



CITY PLAN COMMISSION STAFF REPORT

City of Kansas City, Missouri
City Planning & Development Department
www.kcmo.gov/cpc

June 21, 2022

PROJECT NAME

Price Brothers Expansion

DOCKET #5

REQUEST

CD-CPC-2022-00074- Development Plan

APPLICANT

Judd Claussen
Phelps Engineering

OWNER

JCT Warehouse Property LLC

Location	10697 N. Congress Ave.
Area	About 36 acres
Zoning	M2-3
Council District	2nd
County	Platte
School District	Park Hill

SURROUNDING LAND USES

North: zoned M1-5, Industrial Uses.

South: zoned AG-R, vacant undeveloped.

East: zoned R-7.5, single family residences, Hawksbury.

West: zoned M2-3, vacant undeveloped.

MAJOR STREET PLAN

The City's Major Street Plan identifies N. Congress Avenue as a 2 lane through street with a local link typology at this location.

LAND USE PLAN

The KCI Area Plan recommends Light Industrial uses for the subject property.

APPROVAL PROCESS



NEIGHBORHOOD AND CIVIC ORGANIZATIONS NOTIFIED

The subject property does not lie within any registered neighborhood or civic organization therefore none were notified. Notice of the public hearing was sent to surrounding properties within 300 feet.

REQUIRED PUBLIC ENGAGEMENT

Public engagement as required by 88-505-12 applies to this request. The applicant held a virtual public meeting on June 13, 2022, a summary of which is attached.

EXISTING CONDITIONS

The subject parcel is an existing office/ warehouse building located at the southeast corner at NW 106th Street and N. Congress Avenue. The existing building is at the terminus of NW 106th Street cul de sac. The site is currently developed with a 400,824 square foot office warehouse building with parking on the west and south sides.

Surrounding uses include industrial and office/ warehouse uses. To the north is CVS logistic center. Hawksbury subdivision is to the east of this site across a regulated stream.

SUMMARY OF REQUEST

The applicant is seeking approval of a development plan in District M2-3 (Manufacturing) to allow for 202,000 square foot building addition to the existing office and warehouse, on about 36 acres.

KEY POINTS

- Applicant is proposing a 202,240 square foot.

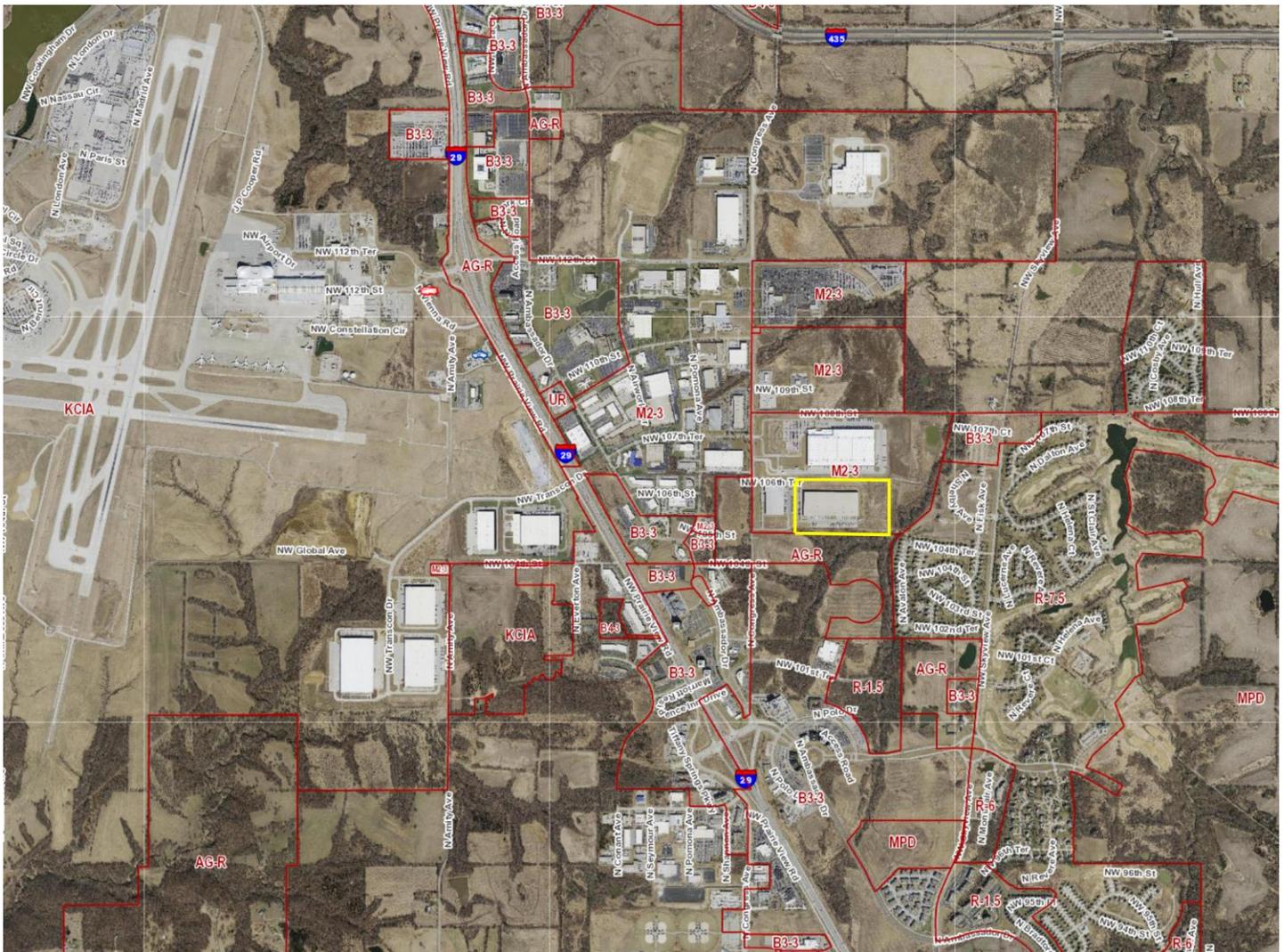
PROFESSIONAL STAFF RECOMMENDATION

Docket #5 Recommendation: Approval subject to Conditions.

CONTROLLING CASE

Case No 13886-GP-1 – Ordinance No. 080339, passed City Council on April 22, 2008, approved an amendment to a previously approved development plan in District GP-1 (General Industry) creating four industrial lots and one tract generally located at the southeast corner of NW 108th Street and N Congress Avenue.

PLAN LOCATION



PLAN REVIEW

The applicant is proposing a 202,240 square foot building addition to the existing 400,824 square foot office warehouse building. The plan proposed to install parking around the entire building to form a loop. The overall building will be 603,064 square feet in size with 168 parking spaces. The proposed addition is to the rear of the building and will match the existing building in material and color.

PLAN ANALYSIS: Use-Specific (88-300) and Development Standards (88-400)

Standards	Applicability	Meets	More Information
Boulevard and Parkway Standards (88-323)	NO		
Parkland Dedication (88-408)	NO		
Parking and Loading Standards (88-420)	YES	YES	
Landscape and Screening Standards (88-425)	YES	YES	
Outdoor Lighting Standards (88-430)	YES	YES	

Sign Standards (88-445) NO

NO SIGNAGE IS PROPOSED

Pedestrian Standards (88-450) NO

PLAN ANALYSIS

Parking and Loading Standards (88-420)

The plan shows 168 parking spaces provided is greater than the 116 parking spaces required by the Zoning and Development Code. This includes 3 ADA van accessible stalls.

Plan Review Criteria

In order to be approved, the plan must comply with all of the following criteria:

88-516-05-A. The plan must comply with all standards of this zoning and development code and all other applicable city ordinances and policies.

The plan complies with the zoning and development code and the KCI Area Plan recommendations.

88-516-05-B. The proposed use must be allowed in the district in which it is located.

The proposed use is a permitted use in the existing zoning M2-3 zoning district.

88-516-05-C. Vehicular ingress and egress to and from the site, and circulation within the site, must provide for safe, efficient and convenient movement of traffic not only within the site but on adjacent roadways.

The plan provides for adequate vehicular connection.

88-516-05-D. The plan must provide for safe, efficient, and convenient non-motorized travel opportunities, being pedestrian and bicycle movement, on the subject site.

The plan proposes to retain the existing public sidewalks.

88-516-05-E. The plan must provide for adequate utilities based on City standards for the particular development proposed.

There are adequate utilities subject to Water Services Department approval.

88-516-05-F. The location, orientation, and architectural features, including design and material, of buildings and other structures on the site must be designed to be compatible with adjacent properties.

The proposed plan is consistent with the surrounding industrial buildings.

88-516-05-G. Landscaping, berms, fences and/or walls must be provided to buffer the site from undesirable views, noises, lighting or other off-site negative influences and to buffer adjacent properties from negative influences that may be created by the plan.

The plan is compliant.

88-516-05-H. The design of streets, drives, and parking areas within the project should result in a minimum of area devoted to asphalt or other impervious surfaces consistent with the needs of the project and city code requirements.

The plan is compliant.

88-516-05-I. The plan must identify trees to be removed and trees to be preserved during the development of the subject property with the goal of saving trees that are not required to be removed for the development of the property.

There are no trees on the site. Staff recommends that street trees be provided.

REQUESTED DEVIATIONS

None

PROFESSIONAL STAFF RECOMMENDATION

Staff recommends **Approval Subject to the Corrections and Conditions** as reflected in the attached Plan Correction Report and Plan Conditions Report.

Respectfully Submitted,

A handwritten signature in black ink, appearing to read "Olofu Agbajj". The signature is fluid and cursive, with the first name "Olofu" and last name "Agbajj" clearly distinguishable.

Olofu Agbajj
Planner



Plan Conditions

Report Date: June 16, 2022

Case Number: CD-CPC-2022-00074

Project: Price Brothers Expansion

Condition(s) by City Planning and Development Department. Contact Lucas Kaspar at (816) 513-2558 / Lucas.Kaspar@kcmo.org with questions.

1. The owner/developer must submit plans for grading, siltation, and erosion control to Land Development Division for review and acceptance, and secure a Site Disturbance permit for any proposed disturbance area equal to one acre or more prior to beginning any construction activities.
2. The developer shall submit a detailed Micro storm drainage analysis from a Missouri-licensed civil engineer to the Land Development Division showing compliance with the current, approved Macro study on file with the City and with current adopted standards in effect at the time of submission, including Water Quality BMP's, prior to approval and issuance of any building permits to construct improvements on the site or prior to recording the plat, whichever occurs first. The developer shall verify and/or improve downstream conveyance systems or address solutions for impacted properties due to flow contributions from the site; and that the developer construct any other improvements as required by Land Development Division as necessary to mitigate impacts from rate, volume, and quality of runoff from each proposed phase.
3. The developer must pay impact fees as required by Chapter 39 of the City's Code of ordinances as required by the Land Development Division.
4. The developer must grant a BMP Easement to the City as required by the Land Development Division, prior to recording the plat or issuance of any building permits.

Condition(s) by Fire Department. Contact Michael Schroeder at (816) 513-4604 / michael.schroeder@kcmo.org with questions.

5. Fire hydrant distribution shall follow IFC-2018 Table C102.1

Fire hydrants shall be installed and operable prior to the arrival of any combustible building materials onto the site. (IFC-2018 § 501.4 and 3312.1; NFPA -2013 § 8.7.2)

6. The project shall meet the fire flow requirements as set forth in Appendix B of the International Fire Code 2018. (IFC-2018 § 507.1)
7.
 - Required fire department access roads shall be an all weather surface. (IFC-2012: § 503.2.3)
 - Fire Department access roads shall be provided prior to construction/demolition projects begin. (IFC-2018 § 501.4 and 3310.1; NFPA 241-2013 § 7.5.5)
 - Required fire department access roads shall designed to support a fire apparatus with a gross axle weight of 85,000 pounds. (IFC-2018: § 503.2.3)
8. The turning radius for fire department access roads shall be 30 feet inside and 50 feet outside radius. (IFC-2018: § 503.2.4)
9. New buildings shall have approved radio coverage for emergency responders within the building based on the existing coverage levels of the public safety communication systems utilized by the jurisdiction, measured at the exterior of the building. This section shall not require improvement of the existing public safety communication systems. (IFC 2018 510.1) and (NFPA1221)

Condition(s) by Water Services Department. Contact Heather Massey at (816) 513-2111 / heather.massey@kcmo.org with questions.

10. When an existing building is being renovated, is being changed in use or occupancy, or is undergoing a building addition, and the existing water service line(s) will be reused, the water service line(s) and related appurtenances shall meet the most current version of KC Water Rules and Regulations.
11. The developer shall ensure that water and fire service lines should meet current Water Services Department Rules and Regulations. Prior to C of O.
<https://www.kcwater.us/wp-content/uploads/2019/04/2018-Rules-and-Regulations-for-Water-Service-Lines.pdf>

Condition(s) by Water Services Department. Contact Heather Massey at (816) 513-2111 / heather.massey@kcmo.org with questions.

12. The developer shall have a water flow test done to ensure there is adequate water pressure to serve the development.
South of River contact – Sean Allen - 816-513-0318
North of River contact - Todd Hawes – 816-513-0296
13. A full flow fire meter will be required when the fire protection service line serves more than one building, or combination service lines 6 inches and larger, or that have private fire hydrants connected to them.



CITY PLANNING & DEVELOPMENT

Public Meeting Summary Form

Project Case #

Meeting Date:

Meeting Location:

Meeting Time (include start and end time):

Additional Comments (optional):

SITE DEVELOPMENT PLANS FOR PRICE BROTHERS EXPANSION

ADDRESS: 7501 NW 106TH TERRACE
IN THE CITY OF KANSAS CITY, PLATTE COUNTY, MISSOURI

INDEX	
C0	COVER SHEET
CO.1	ADJACENT PROPERTIES
C1	SITE PLAN
C1.1	ENLARGED SITE PLAN
C2	GRADING PLAN
C3	UTILITY PLAN
LS-1	LANDSCAPE PLAN

UTILITY COMPANIES:

- | | |
|--|--|
| <p>SPIRE ENERGY
BEVERLY PASSANTINO
7500 E. 35TH TERRACE
KANSAS CITY, MO. 64129
EMAIL: beverly.passantino@spireenergy.com</p> | (816) 472-3434 |
| <p>EVERGY
MELISSA FELTES
8325 N. PLATTE PURCHASE DRIVE
KANSAS CITY, MO. 64118
E-MAIL: Melissa.Feltes@kcpl.com</p> | (816) 420-4721 |
| <p>AT&T
JILL SCHROEDER
9556 N. MCGEE COURT
KANSAS CITY, MO 64155
EMAIL: jb0311@att.com</p> | (816) 734-8700 |
| <p>CITY OF KANSAS CITY
PUBLIC WORKS DEPARTMENT
414 E. 12TH STREET
KANSAS CITY, MO. 64106</p> | (816) 513-2627 |
| <p>CITY OF KANSAS CITY (GENERAL NUMBER)
CARLA HASKINS (WATER)
EMAIL: carla.haskins@kcmo.org
AMY BUNNELL (LAND DEVELOPMENT DIVISION)
EMAIL: amy.bunnell@kcmo.org
4800 E. 63RD STREET
KANSAS CITY, MO. 64130</p> | (816) 513-1313
(816) 513-2133
(816) 513-2552 |
| <p>TIME WARNER CABLE
15 NW BARRY ROAD
KANSAS CITY, MO. 64155</p> | (816) 358-8833 |

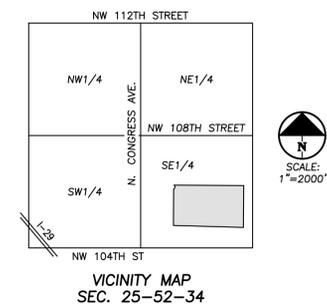


PREPARED & SUBMITTED BY:

PHELPS ENGINEERING, INC.
1270 N. WINCHESTER
OLATHE, KS 66061
913-393-1155 OFFICE
913-393-1166 FAX
CONTACT: JUDD CLAUSSEN, P.E.

OWNER:

JCT WAREHOUSE PROPERTY LLC
7611 STATE LINE RD STE 301
KANSAS CITY, MO 64114
ATT: JOHN WRIGHT



LEGEND

- PL — PROPERTY LINE
- — LOT LINE
- R/W — RIGHT-OF-WAY

BENCHMARK:

VERTICAL DATUM = NAVD88 BASED ON GPS OBSERVATION USING SMARTNET GPS NETWORK
1. SET "L" CUT IN NE COR. CONC. STOOP ON E. SIDE OF EXISTING BLDG.
ELEVATION = 1023.39

LEGAL DESCRIPTION:

LOT 1, SKYPORT 1ST PLAT, A SUBDIVISION IN KANSAS CITY, PLATTE COUNTY, MISSOURI.

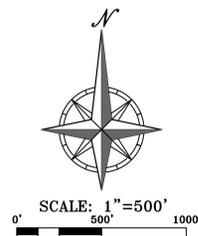
FLOOD NOTE:

THIS PROPERTY LIES WITHIN ZONE X, DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON THE FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR THE CITY OF KANSAS CITY, COMMUNITY NO. 290173, PLATTE COUNTY, MISSOURI, MAP NO. 29095C0041G, AND DATED JANUARY 20, 2017.



Know what's below.
Call before you dig.

UTILITY NOTES:
VISUAL INDICATIONS OF UTILITIES ARE AS SHOWN.
UNDERGROUND LOCATIONS SHOWN, AS FURNISHED BY THEIR LESSORS, ARE APPROXIMATE AND SHOULD BE VERIFIED IN THE FIELD AT THE TIME OF CONSTRUCTION. FOR ACTUAL FIELD LOCATIONS OF UNDERGROUND UTILITIES CALL 811.



PHELPS ENGINEERING, INC.
1270 N. Winchester
Olathe, Kansas 66061
(913) 393-1155
Fax (913) 393-1166
www.phelpsengineering.com

PLANNING
ENGINEERING
IMPLEMENTATION

COVER SHEET
PRICE BROTHERS EXPANSION
SKYPORT, LOT 1, KANSAS CITY, PLATTE CO., MISSOURI
7501 NW 106TH TERRACE

Project No.	Date	By	App.
220236	05-01-2022	DRAWN/DDB	
		CHECKED: DAF APPROVED: JDC	
		CORPORATE SEAL OF AUTHORIZATION	
		LAND SURVEYING - LS-82	
		ENGINEERING - E-361	
		STATE SEAL OF AUTHORIZATION	
		LAND SURVEYING-200701028	
		ENGINEERING-200300308	

SHEET
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PORT AUTHORITY OF KANSAS CITY MISSOURI
110 BERKLEY PLAZA
KANSAS CITY, MO 64120

PORT AUTHORITY OF KANSAS CITY MISSOURI
110 BERKLEY PLAZA
KANSAS CITY, MO 64120

NW 106th Ter

MREIC KANSAS CITY MO LLC
101 CRAWFORDS CORNER RD,
STE 1405
HOLMDEL, NJ 07733

EXISTING BUILDING
(WAREHOUSE)
400,824 S.F.

JCT WAREHOUSE PROPERTY LLC
ATT: JOHN WRIGHT
7611 STATE LINE RD STE 301
KANSAS CITY, MO 64114

PROPOSED BUILDING EXPANSION
(WAREHOUSE)
480' x 421.33'
202,240 S.F.

PORT AUTHORITY OF KANSAS CITY MISSOURI
110 BERKLEY PLAZA
KANSAS CITY, MO 64120

PORT AUTHORITY OF KANSAS CITY MISSOURI
110 BERKLEY PLAZA
KANSAS CITY, MO 64120

HAWKSBURY HOMES ASSOCIATION
11125 N AMBASSADOR DR #200
KANSAS CITY, MO 64153

MORRIS, DUSTIN & LENA
10432 N AVALON AVE
KANSAS CITY, MO 64154

HAWKSBURY HOMES ASSOCIATION
11125 N AMBASSADOR #200
KANSAS CITY, MO 64153

VALENTINE, NATHAN & ASHLYN TRUST
10428 N AVALON AVE
KANSAS CITY, MO 64154

PITTMAN, CHRISTOPHER & MICHELLE
10424 N AVALON AVE
KANSAS CITY, MO 64154

MILLER, TODD R & LAURA S
10420 N AVALON AVE
KANSAS CITY, MO 64154

MSJJ HOLDINGS LP
1201 SWIFT AVE
NORTH KANSAS CITY, MO 64116



Know what's below.
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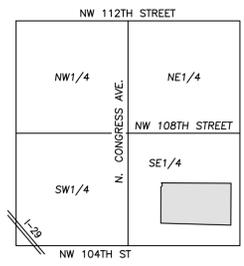
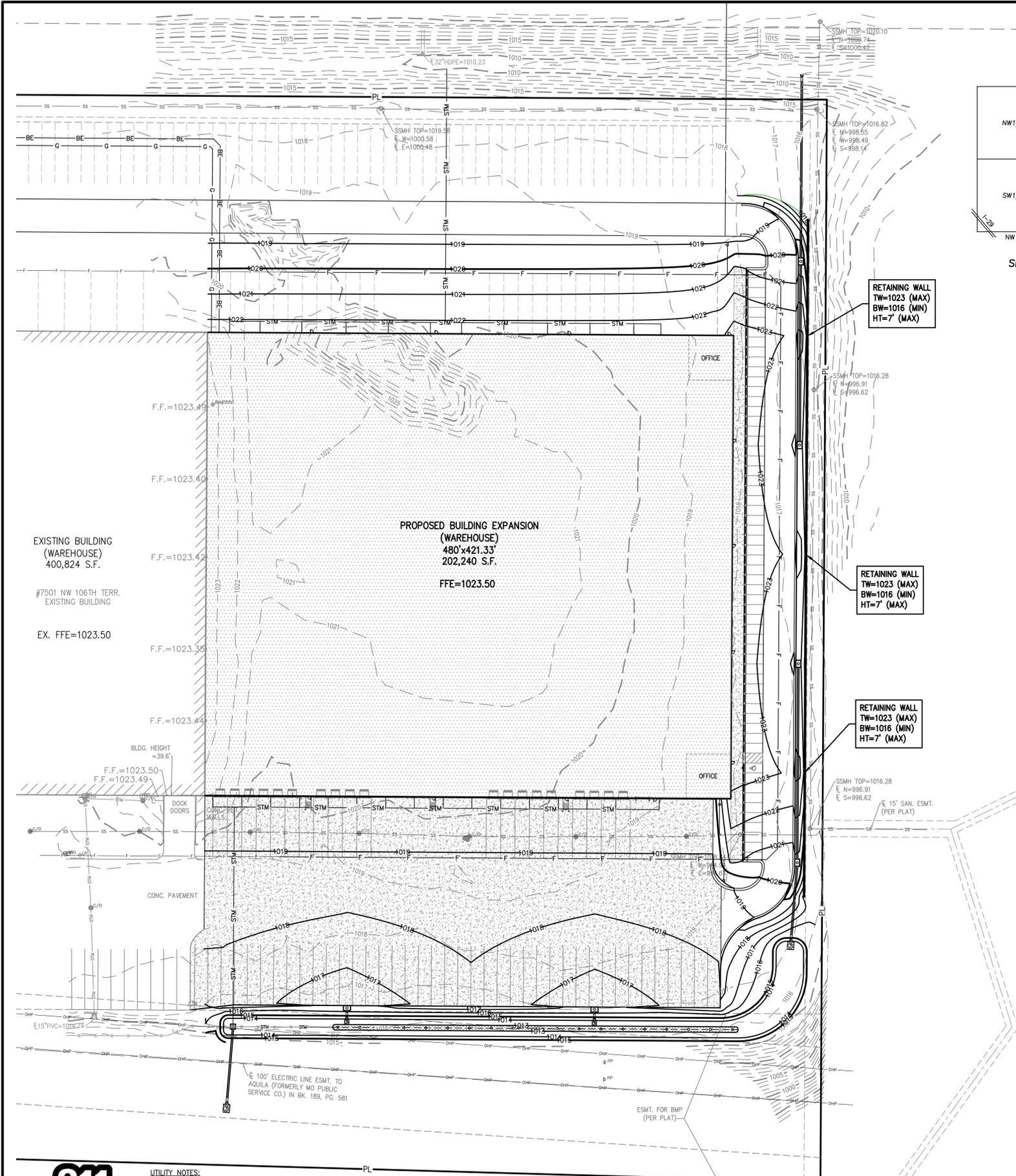
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ADJACENT PROPERTIES
PRICE BROTHERS EXPANSION
SKYPORT, LOT 1, KANSAS CITY, PLATTE CO., MISSOURI
7501 NW 106TH TERRACE

PROJECT NO.	DATE	BY	APP.
220236	05-01-2022		
REVISIONS:			
No.	Date	By	App.

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SITE GRADING NOTES:

- CONTOURS AND ELEVATIONS: Existing and proposed contours are shown on plans at one foot (1') contour intervals, unless otherwise noted. Proposed contours and elevations shown represent approximate finish grade. Contractor shall hold down subgrades to allow for pavement and sub-base thicknesses.
- If the contractor does not accept existing topography as shown on the plans, without exception, he shall have made at his expense, a topographic survey by a registered land surveyor and submit it to the owner for review.
- CLEARING AND GRUBBING: Prior to beginning preparation of subgrade, all areas under pavements or building shall be stripped of all topsoil, vegetation, large rock fragments (greater than 6 inches in any dimension) and any other deleterious material. The actual stripping depth should be based on visual examination during construction and the results of proof-rolling operations. The root systems of all trees (not designated to remain) shall be removed in their entirety. Stripping materials shall not be incorporated into structural fills.
- TOPSOIL STRIPPING: Prior to the start of site grading, the contractor shall strip all topsoil from areas to be graded, and stockpiled at a location on or adjacent to the site as directed by the owner. At completion of grading operations and related construction, the contractor will be responsible for redistribution of topsoil over all areas disturbed by the construction activities. Topsoil shall be placed to a minimum depth of six inches (6") and in accordance with specifications for landscaping. At that time, and prior to the installation of landscaping or irrigation, all topsoil graded areas shall be visually inspected and accepted by the owner and ITL.
- Contractor shall adjust and/or cut existing pavement as necessary to assure a smooth fit and continuous grade. Contractor shall assure positive drainage away from buildings for all natural and paved areas.
- SUBGRADE PREPARATION: Prior to placement of new fill material, the existing subgrade shall be proofrolled and approved under the direction of the Geotechnical Engineer or his representative.
- PROOFROLLING: Subsequent to completion of stripping and over-excavation, all building and pavement areas to receive engineered fill should be systematically proof-rolled using a tandem axle dump truck loaded to approximately 20,000 pounds per axle. Also, any finished subgrade areas to receive paving shall be proof-rolled within 48 hours of paving. Unsuitable soils that are detected and that can not be recompacted should be over-excavated and replaced with controlled structural fill.
- EARTHWORK:
 - GEOTECHNICAL: All earthwork shall conform to the recommendations of the Geotechnical report. Said report and its recommendations are herein incorporated into the project requirements by reference. Prior to beginning construction, the contractor shall obtain a copy of and become familiar with the geotechnical report. Unless specifically noted on the plans, the recommendations in the geotechnical report are hereby incorporated into the project requirements and specifications.
 - SURFACE WATER: Surface water shall be intercepted and diverted during the placement of fill.
 - FILLS: All fills shall be considered controlled or structural fill and shall be free of vegetation, organic matter, topsoil and debris. In areas where the thickness of the engineered fill is greater than five feet building and pavement construction should not commence until so authorized by the on-site geotechnical engineer to allow for consolidation.
 - BUILDING SUBGRADE: As specified in the Geotechnical Engineering Report, the upper 24 inches of building subgrade shall consist of Low Volume Change (LVC) material defined as approved, compacted granular fill or low to moderate plasticity cohesive soil materials stabilized with Class C Flyash. Granular fill shall consist of compacted granular materials with a maximum particle size of two (2) inches or less, such as limestone screenings. Refer to geotechnical report for complete requirements.
 - EXISTING SLOPES: Where fill material is to be placed on existing slopes greater than 5:1 (horizontal to vertical), existing slope shall be benched providing a minimum vertical face of twelve inches (12"). The benches should be cut wide enough to accommodate the compaction equipment. Fill material shall be placed and compacted in horizontal lifts not exceeding nine inches (9") (loose lift measurement), unless otherwise approved by the Geotechnical Engineer.
 - COMPACTION REQUIREMENTS: The upper 9 inches of pavement subgrade areas shall be compacted to a minimum density of ninety five percent (95%) of the material's maximum dry density as determined by ASTM D698 (standard proctor compaction). The moisture content at the time of placement and compaction shall within a range of 0% below to 4% above optimum moisture content as defined by the standard proctor compaction procedure. The moisture contents shall be maintained within this range until completion of the work. Where compaction of earth fill by a large roller is impractical or undesirable, the earth fill shall be hand compacted with small vibrating rollers or mechanical tampers.
- All cut or fill slopes shall be 3:1 or flatter. All asphalt parking areas shall be a minimum of 1% slope but not more than 5% slope unless otherwise noted. All pavements within ADA parking areas shall not exceed 2% total slope. All grades around building shall be held down 6" from finish floor and slope away another 6" in 10 feet. Contractor shall notify engineer prior to final subgrade construction of any areas not within this slope requirement.
- TESTING AND INSPECTION: Owner's Independent Testing Laboratory (ITL) shall make tests of earthwork during construction and observe the placement of fills and other work performed on this project to verify that work has been completed in accordance with Geotechnical Engineering Report, Project Specifications and within industry standards. The ITL will be selected by the owner and the cost of testing will be the owner's responsibility.
- CLASSIFICATION: All excavation shall be considered unclassified. No separate or additional payments shall be made for rock excavation.
- RESTORATION: All disturbed areas not in building or pavements shall be sodded, unless shown otherwise by the landscaping plan or erosion control plan.
- UTILITIES: The contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies, and where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The contractor must call the appropriate utility companies at least 48 hours before any excavation to request exact field location of utilities. It shall be the responsibility of the contractor to relocate all existing utilities which conflict with the proposed improvements shown on the plans.
- LAND DISTURBANCE: The contractor shall adhere to all terms & conditions as outlined in the EPA or applicable state N.P.D.E.S. permit for storm water discharge associated with construction activities. Refer to project S.W.P.P. requirements.

**Earthwork Summary
Skyport Warehouse Expansion
4/26/2022**

Raw Excavation	4,060 Cu. Yds.
In Place Compaction (+15%)	-35,139 Cu. Yds.
Building Adjustment	14,981 Cu. Yds. (assume 24" of additional excavation)
Pavement Adjustment	5,875 Cu. Yds. (assume 12" of additional excavation)
On Site Net	-10,224 Cu. Yds.

* EARTHWORK COMPUTATIONS BY PHELPS ENGINEERING, INC. ARE PROVIDED FOR INFORMATIONAL PURPOSES ONLY AND SHALL BE VERIFIED BY CONTRACTORS BY THEIR CHOSEN METHOD PRIOR TO PLACING BID. ALL EARTHWORK SHALL BE CONSIDERED UNCLASSIFIED. 15% WAS ADDED INTO RAW FILL QUANTITY TO ACCOUNT FOR SHRINKAGE.

LEGEND

- PL — PROPERTY LINE
- LL — LOT LINE
- R/W — RIGHT-OF-WAY
- C — 2' CURB & GUTTER
- 920 — EXISTING CONTOURS
- 918 — EXISTING CONTOURS
- 918 — PROPOSED CONTOURS
- XXX.XX TW — PROPOSED SPOT ELEVATION
- LG — LIP OF GUTTER
- TC — TOP OF CURB
- SW — SIDEWALK
- ME — MATCH EXISTING
- HP — HIGH POINT
- LP — LOW POINT
- P — TOP OF PAVEMENT
- TR — TOP OF STRUCTURE
- GR — GROUND ELEVATION
- BS — BOTTOM OF STEPS
- TS — TOP OF STEPS
- BW — BOTTOM OF WALL
- TW — TOP OF WALL
- — EXISTING STORM SEWER
- — PROPOSED STORM PIPE
- — PROPOSED WET CURB & GUTTER
- — PROPOSED DRY CURB & GUTTER
- — PROPOSED RETAINING WALL



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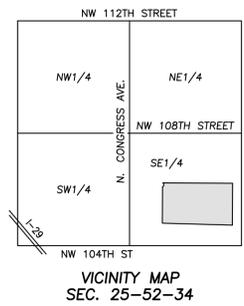
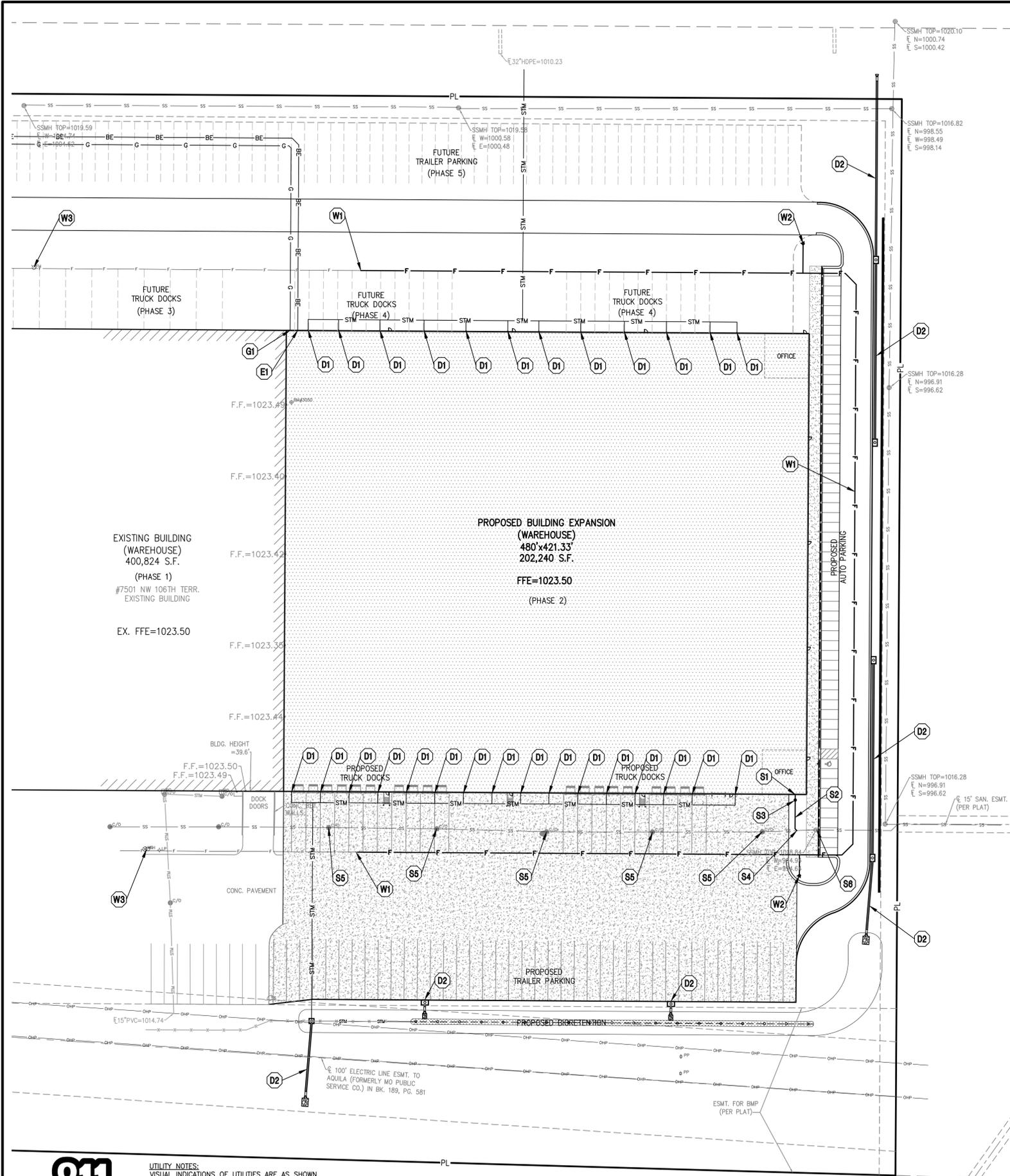
PHELPS ENGINEERING, INC.
1370 N. Winchester
Olathe, Kansas 66060
(913) 993-1155
Fax (913) 993-1165
www.pelphsengineering.com

PLANNING
ENGINEERING
IMPLEMENTATION

GRADING PLAN
PRICE BROTHERS EXPANSION
SKYPORT, LOT 1, KANSAS CITY, PLATTE CO., MISSOURI
7501 NW 106TH TERRACE

PROJECT NO.	DATE	BY	DATE	REVISIONS
220236	05-01-2022	DRANK/DDB		
		CHECKED: DAF		
		APPROVED: JDC		
		CERTIFICATE OF AUTHORIZATION		
		LAND SURVEYING - LS-82		
		ENGINEERING - E-361		
		CERTIFICATE OF AUTHORIZATION		
		LAND SURVEYING-20070128		
		LAND SURVEYING-20030308		

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C2



UTILITY KEY NOTES:

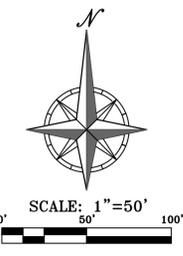
- D1** TYPICAL STORM WATER DRAIN LINE FROM ROOF OR FOUNDATION DRAIN. SEE ARCH. PLANS FOR BUILDING CONNECTION LOCATIONS. ROOF DRAIN LINES SHALL BE PVC SDR 35 OR HDPE (S.T.), MINIMUM SLOPE SHALL BE 1.0%.
- D2** INSTALL PRIVATE STORM SEWER (SEE PLAN/PROFILE SHEETS).
- S1** CONNECT TO BLDG. PLUMBING (RE: MEP PLANS). EXIST. 6" PVC FL=996.34 PROP. 6" PVC FL=996.34
- S2** INSTALL 15 L.F. 6" PVC (SDR-26) SANITARY SEWER SERVICE LINE @ 3.0% SLOPE AND 28 L.F. 6" PVC RISER.
- S3** INSTALL 6" SANITARY SEWER CLEANOUT IN GRASSY AREA.
- S4** CONNECT TO EXISTING PRIVATE 6" PVC SANITARY SEWER SERVICE LINE W/ WYE CONNECTION. EXIST. 6" PVC FL=996.34 PROP. 6" PVC FL=996.34
- S5** ADJUST EXISTING CLEANOUTS TO NEW FINISHED GRADE (RE: CLEANOUT IN PAYMENT DETAIL).
- S6** ADJUST EXISTING PRIVATE SANITARY SEWER SAMPLING MANHOLE TO NEW FINISHED GRADE (RE: KCMO STANDARD DETAIL MH-1).
- W1** CONTRACTOR TO CONNECT TO AND EXTEND EXISTING 10" DIP PRIVATE FIRE PROTECTION LINE AROUND NEW BUILDING EXPANSION. SEE NOTES 13, 14, AND 15 FOR MATERIAL AND COVER REQUIREMENTS.
- W2** INSTALL PRIVATE FIRE HYDRANT. PRIVATE HYDRANTS SHALL BE PAINTED RED.
- W3** EXISTING PRIVATE FIRE HYDRANT TO REMAIN.
- G1** GAS ENTRY WITH GAS METER. CONTRACTOR SHALL COORDINATE WITH GAS COMPANY FOR INSTALLATION OF GAS METER. SIZE OF GAS MAIN SHALL BE AS DETERMINED BY UTILITY OR AS SHOWN ON BUILDING PLANS. CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH GAS COMPANY REGARDING THE SIZE AND INSTALLATION OF GAS SERVICE LINE.
- E1** ELECTRIC ENTRY INTO BUILDING. FOLLOW EVERY REQUIREMENTS (RE: BUILDING ELECTRIC PLAN).

UTILITY COMPANIES:

- | | | | |
|--|---|--|--|
| <p>SPIRE ENERGY
BEVERLY PASSANTINO
7500 E. 35TH TERRACE
KANSAS CITY, MO. 64129
EMAIL: beverly.passantino@spireenergy.com</p> <p>EVERGY
MELISSA FELTES
8325 N. PLATTE PURCHASE DRIVE
KANSAS CITY, MO. 64118
E-MAIL: Melissa.Feltes@kcp.com</p> <p>AT&T
JILL SCHROEDER
9556 N. MCGEE COURT
KANSAS CITY, MO 64155
EMAIL: j0311@att.com</p> | <p>(816) 472-3434</p> <p>(816) 420-4721</p> <p>(816) 734-8700</p> | <p>CITY OF KANSAS CITY
PUBLIC WORKS DEPARTMENT
414 E. 12TH STREET
KANSAS CITY, MO. 64106</p> <p>CITY OF KANSAS CITY (GENERAL NUMBER)
CARLA HASKINS (WATER)
EMAIL: carla.haskins@cmo.org
AMY BUNNELL (LAND DEVELOPMENT DIVISION)
EMAIL: amy.bunnell@cmo.org
4800 E. 63RD STREET
KANSAS CITY, MO. 64130</p> <p>TIME WARNER CABLE
15 NW BARRY ROAD
KANSAS CITY, MO. 64155</p> | <p>(816) 513-2627</p> <p>(816) 513-1313
(816) 513-2133</p> <p>(816) 513-2552</p> <p>(816) 358-8833</p> |
|--|---|--|--|

LEGEND

- PL PROPERTY LINE
- LL LOT LINE
- R/W RIGHT-OF-WAY
- CATV EXISTING CABLE TELEVISION LINE
- FO EXISTING FIBER OPTIC LINE
- G EXISTING GAS LINE
- BE EXISTING BURIED ELECTRIC LINE
- OHP EXISTING OVERHEAD POWER LINE
- OHT EXISTING OVERHEAD TELEPHONE LINE
- SS EXISTING SANITARY SEWER LINE
- 24"HDPE EXISTING STORM SEWER LINE (& SIZE)
- BT EXISTING BURIED TELEPHONE LINE
- W-6" EXISTING WATER LINE (& SIZE)
- ST-6" EXISTING ROOF DRAIN (& SIZE)
- CATV PROPOSED CABLE TELEVISION LINE
- FO PROPOSED FIBER OPTIC LINE
- G PROPOSED GAS LINE
- BE PROPOSED BURIED ELECTRIC LINE
- SS PROPOSED SANITARY SEWER LINE
- OHP PROPOSED OVERHEAD POWER LINE
- 24"HDPE PROPOSED STORM SEWER LINE (& SIZE)
- BT PROPOSED BURIED TELEPHONE LINE
- W-6" PROPOSED WATER LINE (& SIZE)
- ST-6" PROPOSED ROOF DRAIN (& SIZE)



NOTE: ALL WATER SERVICE INSTALLATIONS INCLUDING BACKFLOW DEVICES ARE SUBJECT TO FIELD VERIFICATION AND APPROVAL BY THE WATER DEPARTMENT INSPECTOR.

UTILITY NOTES:

- The contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies, and where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The contractor must call the appropriate utility companies at least 48 hours before any excavation to request exact field location of utilities. It shall be the responsibility of the contractor to coordinate with and relocate &/or remove all existing utilities which conflict with the proposed improvements shown on the plans.
- The construction of storm sewers on this project shall conform to the requirements of the City of Kansas City, Missouri's Technical Specifications and Design Criteria.
- The contractor shall field verify the exact location and elevation of the existing storm sewer lines and the existing elevation at locations where the proposed storm sewer collects or releases to existing ground. If discrepancies are encountered from the information shown on the plans, the contractor shall contact the design engineer. No pipes shall be laid until direction is received from the design engineer.
- It will be the contractor's responsibility to field adjust the top of all manholes and boxes as necessary to match the grade of the adjacent area. Tops of existing manholes shall be raised as necessary to be flush with proposed pavement elevations, and to be 6-inches above finished ground elevations in non-paved areas. No separate or additional compensation will be made to the contractor for making final adjustments to the manholes and boxes.
- Inlet locations, horizontal pipe information and vertical pipe information is shown to the center of the structure. Deflection angles shown for storm sewer pipes are measured from the center of curb inlets and manholes. The contractor shall adjust the horizontal location of the pipes to go to the face of the boxes. All roof drains shall be connected to storm sewer structures. Provide cleanouts on roof drain lines at 100' max. Spacing and at all bend points. Do not connect roof drains directly to storm sewer pipe.
- The contractor shall be responsible for furnishing and installing all fire and domestic water lines, meters, backflow devices, pits, valves and all other incidents required for a complete operable fire protection and domestic water system. All costs associated with the complete water system for the buildings shall be the responsibility of the contractor. All work shall conform to the requirements of the City of Kansas City, Missouri.
- The contractor shall be responsible for furnishing and installing all sanitary sewer service lines from the buildings to the public line. All work shall conform to the requirements of the City of Kansas City, Missouri.
- The contractor will be responsible for securing all permits, bonds and insurance required by the contract documents, the City of Kansas City, Missouri, and all other governing agencies (including local, county, state and federal authorities) having jurisdiction over the work proposed by these construction documents. The cost for all permits bonds and insurance shall be the contractor's responsibility and shall be included in the bid for the work.
- By the use of these construction documents the contractor hereby agrees that he/she shall be solely responsible for the safety of the construction workers and the public. The contractor agrees to hold the engineer and owner harmless for any and all injuries, claims, losses or damages related to the project.
- The contractor shall be responsible for furnishing all materials, tools and equipment and installation of electrical power, telephone and gas service from a point of connection from the public utility lines to the building structures. This will include all conduits, service lines, meters, concrete pads and all other incidents required for a complete and operational system as required by the owner and the public utilities. Refer to building plans for exact tie-in locations of all utilities. Contractor shall verify connection points prior to installation of utility line.
- All fill material is to be in place, compacted, and consolidated before installation of proposed utilities. On-site geotechnical engineer shall provide written confirmation that this requirement has been met and that utilities may proceed in the fill areas. All utilities are to be placed in trench conditions.
- Contractor shall notify the utility authorities inspectors 48 hours before connecting to any existing line.
- Branch service lines 2" and smaller shall conform to the latest federal specifications for Type K flexible copper tubing up to the water tee. Five feet after the meter to the building high density polyethylene (HDPE) pipe may be installed on service lines up to two inches. The HDPE piping shall be SDR 9 and meet AWWA C901 and copper tubing size (CTS) standards. Building grounding must meet current building codes.
- Branch service lines larger than 2" shall be ductile iron pipe, and in accordance with the water department's standards and specifications for water main extensions.
- Water mains and service lines shall have a cover of not less than 4 feet nor more than 5 feet unless obstructions require deeper excavation for clearance.
- Minimum trench width shall be 2 feet.
- All water line joints are to be mechanical joints with thrust blocking as called out in specifications and construction plans. Water mains and service lines shall be constructed in accordance to the City of Kansas City, Missouri's specifications for commercial services.
- All waterlines shall be kept min. ten (10') apart (parallel) from sanitary sewer lines or manholes. Or when crossing, on a 24" vertical clearance (outside edge of pipe to outside edge of pipe) of the water line above the sewer line is required.
- Sanitary conflicts will be resolved prior to permit issuance.
- All underground storm, sanitary, water and other utility lines shall be installed, inspected and approved before backfilling. Failure to have inspection approval prior to backfill will constitute rejection of work.
- All necessary inspections and/or certifications required by codes and/or utility service companies shall be performed prior to announced building possession and the final connection of service. Contractor shall coordinate with all utility companies for installation requirements and specifications.
- Refer to building plans for site lighting electrical plan, irrigation, parking lot security system and associated conduit requirements. Coordinate with Owner that all required conduits are in place & tested prior to paving.
- When a building utility connection from site utilities leading up to the building cannot be made immediately, temporarily mark all such site utility terminations.
- Refer to the building plans for site lighting electrical requirements, including conduits, pole bases, pull boxes, etc.



UTILITY NOTES:
VISUAL INDICATIONS OF UTILITIES ARE AS SHOWN. UNDERGROUND LOCATIONS SHOWN, AS FURNISHED BY THEIR LESSORS, ARE APPROXIMATE AND SHOULD BE VERIFIED IN THE FIELD AT THE TIME OF CONSTRUCTION. FOR ACTUAL FIELD LOCATIONS OF UNDERGROUND UTILITIES CALL 811.

PHILIPS ENGINEERING, INC.
1370 N. Winchester
Olathe, Kansas 66066
(913) 993-1155
Fax: (913) 993-1165
www.philipsengineering.com

**PLANNING
ENGINEERING
IMPLEMENTATION**

UTILITY PLAN
PRICE BROTHERS EXPANSION
SKYPORT, LOT 1, KANSAS CITY, PLATTE CO., MISSOURI
7501 NW 106TH TERRACE

Project No.	Date	By	App.
220236	05-01-2022	DAW/DOB	

SHEET
C3

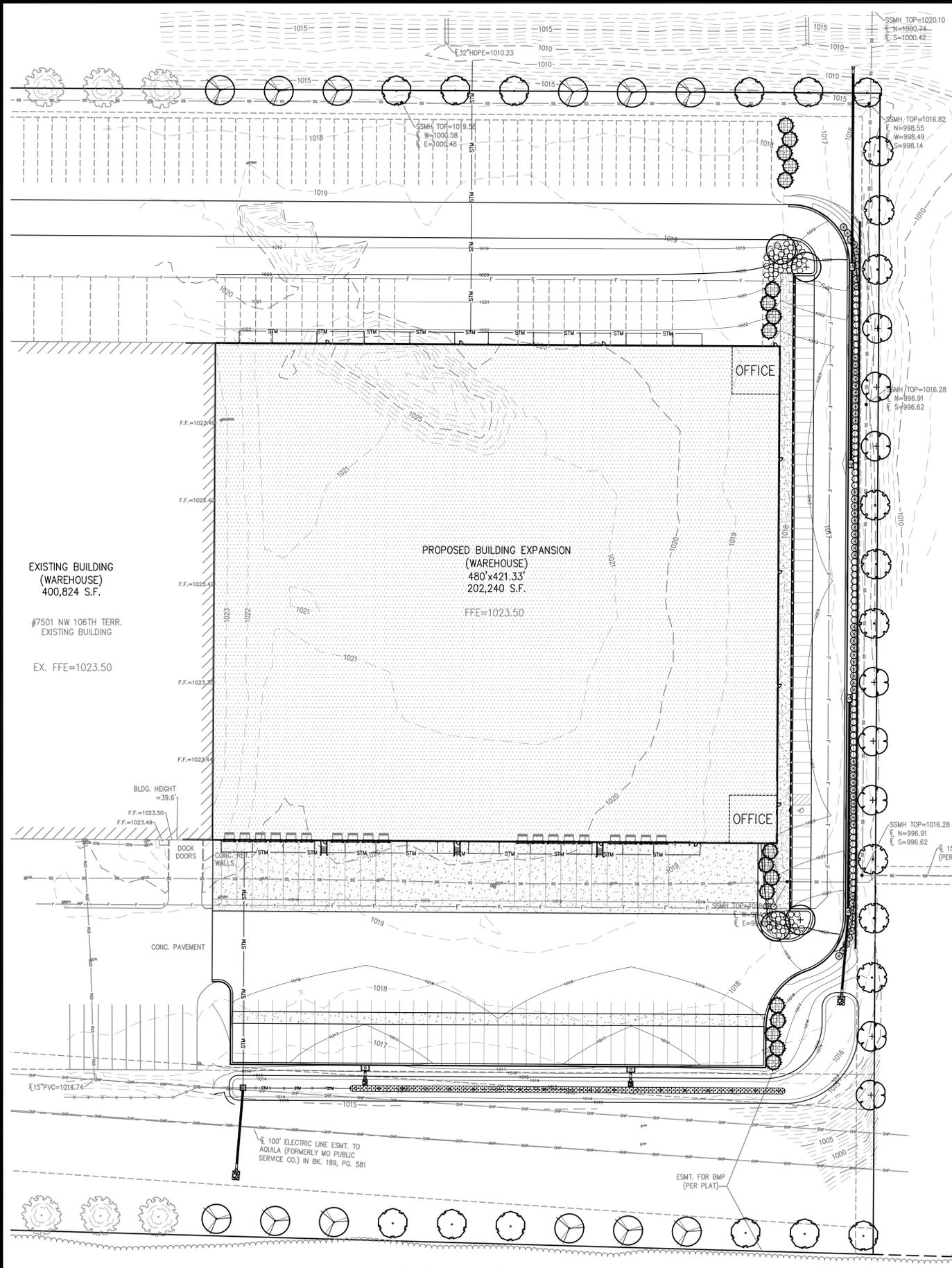


Table 3b. Landscape Schedule
 This table shall appear on all landscape plans and be used to identify the graphic information displayed on the face of the plan.

88-425 - LANDSCAPE SCHEDULE	SYMBOL
88-425-03 Street Trees	See plan and plant schedule
88-425-04 General	See plan and plant schedule
88-425-05 Perimeter Vehicular Use Area Adjacent to Streets	NA
Buffer Width	NA
Trees	NA
Shrubs/Wall/Berm	NA
Adjacent to Residential Zones	See plan and plant schedule
Buffer Width	10 ft.
Shrubs/Berm/Fence/Wall	NA
88-425-06 Interior Vehicular Use Area	See plan and plant schedule
Interior Area	See plan and plant schedule
Trees	See plan and plant schedule
Shrubs	See plan and plant schedule
88-425-07 Parking Garage Screening	Describe
88-425-08 Mechanical/Utility Equipment Screening	Describe
88-425-09 Outdoor Use Screening	Describe

PLANT SCHEDULE

TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
	9	Acer rubrum 'Red Pointe' / Red Pointe Red Maple	B & B	2"	Cal
	8	Celtis occidentalis 'Prairie Pride' / Prairie Pride Hackberry	B & B	2"	Cal
	4	Gleditsia triacanthos 'Skyline' / 'Skyline' Honey Locust	B & B	2"	Cal
	18	Juniperus virginiana 'Hillspire' / Hillspire Juniper	B & B		6' hgt.
	12	Quercus bicolor / Swamp White Oak	B & B	2"	Cal
	12	Quercus phellos / Willow Oak	B & B	2"	Cal
SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT		
	60	Juniperus chinensis 'Sea Green' / Sea Green Juniper 24"-30" hgt. & sp.	5 gal		
	50	Rhus aromatica / Fragrant Sumac 24"-30" hgt. & sp.	5 gal		
	59	Rhus typhina 'Tiger Eyes' / Tiger Eyes Sumac 24"-30" hgt. & sp.	3 gal.		
GROUND COVERS	QTY	BOTANICAL / COMMON NAME	CONT		
	856	Spartina pectinata / Prairie Cordgrass 5" DCP 18" o.c.	flat		
		Existing Trees			

Wooded Area To East of East Property Line

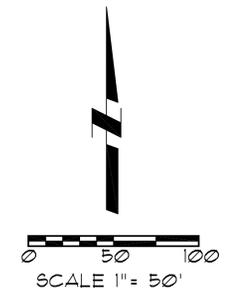
Table 3. Landscape Requirements
 This table shall appear on all landscape plans. Note that the column labeled "Alternative Requested" shall only be used when you cannot meet the landscape requirement and, if used, must be accompanied by Table 3a.

88-425 - LANDSCAPE REQUIREMENTS	Required	Proposed	Alternative Requested?	Approved
88-425-03 Street Trees	NA	40		
88-425-04 General	NA	40+		
88-425-05 Perimeter Vehicular Use Area Adjacent to Streets				
Buffer Width	NA			
Trees	NA			
Shrubs/Wall/Berm	NA			
Adjacent to Residential Zones				
Buffer Width	10ft.			
Shrubs/Berm/Fence/Wall	Solid Shrubs			
88-425-06 Interior Vehicular Use Area				
Interior Area				
Trees	12	22		
Shrubs	59	59		
88-425-07 Parking Garage Screening	Describe NA			
88-425-08 Mechanical/Utility Equipment Screening	Describe NA			
88-425-09 Outdoor Use Screening	Describe NA			

Table 3a. Alternative Compliance to Landscape Standards
 This table shall appear on all landscape plans in which alternative compliance is requested.

88-425 - LANDSCAPE REQUIREMENTS	Proposed Alternative	Approved
88-425-03 Street Trees	NA	
88-425-04 General	NA	
88-425-05 Perimeter Vehicular Use Area Adjacent to Streets		
Buffer Width		
Trees		
Shrubs/Wall/Berm		
Adjacent to Residential Zones		
Buffer Width	NA	
Shrubs/Berm/Fence/Wall		
88-425-06 Interior Vehicular Use Area		
Interior Area	NA	
Trees		
Shrubs		
88-425-07 Parking Garage Screening	NA	
88-425-08 Mechanical/Utility Equipment Screening	NA	
88-425-09 Outdoor Use Screening	NA	

NOTE: Details and specifications to be provided in construction documents.



Utility Note:
 Utilities shown on plan are diagrammatic and some may be missing. Before starting any construction call appropriate locating service. In Missouri call 1-800-DIG-RITE (344-7483) to have utilities located.

Landscape Plan
Skyport Warehouse Expansion
 NW 106th Terrace
 Kansas City, Missouri

Oppermann LandDesign, LLC
 Land Planning + Landscape Architecture
 22 Debra Lane pete@oppermann56@gmail.com
 New Windsor, New York 12553 913.529.5598

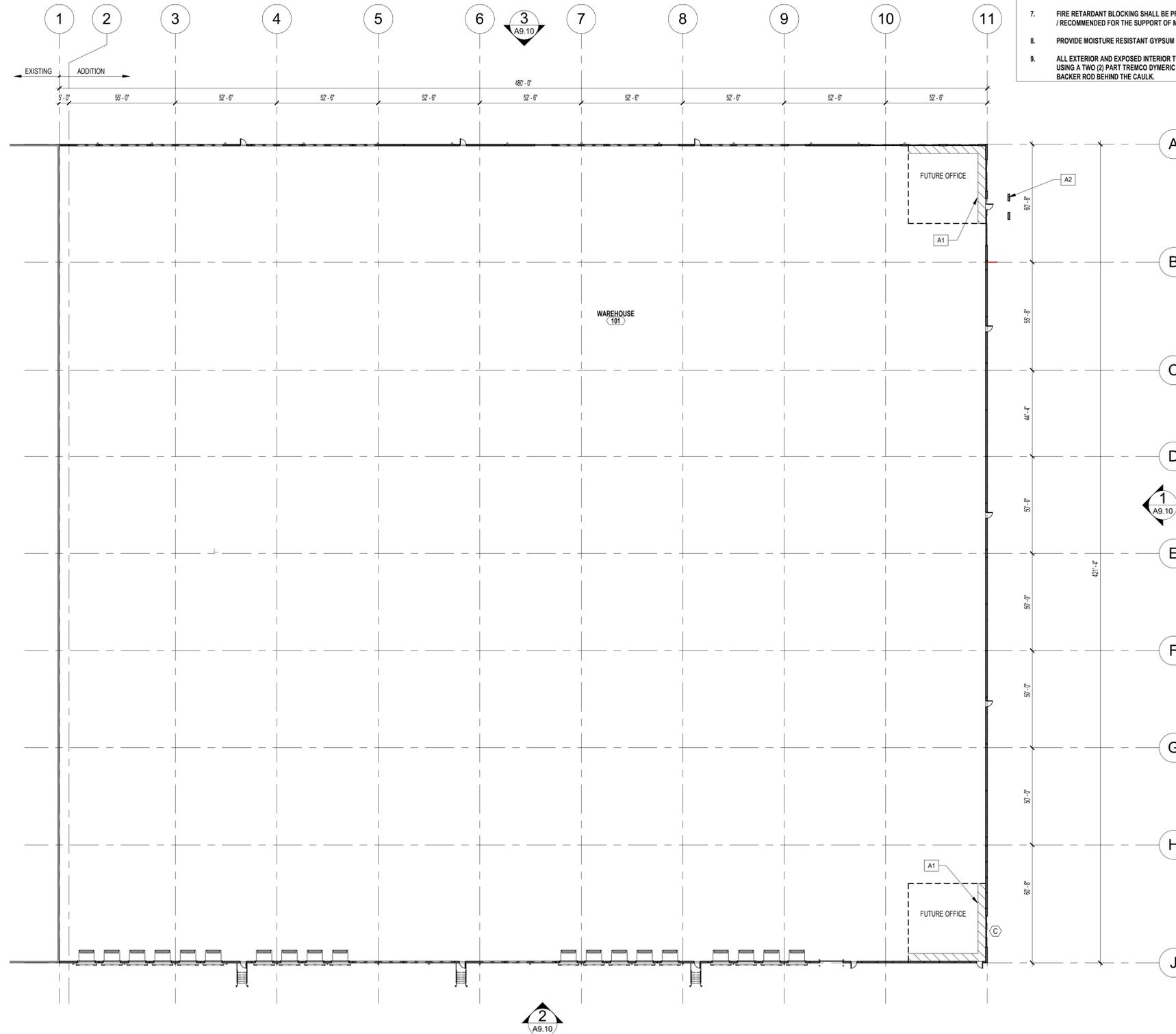
05/02/2022

FLOOR PLAN GENERAL NOTES

- CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS AT THE JOB SITE AND NOTIFY ARCHITECT OF ANY OMISSIONS, DISCREPANCIES, AND/OR CONFLICTS BEFORE PROCEEDING WITH THE WORK.
- GLAZING, CASEWORK, MILLWORK AND EQUIPMENT SUPPLIERS SHALL FIELD VERIFY ALL DIMENSIONS PRIOR TO FABRICATION.
- USE TAPEABLE METAL CORNER BEADS AT ALL GYPSUM BOARD CORNERS.
- DOORS SHOWN ADJACENT TO WALLS ARE TYPICALLY 4" FROM WALL TO OUTER FACE OF DOOR FRAME UNLESS NOTED OTHERWISE.
- WHERE GYP. BD. IS PROVIDED AROUND EXTERIOR OPENINGS, THE GYP. BD. SHALL BE MOISTURE RESISTANT GYPSUM BOARD FOR 2'-0" INTO THE BUILDING.
- ALL DIMENSIONS ARE TO FACE OF PARTITIONS.
- FIRE RETARDANT BLOCKING SHALL BE PROVIDED IN ALL WALLS AS REQUIRED BY CODE AND AS REQUIRED / RECOMMENDED FOR THE SUPPORT OF MILLWORK, TOILET PARTITIONS AND ACCESSORIES, ETC.
- PROVIDE MOISTURE RESISTANT GYPSUM BOARD AT ALL WET WALLS.
- ALL EXTERIOR AND EXPOSED INTERIOR TILT CONCRETE AND MASONRY WALL JOINTS SHALL BE CAULKED USING A TWO (2) PART TREMCO DYMERIC POLYURETHANE OR EQUAL. THE JOINTS SHALL ALSO HAVE A BACKER ROD BEHIND THE CAULK.
- ALL CONCRETE FLOOR JOINTS SHALL BE FILLED WITH MM80 SEMI-RIGID JOINT SEALANT OR EQUAL. THE OFFICE AREA JOINTS WILL NOT BE CAULKED DUE TO THE SCHEDULE FLOOR COVERINGS.
- ALL WAREHOUSE COLUMNS SHALL BE PAINTED FROM FINISH FLOOR TO THE ROOF DECK.
- ALL INTERIOR STEEL GIRTS AND BRACING SHALL BE PAINTED.
- EXTERIOR PAINT SYSTEM FOR THE CONCRETE TILT-UP PANELS SHALL CONSIST OF (1) COAT OF A RESISTANT PRIMER AND (1) COAT OF A MEDIUM TEXTURE PAINT. SYSTEM TO CARRY A 10 YEAR WARRANTY.
- PROVIDE AN 18" WIDE RODENT RUN STRIPE IN FRONT OF EVERY INTERNAL WALL LOCATION IN COLD DOCK, DRY DOCK, DRY GOODS, COOLER AND FREEZER.
- PROVIDE FLOOR MATERIAL TRANSITIONAL STRIPS WHERE REQUIRED BY CHANGE IN MATERIAL.
- PROVIDE ACCESS PANELS AS REQUIRED, COORDINATE WITH M.E.P. & F.P.
- COORDINATE FIRE EXTINGUISHERS LOCATIONS WITH ARCHITECT AND LOCAL FIRE MARSHALL. LOCATIONS SHALL FOLLOW NFPA 472, FM STANDARDS, AND ADA GUIDELINES. SEE LIFE SAFETY SHEET.
- ALL PLAN BACKGROUND FEATURES SUCH AS RACKING, EQUIPMENT, FURNITURE, ETC. ARE LIGHTENED ON THE FLOOR PLANS AND ARE SHOWN FOR COORDINATION PURPOSES ONLY. THEY ARE NOT TO BE CONSIDERED A PART OF THIS PERMIT NOR SHALL THEY BE USED FOR FIELD DIMENSIONING (SCALING).

KEY NOTES

- A1 HATCHING INDICATES THE LOCATION OF 4" WIDE x 2" THICK RIGID INSULATION BELOW SLAB, 40'-0" LONG FROM CORNER
- A2 TILT-UP PANEL FOR ENTRY CANOPY



1 OVERALL FLOOR PLAN - LEVEL 1
 1" = 30'-0"

NOT FOR CONSTRUCTION
 04.29.2022

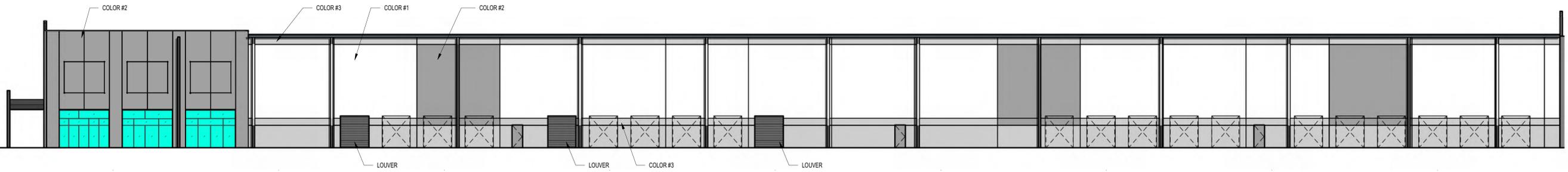
JOB NO: SJ2713
 PA: Author
 ISSUE DATE: 2022.04.29

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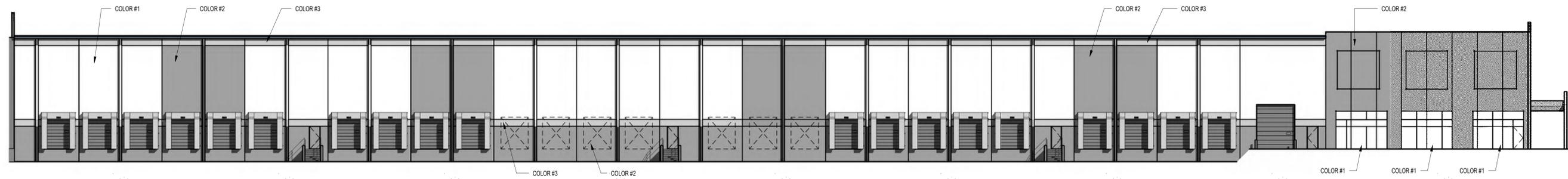
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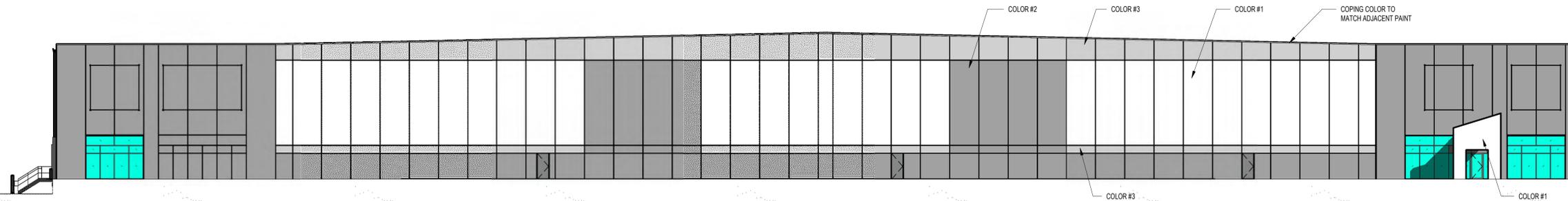
ALL PAINT COLORS ARE TO MATCH THE EXISTING BUILDING COLORS



3 NORTH ELEVATION - COLOR
A9.10 1/16" = 1'-0"



2 SOUTH ELEVATION - COLOR
A9.10 1/16" = 1'-0"



1 EAST ELEVATION - COLOR
A9.10 1/16" = 1'-0"

PROJECT
PRICE BOTHER'S KCMO EXPANSION
7501 NW 106th TERRACE
KANSAS CITY, MO 64153

NOT FOR
CONSTRUCTION
04.29.2022

JOB NO: SJ2713
PA: Author
ISSUE DATE: 2022.04.29

REVISIONS:

#	DESCRIPTION	DATE

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SHEET NUMBER
A9.10
COLORED ELEVATION