



# CITY PLAN COMMISSION STAFF REPORT

City of Kansas City, Missouri  
City Planning & Development Department  
[www.kcmo.gov/cpc](http://www.kcmo.gov/cpc)

January 4, 2022

## Project Name

**Fashionbilt**

## Docket 1

## Request

CD-CPC-2021-00174

UR Rezoning + Development Plan

## Applicant

Toby Williams

3200 S. State Route 291

Independence, MO 64057

## Owner

DST Realty Inc

333 W 11<sup>th</sup> St

Kansas City, MO 64105

Location	423 W 8 <sup>th</sup> St
Area	About 1.37 acres
Zoning	DC-15
Council District	4th
County	Jackson County
School District	KCMO 110

## Surrounding Land Uses

**North:** Residential uses, zoned UR

**South:** Residential uses, zoned UR

**East:** Commercial uses, zoned UR

**West:** Commercial uses, zoned DC-15

## Major Street Plan

Neither, Washington St (from I-35 to W 14<sup>th</sup> St) nor 8<sup>th</sup> Street is identified on the City's Major Street Plan.

## Land Use Plan

The Greater Downtown Area Plan recommends Downtown Core for this location.

## APPROVAL PROCESS



## PROJECT TIMELINE

The application for the subject request was filed on 09/03/2021. Scheduling deviations from 2021 Cycle U have occurred.

## NEIGHBORHOOD AND CIVIC ORGANIZATIONS NOTIFIED

The Downtown Neighborhood Association is tied to the subject site.

## REQUIRED PUBLIC ENGAGEMENT

Public engagement as required by 88-505-12 does apply to this request. Applicant hosted a meeting on September 13<sup>th</sup>, 2021. Summary of the meeting is attached to the staff report, see Exhibit A.

## EXISTING CONDITIONS

A seven-story building and two-story parking garage sit on the subject site.

## SUMMARY OF REQUEST

The applicant is seeking approval of a rezoning to UR with an associated Development Plan to allow for the redevelopment of the existing structure and development of a new residential building.

## CONTROLLING + RELATED CASES

None.

## PROFESSIONAL STAFF RECOMMENDATION

Docket 1 Recommendation

Approval Subject to Corrections and Conditions

**PLAN REVIEW**

Urban Redevelopment (UR) districts are created to promote the development and redevelopment of underdeveloped and blighted sections of the city and to accommodate flexibility in design to help ensure the realization of stated purposes in 88-260. The UR district may be applied only to property that has been designated as a blighted area, a conservation area, or economic development area. Development plans accompany requests to rezone a property to UR. No building permit may be issued for development in the UR district until a final development plan has been approved by the Director of City Planning and Development Department along with the requirements set forth in 88-260-05. The applicant is seeking historic tax credits for the rehabilitation of the existing building. A rezoning to UR is no longer applicable and the development plan review stands.

The Fashionbilt project consists of 110 units in the new building and an unknown number of units in the existing building. Parking is being provided by a garage located at the corner of Washington St and 9<sup>th</sup> St. The proposed project is consistent with the Greater Downtown Area Plan. The Downtown Core (DC) designation is primarily intended to promote high-intensity office and employment growth. The DC district also accommodates residential development, both in a stand-alone high-density form and mixed with office and retail uses.

**PLAN ANALYSIS**

*Use- Specific (88-300) and Development Standards (88-400)*

*\*indicates adjustment/variance*

Standards	Applicability	Meets	More Information
Boulevard and Parkway Standards (88-323)	No	-	
Parkland Dedication (88-408)	Yes	Yes	
Parking and Loading Standards (88-420)	Yes	Yes	No off-street parking is required in the DC (Downtown Core) zoning district. 88-420-04-A.
Landscape and Screening Standards (88-425)*	Yes	-	See CCR Report
Outdoor Lighting Standards (88-430)	Yes	-	Changes to existing lighting are not proposed, all outdoor lighting must comply with 88-430.
Sign Standards (88-445)	Yes	-	No signage plan was provided. All signage must comply with 88-445.
Pedestrian (88-450)	Yes	Yes	See Site Plan.

**PROFESSIONAL STAFF RECOMMENDATION**

City staff recommends **Approval Subject to Corrections and Conditions** as stated in the corrections, conditions, and recommendations report.

Correction must be resolved prior to City Council ordinance request.

Respectfully Submitted,

Ahnna Nanoski, AICP  
Lead Planner



## Plan Conditions, Corrections, & Recommendations Report

Recommended to City Plan Commission

Recommended by Staff

Report Date: December 28, 2021

Case Number: CD-CPC-2021-00164

Project: FASHIONBILT

### Plan Corrections

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*Correction(s) by Development Management of the City Planning and Development Department. Contact Ahnna Nanoski at / Ahnna.Nanoski@kcmo.org with questions.*

1. Per 88-130-06, in all D districts, or with a project with an underlying D district zoning, the ground floor of new construction for lots with 50 feet of frontage or more must contain at least 20% of square feet of commercial floor space. Other design possibilities include re-orienting the layout so main entrance faces 8th Street, adding personal entrances to units is off 8th St, or request deviation from Zoning and Development code.

12/21/2021. Applicant indicated in the response letter that garden entry apartments with storefront glazing will be designed along the 8th street frontage for the new building. City staff is still a little confused about what you're proposing. It appears that the first level of the building is at the same (or nearly so) grade as 8th St and elevated above ground level. The access and relationship to the basement units is unclear.

Our goal is to give residents, who have units along 8th street, a method of accessing their units directly from 8th St. Revise Plans and Resubmit (12/14/2021)

2. Provide color north, south, east, and west elevations labeling materials and pedestrian entrances.

12/21/2021. The correction above needs to occur for both buildings on the subject site, proposed development and historic rehabilitation.

Materials are still not labeled for elevations provided. Revise Plans and Resubmit (12/14/2021)

3. The south façade of the parking garage should be "activated" more. Review the Kansas City Downtown Streetscape Master Plan. Staff suggestions include, incorporating more landscaping into the buffer between sidewalk and garage

12/21/2021. Comment not resolved. (12/14/2021)

4. In conjunction with correction 3, if the basement level is at ground level and that is below-grade of 8th St, show us how those units will be provided with adequate light and air (particularly since you are showing doors and windows onto those units). It is difficult for City staff to imagine how these units will be able to have windows/doors and thus adequate light and air as the current drawings depict. Revise Plans and Resubmit (12/23/2021)

5. Provide color renderings for the proposed and existing structures. Contextually, City staff needs to understand the relationship between the proposed building, historic building, and the parking garage. Revise Plans and Resubmit (12/23/2021)

6. Provide additional fenestration or architectural articulation up and down the west portion of the south façade (that appears to be on a separate plane from remainder of south façade). Revise Plans and Resubmit (12/23/2021)

*Correction(s) by Long Range Planning of the City Planning and Development Department. Contact Gerald Williams at 816-513-2897 / Gerald.Williams@kcmo.org with questions.*

7. Revise plans to show streetscape improvements on 8th Street that are consistent with the Kansas City Downtown Streetscape Master Plan. (12/14/2021)

8. Revise plans to include all of the uses/development standards in the DC zoning district, as well as the "Downtown Loop" development standards (see 88-338 - DOWNTOWN DEVELOPMENT). (12/14/2021)

## Plan Conditions

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*Condition(s) by City Planning and Development Department. Contact Ahnna Nanoski at / Ahnna.Nanoski@kcmo.org with questions.*

9. Mechanical equipment and utility cabinets shall comply with 88-425-08-B and 88-425-08-D. (12/27/2021)
10. The developer shall submit an affidavit, completed by a landscape architect licensed in the State of Missouri, verifying that all landscaping required of the approved plan has been installed in accordance with the plan and is healthy prior to Certificate of Occupancy (12/27/2021)
11. Changes to existing lighting are not proposed, all outdoor lighting must comply with 88-430. (12/27/2021)

*Condition(s) by City Planning and Development Department. Contact Brad Wolf at 816-513-2901 / Bradley.Wolf@kcmo.org with questions.*

12. The brick and limestone elements along the West 8th Street façade of the parking garage are the remnants of the Maxwell-McClure Dry Good Building, built 1906. Staff would recommend retaining those elements in the new development as they contribute to the streetscape along West 8th Street, which is part of the Wholesale Historic District. (10/05/2021)

*Condition(s) by City Planning and Development Department. Contact Kambiz Zoraghchi at (816) 513-1582 / Kambiz.Zoraghchi@kcmo.org with questions.*

13. The Buildings shall comply with all requirements of wall rating and opening protection per 602 and 705.8 of International Building Code 2018 edition with respect to property lines and lot lines. (10/05/2021)
14. Applicant shall address requirements for accessible entrances per 1105 of International Building Code 2018. (10/05/2021)

*Condition(s) by City Planning and Development Department. Contact Stacey Lowe at 816-513-2552 / stacey.lowe@kcmo.org with questions.*

15. The owner/developer must submit plans for grading, siltation, and erosion control to Land Development Division for review and acceptance, and secure a Site Disturbance permit for any proposed disturbance area equal to one acre or more prior to beginning any construction activities. (10/04/2021)
16. The developer shall cause the area to be platted and processed in accordance with Chapter 88, Code of Ordinances of the City of Kansas City, Missouri, as amended, commonly known as the Development Regulations, by making application under said code for a Minor Subdivision and submitting and recording a Lot Consolidation Plat or replatting the property in accordance therewith. (10/04/2021)
17. The developer shall submit plans to Land Development Division and obtain permits to construct sidewalks along the platted frontage and construct associated ADA ramps at the proposed entrance drives as necessary for the type of drive approach. (10/04/2021)
18. The developer must grant a city approved pedestrian right-of-way easement, for the portions of the public sidewalks approved to be outside of the street right-of-way, to the City as required by the Land Development Division, prior to recording the plat. (10/04/2021)
19. The developer shall submit a letter to the Land Development Division from a Licensed Civil Engineer, Licensed Architect, or Licensed Landscape Architect, who is registered in the State of Missouri, that identifies sidewalks, curbs, and gutters in disrepair as defined by Public Works Department's "OUT OF REPAIR CRITERIA FOR SIDEWALK, DRIVEWAY AND CURB revised 11/5/2013" and based on compliance with Chapters 56 and 64 of the Code of Ordinances for the sidewalks, curbs, and gutters where said letter shall identify the quantity and location of sidewalks, curbs, gutters that need to be constructed, repaired, or reconstructed to remedy deficiencies and/or to remove existing approaches no longer needed by this project. The developer shall secure permits to repair or reconstruct the identified sidewalks, curbs, and gutters as necessary along all development street frontages as required by the Land Development Division and prior to issuance of any certificate of occupancy permits including temporary certificate occupancy permits. (10/04/2021)
20. The developer shall submit a Storm Drainage analysis from a Missouri-licensed civil engineer to the Land Development Division evaluating proposed improvements and impact to drainage conditions. Since this project is within a "Combined Sewer Overflow" (CSO) district, the project shall be designed to retain rainfall of 1.5 inch depth over the entire site to simulate natural runoff conditions and reduce small storm discharge to the combined sewer system. Manage the 10-year storm and 100-year storm per currently adopted APWA standards. The analysis shall be submitted prior to issuance of any building permits, and the developer secure permits to construct any improvements required by the Land Development Division prior to issuance of any certificate of occupancy. (10/04/2021)

*Condition(s) by City Planning and Development Department. Contact Stacey Lowe at 816-513-2552 / stacey.lowe@kcmo.org with questions.*

21. The developer must obtain the executed and recorded city approved grading, temporary construction, drainage/sewer, or any other necessary easements from the abutting property owner(s) that may be required prior to submitting any public improvements crossing properties not controlled by the developer and include said document(s) within the public improvement applications submitted for permitting (10/04/2021)
22. Please note that any proposed on-street parking shall be approved by the Public Works Department prior to the issuance of a permit from Land Development for construction. Requests for on-street parking require review by Public Works staff during the plan review process. (10/04/2021)
23. The developer shall submit an analysis to verify adequate capacity of the existing sewer system as required by the Land Development Division prior to issuance of a building permit to connect private system to the public sewer main and depending on adequacy of the receiving system, make other improvements may be required. (10/06/2021)
24. The developer must grant a [BMP and/or Surface Drainage Easement] to the City as required by the Land Development Division, prior to recording the plat or issuance of any building permits. (10/06/2021)
25. The developer shall submit verification of vertical and horizontal sight distance for the drive connection to public right-of-way to the Land Development Division and make improvements to ensure local jurisdiction and/or minimum AASHTO adequate sight distance standards are met, prior to issuance of any certificate of occupancy. (10/06/2021)
26. The developer must submit covenants, conditions and restrictions to the Land Development Division for review by the Law Department for approval for the maintenance of private open space and enter into a covenant agreement for the maintenance of any stormwater detention area tracts, prior to recording the plat. (12/20/2021)

*Condition(s) by Fire Department. Contact Michael Schroeder at 816-513-4611 / michael.schroeder@kcmo.org with questions.*

27. • The expectation is the project will meet the fire flow requirements as set forth in Appendix B of the International Fire Code 2018. (IFC-2018 § 507.1) (10/06/2021)
28. Fire hydrant distribution shall follow IFC-2018 Table C102.1 (10/06/2021)
29. • Buildings equipped with a fire standpipe system shall have an operable fire hydrant within 100 feet of the Fire Department Connection (FDC). (IFC2018 § 507.5.1.1) (10/06/2021)
30. • Buildings equipped with a fire standpipe system shall have an operable fire hydrant within 100 feet of the Fire Department Connection (FDC). (IFC2018 § 507.5.1.1) (10/06/2021)

*Condition(s) by Water Services Department. Contact Heather Massey at / heather.massey@kcmo.org with questions.*

31. The developer shall ensure that water and fire service lines should meet current Water Services Department Rules and Regulations.  
<https://www.kcwater.us/wp-content/uploads/2019/04/2018-Rules-and-Regulations-for-Water-Service-Lines.pdf>  
(10/05/2021)
32. The developer must have Reg # 31574 to be killed to bring service lines up to current rules and regulations. (10/05/2021)
33. The developer shall have a water flow test done to ensure there is adequate water pressure to serve the development.  
South of River contact –Sean Allen -816-513-0318  
North of River contact Dan Richardson – 816-513-4883 (10/05/2021)

*Condition(s) by Water Services Department. Contact Jerald Windsor at 816-513-2904 / Jerald.Windsor@kcmo.org with questions.*

*Condition(s) by Water Services Department. Contact Jerald Windsor at 816-513-2904 / Jerald.Windsor@kcmo.org with questions.*

34. The developer must either move the proposed driveway or submit Fire Hydrant Relocation plans to move Fire Hydrant H-24 located along 8th Street between Washington Street and Broadway Boulevard on the south side of 8th street. The fire hydrant plans shall be prepared by a registered professional Engineer in Missouri. The plans shall be submitted to the water main extension office for review, acceptance and contracts per the KC Water Rules and Regulations for Water main extensions and Relocations.  
(<https://www.kcwater.us/wp-content/uploads/2019/04/2018-Rules-and-Regulations-for-Water-Main-Extensions.pdf>)

Note: The existing Fire Hydrant appears closer than 2' to the proposed driveway.

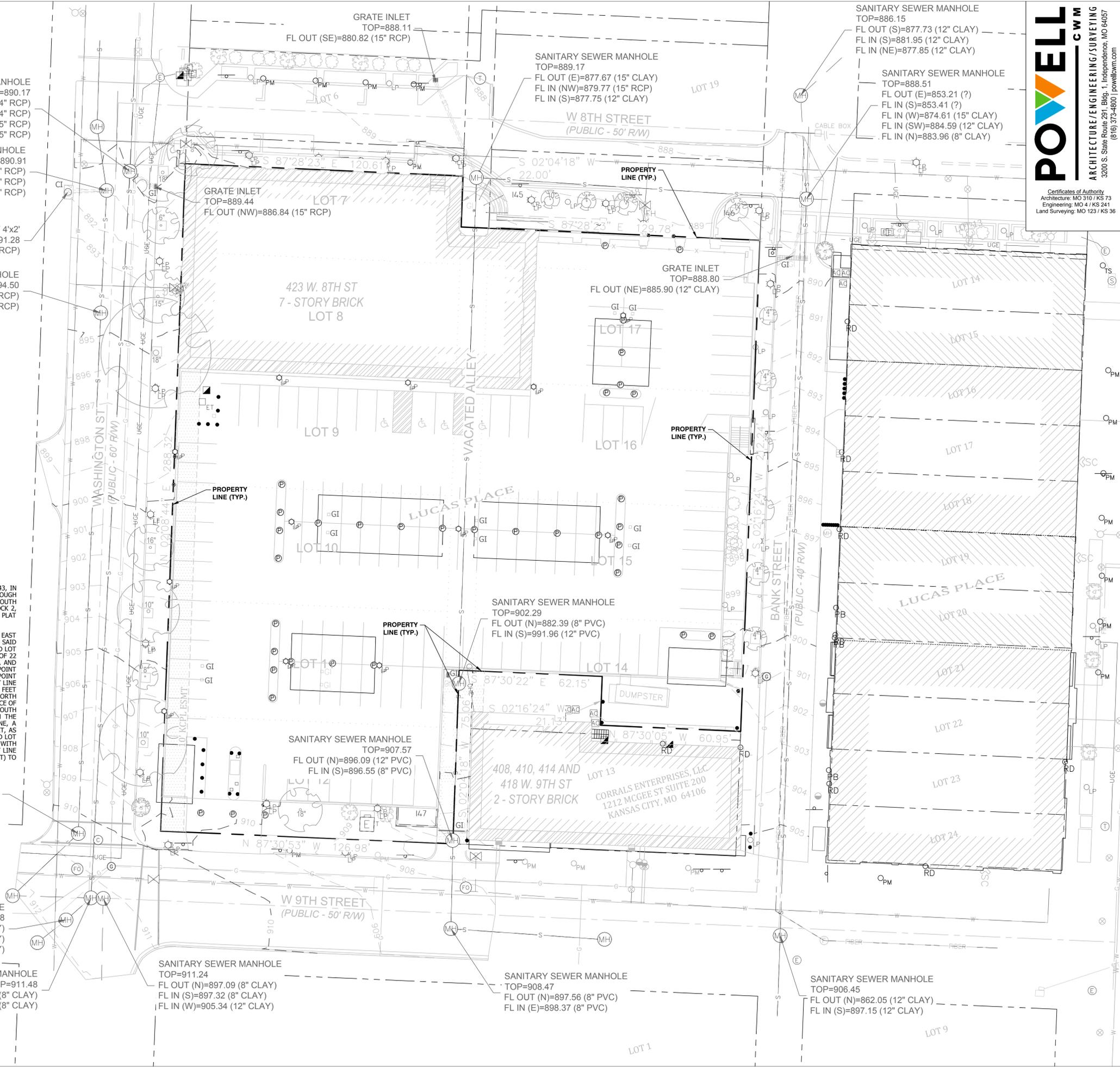
Note: The utility sheet shows Install per KCMO STANDARDS:  
Please change because it is an 8" Water main on 8thStreet (9/20/2021)

NOT FOR CONSTRUCTION

REV	ISSUE	DATE
1	City Submittal	2021 09 03

EXISTING CONDITIONS

CO.10



SANITARY SEWER MANHOLE  
TOP=890.17  
FL OUT (N)=879.63 (24" RCP)  
FL IN (S)=879.69 (24" RCP)  
FL IN (NE)=883.02 (15" RCP)  
FL IN (SE)=883.77 (15" RCP)

SANITARY SEWER MANHOLE  
TOP=890.91  
FL OUT (N)=884.36 (24" RCP)  
FL IN (W)=885.76 (15" RCP)  
FL IN (S)=884.46 (24" RCP)

CURB INLET 4'x2'  
TOP=891.28  
FL OUT (E)=887.53 (15" RCP)

SANITARY SEWER MANHOLE  
TOP=894.50  
FL OUT (S)=885.50 (24" RCP)  
FL IN (N)=885.60 (24" RCP)

GRATE INLET  
TOP=889.44  
FL OUT (NW)=886.84 (15" RCP)

SANITARY SEWER MANHOLE  
TOP=889.17  
FL OUT (E)=877.67 (15" CLAY)  
FL IN (NW)=879.77 (15" RCP)  
FL IN (S)=877.75 (12" CLAY)

SANITARY SEWER MANHOLE  
TOP=886.15  
FL OUT (S)=877.73 (12" CLAY)  
FL IN (S)=881.95 (12" CLAY)  
FL IN (NE)=877.85 (12" CLAY)

SANITARY SEWER MANHOLE  
TOP=888.51  
FL OUT (E)=853.21 (?)  
FL IN (S)=853.41 (?)  
FL IN (W)=874.61 (15" CLAY)  
FL IN (SW)=884.59 (12" CLAY)  
FL IN (N)=883.96 (8" CLAY)

GRATE INLET  
TOP=888.80  
FL OUT (NE)=885.90 (12" CLAY)

SANITARY SEWER MANHOLE  
TOP=902.29  
FL OUT (N)=882.39 (8" PVC)  
FL IN (S)=991.96 (12" PVC)

SANITARY SEWER MANHOLE  
TOP=907.57  
FL OUT (N)=896.09 (12" PVC)  
FL IN (S)=896.55 (8" PVC)

SANITARY SEWER MANHOLE  
TOP=910.51  
FL OUT (N)=901.93 (24" RCP)  
FL IN (SW)=902.33 (24" RCP)

SANITARY SEWER MANHOLE  
TOP=911.48  
FL OUT (E)=905.71 (12" CLAY)  
FL IN (SW)=907.16 (8" CLAY)  
FL IN (W)=905.76 (12" CLAY)

SANITARY SEWER MANHOLE  
TOP=911.48  
FL OUT (NE)=907.46 (8" CLAY)  
FL IN (SW)=907.84 (8" CLAY)

SANITARY SEWER MANHOLE  
TOP=911.24  
FL OUT (N)=897.09 (8" CLAY)  
FL IN (S)=897.32 (8" CLAY)  
FL IN (W)=905.34 (12" CLAY)

SANITARY SEWER MANHOLE  
TOP=908.47  
FL OUT (N)=897.56 (8" PVC)  
FL IN (E)=898.37 (8" PVC)

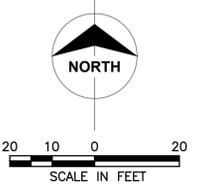
SANITARY SEWER MANHOLE  
TOP=906.45  
FL OUT (N)=862.05 (12" CLAY)  
FL IN (S)=897.15 (12" CLAY)



**SITE LOCATION MAP**  
NOT TO SCALE

**LEGAL DESCRIPTION:**  
TRACT A, AS SHOWN ON THE CERTIFICATE OF SURVEY FILED DECEMBER 18, 1995, AS DOCUMENT NO. K-1225343, IN BOOK S-5, PAGE 46, DESCRIBED AS FOLLOWS: ALL OF LOTS 8 THROUGH 12, INCLUSIVE, AND ALL OF LOTS 15 THROUGH 17, INCLUSIVE AND THAT PART OF LOTS 7, 14, AND 18, TOGETHER WITH THAT PART OF THE VACATED NORTH-SOUTH ALLEY, LYING EAST OF AND ADJACENT TO THE EAST LINE OF SAID LOTS 7 THROUGH 12, INCLUSIVE, ALL IN BLOCK 2, LUCAS PLACE, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

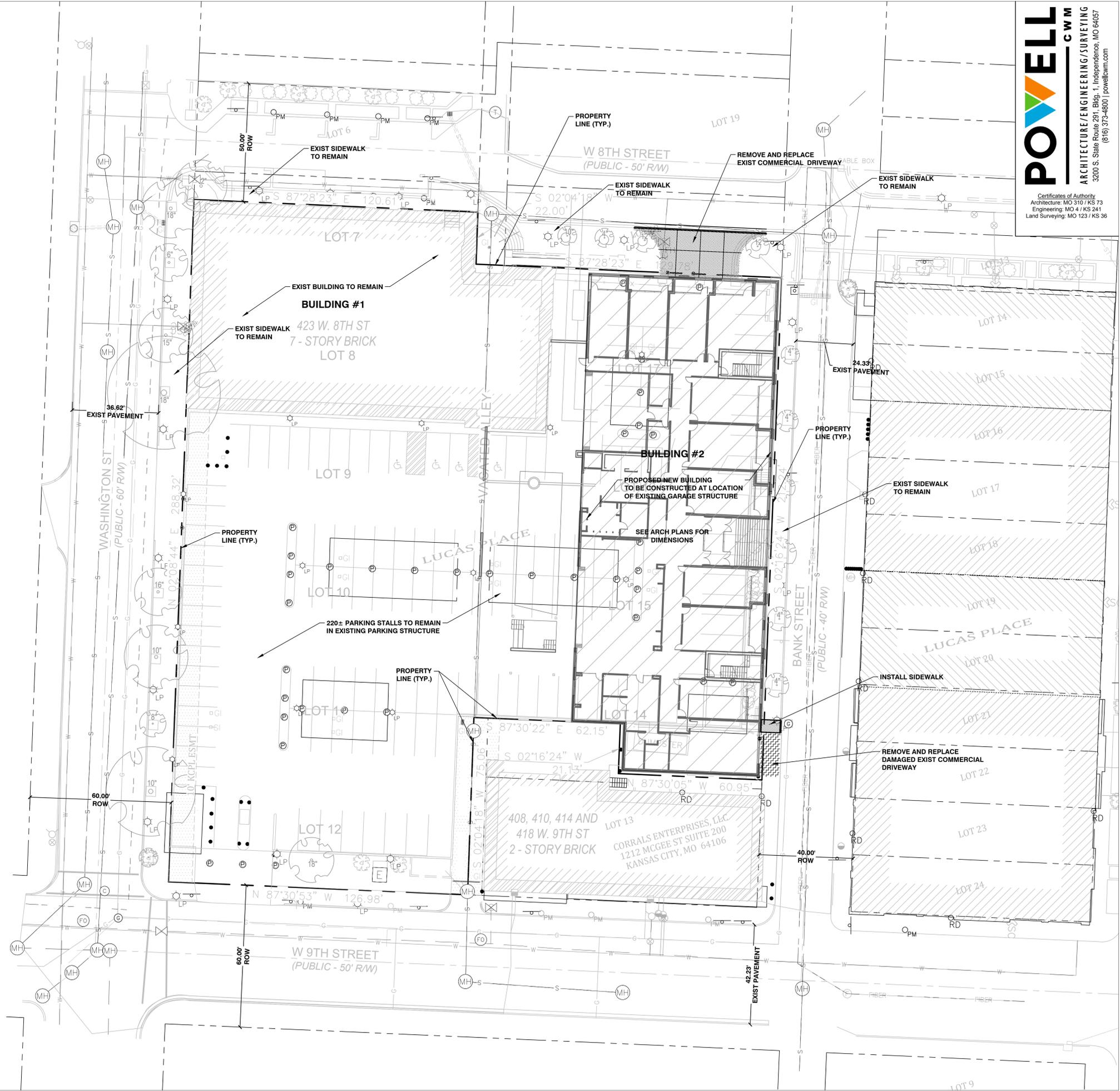
BEGINNING AT THE POINT OF INTERSECTION OF THE SOUTH RIGHT-OF-WAY LINE OF 8TH STREET WITH THE EAST RIGHT-OF-WAY LINE OF WASHINGTON STREET, AS BOTH STREETS ARE NOW ESTABLISHED; THENCE EAST ALONG SAID SOUTH RIGHT-OF-WAY LINE, A DISTANCE OF 120.61 FEET (121 FEET PLAT) TO A POINT ON THE EAST LINE OF SAID LOT 7; THENCE SOUTH ALONG SAID EAST LINE AND ALONG A JOG IN SAID SOUTH RIGHT-OF-WAY LINE, A DISTANCE OF 22 FEET; THENCE EAST ALONG A LINE, 16 FEET NORTH OF AND PARALLEL WITH THE SOUTH LINE OF SAID LOT 18, AND ALONG THE SOUTH RIGHT-OF-WAY LINE OF SAID 8TH STREET, A DISTANCE OF 129.78 FEET (133 FEET PLAT) TO A POINT OF INTERSECTION WITH THE WEST RIGHT-OF-WAY LINE OF BANK STREET, AS NOW ESTABLISHED, BEING ALSO A POINT ON THE EAST LINE OF SAID LOT 18; THENCE SOUTH ALONG SAID WEST RIGHT-OF-WAY LINE AND ALONG THE EAST LINE OF SAID LOTS 18 THROUGH 14, A DISTANCE OF 212.27 FEET; THENCE WEST ALONG A STRAIGHT LINE, 46.15 FEET DISTANT SOUTH OF AND PARALLEL WITH THE NORTH LINE OF SAID LOT 14, A DISTANCE OF 60.95 FEET; THENCE NORTH ALONG A STRAIGHT LINE 60.95 DISTANCE WEST OF AND PARALLEL WITH THE EAST LINE OF SAID LOT 14, A DISTANCE OF 21.25 FEET TO A POINT ON THE SOUTH LINE OF THE NORTH HALF OF SAID LOT 14; THENCE WEST ALONG SAID SOUTH LINE AND ITS WESTERLY PROLONGATION, A DISTANCE OF 62.15 FEET TO A POINT OF INTERSECTION WITH THE CENTERLINE OF A 12 FOOT WIDE VACATED ALLEY, THENCE SOUTH ALONG SAID VACATED ALLEY CENTERLINE, A DISTANCE OF 75.05 FEET TO A POINT OF INTERSECTION WITH THE NORTH RIGHT-OF-WAY LINE OF 9TH STREET, AS NOW ESTABLISHED; THENCE WEST ALONG SAID NORTH RIGHT-OF-WAY LINE AND ALONG THE SOUTH LINE OF SAID LOT 12, A DISTANCE OF 127 FEET TO THE SOUTHWEST CORNER THEREOF, BEING ALSO THE POINT OF INTERSECTION WITH THE EAST RIGHT-OF-WAY LINE OF SAID WASHINGTON STREET; THENCE NORTH ALONG SAID EAST RIGHT-OF-WAY LINE AND ALONG THE WEST LINE OF SAID LOTS 12 THROUGH 7, INCLUSIVE, A DISTANCE OF 288.29 FEET (228 FEET PLAT) TO THE POINT OF BEGINNING.



Development Summary Table	
Item	Description
a	<b>Zoning</b>
	Existing = DC-15 Proposed = UR (DC-15 Underlying Zoning)
b	<b>Total Land Area</b>
	Existing = 1.410 AC Proposed = 1.410 AC
c	<b>Right-of-way Land Area</b>
	Existing = 0.00 AC Proposed = 0.00 AC
d	<b>Net Land Area</b>
	Existing = 1.410 AC Proposed = 1.410 AC
e	<b>Proposed Building Use</b>
	Building 1 Apartments 89,600 SF Building 2 Apartments 208,300 SF
f	<b>Structure Height &amp; Number of Floors</b>
	Building 1 = 90 FT 8 Floors Building 2 = 138 FT 9 Floors
g	<b>Gross Floor Area &amp; Units</b>
	<b>Building #1</b> Basement 12,800 SF 5 Rooms Level 1 12,800 SF 15 Rooms Level 2 12,800 SF 15 Rooms Level 4 12,800 SF 16 Rooms Level 5 12,800 SF 16 Rooms Level 6 12,800 SF 16 Rooms Level 7 12,800 SF 15 Rooms Building #1 Total = 89,600 SF Building #1 Total = 98 Rooms
h	<b>Building #2</b> Basement 10,000 SF 6 Rooms Level 1 24,800 SF 10 Rooms Level 2 24,800 SF 14 Rooms Level 3 24,800 SF 14 Rooms Level 4 24,800 SF 14 Rooms Level 5 24,800 SF 14 Rooms Level 6 24,800 SF 14 Rooms Level 7 24,800 SF 14 Rooms Level 8 12,350 SF 12 Rooms Level 9 12,350 SF 12 Rooms Building #2 Total = 208,300 SF Building #2 Total = 124 Rooms Project Total = 297,900 SF Project Total = 222 Rooms
	<b>Building Coverage &amp; Floor Ratio</b> FAR = 4.85
i	<b>Gross &amp; Net Density</b>
	Gross Density 157.45 Units/Acre Net Density 157.45 Units/Acre
j	<b>Vehicle Parking</b>
	Ratio (Lodging) = N/A (DC Zoning District) Required Spaces = 0 Planned Spaces = 200
k	<b>Bike Parking</b>
	Short term Ratio = 10% of Veh. Parking (3 min.) Required Spaces = 20 Provided Spaces = 20 Long term Ratio = 1 (+1 per 30 rooms) Required Spaces = 9 Provided Spaces = 36
l	<b>Construction Timeline</b>
	Begin = 3/1/2022 Construction = 24 months Completion = 3/31/2024
m	<b>Amendments to Development Plan</b>
	None

**POWELL** CWM  
ARCHITECTURE/ENGINEERING/SURVEYING  
3200 S. State Route 291, Bldg. 1, Independence, MO 64057  
(816) 373-4800 | powellcwm.com

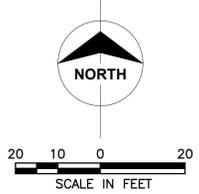
Certificates of Authority  
Architecture: MO 310 / KS 73  
Engineering: MO 4 / KS 241  
Land Surveying: MO 123 / KS 36



Fashionbilt – UR Development Plan  
423 W. 8TH STREET  
KANSAS CITY, MO. 64105

NOT FOR CONSTRUCTION

REV ISSUE DATE  
City Submittal 2021 09 03



**NOTE:**  
1. ALL EXISTING PERIMETER LANDSCAPE AND STREET TO REMAIN. PROTECT IN PLACE.  
2. SHORT TERM AND LONG TERM BICYCLE PARKING IS ACCOUNTED FOR IN THE LOWER LEVELS OF EACH BUILDING.  
3. THE EXISTING GRADES ON THE SITE WILL NOT BE MODIFIED AND THE NEW BUILDING SHALL MATCH EXISTING GRADES THEREFORE A GRADING PLAN IS NOT PROVIDED.  
4. THE DEVELOPER ELECTS TO PAY THE CITY OF KANSAS CITY, MISSOURI, IN LIEU OF REQUIRED PARKLAND DEDICATING FOR 222 MULTI-FAMILY UNITS PURSUANT TO SECTION 88-408 OF THE ZONING AND DEVELOPMENT CODE.

**POWELL** C.W.M.  
ARCHITECTURE/ENGINEERING/SURVEYING  
3200 S. State Route 291, Bldg. 1, Independence, MO 64057  
(816) 373-4800 | powellcwm.com

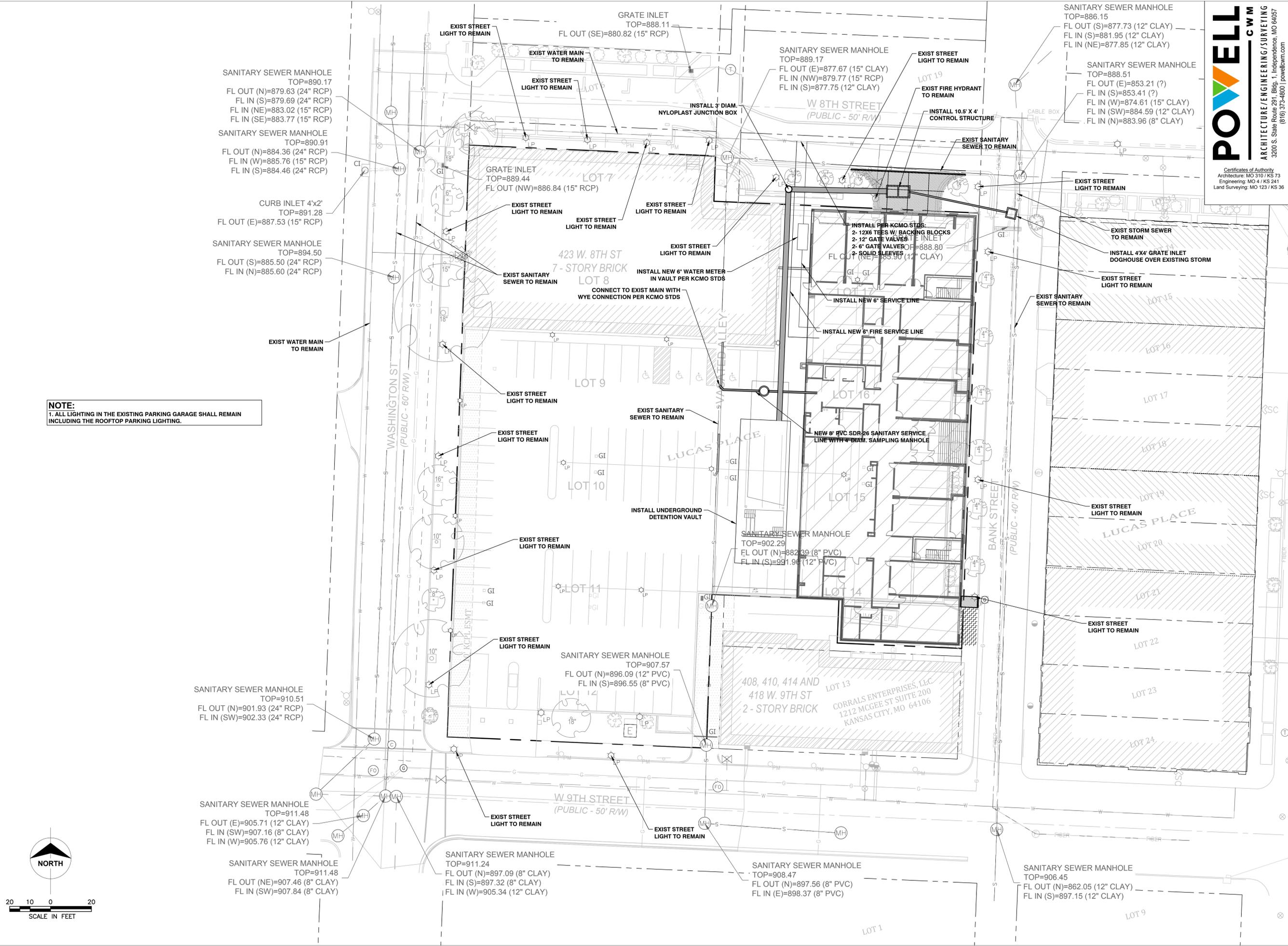
Certificates of Authority  
Architecture: MO 310 / KS 73  
Engineering: MO 4 / KS 241  
Land Surveying: MO 123 / KS 36

Fashionbilt - UR Development Plan

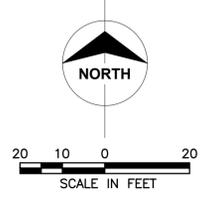
423 W. 8TH STREET  
KANSAS CITY, MO, 64105

NOT FOR CONSTRUCTION

REV	ISSUE	DATE
	City Submittal	2021 09 03



**NOTE:**  
1. ALL LIGHTING IN THE EXISTING PARKING GARAGE SHALL REMAIN INCLUDING THE ROOFTOP PARKING LIGHTING.

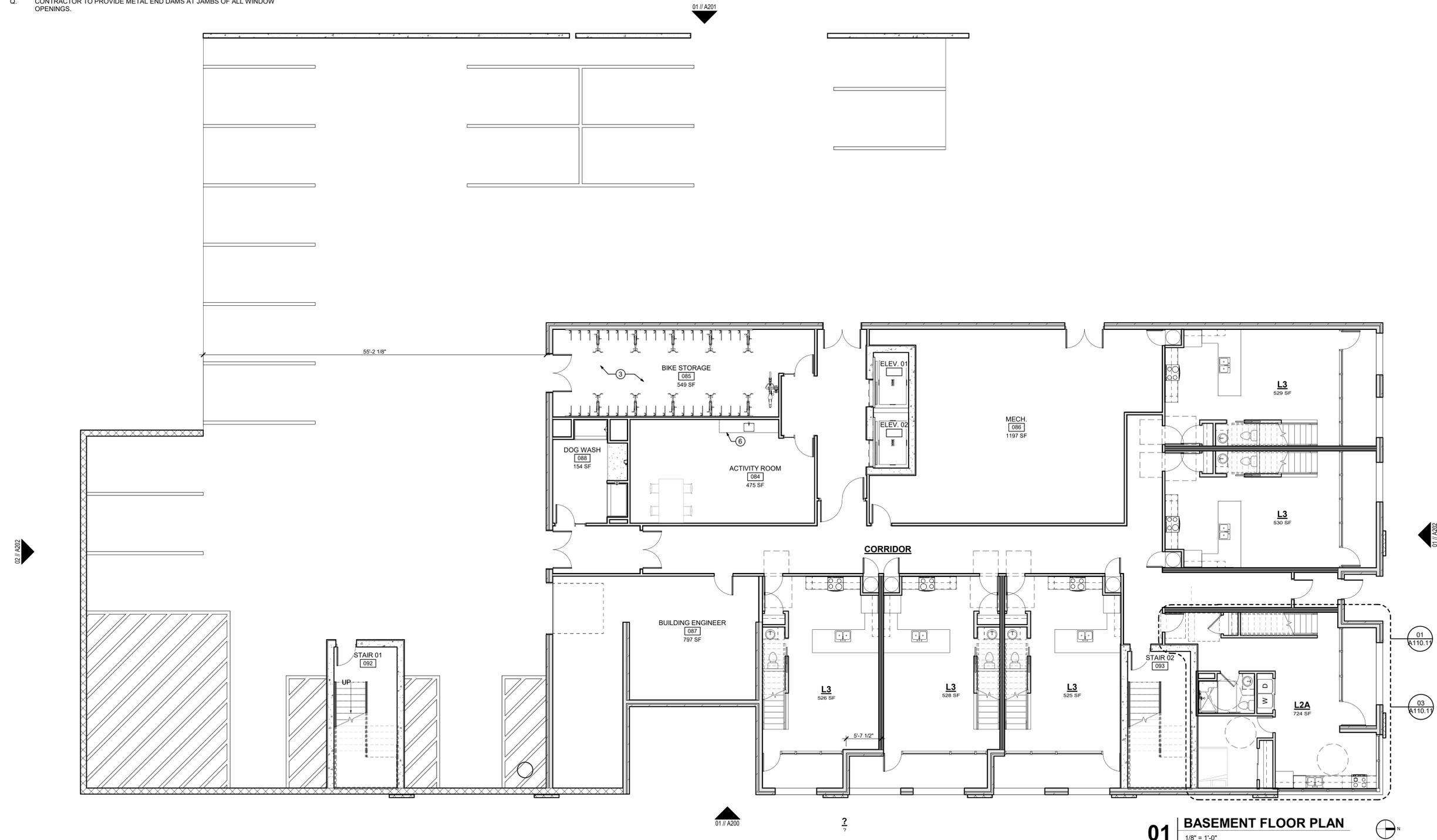


**GENERAL NOTES-FLOOR PLAN**

- A. ALL DIMENSIONS TO EXISTING ITEMS ARE +/-
- B. ALL WALLS TO BE P1 WALL TYPE UNLESS TAGGED OTHERWISE.
- C. WINDOWS ARE TO BE CENTERED UNLESS DIMENSIONED OTHERWISE.
- D. PROVIDE CONDUIT AND PULL STRING FOR IT/AV/SECURITY WORK AS REQUIRED.
- E. COORDINATE WITH MEP & IT/AV/SECURITY.
- F. EGRESS DOORS TO HAVE MINIMUM WIDTH 32" BETWEEN THE FACE OF DOOR AND THE STOP WHEN OPEN 90°
- G. CONFIRM DIMMERS AND SWITCHING WITH MEP
- H. CONTRACTOR TO COORDINATE ALL MEP AND STRUCTURAL REQUIREMENTS.
- I. CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND PROVIDING ALL BLOCKING AS REQUIRED FOR KITCHEN EQUIPMENT, TENANT PROVIDED TV, LIGHT FIXTURES, RESTROOM ACCESSORIES, ETC.
- J. REFER TO SHEET A001 FOR ALL WALL TYPES AND WALL TYPE DETAILS.
- K. ALL EXTERIOR WALL DIMENSIONS ARE TAKEN FROM EXTERIOR FACE OF MASONRY IN MASONRY WALLS, AND EXTERIOR FACE OF SHEATHING (EDGE OF SLAB) ON ALL OTHER WALLS. INTERIOR WALLS ARE DIMENSIONED TO FACE OF STUD.
- L. DIMENSIONS FOR INTERIOR PARTITIONS ARE TO OUTSIDE FACE OF WALL FINISH.
- M. REFER TO CIVIL FOR ALL SITE RELATED FILL AND GRADING REQUIREMENTS.
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- Q. CONTRACTOR TO ENSURE PROJECT SITE IS SECURE AFTER BUSINESS HOURS 6AM - 5PM MONDAY THROUGH FRIDAY.
- R. CONTRACTOR TO PROVIDE METAL END DAMS AT JAMBS OF ALL WINDOW OPENINGS.

**FLOOR PLAN KEYNOTES**

- 1. NEW ANODIZED ALUMINUM STOREFRONT GLAZING SYSTEM WITH 1" INSULATED GLASS. FRAME PROFILE AND FINISH TO MATCH EXISTING SYSTEM.
- 2. RECESSED MAILBOXES.
- 3. WALL MOUNTED BIKE RACK. 4 BIKES PER RACK.
- 4. WALL MOUNTED TV ON BRACKET. PROVIDE 3/4" FIRE RETARDANT PLYWOOD BLOCKING IN WALL. PROVIDE POWER / DATA / CABLE PER MEP.
- 6. PROVIDE PLUMBING SUPPLY & WASTE LINES FOR EQUIPMENT. LOCATE FLOOR DRAINS UNDER ALL UC ICE MAKERS (AS REQUIRED).



**01 BASEMENT FLOOR PLAN**  
1/8" = 1'-0"

Fashionbit - UR Development Plan (New Building)

423 W. 8TH STREET  
KANSAS CITY, MO 64105

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01	City Submittal	2021-09-03

BASEMENT FLOOR PLAN

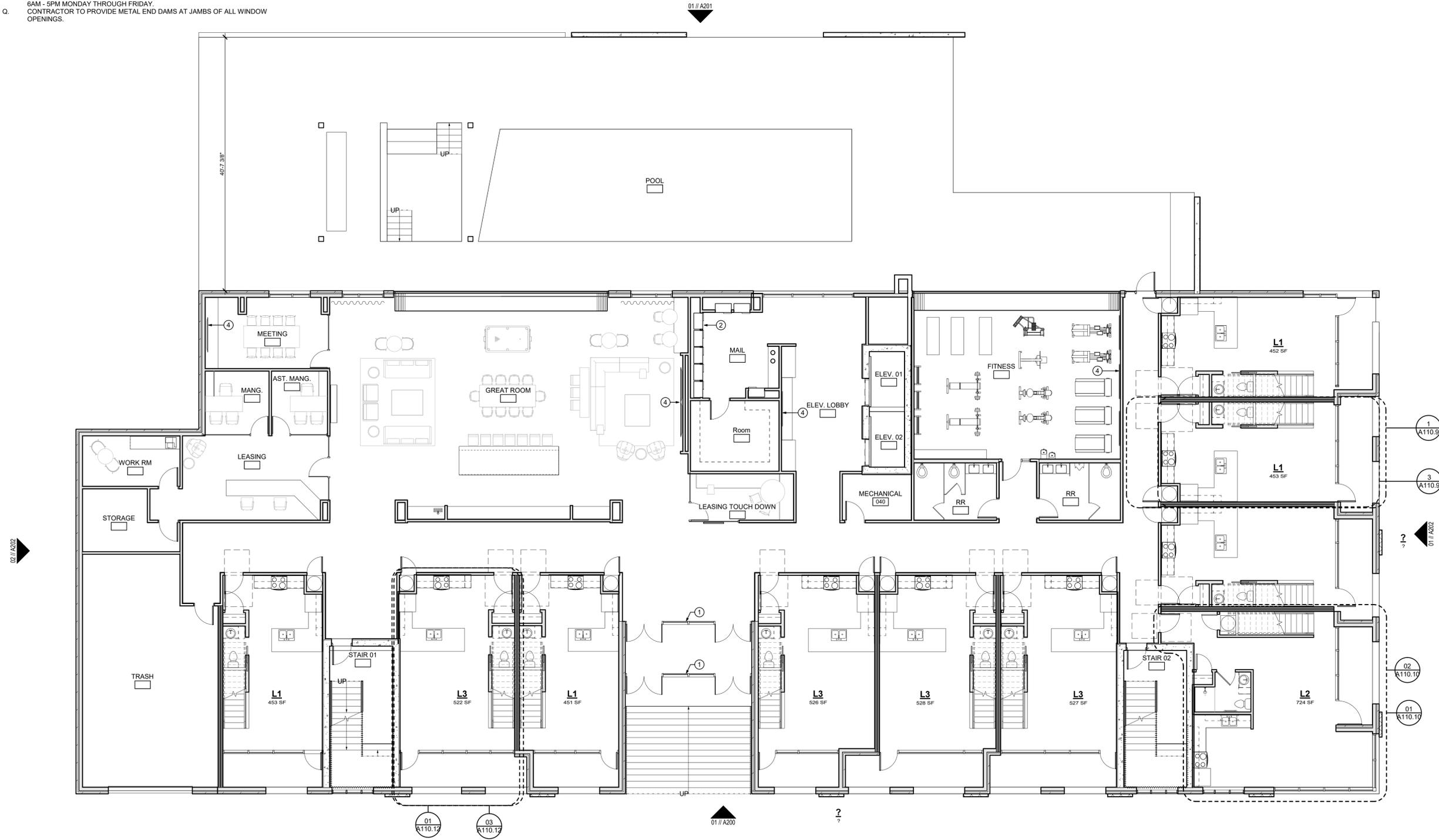
**A100**

**GENERAL NOTES-FLOOR PLAN**

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- D. PROVIDE CONDUIT AND PULL STRING FOR IT/AV/SECURITY WORK AS REQUIRED. COORDINATE WITH MEP & IT/AV/SECURITY.
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- Q. CONTRACTOR TO PROVIDE METAL END DAMS AT JAMBS OF ALL WINDOW OPENINGS.

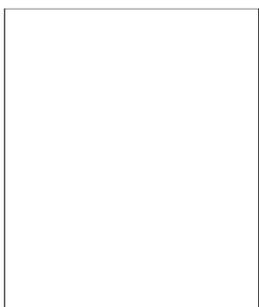
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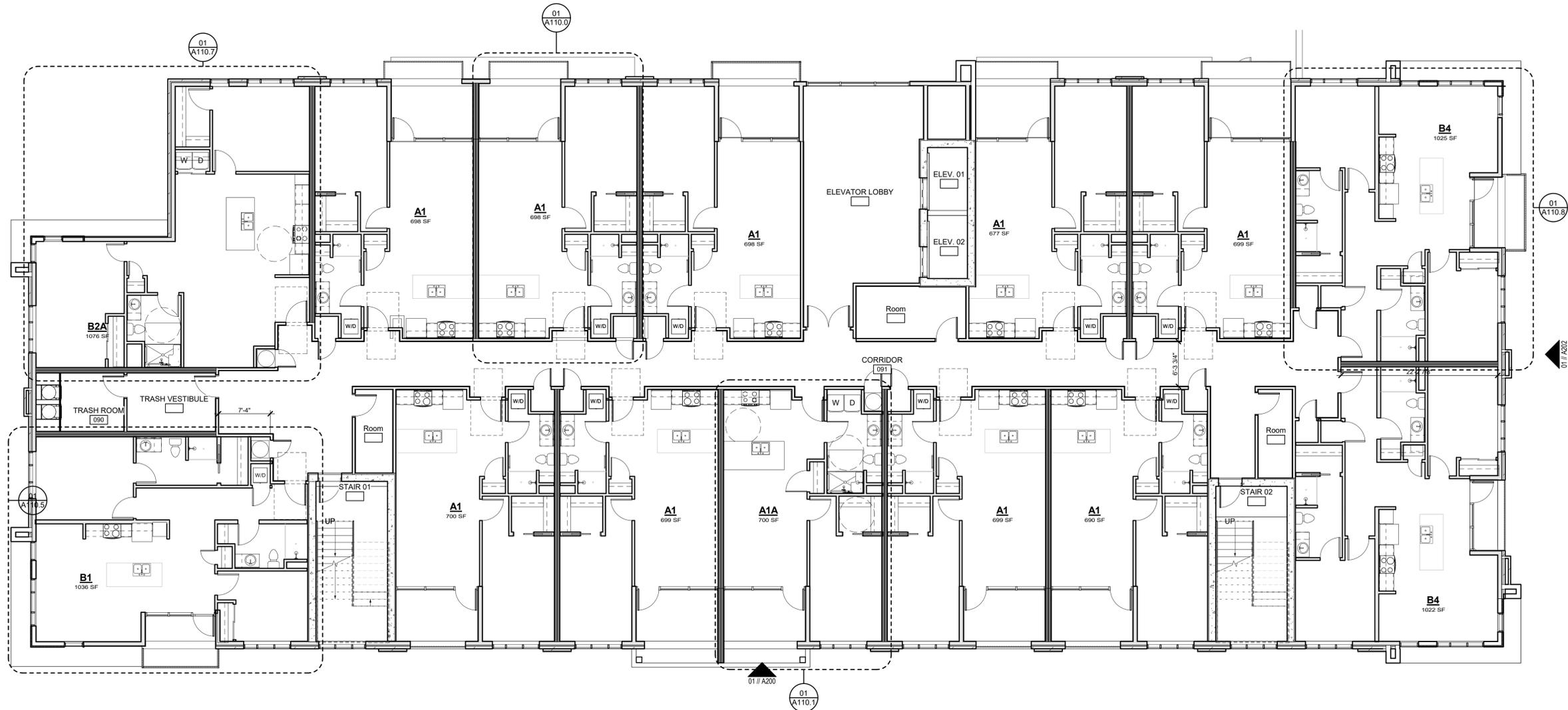
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City Submittal 2021-09-03

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**01 SECOND FLOOR PLAN**  
1/8" = 1'-0"

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City Submittal		2021-09-03

2ND - 7TH FLOOR PLAN

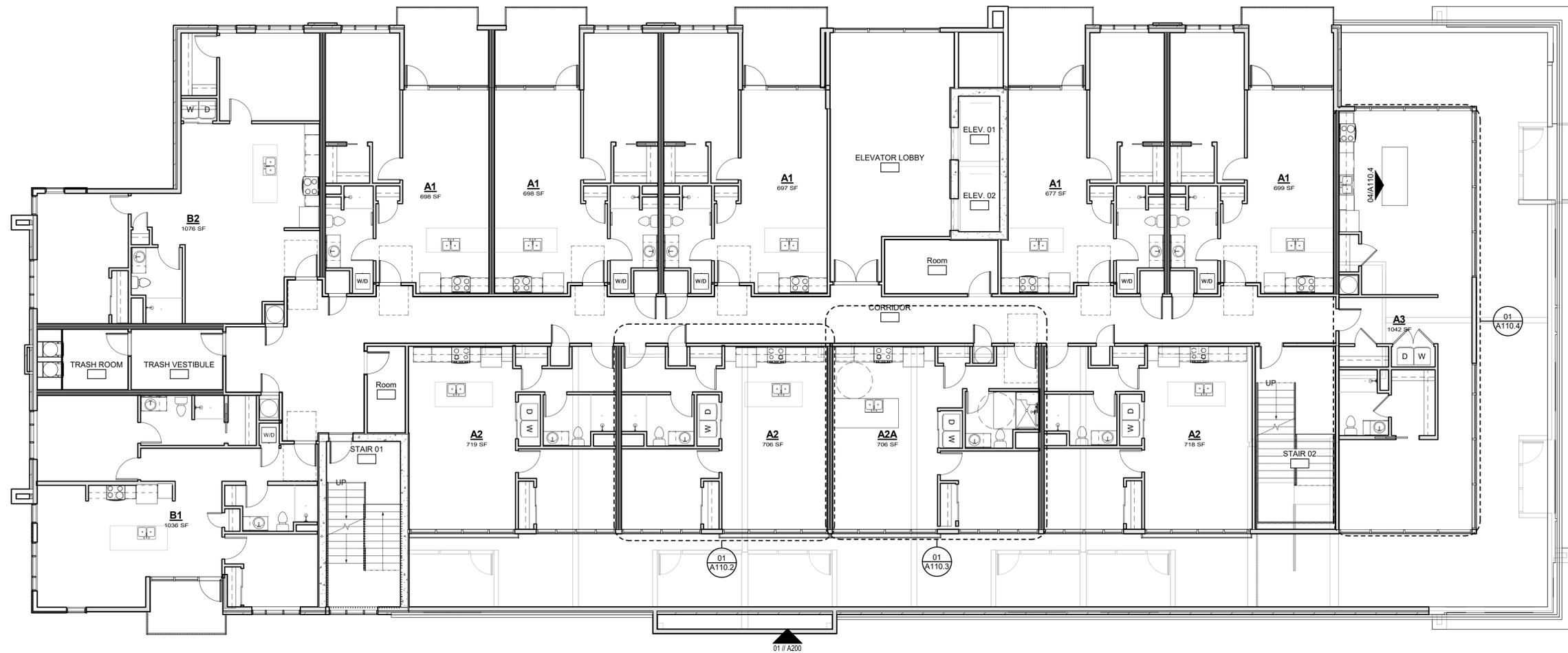
**A102**

**GENERAL NOTES-FLOOR PLAN**

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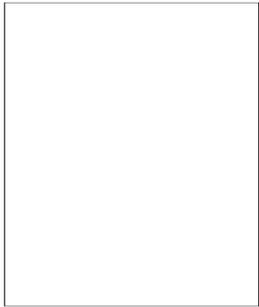
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KANSAS CITY, MO 64105



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	City Submittal	2021-09-03

**01 | EIGHTH & NINTH FLOOR PLAN**  
1/8" = 1'-0"

EIGHTH & NINTH FLOOR PLAN

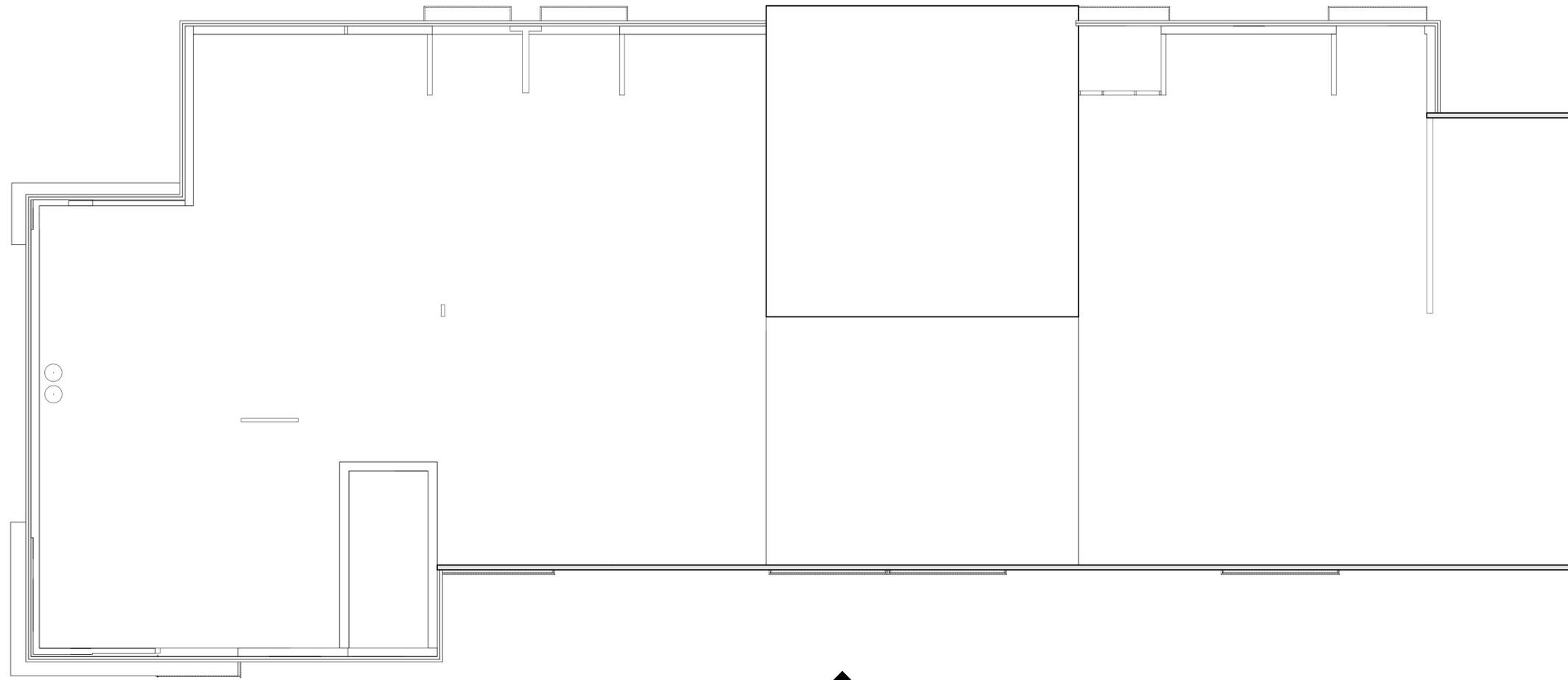
**A103**

**GENERAL NOTES-ROOF PLAN**

- A. PROVIDE BOOTS AT ALL RTU'S AND SLEEVES AT ALL ROOF PENETRATIONS. INSTALL PER MANUFACTURERS INSTALLATION INSTRUCTIONS.
- B. COORDINATE RTU CURB AND REINFORCEMENT WITH STRUCTURAL
- C. PROVIDE CRICKET (ISO OR EPS) AT HIGH SIDE OF ALL RTU'S.
- D. PROVIDE MINIMUM INSULATION VALUES FOR CLIMATE ZONE PER GENERAL INFORMATION / CODE REVIEW.
- E. AT PARAPET WALL CAP, PROVIDE BRONZE ANODIZED ALUMINUM BRAKE METAL WALL CAP WITH CONTINUOUS CLEAT ON BOTH SIDES. RE: SMACNA ARCHITECTURAL SHEET METAL MANUAL 2003 FIGURE3-4A. SEALANT BOTH SIDES
- F. WHERE DISSIMILAR METALS WILL CONTACT EACH OTHER OR CORROSIVE SUBSTRATES, PROTECT AGAINST GALVANIC REACTION BY COATING CONTACT SURFACES WITH BITUMINOUS COATING OR BY OTHER PERMANENT SEPARATION AS RECOMMENDED BY FABRICATOR OR MANUFACTURER OF DISSIMILAR METALS.
- G. WHERE INSTALLING METAL FLASHING DIRECTLY ON CEMENTITIOUS OR WOOD SUBSTRATES, INSTALL A COURSE OF FELT UNDERLAYMENT AND COVER WITH A SLIP SHEET OR INSTALL A POLYETHYLENE UNDERLAYMENT.
- H. INSTALL SHEET METAL TRIM WITHOUT OIL CANNING, BUCKLING AND TOOL MARKS.
- I. INSTALL SHEET METAL FLASHING AND TRIM TRUE TO LINE AND LEVELS INDICATED. PROVIDE UNIFORM, NEAT SEAMS WITH MINIMUM EXPOSURE OF SOLDER, WELDS AND ELASTOMERIC SEALANT.
- J. INSTALL SHEET METAL FLASHING AND TRIM TO FIT SUBSTRATES AND TO RESULT IN WATERTIGHT PERFORMANCE. VERIFY SHAPES AND DIMENSIONS OF SURFACES TO BE COVERED BEFORE FABRICATING SHEET METAL.

**ROOF PLAN KEYNOTES**

- 1 Text  
ROOF PLAN TEXT

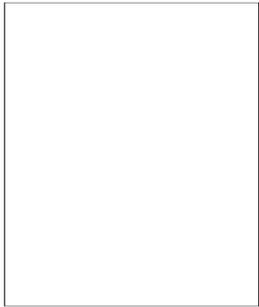


**01** | **ROOF PLAN**  
1/8" = 1'-0"



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KANSAS CITY, MO 64105



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ROOF PLAN

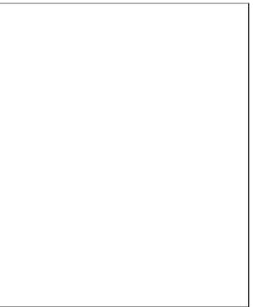
**A104**

**GENERAL NOTES-EXTERIOR ELEVATION**

1. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS AND REPORT TO ARCHITECT ANY CONFLICTS THAT MAY AFFECT DESIGN INTENTIONS SHOWN ON PROJECT DOCUMENTS.
2. SEAL AROUND PERIMETER OF ALL EXTERIOR OPENINGS - AS RECOMMENDED BY THE SYSTEM MANUFACTURERS RECOMMENDATIONS. CONFIRM PENETRATION WATER MANAGEMENT SYSTEM AND LOCATION OF WEEPS, IF PRESENT, PRIOR TO APPLYING SEALANT. SEALANT TO MATCH ADJACENT FINISH.
3. PROVIDE FLASHING AT ALL HEADERS (DOOR + WINDOW). RUN BENEATH WALL SYSTEM MINIMUM OF 8" ABOVE OPENING AND ATTACH WITH NON-GALVANIC MECHANICAL FASTENERS.
4. REFER TO CIVIL FOR FILL AND GRADING REQUIREMENTS.
5. MATCH OPENINGS @ BRICK VENER TO MODULE. ADJUST TRIM ACCORDINGLY.
6. COORDINATE CLADDING DETAILS WITH MANUFACTURER'S BEST PRACTICES. COORDINATE WITH ARCHITECT PRIOR TO PROCUREMENT AND INSTALLATION.
7. USE PRESSURE TREATED LUMBER WHERE IN CONTACT WITH CONCRETE OR MASONRY.
8. ROUGH OPENING HEIGHTS ARE FROM TOP OF SUB FLOOR, NOT FINISHED FLOOR.



Fashionbilt - New Building  
XXXX STREET NAME  
CITY, STATE, XXXXXX



REV	ISSUE	DATE
	30% DD	2021 06 24
	40% DD	2021 07 01
	45% DD	2021 07 12
	50% DD	2021 07 23

01 | EAST ELEVATION  
1/8" = 1'-0"

EXTERIOR ELEVATIONS

A200

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Fashionbilt - New Building  
XXXX STREET NAME  
CITY, STATE, XXXXXX

REV	ISSUE	DATE
30%	DD	2021 06 24
40%	DD	2021 07 01
45%	DD	2021 07 12
50%	DD	2021 07 23

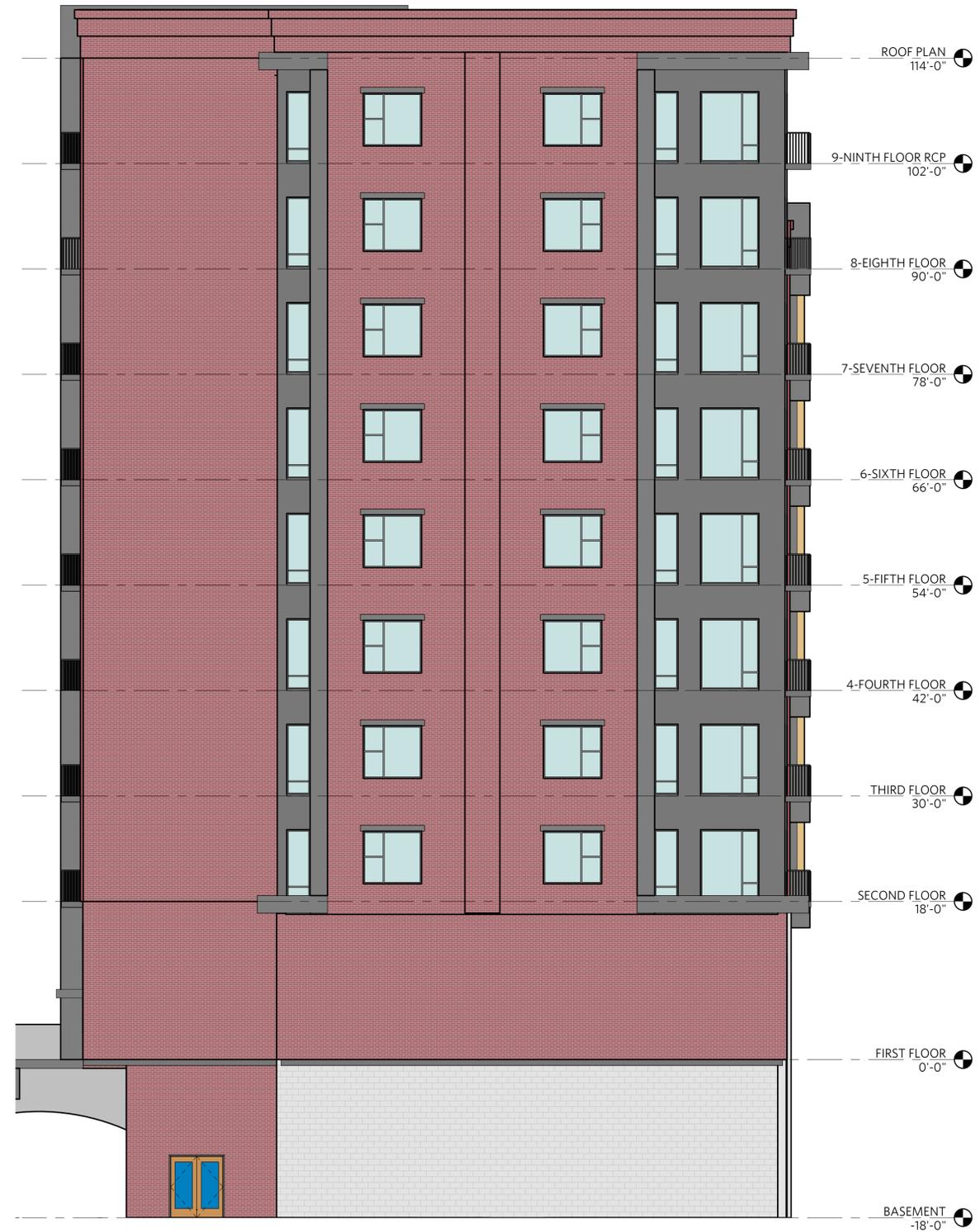
EXTERIOR ELEVATIONS

A201

01 | WEST ELEVATION  
1/8" = 1'-0"



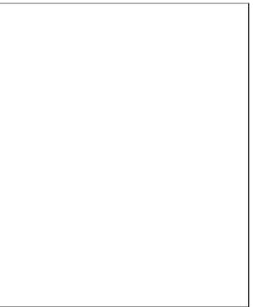
01 | NORTH ELEVATION  
1/8" = 1'-0"



02 | SOUTH ELEVATION  
1/8" = 1'-0"

Fashionbilt - New Building

XXXX STREET NAME  
CITY, STATE, XXXXXX



REV	ISSUE	DATE
30%	DD	2021 06 24
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EXTERIOR ELEVATIONS

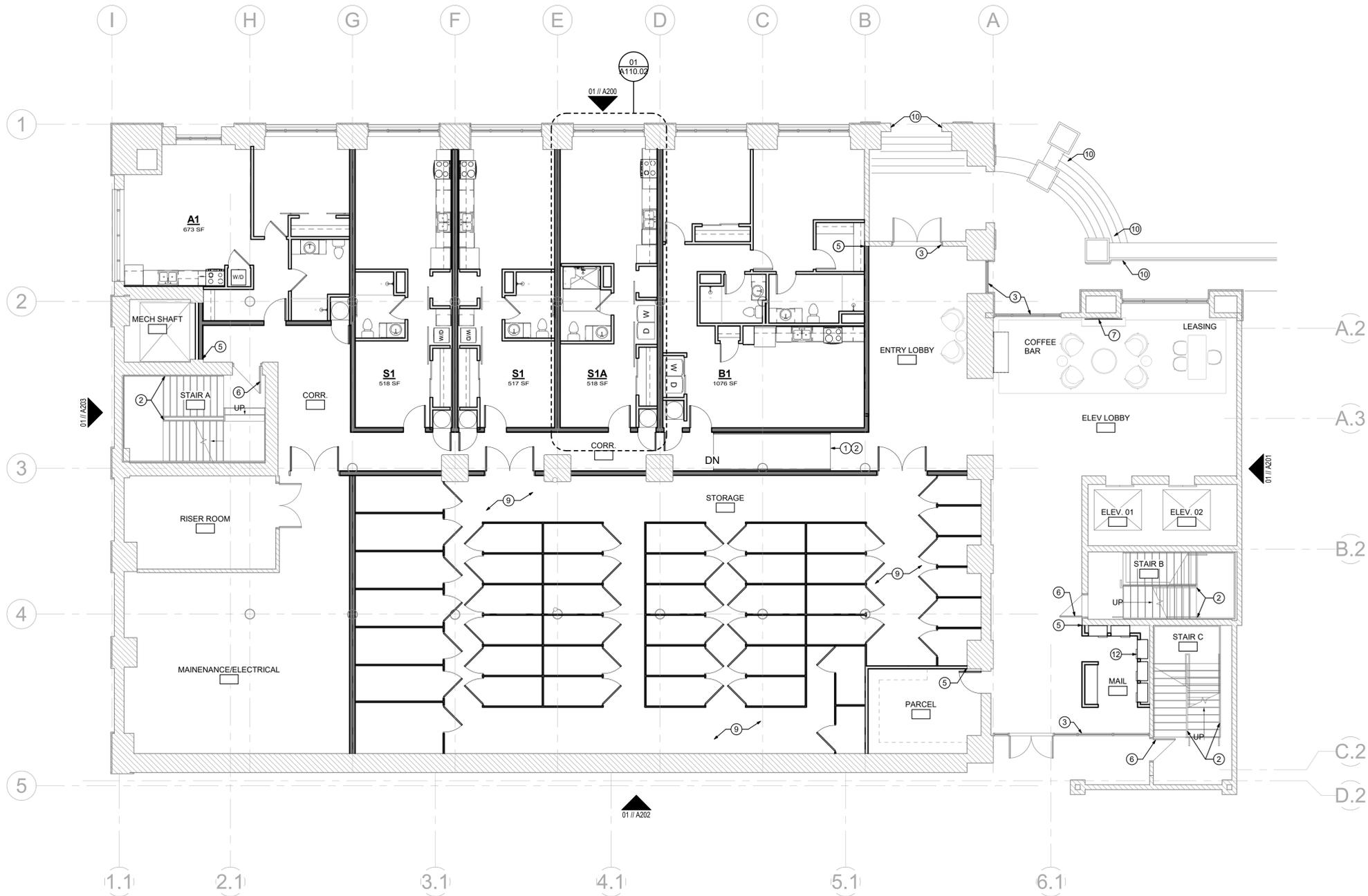
A202

**GENERAL NOTES-FLOOR PLAN**

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- N. CONTRACTOR TO ENSURE PROJECT SITE IS SECURE AFTER BUSINESS HOURS 6AM - 5PM MONDAY THROUGH FRIDAY.
- O. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL REQUIREMENTS OF THE PART 2 FEDERAL HISTORIC TAX CREDIT APPLICATION AS REQUIRED TO SATISFY ALL HISTORICAL REVIEW APPROVALS, COMMENTS AND CONCERNS. IF DISCREPANCIES OR CONFLICTS EXIST BETWEEN THESE DOCUMENTS AND THE PART 2 APPLICATION, THE PART 2 SUPERCEDES. NOTIFY OWNER AND ARCHITECT IMMEDIATELY.
- P. CONTRACTOR TO PROVIDE METAL END DAMS AT JAMBS OF ALL WINDOW OPENINGS.
- Q. CONTRACTOR SHALL COORDINATE ALL UNDERSLAB/TRENCHED ITEMS AS REQUIRED.
- R. INFILL ALL PENETRATION HOLES IN CONCRETE FLOOR TO MATCH AND ALIGN

**FLOOR PLAN KEYNOTES**

- 1 NEW RAMP AND ALL ASSOCIATED HARDWEAR TO BE INSTALLED. RAMP MUST BE ADA COMPLIANT.
- 2 PROVIDE CODE COMPLIANT METAL GUARDRAILS & HANDRAILS AT ALL STAIRS, RAMPS. INTERIOR RAILS TO BE PAINTED. EXTERIOR RAILS TO BE GALVANIZED.
- 3 NEW ANODIZED ALUMINUM STOREFRONT GLAZING SYSTEM WITH 1" INSULATED GLASS. FRAME PROFILE AND FINISH TO MATCH EXISTING SYSTEM.
- 4 FULL HEIGHT 1/2" FRAMELESS TEMPERED GLASS PANELS SET IN 1 1/2" TOP CHANNEL AND 1" BOTTOM CHANNEL IN ANODIZED ALUMINUM. PROVIDE MINIMUM NUMBER OF PANELS POSSIBLE.
- 5 ALIGN FACE OF NEW WALL WITH FACE OF EXISTING WALL OR COLUMN SURFACE.
- 6 REPAIR EXISTING DOOR/FRAME. PRIME AND PAINT.
- 7 WALL MOUNTED TV ON BRACKET. PROVIDE 3/4" FIRE RETARDANT PLYWOOD BLOCKING IN WALL. PROVIDE POWER / DATA / CABLE PER MEP.
- 8 PROVIDE PLUMBING SUPPLY & WASTE LINES FOR WETBAR EQUIPMENT. LOCATE FLOOR DRAINS UNDER ALL UC ICE MAKERS (AS REQUIRED).
- 9 FULL HEIGHT METAL MESH TENANT STORAGE LOCKERS. CLEAN & REPAIR ALUMINUM RAILING AS REQUIRED. STRAIGHTEN ALL BENT RODS/TUBES AND ENSURE RAILING IS STRAIGHT ALONG ENTIRE LENGTH. VERIFY THAT RAILING IS CODE COMPLIANT.
- 10 EXISTING SKYLIGHT OVERHEAD.
- 11 RECESSED MAILBOXES.
- 13 WALL MOUNTED BIKE RACK. 4 BIKES PER RACK.



**01 | FIRST FLOOR PLAN**  
1/8" = 1'-0"

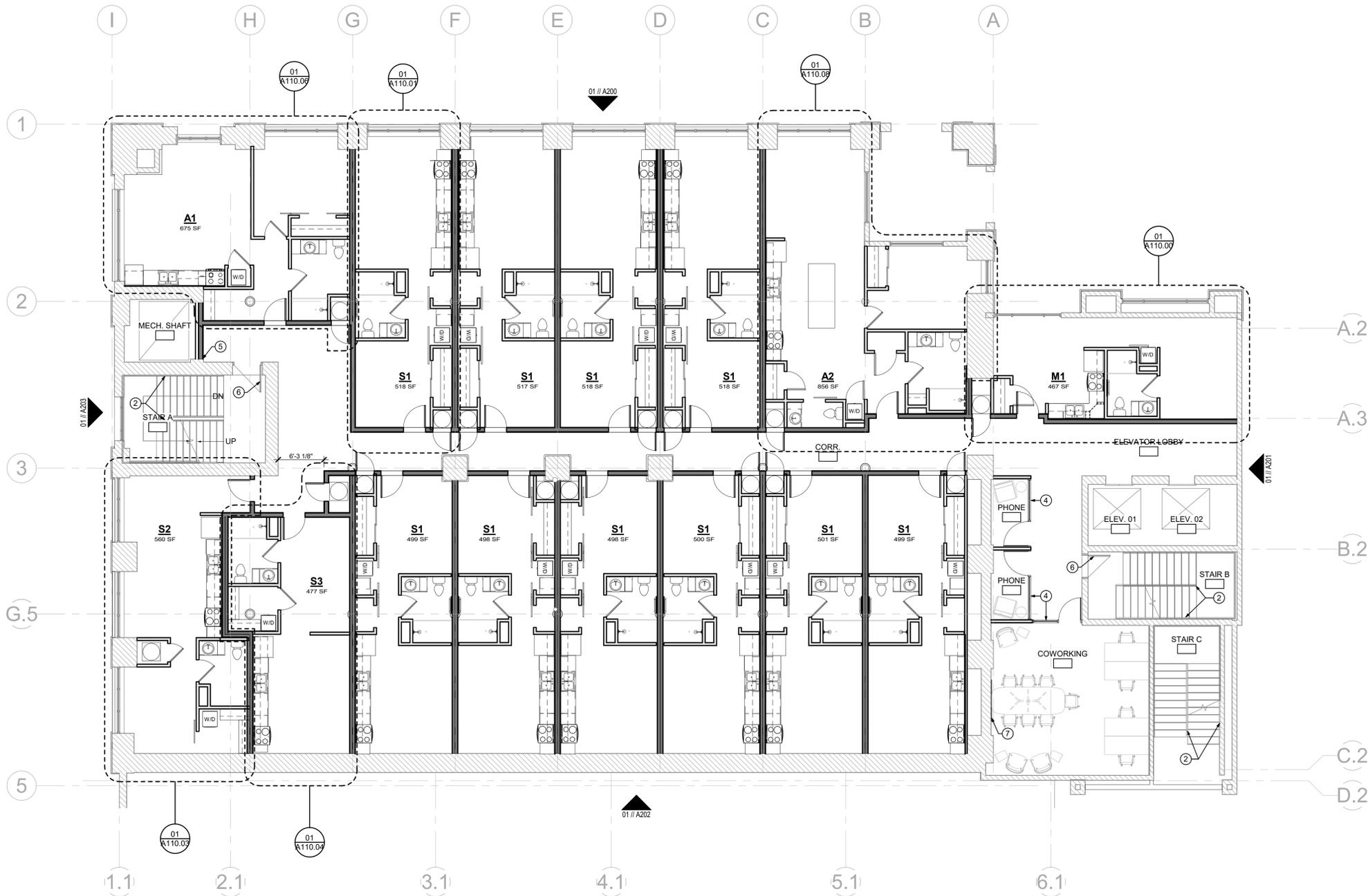
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- R. CONTRACTOR SHALL COORDINATE ALL UNDERSLAB/TRENCHED ITEMS AS REQUIRED.
- S. INFILL ALL PENETRATION HOLES IN CONCRETE FLOOR TO MATCH AND ALIGN

**FLOOR PLAN KEYNOTES**

- 1 NEW RAMP AND ALL ASSOCIATED HARDWARE TO BE INSTALLED. RAMP MUST BE ADA COMPLIANT.
- 2 PROVIDE CODE COMPLIANT METAL GUARDRAILS & HANDRAILS AT ALL STAIRS, RAMPS. INTERIOR RAILS TO BE PAINTED. EXTERIOR RAILS TO BE GALVANIZED.
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- 11 EXISTING SKYLIGHT OVERHEAD.
- 12 RECESSED MAILBOXES.
- 13 WALL MOUNTED BIKE RACK. 4 BIKES PER RACK.



**01 SECOND FLOOR PLAN**  
1/8" = 1'-0"

REV	ISSUE	DATE
1	City Submittal	2021-09-03

SECOND FLOOR PLAN

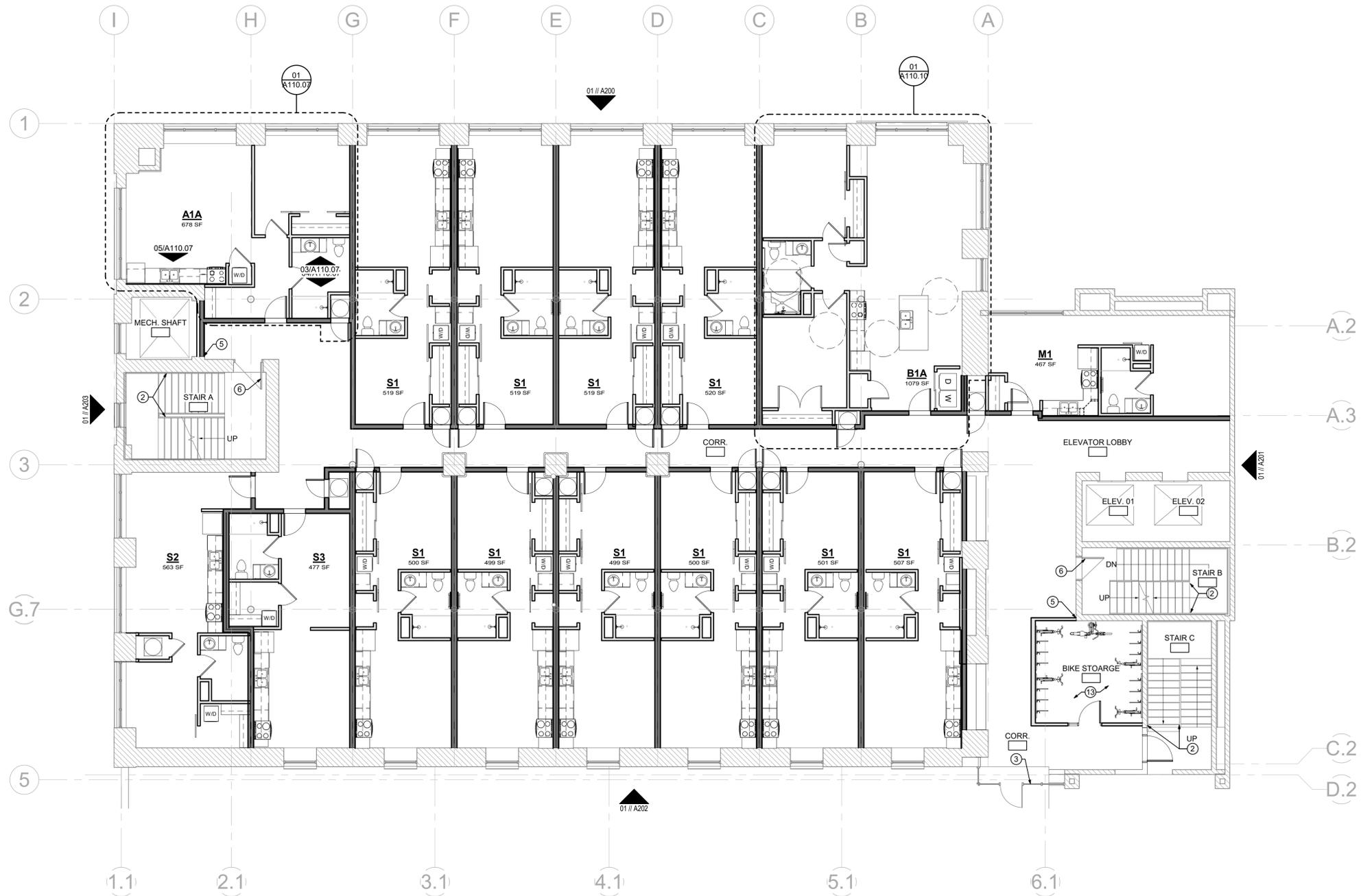
**A101**

**GENERAL NOTES-FLOOR PLAN**

- A. ALL DIMENSIONS TO EXISTING ITEMS ARE +/-
- B. ALL WALLS TO BE P1 WALL TYPE UNLESS TAGGED OTHERWISE.
- C. ALL NEW WINDOWS ARE TO BE CENTERED UNLESS DIMENSIONED OTHERWISE.
- D. PROVIDE CONDUIT AND PULL STRING FOR IT/AV/SECURITY WORK AS REQUIRED.
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- 11 EXISTING SKYLIGHT OVERHEAD.
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- 13 WALL MOUNTED BIKE RACK. 4 BIKES PER RACK.



**01** | **THIRD FLOOR PLAN**  
1/8" = 1'-0"



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	City Submittal	2021-09-03

THIRD FLOOR  
PLAN

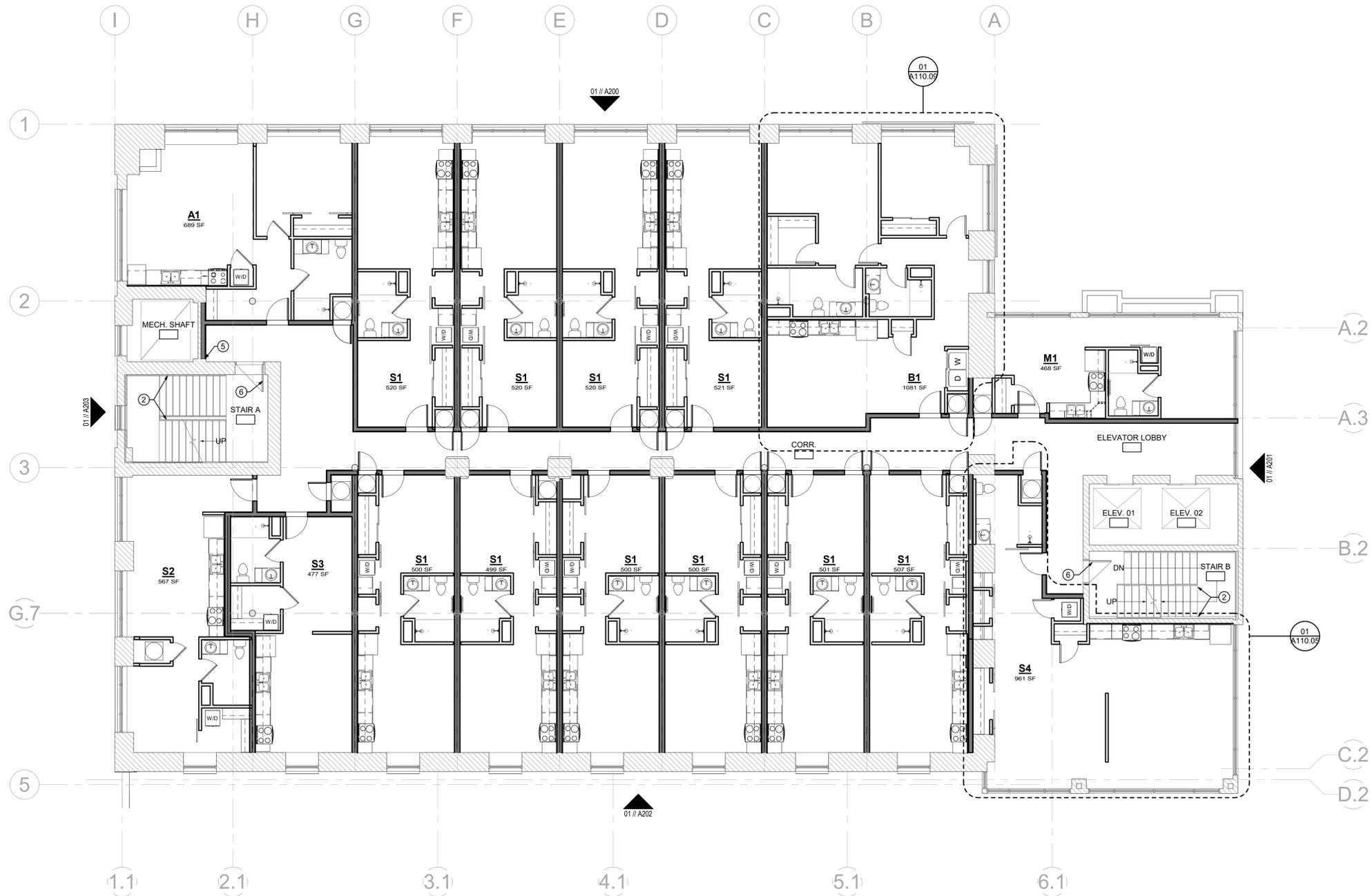
**A102**

**GENERAL NOTES-FLOOR PLAN**

- A. ALL DIMENSIONS TO EXISTING ITEMS ARE +/-
- B. ALL WALLS TO BE P1 WALL TYPE UNLESS TAGGED OTHERWISE.
- C. ALL NEW WINDOWS ARE TO BE CENTERED UNLESS DIMENSIONED OTHERWISE.
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**01 | 4TH - 6TH TYPICAL FLOOR PLAN**  
1/8" = 1'-0"



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	City Submittal	2021-09-03

TYPICAL FLOOR PLAN (FLOORS 4-6)

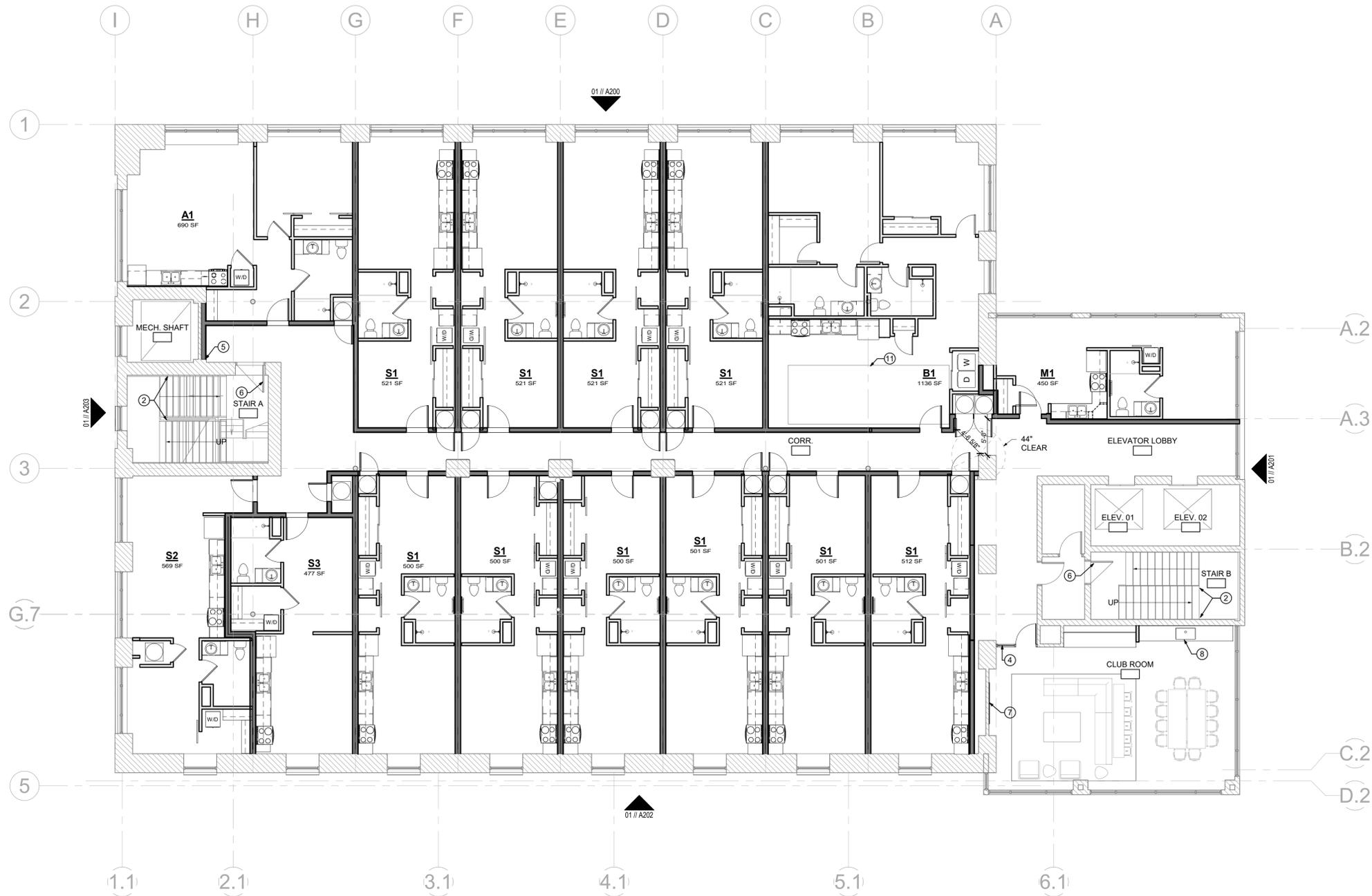
**A103**

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**01 SEVENTH FLOOR PLAN**  
1/8" = 1'-0"

Fashionbilt - UR Development Plan ( Existing Building)

423 W. 8TH STREET  
KANSAS CITY, MO 64105

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	City Submittal	2021-09-03

SEVENTH FLOOR  
PLAN

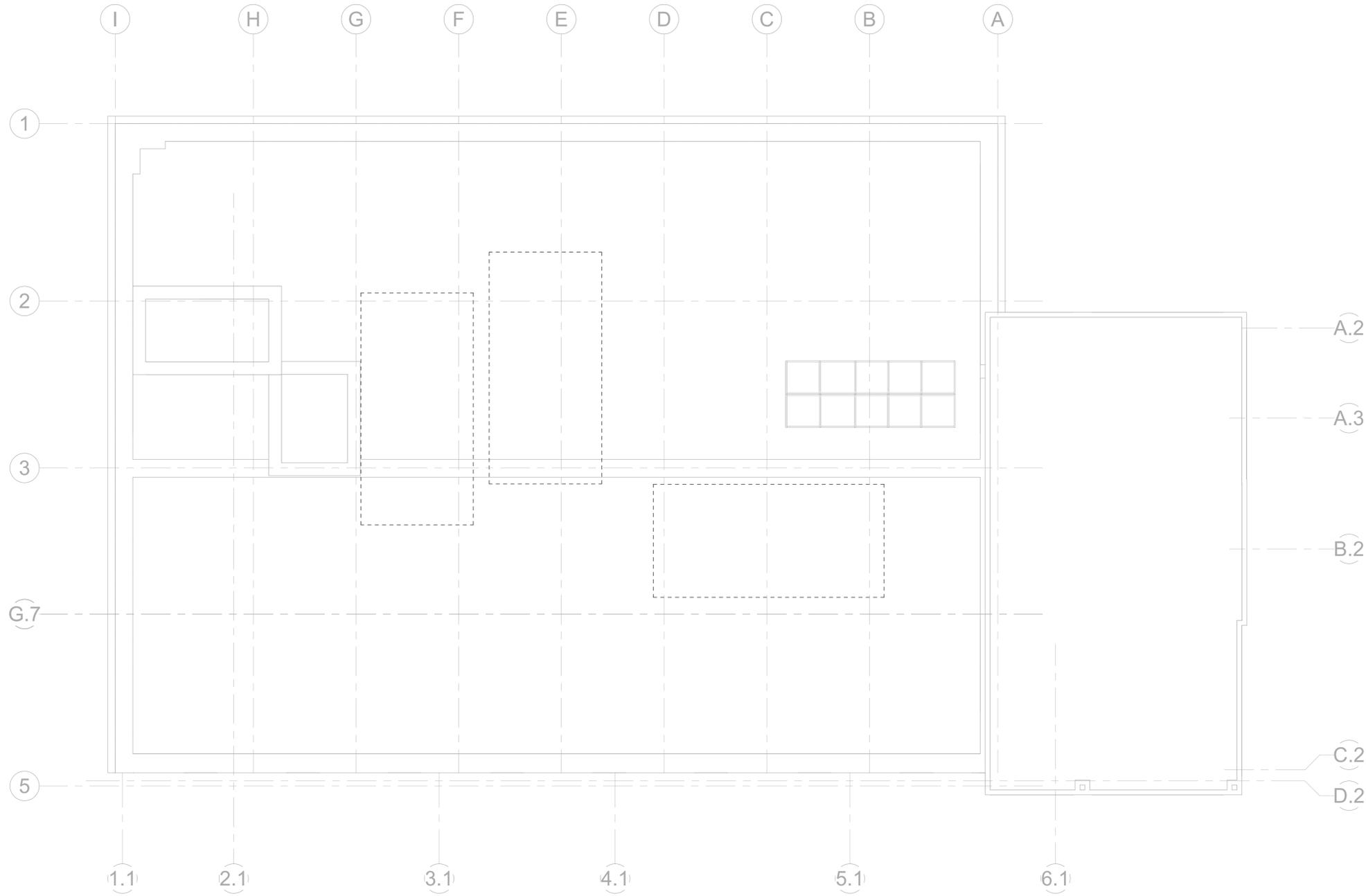
**A104**

**GENERAL NOTES-ROOF PLAN**

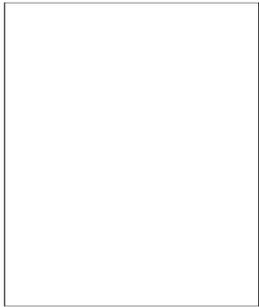
- A. PROVIDE BOOTS AT ALL RTU'S AND SLEEVES AT ALL ROOF PENETRATIONS. INSTALL PER MANUFACTURERS INSTALLATION INSTRUCTIONS.
- B. COORDINATE RTU CURB AND REINFORCEMENT WITH STRUCTURAL
- C. PROVIDE CRICKET (ISO OR EPS) AT HIGH SIDE OF ALL RTU'S.
- D. PROVIDE MINIMUM INSULATION VALUES FOR CLIMATE ZONE PER GENERAL INFORMATION / CODE REVIEW.
- E. AT PARAPET WALL CAP, PROVIDE BRONZE ANODIZED ALUMINUM BRAKE METAL WALL CAP WITH CONTINUOUS CLEAT ON BOTH SIDES, RE: SMACNA ARCHITECTURAL SHEET METAL MANUAL 2003 FIGURE3-4A. SEALANT BOTH SIDES.
- F. WHERE DISSIMILAR METALS WILL CONTACT EACH OTHER OR CORROSIVE SUBSTRATES, PROTECT AGAINST GALVANIC REACTION BY COATING CONTACT SURFACES WITH BITUMINOUS COATING OR BY OTHER PERMANENT SEPARATION AS RECOMMENDED BY FABRICATOR OR MANUFACTURER OF DISSIMILAR METALS.
- G. WHERE INSTALLING METAL FLASHING DIRECTLY ON CEMENTITIOUS OR WOOD SUBSTRATES, INSTALL A COURSE OF FELT UNDERLAYMENT AND COVER WITH A SLIP SHEET OR INSTALL A POLYETHYLENE UNDERLAYMENT.
- H. INSTALL SHEET METAL TRIM WITHOUT OIL CANNING, BUCKLING AND TOOL MARKS.
- I. INSTALL SHEET METAL FLASHING AND TRIM TRUE TO LINE AND LEVELS INDICATED. PROVIDE UNIFORM, NEAT SEAMS WITH MINIMUM EXPOSURE OF SOLDER, WELDS AND ELASTOMERIC SEALANT.
- J. INSTALL SHEET METAL FLASHING AND TRIM TO FIT SUBSTRATES AND TO RESULT IN WATERTIGHT PERFORMANCE. VERIFY SHAPES AND DIMENSIONS OF SURFACES TO BE COVERED BEFORE FABRICATING SHEET

**ROOF PLAN KEYNOTES**

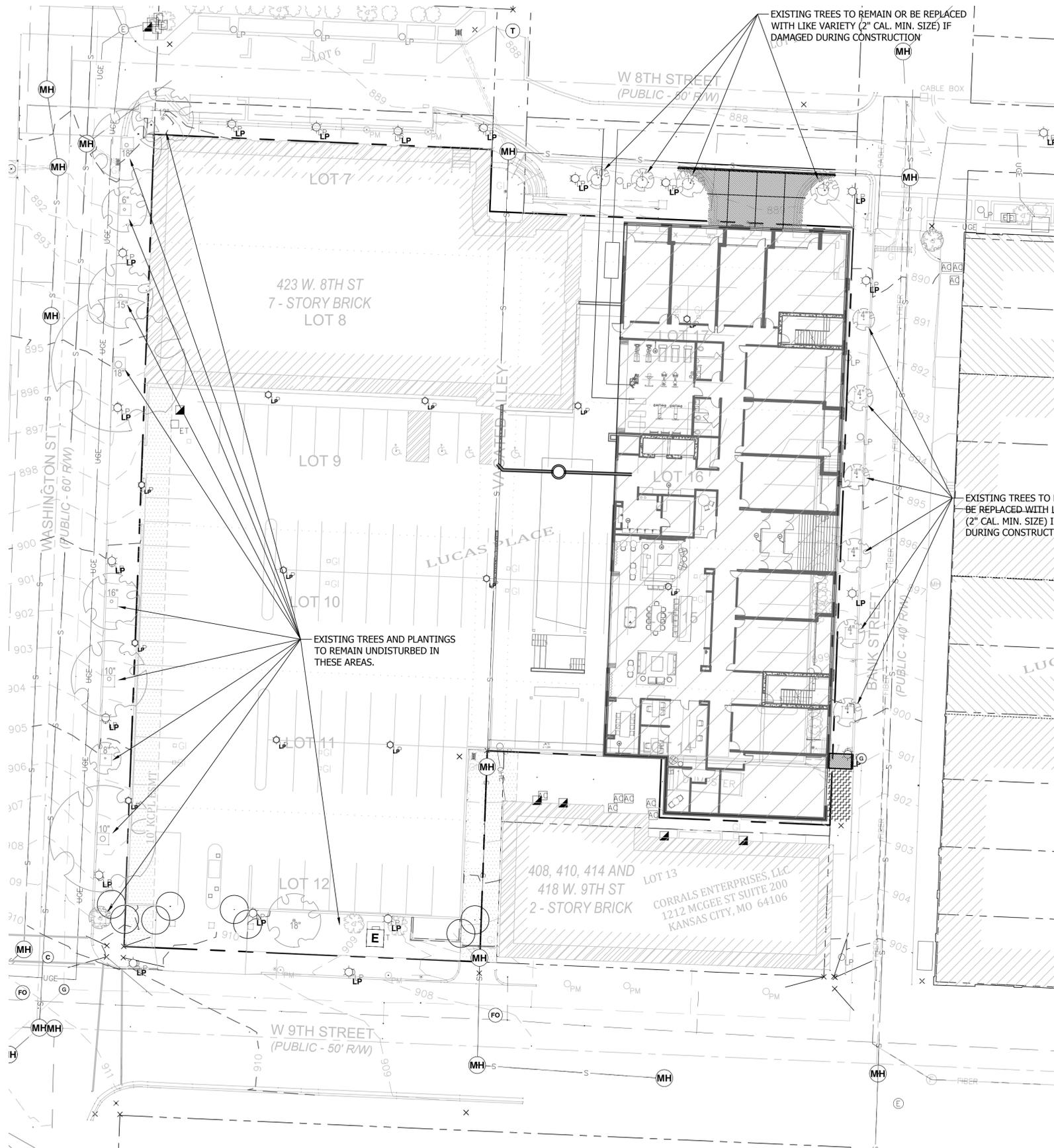
- Text
- 1 ROOF PLAN TEXT



**01** | ROOF PLAN  
1/8" = 1'-0"



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	City Submittal	2021-09-03



EXISTING TREES TO REMAIN OR BE REPLACED WITH LIKE VARIETY (2" CAL. MIN. SIZE) IF DAMAGED DURING CONSTRUCTION

EXISTING TREES TO REMAIN OR BE REPLACED WITH LIKE VARIETY (2" CAL. MIN. SIZE) IF DAMAGED DURING CONSTRUCTION

EXISTING TREES AND PLANTINGS TO REMAIN UNDISTURBED IN THESE AREAS.

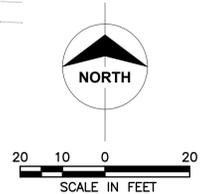
**LANDSCAPE CALCULATIONS:**

88-425-03 - STREET TREES  
C. STREET TREES - ONE 2" CALIPER TREE PER 30 LF OF FRONTAGE  
NORTH (W. 8TH ST.) 88.48 LF / 30 = 3 TREES REQ'D (4 EXISTING)  
EAST (BANK ST.) 209.49 LF / 30 = 7 TREES REQ'D (6 EXISTING)

**LANDSCAPE PLAN NOTES:**

- Existing underground (u/g), overhead (o.h.) utilities and drainage structures have been plotted from available information and therefore, their locations must be considered approximate only. It is the responsibility of the contractor to verify existence and location of all utilities before starting any work.
- No substitutions for variety or cultivars shall be accepted without first obtaining written approval from Owner's Representative.
- All plant material shall be of excellent quality, free of disease and infestation, and true to type, variety, size specified, and form per American Nursery Association Standards (z60.1).
- Contractor shall thoroughly water in each plant immediately following installation.
- Proposed trees shall not be placed over existing or proposed utility service lines. It is the contractor's responsibility to understand utility locations and have them marked during tree planting operations. If utility is damaged during planting, contractor is responsible for notifying the general contractor and owner of utility and paying for repair of the damaged utility.
- Plant materials which exhibit evidence of insect pests, disease and/or damage must be appropriately treated. Dead plants must be promptly removed and replaced.

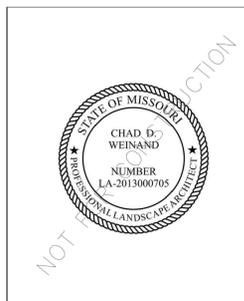
1 LANDSCAPE & STREET TREE PLAN  
1" = 20'



**Chad D. Weinand, PLA, ASLA**  
Landscape Architecture  
15173 W. 157th Terrace, Olathe, Kansas 66062  
913.484.3738 - cweinand74@gmail.com  
Copyright 2021

Fashionbilt - UR Development Plan

423 W. 8TH STREET  
KANSAS CITY, MO, 64105



REV	ISSUE	DATE
	City Submittal	2021 09 03



## Public Meeting Notice

Please join Garrison Hassenflu

for a meeting about a new apartment development

case number CD-CPC-2021-00164

proposed for the following address: **423 W. 8th Street**

**Kansas City, MO 64105**

**Meeting Date:** 9/13/2021

**Meeting Time:** 6 pm

**Meeting Location:** Via Google Meets at [meet.google.com/rtt-dhfw-arz](https://meet.google.com/rtt-dhfw-arz)

**Project Description:**

Renovation of an existing building consisting of consisting of 98 units and construction of a new building consisting of 124 units and amenities for each building.

If you have any questions, please contact:

Name: **Garrison Hassenflu**

Phone: **816-474-4775**

Email: [ghassenflu@garrisoncompanies.com](mailto:gassenflu@garrisoncompanies.com)

You are receiving this notice in accordance with city code that requires a public meeting with neighborhoods for certain types of development projects. You can read more about the process requirements at [kcmo.gov/publicengagement](https://kcmo.gov/publicengagement)



If you would like further information on this proposed project, please visit the city's planning and permitting system, Compass KC, at [Compasskc.kcmo.org](https://Compasskc.kcmo.org). You may search by project type and address/case number to find project details.

Sincerely,

Toby Williams, Director of Engineering, Powell CWM



**Planning & Development Committee  
Letter of Support - September 14, 2021**

**PROJECT** Fashionbilt Office Building, 423 W. 8th St.  
**ATTENDEES** Gary Hassenflu, Garrison Co  
Zach Stoltenberg, Clockwork AD

- |                    |  |
|--------------------|--|
| Derek Hoetmer, DNA | <a href="mailto:dahoetmer@gmail.com">dahoetmer@gmail.com</a>                                 |
| Majid Amirahmadi   | <a href="mailto:majid@i-a-a.com">majid@i-a-a.com</a>   |
| John Colgan        |  |
| Heidi Schumacher   | <a href="mailto:Heidi.schumacher@whiting-turner.com">Heidi.schumacher@whiting-turner.com</a> |
| David Leader       | <a href="mailto:dleader@edckc.com">dleader@edckc.com</a>                                     |
| Kathleen Pointer   | <a href="mailto:kpointer@kcpublicschools.org">kpointer@kcpublicschools.org</a>               |
| Caleb Johnson      |  |
| Kay Karash         | <a href="mailto:kay.karash@gmail.com">kay.karash@gmail.com</a>                               |
| Ben Turner         |  |

**DATE** September 13, 2021, 6:00 - 7:00 pm  
**LOCATION** Virtual via Google Meet

**RE: 423 W. 8TH ST. REDEVELOPMENT PROJECT PROPOSAL**

To Whom It May Concern,

On behalf of the board of the Downtown Neighborhood Association (DNA) and the downtown residents we represent, we support the Garrison Co. proposal to redevelop 423 W. 8th St. redevelopment proposal

The DNA represents residents in the CBD and River Market areas in Kansas City. We have a history of supporting dense, walkable infill development and appreciated the opportunity to engage with Garrison Co. The meeting included an informal presentation from the development team followed by an open forum where residents could submit their questions and comments.

Below is a summary of those comments:

- **8th St Activation:** The DNA asked about the relocated curbcut at 8th St. into the parking structure, requesting it be relocated to Bank St. The development team noted that this would require a parking ramp into the lower parking deck and would be cost prohibitive.
  - Groundfloor leasing space at 8th St. will either be residential or commercial depending on market demand. The development team suggested this could be leased as office space or lifestyle services such as a small bodega or dog grooming tenant.

- **Parking Structure Flexibility:** The DNA requests that a portion of the remaining parking structure be accessible to the public and available to non-tenants. The development team confirmed this request and relayed that EV charging stations would also be available. The net difference between existing and proposed off-street parking stalls is approximately (-)100 spaces.
  - The DNA asked if the remaining parking structure could be developed into housing or commercial space in the future. The development team confirmed that it could, but it is not intended and would need to remain for 10 years, at minimum. Solar voltaic panels are currently being studied at the top level of the parking garage to provide energy for common spaces.
  - Additional note: The DNA requests that the development team studies implementing mobility-as-service options within the parking structure, such as ZipCar, ebike & scooter parking.

We encourage the City of KCMO to consider the public feedback within this letter for the project and greatly appreciate this opportunity to engage with you.

Respectfully,

Derek Hoetmer  
DNA Vice President  
for Planning and Development