance with adopted standards for all improvements required by the traffic study approved by the Public Works Department, and shall secure permits for those improvements as required by the Land Development Division, prior to recording the plat. (1/11/2022)
7. The developer must obtain the executed and recorded city approved grading, temporary construction, drainage/sewer, or any other necessary easements from the abutting property owner(s) that may be required prior to submitting any public improvements crossing properties not controlled by the developer and include said document(s) within the public improvement applications submitted for permitting (1/11/2022)
8. The developer must pay impact fees as required by Chapter 39 of the City's Code of ordinances as required by the Land Development Division. (1/11/2022)
9. After the City Plan Commission enters its disposition for the development plan, the developer shall not enter into any agreement that would encumber or otherwise have any impact on the proposed right-of-way dedications for the planned project without the prior written consent of the Land Development Division. (1/11/2022)
10. The developer must submit a Macro storm drainage study with the first Plat or Phase, from a Missouri-licensed civil engineer to the Land Development Division showing compliance with current adopted standards in effect at the time of submission, including Water Quality BMP's, to the Land Development Division for review and acceptance for the entire development area, and submit Micro storm drainage study with each subsequent Plat or Phase showing compliance with the approved Macro and adopted standards. The developer shall secure permits to construct any improvements as necessary to mitigate impacts from rate, volume, and quality of runoff from each proposed phase, prior to recording the plat or prior to issuance of a Building Permit, whichever occurs first as required by the Land Development Division. (1/11/2022)
11. The developer must show and label the final stream buffer zones on the subdivision plat within a private open space tract as required by Chapter 88 and Land Development Division, prior to issuance of any stream buffer permits. (1/11/2022)
12. The developer shall submit a final stream buffer plan to the Land Development Division for approval prior to issuance of any building permits and obtain permits for the Stream Buffer prior to removal of any mature riparian species within the buffer zones due to construction activities on the site, in accordance with the Section 88-415 requirements. (1/11/2022)

Condition(s) by City Planning and Development Department. Contact Stacey Lowe at (816) 513-2552 / stacey.lowe@kcmo.org with questions.

13. The owner/developer must submit plans for grading, siltation, and erosion control to Land Development Division for review and acceptance, and secure a Site Disturbance permit for any proposed disturbance area equal to one acre or more prior to beginning any construction activities. (1/11/2022)
14. The developer must submit covenants, conditions and restrictions to the Land Development Division for review by the Law Department for approval and enter into covenant agreements for the maintenance of any private open space tracts with stream buffer zones or stormwater detention area tracts, prior to recording the plat. (1/11/2022)
15. The developer must construct temporary off-site cul-de-sacs and grant a city approved temporary cul-de-sac easement, for that portion outside of the dedicated street right-of-way, to the City as required by the Land Development Division, prior to recording the plat. (1/11/2022)
16. The developer must subordinate to the City all private interest in the area of any right-of-way dedication, in accordance with Chapter 88 and as required by the Land Development Division, prior to issuance of any construction permits within said right-of-way, and that the owner/developer shall be responsible for all costs associated with subordination activities now and in the future. (1/11/2022)
17. The developer shall submit plans to Land Development Division and obtain permits to construct sidewalks along the platted frontage, as shown on the approved street plans for _____ and to a tie-in point with the existing sidewalks at _____ and construct associated ADA ramps at the proposed entrance drives as necessary for the type of drive approach. (1/11/2022)
18. The developer must grant a BMP and/or Surface Drainage Easement to the City as required by the Land Development Division, prior to recording the plat or issuance of any building permits. (1/11/2022)
19. The developer must design and construct all interior public streets to City Standards, as required by Chapter 88 and the Land Development Division, including curb and gutter, storm sewers, street lights, and sidewalks. (1/11/2022)
20. The developer shall cause the area to be platted and processed in accordance with Chapter 88, Code of Ordinances of the City of Kansas City, Missouri, as amended, commonly known as the Development Regulations. (1/11/2022)
21. The developer shall submit proof of approved permits for any work along US Highway 40 in the MoDOT right of way prior to the issuance of any Land Development permits for the construction of the proposed portion of Brentwood Avenue connecting to that roadway, (1/12/2022)

Condition(s) by Fire Department. Contact Michael Schroeder at (816) 513-4604 / michael.schroeder@kcmo.org with questions.

22. Fire Water Flow The project shall meet the fire flow requirements as set forth in Appendix B of the International Fire Code 2018. (IFC-2018 § 507.1) (1/10/2022)
23. Hydrant Fire hydrant distribution shall follow IFC-2018 Table C102.1
Fire hydrants shall be installed and operable prior to the arrival of any combustible building materials onto the site. (IFC-2018 § 501.4 and 3312.1; NFPA -2013 § 8.7.2) (1/10/2022)
24. Fire Department Access Fire Department access roads shall be provided prior to construction/demolition projects begin. (IFC-2018 § 501.4 and 3310.1; NFPA 241-2013 § 7.5.5) (1/10/2022)
25. Fire Department Access Required fire department access roads are designed to support a fire apparatus with a gross axle weight of 85,000 pounds. (IFC-2018: § 503.2.3) (1/10/2022)
26. Fire Department Access The turning radius for fire department access roads is 30 feet inside and 50 feet outside radius. (IFC-2018: § 503.2.4) (1/10/2022)

Condition(s) by Parks & Recreation. Contact Justin Peterson at (816) 513-7599 / Justin.Peterson@kcmo.org with questions.

27. The developer shall submit a streetscape plan with street tree planting plan per 88-425-03 for approval and permitting by the Parks & Recreation Department's Forestry Division prior to beginning work in the public right-of-way (1/13/2022)
28. The developer is responsible for dedication of parkland, private open space in lieu of parkland, or payment of cash-in-lieu of either form of dedication, or any combination thereof in accordance with 88-408. As indicated on plans, the developer shall construct an 8' wide concrete trail within tracts A,B and C to satisfy the parkland dedication requirements. (1/13/2022)

Condition(s) by Public Works Department. Contact Jeffrey Bryan at (816) 513-9865 / Jeffrey.Bryan@kcmo.org with questions.

Condition(s) by Public Works Department. Contact Jeffrey Bryan at (816) 513-9865 / Jeffrey.Bryan@kcmo.org with questions.

29. Prior to the certificate of occupancy for Phase 1, the developer shall modify the pavement markings on US-40 to include eastbound and westbound left turn lanes at Brentwood Avenue. This work shall be done in accordance with MoDOT requirements and permits. (2/15/2022)
30. When the traffic volumes and/or level of service dictate, but no later than prior to the certificate of occupancy for Phase 3, the developer shall construct channelizing islands at the intersection of US-40 and Brentwood Avenue to limit movements to 3/4 access (no left turns from Brentwood Avenue). (2/15/2022)

Condition(s) by Water Services Department. Contact Heather Massey at (816) 513-2111 / heather.massey@kcmo.org with questions.

31. The developer shall have a water flow test done to ensure there is adequate water pressure to serve the development.
South of River contact –Sean Allen -816-513-0318
North of River contact Todd Hawes – 816-513-0296 (1/12/2022)

Condition(s) by Water Services Department. Contact Jerald Windsor at (816) 513-0413 / Jerald.Windsor@kcmo.org with questions.

32. The developer must submit water main extension drawings prepared by a registered professional Engineer in Missouri to the main extension desk for review, acceptance and contracts per the KC Water Rules and Regulations for Water main extensions and Relocations.
(<https://www.kcwater.us/wp-content/uploads/2019/04/2018-Rules-and-Regulations-for-Water-Main-Extensions.pdf>)
(1/12/2022)



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Dalmark Group
12220 State Line Road
Leawood, KS 66209



ASHTON FARMS
15215 E. US Highway 40
Kansas City, MO 64136

CE No.: 210-005-21

PREPARED FOR PRELIMINARY
SUBMISSION AND REVIEW ONLY ---
NOT FOR CONSTRUCTION

DATE: 12/22/2021
REV 1:01/31/2022

COVER
C1.00

ASHTON FARMS

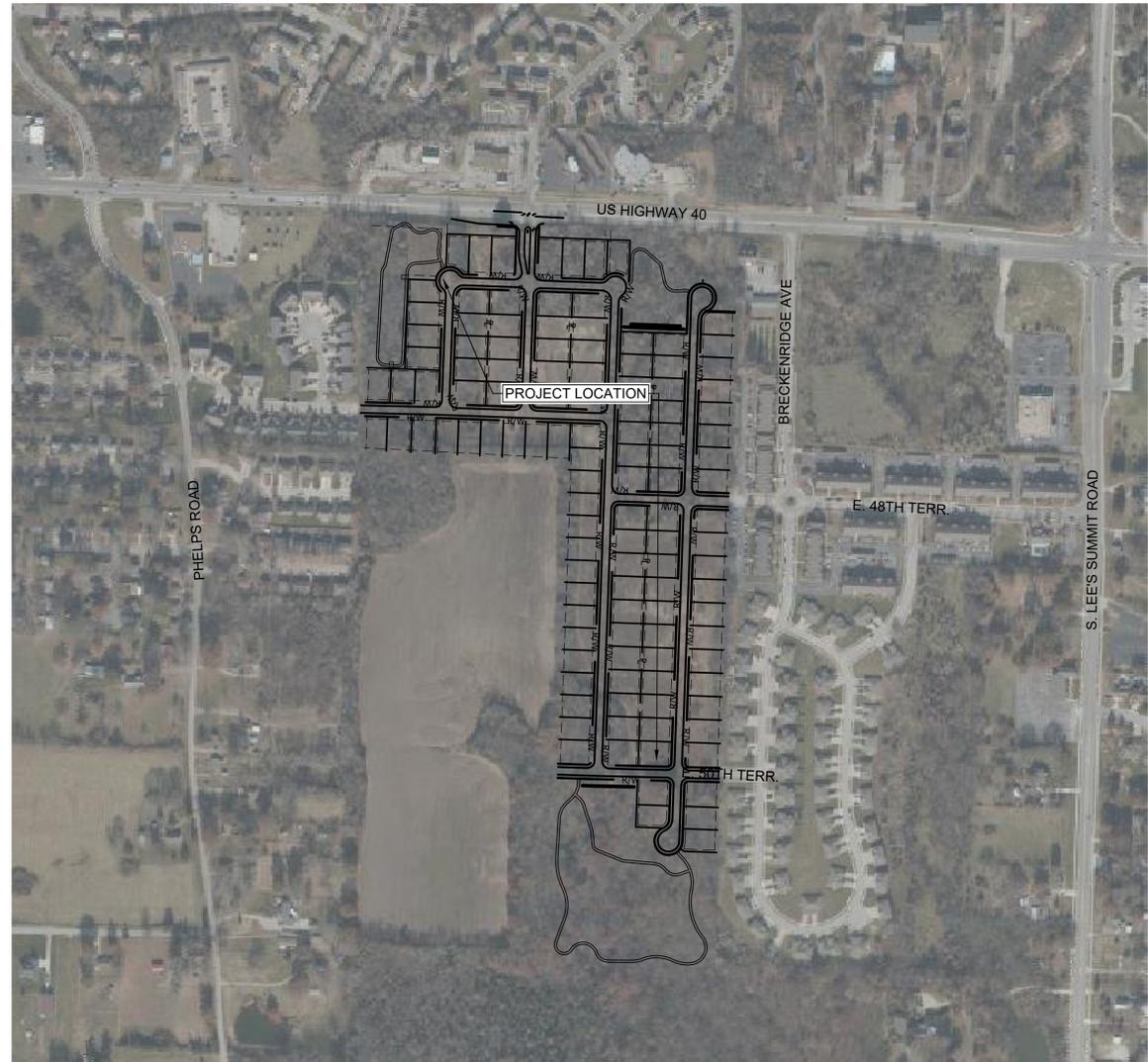
DEVELOPMENT PLAN/PRELIMINARY PLAT

CITY OF KANSAS CITY, JACKSON COUNTY, MISSOURI

SE 1/4 OF SECTION 25, TOWNSHIP 49 NORTH, RANGE 32 WEST

LEGAL DESCRIPTION

THE WEST ONE HALF OF THE SOUTHEAST QUARTER OF SECTION 25, TOWNSHIP 49 RANGE 32, EXCEPT THAT PART IN U.S. HIGHWAY 40 AND EXCEPT ONE ACRE SQUARE IN THE NORTHEAST CORNER THEREOF AND EXCEPT THIRTY ACRES IN THE SOUTHWEST CORNER DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF SAID QUARTER SECTION; THENCE NORTH 1779 FEET; THENCE EAST 734.6 FEET, THENCE SOUTH 1779 FEET, THENCE WEST 734.6 FEET TO THE POINT OF BEGINNING, ALL IN KANSAS CITY, JACKSON COUNTY, MISSOURI, MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE INTERSECTION OF THE SOUTHERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY 40 AND THE WEST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 25, SAID POINT BEING 49.23 FEET FROM THE NORTHWEST CORNER OF THE SOUTHEAST QUARTER OF SAID SECTION 25 AT A BEARING OF SOUTH 02 DEGREES 05 MINUTES 17 SECONDS WEST; THENCE SOUTH 87 DEGREES 01 MINUTES 37 SECONDS EAST, A DISTANCE OF 99.23 FEET (THIS AND THE FOLLOWING SEVEN COURSES BEING ON SAID SOUTHERLY RIGHT-OF-WAY LINE); THENCE SOUTH 02 DEGREES 58 MINUTES 23 SECONDS WEST, A DISTANCE OF 5.00 FEET; THENCE SOUTH 87 DEGREES 01 MINUTE 37 SECONDS EAST, A DISTANCE OF 350.00 FEET; THENCE NORTH 02 DEGREES 58 MINUTES 23 SECONDS EAST, A DISTANCE OF 5.00 FEET; THENCE SOUTH 87 DEGREES 01 MINUTE 37 SECONDS EAST, A DISTANCE OF 72.87 FEET; THENCE SOUTH 87 DEGREES 10 MINUTES 37 SECONDS EAST, A DISTANCE OF 377.27 FEET; THENCE SOUTH 02 DEGREES 49 MINUTES 23 SECONDS WEST, A DISTANCE OF 5.00 FEET; THENCE SOUTH 87 DEGREES 10 MINUTES 37 SECONDS EAST, A DISTANCE OF 199.69 FEET; THENCE DEPARTING SAID SOUTHERLY RIGHT-OF-WAY LINE, SOUTH 01 DEGREES 56 MINUTES 08 SECONDS WEST, A DISTANCE OF 153.58 FEET; THENCE SOUTH 87 DEGREES 09 MINUTES 16 SECONDS EAST, A DISTANCE OF 208.75 FEET TO A POINT ON THE EAST LINE OF THE WEST ONE HALF OF THE SOUTHWEST QUARTER OF SAID SECTION 25, SAID POINT BEING SOUTH 01 DEGREES 56 MINUTES 08 SECONDS WEST, 208.73 FEET FROM THE NORTHEAST CORNER OF SAID WEST ONE HALF; THENCE SOUTH 01 DEGREE 56 MINUTES 08 SECONDS WEST, ALONG SAID EAST LINE 2446.84 FEET TO THE SOUTHEAST CORNER OF SAID WEST ONE HALF; THENCE NORTH 87 DEGREES 03 MINUTES 07 SECONDS WEST, ALONG THE SOUTH LINE OF SAID SOUTHEAST QUARTER, 580.10 FEET TO A POINT BEING SOUTH 87 DEGREES 03 MINUTES 07 SECONDS EAST, 734.6 FEET FROM THE SOUTHWEST CORNER OF SAID SOUTHEAST QUARTER; THENCE NORTH 02 DEGREES 05 MINUTES 17 SECONDS EAST, 1779.00 FEET; THENCE NORTH 87 DEGREES 03 MINUTES 07 SECONDS WEST, 734.60 FEET TO A POINT ON THE WEST LINE OF SAID SOUTHEAST QUARTER; THENCE NORTH 02 DEGREES 05 MINUTES 17 SECONDS EAST, 824.91 FEET TO THE POINT OF BEGINNING.



N.T.S.

SHEET INDEX

COVER	C1.00
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ARCHITECTURE EXTERIOR ELEVATIONS	A2.10-A2.12
ARCHITECTURE ELEVATION PLANS AND OPTIONS WITH COLOR	-----
PRELIMINARY LANDSCAPE PLAN	L1

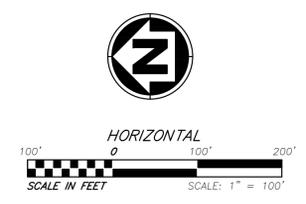


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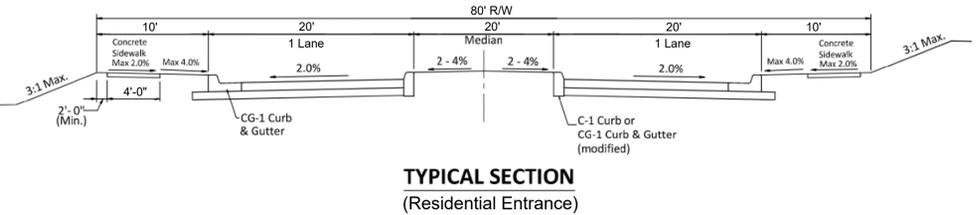
TRAILS	
TRACT A	1,351 L.F.
TRACT B	406 L.F.
TRACT C	2,203 L.F.
TOTAL	3,960 L.F.

LOT SIZE TABLE					
Lots	Square Feet	Acres	Lots	Square Feet	Acres
1	10228	0.235	52-63	9440	0.217
2	11390	0.261	64	10224	0.235
3	12344	0.283	65	10229	0.235
4	12344	0.283	66	9831	0.226
5	113890	2.615	67	9457	0.217
6	11314	0.260	68	9588	0.220
7	9926	0.228	69	9600	0.220
8	11082	0.254	70	9612	0.221
9-11	10229	0.235	71	9624	0.221
12	10082	0.231	72	9636	0.221
13	10224	0.235	73	9648	0.221
14-16	9440	0.217	74	10463	0.240
17	10224	0.235	75	10474	0.240
18	10142	0.233	76	10100	0.232
19-21	9440	0.217	77	10116	0.232
22	10224	0.235	78	10132	0.233
23	9199	0.211	79	10148	0.233
24-26	9999	0.230	80	10164	0.233
27	10434	0.240	81	10180	0.234
28	10558	0.242	82	10196	0.234
29	10621	0.244	83	10212	0.234
30	9698	0.223	84	10228	0.235
31	10763	0.247	85	10749	0.247
32	10961	0.252	86	11046	0.254
33	10188	0.234	87	9876	0.227
34	10284	0.236	88	9944	0.228
35	10380	0.238	89	9255	0.212
36	10476	0.240	90	10313	0.237
37	10572	0.243	91	10565	0.243
38	10668	0.245	92-107	9829	0.226
39	11001	0.253	108	10735	0.246
40-42	10229	0.235	109	10224	0.235
43	11082	0.254	110-118	9440	0.217
44	10224	0.235	Tract A	106611	2.447
45-48	9440	0.217	Tract B	83880	1.926
49	9831	0.226	Tract C	311828	7.159
50	10229	0.235	Tract D	9578	0.220
51	10224	0.235			

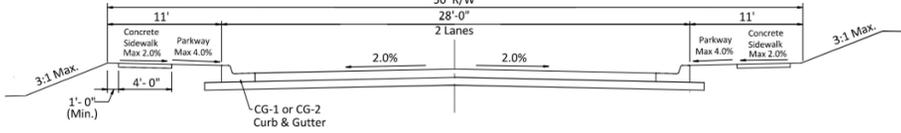
BUILDING DATA	Required	Proposed	Deviation Requested?	Approved
Rear Setback	25'	25'	No	
Front Setback	25'	25'	No	
Side Setback	8'	8'	No	
Side Setback (abutting street)	15'	15'	No	
Height	40'	28' max	No	

88-425 - OTHER DEVELOPMENT STANDARDS	Method of Compliance
88-408 Parkland Dedication	4.25 acres req'd; credit of 4.54 ac for trails
88-415 Stream Buffer	Prel Stream Buffer plan included for stream at south end of project
88-430 Outdoor Lighting	Std. Street Lighting & minimal lighting for monument sign
88-435 Outdoor Display, Storage & Work Areas	N/A
88-445 Signs	One monument sign at main entrance only
88-450 Pedestrian Standards	Sidewalks on both sides of internal streets; some trails

SITE DATA	Existing	Proposed	Deviation Requested?	Approved	Notes
Zoning	R-2.5	R-2.5	No		
Gross Land Area					
in acres	47.8	47.8	N/A		
Right-of-Way Dedication					
in acres	N/A	8.6	N/A		
Net Land Area					
in acres	47.8	39.2			
Building Area					
in SF	N/A	614,880			5,040 GSF per duplex
in acres	N/A	14.1			
Floor Area Ratio	N/A	0.36			
Residential Use Info					
Total Dwelling Units					
Two-unit House (Duplex)	N/A	236			2 floors plus a basement
Total Lots					
Residential	N/A	118			Total in 3 phases
Public/Civic	N/A	1			Playground
Other	N/A	3			Basins & Stream Buffer Tracts



TYPICAL SECTION
(Residential Entrance)



TYPICAL SECTION
(RESIDENTIAL/LOCAL)

Plot Time Stamp: 12/13/2021 14:53:35 PM
File Location/Name: \\TCPEP-kc-srv-004\200-299\210-005-21 Dalmark Ashton Point\02 Revit 2021\10-28-21.rvt



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CE No.: 210-005-21

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CIVIL SITE
PLAN/PRELIMINARY PLAT

C1.10



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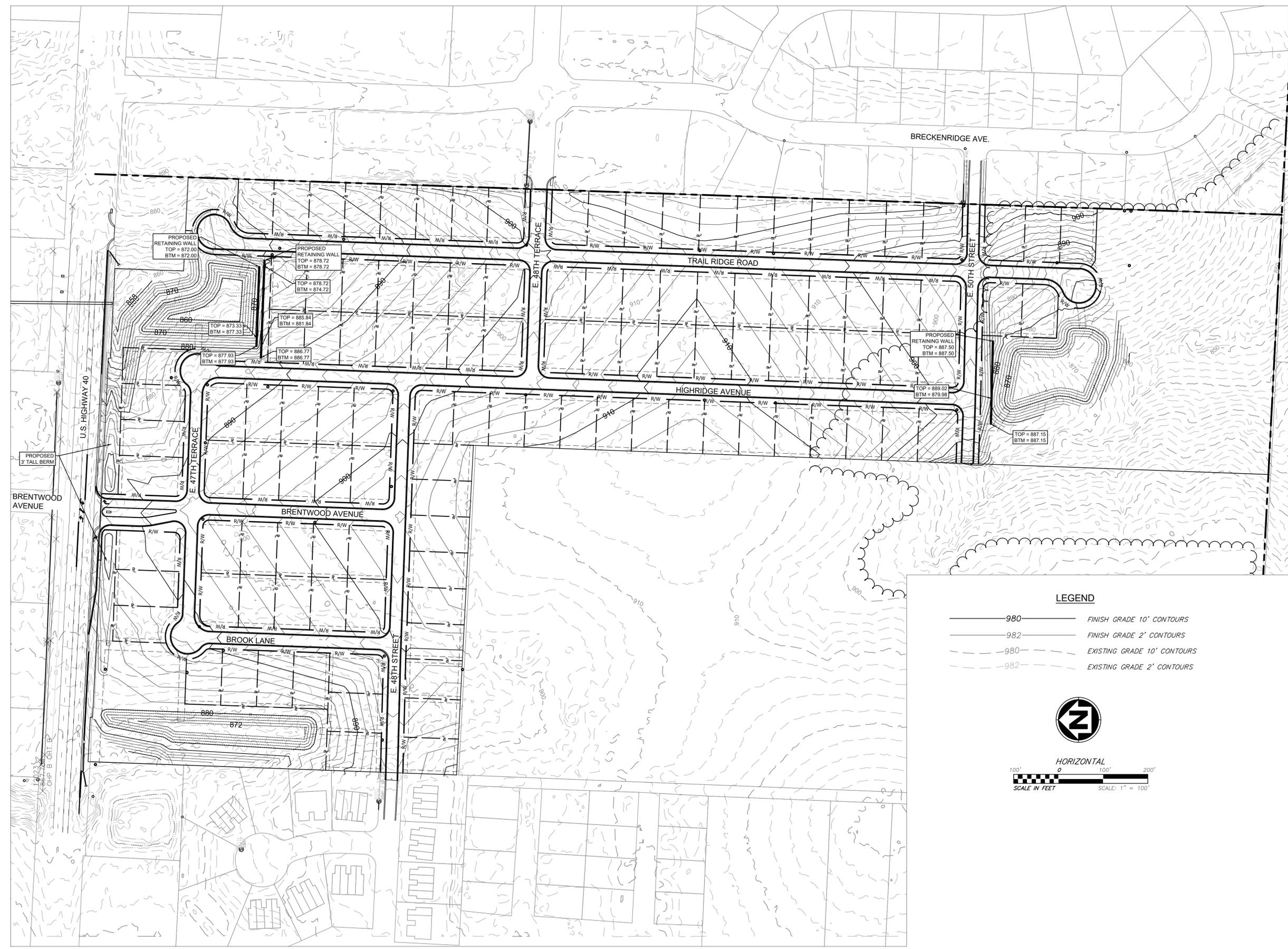
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GRADING PLAN
C1.20



LEGEND

	980	FINISH GRADE 10' CONTOURS
	982	FINISH GRADE 2' CONTOURS
	980	EXISTING GRADE 10' CONTOURS
	982	EXISTING GRADE 2' CONTOURS





ANDERSON ENGINEERING
EMPLOYEE OWNED

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REG. IN 14 STATES: ARIZONA, CALIFORNIA, ILLINOIS, INDIANA, IOWA, KANSAS, MISSOURI, NEBRASKA, OHIO, SOUTH CAROLINA, TEXAS, VIRGINIA, WISCONSIN
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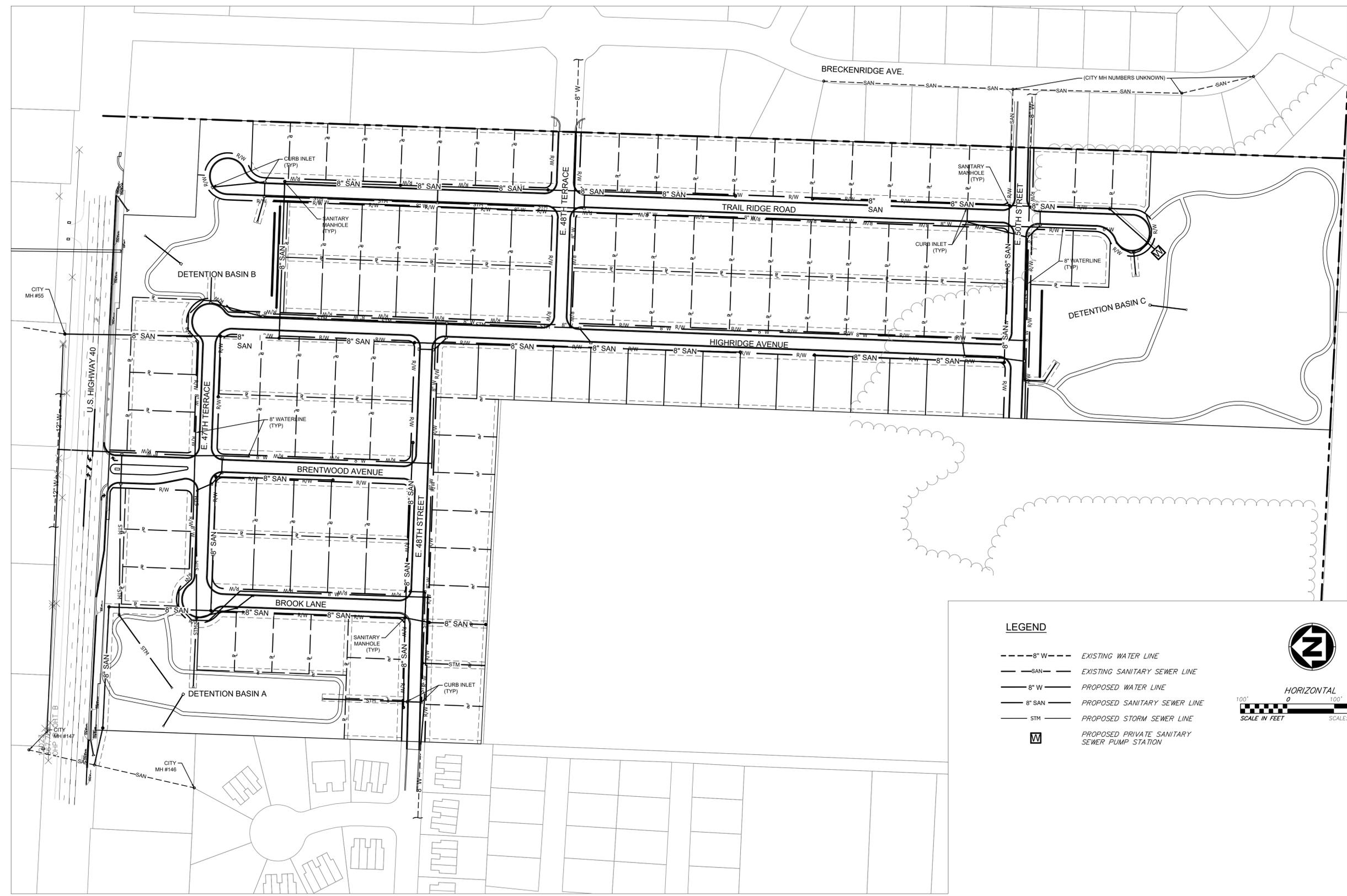
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DATE: 12/22/2021
REV 1: 01/31/2022
REV 2: 02/07/2022

UTILITY PLAN
C1.30



LEGEND

- 8" W --- EXISTING WATER LINE
- SAN - EXISTING SANITARY SEWER LINE
- 8" W — PROPOSED WATER LINE
- 8" SAN — PROPOSED SANITARY SEWER LINE
- STM — PROPOSED STORM SEWER LINE
- W PROPOSED PRIVATE SANITARY SEWER PUMP STATION



ASHTON FARMS

PRELIMINARY STREAM BUFFER PLAN

TOTAL ACREAGE OF RIPARIAN VEGETATION IN OUTER ZONE:	6.42 ACRES
TOTAL ACREAGE OF STEEP SLOPES IN OUTER ZONE:	0.00 ACRES
TOTAL ACREAGE OF CLEARING AND GRADING IN OUTER ZONE:	3.06 ACRES
PERCENTAGE OF OUTER ZONE TO BE CLEARED:	47.7%
TOTAL ACREAGE OF RIPARIAN MITIGATION REQUIRED:	0.49 ACRES
TOTAL ACREAGE OF PROPOSED RIPARIAN MITIGATION:	0.50 ACRES
PERCENTAGE OF OUTER ZONE TO BE MITIGATED:	7.7%



LEGEND

STREAM SIDE ZONE	
MIDDLE ZONE	(FALLS INSIDE STREAM SIDE ZONE)
OUTER ZONE	
MITIGATION AREA	

NOTES

1. NO REGULATORY FEMA FLOODPLAIN IS LOCATED ON THE PROPERTY.
2. MIDDLE ZONE LIMITS FALL INSIDE THE OUTER LIMITS OF THE STREAMSIDE ZONE.
3. NO SLOPES ARE GREATER THAT 15%.



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ASHTON FARMS

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REV 2: 02/07/2022

PRELIMINARY BUFFER PLAN

C1.40



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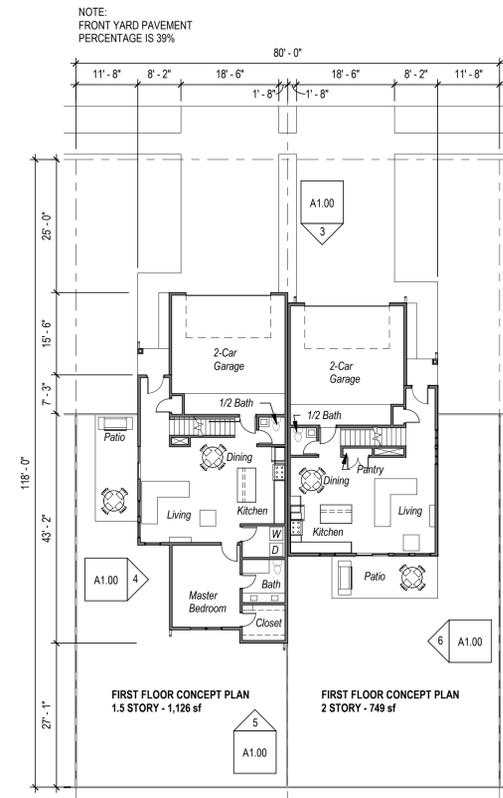
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CE No.: 210-005-21

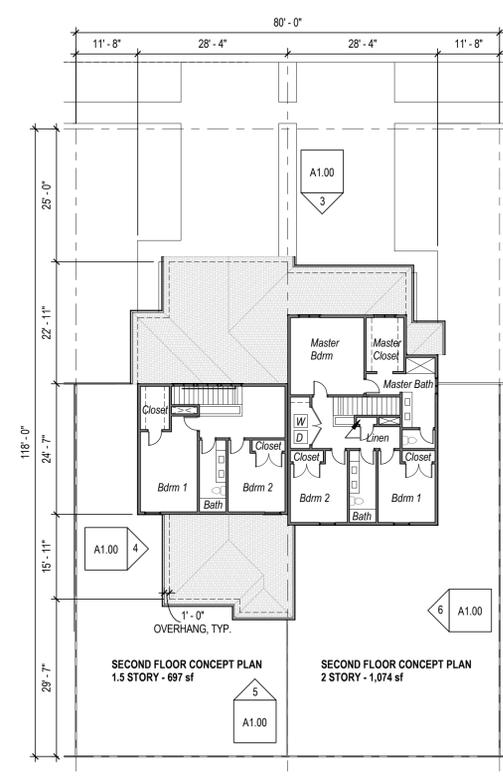
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Concept Plans &
 Elevations

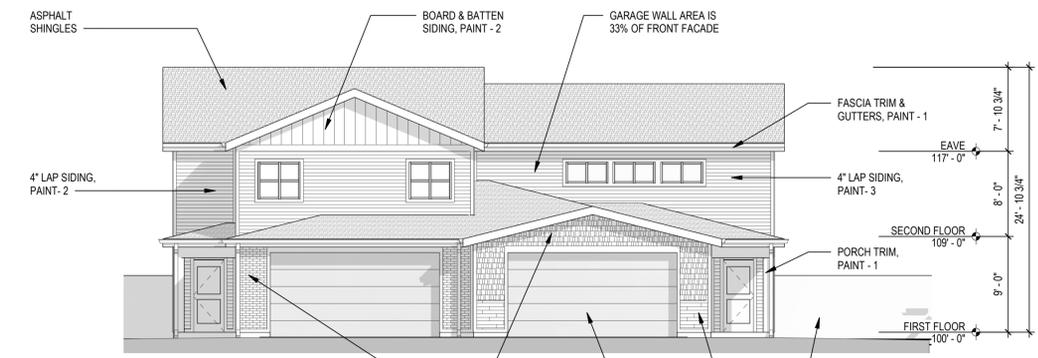
A1.00



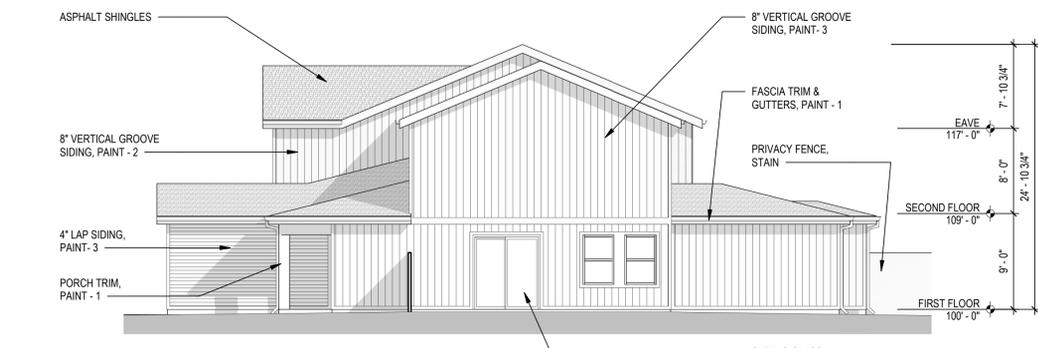
1 FIRST FLOOR CONCEPT PLAN
 SCALE: 1/16" = 1'-0"



2 SECOND FLOOR CONCEPT PLAN
 SCALE: 1/16" = 1'-0"



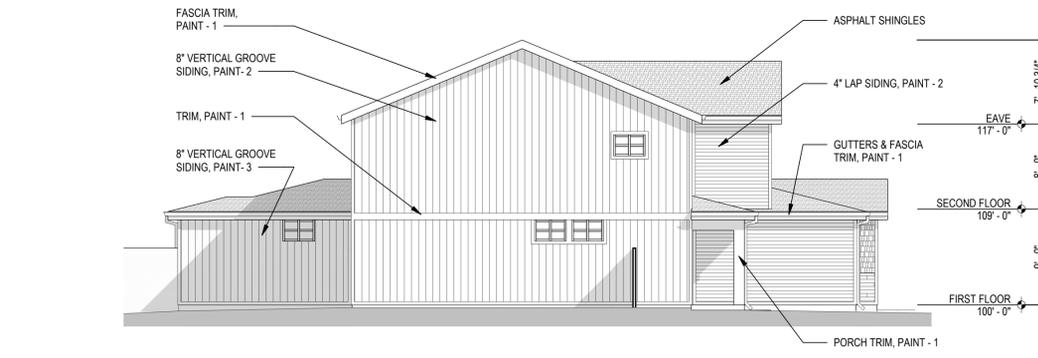
3 STREET ELEVATION
 SCALE: 1/8" = 1'-0"



4 SIDE ELEVATION 1.5 STORY
 SCALE: 1/8" = 1'-0"



5 BACK ELEVATION
 SCALE: 1/8" = 1'-0"



6 SIDE ELEVATION 2 STORY
 SCALE: 1/8" = 1'-0"

DESIGN STANDARDS

1. 2 CAR GARAGE FACING STREET
2. COVERED FRONT PORCH ENTRY
3. EXTERIOR STREET FACING MATERIALS
 - 4" LAP SIDING
 - SHAKE SHINGLE SIDING
 - BOARD & BATTEN SIDING
 - STONE
 - BRICK
4. EXTERIOR SIDE YARD & BACK YARD FACING MATERIALS
 - VERTICAL GROOVE SIDING
 - 4" LAP SIDING
5. EXTERIOR PAINT, BRICK & STONE COLORS TO BE APPROVED BY NEIGHBORHOOD ASSOCIATION
6. ROOF FORMS
 - DOUBLE PITCHED ROOF
 - HIP ROOF
7. CONCRETE PAVED BACK PATIO OR SIDE PATIO
8. WOOD PRIVACY FENCE ENCLOSING BACK YARD



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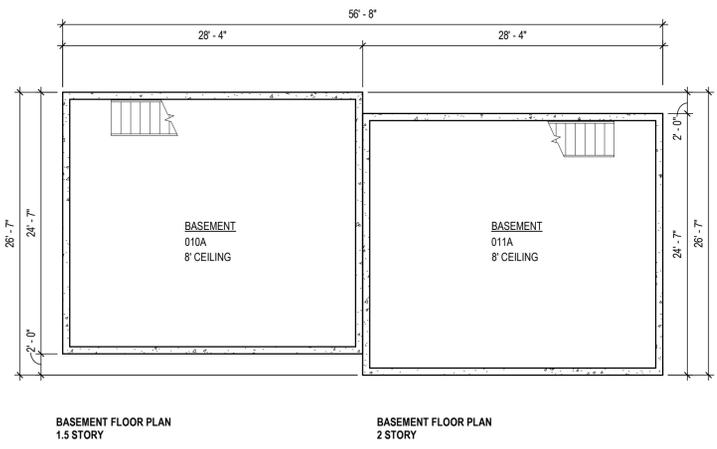
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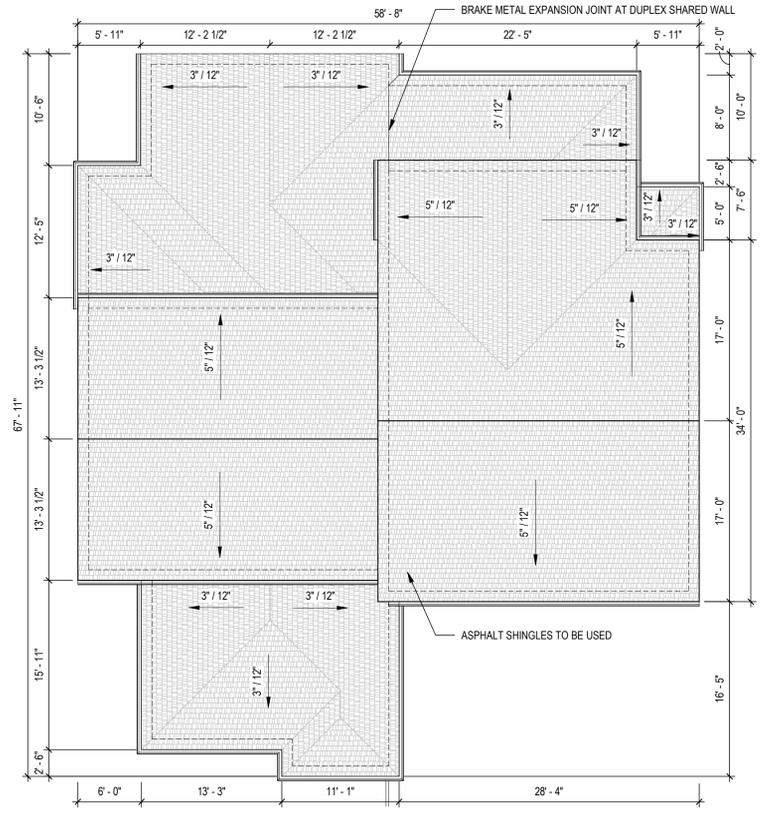
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Building A Floor Plans &
Roof Plan

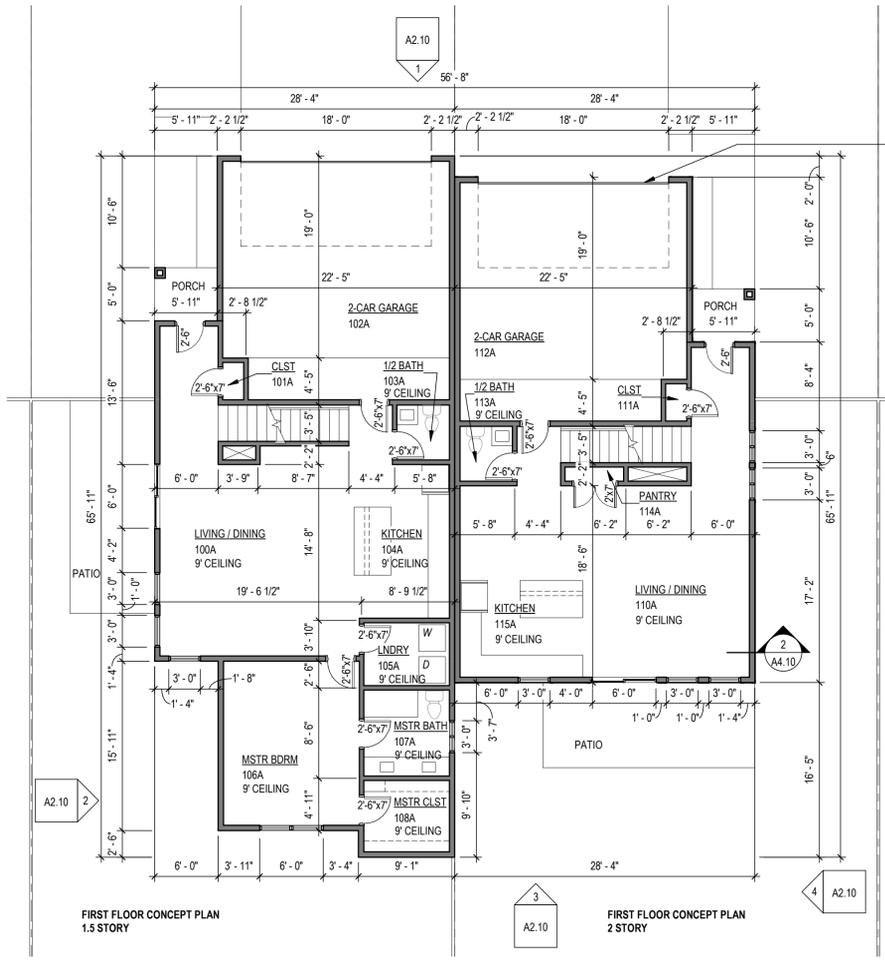
A1.10



1 BASEMENT BUILDING A
SCALE: 1/8" = 1'-0"

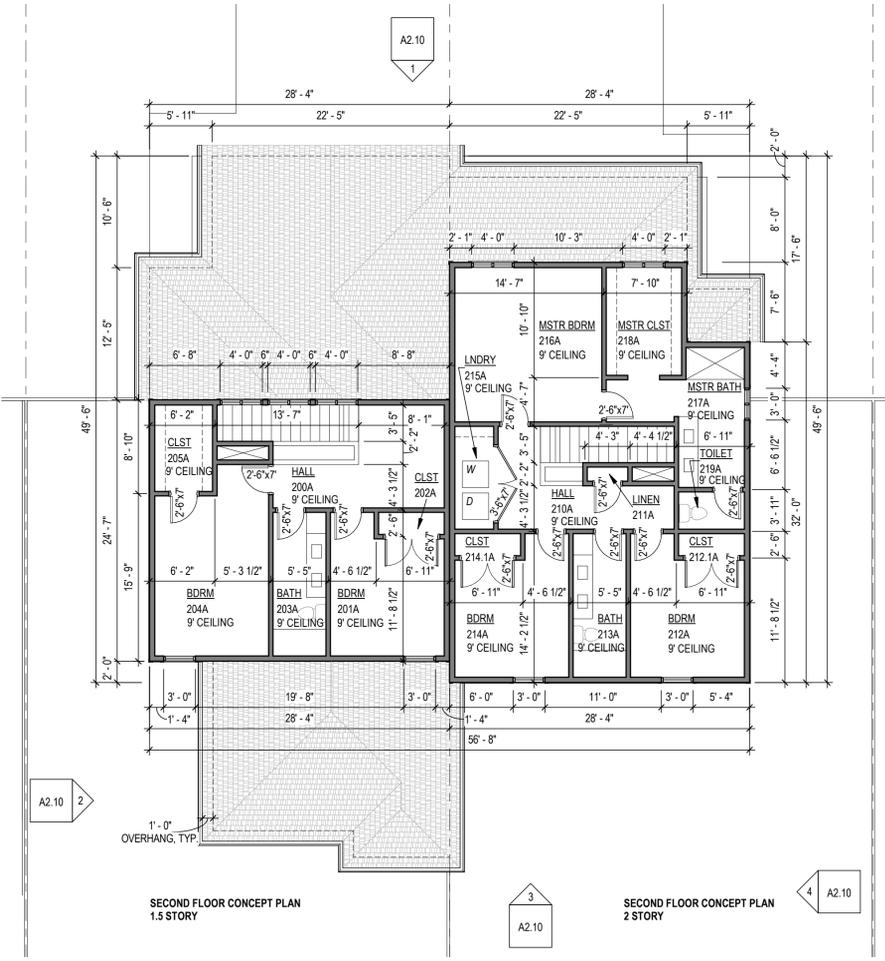


3 ROOF PLAN BUILDING A
SCALE: 1/8" = 1'-0"

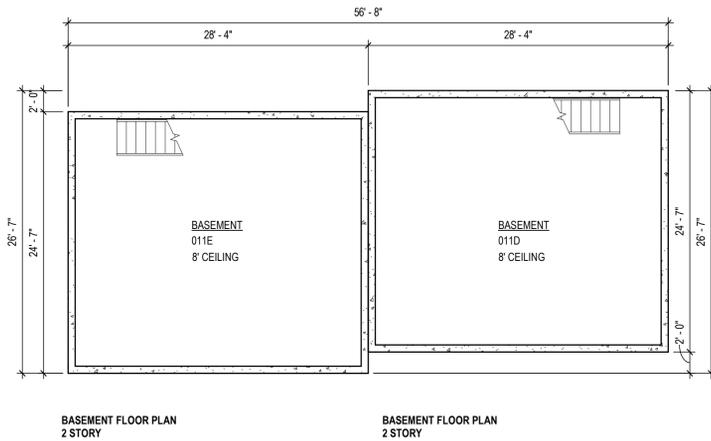


2 FIRST FLOOR BUILDING A
SCALE: 1/8" = 1'-0"

GARAGE DOORS WILL MEET ANSIDASMA 108 FOR 115 MPH REQUIREMENTS

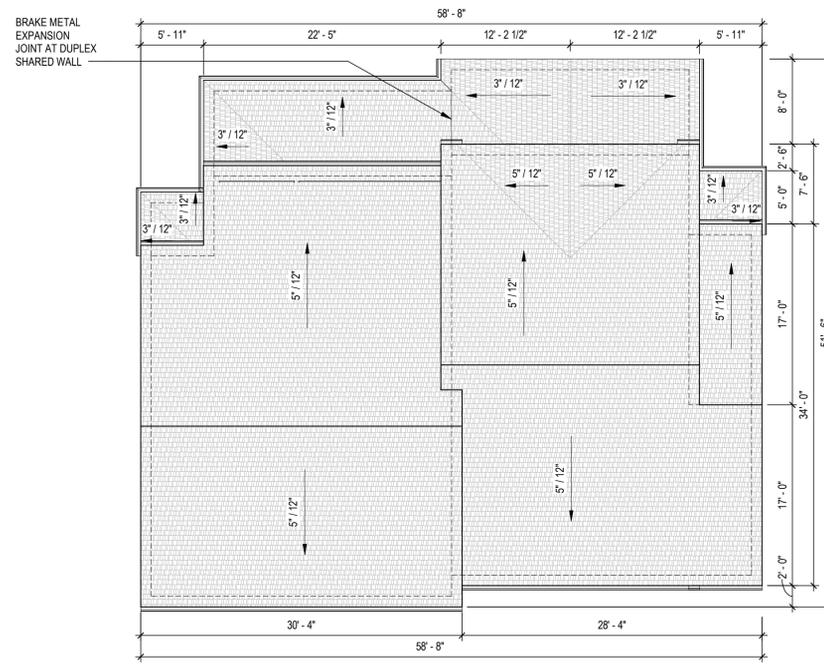


4 SECOND FLOOR BUILDING A
SCALE: 1/8" = 1'-0"



1 BASEMENT BUILDING B

SCALE: 1/8" = 1'-0"

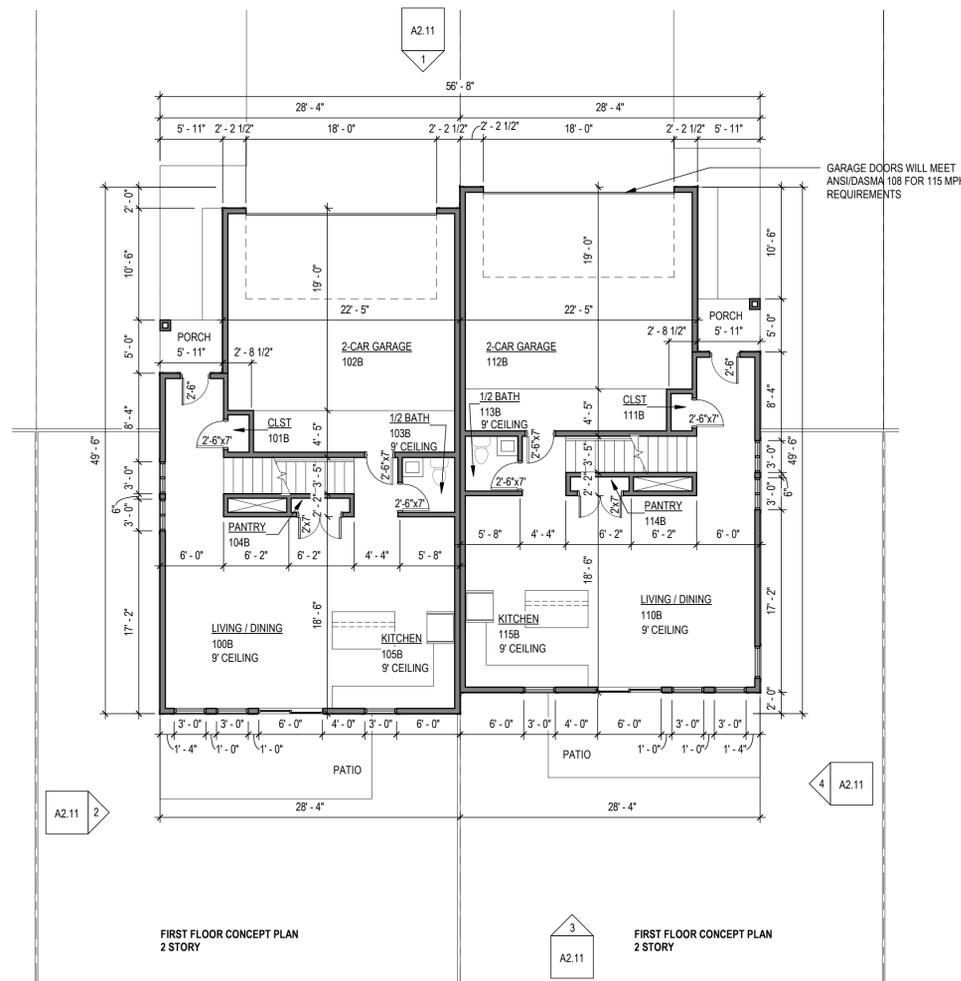


3 ROOF PLAN BUILDNG B

SCALE: 1/8" = 1'-0"

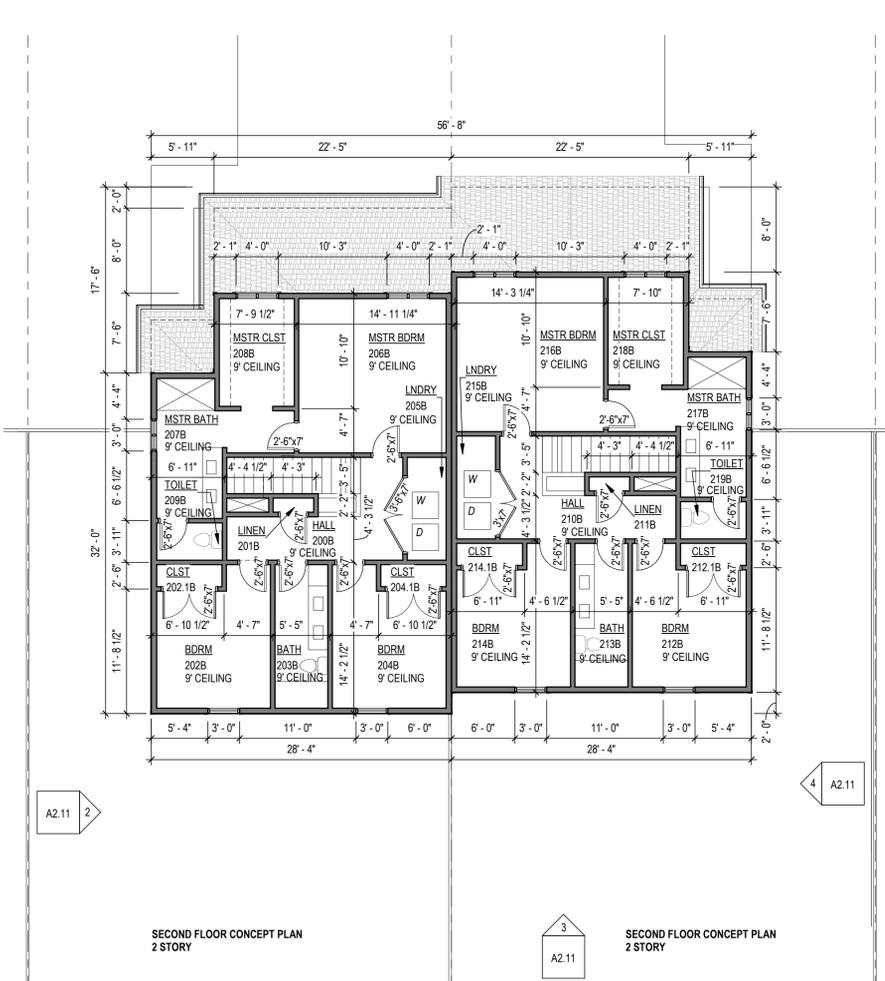
DESIGN STANDARDS

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7. WOOD PRIVACY FENCE ENCLOSING BACK YARD



2 FIRST FLOOR BUILDING B

SCALE: 1/8" = 1'-0"



4 SECOND FLOOR BUILDING B

SCALE: 1/8" = 1'-0"



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A1.11



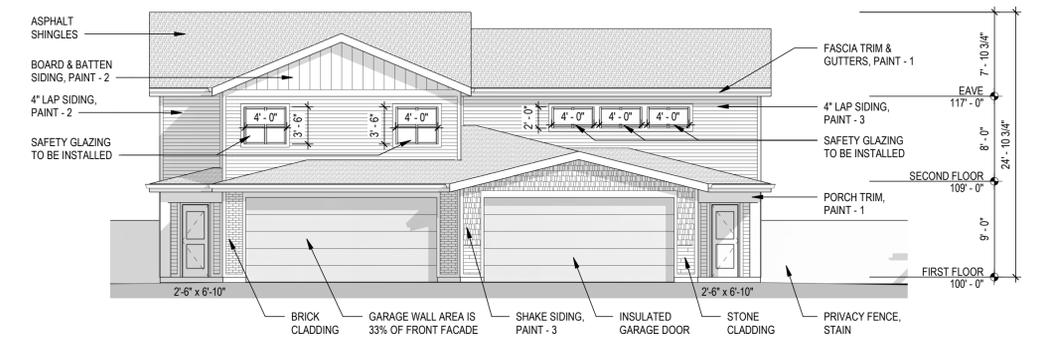
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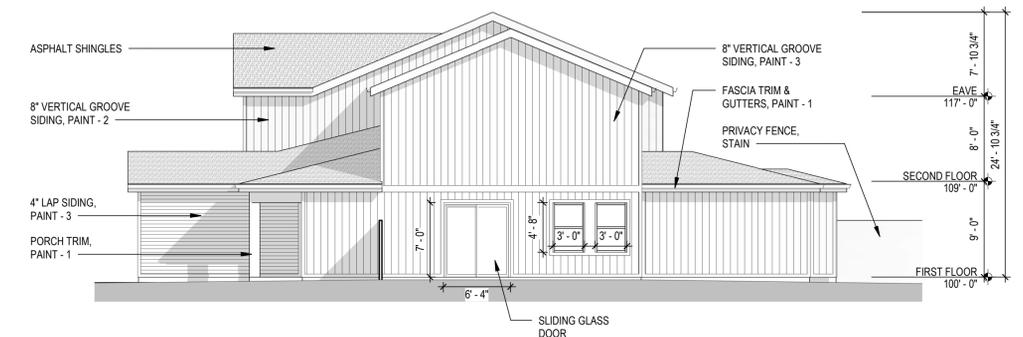


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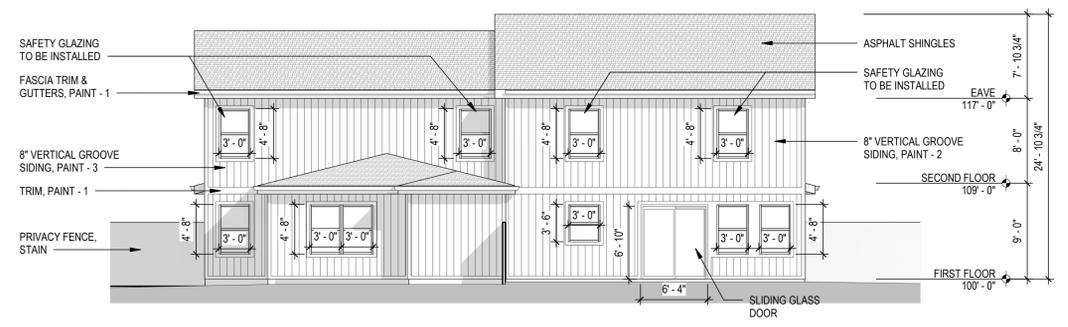
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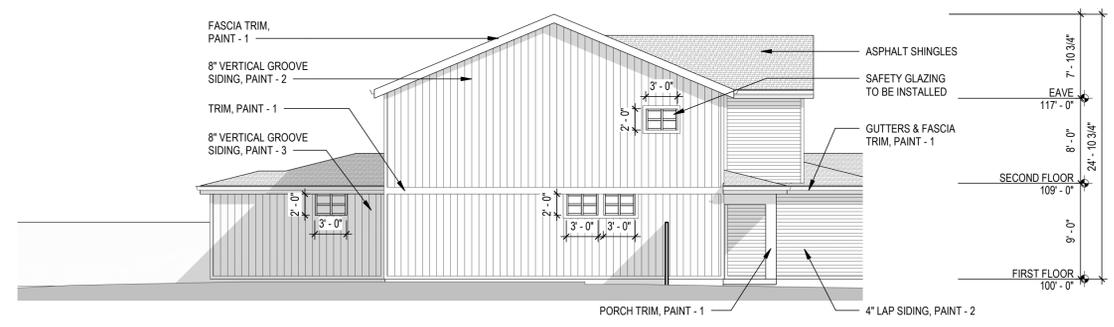
1 STREET ELEVATION BUILDING A
SCALE: 1/8" = 1'-0"
0 4' 8' 16'



2 SIDE ELEVATION 1.5 STORY BUILDING A
SCALE: 1/8" = 1'-0"
0 4' 8' 16'



3 BACK ELEVATION BUILDING A
SCALE: 1/8" = 1'-0"
0 4' 8' 16'



4 SIDE ELEVATION 2 STORY BUILDING A
SCALE: 1/8" = 1'-0"
0 4' 8' 16'

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Building A Exterior
Elevations

A2.10



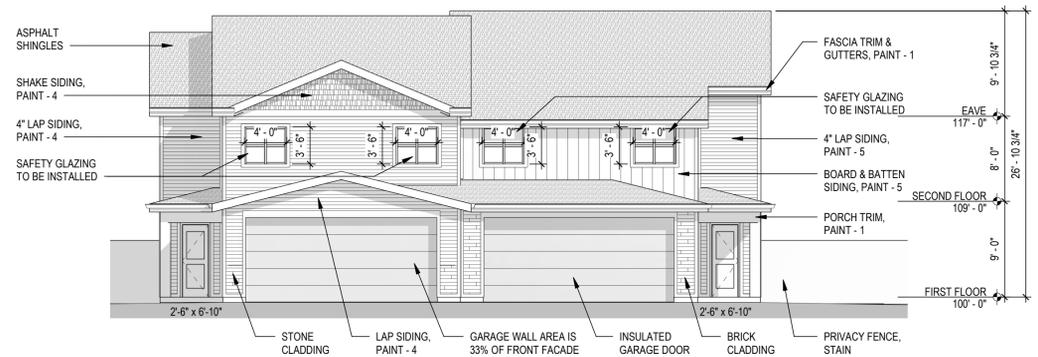
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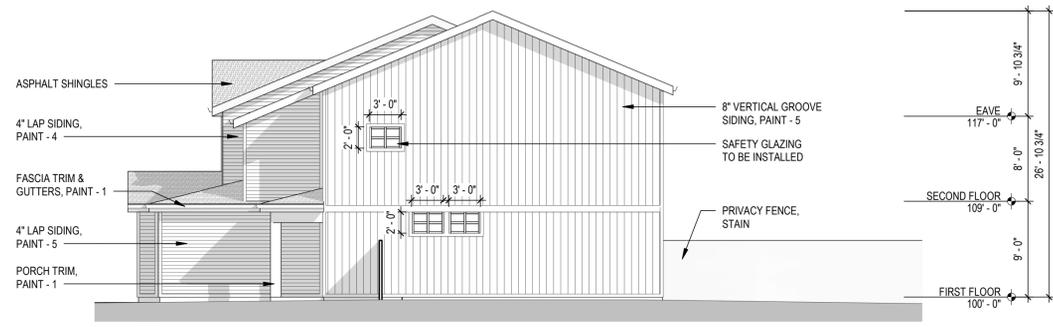


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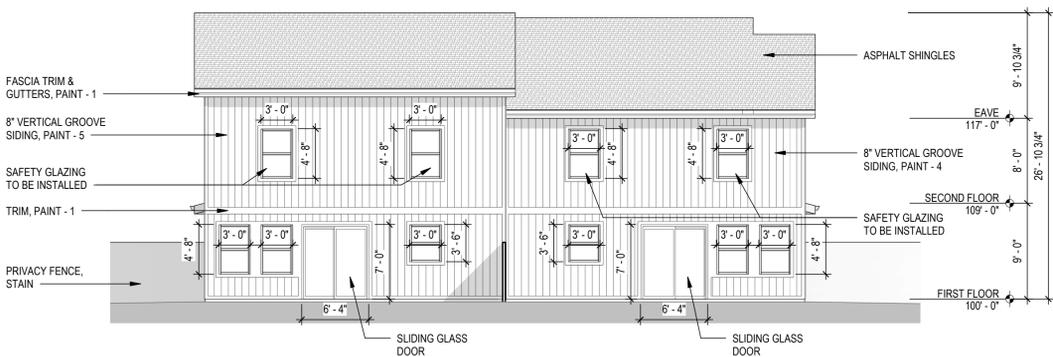
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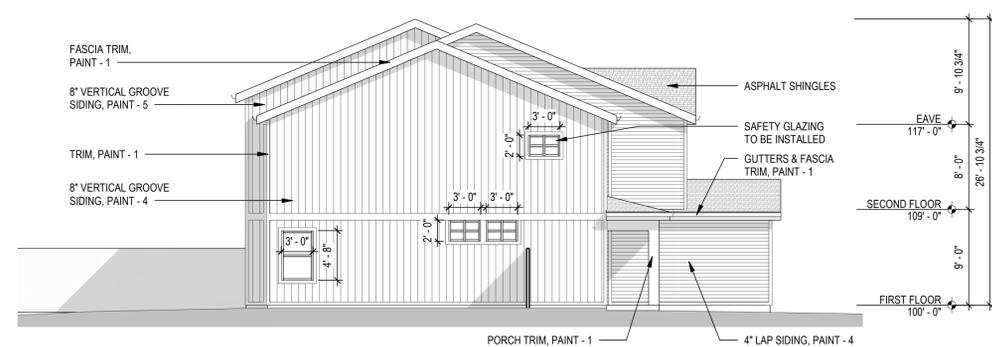
1 STREET ELEVATION BUILDING B
SCALE: 1/8" = 1'-0"
0 4' 8' 16'



2 SIDE ELEVATION 2 STORY BUILDING B
SCALE: 1/8" = 1'-0"
0 4' 8' 16'



3 BACK ELEVATION BUILDING B
SCALE: 1/8" = 1'-0"
0 4' 8' 16'



4 SIDE ELEVATION 2 STORY BUILDING B
SCALE: 1/8" = 1'-0"
0 4' 8' 16'

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Building B Exterior
Elevations

A2.11



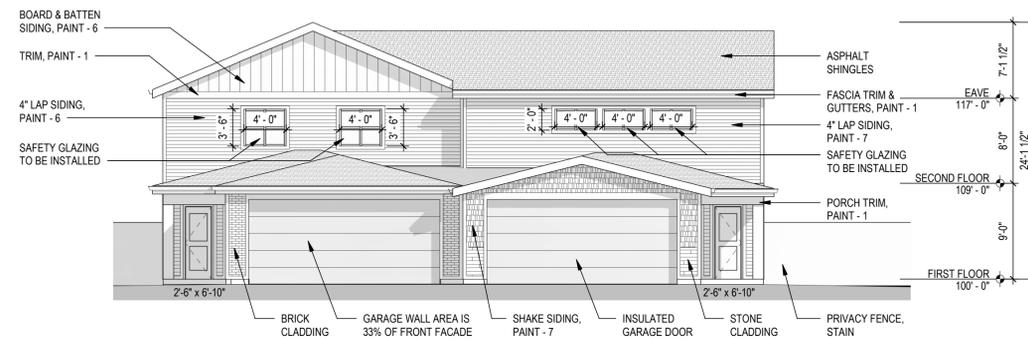
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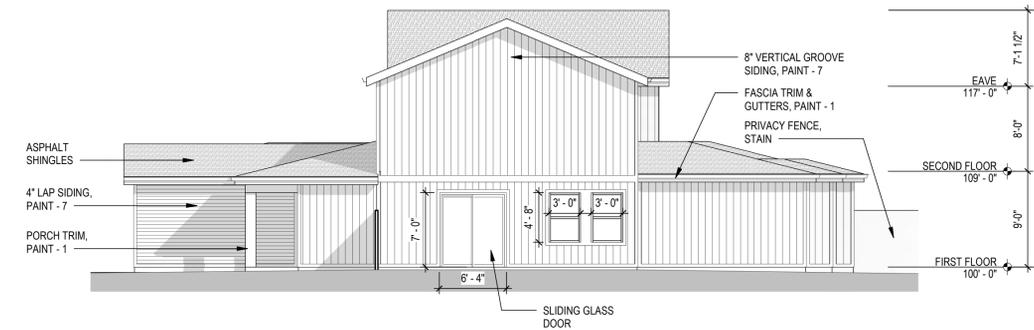
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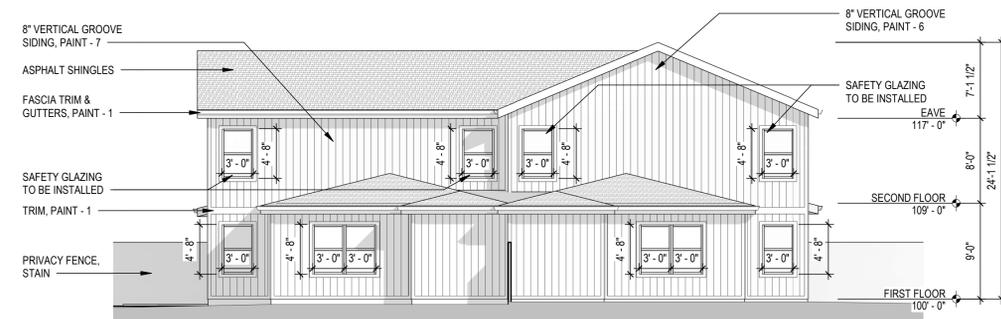
1 STREET ELEVATION BUILDING C

SCALE: 1/8" = 1'-0"
0 4' 8' 16'



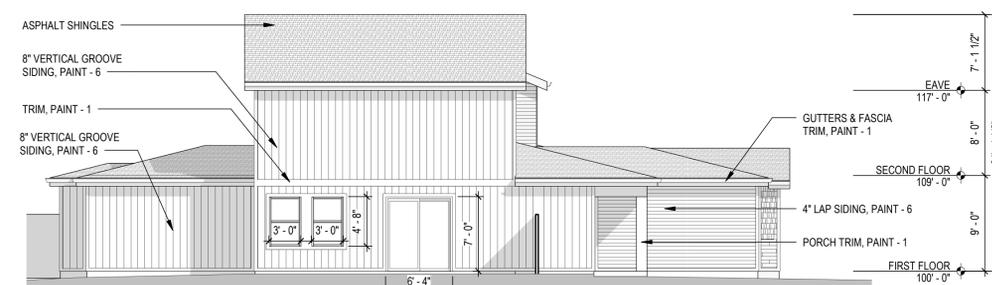
2 SIDE ELEVATION 2 STORY BUILDING C

SCALE: 1/8" = 1'-0"
0 4' 8' 16'



3 BACK ELEVATION BUILDING C

SCALE: 1/8" = 1'-0"
0 4' 8' 16'



4 SIDE ELEVATION 2 STORY BUILDING C

SCALE: 1/8" = 1'-0"
0 4' 8' 16'

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Building C Exterior
Elevations

A2.12

Front Elevations – Options 1 & 2

Building A	2 & 1.5 story
Building B	2 & 2 story
Building C	1.5 & 1.5 story

OPTION 1

OPTION 2



BUILDING A (2 & 1.5 STORY) - OPTIONS 1 & 2 - STREET ELEVATION

OPTION 1

OPTION 2



BUILDING B (2 & 2 STORY) - OPTIONS 1 & 2 - STREET ELEVATION

OPTION 1

OPTION 2



STONE

BRICK

BUILDING C (1.5 & 1.5 STORY) - OPTIONS 1 & 2 - STREET ELEVATION

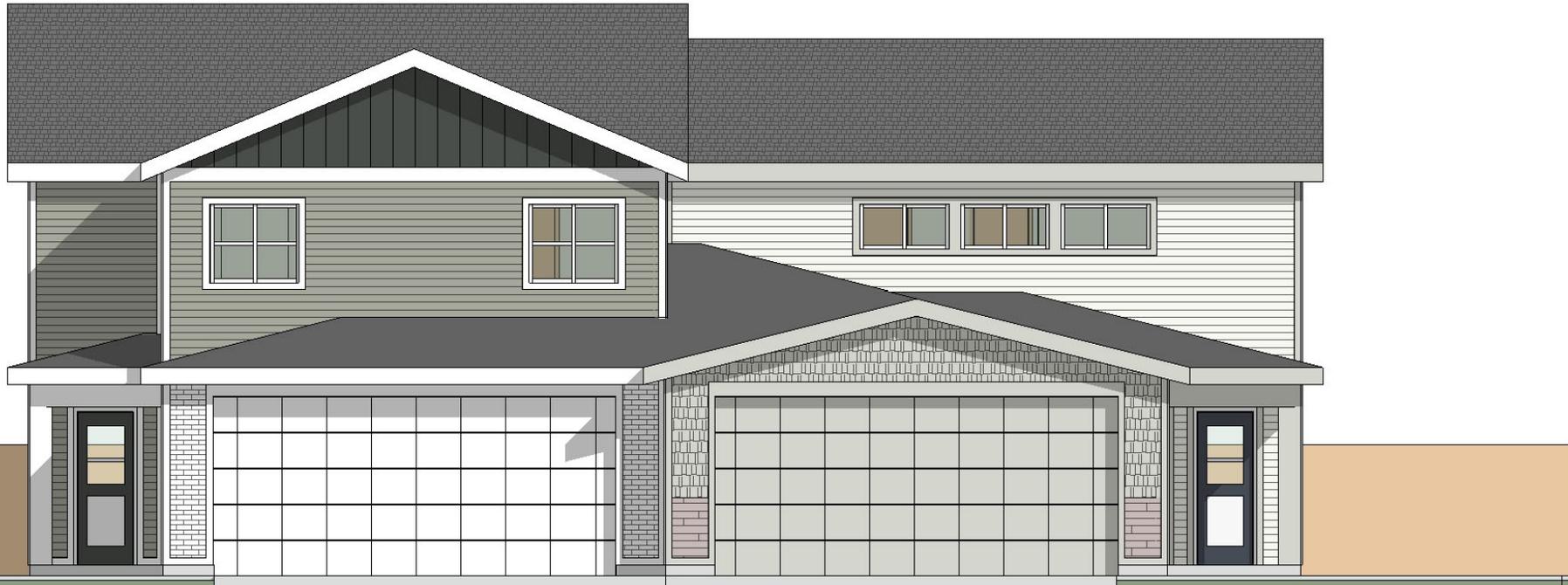
Building A

2 & 1.5 story

OPTIONS 1 & 2

OPTION 1

OPTION 2



BUILDING A - OPTIONS 1 & 2 - STREET ELEVATION



OPTION 1

BUILDING A - OPTIONS 1 & 2 - SIDE ELEVATION 1

OPTION 2

OPTION 1



BUILDING A - OPTIONS 1 & 2 - BACK ELEVATION



OPTION 2

BUILDING A - OPTIONS 1 & 2 - SIDE ELEVATION 2

Building B

2 & 2 story

OPTIONS 1 & 2

OPTION 1

OPTION 2



BUILDING B - OPTIONS 1 & 2 - STREET ELEVATION



OPTION 1

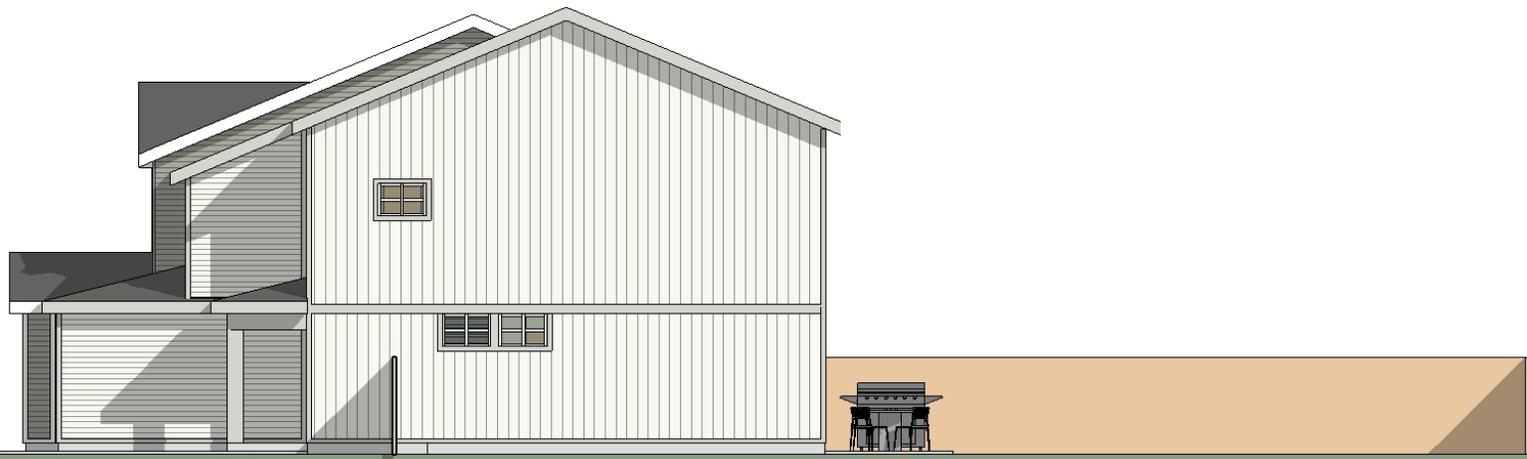
BUILDING B - OPTIONS 1 & 2 - SIDE ELEVATION 1

OPTION 2

OPTION 1



BUILDING B - OPTIONS 1 & 2 - BACK ELEVATION



OPTION 2

BUILDING B - OPTIONS 1 & 2 - SIDE ELEVATION 2

Building C

1.5 & 1.5 story

OPTIONS 1 & 2

OPTION 1

OPTION 2



BUILDING C - OPTIONS 1 & 2 - STREET ELEVATION



OPTION 1

BUILDING C - OPTIONS 1 & 2 – SIDE ELEVATION 1

OPTION 2

OPTION 1



BUILDING C - OPTIONS 1 & 2 – BACK ELEVATION



OPTION 2

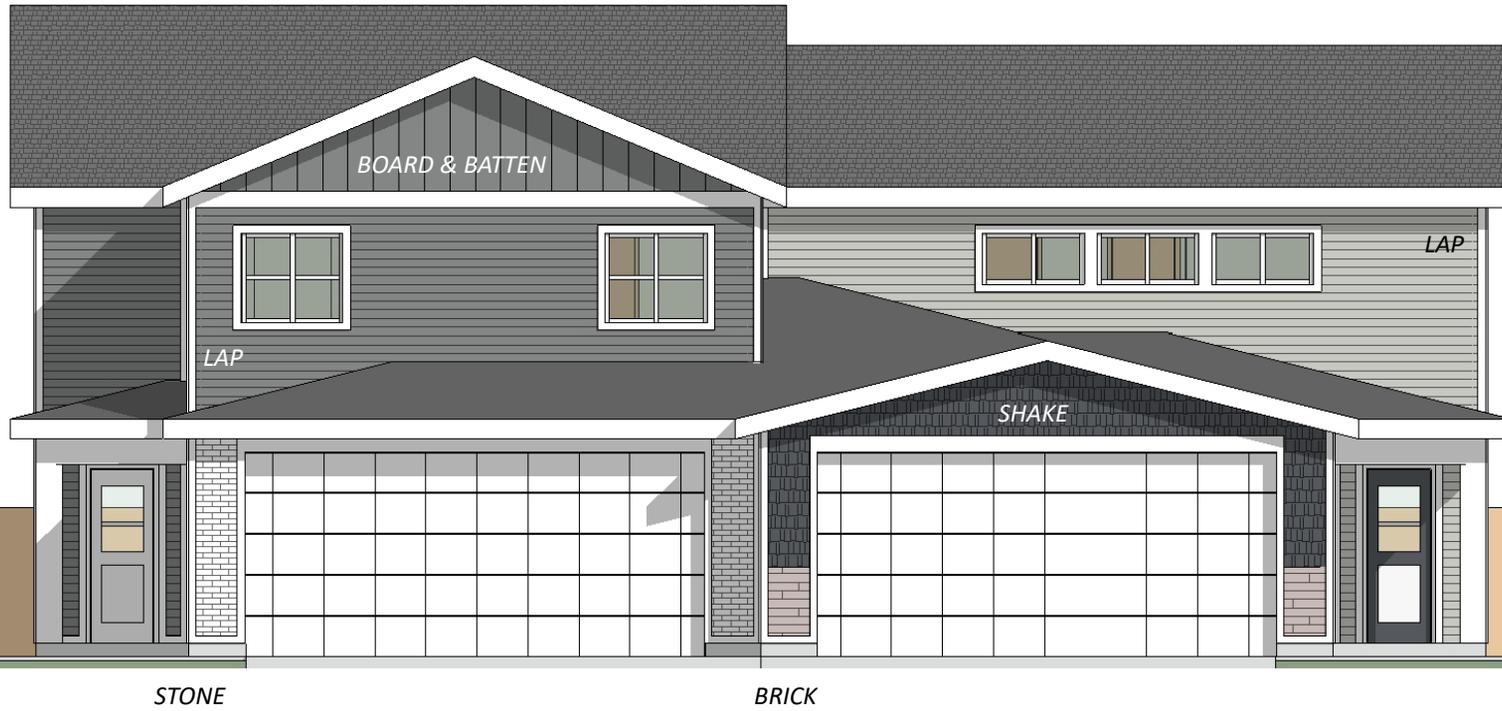
BUILDING C - OPTIONS 1 & 2 – SIDE ELEVATION 2

Front Elevations – Options 3 & 4

- Building A 2 & 1.5 story
- Building B 2 & 2 story
- Building C 1.5 & 1.5 story

OPTION 3

OPTION 4



BUILDING A (2 & 1.5 STORY) - OPTIONS 3 & 4 - STREET ELEVATION

OPTION 3

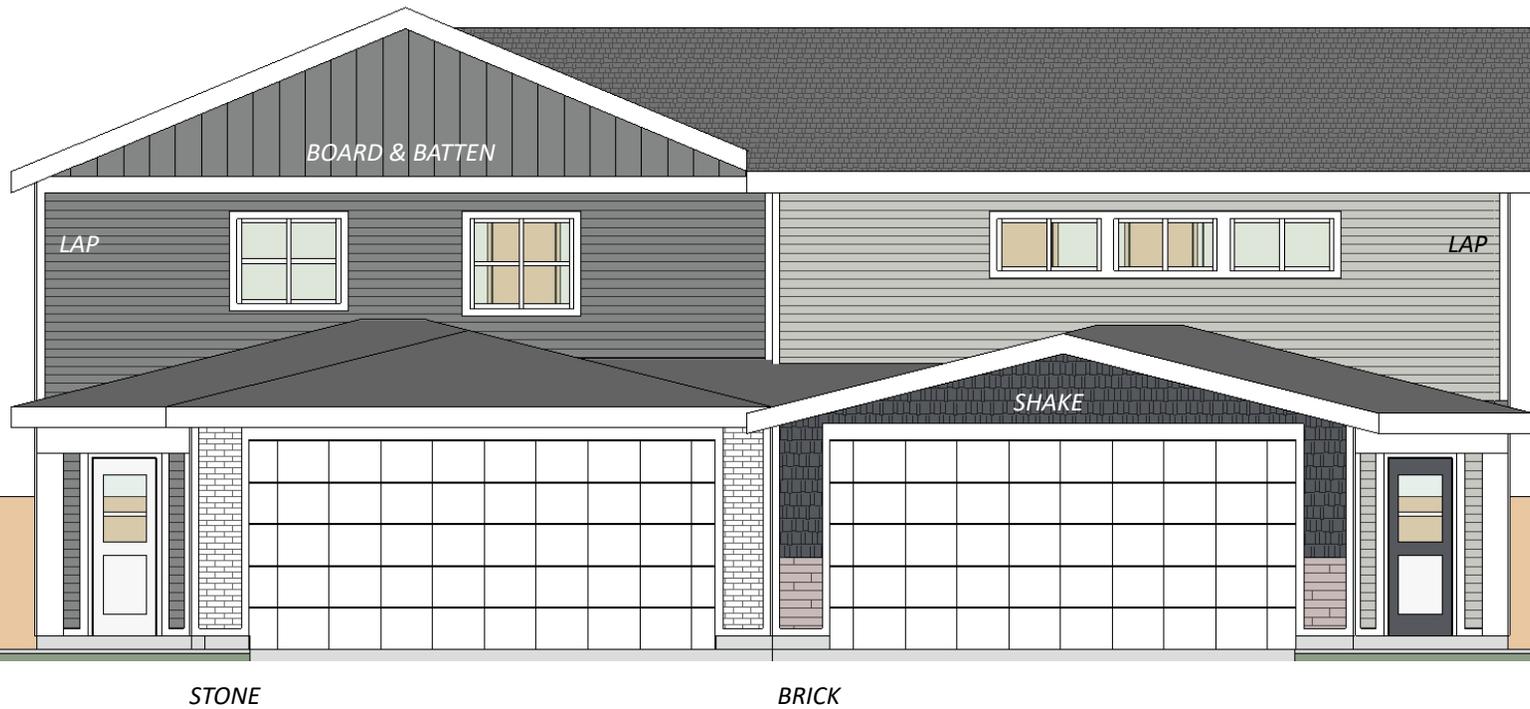
OPTION 4



BUILDING B (2 & 2 STORY) - OPTIONS 3 & 4 - STREET ELEVATION

OPTION 3

OPTION 4



BUILDING C (1.5 & 1.5 STORY) - OPTIONS 3 & 4 - STREET ELEVATION

Building A

2 & 1.5 story

OPTIONS 3 & 4

OPTION 3

OPTION 4



BUILDING A - OPTIONS 3 & 4 - STREET ELEVATION



OPTION 3

BUILDING A - OPTIONS 3 & 4 - SIDE ELEVATION 1

OPTION 4

OPTION 3



BUILDING A - OPTIONS 3 & 4 - BACK ELEVATION



OPTION 4

BUILDING A - OPTIONS 3 & 4 - SIDE ELEVATION 2

Building B

2 & 2 story

OPTIONS 3 & 4

OPTION 3

OPTION 4



BUILDING B - OPTIONS 3 & 4 - STREET ELEVATION



OPTION 3

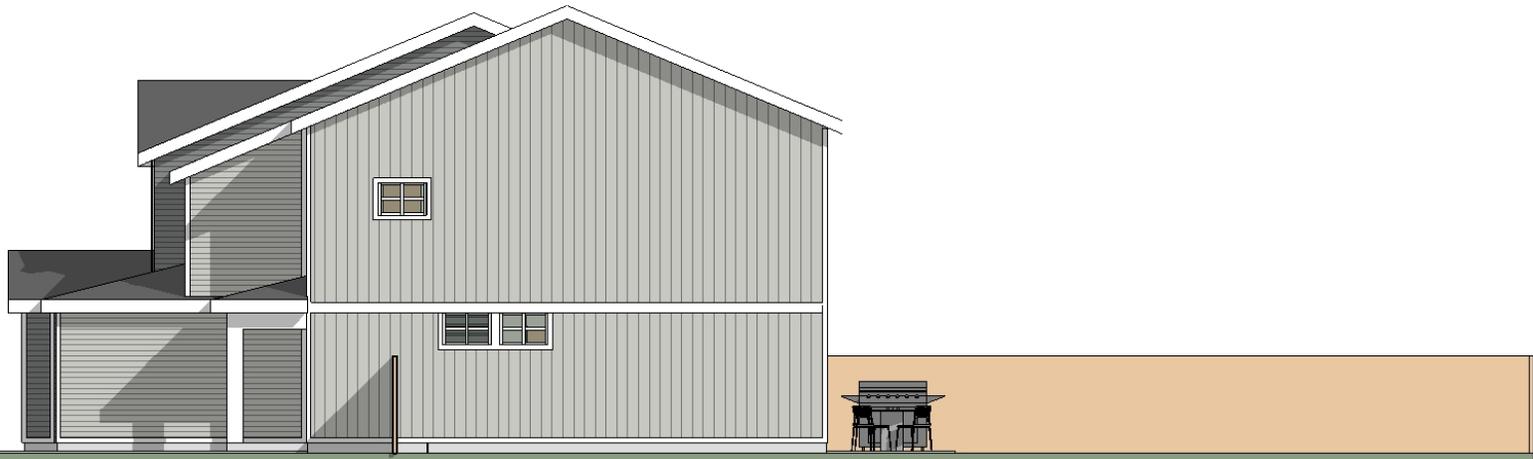
BUILDING B - OPTIONS 3 & 4 - SIDE ELEVATION 1

OPTION 4

OPTION 3



BUILDING B - OPTIONS 3 & 4 - BACK ELEVATION



OPTION 4

BUILDING B - OPTIONS 3 & 4 - SIDE ELEVATION 2

Building C

1.5 & 1.5 story

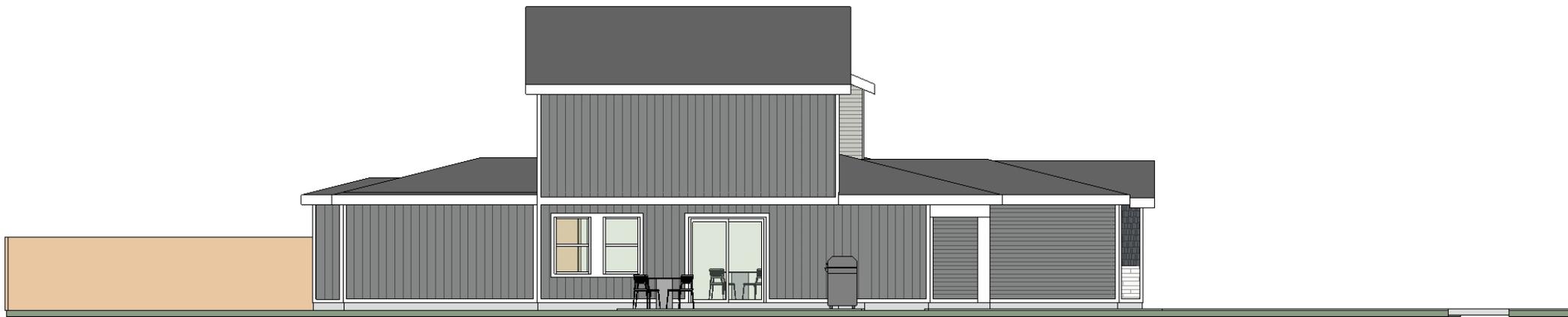
OPTIONS 3 & 4

OPTION 3

OPTION 4



BUILDING C - OPTIONS 3 & 4 - STREET ELEVATION



OPTION 3

BUILDING C - OPTIONS 3 & 4 – SIDE ELEVATION 1

OPTION 4

OPTION 3



BUILDING C - OPTIONS 3 & 4 – BACK ELEVATION



OPTION 4

BUILDING C - OPTIONS 3 & 4 – SIDE ELEVATION 2

Landscape Requirements/Calculations

One street tree is required for each 30 feet of street frontage.
Requirement Met.

88-425-LANDSCAPE SCHEDULE	Required	Proposed	Alt. Requested	Approved
88-425-03 Street Trees	30' o.c.	30' o.c.		
88-425-04 General	n/a			
88-425-05 Perimeter Vehicular Use Area	n/a			
Adjacent to streets	n/a			
Buffer Width	n/a			
Trees	n/a			
Shrub/Wall/Berm	n/a			
Adjacent to Residential Zones	n/a			
Buffer Width	n/a			
Shrub/Wall/Berm	n/a			
88-425-06 Interior Vehicular Use Area	n/a			
Buffer Width	n/a			
Trees	n/a			
Shrubs	n/a			
88-425-07 Parking Garage Screening	n/a			
88-425-08 Mech./Utility Equip. Screening	n/a			
88-425-09 Outdoor Use Screening	n/a			



1 LANDSCAPE PLAN

SCALE: 1"=100'-0"

Planting Notes

- Location of all existing utilities needs to be done before commencing work.
- The planting plan graphically illustrates overall plant massings. Each plant species massing shall be placed in the field to utilize the greatest coverage of ground plane. The following applies for individual plantings:
 - Creeping groundcover shall be a minimum of 6" from paving edge.
 - All trees shall be a minimum of 3' from paving edge.
 - All plants of the same species shall be equally spaced apart and placed for best aesthetic viewing.
 - All shrubs shall be a minimum of 2' from paved edge.
- Mulch all planting bed areas to a minimum depth of 3". Mulch individual trees to a minimum depth of 4".
- Note: If plants are not labeled - they are existing and shall remain.

Materials:
1. Plant material shall be healthy, vigorous, and free of disease and insects as per AAN standards.
2. Shredded bark mulch installed at trees shall be finely chipped and shredded hardwood chips, consisting of pure wood products and free of all other foreign substances. Pine bark compost mulch installed at planting bed areas shall be free of all other foreign substances.

- Installation:**
- All planting beds shall be amended with 1 cubic yard of peat moss per 1,000 square feet. Till peat moss into soil to a 6" depth. A 10-10-10 fertilizer shall be spread over all planting areas prior to planting, at a rate of 50 pounds per 2,000 square feet.
 - After plants have been installed, all planting beds shall be treated with Dacthal pre-emergent herbicide prior to mulch application.
 - Plant pit backfill for trees and shrubs shall be 50% peat or well composted manure and 50% topsoil.
 - Plant material shall be maintained and guaranteed for a period of one year after Owner's acceptance of finished job. All dead or damaged plant material shall be replaced at Landscape Contractor's expense.
 - Landscape contractor shall maintain all plant material until final acceptance, at which point the one year guarantee begins.

TREE PLANTING NOTES:
1) DO NOT HEAVILY PRUNE THE TREE. PRUNE ONLY CROSSOVER LIMBS CO-DOMINANT LEADERS, & BROKEN OR DEAD BRANCHES SOME INTERIOR TWIGS & LATERAL BRANCHES MAY BE PRUNED. DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN

2) MARK THE NORTH SIDE OF THE TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHENEVER POSSIBLE

3) SET TOP OF ROOT BALL 1-2 INCHES HIGHER THAN SURROUNDING GRADE

4) APPLY 4" THK WOOD MULCH. DO NOT PLACE MULCH IN DIRECT CONTACT w/ TREE TRUNK

5) EACH TREE MUST BE PLANTED SUCH THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL TREES WHERE THE FLARE IS NOT VISIBLE SHALL BE REJECTED. DO NOT COVER THE TOP OF THE ROOT BALL w/ SOIL

6) REMOVE ALL TWINE, ROPE, WIRE AND BURLAP FROM THE UPPER 1/3 OF ROOT BALL (REMOVE WIRE BASKETS)

7) PLACE ALL ROOT BALLS ON UN-EXCAVATED OR TAMPED SOIL, TYP

STAKING REQUIREMENTS:

- WIRE / CABLE SHALL BE GALV. 12-GAUGE
- TIGHTEN WIRE / CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT PLASTIC HOSE SHALL BE LONG ENOUGH TO ACCOMMODATE 1 1/2" OF GROWTH
- STAKES SHALL BE 2"x 2" HARDWOOD OR EQUAL

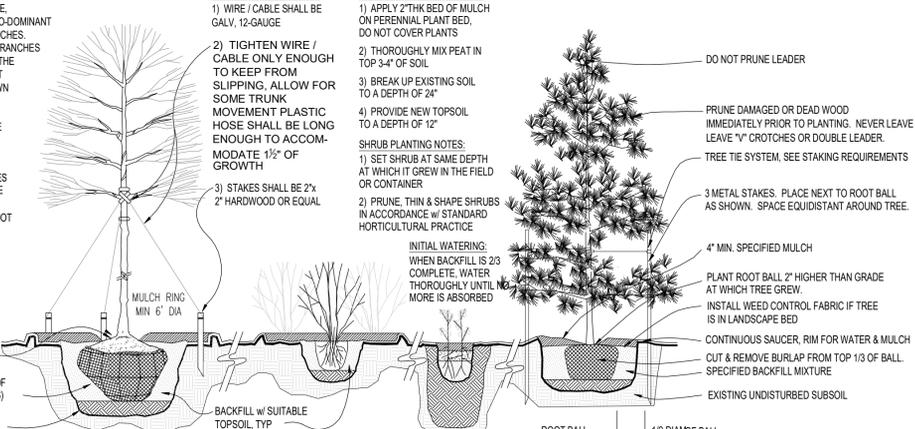
PERENNIAL PLANTING NOTES:

- APPLY 2" THK BED OF MULCH ON PERENNIAL PLANT BED. DO NOT COVER PLANTS
- THOROUGHLY MIX PEAT IN TOP 3-4" OF SOIL
- BREAK UP EXISTING SOIL TO A DEPTH OF 24"
- PROVIDE NEW TOPSOIL TO A DEPTH OF 12"

SHRUB PLANTING NOTES:

- SET SHRUB AT SAME DEPTH AT WHICH IT GREW IN THE FIELD OR CONTAINER
- PRUNE THIN & SHAPE SHRUBS IN ACCORDANCE w/ STANDARD HORTICULTURAL PRACTICE

INITIAL WATERING: WHEN BACKFILL IS 2/3 COMPLETE, WATER THOROUGHLY UNTIL NO MORE IS ABSORBED



2 PLANTING INSTALLATION DETAILS

SCALE: NTS

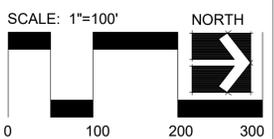
Landscape Schedule

Symbol	Qty.	Botanical Name	Common Name	Min.Root	Min.Size	Caliper	Remarks
OVERSTORY TREES							
[Symbol]	110	Acer x truncatum 'Warrenred'	Pacific Sunset Maple			2"	6' min. clear., ground to canopy
[Symbol]	82	Quercus bicolor	Swamp White Oak			2"	6' min. clear., ground to canopy
[Symbol]	59	Acer griseum	Paperbark Maple			2"	6' min. clear., ground to canopy
[Symbol]	100	Ulmus parvifolia	Lacebark Elm			2"	6' min. clear., ground to canopy
[Symbol]	116	Gleditsia triacanthos 'Skyline'	Shademaster Honeylocust			2"	6' min. clear., ground to canopy
EVERGREEN TREES							
[Symbol]	12	Juniperus chinensis 'Keteleeri'	Keteleeri Juniper			6" ht.	symmetrical pyramidal form
[Symbol]	21	Juniper chinensis	Eastern Red Cedar			6" ht.	symmetrical pyramidal form
[Symbol]	6	Picea abies	Norway Spruce			6" ht.	symmetrical pyramidal form
ORNAMENTAL TREES							
[Symbol]	9	Cercis canadensis	Eastern Redbud			1.5"	
EVERGREEN SHRUBS							
[Symbol]	12	Juniperus chinensis 'Spartan'	Spartan Juniper			5" ht.	Symmetrical pyramidal form



CLIENT
Dalmark Group
12220 State Line Road
Leawood, KS 66209

PROJECT
ASHTON FARMS
15215 E. US Highway 40
Kansas City, MO 64136



Date: 12.17.2021
Project #: 810
Landscape Plan



ASHTON FARMS

Notice of Neighborhood Meeting

Ashton Farms is holding a *virtual* informational meeting to discuss their development at **15215 E US 40 Highway** with surrounding property owners. This development is currently going through the planning phases. We would like to take the opportunity to inform anyone who is interested about the project and get any feedback that our neighbors may have!

There will be two opportunities to join:

Monday, February 7, 2022

4:00pm - 5:00pm CST

*Microsoft Teams Virtual
Conference Call*

Phone Number: 1-316-477-1068

Meeting ID: 394 375 817#

OR

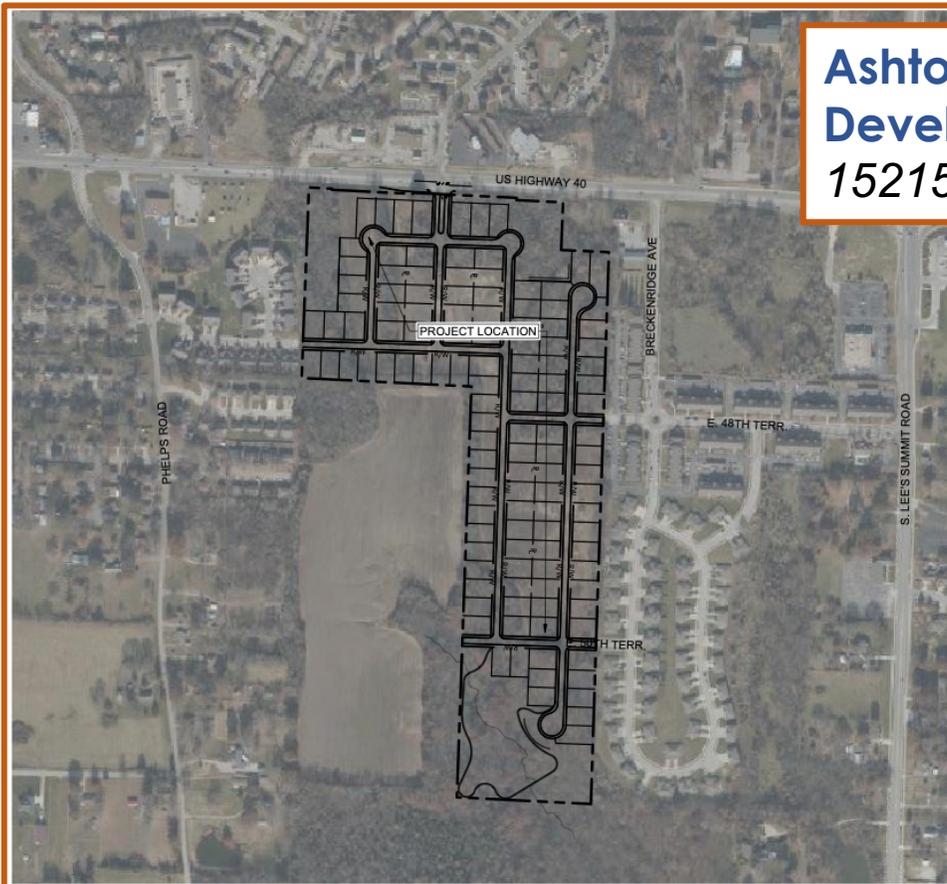
Tuesday, February 8, 2022

6:00pm - 7:00pm CST

*Microsoft Teams Virtual
Conference Call*

Phone Number: 1-316-477-1068

Meeting ID: 906 283 620#



**Ashton Farms
Development Site Plan
15215 E US 40 Highway**

Download Microsoft Teams from the App store on your mobile device!



Thank you, and we look forward to visiting with you.

ASHTON FARMS NEIGHBORHOOD MEETING
02/07/22 @ 4pm
***MEETING WAS RECORDED**

Attendees:

- Development Team
 - Zachary Nichols, David Gladback, Kevin Rohner
- Willie Graves - Neighbor
- Phyllis Bran Stedder – works for The Orchards
- Kaleigh Jones-Clark – Neighbor
- Ronda Cain – Neighbor
 - Did not join until around 4:30pm. Will try to attend the meeting on 2/8.

Meeting Notes:

- Went through presentation about the development
- Various questions were asked, but there were no objections to the project or changes requested with the current project.
 - Some of the questions asked:
 - Wanted more detail about HOA
 - Interested in cost and what amenities were included
 - We are not currently planning on having lawn maintenance included, but they asked us to see if we could add that into the HOA fees
 - Wanted to know if these are owner occupied or people will be able to rent out the units
 - Wanted to know where the concrete cleanout area would be located
 - Wanted more detailed information on phasing and what the trigger will be for each phase
 - Also wanted to understand how the street connections would work with the phases
 - Wanted clarification that we were only doing 2 units per lot

ASHTON FARMS NEIGHBORHOOD MEETING

02/08/22 @ 6pm

***MEETING WAS RECORDED**

Attendees:

- Development Team
 - Zachary Nichols, David Gladback, Kevin Rohner
- Greg Winship - Neighbor
 - 816-306-3808
- Kathleen Killip - Neighbor
 - 816-210-4135
- Rebecca Leaph - Neighbor
 - 816-529-6580
- Brunetta Hamilton - Neighbor
 - 703-887-8741
- Micheal wright - Neighbor
 - 816-679-1729
- John Zelk - Neighbor
 - 816-350-8607
- Greg Eiscem – Neighbor
 - 816-373-3580

Meeting Notes:

- Went through presentation about the development
- Various questions were asked, but there were no objections to the project or changes requested with the current project.
 - Some of the questions asked:
 - Wanted more detail about HOA
 - Interested in cost and what amenities were included
 - We are not currently planning on having lawn maintenance included, but they asked us to see if we could add that into the HOA fees
 - Wanted to know if these are owner occupied or people will be able to rent out the units
 - Wanted clarification that we were only doing 2 units per lot
 - Asked about the trees along the eastern boundary. We are trying to save as many as we can, but will lose quite a few due to grading and utilities
 - Asked about lot depth
 - One person had concern about additional traffic on 48th street. Inquired about prohibiting cars from parking on the street in the current development (not sure of the development's name on 48th street)
 - Inquired about drainage at the south end (person owns the 25 acres south of our property)
 - Very concerned about section 8/low income people. Discussed that our HOA declarations would prohibit renting and promote owner occupancy.