



CITY PLAN COMMISSION STAFF REPORT

City of Kansas City, Missouri
City Planning & Development Department
www.kcmo.gov/cpc

August 2, 2022

Project Name

AT&T Building Residential Repurposing

Docket 10 CD-CPC-2022-00089

Request

Development Plan

Applicant

Mike Dinkins
Clockwork Architecture
423 Delaware St Unit:102
Kansas City, MO 64105

Owner

Well Tbc Kansas City Jv, LLC
The Ernstein Companies
3299 K St NW Ste 700
Washington, DC 20007

Location 500 E 8th St
Area About 1.3 acres
Zoning DC-15
Council District 4th
County Jackson
School District KCMO 110

Surrounding Land Uses

North: Parking Lot, zoned DC-15
South: Public/Civic and Religious Uses, zoned DC-15
East: Residential Uses, zoned DC-15
West: Park Use, zoned DC-15

Major Street Plan

Admiral Blvd is identified on the City's Major Street Plan as an Established Boulevard. E 8th, Locust, and Cherry Street are not identified on the City's Major Street Plan.

Land Use Plan

The Greater Downtown Area Plan recommends Downtown Core Use for this location.

APPROVAL PROCESS**PROJECT TIMELINE**

The application for the subject request was filed on 5/25/22. One scheduling deviation from 2022 Cycle M occurred.

- While the applicants' submittal date would have allowed their case to be heard on July 19th, the initial Quality Control Review was not approved, causing them to be pushed to Cycle O.

NEIGHBORHOOD AND CIVIC ORGANIZATIONS NOTIFIED

The Downtown Neighborhood Association is tied to the subject site.

REQUIRED PUBLIC ENGAGEMENT

Public engagement as required by 88-505-12 does apply to this request. The applicant hosted a meeting on June 22, 2022. A summary of the meeting is attached to the staff report, see Attachment #3.

EXISTING CONDITIONS

The existing structure is a vacated former office building for AT&T, surrounded by a park (West), a parking lot (North), a multi-unit residential building (East), a religious building, and an insurance office (South).

SUMMARY OF REQUEST + KEY POINTS

The applicant is seeking approval of a development plan for the redevelopment of former offices to 263 residential units with underground parking. The former AT&T Office Building is surrounded by Admiral Blvd, E 8th Street, Cherry Street, and Locust Street, to the North, South, East, and West respectively.

RELATED CASES

CD-CPC-2019-00146 - A request to approve a general development plan and blight study for a PIEA request on about 24 acres on the east side of downtown.

PROFESSIONAL STAFF RECOMMENDATION

Docket # Approved, Subject to Conditions

PLAN REVIEW

The applicant is seeking approval of a development plan for the redevelopment of former offices to 263 residential units with underground parking. The former AT&T Office Building is surrounded by Admiral Blvd, E 8th Street, Cherry Street, and Locust Street, to the North, South, East, and West respectively. The applicant will maintain the integrity of the exterior building – including structure, lighting, and landscaping while focusing redevelopment on the interior to convert former offices into various residential units. The applicant has provided plans that highlight a mixture of Studio, 1-bedroom, and 2-bedroom apartment units. There will be well over the required number of parking spaces provided in their underground parking structure, and the subject site is within the Street Car Transportation Zone. The developer will maintain the existing exterior without any alterations or additions, though they will make esthetic improvements including cleaning and fresh paint.

PLAN ANALYSIS

Standards	Applicability	Meets	More Information
Lot and Building Standards (88-130-05)	Yes	Yes	This is a pre-existing building. The applicant does not intend to make any exterior changes to the architecture.
Accessory or Use- Specific Standards (88-305 – 385)	N/A	N/A	N/A
Boulevard and Parkway Standards (88-323)	Yes	Yes	This is a pre-existing building. There are entrances off the boulevard and parking is provided beneath the structure.
Parkland Dedication (88-408)	Yes	Yes	The developer will pay cash-in-lieu of dedication prior to the certificate of occupancy.
Parking and Loading Standards (88-420)	Yes	Yes	The developer exceeds the number of parking spaces provided.
Landscape and Screening Standards (88-425)	N/A	N/A	Administrative Adjustments have been granted to allow for the use of existing landscaping.
Outdoor Lighting Standards (88-430)	Unknown	Unknown	A Lighting Plan was not provided, and the developer has been conditioned to comply with standards outlined in 88-430 of the Code.
Sign Standards (88-445)	Yes	Unknown	Any signage proposed by the developer shall comply with section 88-445 of the Code.
Pedestrian Standards (88-450)	Yes	Yes	The existing pedestrian access satisfies the pedestrian standard requirements.

SPECIFIC REVIEW CRITERIA**Development Plans, Project Plan, or Site Plan (88-516-05)**

In order to be approved, a development plan, project plan, or site plan must comply with all of the following criteria:

- A.** The plan must comply with all standards of the Zoning and Development Code and all other applicable city ordinances and policies;
The plan complies with the Code and the applicant has received administrative adjustments and deviations for portions of the plan that may not; NM
- B.** The proposed use must be allowed in the district in which it is located;
Household Living by way of an "In-single Use Residential" Structure is allowed in this district by-right; NM
- C.** Vehicular ingress and egress to and from the site, and circulation within the site must provide for safe, efficient, and convenient movement of traffic not only within the site but on adjacent roadways;
The applicant will have to comply with the proper building code regulations for the underground parking structure, however, the provided plans showing the use of the existing vehicular use areas meet code requirements; NM
- D.** The plan must provide for safe, efficient, and convenient non-motorized travel opportunities, being pedestrian and bicycle movement, on the subject site;
While the site is street bound, it has improved sidewalks on all sides of the site. The developer is also required to provide 26 short-term bike parking spaces, at a minimum NM
- E.** The plan must provide for adequate utilities based on City standards for the particular development proposed.
The developer will maintain existing utilities and update utilities that do not meet the needs of the proposed use; NM
- F.** The location, orientation, and architectural features, including design and material, of buildings and other structures on the site must be designed to be compatible with adjacent properties.
The developer will maintain the existing exterior as it is today; NM
- G.** Landscaping, berms, fences, and/or walls must be provided to buffer the site from undesirable views, noises, lighting, or other off-site negative influences and to buffer adjacent properties from negative influences that may be created by the plan.
The developer will use the existing landscaping and lighting on the site, with the exception of updated LED bulbs to save on energy costs; NM
- H.** The design of streets, drives, and parking areas within the project should result in a minimum of area devoted to asphalt or other impervious surfaces consistent with the needs of the project and city code requirements.
The developer will use the existing structures on the site and will not increase the impervious surface area; NM
- I.** The plan must identify trees to be removed and trees to be preserved during the development of the subject property with the goal of saving trees that are not required to be removed for the development of the property.
The developer will maintain or replace existing landscaping on the site; NM

ATTACHMENTS

1. Conditions Report
2. Applicants Submittal
3. Public Engagement Materials

PROFESSIONAL STAFF RECOMMENDATION

City staff recommends **APPROVAL, SUBJECT TO CONDITIONS** as stated in the conditions report.

Respectfully Submitted,

A handwritten signature in black ink, appearing to read 'Najma Muhammad', written in a cursive style.

Najma Muhammad



Plan Conditions

Report Date: July 27, 2022

Case Number: CD-CPC-2022-00089

Project: AT&T Building Residential Repurposing

Condition(s) by City Planning and Development Department. Contact Brad Wolf at (816) 513-2901 / Bradley.Wolf@kcmo.org with questions.

1. The building is using the Historic Rehabilitation Tax credit program as part of the redevelopment. The rehabilitate will comply with the Secretary of the Interior's Standards for Rehabilitation.

Condition(s) by City Planning and Development Department. Contact Najma Muhammad at (816) 513-8814 / Najma.Muhammad@kcmo.org with questions.

2. Any signage proposed by the developer shall comply with section 88-445 of the Zoning and Development Code.
3. The developer shall update the paint on the existing penthouse mechanical utility screening.
4. Administrative adjustments for alternative compliance are approved pursuant to 88-425 of the Zoning and Development Code to allow the current landscaping on the site (19 existing trees) to satisfy landscaping requirements and will be maintained or replaced on the subject site.
5. The developer shall make sure exterior lighting complies with standards outlined in section 88-430 of the Zoning and Development Code.

Condition(s) by Fire Department. Contact Michael Schroeder at (816) 513-4604 / michael.schroeder@kcmo.org with questions.

6. The developer shall demonstrate compliance with fire flow requirements as set forth in Appendix B of the International Fire Code 2018 prior to issuance of the building permit. (IFC-2018 § 507.1)
7. Buildings equipped with a fire standpipe system shall have an operable fire hydrant within 100 feet of the Fire Department Connection (FDC). (IFC2018 § 507.5.1.1)
8. Fire hydrant distribution shall follow IFC-2018 Table C102.1. Fire hydrants shall be installed and operable prior to the arrival of any combustible building materials onto the site. (IFC-2018 § 501.4 and 3312.1; NFPA -2013 § 8.7.2)
9. Buildings which have an occupiable floor greater than 75 feet above grade shall meet high-rise requirements.
10. New buildings shall have approved radio coverage for emergency responders within the building based on the existing coverage levels of the public safety communication systems utilized by the jurisdiction, measured at the exterior of the building. This section shall not require improvement of the existing public safety communication systems. (IFC 2018 510.1) and (NFPA1221)

Condition(s) by Parks & Recreation. Contact Justin Peterson at (816) 513-7599 / Justin.Peterson@kcmo.org with questions.

11. The developer is responsible for dedication of parkland, private open space in lieu of parkland, or payment of cash-in-lieu of either form of dedication, or any combination thereof in accordance with 88-408. Should the developer choose to pay cash-in-lieu of dedicating all or a portion of the required area, the amount due shall be based upon the (2022) acquisition rate of (\$64,220.18) per acre. This requirement shall be satisfied prior to certificate of occupancy. At 263 units the fee will equate to \$202,678.88.

Condition(s) by Water Services Department. Contact Heather Massey at (816) 513-2111 / heather.massey@kcmo.org with questions.

12. No water service line will be less than 1-1/2" in diameter where three or more units or Commercial building will be served by one domestic service line and meter.
13. When an existing building is being renovated, is being changed in use or occupancy, or is undergoing a building addition, and the existing water service line(s) will be reused, the water service line(s) and related appurtenances shall meet the most current version of KC Water Rules and Regulations.

Condition(s) by Water Services Department. Contact Heather Massey at (816) 513-2111 / heather.massey@kcmo.org with questions.

14. The developer shall perform a water flow test to ensure there is adequate water pressure to serve the development prior to the issuance of the building permit.

South of River contact – Sean Allen - 816-513-0318

North of River contact - Todd Hawes – 816-513-0296

15. The developer shall demonstrate that water and fire service lines meet current Water Services Department Rules and Regulations. Prior to Certificate of Occupancy.

<https://www.kcwater.us/wp-content/uploads/2022/05/2022-Rules-and-Regulations-for-Water-Service-Lines-Final.pdf>

AT&T BUILDING MULTIFAMILY

GENERAL NOTES

- GENERAL CONTRACTOR AND ALL OTHER CONTRACTORS WORKING ON THIS CONSTRUCTION PROJECT SHALL MEET ALL APPLICABLE CODE REQUIREMENTS. ALL CONSTRUCTION AND MATERIALS SHALL COMPLY WITH ANY AND ALL APPLICABLE CODES, REGULATIONS, DIRECTIVES AND LAWS. CONTRACTOR SHALL BE KNOWLEDGEABLE OF ALL CITY REGULATIONS AND CODE ISSUES AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT UPON DISCOVERY OF ANY DISCREPANCIES ON THE DOCUMENTS OR CONDITIONS OF THE PROJECT SITE.
- SUBSTANTIAL COMPLETION SHALL BE ESTABLISHED ON DELIVERY OF OCCUPANCY PERMIT. FINAL COMPLETION SHALL BE DEEMED COMPLETED WHEN ALL PUNCH LIST ITEMS ARE COMPLETED AND APPROVED. ALL SUPPORT EQUIPMENT INSTALLED AND COMPLETE. OWNER WILL DETERMINE FINAL COMPLETION.
- THE RESPONSIBILITIES CONCERNING THE PREPARATION AND REVIEW OF THE APPLICATION FOR PAYMENT AND PAYMENT SCHEDULE SHALL BE ADDRESSED IN THE AGREEMENTS BETWEEN THE OWNER, ARCHITECT, AND CONTRACTOR.
- THE ARCHITECT WILL BE AVAILABLE TO THE OWNER AND CONTRACTOR DURING CONSTRUCTION. THE ARCHITECT WILL ASSIST THE OWNER AND/OR CONTRACTOR IN OBTAINING A BUILDING PERMIT.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE CONSTRUCTION PROCESS, MATERIAL VERIFICATION, AND WORKER SAFETY.
- THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR DETAILS AND ACCURACY, FOR CONFIRMING AND CORRELATING ALL QUANTITIES AND DIMENSIONS, AND FOR TECHNIQUES OF ASSEMBLY.
- ALL CUTTING AND PATCHING SHALL BE PERFORMED IN A NEAT AND WORKMAN LIKE MANNER. ANY EXISTING FINISHES DISTURBED OR DAMAGED BY THE CONTRACTOR OR TRADES UNDER CONTRACT DURING THE COURSE OF THE WORK SHALL BE REPAIRED TO MATCH EXISTING.
- NO SUBSTITUTES OF SPECIFIED CONSTRUCTION ITEMS, EQUIPMENT AND FINISHES WILL BE ALLOWED WITHOUT WRITTEN APPROVAL FROM THE OWNER AND ARCHITECT.
- ALL BIDDING CONTRACTOR(S) SHALL VISIT THE SITE OF THE PROPOSED WORK AND FULLY ACQUAINT THEMSELVES WITH THE EXISTING CONDITIONS OF THE PROJECT SITE, AS THEY CURRENTLY EXIST, SO THEY MAY FULLY UNDERSTAND THE FACILITIES, DIFFICULTIES AND RESTRICTIONS PRIOR TO SUBMITTING ANY BIDS.
- THE CONTRACTOR SHALL PROVIDE THE OWNER WITH SCHEDULING INFORMATION PRIOR TO CONSTRUCTION, WHICH WILL BE UPDATED IF THERE ARE ANY CHANGES.
- ALL REQUIRED COMMUNICATION SHALL BE THROUGH THE ARCHITECT AND OWNER.
- DO NOT SCALE DRAWINGS. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOBSITE. INFORMATION CONTAINED IN THESE DRAWINGS IS GENERAL AND NOT BASED ON EXISTING DOCUMENTS AND FIELD MEASUREMENTS. THE INFORMATION CONTAINED HEREIN MAY REQUIRE ADJUSTMENTS OR MODIFICATIONS TO CONFORM TO EXISTING CONDITIONS AND DESIGN INTENT OF DOCUMENTS. THE CONTRACTOR MUST NOTIFY ARCHITECT OF ANY CONFLICTS AND/OR VARIATIONS.
- CONTRACTOR SHALL FURNISH ALL ITEMS SHOWN ON THE DRAWINGS UNLESS SPECIFICALLY NOTED OTHERWISE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING FLOOR FINISH MATERIALS TO ENSURE THAT TRANSITIONS BETWEEN FLOORING MATERIALS WILL BE SMOOTH AND IN ACCORDANCE WITH THE DRAWINGS.
- UNLESS OTHERWISE STATED, CHANGES IN FLOORING MATERIAL SHALL OCCUR AT THE CENTERLINE OF DOORS.
- ALL STUDS, CEILING FURRING AND FRAMING MEMBERS SHALL BE SO PLACED AS TO AVOID INTERFERENCE WITH LOCATIONS OF CASEWORK, RECESSED LIGHTING FIXTURES, PIPING, DUCT WORK, ETC.
- DEMOLITION WORK SHALL INCLUDE ALL EXISTING CONSTRUCTION AS INDICATED AND AS REQUIRED TO COMPLETE NEW WORK AS INDICATED ON THE DOCUMENTS AND TO THE DESIGN INTENT OF DRAWINGS, WHETHER OR NOT DEMOLITION WORK IS SPECIFICALLY INDICATED.
- ALL CONTRACTORS SHALL GUARANTEE ALL WORK EXECUTED UNDER THIS CONTRACT, BOTH AS TO MATERIAL AND WORKMANSHIP, FOR A PERIOD OF TWELVE MONTHS AFTER DATE OF SUBSTANTIAL COMPLETION. IN ADDITION, ANY DAMAGE TO ADJACENT AREAS/SURFACES CAUSED BY FAULTY MATERIALS OR WORKMANSHIP SHALL ALSO BE REPAIRED TO THE OWNER'S SATISFACTION AT NO ADDITIONAL COST.
- CONTRACTOR SHALL PROVIDE ALL PATCHING, CLEANING, AND REPAIR WORK TO EXISTING SURFACES AS REQUIRED TO ACHIEVE SMOOTH, CLEAN WALL SURFACES FOR FINISH MATERIALS. REMOVE ALL DECALS, MARKS, PAINT, DIRT, AND DISCOLORATION FROM EXISTING MATERIALS TO REMAIN.
- CONTRACTOR TO INSTALL ALL MATERIAL PER MANUFACTURERS' REQUIREMENTS, UL RATING REQUIREMENTS, SPECIFIC TRADE GUIDELINES, INDUSTRY STANDARDS, AND BUILDING CODES. ALL NEW FINISHES TO COMPLY WITH IBC CHAPTER 8.
- PROVIDE SIGNAGE MEETING ADA REQUIREMENTS AND LOCATIONS DICTATED BY THE CITY AND LOCAL CODES. DESIGN, CONTENT, AND LOCATIONS SHALL BE PROVIDED TO THE OWNER AND ARCHITECT PRIOR TO INSTALLATION.
- ALL SURFACES SCHEDULED FOR PAINT IN FOOD PREPARATION AND RESTROOM AREAS SHALL BE EPOXY TYPE PAINT FOR WASHABILITY.
- NO COMBUSTIBLE MATERIALS WILL BE ALLOWED IN RETURN AIR PLENUMS.
- INSTALL NEW OR MODIFY THE EXISTING FIRE SPRINKLER SYSTEM (IF EXISTING) AS REQUIRED TO SATISFY APPLICABLE CODES FOR NEW WORK AND EXISTING CONDITIONS COMBINED.
- THE CONTRACTOR MUST SUBMIT TO OWNER AN INSURANCE CERTIFICATE WITH MINIMUM COVERAGE OF \$1,000,000 IN GENERAL LIABILITY OR EQUAL. THIS CERTIFICATE MUST NAME THE OWNER AS ADDITIONAL INSURED.
- ALL CHANGES, DEVIATIONS, MODIFICATIONS, ADDITIONS OR DELETIONS FROM THE CONTRACT OF CONSTRUCTION OF APPROVED ARCHITECTURAL PLANS SHALL BE APPROVED BY THE OWNER AND ARCHITECT.
- ALL DIMENSIONS ARE FROM FACE OF FINISH TO FACE OF FINISH UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ALL INTERIOR SURFACES AND EXTERIOR DEBRIS SPECIFIC TO CONSTRUCTION ACTIVITIES PRIOR TO OCCUPANCY OF THE SPACES BY THE OWNER. ADDITIONAL CLEANING FOLLOWING THE RECONCILIATION OF PUNCHLIST ITEMS SHALL ALSO BE INCLUDED. FINAL CLEANUP SHALL CONSIST OF THE FOLLOWING:
 - REMOVE ALL CONSTRUCTION DEBRIS, UNUSED MATERIALS, TOOLS, ETC.
 - CLEAN, SANITIZE, AND STOCK ALL TOILET ROOMS
 - CLEAN ALL COUNTERTOPS AND TABLETOPS
 - CLEAN INTERIOR AND EXTERIOR SURFACES OF STOREFRONT GLASS AND FRAMES
 - CLEAN ALL FLOORS
 - CLEAN ALL GLASS SURFACES
 - REPLACE ALL FILTER MEDIA IN HVAC SYSTEMS

LOCATOR PLAN



SITE LOCATION:
500 E 8TH ST, KANSAS
CITY, MO 64106

GENERAL INFORMATION

SCOPE SUMMARY:
RENOVATION OF EXISTING OFFICE INTERIOR AND COVERSON OF EXISTING OFFICE INTERIOR TO MULTIFAMILY

APPLICABLE CODES
2018- INTERNATIONAL BUILDING CODE
2018- INTERNATIONAL MECHANICAL CODE
2018- UNIFORM PLUMBING CODE
2018- INTERNATIONAL FUEL GAS CODE
2018- INTERNATIONAL ENERGY CONSERVATION CODE
2017- NATIONAL ELECTRICAL CODE
2018- INTERNATIONAL FIRE CODE
2018- NFPA 101 LIFE SAFETY CODE

CHAPTER 3 USE AND OCCUPANCY CLASSIFICATION
BUSINESS, GROUP B
RESIDENTIAL, GROUP R-2

CHAPTER 5 GENERAL BUILDING HEIGHTS AND AREAS (TABLE 503)
THIS SCOPE OF WORK DOES NOT INCREASE THE AREA OF THE EXISTING BUILDING/TENANT SPACE.
TENANT RENOVATION AREA = TBD SF.

CHAPTER 6 TYPE OF CONSTRUCTION
1-A, NON-COMBUSTIBLE
FULLY SPRINKLERED

CHAPTER 9 FIRE PROTECTION SYSTEMS
FIRE EXTINGUISHERS PROVIDED IN ACCORDANCE WITH INTERNATIONAL FIRE CODE. (EXTINGUISHERS PROVIDED AND INSTALLED BY GENERAL CONTRACTOR) NFPA-10 SMOKE DETECTORS TO BE PROVIDED.

CHAPTER 10 MEANS OF EGRESS
THE EXISTING BUILDING MEETS THE REQUIREMENTS FOR MEANS OF EGRESS

OCCUPANT LOAD:
BUSINESS GROUP B (1 PER 100 GSF):
FIRST FLOOR - 23,422 GSF/100 = 235 OCC
SECOND FLOOR - 6,089 GSF/100 = 61 OCC
THIRD FLOOR - 28,809 GSF/100 = 289 OCC
RESIDENTIAL GROUP R-2 (1 PER 200 GSF):
SECOND FLOOR - 23,154 GSF/200 = 116 OCC
FOURTH - THIRTEENTH FLOORS (10 FLOORS) -
288,090 GSF/200 = 1,441 OCC

CHAPTER 11 ACCESSIBILITY
THE EXISTING BUILDING MEETS THE REQUIREMENTS FOR ACCESSIBLE ENTRIES. THE EXISTING PARKING SPACES MEET THE REQUIREMENTS FOR ACCESSIBLE PARKING.

CHAPTER 29 PLUMBING SYSTEMS
THIS SCOPE OF WORK DOES NOT INCREASE THE AREA OF THE EXISTING BUILDING AND MEETS THE REQUIREMENTS FOR PLUMBING SYSTEMS.

PROJECT TEAM

OWNER:
THE BERNSTEIN COMPANIES
3299 K STREET
WASHINGTON, DC 20007
CONTACT: PHIL AFTUCK
E: PAFTUCK@TBEO.BIZ

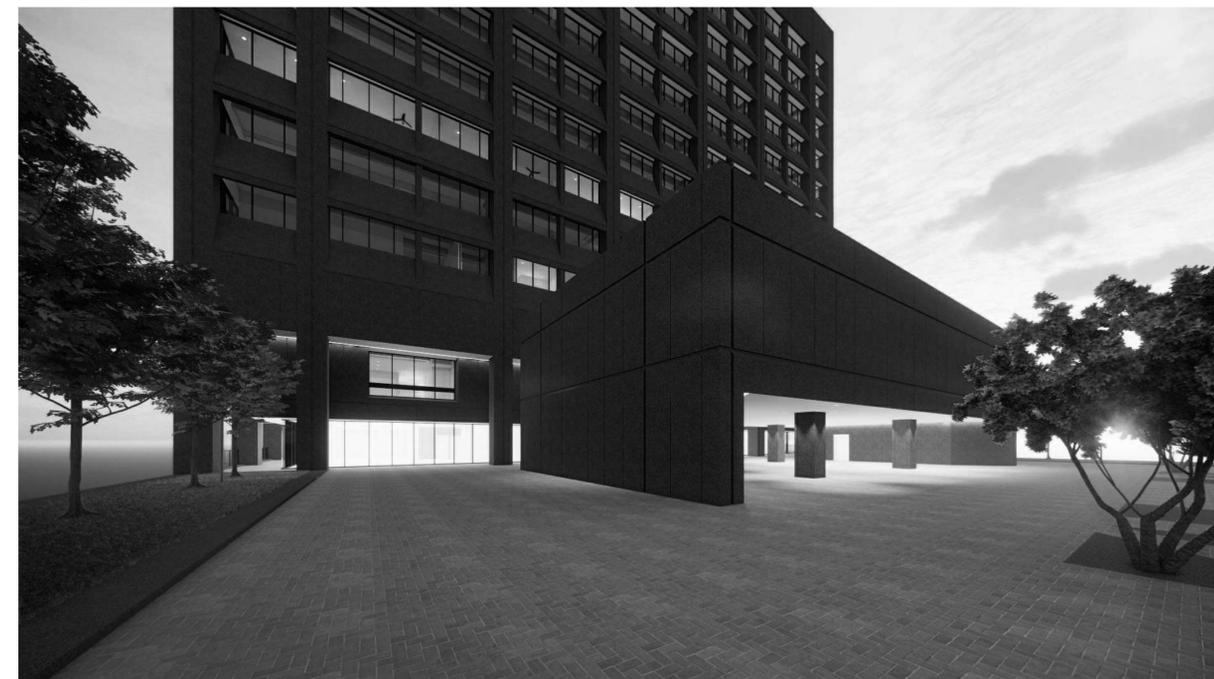
ARCHITECTURAL:
CLOCKWORK
423 DELAWARE ST. SUITE 102
KANSAS CITY, MO 64105
CONTACT: LARA SCHNEIDER
P: 816.769.2855
E: LARA@CLOCKWORK-AD.COM

HISTORIC CONSULTANT:
ROSIN PRESERVATION, LLC
1712 HOLMES
KANSAS CITY, MO 64108
CONTACT: KRISTEN MCSPARREN
P: 816.800.0472

CIVIL:
BOOK & CLARK CORPORATION
3550 W. MARKET STREET, SUITE 200
AKRON, OH 44333
800.787.8397

DRAWING SYMBOLS

WALL SECTION		CONSTRUCTION KEYNOTE	
ELEVATION MARKS (EXTERIOR // INTERIOR)		GLAZING FRAME MARK	
ELEVATION MARKS (EXTERIOR // INTERIOR)		GLAZING MARK	
REVISION MARK + CLOUD		DOOR MARK	
ROOM TAG		WINDOW MARK	
ELEVATION MARK		WALL PARTITION TYPE	
		FLOOR TRANSITION	
		EXISTING PARTITION	
		NEW PARTITION	
		DEMOLITION PARTITION	



SHEET INDEX

A000 COVER SHEET
ALTA SURVEY SHEET 1 OF 2
ALTA SURVEY SHEET 2 OF 2

ARCHITECTURAL

A001 ARCHITECTURAL SITE PLAN
A002 DEVELOPMENT PLAN TABLES
AD101 FIRST FLOOR DEMOLITION PLAN
AD101.1 FIRST FLOOR DEMOLITION PLAN - SOUTH END
AD102 SECOND FLOOR DEMOLITION PLAN
AD102.1 SECOND FLOOR DEMOLITION PLAN - SOUTH END
AD103 THIRD FLOOR DEMOLITION PLAN
AD104 FOURTH FLOOR DEMOLITION PLAN
AD105 FIFTH FLOOR DEMOLITION PLAN
AD106 SIXTH FLOOR DEMOLITION PLAN
AD107 SEVENTH FLOOR DEMOLITION PLAN
AD108 EIGHTH FLOOR DEMOLITION PLAN
AD109 NINTH FLOOR DEMOLITION PLAN
AD110 TENTH FLOOR DEMOLITION PLAN
AD111 ELEVENTH FLOOR DEMOLITION PLAN
AD112 TWELFTH FLOOR DEMOLITION PLAN
AD113 THIRTEENTH FLOOR DEMOLITION PLAN
A101 FIRST FLOOR PLAN
A101.1 FIRST FLOOR PLAN - SOUTH END
A102 SECOND FLOOR PLAN
A102.1 SECOND FLOOR PLAN - SOUTH END
A103 THIRD FLOOR PLAN
A104 TYPICAL FLOOR PLAN (FLOORS 4-12)
A105 THIRTEENTH FLOOR PLAN
A121 FIRST FLOOR RCP
A121.1 FIRST FLOOR RCP - SOUTH END
A122 SECOND FLOOR RCP
A122.1 SECOND FLOOR RCP - SOUTH END
A123 THIRD FLOOR RCP
A124 TYPICAL FLOOR RCP (FLOORS 4-12)
A125 ENLARGED RCP - 13TH FLOOR EXECUTIVE SUITE
A200 EXTERIOR ELEVATIONS
A201 EXTERIOR ELEVATIONS
A202 EXTERIOR ELEVATIONS
A203 EXTERIOR ELEVATIONS & DETAILS
A601 FIRST FLOOR FINISH PLAN
A601.1 FIRST FLOOR FINISH PLAN - SOUTH END
A602 SECOND FLOOR FINISH PLAN
A602.1 SECOND FLOOR FINISH PLAN - SOUTH END
A603 THIRD FLOOR FINISH PLAN
A604 TYPICAL FLOOR FINISH PLAN (FLOORS 4-12)
A605 ENLARGED FINISH PLAN - EXECUTIVE SUITE

AT&T BUILDING MULTIFAMILY
500 EAST 8TH ST.
KANSAS CITY, MO.

NOT FOR CONSTRUCTION

REV	ISSUE	DATE
	REVISED PART 2 SUBMISSION	2021 12 13
	KCMO PLANNING DEVELOPMENT SUBMISSION	2022 05 27

TITLE SHEET

A000

ITEMS CORRESPONDING TO SCHEDULE B-II

BASED ON SCHEDULE B PART II EXCEPTIONS OF CHICAGO TITLE INSURANCE COMPANY FOR TITLE INSURANCE TITLE COMMITMENT NO. MJ118011, BEARING A COMMITMENT DATE OF NOVEMBER 03, 2021 AT 08:00 AM.

ITEM 1 THROUGH ITEM 7: ITEMS ARE NOT SURVEY RELATED.

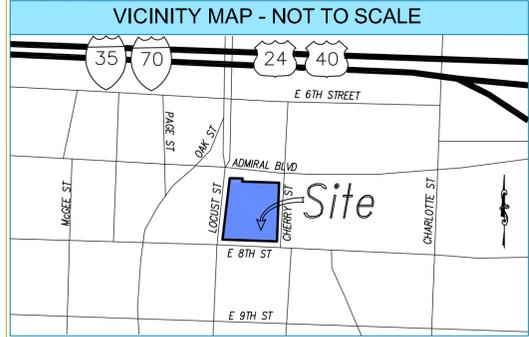
ITEM 8: SUBJECT TO THE TERMS AND RESERVATIONS AND RIGHTS ON WARRANTY DEED FILED APRIL 2, 1979 AS DOCUMENT NO. 2019E0022820; UNKNOWN, THE INSTRUMENT WAS NOT FURNISHED.

ITEM 9 THROUGH ITEM 13: ITEMS ARE NOT SURVEY RELATED.

ZONING INFORMATION

ZONING REPORT PREPARED BY BOCK & CLARK CORPORATION, AN NV5 COMPANY 7202103889 JANUARY 14, 2022

- THE CURRENT ZONING DISTRICT FOR THE SUBJECT PROPERTY IS DC-15, DOWNTOWN CORE. THE USE OF HOUSEHOLD LIVING IN MIXED-USE BUILDING AND OFFICE, ADMINISTRATIVE, PROFESSIONAL, OR GENERAL IS PERMITTED BY RIGHT IN THE DC-15 ZONING DISTRICT. NO ACTIVE ZONING, BUILDING OR FIRE CODE VIOLATIONS HAVE BEEN DISCLOSED THAT WOULD AFFECT THE SUBJECT PROPERTY. THE PROPERTY IS CONSIDERED TO BE LEGAL CONFORMING AS NOTED HEREIN.
- ADJACENT PROPERTY ZONING:
 - NORTH: DC-15; DOWNTOWN CORE
 - SOUTH: DC-15; DOWNTOWN CORE
 - EAST: DC-15; DOWNTOWN CORE
 - WEST: DC-15; DOWNTOWN CORE
- SETBACKS:
 - FRONT: NOT ABUTTING R DISTRICT: NONE
 - SIDE: NOT ABUTTING R DISTRICT: NONE
 - REAR: NOT ABUTTING R DISTRICT: NONE
- HEIGHT:
 - MAXIMUM BUILDING HEIGHT: NONE
- LOT SIZE:
 - MINIMUM LOT AREA: NONE
 - MINIMUM LOT WIDTH: NONE
 - MINIMUM LOT DEPTH: NO REQUIREMENT NOTED
- COVERAGE:
 - MAXIMUM LOT COVERAGE: NO REQUIREMENT NOTED
- FLOOR AREA RATIO:
 - MAXIMUM FLOOR AREA RATIO: 15.0
- PARKING:
 - PARKING FORMULA: NO OFF-STREET PARKING IS REQUIRED IN THE DC (DOWNTOWN CORE) ZONING DISTRICT.
 - REQUIRED SPACES: N/A
- RESOURCES - MUNICIPALITY:
 - GENEVIEVE KOHN, PLANNER (816) 513-1500
 - THOMAS F. KIEVLAN, ASSISTANT FIRE MARSHAL (816) 513-4644
- BOCK & CLARK CORPORATION, AN NV5 COMPANY - THIS REPORT WAS RESEARCHED AND PRODUCED BY SHANIA MAYABB, NV5 ZONING ANALYST (800) 787-8390 X227, Shania.Mayabb@NV5.com



LEGEND OF SYMBOLS & ABBREVIATIONS

- SURVEY MONUMENT (AS NOTED)
- 1/2" IRON BAR/CAP(LC 331)-OR NOTED OTHERWISE
- WATER METER
- WATER VALVE
- FIRE HYDRANT
- WATER MANHOLE
- FIRE VALVE
- GAS SERVICE VALVE
- GAS SERVICE METER
- OVERHEAD UTILITY POLE
- OVERHEAD LIGHT POLE
- OVERHEAD UTILITY POLE WITH LIGHT
- GUY WIRE ANCHOR
- TRAFFIC SIGNAL POST
- FLOOD LIGHT
- LANDSCAPE LAMP POST
- ELECTRIC BOX
- UNDERGROUND ELECTRIC MANHOLE
- POLE SIGN
- TELEPHONE PEDESTAL
- SEWER MANHOLE
- SPRINKLER CONTROL VALVE
- CLEAN-OUT
- ELECTRICAL TRANSFORMER
- CABLE TELEVISION PEDESTAL
- FROST FREE HYDRANT-SPIGOT
- ELECTRIC SERVICE METER
- ATT COMMUNICATION VAULT
- TRAFFIC CONTROL MANHOLE
- DRAINAGE MANHOLE
- UNDERGROUND TELEPHONE VAULT
- AREA INLET
- UTILITY SERVICE MANHOLE
- FIBER OPTIC MANHOLE
- UTILITY VAULT
- FLAG POLE
- COMMUNICATION MANHOLE
- CROSS WALK SIGN
- UNDERGROUND ELECTRIC COVER
- FIBER OPTIC COVER
- ENTRY CODE KEY PAD
- PARKING METER
- MONITORING WELL
- TEST STATION
- OVERHEAD ELECTRIC LINE
- OVERHEAD TELEPHONE LINE
- EXISTING FENCE LINE
- N NORTH
- E EAST
- S SOUTH
- W WEST
- R/W RIGHT-OF-WAY
- AC ACRES
- S.F. SQUARE FEET
- CENTERLINE
- 3 PLATTED LOT NUMBER/LETTER

MISCELLANEOUS NOTES

- SURVEY PREPARED BY WHITEHEAD CONSULTANTS, INC. (21-765) MISSOURI LICENSED CORPORATION LC 331 114 N. MAIN STREET, P.O. BOX 461 CLINTON, MO 64735 PHONE: 660-885-8311 FAX: 660-885-8447 EMAIL: mtaylor@wcieng.com WEB: www.wcieng.com
- AREA OF PROPERTY DESCRIBED: 1.29± ACRES (56,165± SQUARE FEET).
- GROSS SQUARE FOOTAGE OF BUILDINGS, AS SHOWN ON THE SURVEY, ARE BASED ON THE EXTERIOR FOOTPRINT AT GROUND LEVEL.
- BUILDING HEIGHTS ARE BASED ON THE ABOVE GROUND ELEVATION AT THE LOCATION OF THE HEIGHT SHOWN ON THE SURVEY.
- BEARINGS BASED ON THE FINAL PLAT OF THE METROPOLITAN CONDOMINIUM, AN ADDITION TO THE CITY OF KANSAS CITY, JACKSON COUNTY, MISSOURI, AS RECORDED IN PLAT BOOK 42 AT PAGE 9 - THE EAST LINE OF CHERRY STREET AS N02°15'58"E.
- ADJOINING LAND OWNER NAMES, DEED REFERENCES AND PARCEL ID NUMBER INFORMATION TAKEN FROM KANSAS CITY, MISSOURI GIS WEBSITE OR KC MAP VIEWER, AVAILABLE AT: <http://maps.kcmo.org/apps/parcelviewer/>
- THERE IS NO APPARENT OBSERVABLE EVIDENCE OF A CEMETERY OR BURIAL GROUND LOCATED ON THE SUBJECT SITE.
- DATE OF FIELD WORK: 12/18/2021.
- "500" IS POSTED ON THE EXTERIOR OF THE BUILDING.
- OFF-STREET PARKING STALLS ARE LOCATED WITHIN THE SIX ENCLOSED PARKING GARAGES LOCATED WITHIN THE SUBJECT SITE.

NOTE: THE FOLLOWING PARKING SPACES IS BASED ON "ATT PARKING GARAGE" TABLE PROVIDED BY THE CLIENT ON THE SUBJECT SITE.

A. LEVEL 1	UNRESERVED: 41 RESERVED: 23 COMPANY ASSIGNED: 42 CONTRACTOR SPACES: 0 UNRESERVED: 103
B. LEVEL 2	RESERVED: 0 COMPANY ASSIGNED: 0 CONTRACTOR SPACES: 0 UNRESERVED: 24
C. LEVEL 3	RESERVED: 14 COMPANY ASSIGNED: 19 CONTRACTOR SPACES: 4 UNRESERVED: 82 HANDICAP: 18 COMPANY ASSIGNED: 0 CONTRACTOR SPACES: 0
D. LEVEL 4	UNRESERVED: 109 VISITOR SPACES: 0 COMPANY VANS: 0 UNRESERVED: 58
E. LEVEL 5	UNRESERVED: 58 VISITOR SPACES: 34 COMPANY VANS: 4 UNRESERVED: 417 HANDICAP: 18 RESERVED: 37 COMPANY ASSIGNED: 61 COMPANY VANS: 4 CONTRACTOR SPACES: 4 VISITOR SPACES: 34 TOTAL ALL: 575 SPACES
F. LEVEL 6	
G. TOTALS	

- THE SUBJECT SITE HAS DIRECT VEHICULAR ACCESS TO ADMIRAL BOULEVARD AND CHERRY STREET, WHICH ARE PUBLIC RIGHT-OF-WAYS.
- THERE ARE NO OBSERVED PARTY WALLS LOCATED ON THE SUBJECT SITE.
- THERE IS NO APPARENT OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS ON THE SUBJECT SITE, AT THE DATE OF FIELD WORK.
- THERE IS NO APPARENT OBSERVABLE EVIDENCE OF ANY CHANGES IN STREET RIGHT-OF-WAY LINES EITHER COMPLETED OR PROPOSED, AND AVAILABLE FROM THE CONTROLLING JURISDICTION, AND NO APPARENT OBSERVABLE EVIDENCE OF ANY RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.

RECORD DESCRIPTION

THE LAND REFERRED TO IN THIS COMMITMENT IS DESCRIBED AS FOLLOWS:

A TRACT OF LAND, BEING ALL OR PARTS OF LOTS 1, 2, 3, 4, 5, 6, 20, 21, 22, 23 AND 24, BLOCK 7, RICE'S ADDITION, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF, AND THE VACATED ALLEY LYING ADJACENT TO SAID LOTS, MORE PARTICULARLY DESCRIBED AS BEGINNING AT A POINT ON THE SOUTH LINE OF ADMIRAL BOULEVARD 103 FEET EAST OF THE EAST LINE OF LOCUST STREET, RUN THENCE EAST ALONG THE SOUTH LINE OF ADMIRAL BOULEVARD A DISTANCE OF 64.13 FEET TO A POINT IN THE CENTER LINE OF THE VACATED NORTH AND SOUTH ALLEY NEXT WEST OF CHERRY STREET; THENCE SOUTH ALONG SAID CENTER LINE A DISTANCE OF 13 FEET; THENCE EAST ALONG THE SOUTH LINE OF ADMIRAL BOULEVARD AS PROJECTED WESTWARD FROM ITS INTERSECTION WITH THE WEST LINE OF CHERRY STREET A DISTANCE OF 157.12 FEET, MORE OR LESS, TO SAID POINT OF INTERSECTION IN THE WEST LINE OF CHERRY STREET; THENCE SOUTH ALONG THE WEST LINE OF CHERRY STREET, A DISTANCE OF 250 FEET, MORE OR LESS, TO THE NORTH LINE OF 8TH STREET; THENCE WEST ALONG THE NORTH LINE OF 8TH STREET, A DISTANCE OF 233.25 FEET TO A POINT LOCATED 81 FEET EAST OF THE INTERSECTION OF THE NORTH LINE OF 8TH STREET WITH THE EAST LINE OF LOCUST STREET; AND THENCE NORTHERLY ALONG A STRAIGHT LINE TO A POINT ON THE SOUTH LINE OF ADMIRAL BOULEVARD 103 FEET EAST OF THE EAST LINE OF LOCUST STREET, THE POINT OF BEGINNING.

THE LANDS SURVEYED, SHOWN AND DESCRIBED HEREON ARE THE SAME LANDS AS DESCRIBED IN THE TITLE COMMITMENT PROVIDED BY CHICAGO TITLE INSURANCE COMPANY, COMMITMENT NO. MJ118011, BEARING A COMMITMENT DATE OF NOVEMBER 03, 2021 AT 08:00 AM.

UTILITY STATEMENT

1. THE UTILITIES SHOWN HAVE BEEN LOCATED FROM OBSERVED FIELD SURVEY INFORMATION REQUIRED PURSUANT TO SECTION 5.E.IV. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES, IF SHOWN, COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES, IF SHOWN, ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

SURVEY REFERENCES

1. ALTA/ACSM LAND TITLE SURVEY BY MO PLS 200016128, BOCK & CLARK NETWORK PROJECT NO. 201500391-006, PREPARED BY WHITEHEAD CONSULTANTS, INC. IN JOB NO. 15-046, DATED 03/17/2015, LAST REVISED 03/23/2015.

FLOOD NOTE

1. BY GRAPHIC PLOTTING ONLY, THE SUBJECT SITE IS IN UNSHADED ZONE X OF THE FLOOD INSURANCE RATE MAP, COMMUNITY NO. 290173, MAP NUMBER 29095C0252G, WHICH BEAR AN EFFECTIVE DATE OF JANUARY 20, 2017 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA, AS SHOWN ON THE FEMA WEBSITE (<http://msc.fema.gov>). NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND A FLOOD ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

PROJECT REVISION RECORD

DATE	DESCRIPTION	DATE	DESCRIPTION
12/20/2021	FIRST DRAFT		
01/05/2022	NETWORK COMMENTS		
01/17/2022	NETWORK COMMENTS		
FIELD WORK: MLT	DRAFTED: JEH	CHECKED BY: MLT	FB & PG: 21-765

SIGNIFICANT OBSERVATIONS

- A PORTION OF THE CONCRETE SIDEWALK ENCROACHES OVER THE SOUTHWEST CORNER OF THE SUBJECT SITE, BY NO MORE THAN 3.9'.
- THE NORTHERLY PORTION OF THE RETAINING WALL LIES NORTH OF THE NORTH DEED LINE, BY NO MORE THAN 0.8'.
- THE NORTHERLY PORTION OF THE RETAINING WALL LIES NORTH OF THE NORTH DEED LINE, BY NO MORE THAN 0.8'.
- THE NORTHERLY PORTION OF THE RETAINING WALL LIES NORTH OF THE NORTH DEED LINE, BY NO MORE THAN 0.7'.
- THE NORTHERLY PORTION OF THE CONCRETE SIDEWALK ALONG THE NORTH SIDE OF 8TH STREET, LIES NORTH OF THE SOUTH DEED LINE, BY NO MORE THAN 0.7'.
- A PORTION OF THE BUILDING LIES WITHIN THE LIMITS OF THE 10' RESERVATION AREA EASEMENT AS RECORDED IN INSTRUMENT NO. 2019E0022820, BY NO MORE THAN 1.2'.

LEGAL

THIS SURVEY WAS PREPARED FOR THE PURPOSE OF THIS REAL ESTATE TRANSACTION ONLY AND NO FURTHER PARTIES OTHER THAN THOSE CERTIFIED ABOVE SHALL RELY ON IT FOR ANY OTHER PURPOSE OR TRANSACTION.

ALTA/NSPS LAND TITLE SURVEY

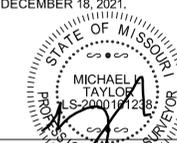
FOR
500 EAST 8TH
NV5 PROJECT NO. 202107881, 001
500 EAST 8TH STREET, KANSAS CITY, MO 64106

BASED UPON TITLE COMMITMENT NO. MJ118011
OF CHICAGO TITLE INSURANCE COMPANY
BEARING A COMMITMENT DATE OF NOVEMBER 03, 2021 AT 08:00 AM

SURVEYOR'S CERTIFICATION

TO: WELL TBC KANSAS CITY JV, LLC; WELL TBC KANSAS CITY JV HOLDCO LLC; WELLTOWER INC.; CHICAGO TITLE INSURANCE COMPANY; AND BOCK & CLARK CORPORATION, AN NV5 COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6A, 6B, 7A, 7B1, 7C, 8, 9, 10, 13, 14, 16, 17, AND 19 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON DECEMBER 18, 2021.

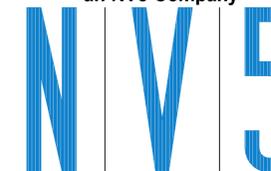


MICHAEL L. TAYLOR, SURVEYOR
REGISTRATION NO. 2000161238
IN THE STATE OF MISSOURI
DATE OF FIELD SURVEY: DECEMBER 18, 2021
DATE OF LAST REVISION: JANUARY 17, 2022
NV5 NETWORK PROJECT NO. 202107881-001-RF

12/18/2021
DATE

SHEET 1 OF 2

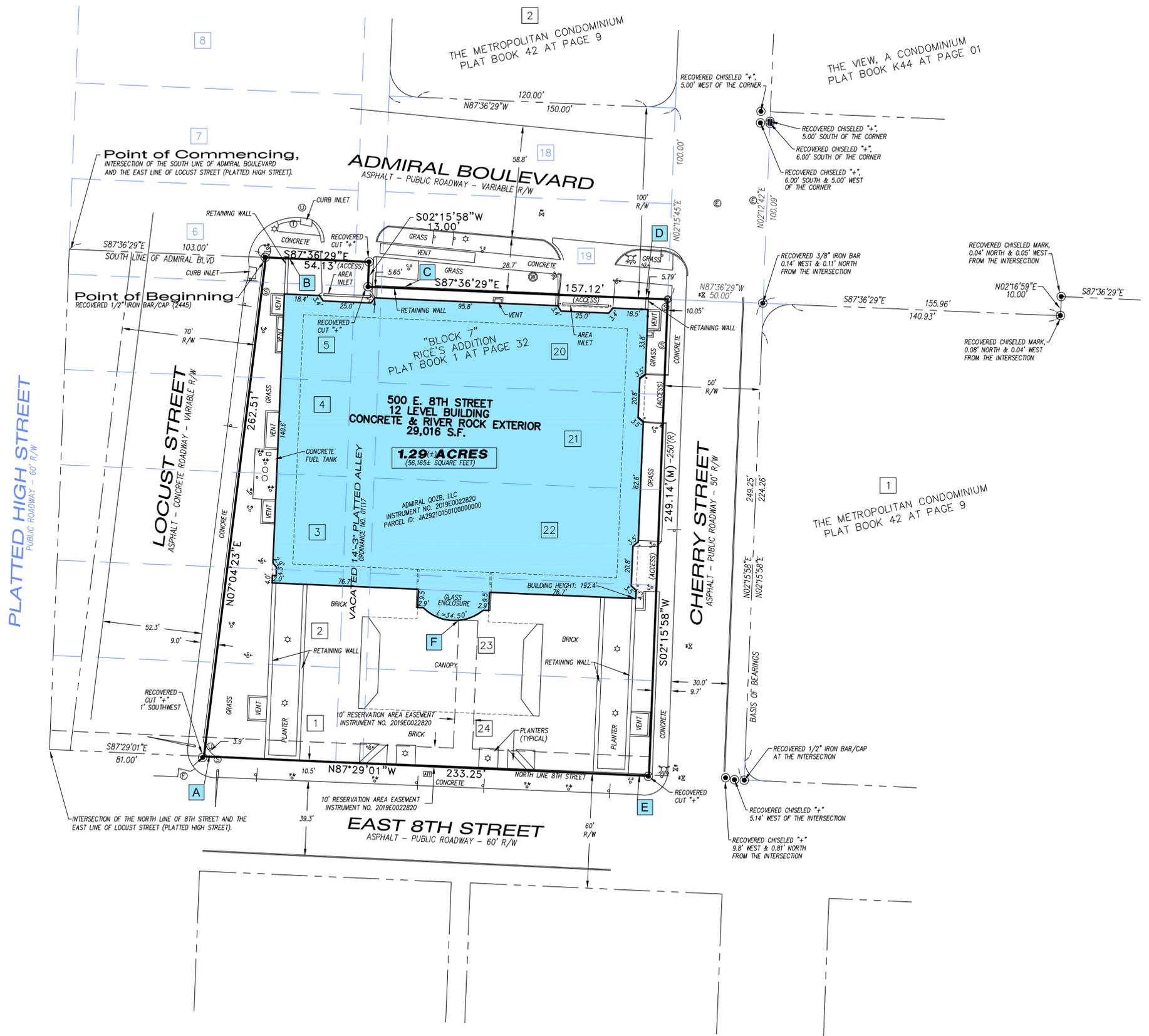
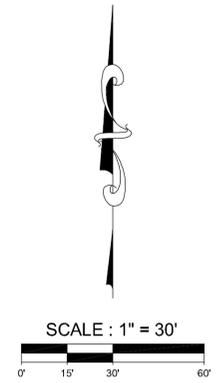
Bock & Clark Corporation
an NV5 Company



Transaction Services 1-800-SURVEYS (787-8397)
3550 W. Market Street, Suite 200, Akron, Ohio 44333
www.BockandClark.com maywehelpyou@bockandclark.com www.NV5.com

LEGEND OF SYMBOLS & ABBREVIATIONS

- SURVEY MONUMENT (AS NOTED)
- 1/2" IRON BAR/CAP(LC 331)-OR NOTED OTHERWISE
- WATER METER
- WATER VALVE
- FIRE HYDRANT
- WATER MANHOLE
- FIRE VALVE
- GAS SERVICE VALVE
- GAS SERVICE METER
- OVERHEAD UTILITY POLE
- OVERHEAD UTILITY POLE WITH LIGHT
- GUY WIRE ANCHOR
- TRAFFIC SIGNAL POST
- FLOOD LIGHT
- LANDSCAPE LAMP POST
- ELECTRIC BOX
- UNDERGROUND ELECTRIC MANHOLE
- POLE SIGN
- TELEPHONE PEDESTAL
- SEWER MANHOLE
- SPRINKLER CONTROL VALVE
- CLEAN-OUT
- ELECTRICAL TRANSFORMER
- CABLE TELEVISION PEDESTAL
- FROST FREE HYDRANT-SPIGOT
- ELECTRIC SERVICE METER
- ATT COMMUNICATION VAULT
- TRAFFIC CONTROL MANHOLE
- DRAINAGE MANHOLE
- UNDERGROUND TELEPHONE VAULT
- AREA INLET
- UTILITY SERVICE MANHOLE
- FIBER OPTIC MANHOLE
- UTILITY VAULT
- FLAG POLE
- COMMUNICATION MANHOLE
- CROSS WALK SIGN
- UNDERGROUND ELECTRIC COVER
- FIBER OPTIC COVER
- ENTRY CODE KEY PAD
- PARKING METER
- MONITORING WELL
- TEST STATION
- OVERHEAD ELECTRIC LINE
- OVERHEAD TELEPHONE LINE
- EXISTING FENCE LINE
- N NORTH
- E EAST
- S SOUTH
- W WEST
- R/W RIGHT-OF-WAY
- AC ACRES
- S.F. SQUARE FEET
- CL CENTERLINE
- 3 PLATTED LOT NUMBER/LETTER



NV5

ALTA/NSPS LAND TITLE SURVEY

PREPARED FOR

500 EAST 8TH

DATE OF FIELD SURVEY: DECEMBER 18, 2021

NETWORK PROJECT NUMBER: 202107881-001-RF

1-(800)-SURVEYS (787-8397)

TRANSACTION SERVICES

www.bockandclark.com maywehelpyou@bockandclark.com www.NV5.com

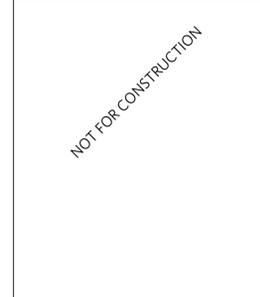
SURVEY • ZONING • ENVIRONMENTAL • ASSESSMENT

- EXISTING ZONING: DC-15 (NO CHANGE REQUESTED)
- TOTAL LAND AREA: 1.29 ACRES (56,165 SQFT)
- NO CHANGE IN STREET RIGHT-A-WAY
- EXISTING BLDG USE: B (BUSINESS)
- PROPOSED BLDG USE: R-2 (APARTMENT)
- EXISTING BLDG HEIGHT: 13 STORIES + LEVELS OF EQUIPMENT PENTHOUSE, 408' TO TOP OF EXISTING EQUIPMENT PENTHOUSE (NO CHANGE IN HEIGHT REQUESTED)
- GROSS AREA PER FLOOR:
 - ** PARKING LEVELS 1-8: 46,318 SF/ FLOOR (277,908 TOTAL)
 - ** 1ST FLOOR: 28,809 SF
 - ** 2ND FLOOR: 33,934 SF
 - ** 3RD - 13TH FLOOR: 28,809 SF/ FLOOR (316,899 TOTAL)
 - ** LOWER EQUIP. PENTHOUSE: 8,506 SF
 - ** UPPER EQUIP. PENTHOUSE: 8,506 SF
 - ** TOTAL: 674,862 SF
- NUMBER OF UNITS PER FLOOR:
 - ** 1ST FLOOR: 0
 - ** 2ND FLOOR: 15 (10 1-BED, 5 2-BED)
 - ** 3RD FLOOR: 0
 - ** 4TH-12TH FLOOR: 25/FLOOR (10 STUDIO, 7 1-BED, 8 2-BED)
 - ** 13TH FLOOR: 23 (9 STUDIO, 7 1-BED, 7 2-BED)
 - ** TOTAL UNIT COUNT: 263 UNITS (99 STUDIO, 80 1-BED, 84 2-BED)
- 204 UNITS/ ACRE
- PARKING:
 - ** EXISTING USE: OFFICE 1/1000SF = 380 SPACES REQUIRED, 575 PROVIDED
 - ** NEW USE: RESIDENTIAL 1/UNIT = 263 SPACES REQUIRED, 366 PROVIDED
- BICYCLE SPACES (REQUIRED/ PROVIDED):
 - ** SHORT TERM: 10% OF PROVIDED PARKING 366*10% = 37 (PROVIDED IN GARAGE)
 - ** LONG TERM: 1 PER 3 UNITS = 88 SPACES (PROVIDED 90 ON 1ST FLOOR)

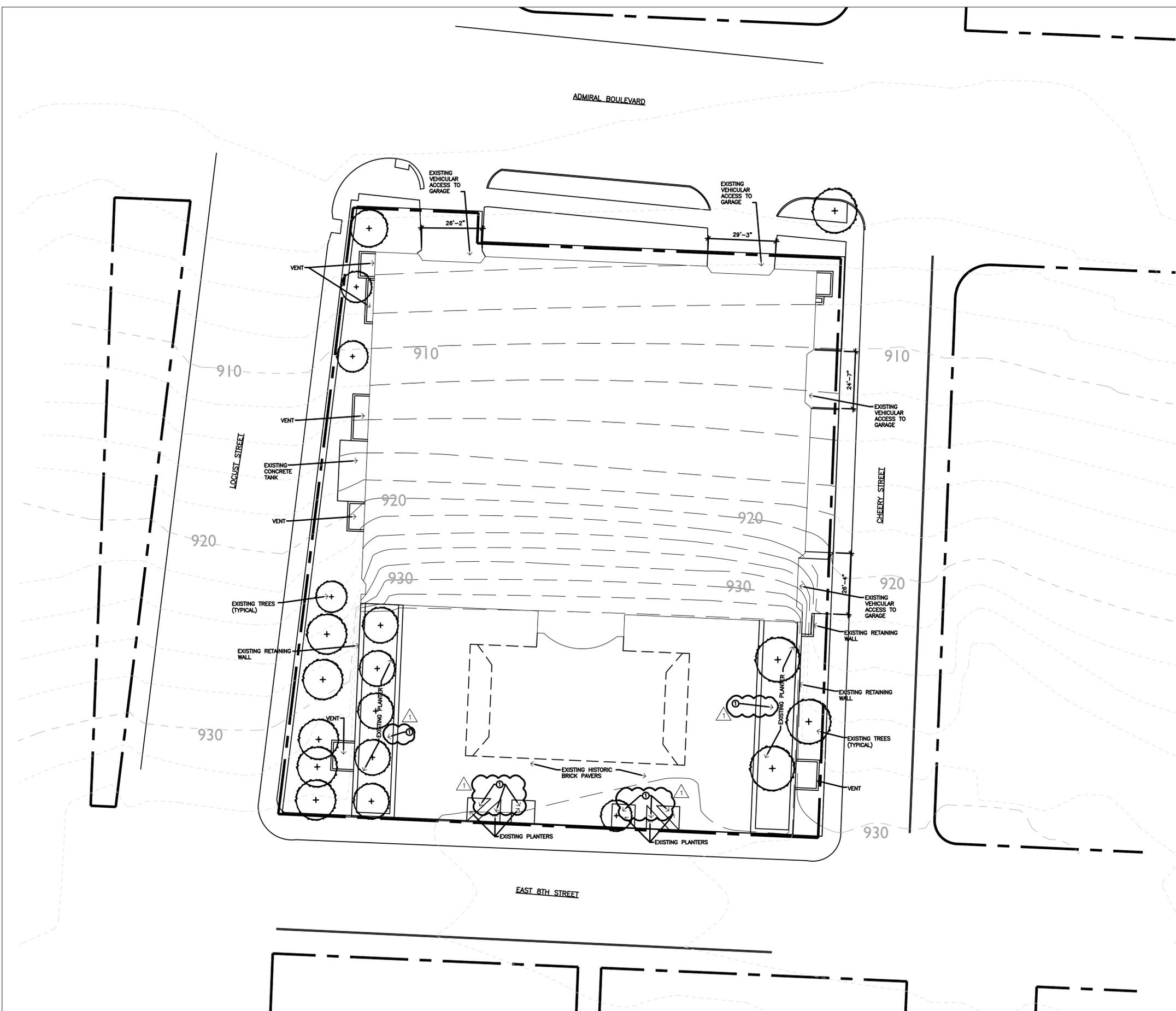
*IN LIEU OF DEDICATING PARKLAND OR PRIVATE OPEN SPACE, THE DEVELOPER WILL UTILIZE PAYMENT OF CASH-IN-LIEU OF EITHER FORM OF DEDICATION PRIOR TO THE ISSUANCE OF CERTIFICATE OF OCCUPANCY.

FLOOR PLAN KEYED NOTES:
 ① ANY DEAD OR DESTROYED LANDSCAPING TO BE REPLACED, TYPICAL THROUGHOUT THE SITE.

AT&T BUILDING MULTIFAMILY
500 EAST 8TH ST.
KANSAS CITY, MO.



REV	ISSUE	DATE
	Revised Part 2 Submission	2021.12.13
①	Revised per Development Planning Comments	2022.07.01



01 | Architectural Site Plan
1" = 20'-0"



SITE DATA	Existing	Proposed	Deviation Requested	Approved
Zoning	DC-15	DC-15	No	
Gross Land Area	56,165	56,165		
In Square Feet	1.29	1.29		
In Acres	N/A	N/A		
Right-of-way Dedication	N/A	N/A		
In Square Feet	N/A	N/A		
In Acres	N/A	N/A		
Net Land Area	N/A	N/A		
In Square Feet	N/A	N/A		
In Acres	N/A	N/A		
Building Area (sq. ft.)	674,562	674,562		
Floor Area Ratio	12	12	No	
Residential Use Info	None	Apartments		
Total Dwelling Units				
Detached House	0	0		
Zero lot line House	0	0		
Cottage House	0	0		
Semi-attached House	0	0		
Townhouse	0	0		
Two-unit House	0	0		
Multi-unit House	0	0		
Colonnade	0	0		
Multiplex	0	0		
Multi-unit Building	0	263		
Total Lots				
Residential		X		
Public/ Civic	0	0		
Commerical	X	0		
Industrial	0	0		
Other	0	0		

Building Data	Required	Proposed	Deviation Requested?	Approved
Rear Setback	None	Existing, No change	No	
Front Setback	None	Existing, No change	No	
Side Setback	None	Existing, No change	No	
Side Setback (abutting Street)	None	Existing, No change	No	
Height	None	Existing 13 stories	No	

88-420 Parking	Vehicle Spaces		Bike Spaces		Alternatives Proposed
	Required	Proposed	Required	Proposed	
Proposed Use					
Residential (Multifamily)	263	366	Short Term: 37 Long Term: 88	Short Term: 37 Long Term: 90	None

88-425 - OTHER DEVELOPMENT STANDARDS	Method of Compliance
88-408 Parkland Dedication	Payment in lieu of land dedication: (# units * 2 people) * 0.006 acre/ person = (263 * 2) * 0.006 = 3.156
88-415 Stream Buffers	Existing property and bldg with no exterior work or grading
88-430 Outdoor Lighting	All existing lighting will remain. Lights will be re-lamped with LED technology with light levels meeting code.
88-435 Outdoor Display, Storage & Work Areas	No outdoor display, storage or work areas are being proposed
88-445 Signs	Existing bldg signage will be replaced with one bldg mounted sign per side and not exceeding 50 sqft in size (meeting all signage requirements) Signage permit will be applied for.
88-450 Pedestrian Standards	Existing pedestrian sidewalks are provided. No work is to affect placement of existing sidewalks

88-425 - Landscape Requirements	Required	Proposed	Alternative Required?	Approved
88-425-03 Street Trees	None per 88-425-03A Applicability - Street tree planting requirements of this section apply to all of the following: 1. Construction of any principal building and any addition to or enlargement of an existing principal building when the addition or enlargement exceeds 10% of gross floor area.	Existing Street trees to remain, no new trees as principal building is existing and no additions is being proposed	No	
88-425-04 General	Landscaping or natural vegetation at Setbacks and unused areas	Existing landscaping beds are provided on 4 sides of the building, and existing landscaped/ natural vegetation areas are to remain.	No	
88-425-05 Perimeter Vehicular Use Area	No action required as none of the stated work is happening	No new work proposed	No	
Adjacent to Streets	No action required	Existing perimeter landscaping to remain	No	
Buffer Width	Existing	Existing to remain	No	
Trees	Existing	Existing to remain	No	
Shrubs/ Wall/ Berm	Existing walls	Existing to remain	No	
Adjacent to Residential Zones				
Buffer Width	Not adjacent	N/A	No	
Shrubs/ Berm/ Fence/ Wall	Not Adjacent	N/A	No	
88-425-06 Interior Vehicular Use Area	Standards are for new construction of parking lots. This project has no such thing	N/A	No	
Interior Area				
Trees	Existing	Existing to remain	No	
Shrubs	Existing	Existing to remain	No	
88425-07 Parking Garage Screening	Existing parking garage is screened by exterior building walls	Existing to remain	No	
88-425-08 Mechanical/ Utility Equipment Screening	No new proposed equipment. No existing ground mounted equipment requiring screening. Existing roof top equipment is already screened from public right-of-way	Existing to remain	No	
88-425-09 Outdoor Use Screening	N/A	N/A	No	

NOT FOR CONSTRUCTION

REV	ISSUE	DATE
	REVISED PART 2 SUBMISSION	2021 12 13
	KCMO PLANNING DEVELOPMENT SUBMISSION	2022 05 25



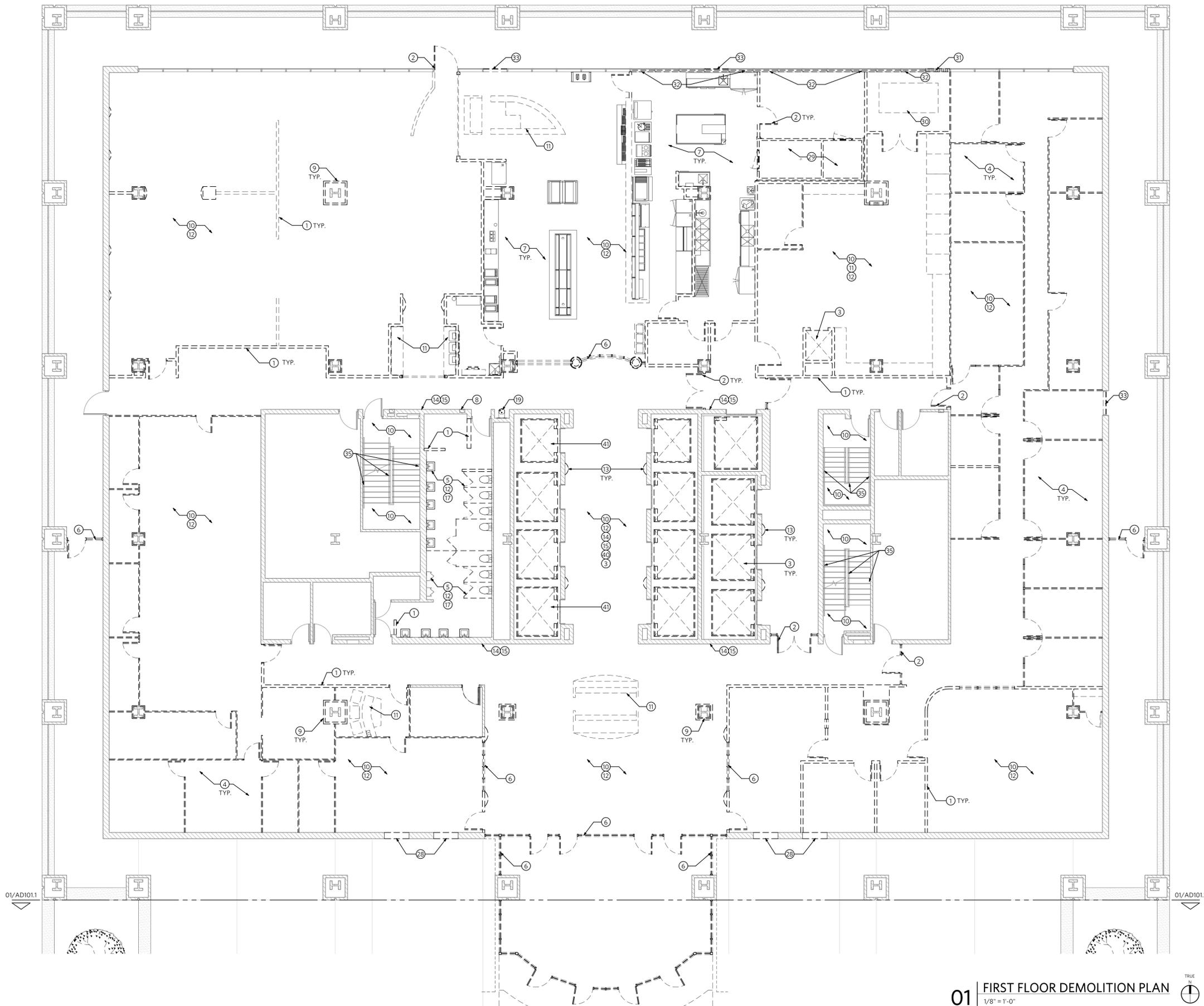
REV	ISSUE	DATE
	REVISED PART 2 SUBMISSION	2021 12 13
	KCMO PLANNING DEVELOPMENT SUBMISSION	2022 05 25

GENERAL DEMOLITION NOTES

- A. ITEMS TO BE REMOVED ARE SHOWN WITH A DASHED (HIDDEN) LINE.
- B. ALL DIMENSIONS ARE +/- FIELD VERIFY.
- C. WALLS & STRUCTURE NOTED TO REMAIN SHALL BE BRACED & SUPPORTED AS NECESSARY DURING DEMO & UNTIL NEW CONSTRUCTION IS IN PLACE.
- D. PROTECT EXISTING CONSTRUCTION AND FINISHES TO REMAIN FROM DAMAGE DURING DEMOLITION.
- E. GENERAL CONTRACTOR SHALL PRESERVE OR PROVIDE ALTERNATIVE ROUTES FOR EMERGENCY EGRESS DURING ALL PHASES OF CONSTRUCTION FOR ALL BUILDING OCCUPANTS.
- F. REPAIR SURFACES ADJACENT TO DEMOLITION AREAS AS REQUIRED TO MATCH ADJACENT FINISHES.
- G. COORDINATE DEMOLITION WORK WITH NEW WORK.
- H. REF. MECHANICAL, ELECTRICAL & PLUMBING FOR EXTENT OF RELATED DEMOLITION. REPAIR ALL WALLS/FLOOR/CEILING PENETRATIONS WHERE DEVICES/EQUIPMENT, ETC. WAS REMOVED. MATCH ADJ. FINISH & MATERIAL. REF. STRUCTURAL FOR RELATED DEMOLITION.
- I. WHEN REPLACING SURFACE TO MATCH ADJACENT, MAKE NEW SURFACE FLUSH WITH ADJACENT UNLESS NOTED OTHERWISE.
- J. SOME NEW CONSTRUCTION WILL REQUIRE REMOVAL/CUTTING AND ADDITIONAL DEMO WORK NOT SHOWN ON DEMO SHEETS. REF. ENTIRE SET FOR COMPLETE DEMOLITION SCOPE.
- L. FIELD VERIFY EXTENT OF DEMOLISHED ITEMS BEFORE BIDDING.
- M. DEMOLISH WALLS & DOORS SHOWN AS DASHED. CONSULT ARCHITECT FOR ANY DISCREPANCIES OR QUESTIONS.
- N. WALLS, SLABS, CEILINGS, ETC. WITHIN RENOVATION AREAS NOT CALLED FOR DEMOLITION SHALL BE PATCHED & REPAIRED TO MATCH ADJACENT SURFACES & FINISHES. TYP. PRIOR TO FINISHING AS SCHEDULED.
- O. IF ITEMS ARE SUSPECT OF CONTAINING HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB; IMMEDIATELY NOTIFY THE ARCHITECT AND OWNER. HAZARDOUS MATERIALS INCLUDE BUT ARE NOT LIMITED TO ASBESTOS, AND LEAD PAINT. HAZARDOUS MATERIALS TO BE REMOVED UNDER SEPARATE CONTRACT.
- P. DO NOT ALLOW MATERIALS AND DEBRIS GENERATED BY DEMOLITION ACTIVITIES TO ACCUMULATE ON THE JOB SITE. REMOVE DAILY AND DISPOSE OF IN A LEGAL MANNER. NO ON SITE SALE OR BURNING OF REMOVED ITEMS IS PERMITTED. IF REQUIRED CLOSE OFF EXISTING SUPPLY/RETURN PIPES FEEDING EXISTING ROOMS TO PREVENT DUST/DEBRIS ENTRY.
- Q. THE CONTRACTOR MUST MAINTAIN ADEQUATE INSULATION, WATERPROOFING, EMERGENCY LIGHTING, SECURITY, ALARMS, ETC. THROUGHOUT DURATION OF DEMOLITION.
- R. LOCATE, IDENTIFY, DISCONNECT, AND SEAL OR CAP OFF INDICATED UTILITY SERVICES AND MECHANICAL/ELECTRICAL SYSTEMS SERVING AREAS TO BE SELECTIVELY DEMOLISHED.
- S. EXISTING FIRE SUPPRESSION TO REMAIN AND BE MODIFIED PER NEW DESIGN, U.N.O.
- T. THIS PLAN IS TO BE USED IN CONJUNCTION WITH THE ENTIRE SET OF CONSTRUCTION DRAWINGS. DO NOT REMOVE ANY ITEMS WITHOUT VERIFYING AND COORDINATING WITH ALL GENERAL TRADES AS TO HOW THEY RELATE TO THE OVERALL PROJECT.
- U. IF ANY FLOOR FINISHES OR CEILING FINISHES ARE DISCOVERED UNDER EXISTING FINISHES, DEMO MUST CEASE IMMEDIATELY AND ARCHITECT, OWNER AND HISTORICAL CONSULTANT ALERTED FOR REVIEW OF FINISH.

DEMOLITION KEYNOTES

- 1 REMOVE EXISTING PARTITION AS REQUIRED BY NEW WORK, INCLUDING ANY EXISTING DOOR, FRAME AND ASSOCIATED HARDWARE. SHORE ANY BEARING WALLS AS REQUIRED.
- 2 REMOVE EXISTING DOOR, FRAME AND ASSOCIATED HARDWARE.
- 3 REMOVE EXISTING ELEVATOR/DUMBWAITER/LIFT AND ALL ASSOCIATED COMPONENTS IN THEIR ENTIRETY. ELEVATOR DOORS TO REMAIN.
- 4 REMOVE EXISTING DEMOUNTABLE PARTITIONS AND ASSOCIATED DOORS, HARDWARE GLAZING, ETC.
- 5 REMOVE EXISTING TOILET PARTITIONS AND ALL PLUMBING FIXTURES, PIPING, ETC. CAP OFF/TERMINATE WATER SUPPLY LINES NOT USED FOR NEW WORK.
- 6 REMOVE EXISTING STOREFRONT GLAZING, DOORS AND ASSOCIATED HARDWARE.
- 7 REMOVE EXISTING COUNTERTOPS, CABINETS, SINKS, EQUIPMENT, PIPING, ETC. CAP OFF WATER AND GAS LINES AS REQUIRED.
- 8 EXISTING MAIL CHUTE TO REMAIN. PROTECT DURING CONSTRUCTION.
- 9 REMOVE COLUMN SURROUNDS TO EXPOSE STEEL FOR ASBESTOS ABATEMENT, TYPICAL.
- 10 REMOVE ALL FINISH FLOORS IN THEIR ENTIRETY. PREP SLAB FOR INSTALLATION OF NEW FINISHES AS REQUIRED.
- 11 REMOVE EXISTING CASEWORK AND ALL ASSOCIATED ACCESSORIES.
- 12 REMOVE EXISTING CEILING AS REQUIRED FOR ASBESTOS ABATEMENT. SALVAGE ALL TYPICAL TROUGH LIGHTING, CEILING TILE, GRID SYSTEM, AND HISTORIC CEILING MOUNTED CLOCKS FOR REUSE. REFER TO RCP SHEETS A150s FOR FINAL LAYOUT.
- 13 REMOVE CURVED WOOD-LOOK LAMINATE WALL DECORATION IN ITS ENTIRETY TO EXPOSE ORIGINAL TRAVERTINE.
- 14 GC TO RETAIN AND PROTECT ALL HISTORICAL TRAVERTINE WALL CLADDING.
- 15 REMOVE NON-HISTORICAL BLACK TILE WALL BASE AND ALL ADHESIVE.
- 16 REMOVE EXISTING PARTITION AS REQUIRED BY THE NEW WORK. ENSURE MINIMAL TRAVERTINE IS REMOVED FOR ENTRY DOOR TO TRASH ROOM. SALVAGE ALL REMOVED TRAVERTINE FOR POTENTIAL REUSE.
- 17 REMOVE ALL WALL AND FLOOR TILE IN ITS ENTIRETY.
- 18 REMOVE RAISED FLOOR SYSTEM IN ITS ENTIRETY. PREP SLAB FOR INSTALLATION OF NEW FINISHES AS REQUIRED.
- 19 REMOVE WATER FOUNTAIN. CAP OFF/TERMINATE WATER SUPPLY LINE AS REQUIRED.
- 20 REMOVE EXTERIOR WALL SCONCE. PATCH HOLES WITH COLOR MATCHED CEMENT FILLER. VERIFY WITH ARCHITECT.
- 21 REMOVE AND RETAIN PORTION OF HISTORIC BRICK PAVERS. PREP SALVAGED PAVERS TO BE USED FOR PATCHWORK OF DAMAGED PAVERS ELSEWHERE ON SITE AS REQUIRED.
- 22 REMOVE ALL DRAPERY AND ROLLER SHADE TRACKS IN THEIR ENTIRETY.
- 23 GC TO UNINSTALL AND SALVAGE/PROTECT HISTORICAL WOOD PANELING FOR RELOCATED WALL. WOOD PANELING IS TO BE REINSTALLED.
- 24 REMOVE ALL PLUMBING FIXTURES, CASEWORK, MIRRORS, SHOWER ACCESSORIES AND SHOWER ROOM DOOR.
- 25 GC TO PROTECT AND RETAIN ALL HISTORICAL WOOD PANELING. REVIEW ALL DAMAGED PANELS WITH ARCHITECT AS REQUIRED.
- 26 REMOVE ALL EXISTING, NON-HISTORIC BRICK PAVERS IN FRONT OF ENTRY VESTIBULE.
- 27 REMOVE ALL 12X12 TEXTURED CEILING TILES AND CAN LIGHTING IN THEIR ENTIRETY.
- 28 REMOVE EXISTING PRECAST CONCRETE PANELS AND WALL STRUCTURE ENTIRETY. PREP AREA FOR INSTALLATION OF NEW STOREFRONT SYSTEM TO MATCH EXISTING. SHORE PER STRUCTURAL.
- 29 REMOVE EXISTING WALK-IN COOLER/FREEZER AND ALL ASSOCIATED MEP EQUIPMENT.
- 30 REMOVE EXISTING MECHANICAL EQUIPMENT AND ALL ASSOCIATED COMPONENTS IN THEIR ENTIRETY.
- 31 REMOVE EXISTING MECHANICAL LEUVERS. PREP EXISTING STOREFRONT FRAME AS REQUIRED FOR INSTALLATION OF NEW GLAZING PANEL.
- 32 REMOVE EXISTING STOREFRONT INFILL PANELS. PATCH/REPAIR EXISTING FRAME AS REQUIRED.
- 33 REMOVE EXISTING STOREFRONT GLAZED PANEL AND MODIFY FRAME AS REQUIRED FOR INSTALLATION OF NEW DOOR AND HARDWARE.
- 34 REMOVE EXISTING PRECAST CONCRETE PANELS AND WALL STRUCTURE AS REQUIRED FOR NEW RECESS WOODWORK. REFER TO SECTION DETAILS FOR FULL EXTENT OF DEMOLITION. PROTECT ADJACENT PRECAST CONCRETE PANELS, WHICH ARE TO REMAIN, DURING CONSTRUCTION.
- 35 REMOVE LEAD-BASED PAINT FROM EXISTING RAILINGS AND PREP SURFACES FOR NEW PAINT FINISH.
- 36 GC TO CONFIRM IF EXISTING SNOW MELT SYSTEM IS STILL FUNCTIONING PROPERLY. IF NOT, REMOVE AND RETAIN EXISTING BRICK PAVERS AS REQUIRED FOR THE REMOVAL AND REPLACEMENT OF THE EXISTING SNOW MELT SYSTEM. PREP REMOVED PAVERS FOR RE-INSTALLATION.
- 37 REMOVE EXISTING LIGHT POLE. PROVIDE NEW LED FIXTURE.
- 38 REMOVE EXISTING LOCKERS AND ALL ASSOCIATED ACCESSORIES.
- 39 GC TO PROTECT AND RETAIN ALL HISTORICAL WOOD CASEWORK. REVIEW ALL DAMAGED CASEWORK WITH ARCHITECT.
- 40 GC TO RETAIN AND PROTECT CIRCULAR ELEVATOR INDICATORS AND CHROME ELEVATOR DOORS.
- 41 REMOVE EXISTING ELEVATOR/DUMBWAITER/LIFT AND ALL ASSOCIATED COMPONENTS IN THEIR ENTIRETY. PREP AREA AS REQUIRED FOR SLAB INFILL ELEVATOR DOORS TO REMAIN AND SECURED SHUT FROM SHAFT SIDE.



01 FIRST FLOOR DEMOLITION PLAN
1/8" = 1'-0"

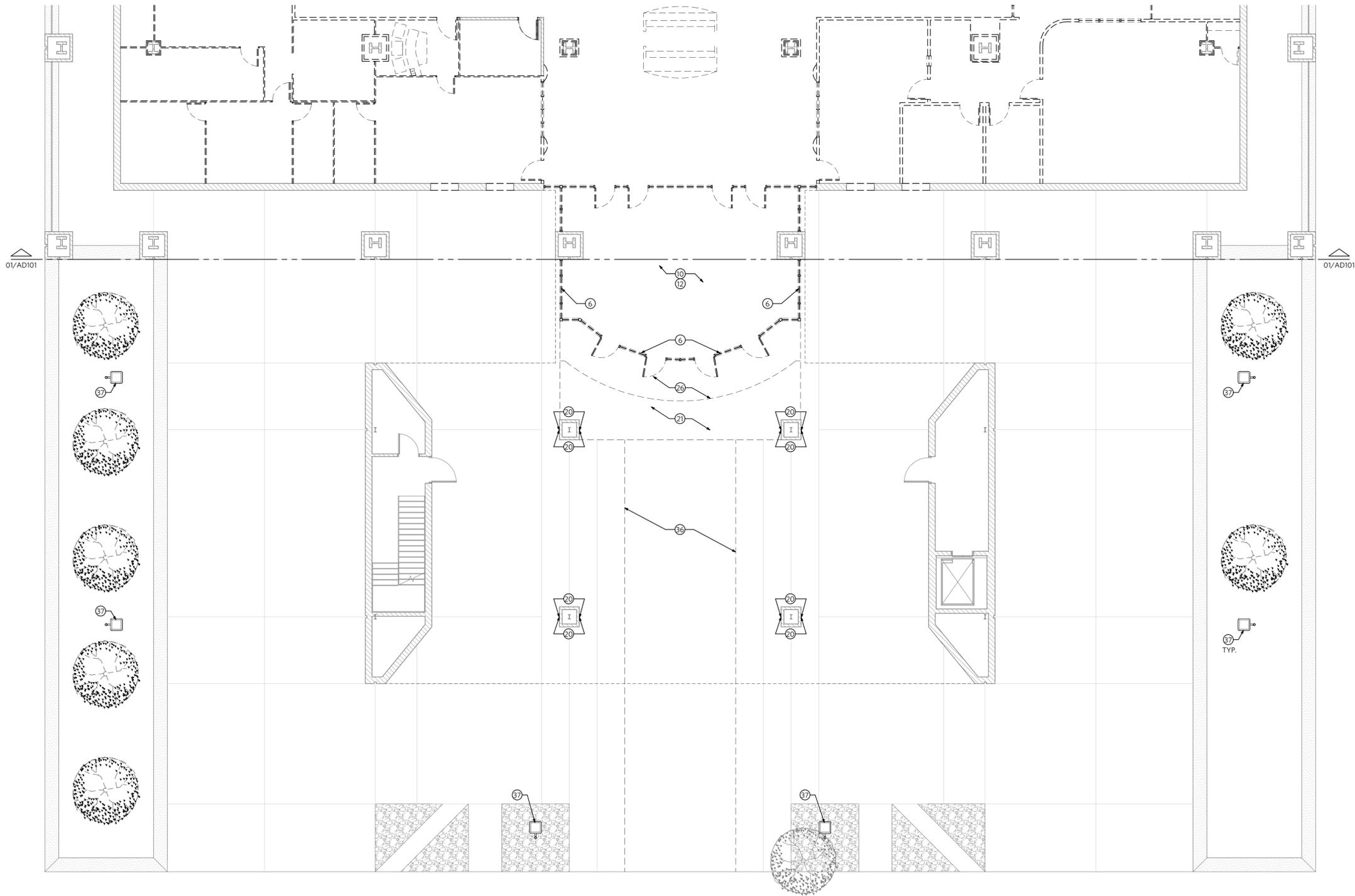


GENERAL DEMOLITION NOTES

- A. ITEMS TO BE REMOVED ARE SHOWN WITH A DASHED (HIDDEN) LINE.
- B. ALL DIMENSIONS ARE +/- FIELD VERIFY.
- C. WALLS & STRUCTURE NOTED TO REMAIN SHALL BE BRACED & SUPPORTED AS NECESSARY DURING DEMO & UNTIL NEW CONSTRUCTION IS IN PLACE.
- D. PROTECT EXISTING CONSTRUCTION AND FINISHES TO REMAIN FROM DAMAGE DURING DEMOLITION.
- E. GENERAL CONTRACTOR SHALL PRESERVE OR PROVIDE ALTERNATIVE ROUTES FOR EMERGENCY EGRESS DURING ALL PHASES OF CONSTRUCTION FOR ALL BUILDING OCCUPANTS.
- F. REPAIR SURFACES ADJACENT TO DEMOLITION AREAS AS REQUIRED TO MATCH ADJACENT FINISHES.
- G. COORDINATE DEMOLITION WORK WITH NEW WORK.
- H. REF. MECHANICAL, ELECTRICAL & PLUMBING FOR EXTENT OF RELATED DEMOLITION. REPAIR ALL WALLS/FLOOR/CEILING PENETRATIONS WHERE DEVICES/EQUIPMENT, ETC. WAS REMOVED. MATCH ADJ. FINISH & MATERIAL.
- I. REF. STRUCTURAL FOR RELATED DEMOLITION.
- J. WHEN REPLACING SURFACE TO MATCH ADJACENT, MAKE NEW SURFACE FLUSH WITH ADJACENT UNLESS NOTED OTHERWISE.
- K. SOME NEW CONSTRUCTION WILL REQUIRE REMOVAL/CUTTING AND ADDITIONAL DEMO WORK NOT SHOWN ON DEMO SHEETS. REF. ENTIRE SET FOR COMPLETE DEMOLITION SCOPE.
- L. FIELD VERIFY EXTENT OF DEMOLISHED ITEMS BEFORE BIDDING.
- M. DEMOLISH WALLS & DOORS SHOWN AS DASHED. CONSULT ARCHITECT FOR ANY DISCREPANCIES OR QUESTIONS.
- N. WALLS, SLABS, CEILINGS, ETC. WITHIN RENOVATION AREAS NOT CALLED FOR DEMOLITION SHALL BE PATCHED & REPAIRED TO MATCH ADJACENT SURFACES & FINISHES, TYP. PRIOR TO FINISHING AS SCHEDULED.
- O. IF ITEMS ARE SUSPECT OF CONTAINING HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB; IMMEDIATELY NOTIFY THE ARCHITECT AND OWNER. HAZARDOUS MATERIALS INCLUDE BUT ARE NOT LIMITED TO ASBESTOS, AND LEAD PAINT. HAZARDOUS MATERIALS TO BE REMOVED UNDER SEPARATE CONTRACT.
- P. DO NOT ALLOW MATERIALS AND DEBRIS GENERATED BY DEMOLITION ACTIVITIES TO ACCUMULATE ON THE JOB SITE. REMOVE DAILY AND DISPOSE OF IN A LEGAL MANNER. NO ON SITE SALE OR BURNING OF REMOVED ITEMS IS PERMITTED. IF REQUIRED CLOSE OFF EXISTING SUPPLY/RETURN PIPES FEEDING EXISTING ROOMS TO PREVENT DUST/DEBRIS ENTRY.
- Q. THE CONTRACTOR MUST MAINTAIN ADEQUATE INSULATION, WATERPROOFING, EMERGENCY LIGHTING, SECURITY, ALARMS, ETC. THROUGHOUT DURATION OF DEMOLITION.
- R. LOCATE, IDENTIFY, DISCONNECT, AND SEAL OR CAP OFF INDICATED UTILITY SERVICES AND MECHANICAL/ELECTRICAL SYSTEMS SERVING AREAS TO BE SELECTIVELY DEMOLISHED.
- S. EXISTING FIRE SUPPRESSION TO REMAIN AND BE MODIFIED PER NEW DESIGN, U.N.O. THIS PLAN IS TO BE USED IN CONJUNCTION WITH THE ENTIRE SET OF CONSTRUCTION DRAWINGS. DO NOT REMOVE ANY ITEMS WITHOUT VERIFYING AND COORDINATING WITH ALL GENERAL TRADES AS TO HOW THEY RELATE TO THE OVERALL PROJECT.
- T. IF ANY FLOOR FINISHES OR CEILING FINISHES ARE DISCOVERED UNDER EXISTING FINISHES, DEMO MUST CEASE IMMEDIATELY AND ARCHITECT, OWNER AND HISTORICAL CONSULTANT ALERTED FOR REVIEW OF FINISH.

DEMOLITION KEYNOTES

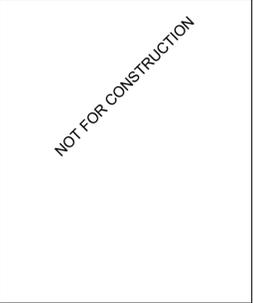
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- 2 REMOVE EXISTING DOOR, FRAME AND ASSOCIATED HARDWARE.
- 3 REMOVE EXISTING ELEVATOR/DUMBWAITER/LIFT AND ALL ASSOCIATED COMPONENTS IN THEIR ENTIRETY. ELEVATOR DOORS TO REMAIN.
- 4 REMOVE EXISTING DEMOUNTABLE PARTITIONS AND ASSOCIATED DOORS, HARDWARE GLAZING, ETC.
- 5 REMOVE EXISTING TOILET PARTITIONS AND ALL PLUMBING FIXTURES, PIPING, ETC. CAP OFF/TERMINATE WATER SUPPLY LINES NOT USED FOR NEW WORK.
- 6 REMOVE EXISTING STOREFRONT GLAZING, DOORS AND ASSOCIATED HARDWARE.
- 7 REMOVE EXISTING COUNTERTOPS, CABINETRY, SINKS, EQUIPMENT, PIPING, ETC. CAP OFF WATER AND GAS LINES AS REQUIRED.
- 8 EXISTING MAIL CHUTE TO REMAIN. PROTECT DURING CONSTRUCTION.
- 9 REMOVE COLUMN SURROUNDS TO EXPOSE STEEL FOR ASBESTOS ABATEMENT, TYPICAL.
- 10 REMOVE ALL FINISH FLOORS IN THEIR ENTIRETY. PREP SLAB FOR INSTALLATION OF NEW FINISHES AS REQUIRED.
- 11 REMOVE EXISTING CASEWORK AND ALL ASSOCIATED ACCESSORIES.
- 12 REMOVE EXISTING CEILING AS REQUIRED FOR ASBESTOS ABATEMENT. SALVAGE ALL TYPICAL TROUGH LIGHTING, CEILING TILE, GRID SYSTEM, AND HISTORIC CEILING MOUNTED CLOCKS FOR REUSE. REFER TO RCP SHEETS A150s FOR FINAL LAYOUT.
- 13 REMOVE CURVED WOOD-LOOK LAMINATE WALL DECORATION IN ITS ENTIRETY TO EXPOSE ORIGINAL TRAVERTINE.
- 14 GC TO RETAIN AND PROTECT ALL HISTORICAL TRAVERTINE WALL CLADDING.
- 15 REMOVE NON-HISTORICAL BLACK TILE WALL BASE AND ALL ADHESIVE.
- 16 REMOVE EXISTING PARTITION AS REQUIRED BY THE NEW WORK. ENSURE MINIMAL TRAVERTINE IS REMOVED FOR ENTRY DOOR TO TRASH ROOM. SALVAGE ALL REMOVED TRAVERTINE FOR POTENTIAL REUSE.
- 17 REMOVE ALL WALL AND FLOOR TILE IN ITS ENTIRETY.
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- 20 REMOVE EXTERIOR WALL SCONCE. PATCH HOLES WITH COLOR MATCHED CEMENT FILLER. VERIFY WITH ARCHITECT.
- 21 REMOVE AND RETAIN PORTION OF HISTORIC BRICK PAVERS. PREP SALVAGED PAVERS TO BE USED FOR PATCHWORK OF DAMAGED PAVERS ELSEWHERE ON SITE AS REQUIRED.
- 22 REMOVE ALL DRAPERY AND ROLLER SHADE TRACKS IN THEIR ENTIRETY.
- 23 GC TO UNINSTALL AND SALVAGE/PROTECT HISTORICAL WOOD PANELING FOR RELOCATED WALL. WOOD PANELING IS TO BE REINSTALLED.
- 24 REMOVE ALL PLUMBING FIXTURES, CASEWORK, MIRRORS, SHOWER ACCESSORIES AND SHOWER ROOM DOOR.
- 25 GC TO PROTECT AND RETAIN ALL HISTORICAL WOOD PANELING. REVIEW ALL DAMAGED PANELS WITH ARCHITECT AS REQUIRED.
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- 34 REMOVE EXISTING PRECAST CONCRETE PANELS AND WALL STRUCTURE AS REQUIRED FOR NEW RECESSED WINDOW. REFER TO SECTION DETAILS FOR FULL EXTENT OF DEMOLITION. PROTECT ADJACENT PRECAST CONCRETE PANELS, WHICH ARE TO REMAIN, DURING CONSTRUCTION.
- 35 REMOVE LEAD-BASED PAINT FROM EXISTING RAILINGS AND PREP SURFACES FOR NEW PAINT FINISH.
- 36 GC TO CONFIRM IF EXISTING SNOW MELT SYSTEM IS STILL FUNCTIONING PROPERLY. IF NOT, REMOVE AND RETAIN EXISTING BRICK PAVERS AS REQUIRED FOR THE REMOVAL AND REPLACEMENT OF THE EXISTING SNOW MELT SYSTEM. PREP REMOVED PAVERS FOR RE-INSTALLATION.
- 37 REMOVE EXISTING LIGHT POLE. PROVIDE NEW LED FIXTURE.
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- 39 GC TO PROTECT AND RETAIN ALL HISTORICAL WOOD CASEWORK. REVIEW ALL DAMAGED CASEWORK WITH ARCHITECT.
- 40 GC TO RETAIN AND PROTECT CIRCULAR ELEVATOR INDICATORS AND CHROME ELEVATOR DOORS.
- 41 REMOVE EXISTING ELEVATOR/DUMBWAITER/LIFT AND ALL ASSOCIATED COMPONENTS IN THEIR ENTIRETY. PREP AREA AS REQUIRED FOR SLAB INFILL. ELEVATOR DOORS TO REMAIN AND SECURED SHUT FROM SHAFT SIDE.



01 | FIRST FLOOR DEMOLITION PLAN - SOUTH END
1/8" = 1'-0"



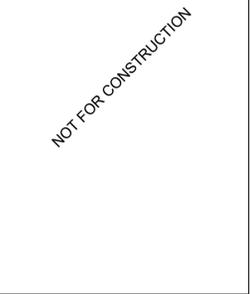
AT&T BUILDING MULTIFAMILY
500 EAST 8TH ST.
KANSAS CITY, MO.



REV	ISSUE	DATE
	REVISED PART 2 SUBMISSION	2021 12 31
	KCMO PLANNING DEVELOPMENT SUBMISSION	2022 05 25

FIRST FLOOR
DEMOLITION PLAN -
SOUTH END

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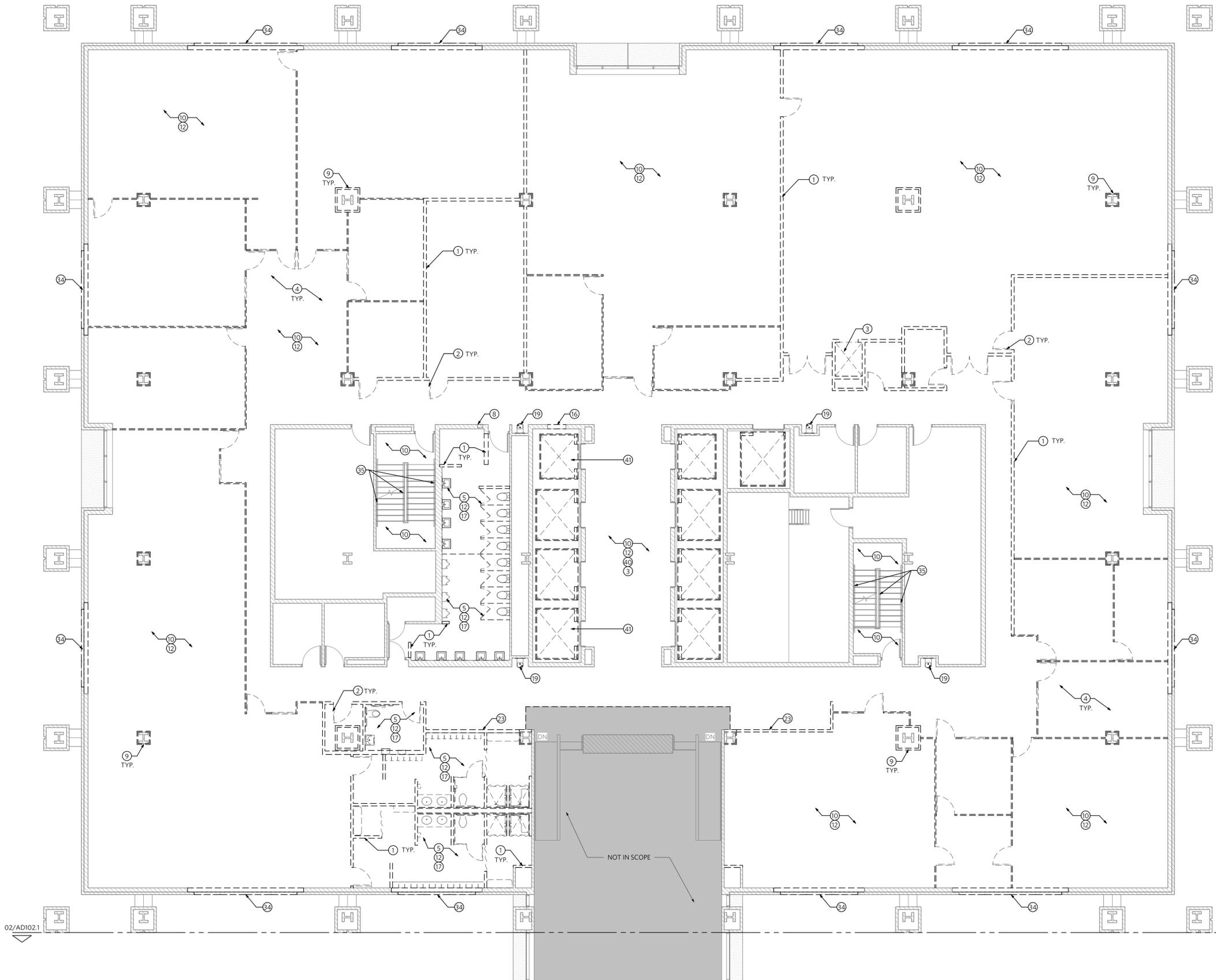
REV	ISSUE	DATE
	REVISION PART 2 SUBMISSION	2021.12.13
	KCMO PLANNING DEVELOPMENT SUBMISSION	2022.05.25

GENERAL DEMOLITION NOTES

- A. ITEMS TO BE REMOVED ARE SHOWN WITH A DASHED (HIDDEN) LINE.
- B. ALL DIMENSIONS ARE 1/4" FIELD VERIFY.
- C. WALLS & STRUCTURE NOTED TO REMAIN SHALL BE BRACED & SUPPORTED AS NECESSARY DURING DEMO & UNTIL NEW CONSTRUCTION IS IN PLACE.
- D. PROTECT EXISTING CONSTRUCTION AND FINISHES TO REMAIN FROM DAMAGE DURING DEMOLITION.
- E. GENERAL CONTRACTOR SHALL PRESERVE OR PROVIDE ALTERNATIVE ROUTES FOR EMERGENCY EGRESS DURING ALL PHASES OF CONSTRUCTION FOR ALL BUILDING OCCUPANTS.
- F. REPAIR SURFACES ADJACENT TO DEMOLITION AREAS AS REQUIRED TO MATCH ADJACENT FINISHES.
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- H. REF. MECHANICAL, ELECTRICAL & PLUMBING FOR EXTENT OF RELATED DEMOLITION. REPAIR ALL WALLS/FLOOR/CEILING PENETRATIONS WHERE DEVICES/EQUIPMENT, ETC. WAS REMOVED. MATCH ADJ. FINISH & MATERIAL.
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- K. SOME NEW CONSTRUCTION WILL REQUIRE REMOVAL/CUTTING AND ADDITIONAL DEMO WORK NOT SHOWN ON DEMO SHEETS. REF. ENTIRE SET FOR COMPLETE DEMOLITION SCOPE.
- L. FIELD VERIFY EXTENT OF DEMOLISHED ITEMS BEFORE BIDDING.
- M. DEMOLISH WALLS & DOORS SHOWN AS DASHED. CONSULT ARCHITECT FOR ANY DISCREPANCIES OR QUESTIONS.
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- Q. THE CONTRACTOR MUST MAINTAIN ADEQUATE INSULATION, WATERPROOFING, EMERGENCY LIGHTING, SECURITY, ALARMS, ETC. THROUGHOUT DURATION OF DEMOLITION.
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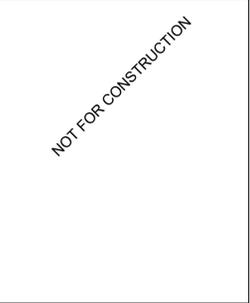
DEMOLITION KEYNOTES

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- 2 REMOVE EXISTING DOOR, FRAME AND ASSOCIATED HARDWARE.
- 3 REMOVE EXISTING ELEVATOR/DUMBWAITER/LIFT AND ALL ASSOCIATED COMPONENTS IN THEIR ENTIRETY. ELEVATOR DOORS TO REMAIN.
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- 5 REMOVE EXISTING TOILET PARTITIONS AND ALL PLUMBING FIXTURES, PIPING, ETC. CAP OFF/TERMINATE WATER SUPPLY LINES NOT USED FOR NEW WORK.
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- 8 EXISTING MAIL CHUTE TO REMAIN. PROTECT DURING CONSTRUCTION.
- 9 REMOVE COLUMN SURROUNDS TO EXPOSE STEEL FOR ASBESTOS ABATEMENT, TYPICAL. FINISHES AS REQUIRED.
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- 13 REMOVE CURVED WOOD-LOOK LAMINATE WALL DECORATION IN ITS ENTIRETY TO EXPOSE ORIGINAL TRAVERTINE.
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- 15 REMOVE NON-HISTORICAL BLACK TILE WALL BASE AND ALL ADHESIVE.
- 16 REMOVE EXISTING PARTITION AS REQUIRED BY THE NEW WORK. ENSURE MINIMAL TRAVERTINE IS REMOVED FOR ENTRY DOOR TO TRASH ROOM. SALVAGE ALL REMOVED TRAVERTINE FOR POTENTIAL REUSE.
- 17 REMOVE ALL WALL AND FLOOR TILE IN ITS ENTIRETY.
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- 20 REMOVE EXTERIOR WALL SCONCE. PATCH HOLES WITH COLOR MATCHED CEMENT FILLER. VERIFY WITH ARCHITECT.
- 21 REMOVE AND RETAIN PORTION OF HISTORIC BRICK PAVERS. PREP SALVAGED PAVERS TO BE USED FOR PATCHWORK OF DAMAGED PAVERS ELSEWHERE ON SITE AS REQUIRED.
- 22 REMOVE ALL DRAPERY AND ROLLER SHADE TRACKS IN THEIR ENTIRETY.
- 23 GC TO UNINSTALL AND SALVAGE/PROTECT HISTORICAL WOOD PANELING FOR RELOCATED WALL. WOOD PANELING IS TO BE REINSTALLED.
- 24 REMOVE ALL PLUMBING FIXTURES, CASEWORK, MIRRORS, SHOWER ACCESSORIES AND SHOWER ROOM DOOR.
- 25 GC TO PROTECT AND RETAIN ALL HISTORICAL WOOD PANELING. REVIEW ALL DAMAGED PANELS WITH ARCHITECT AS REQUIRED.
- 26 REMOVE ALL EXISTING, NON-HISTORIC BRICK PAVERS IN FRONT OF ENTRY VESTIBULE.
- 27 REMOVE ALL 12X12 TEXTURED CEILING TILES AND CAN LIGHTING IN THEIR ENTIRETY.
- 28 REMOVE EXISTING PRECAST CONCRETE PANELS AND WALL STRUCTURE ENTIRELY. PREP AREA FOR INSTALLATION OF NEW STOREFRONT SYSTEM TO MATCH EXISTING. SHORE PER STRUCTURAL.
- 29 REMOVE EXISTING WALK-IN COOLER/FREEZER AND ALL ASSOCIATED MEP EQUIPMENT.
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- 31 REMOVE EXISTING MECHANICAL LEUVERS. PREP EXISTING STOREFRONT FRAME AS REQUIRED FOR INSTALLATION OF NEW GLAZING PANEL.
- 32 REMOVE EXISTING STOREFRONT INFILL PANELS. PATCH/REPAIR EXISTING FRAME AS REQUIRED.
- 33 REMOVE EXISTING STOREFRONT GLAZED PANEL AND MODIFY FRAME AS REQUIRED FOR INSTALLATION OF NEW DOOR AND HARDWARE.
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- 36 GC TO CONFIRM IF EXISTING SNOW MELT SYSTEM IS STILL FUNCTIONING PROPERLY. IF NOT, REMOVE AND RETAIN EXISTING BRICK PAVERS AS REQUIRED FOR THE REMOVAL AND REPLACEMENT OF THE EXISTING SNOW MELT SYSTEM. PREP REMOVED PAVERS FOR RE-INSTALLATION.
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01 SECOND FLOOR DEMOLITION PLAN
1/8" = 1'-0"





REV	ISSUE	DATE
	REVISED PART 2 SUBMISSION	2021.12.13
	KCMO PLANNING DEVELOPMENT SUBMISSION	2022.05.25

SECOND FLOOR
DEMOLITION PLAN -
SOUTH END

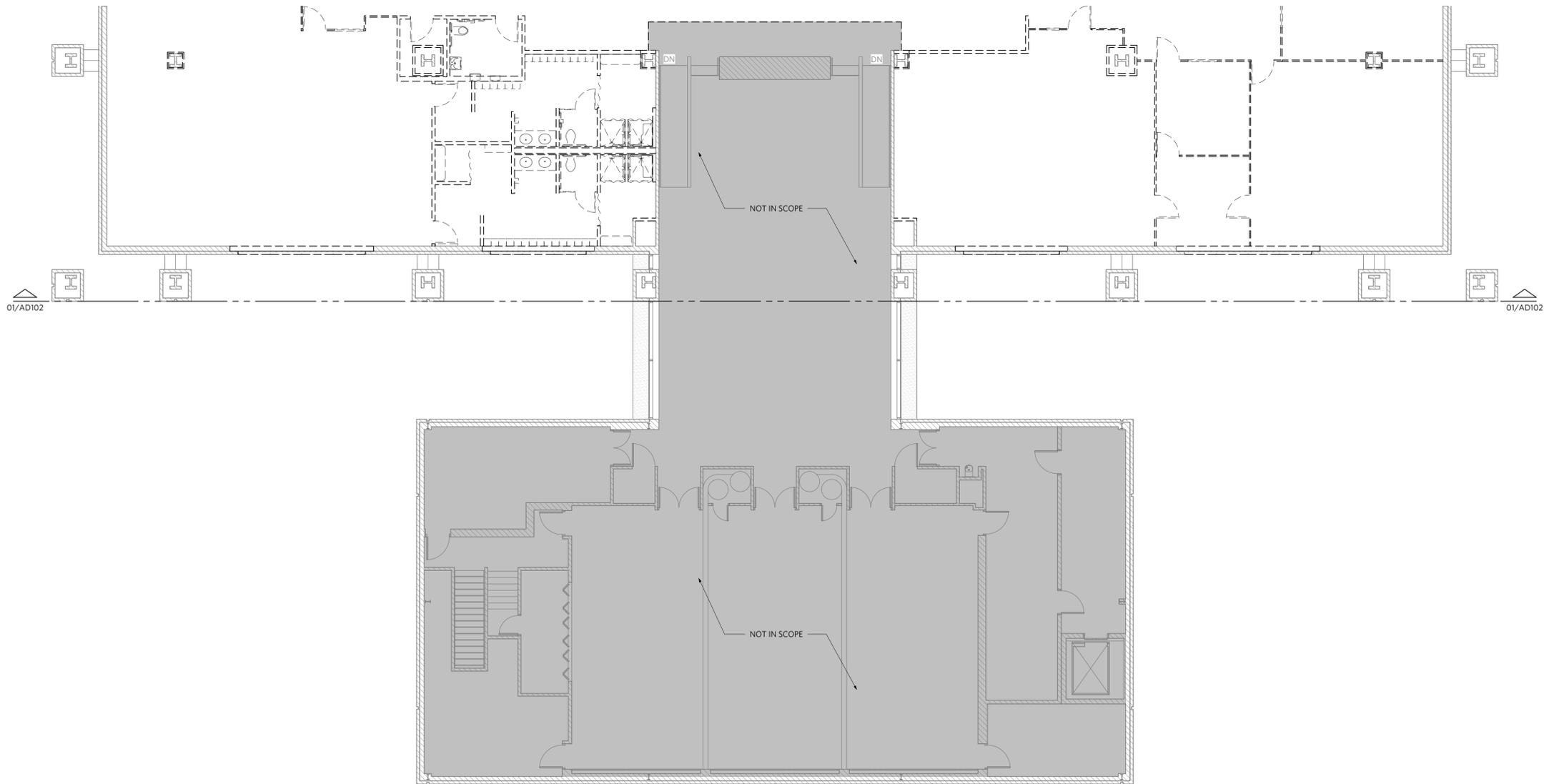
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GENERAL DEMOLITION NOTES

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- B. ALL DIMENSIONS ARE +/- FIELD VERIFY.
- C. WALLS & STRUCTURE NOTED TO REMAIN SHALL BE BRACED & SUPPORTED AS NECESSARY DURING DEMO & UNTIL NEW CONSTRUCTION IS IN PLACE.
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- E. GENERAL CONTRACTOR SHALL PRESERVE OR PROVIDE ALTERNATIVE ROUTES FOR EMERGENCY EGRESS DURING ALL PHASES OF CONSTRUCTION FOR ALL BUILDING OCCUPANTS.
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- K. SOME NEW CONSTRUCTION WILL REQUIRE REMOVAL/CUTTING AND ADDITIONAL DEMO WORK NOT SHOWN ON DEMO SHEETS. REF. ENTIRE SET FOR COMPLETE DEMOLITION SCOPE.
- L. FIELD VERIFY EXTENT OF DEMOLISHED ITEMS BEFORE BIDDING.
- M. DEMOLISH WALLS & DOORS SHOWN AS DASHED. CONSULT ARCHITECT FOR ANY DISCREPANCIES OR QUESTIONS.
- N. WALLS, SLABS, CEILINGS, ETC. WITHIN RENOVATION AREAS NOT CALLED FOR DEMOLITION SHALL BE PATCHED & REPAIRED TO MATCH ADJACENT SURFACES & FINISHES, TYP. PRIOR TO FINISHING AS SCHEDULED.
- O. IF ITEMS ARE SUSPECT OF CONTAINING HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB. IMMEDIATELY NOTIFY THE ARCHITECT AND OWNER. HAZARDOUS MATERIALS INCLUDE BUT ARE NOT LIMITED TO ASBESTOS, AND LEAD PAINT. HAZARDOUS MATERIALS TO BE REMOVED UNDER SEPARATE CONTRACT.
- P. DO NOT ALLOW MATERIALS AND DEBRIS GENERATED BY DEMOLITION ACTIVITIES TO ACCUMULATE ON THE JOB SITE. REMOVE DAILY AND DISPOSE OF IN A LEGAL MANNER. NO ON SITE SALE OR BURNING OF REMOVED ITEMS IS PERMITTED. IF REQUIRED CLOSE OFF EXISTING SUPPLY/RETURN PIPES FEEDING EXISTING ROOMS TO PREVENT DUST/DEBRIS ENTRY.
- Q. THE CONTRACTOR MUST MAINTAIN ADEQUATE INSULATION, WATERPROOFING, EMERGENCY LIGHTING, SECURITY, ALARMS, ETC. THROUGHOUT DURATION OF DEMOLITION.
- R. LOCATE, IDENTIFY, DISCONNECT, AND SEAL OR CAP OFF INDICATED UTILITY SERVICES AND MECHANICAL/ELECTRICAL SYSTEMS SERVING AREAS TO BE SELECTIVELY DEMOLISHED.
- S. EXISTING FIRE SUPPRESSION TO REMAIN AND BE MODIFIED PER NEW DESIGN, U.N.O.
- T. THIS PLAN IS TO BE USED IN CONJUNCTION WITH THE ENTIRE SET OF CONSTRUCTION DRAWINGS. DO NOT REMOVE ANY ITEMS WITHOUT VERIFYING AND COORDINATING WITH ALL GENERAL TRADES AS TO HOW THEY RELATE TO THE OVERALL PROJECT.
- U. IF ANY FLOOR FINISHES OR CEILING FINISHES ARE DISCOVERED UNDER EXISTING FINISHES, DEMO MUST CEASE IMMEDIATELY AND ARCHITECT, OWNER AND HISTORICAL CONSULTANT ALERTED FOR REVIEW OF FINISH.

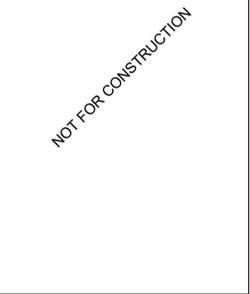
DEMOLITION KEYNOTES

- 1 REMOVE EXISTING PARTITION AS REQUIRED BY NEW WORK, INCLUDING ANY EXISTING DOOR, FRAME AND ASSOCIATED HARDWARE. SHORE ANY BEARING WALLS AS REQUIRED.
- 2 REMOVE EXISTING DOOR, FRAME AND ASSOCIATED HARDWARE.
- 3 REMOVE EXISTING ELEVATOR/DUMBWAITER/LIFT AND ALL ASSOCIATED COMPONENTS IN THEIR ENTIRETY. ELEVATOR DOORS TO REMAIN.
- 4 REMOVE EXISTING DEMOUNTABLE PARTITIONS AND ASSOCIATED DOORS, HARDWARE GLAZING, ETC.
- 5 REMOVE EXISTING TOILET PARTITIONS AND ALL PLUMBING FIXTURES, PIPING, ETC. CAP OFF/TERMINATE WATER SUPPLY LINES NOT USED FOR NEW WORK.
- 6 REMOVE EXISTING STOREFRONT GLAZING, DOORS AND ASSOCIATED HARDWARE.
- 7 REMOVE EXISTING COUNTERTOPS, CABINETRY, SINKS, EQUIPMENT, PIPING, ETC. CAP OFF WATER AND GAS LINES AS REQUIRED.
- 8 EXISTING MAIL CHUTE TO REMAIN. PROTECT DURING CONSTRUCTION.
- 9 REMOVE COLUMN SURROUNDS TO EXPOSE STEEL FOR ASBESTOS ABATEMENT, TYPICAL.
- 10 REMOVE ALL FINISH FLOORS IN THEIR ENTIRETY. PREP SLAB FOR INSTALLATION OF NEW FINISHES AS REQUIRED.
- 11 REMOVE EXISTING CASEWORK AND ALL ASSOCIATED ACCESSORIES.
- 12 REMOVE EXISTING CEILING AS REQUIRED FOR ASBESTOS ABATEMENT. SALVAGE ALL TYPICAL TROUGH LIGHTING, CEILING TILE, GRID SYSTEM, AND HISTORIC CEILING MOUNTED CLOCKS FOR REUSE. REFER TO RCP SHEETS A150s FOR FINAL LAYOUT.
- 13 REMOVE CURVED WOOD-LOOK LAMINATE WALL DECORATION IN ITS ENTIRETY TO EXPOSE ORIGINAL TRAVERTINE.
- 14 GC TO RETAIN AND PROTECT ALL HISTORICAL TRAVERTINE WALL CLADDING.
- 15 REMOVE NON-HISTORICAL BLACK TILE WALL BASE AND ALL ADHESIVE.
- 16 REMOVE EXISTING PARTITION AS REQUIRED BY THE NEW WORK. ENSURE MINIMAL TRAVERTINE IS REMOVED FOR ENTRY DOOR TO TRASH ROOM. SALVAGE ALL REMOVED TRAVERTINE FOR POTENTIAL REUSE.
- 17 REMOVE ALL WALL AND FLOOR TILE IN ITS ENTIRETY.
- 18 REMOVE RAISED FLOOR SYSTEM IN ITS ENTIRETY. PREP SLAB FOR INSTALLATION OF NEW FINISHES AS REQUIRED.
- 19 REMOVE WATER FOUNTAIN. CAP OFF/TERMINATE WATER SUPPLY LINE AS REQUIRED.
- 20 REMOVE EXTERIOR WALL SCONCE. PATCH HOLES WITH COLOR MATCHED CEMENT FILLER. VERIFY WITH ARCHITECT.
- 21 REMOVE AND RETAIN PORTION OF HISTORIC BRICK PAVERS. PREP SALVAGED PAVERS TO BE USED FOR PATCHWORK OF DAMAGED PAVERS ELSEWHERE ON SITE AS REQUIRED.
- 22 REMOVE ALL DRAPERY AND ROLLER SHADE TRACKS IN THEIR ENTIRETY.
- 23 GC TO UNINSTALL AND SALVAGE/PROTECT HISTORICAL WOOD PANELING FOR RELOCATED WALL. WOOD PANELING IS TO BE REINSTALLED.
- 24 REMOVE ALL PLUMBING FIXTURES, CASEWORK, MIRRORS, SHOWER ACCESSORIES AND SHOWER ROOM DOOR.
- 25 GC TO PROTECT AND RETAIN ALL HISTORICAL WOOD PANELING. REVIEW ALL DAMAGED PANELS WITH ARCHITECT AS REQUIRED.
- 26 REMOVE ALL EXISTING, NON-HISTORIC BRICK PAVERS IN FRONT OF ENTRY VESTIBULE.
- 27 REMOVE ALL 12X12 TEXTURED CEILING TILES AND CAN LIGHTING IN THEIR ENTIRETY.
- 28 REMOVE EXISTING PRECAST CONCRETE PANELS AND WALL STRUCTURE ENTIRELY. PREP AREA FOR INSTALLATION OF NEW STOREFRONT SYSTEM TO MATCH EXISTING. SHORE PER STRUCTURAL.
- 29 REMOVE EXISTING WALK-IN COOLER/FREEZER AND ALL ASSOCIATED MEP EQUIPMENT.
- 30 REMOVE EXISTING MECHANICAL EQUIPMENT AND ALL ASSOCIATED COMPONENTS IN THEIR ENTIRETY.
- 31 REMOVE EXISTING MECHANICAL LEUVERS. PREP EXISTING STOREFRONT FRAME AS REQUIRED FOR INSTALLATION OF NEW GLAZING PANEL.
- 32 REMOVE EXISTING STOREFRONT INFILL PANELS. PATCH/REPAIR EXISTING FRAME AS REQUIRED.
- 33 REMOVE EXISTING STOREFRONT GLAZED PANEL AND MODIFY FRAME AS REQUIRED FOR INSTALLATION OF NEW DOOR AND HARDWARE.
- 34 REMOVE EXISTING PRECAST CONCRETE PANELS AND WALL STRUCTURE AS REQUIRED FOR NEW RECESSED WINDOW. REFER TO SECTION DETAILS FOR FULL EXTENT OF DEMOLITION. PROTECT ADJACENT PRECAST CONCRETE PANELS, WHICH ARE TO REMAIN, DURING CONSTRUCTION.
- 35 REMOVE LEAD-BASED PAINT FROM EXISTING RAILINGS AND PREP SURFACES FOR NEW PAINT FINISH.
- 36 GC TO CONFIRM IF EXISTING SNOW MELT SYSTEM IS STILL FUNCTIONING PROPERLY. IF NOT, REMOVE AND RETAIN EXISTING BRICK PAVERS AS REQUIRED FOR THE REMOVAL AND REPLACEMENT OF THE EXISTING SNOW MELT SYSTEM. PREP REMOVED PAVERS FOR RE-INSTALLATION.
- 37 REMOVE EXISTING LIGHT POLE. PROVIDE NEW LED FIXTURE.
- 38 REMOVE EXISTING LOCKERS AND ALL ASSOCIATED ACCESSORIES.
- 39 GC TO PROTECT AND RETAIN ALL HISTORICAL WOOD CASEWORK. REVIEW ALL DAMAGED CASEWORK WITH ARCHITECT.
- 40 GC TO RETAIN AND PROTECT CIRCULAR ELEVATOR INDICATORS AND CHROME ELEVATOR DOORS.
- 41 REMOVE EXISTING ELEVATOR/DUMBWAITER/LIFT AND ALL ASSOCIATED COMPONENTS IN THEIR ENTIRETY. PREP AREA AS REQUIRED FOR SLAB INFILL. ELEVATOR DOORS TO REMAIN AND SECURED SHUT FROM SHAFT SIDE.



01 SECOND FLOOR DEMOLITION PLAN - SOUTH END
1/8" = 1'-0"





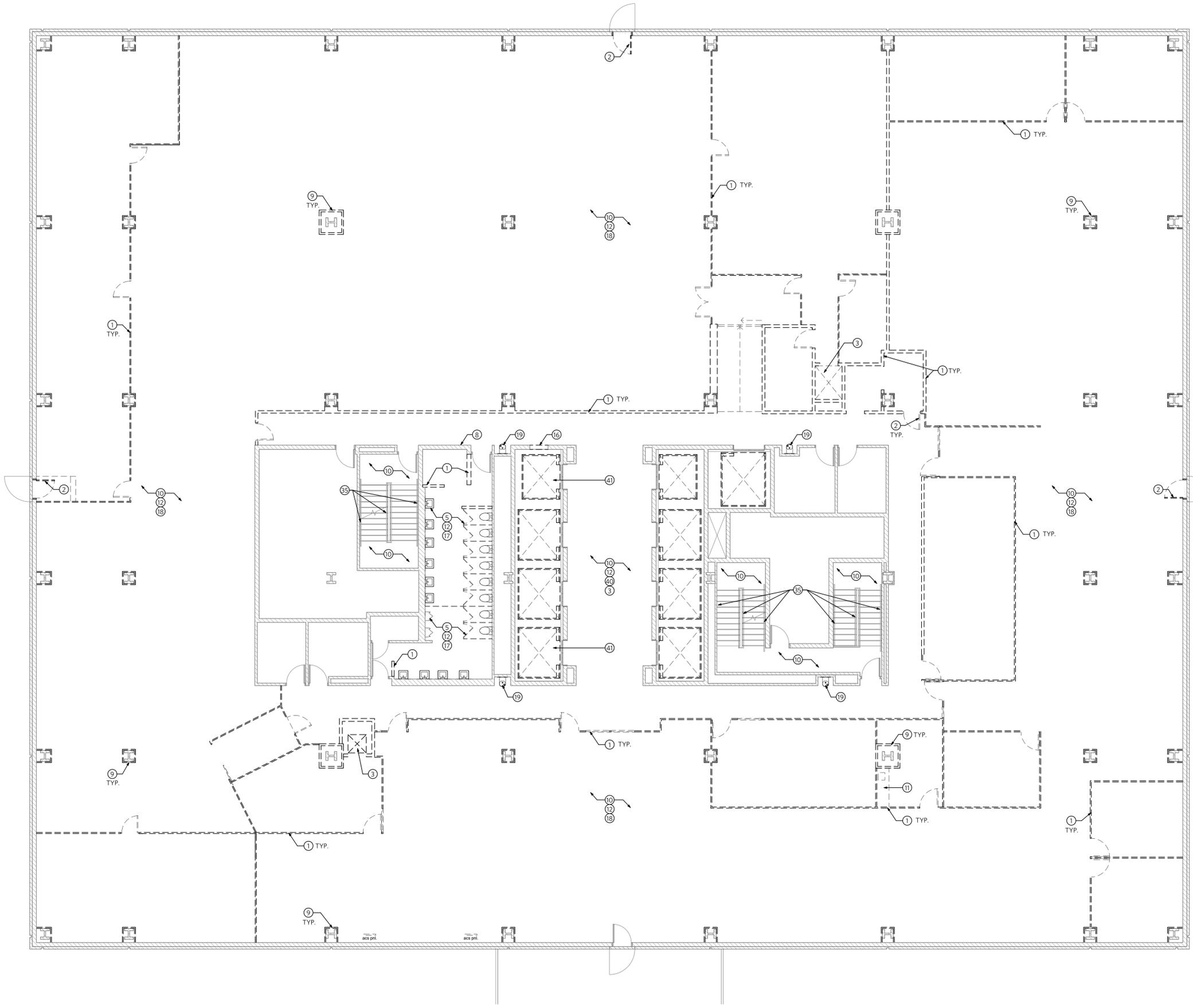
REV	ISSUE	DATE
	REVISION PART 2 SUBMISSION	2021.12.13
	KCMO PLANNING DEVELOPMENT SUBMISSION	2022.05.25

GENERAL DEMOLITION NOTES

- A. ITEMS TO BE REMOVED ARE SHOWN WITH A DASHED (HIDDEN) LINE.
- B. ALL DIMENSIONS ARE 1/8" FIELD VERIFY.
- C. WALLS & STRUCTURE NOTED TO REMAIN SHALL BE BRACED & SUPPORTED AS NECESSARY DURING DEMO & UNTIL NEW CONSTRUCTION IS IN PLACE.
- D. PROTECT EXISTING CONSTRUCTION AND FINISHES TO REMAIN FROM DAMAGE DURING DEMOLITION.
- E. GENERAL CONTRACTOR SHALL PRESERVE OR PROVIDE ALTERNATIVE ROUTES FOR EMERGENCY EGRESS DURING ALL PHASES OF CONSTRUCTION FOR ALL BUILDING OCCUPANTS.
- F. REPAIR SURFACES ADJACENT TO DEMOLITION AREAS AS REQUIRED TO MATCH ADJACENT FINISHES.
- G. COORDINATE DEMOLITION WORK WITH NEW WORK.
- H. REF. MECHANICAL, ELECTRICAL & PLUMBING FOR EXTENT OF RELATED DEMOLITION. REPAIR ALL WALLS/FLOOR/CEILING PENETRATIONS WHERE DEVICES/EQUIPMENT, ETC. WAS REMOVED. MATCH ADJ. FINISH & MATERIAL.
- I. REF. STRUCTURAL FOR RELATED DEMOLITION.
- J. WHEN REPLACING SURFACE TO MATCH ADJACENT, MAKE NEW SURFACE FLUSH WITH ADJACENT UNLESS NOTED OTHERWISE.
- K. SOME NEW CONSTRUCTION WILL REQUIRE REMOVAL/CUTTING AND ADDITIONAL DEMO WORK NOT SHOWN ON DEMO SHEETS. REF. ENTIRE SET FOR COMPLETE DEMOLITION SCOPE.
- L. FIELD VERIFY EXTENT OF DEMOLISHED ITEMS BEFORE BIDDING.
- M. DEMOLISH WALLS & DOORS SHOWN AS DASHED. CONSULT ARCHITECT FOR ANY DISCREPANCIES OR QUESTIONS.
- N. WALLS, SLABS, CEILINGS, ETC. WITHIN RENOVATION AREAS NOT CALLED FOR DEMOLITION SHALL BE PATCHED & REPAIRED TO MATCH ADJACENT SURFACES & FINISHES. TYP. PRIOR TO FINISHING AS SCHEDULED.
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- Q. THE CONTRACTOR MUST MAINTAIN ADEQUATE INSULATION, WATERPROOFING, EMERGENCY LIGHTING, SECURITY, ALARMS, ETC. THROUGHOUT DURATION OF DEMOLITION.
- R. LOCATE, IDENTIFY, DISCONNECT, AND SEAL OR CAP OFF INDICATED UTILITY SERVICES AND MECHANICAL/ELECTRICAL SYSTEMS SERVING AREAS TO BE SELECTIVELY DEMOLISHED.
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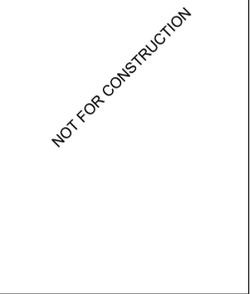
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- 2 REMOVE EXISTING DOOR, FRAME AND ASSOCIATED HARDWARE.
- 3 REMOVE EXISTING ELEVATOR/DUMBWAITER/LIFT AND ALL ASSOCIATED COMPONENTS IN THEIR ENTIRETY. ELEVATOR DOORS TO REMAIN.
- 4 REMOVE EXISTING DEMOUNTABLE PARTITIONS AND ASSOCIATED DOORS, HARDWARE GLAZING, ETC.
- 5 REMOVE EXISTING TOILET PARTITIONS AND ALL PLUMBING FIXTURES, PIPING, ETC. CAP OFF/TERMINATE WATER SUPPLY LINES NOT USED FOR NEW WORK.
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- 7 REMOVE EXISTING COUNTERTOPS, CABINETRY, SINKS, EQUIPMENT, PIPING, ETC. CAP OFF WATER AND GAS LINES AS REQUIRED.
- 8 EXISTING MAIL CHUTE TO REMAIN. PROTECT DURING CONSTRUCTION.
- 9 REMOVE COLUMN SURROUNDS TO EXPOSE STEEL FOR ASBESTOS ABATEMENT, TYPICAL.
- 10 REMOVE ALL FINISH FLOORS IN THEIR ENTIRETY. PREP SLAB FOR INSTALLATION OF NEW FINISHES AS REQUIRED.
- 11 REMOVE EXISTING CASEWORK AND ALL ASSOCIATED ACCESSORIES.
- 12 REMOVE EXISTING CEILING AS REQUIRED FOR ASBESTOS ABATEMENT. SALVAGE ALL TYPICAL TROUGH LIGHTING, CEILING TILE, GRID SYSTEM, AND HISTORIC CEILING MOUNTED CLOCKS FOR REUSE. REFER TO RCP SHEETS A150s FOR FINAL LAYOUT.
- 13 REMOVE CURVED WOOD-LOOK LAMINATE WALL DECORATION IN ITS ENTIRETY TO EXPOSE ORIGINAL TRAVERTINE.
- 14 GC TO RETAIN AND PROTECT ALL HISTORICAL TRAVERTINE WALL CLADDING.
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- 19 REMOVE WATER FOUNTAIN. CAP OFF/TERMINATE WATER SUPPLY LINE AS REQUIRED.
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- 21 REMOVE AND RETAIN PORTION OF HISTORIC BRICK PAVERS. PREP SALVAGED PAVERS TO BE USED FOR PATCHWORK OF DAMAGED PAVERS ELSEWHERE ON SITE AS REQUIRED.
- 22 REMOVE ALL DRAPERY AND ROLLER SHADE TRACKS IN THEIR ENTIRETY.
- 23 GC TO UNINSTALL AND SALVAGE/PROTECT HISTORICAL WOOD PANELING FOR RELOCATED WALL. WOOD PANELING IS TO BE REINSTALLED.
- 24 REMOVE ALL PLUMBING FIXTURES, CASEWORK, MIRRORS, SHOWER ACCESSORIES AND SHOWER ROOM DOOR.
- 25 GC TO PROTECT AND RETAIN ALL HISTORICAL WOOD PANELING. REVIEW ALL DAMAGED PANELS WITH ARCHITECT AS REQUIRED.
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- 33 REMOVE EXISTING STOREFRONT GLAZED PANEL AND MODIFY FRAME AS REQUIRED FOR INSTALLATION OF NEW DOOR AND HARDWARE.
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- 36 GC TO CONFIRM IF EXISTING SNOW MELT SYSTEM IS STILL FUNCTIONING PROPERLY. IF NOT, REMOVE AND RETAIN EXISTING BRICK PAVERS AS REQUIRED FOR THE REMOVAL AND REPLACEMENT OF THE EXISTING SNOW MELT SYSTEM. PREP REMOVED PAVERS FOR RE-INSTALLATION.
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- 41 REMOVE EXISTING ELEVATOR/DUMBWAITER/LIFT AND ALL ASSOCIATED COMPONENTS IN THEIR ENTIRETY. PREP AREA AS REQUIRED FOR SLAB INFILL. ELEVATOR DOORS TO REMAIN AND SECURED SHUT FROM SHAFT SIDE.



01 THIRD FLOOR DEMOLITION PLAN
1/8" = 1'-0"





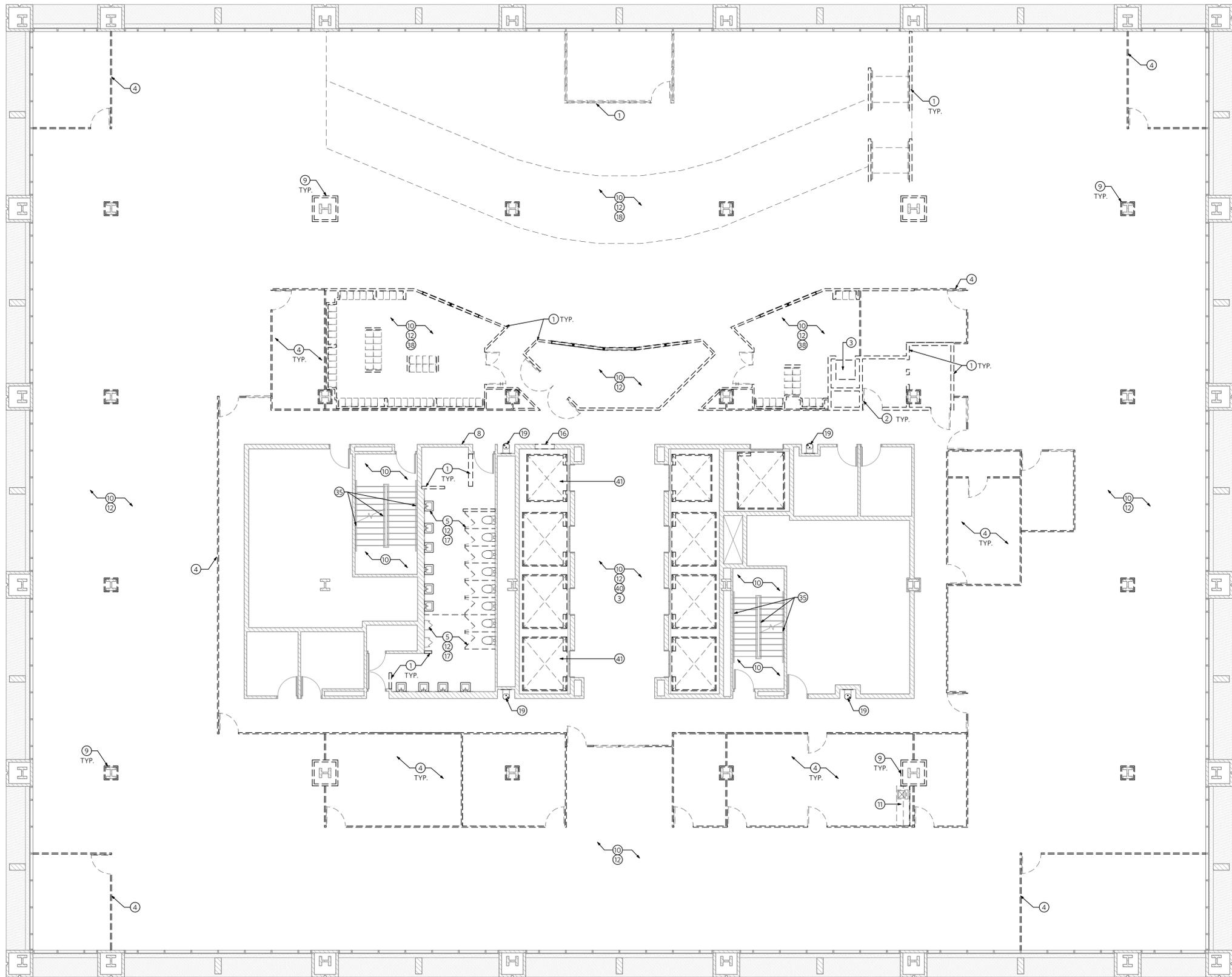
REV	ISSUE	DATE
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	KCMO PLANNING DEVELOPMENT SUBMISSION	2022.05.25

GENERAL DEMOLITION NOTES

- A. ITEMS TO BE REMOVED ARE SHOWN WITH A DASHED (HIDDEN) LINE.
- B. ALL DIMENSIONS ARE +/- FIELD VERIFY.
- C. WALLS & STRUCTURE NOTED TO REMAIN SHALL BE BRACED & SUPPORTED AS NECESSARY DURING DEMO & UNTIL NEW CONSTRUCTION IS IN PLACE.
- D. PROTECT EXISTING CONSTRUCTION AND FINISHES TO REMAIN FROM DAMAGE DURING DEMOLITION.
- E. GENERAL CONTRACTOR SHALL PRESERVE OR PROVIDE ALTERNATIVE ROUTES FOR EMERGENCY EGRESS DURING ALL PHASES OF CONSTRUCTION FOR ALL BUILDING OCCUPANTS.
- F. REPAIR SURFACES ADJACENT TO DEMOLITION AREAS AS REQUIRED TO MATCH ADJACENT FINISHES.
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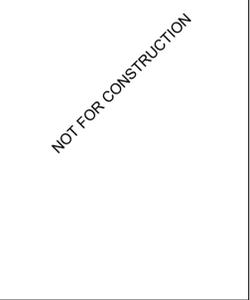
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- 34 REMOVE EXISTING PRECAST CONCRETE PANELS AND WALL STRUCTURE AS REQUIRED FOR NEW RECESSED WINDOW. REFER TO SECTION DETAILS FOR FULL EXTENT OF DEMOLITION. PROTECT ADJACENT PRECAST CONCRETE PANELS, WHICH ARE TO REMAIN, DURING CONSTRUCTION.
- 35 REMOVE LEAD-BASED PAINT FROM EXISTING RAILINGS AND PREP SURFACES FOR NEW PAINT FINISH.
- 36 GC TO CONFIRM IF EXISTING SNOW MELT SYSTEM IS STILL FUNCTIONING PROPERLY. IF NOT, REMOVE AND RETAIN EXISTING BRICK PAVERS AS REQUIRED FOR THE REMOVAL AND REPLACEMENT OF THE EXISTING SNOW MELT SYSTEM. PREP REMOVED PAVERS FOR RE-INSTALLATION.
- 37 REMOVE EXISTING LIGHT POLE. PROVIDE NEW LED FIXTURE.
- 38 REMOVE EXISTING LOCKERS AND ALL ASSOCIATED ACCESSORIES.
- 39 GC TO PROTECT AND RETAIN ALL HISTORICAL WOOD CASEWORK. REVIEW ALL DAMAGED CASEWORK WITH ARCHITECT.
- 40 GC TO RETAIN AND PROTECT CIRCULAR ELEVATOR INDICATORS AND CHROME ELEVATOR DOORS.
- 41 REMOVE EXISTING ELEVATOR/DUMBWAITER/LIFT AND ALL ASSOCIATED COMPONENTS IN THEIR ENTIRETY. PREP AREA AS REQUIRED FOR SLAB INFILL. ELEVATOR DOORS TO REMAIN AND SECURED SHUT FROM SHAFT SIDE.



01 | FOURTH FLOOR DEMOLITION PLAN
1/8" = 1'-0"





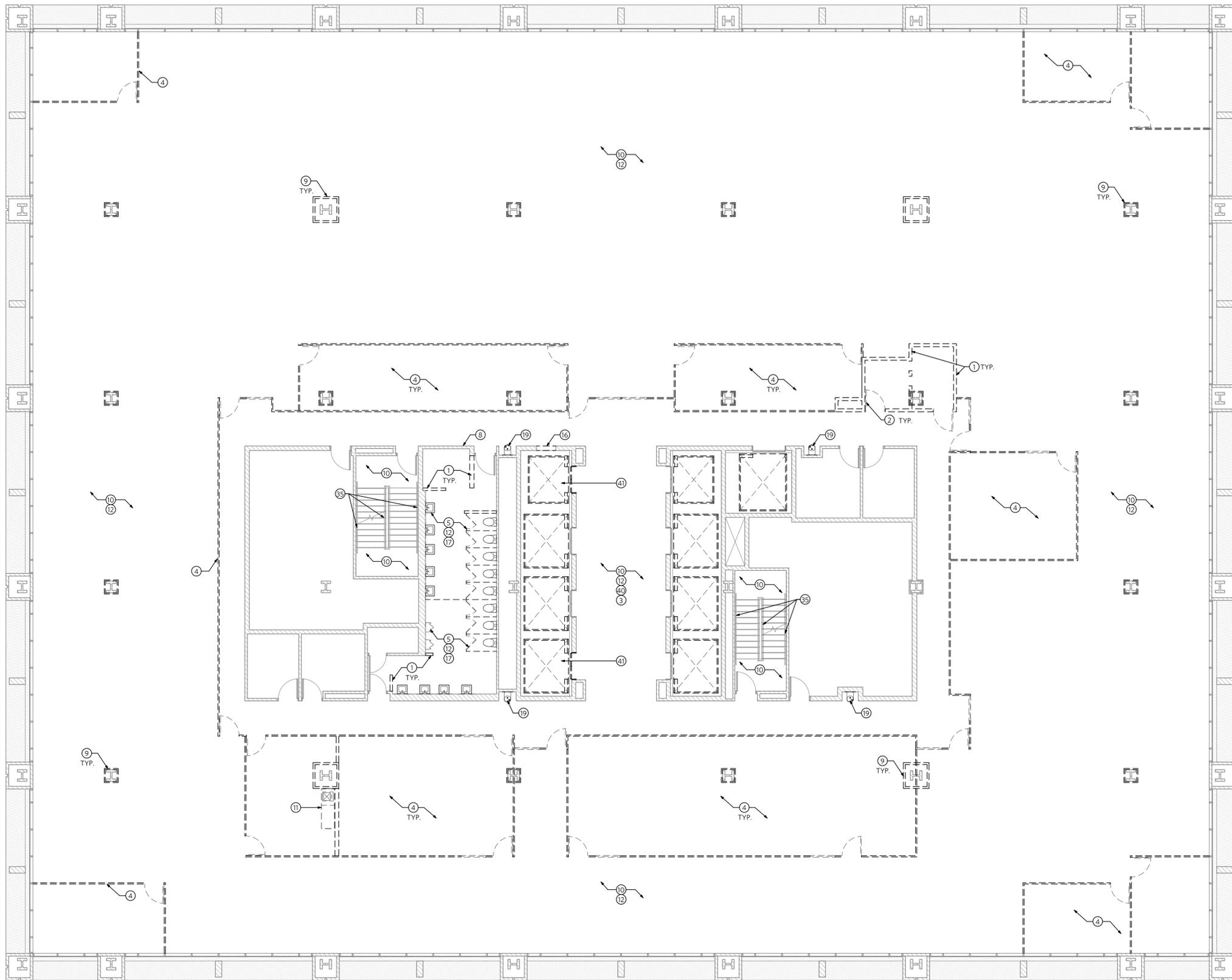
REV	ISSUE	DATE
	REVISION PART 2 SUBMISSION	2021.12.13
	KCMO PLANNING DEVELOPMENT SUBMISSION	2022.05.25

GENERAL DEMOLITION NOTES

- A. ITEMS TO BE REMOVED ARE SHOWN WITH A DASHED (HIDDEN) LINE.
- B. ALL DIMENSIONS ARE +/- FIELD VERIFY.
- C. WALLS & STRUCTURE NOTED TO BE BRACED & SUPPORTED AS NECESSARY DURING DEMO & UNTIL NEW CONSTRUCTION IS IN PLACE.
- D. PROTECT EXISTING CONSTRUCTION AND FINISHES TO REMAIN FROM DAMAGE DURING DEMOLITION.
- E. GENERAL CONTRACTOR SHALL PRESERVE OR PROVIDE ALTERNATIVE ROUTES FOR EMERGENCY EGRESS DURING ALL PHASES OF CONSTRUCTION FOR ALL BUILDING OCCUPANTS.
- F. REPAIR SURFACES ADJACENT TO DEMOLITION AREAS AS REQUIRED TO MATCH ADJACENT FINISHES.
- G. COORDINATE DEMOLITION WORK WITH NEW WORK.
- H. REF. MECHANICAL, ELECTRICAL & PLUMBING FOR EXTENT OF RELATED DEMOLITION. REPAIR ALL WALLS/FLOOR/CEILING PENETRATIONS WHERE DEVICES/EQUIPMENT, ETC. WAS REMOVED. MATCH ADJ. FINISH & MATERIAL. REF. STRUCTURAL FOR RELATED DEMOLITION.
- I. WHEN REPLACING SURFACE TO MATCH ADJACENT, MAKE NEW SURFACE FLUSH WITH ADJACENT UNLESS NOTED OTHERWISE.
- J. SOME NEW CONSTRUCTION WILL REQUIRE REMOVAL/CUTTING AND ADDITIONAL DEMO WORK NOT SHOWN ON DEMO SHEETS. REF. ENTIRE SET FOR COMPLETE DEMOLITION SCOPE.
- K. FIELD VERIFY EXTENT OF DEMOLISHED ITEMS BEFORE BIDDING.
- L. DEMOLISH WALLS & DOORS SHOWN AS DASHED. CONSULT ARCHITECT FOR ANY DISCREPANCIES OR QUESTIONS.
- N. WALLS, SLABS, CEILINGS, ETC. WITHIN RENOVATION AREAS NOT CALLED FOR DEMOLITION SHALL BE PATCHED & REPAIRED TO MATCH ADJACENT SURFACES & FINISHES, TYP. PRIOR TO FINISHING AS SCHEDULED.
- O. IF ITEMS ARE SUSPECT OF CONTAINING HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB. IMMEDIATELY NOTIFY THE ARCHITECT AND OWNER. HAZARDOUS MATERIALS INCLUDE BUT ARE NOT LIMITED TO ASBESTOS, AND LEAD PAINT. HAZARDOUS MATERIALS TO BE REMOVED UNDER SEPARATE CONTRACT.
- P. DO NOT ALLOW MATERIALS AND DEBRIS GENERATED BY DEMOLITION ACTIVITIES TO ACCUMULATE ON THE JOB SITE. REMOVE DAILY AND DISPOSE OF IN A LEGAL MANNER. NO ON SITE SALE OR BURNING OF REMOVED ITEMS IS PERMITTED. IF REQUIRED CLOSE OFF EXISTING SUPPLY/RETURN PIPES FEEDING EXISTING ROOMS TO PREVENT DUST/DEBRIS ENTRY.
- Q. THE CONTRACTOR MUST MAINTAIN ADEQUATE INSULATION, WATERPROOFING, EMERGENCY LIGHTING, SECURITY, ALARMS, ETC. THROUGHOUT DURATION OF DEMOLITION.
- R. LOCATE, IDENTIFY, DISCONNECT, AND SEAL OR CAP OFF INDICATED UTILITY SERVICES AND MECHANICAL/ELECTRICAL SYSTEMS SERVING AREAS TO BE SELECTIVELY DEMOLISHED.
- S. EXISTING FIRE SUPPRESSION TO REMAIN AND BE MODIFIED PER NEW DESIGN, U.N.O.
- T. THIS PLAN IS TO BE USED IN CONJUNCTION WITH THE ENTIRE SET OF CONSTRUCTION DRAWINGS. DO NOT REMOVE ANY ITEMS WITHOUT VERIFYING AND COORDINATING WITH ALL GENERAL TRADES AS TO HOW THEY RELATE TO THE OVERALL PROJECT.
- U. IF ANY FLOOR FINISHES OR CEILING FINISHES ARE DISCOVERED UNDER EXISTING FINISHES, DEMO MUST CEASE IMMEDIATELY AND ARCHITECT, OWNER AND HISTORICAL CONSULTANT ALERTED FOR REVIEW OF FINISH.

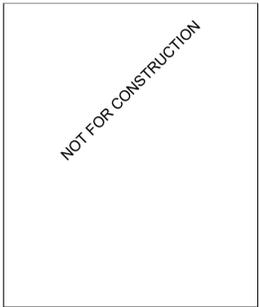
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- 9 REMOVE COLUMN SURROUNDS TO EXPOSE STEEL FOR ASBESTOS ABATEMENT, TYPICAL.
- 10 REMOVE ALL FINISH FLOORS IN THEIR ENTIRETY. PREP SLAB FOR INSTALLATION OF NEW FINISHES AS REQUIRED.
- 11 REMOVE EXISTING CASEWORK AND ALL ASSOCIATED ACCESSORIES.
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- 13 REMOVE CURVED WOOD-LOOK LAMINATE WALL DECORATION IN ITS ENTIRETY TO EXPOSE ORIGINAL TRAVERTINE.
- 14 GC TO RETAIN AND PROTECT ALL HISTORICAL TRAVERTINE WALL CLADDING.
- 15 REMOVE NON-HISTORICAL BLACK TILE WALL BASE AND ALL ADHESIVE.
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01 FIFTH FLOOR DEMOLITION PLAN
1/8" = 1'-0"





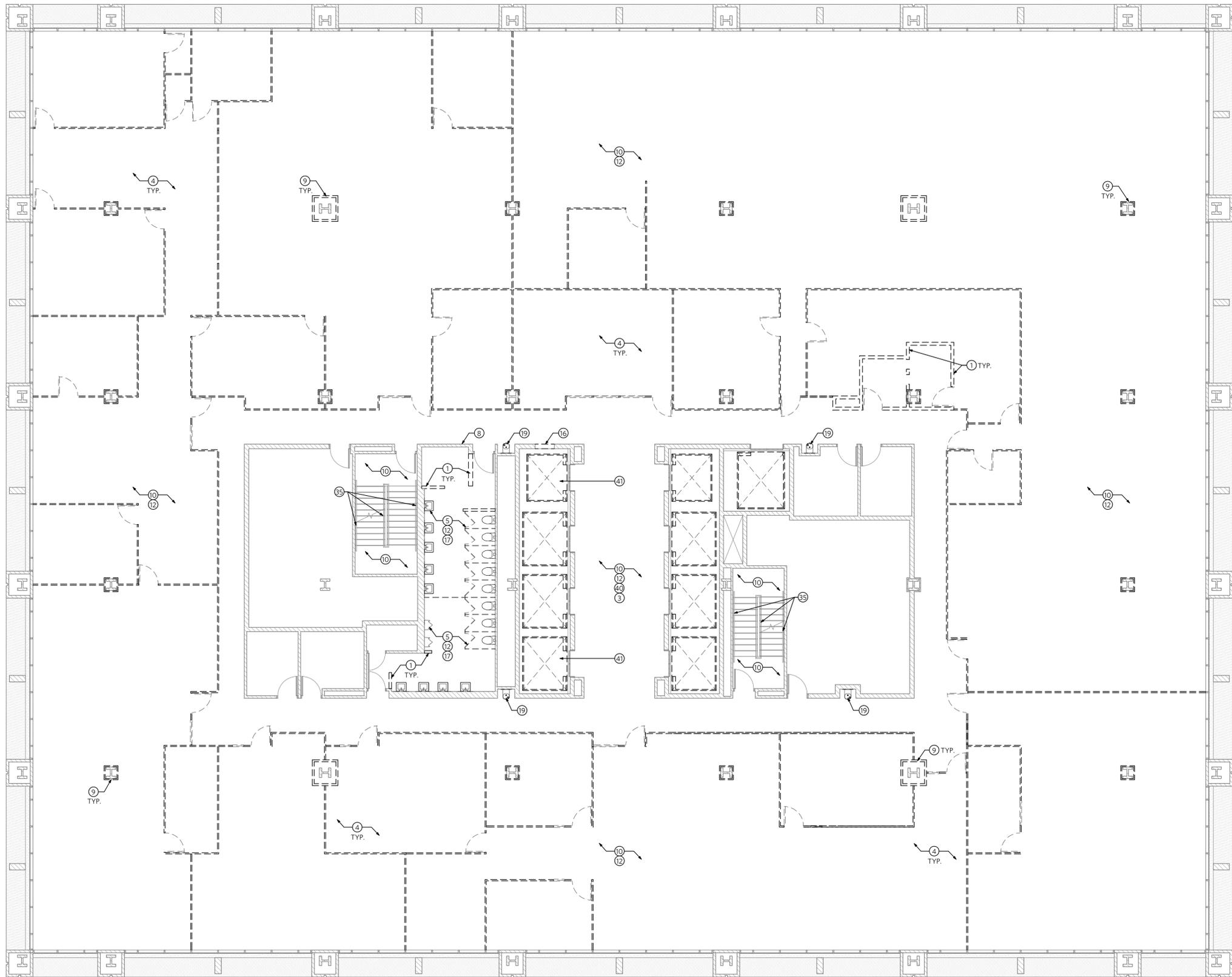
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- 40
- 41



01 SIXTH FLOOR DEMOLITION PLAN
1/8" = 1'-0"





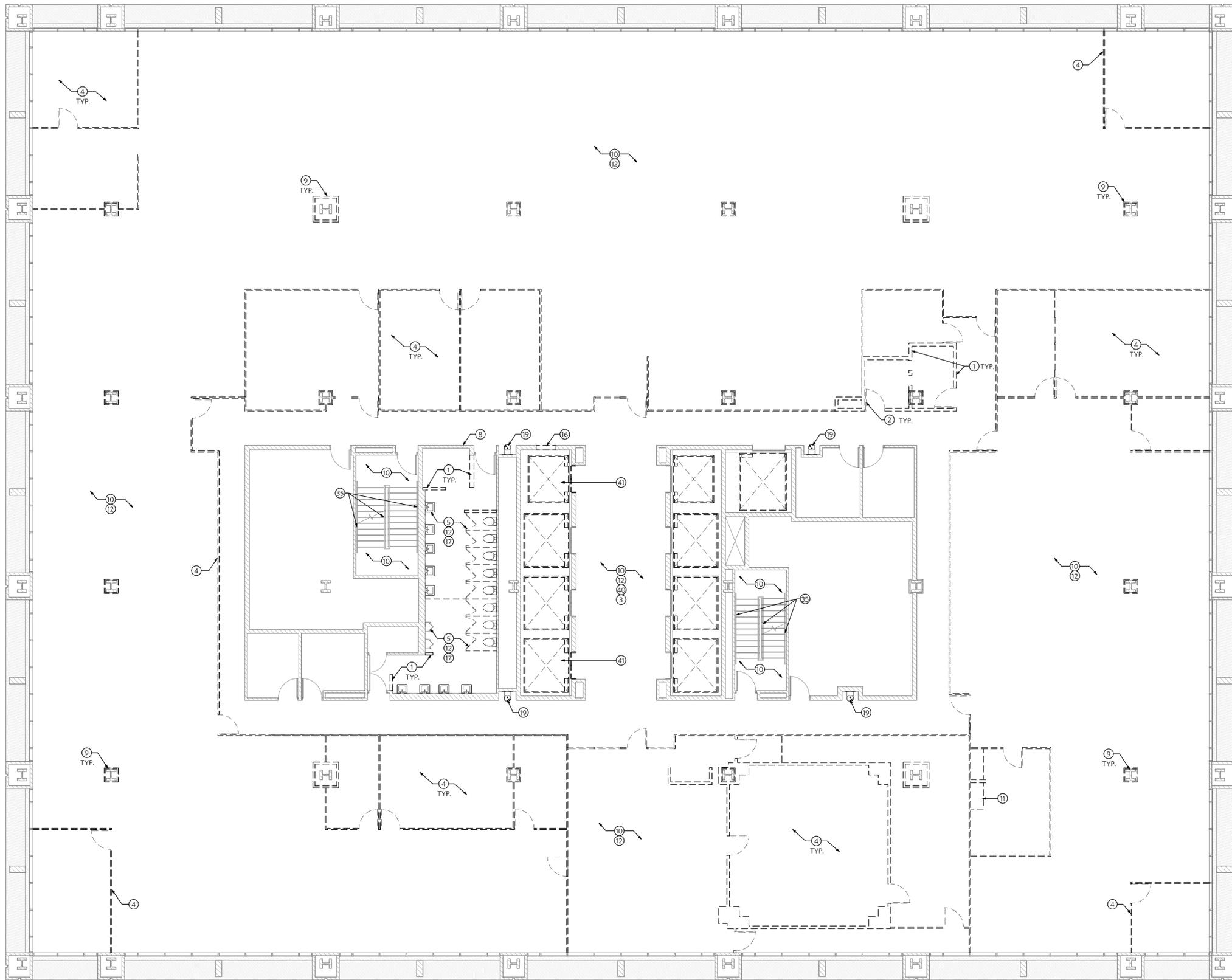
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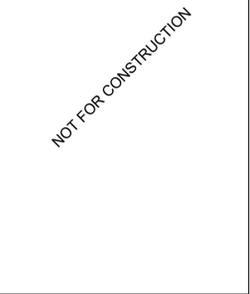
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- 14 GC TO RETAIN AND PROTECT ALL HISTORICAL TRAVERTINE WALL CLADDING.
- 15 REMOVE NON-HISTORICAL BLACK TILE WALL BASE AND ALL ADHESIVE.
- 16 REMOVE EXISTING PARTITION AS REQUIRED BY THE NEW WORK. ENSURE MINIMAL TRAVERTINE IS REMOVED FOR ENTRY DOOR TO TRASH ROOM. SALVAGE ALL REMOVED TRAVERTINE FOR POTENTIAL REUSE.
- 17 REMOVE ALL WALL AND FLOOR TILE IN ITS ENTIRETY.
- 18 REMOVE RAISED FLOOR SYSTEM IN ITS ENTIRETY. PREP SLAB FOR INSTALLATION OF NEW FINISHES AS REQUIRED.
- 19 REMOVE WATER FOUNTAIN. CAP OFF/TERMINATE WATER SUPPLY LINE AS REQUIRED.
- 20 REMOVE EXTERIOR WALL SCONCE. PATCH HOLES WITH COLOR MATCHED CEMENT FILLER. VERIFY WITH ARCHITECT.
- 21 REMOVE AND RETAIN PORTION OF HISTORIC BRICK PAVERS. PREP SALVAGED PAVERS TO BE USED FOR PATCHWORK OF DAMAGED PAVERS ELSEWHERE ON SITE AS REQUIRED.
- 22 REMOVE ALL DRAPERY AND ROLLER SHADE TRACKS IN THEIR ENTIRETY.
- 23 GC TO UNINSTALL AND SALVAGE/PROTECT HISTORICAL WOOD PANELING FOR RELOCATED WALL. WOOD PANELING IS TO BE REINSTALLED.
- 24 REMOVE ALL PLUMBING FIXTURES, CASEWORK, MIRRORS, SHOWER ACCESSORIES AND SHOWER ROOM DOOR.
- 25 GC TO PROTECT AND RETAIN ALL HISTORICAL WOOD PANELING. REVIEW ALL DAMAGED PANELS WITH ARCHITECT AS REQUIRED.
- 26 REMOVE ALL EXISTING, NON-HISTORIC BRICK PAVERS IN FRONT OF ENTRY VESTIBULE.
- 27 REMOVE ALL 12X12 TEXTURED CEILING TILES AND CAN LIGHTING IN THEIR ENTIRETY.
- 28 REMOVE EXISTING PRECAST CONCRETE PANELS AND WALL STRUCTURE ENTIRELY. PREP AREA FOR INSTALLATION OF NEW STOREFRONT SYSTEM TO MATCH EXISTING. SHORE PER STRUCTURAL.
- 29 REMOVE EXISTING WALK-IN COOLER/FREEZER AND ALL ASSOCIATED MEP EQUIPMENT.
- 30 REMOVE EXISTING MECHANICAL EQUIPMENT AND ALL ASSOCIATED COMPONENTS IN THEIR ENTIRETY.
- 31 REMOVE EXISTING MECHANICAL LEUVERS. PREP EXISTING STOREFRONT FRAME AS REQUIRED FOR INSTALLATION OF NEW GLAZING PANEL.
- 32 REMOVE EXISTING STOREFRONT INFILL PANELS. PATCH/REPAIR EXISTING FRAME AS REQUIRED.
- 33 REMOVE EXISTING STOREFRONT GLAZED PANEL AND MODIFY FRAME AS REQUIRED FOR INSTALLATION OF NEW DOOR AND HARDWARE.
- 34 REMOVE EXISTING PRECAST CONCRETE PANELS AND WALL STRUCTURE AS REQUIRED FOR NEW RECESSED WINDOW. REFER TO SECTION DETAILS FOR FULL EXTENT OF DEMOLITION. PROTECT ADJACENT PRECAST CONCRETE PANELS, WHICH ARE TO REMAIN, DURING CONSTRUCTION.
- 35 REMOVE LEAD-BASED PAINT FROM EXISTING RAILINGS AND PREP SURFACES FOR NEW PAINT FINISH.
- 36 GC TO CONFIRM IF EXISTING SNOW MELT SYSTEM IS STILL FUNCTIONING PROPERLY. IF NOT, REMOVE AND RETAIN EXISTING BRICK PAVERS AS REQUIRED FOR THE REMOVAL AND REPLACEMENT OF THE EXISTING SNOW MELT SYSTEM. PREP REMOVED PAVERS FOR RE-INSTALLATION.
- 37 REMOVE EXISTING LIGHT POLE. PROVIDE NEW LED FIXTURE.
- 38 REMOVE EXISTING LOCKERS AND ALL ASSOCIATED ACCESSORIES.
- 39 GC TO PROTECT AND RETAIN ALL HISTORICAL WOOD CASEWORK. REVIEW ALL DAMAGED CASEWORK WITH ARCHITECT.
- 40 GC TO RETAIN AND PROTECT CIRCULAR ELEVATOR INDICATORS AND CHROME ELEVATOR DOORS.
- 41 REMOVE EXISTING ELEVATOR/DUMBWAITER/LIFT AND ALL ASSOCIATED COMPONENTS IN THEIR ENTIRETY. PREP AREA AS REQUIRED FOR SLAB INFILL ELEVATOR DOORS TO REMAIN AND SECURED SHUT FROM SHAFT SIDE.



01 SEVENTH FLOOR DEMOLITION PLAN
1/8" = 1'-0"





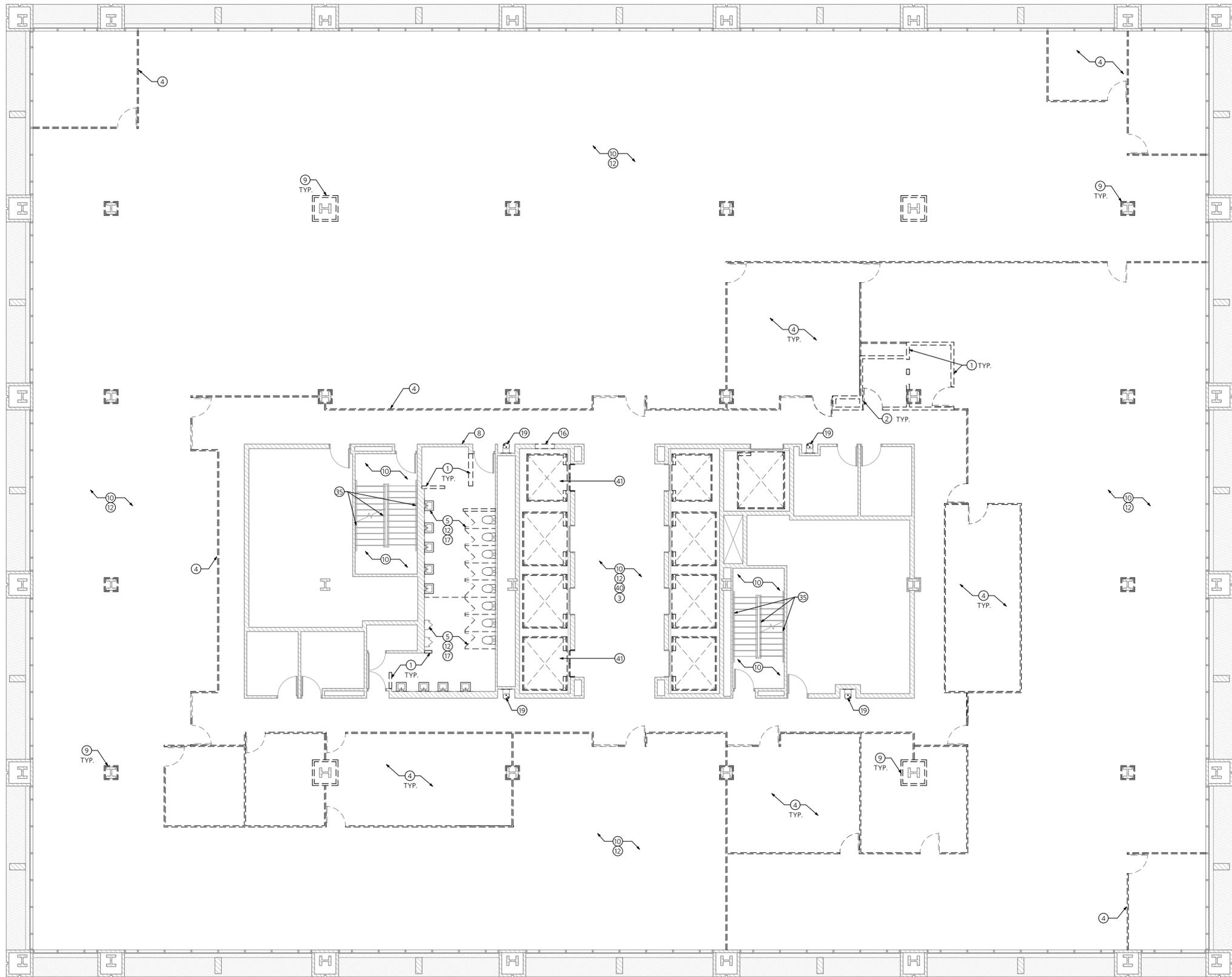
REV	ISSUE	DATE
	REVISED PART 2 SUBMISSION	2021.12.13
	KCMO PLANNING DEVELOPMENT SUBMISSION	2022.05.25

GENERAL DEMOLITION NOTES

- A. ITEMS TO BE REMOVED ARE SHOWN WITH A DASHED (HIDDEN) LINE.
- B. ALL DIMENSIONS ARE +/- FIELD VERIFY.
- C. WALLS & STRUCTURE NOTED TO REMAIN SHALL BE BRACED & SUPPORTED AS NECESSARY DURING DEMO & UNTIL NEW CONSTRUCTION IS IN PLACE.
- D. PROTECT EXISTING CONSTRUCTION AND FINISHES TO REMAIN FROM DAMAGE DURING DEMOLITION.
- E. GENERAL CONTRACTOR SHALL PRESERVE OR PROVIDE ALTERNATIVE ROUTES FOR EMERGENCY EGRESS DURING ALL PHASES OF CONSTRUCTION FOR ALL BUILDING OCCUPANTS.
- F. REPAIR SURFACES ADJACENT TO DEMOLITION AREAS AS REQUIRED TO MATCH ADJACENT FINISHES.
- G. COORDINATE DEMOLITION WORK WITH NEW WORK.
- H. REF. MECHANICAL, ELECTRICAL & PLUMBING FOR EXTENT OF RELATED DEMOLITION. REPAIR ALL WALLS/FLOOR/CEILING PENETRATIONS WHERE DEVICES/EQUIPMENT, ETC. WAS REMOVED. MATCH ADJ. FINISH & MATERIAL.
- I. REF. STRUCTURAL FOR RELATED DEMOLITION.
- J. WHEN REPLACING SURFACE TO MATCH ADJACENT, MAKE NEW SURFACE FLUSH WITH ADJACENT UNLESS NOTED OTHERWISE.
- K. SOME NEW CONSTRUCTION WILL REQUIRE REMOVAL/CUTTING AND ADDITIONAL DEMO WORK NOT SHOWN ON DEMO SHEETS. REF. ENTIRE SET FOR COMPLETE DEMOLITION SCOPE.
- L. FIELD VERIFY EXTENT OF DEMOLISHED ITEMS BEFORE BIDDING.
- M. DEMOLISH WALLS & DOORS SHOWN AS DASHED. CONSULT ARCHITECT FOR ANY DISCREPANCIES OR QUESTIONS.
- N. WALLS, SLABS, CEILINGS, ETC. WITHIN RENOVATION AREAS NOT CALLED FOR DEMOLITION SHALL BE PATCHED & REPAIRED TO MATCH ADJACENT SURFACES & FINISHES. TYP. PRIOR TO FINISHING AS SCHEDULED.
- O. IF ITEMS ARE SUSPECT OF CONTAINING HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB; IMMEDIATELY NOTIFY THE ARCHITECT AND OWNER. HAZARDOUS MATERIALS INCLUDE BUT ARE NOT LIMITED TO ASBESTOS, AND LEAD PAINT. HAZARDOUS MATERIALS TO BE REMOVED UNDER SEPARATE CONTRACT.
- P. DO NOT ALLOW MATERIALS AND DEBRIS GENERATED BY DEMOLITION ACTIVITIES TO ACCUMULATE ON THE JOB SITE. REMOVE DAILY AND DISPOSE OF IN A LEGAL MANNER. NO ON SITE SALE OR BURNING OF REMOVED ITEMS IS PERMITTED. IF REQUIRED CLOSE OFF EXISTING SUPPLY/RETURN PIPES FEEDING EXISTING ROOMS TO PREVENT DUST/DEBRIS ENTRY.
- Q. THE CONTRACTOR MUST MAINTAIN ADEQUATE INSULATION, WATERPROOFING, EMERGENCY LIGHTING, SECURITY, ALARMS, ETC. THROUGHOUT DURATION OF DEMOLITION.
- R. LOCATE, IDENTIFY, DISCONNECT, AND SEAL OR CAP OFF INDICATED UTILITY SERVICES AND MECHANICAL/ELECTRICAL SYSTEMS SERVING AREAS TO BE SELECTIVELY DEMOLISHED.
- S. EXISTING FIRE SUPPRESSION TO REMAIN AND BE MODIFIED PER NEW DESIGN, U.N.O.
- T. THIS PLAN IS TO BE USED IN CONJUNCTION WITH THE ENTIRE SET OF CONSTRUCTION DRAWINGS. DO NOT REMOVE ANY ITEMS WITHOUT VERIFYING AND COORDINATING WITH ALL GENERAL TRADES AS TO HOW THEY RELATE TO THE OVERALL PROJECT.
- U. IF ANY FLOOR FINISHES OR CEILING FINISHES ARE DISCOVERED UNDER EXISTING FINISHES, DEMO MUST CEASE IMMEDIATELY AND ARCHITECT, OWNER AND HISTORICAL CONSULTANT ALERTED FOR REVIEW OF FINISH.

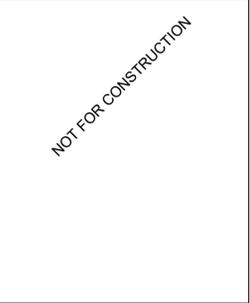
DEMOLITION KEYNOTES

- 1 REMOVE EXISTING PARTITION AS REQUIRED BY NEW WORK, INCLUDING ANY EXISTING DOOR, FRAME AND ASSOCIATED HARDWARE. SHORE ANY BEARING WALLS AS REQUIRED.
- 2 REMOVE EXISTING DOOR, FRAME AND ASSOCIATED HARDWARE.
- 3 REMOVE EXISTING ELEVATOR/DUMBWAITER/LIFT AND ALL ASSOCIATED COMPONENTS IN THEIR ENTIRETY. ELEVATOR DOORS TO REMAIN.
- 4 REMOVE EXISTING DEMOUNTABLE PARTITIONS AND ASSOCIATED DOORS, HARDWARE GLAZING, ETC.
- 5 REMOVE EXISTING TOILET PARTITIONS AND ALL PLUMBING FIXTURES, PIPING, ETC. CAP OFF/TERMINATE WATER SUPPLY LINES NOT USED FOR NEW WORK.
- 6 REMOVE EXISTING STOREFRONT GLAZING, DOORS AND ASSOCIATED HARDWARE.
- 7 REMOVE EXISTING COUNTERTOPS, CABINETRY, SINKS, EQUIPMENT, PIPING, ETC. CAP OFF WATER AND GAS LINES AS REQUIRED.
- 8 EXISTING MAIL CHUTE TO REMAIN. PROTECT DURING CONSTRUCTION.
- 9 REMOVE COLUMN SURROUNDS TO EXPOSE STEEL FOR ASBESTOS ABATEMENT, TYPICAL.
- 10 REMOVE ALL FINISH FLOORS IN THEIR ENTIRETY. PREP SLAB FOR INSTALLATION OF NEW FINISHES AS REQUIRED.
- 11 REMOVE EXISTING CASEWORK AND ALL ASSOCIATED ACCESSORIES.
- 12 REMOVE EXISTING CEILING AS REQUIRED FOR ASBESTOS ABATEMENT. SALVAGE ALL TYPICAL TROUGH LIGHTING, CEILING TILE, GRID SYSTEM, AND HISTORIC CEILING MOUNTED CLOCKS FOR REUSE. REFER TO RCP SHEETS A150s FOR FINAL LAYOUT.
- 13 REMOVE CURVED WOOD-LOOK LAMINATE WALL DECORATION IN ITS ENTIRETY TO EXPOSE ORIGINAL TRAVERTINE.
- 14 GC TO RETAIN AND PROTECT ALL HISTORICAL TRAVERTINE WALL CLADDING.
- 15 REMOVE NON-HISTORICAL BLACK TILE WALL BASE AND ALL ADHESIVE.
- 16 REMOVE EXISTING PARTITION AS REQUIRED BY THE NEW WORK. ENSURE MINIMAL TRAVERTINE IS REMOVED FOR ENTRY DOOR TO TRASH ROOM. SALVAGE ALL REMOVED TRAVERTINE FOR POTENTIAL REUSE.
- 17 REMOVE ALL WALL AND FLOOR TILE IN ITS ENTIRETY.
- 18 REMOVE RAISED FLOOR SYSTEM IN ITS ENTIRETY. PREP SLAB FOR INSTALLATION OF NEW FINISHES AS REQUIRED.
- 19 REMOVE WATER FOUNTAIN. CAP OFF/TERMINATE WATER SUPPLY LINE AS REQUIRED.
- 20 REMOVE EXTERIOR WALL SCONCE. PATCH HOLES WITH COLOR MATCHED CEMENT FILLER. VERIFY WITH ARCHITECT.
- 21 REMOVE AND RETAIN PORTION OF HISTORIC BRICK PAVERS. PREP SALVAGED PAVERS TO BE USED FOR PATCHWORK OF DAMAGED PAVERS ELSEWHERE ON SITE AS REQUIRED.
- 22 REMOVE ALL DRAPERY AND ROLLER SHADE TRACKS IN THEIR ENTIRETY.
- 23 GC TO UNINSTALL AND SALVAGE/PROTECT HISTORICAL WOOD PANELING FOR RELOCATED WALL. WOOD PANELING IS TO BE REINSTALLED.
- 24 REMOVE ALL PLUMBING FIXTURES, CASEWORK, MIRRORS, SHOWER ACCESSORIES AND SHOWER ROOM DOOR.
- 25 GC TO PROTECT AND RETAIN ALL HISTORICAL WOOD PANELING. REVIEW ALL DAMAGED PANELS WITH ARCHITECT AS REQUIRED.
- 26 REMOVE ALL EXISTING, NON-HISTORIC BRICK PAVERS IN FRONT OF ENTRY VESTIBULE.
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- 31 REMOVE EXISTING MECHANICAL LEUVERS. PREP EXISTING STOREFRONT FRAME AS REQUIRED FOR INSTALLATION OF NEW GLAZING PANEL.
- 32 REMOVE EXISTING STOREFRONT INFILL PANELS. PATCH/REPAIR EXISTING FRAME AS REQUIRED.
- 33 REMOVE EXISTING STOREFRONT GLAZED PANEL AND MODIFY FRAME AS REQUIRED FOR INSTALLATION OF NEW DOOR AND HARDWARE.
- 34 REMOVE EXISTING PRECAST CONCRETE PANELS AND WALL STRUCTURE AS REQUIRED FOR NEW RECESSED WINDOW. REFER TO SECTION DETAILS FOR FULL EXTENT OF DEMOLITION. PROTECT ADJACENT PRECAST CONCRETE PANELS, WHICH ARE TO REMAIN, DURING CONSTRUCTION.
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- 36 GC TO CONFIRM IF EXISTING SNOW MELT SYSTEM IS STILL FUNCTIONING PROPERLY. IF NOT, REMOVE AND RETAIN EXISTING BRICK PAVERS AS REQUIRED FOR THE REMOVAL AND REPLACEMENT OF THE EXISTING SNOW MELT SYSTEM. PREP REMOVED PAVERS FOR RE-INSTALLATION.
- 37 REMOVE EXISTING LIGHT POLE. PROVIDE NEW LED FIXTURE.
- 38 REMOVE EXISTING LOCKERS AND ALL ASSOCIATED ACCESSORIES.
- 39 GC TO PROTECT AND RETAIN ALL HISTORICAL WOOD CASEWORK. REVIEW ALL DAMAGED CASEWORK WITH ARCHITECT.
- 40 GC TO RETAIN AND PROTECT CIRCULAR ELEVATOR INDICATORS AND CHROME ELEVATOR DOORS.
- 41 REMOVE EXISTING ELEVATOR/DUMBWAITER/LIFT AND ALL ASSOCIATED COMPONENTS IN THEIR ENTIRETY. PREP AREA AS REQUIRED FOR SLAB INFILL. ELEVATOR DOORS TO REMAIN AND SECURED SHUT FROM SHAFT SIDE.



01 | EIGHTH FLOOR DEMOLITION PLAN
1/8" = 1'-0"





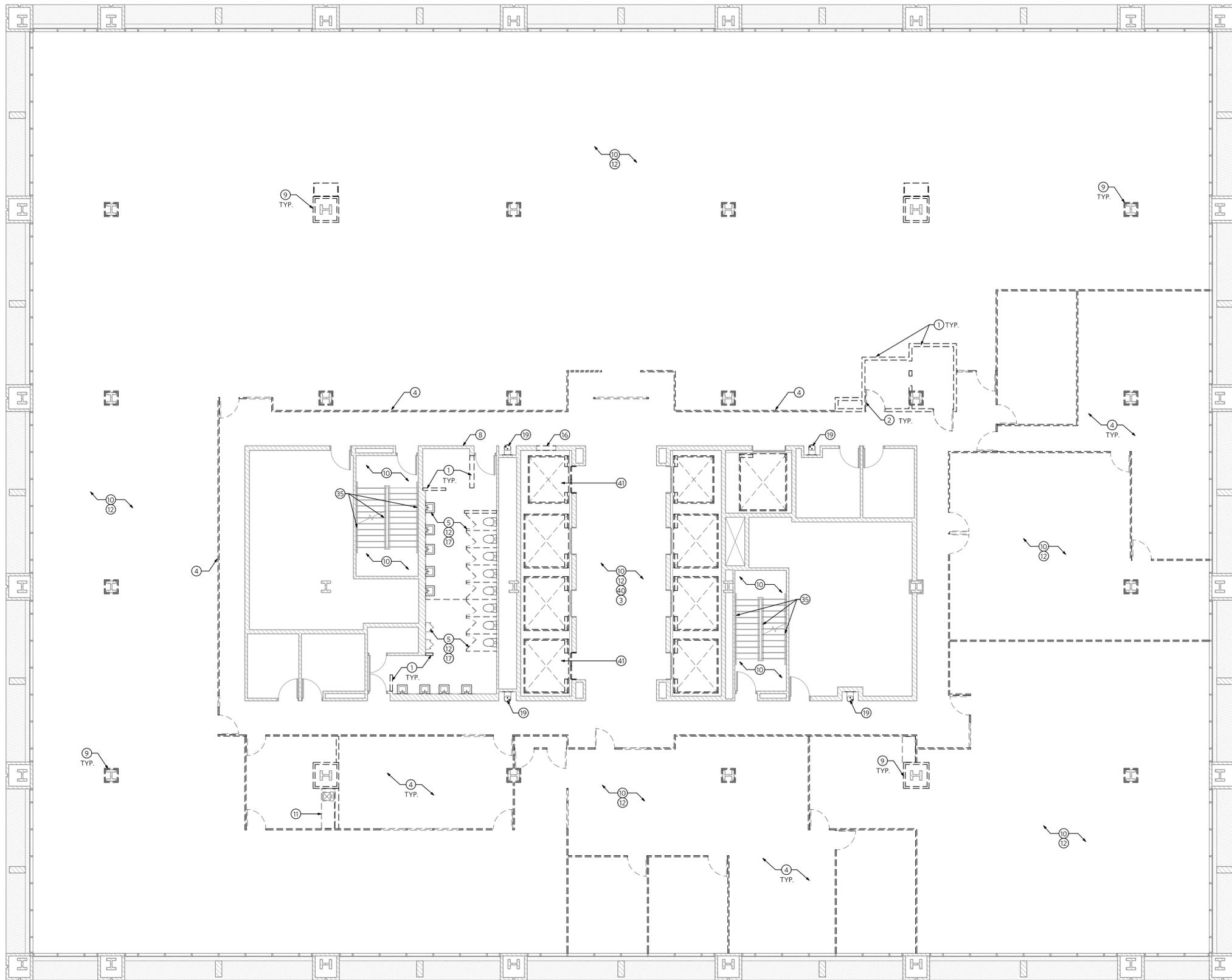
REV	ISSUE	DATE
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	KCMO PLANNING DEVELOPMENT SUBMISSION	2022.05.25

GENERAL DEMOLITION NOTES

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- B. ALL DIMENSIONS ARE +/- FIELD VERIFY.
- C. WALLS & STRUCTURE NOTED TO REMAIN SHALL BE BRACED & SUPPORTED AS NECESSARY DURING DEMO & UNTIL NEW CONSTRUCTION IS IN PLACE.
- D. PROTECT EXISTING CONSTRUCTION AND FINISHES TO REMAIN FROM DAMAGE DURING DEMOLITION.
- E. GENERAL CONTRACTOR SHALL PRESERVE OR PROVIDE ALTERNATIVE ROUTES FOR EMERGENCY EGRESS DURING ALL PHASES OF CONSTRUCTION FOR ALL BUILDING OCCUPANTS.
- F. REPAIR SURFACES ADJACENT TO DEMOLITION AREAS AS REQUIRED TO MATCH ADJACENT FINISHES.
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- H. REF. MECHANICAL, ELECTRICAL & PLUMBING FOR EXTENT OF RELATED DEMOLITION. REPAIR ALL WALLS/FLOOR/CEILING PENETRATIONS WHERE DEVICES/EQUIPMENT, ETC. WAS REMOVED. MATCH ADJ. FINISH & MATERIAL. REF. STRUCTURAL FOR RELATED DEMOLITION.
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- K. FIELD VERIFY EXTENT OF DEMOLISHED ITEMS BEFORE BIDDING.
- L. DEMOLISH WALLS & DOORS SHOWN AS DASHED. CONSULT ARCHITECT FOR ANY DISCREPANCIES OR QUESTIONS.
- M. WALLS, SLABS, CEILINGS, ETC. WITHIN RENOVATION AREAS NOT CALLED FOR DEMOLITION SHALL BE PATCHED & REPAIRED TO MATCH ADJACENT SURFACES & FINISHES, TYP. PRIOR TO FINISHING AS SCHEDULED.
- N. IF ITEMS ARE SUSPECT OF CONTAINING HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB; IMMEDIATELY NOTIFY THE ARCHITECT AND OWNER. HAZARDOUS MATERIALS INCLUDE BUT ARE NOT LIMITED TO ASBESTOS, AND LEAD PAINT. HAZARDOUS MATERIALS TO BE REMOVED UNDER SEPARATE CONTRACT.
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- P. THE CONTRACTOR MUST MAINTAIN ADEQUATE INSULATION, WATERPROOFING, EMERGENCY LIGHTING, SECURITY, ALARMS, ETC. THROUGHOUT DURATION OF DEMOLITION.
- Q. LOCATE, IDENTIFY, DISCONNECT, AND SEAL OR CAP OFF INDICATED UTILITY SERVICES AND MECHANICAL/ELECTRICAL SYSTEMS SERVING AREAS TO BE SELECTIVELY DEMOLISHED.
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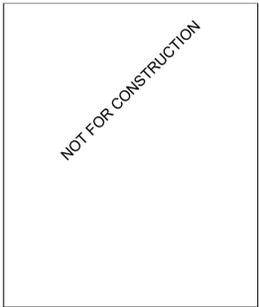
DEMOLITION KEYNOTES

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- 4 REMOVE EXISTING DEMOUNTABLE PARTITIONS AND ASSOCIATED DOORS, HARDWARE GLAZING, ETC.
- 5 REMOVE EXISTING TOILET PARTITIONS AND ALL PLUMBING FIXTURES, PIPING, ETC. CAP OFF/TERMINATE WATER SUPPLY LINES NOT USED FOR NEW WORK.
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- 25 GC TO PROTECT AND RETAIN ALL HISTORICAL WOOD PANELING. REVIEW ALL DAMAGED PANELS WITH ARCHITECT AS REQUIRED.
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01 NINTH FLOOR DEMOLITION PLAN
1/8" = 1'-0"





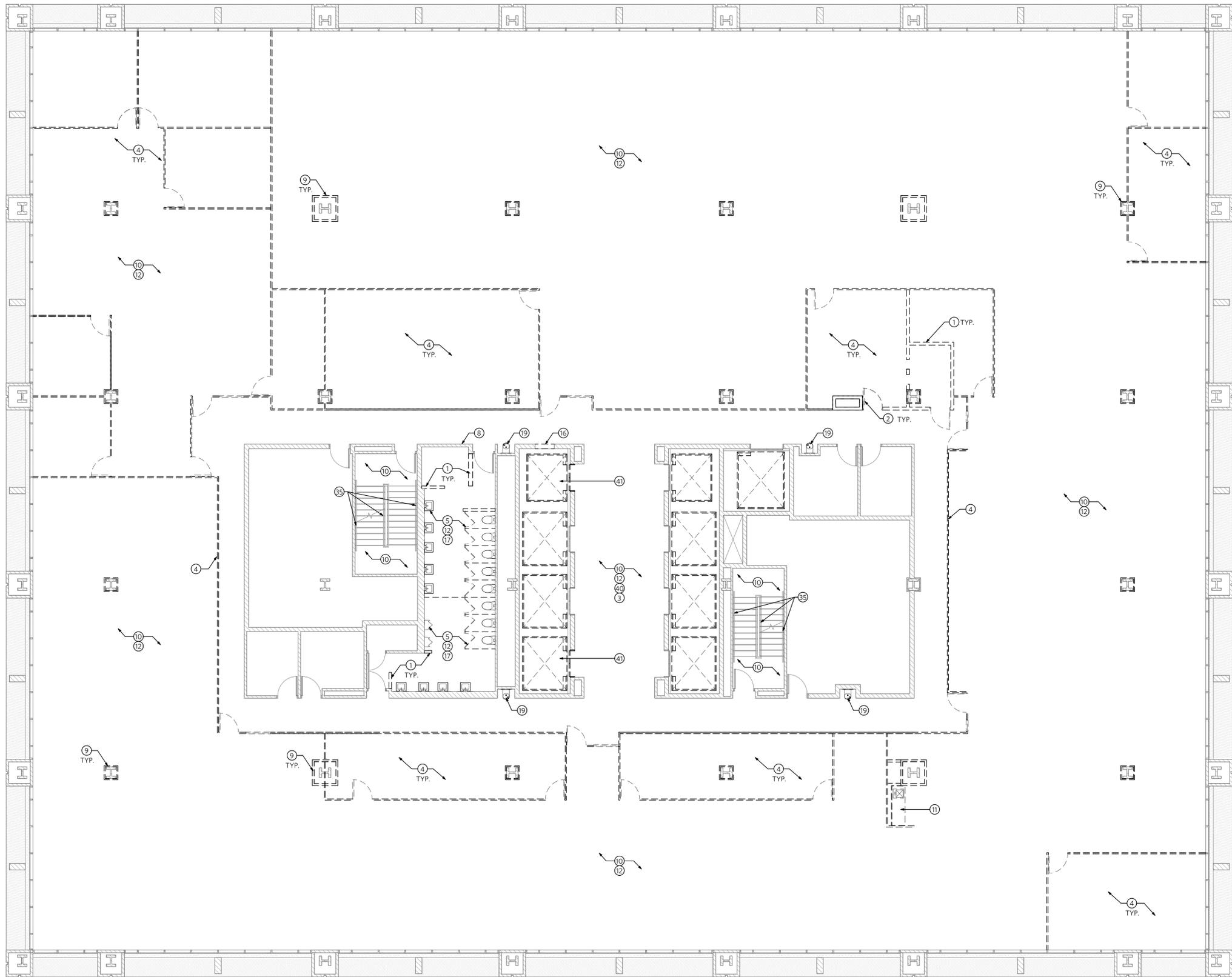
REV	ISSUE	DATE
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GENERAL DEMOLITION NOTES

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- F. REPAIR SURFACES ADJACENT TO DEMOLITION AREAS AS REQUIRED TO MATCH ADJACENT FINISHES.
- G. COORDINATE DEMOLITION WORK WITH NEW WORK.
- H. REF. MECHANICAL, ELECTRICAL & PLUMBING FOR EXTENT OF RELATED DEMOLITION. REPAIR ALL WALLS/FLOOR/CEILING PENETRATIONS WHERE DEVICES/EQUIPMENT, ETC. WAS REMOVED. MATCH ADJ. FINISH & MATERIAL.
- I. REF. STRUCTURAL FOR RELATED DEMOLITION.
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- Q. THE CONTRACTOR MUST MAINTAIN ADEQUATE INSULATION, WATERPROOFING, EMERGENCY LIGHTING, SECURITY, ALARMS, ETC. THROUGHOUT DURATION OF DEMOLITION.
- R. LOCATE, IDENTIFY, DISCONNECT, AND SEAL OR CAP OFF INDICATED UTILITY SERVICES AND MECHANICAL/ELECTRICAL SYSTEMS SERVING AREAS TO BE SELECTIVELY DEMOLISHED.
- S. EXISTING FIRE SUPPRESSION TO REMAIN AND BE MODIFIED PER NEW DESIGN, U.N.O.
- T. THIS PLAN IS TO BE USED IN CONJUNCTION WITH THE ENTIRE SET OF CONSTRUCTION DRAWINGS. DO NOT REMOVE ANY ITEMS WITHOUT VERIFYING AND COORDINATING WITH ALL GENERAL TRADES AS TO HOW THEY RELATE TO THE OVERALL PROJECT.
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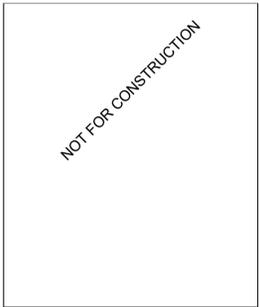
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- 15 REMOVE NON-HISTORICAL BLACK TILE WALL BASE AND ALL ADHESIVE.
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01 TENTH FLOOR DEMOLITION PLAN
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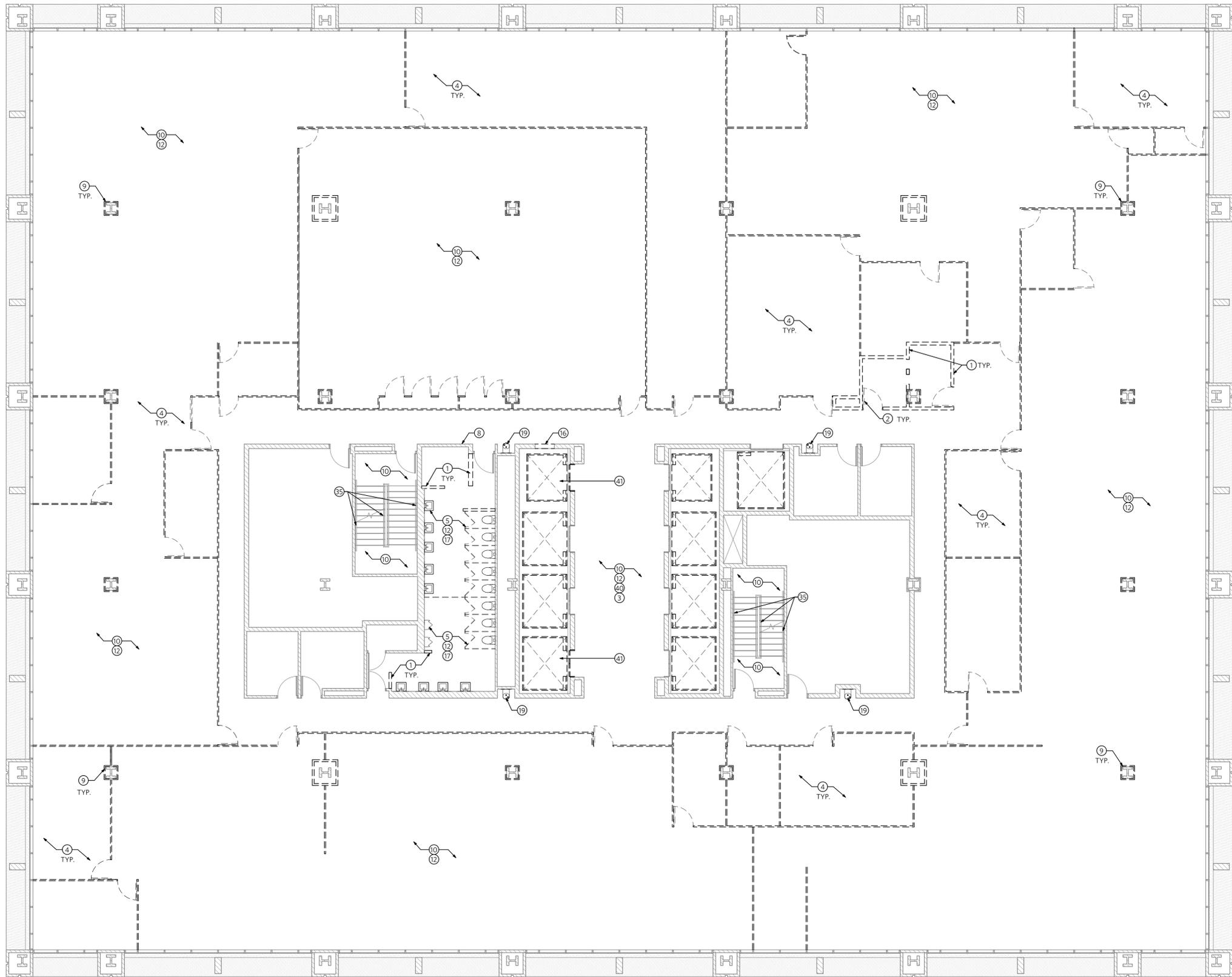
REV	ISSUE	DATE
	REVISION PART 2 SUBMISSION	2021 12 13
	KCMO PLANNING DEVELOPMENT SUBMISSION	2022 05 25

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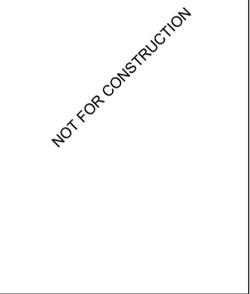
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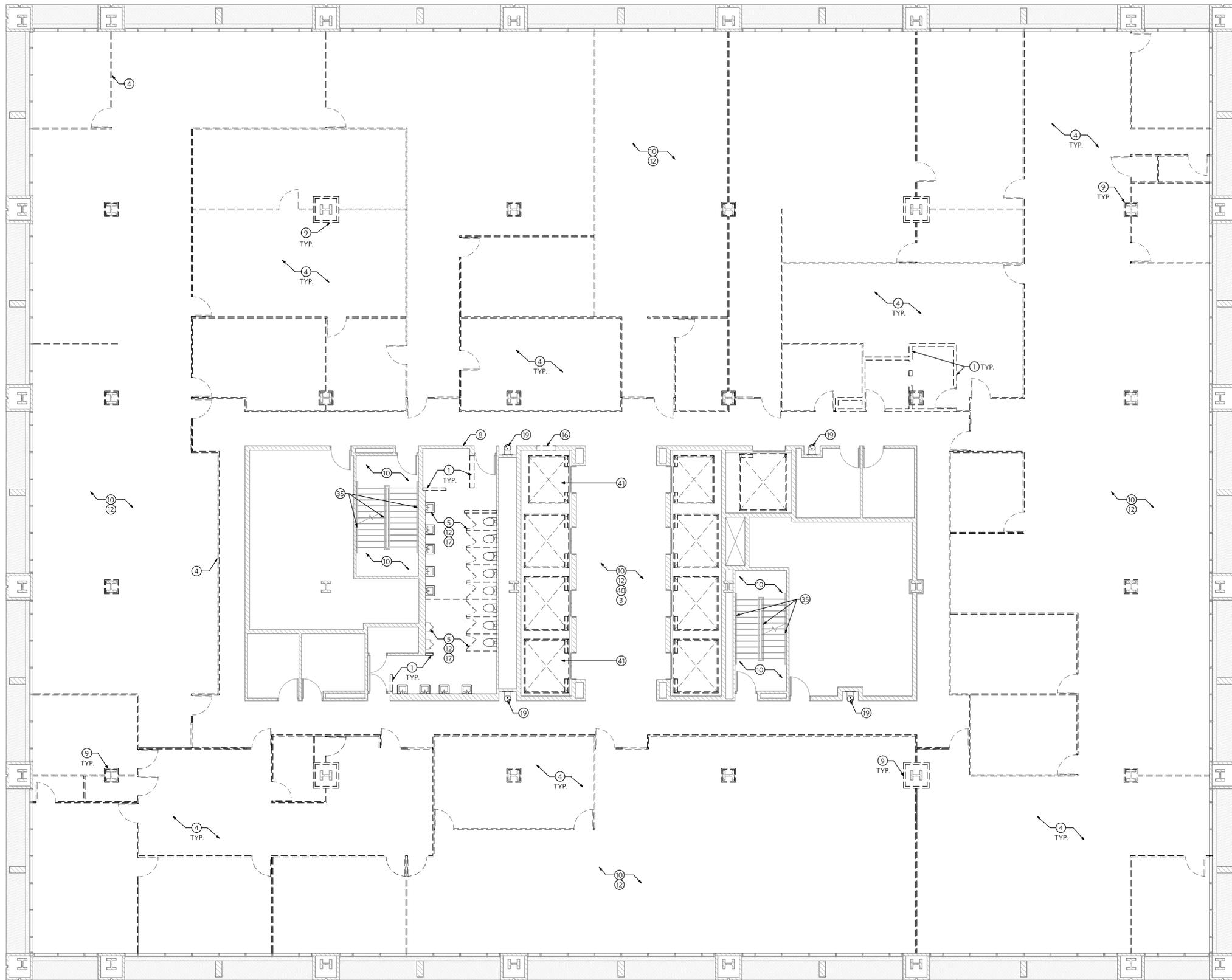
REV	ISSUE	DATE
	REVISED PART 2 SUBMISSION	2021.12.13
	KCMO PLANNING DEVELOPMENT SUBMISSION	2022.05.25

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- 39 GC TO PROTECT AND RETAIN ALL HISTORICAL WOOD CASEWORK. REVIEW ALL DAMAGED CASEWORK WITH ARCHITECT.
- 40 GC TO RETAIN AND PROTECT CIRCULAR ELEVATOR INDICATORS AND CHROME ELEVATOR DOORS.
- 41 REMOVE EXISTING ELEVATOR/DUMBWAITER/LIFT AND ALL ASSOCIATED COMPONENTS IN THEIR ENTIRETY. PREP AREA AS REQUIRED FOR SLAB INFILL ELEVATOR DOORS TO REMAIN AND SECURED SHUT FROM SHAFT SIDE.



01 TWELFTH FLOOR DEMOLITION PLAN
1/8" = 1'-0"





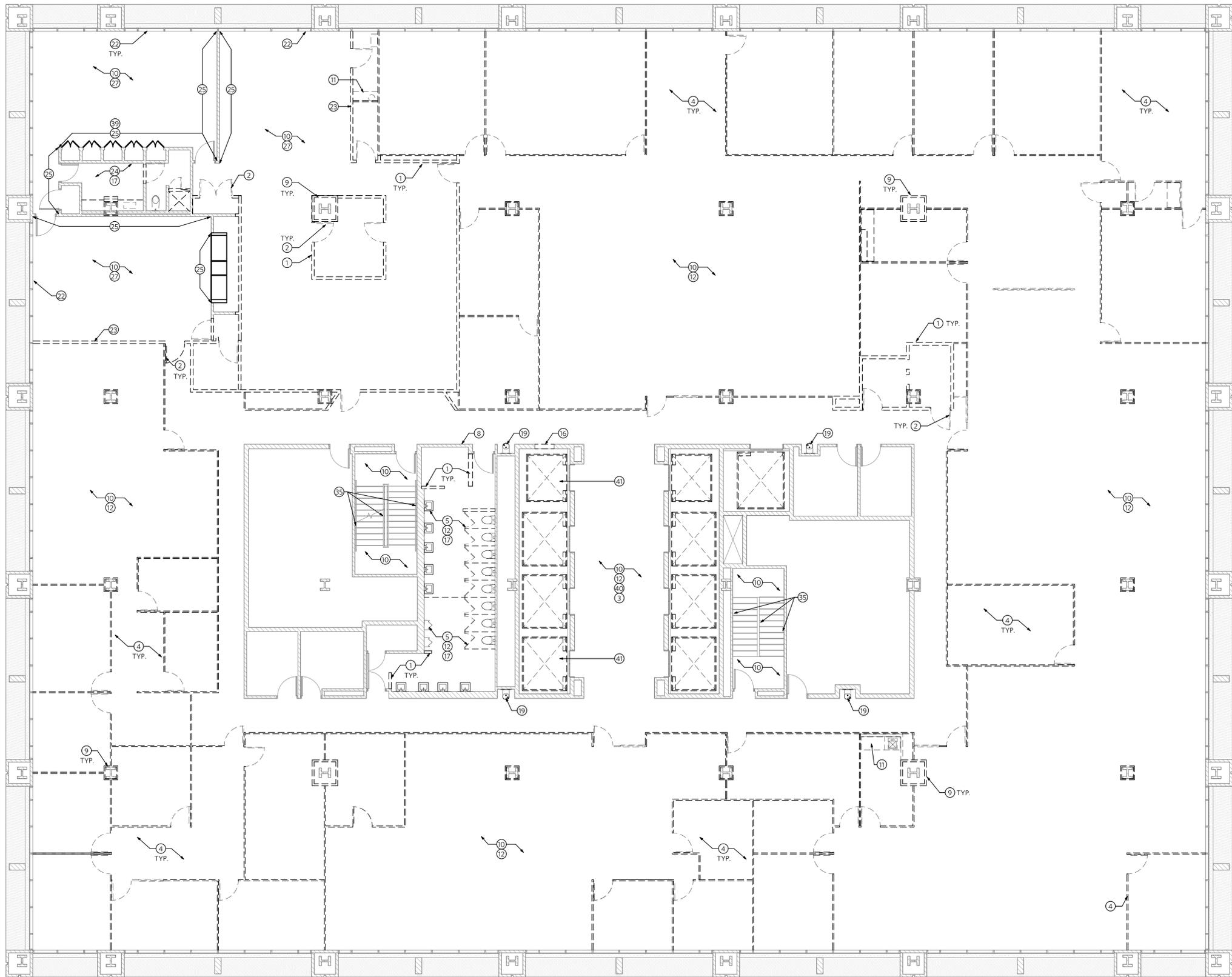
REV	ISSUE	DATE
	REVISED PART 2 SUBMISSION	2021.12.13
	KCMO PLANNING DEVELOPMENT SUBMISSION	2022.05.25

GENERAL DEMOLITION NOTES

- A. ITEMS TO BE REMOVED ARE SHOWN WITH A DASHED (HIDDEN) LINE.
- B. ALL DIMENSIONS ARE 1/2" FIELD VERIFY.
- C. WALLS & STRUCTURE NOTED TO REMAIN SHALL BE BRACED & SUPPORTED AS NECESSARY DURING DEMO & UNTIL NEW CONSTRUCTION IS IN PLACE.
- D. PROTECT EXISTING CONSTRUCTION AND FINISHES TO REMAIN FROM DAMAGE DURING DEMOLITION.
- E. GENERAL CONTRACTOR SHALL PRESERVE OR PROVIDE ALTERNATIVE ROUTES FOR EMERGENCY EGRESS DURING ALL PHASES OF CONSTRUCTION FOR ALL BUILDING OCCUPANTS.
- F. REPAIR SURFACES ADJACENT TO DEMOLITION AREAS AS REQUIRED TO MATCH ADJACENT FINISHES.
- G. COORDINATE DEMOLITION WORK WITH NEW WORK.
- H. REF. MECHANICAL, ELECTRICAL & PLUMBING FOR EXTENT OF RELATED DEMOLITION. REPAIR ALL WALLS/FLOOR/CEILING PENETRATIONS WHERE DEVICES/EQUIPMENT, ETC. WAS REMOVED. MATCH ADJ. FINISH & MATERIAL. REF. STRUCTURAL FOR RELATED DEMOLITION.
- I. WHEN REPLACING SURFACE TO MATCH ADJACENT, MAKE NEW SURFACE FLUSH WITH ADJACENT UNLESS NOTED OTHERWISE.
- J. SOME NEW CONSTRUCTION WILL REQUIRE REMOVAL/CUTTING AND ADDITIONAL DEMO WORK NOT SHOWN ON DEMO SHEETS. REF. ENTIRE SET FOR COMPLETE DEMOLITION SCOPE.
- K. FIELD VERIFY EXTENT OF DEMOLISHED ITEMS BEFORE BIDDING.
- L. DEMOLISH WALLS & DOORS SHOWN AS DASHED. CONSULT ARCHITECT FOR ANY DISCREPANCIES OR QUESTIONS.
- N. WALLS, SLABS, CEILINGS, ETC. WITHIN RENOVATION AREAS NOT CALLED FOR DEMOLITION SHALL BE PATCHED & REPAIRED TO MATCH ADJACENT SURFACES & FINISHES. TYP. PRIOR TO FINISHING AS SCHEDULED.
- O. IF ITEMS ARE SUSPECT OF CONTAINING HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB; IMMEDIATELY NOTIFY THE ARCHITECT AND OWNER. HAZARDOUS MATERIALS INCLUDE BUT ARE NOT LIMITED TO ASBESTOS, AND LEAD PAINT. HAZARDOUS MATERIALS TO BE REMOVED UNDER SEPARATE CONTRACT.
- P. DO NOT ALLOW MATERIALS AND DEBRIS GENERATED BY DEMOLITION ACTIVITIES TO ACCUMULATE ON THE JOB SITE. REMOVE DAILY AND DISPOSE OF IN A LEGAL MANNER. NO ON SITE SALE OR BURNING OF REMOVED ITEMS IS PERMITTED. IF REQUIRED CLOSE OFF EXISTING SUPPLY/RETURN PIPES FEEDING EXISTING ROOMS TO PREVENT DUST/DEBRIS ENTRY.
- Q. THE CONTRACTOR MUST MAINTAIN ADEQUATE INSULATION, WATERPROOFING, EMERGENCY LIGHTING, SECURITY, ALARMS, ETC. THROUGHOUT DURATION OF DEMOLITION.
- R. LOCATE, IDENTIFY, DISCONNECT, AND SEAL OR CAP OFF INDICATED UTILITY SERVICES AND MECHANICAL/ELECTRICAL SYSTEMS SERVING AREAS TO BE SELECTIVELY DEMOLISHED.
- S. EXISTING FIRE SUPPRESSION TO REMAIN AND BE MODIFIED PER NEW DESIGN, U.N.O.
- T. THIS PLAN IS TO BE USED IN CONJUNCTION WITH THE ENTIRE SET OF CONSTRUCTION DRAWINGS. DO NOT REMOVE ANY ITEMS WITHOUT VERIFYING AND COORDINATING WITH ALL GENERAL TRADES AS TO HOW THEY RELATE TO THE OVERALL PROJECT.
- U. IF ANY FLOOR FINISHES OR CEILING FINISHES ARE DISCOVERED UNDER EXISTING FINISHES, DEMO MUST CEASE IMMEDIATELY AND ARCHITECT, OWNER AND HISTORICAL CONSULTANT ALERTED FOR REVIEW OF FINISH.

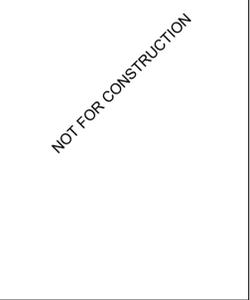
DEMOLITION KEYNOTES

- 1 REMOVE EXISTING PARTITION AS REQUIRED BY NEW WORK, INCLUDING ANY EXISTING DOOR, FRAME AND ASSOCIATED HARDWARE. SHORE ANY BEARING WALLS AS REQUIRED.
- 2 REMOVE EXISTING DOOR, FRAME AND ASSOCIATED HARDWARE.
- 3 REMOVE EXISTING ELEVATOR/DUMBWAITER/LIFT AND ALL ASSOCIATED COMPONENTS IN THEIR ENTIRETY. ELEVATOR DOORS TO REMAIN.
- 4 REMOVE EXISTING DEMOUNTABLE PARTITIONS AND ASSOCIATED DOORS, HARDWARE GLAZING, ETC.
- 5 REMOVE EXISTING TOILET PARTITIONS AND ALL PLUMBING FIXTURES, PIPING, ETC. CAP OFF/TERMINATE WATER SUPPLY LINES NOT USED FOR NEW WORK.
- 6 REMOVE EXISTING STOREFRONT GLAZING, DOORS AND ASSOCIATED HARDWARE.
- 7 REMOVE EXISTING COUNTERTOPS, CABINETRY, SINKS, EQUIPMENT, PIPING, ETC. CAP OFF WATER AND GAS LINES AS REQUIRED.
- 8 EXISTING MAIL CHUTE TO REMAIN. PROTECT DURING CONSTRUCTION.
- 9 REMOVE COLUMN SURROUNDS TO EXPOSE STEEL FOR ASBESTOS ABATEMENT, TYPICAL. FINISHES AS REQUIRED.
- 10 REMOVE EXISTING CASEWORK AND ALL ASSOCIATED ACCESSORIES.
- 11 REMOVE EXISTING CEILING AS REQUIRED FOR ASBESTOS ABATEMENT. SALVAGE ALL TYPICAL TROUGH LIGHTING, CEILING TILE, GRID SYSTEM, AND HISTORIC CEILING MOUNTED CLOCKS FOR REUSE. REFER TO RCP SHEETS A150s FOR FINAL LAYOUT.
- 12 REMOVE CURVED WOOD-LOOK LAMINATE WALL DECORATION IN ITS ENTIRETY TO EXPOSE ORIGINAL TRAVERTINE.
- 13 GC TO RETAIN AND PROTECT ALL HISTORICAL TRAVERTINE WALL CLADDING.
- 14 REMOVE NON-HISTORICAL BLACK TILE WALL BASE AND ALL ADHESIVE.
- 15 REMOVE EXISTING PARTITION AS REQUIRED BY THE NEW WORK. ENSURE MINIMAL TRAVERTINE IS REMOVED FOR ENTRY DOOR TO TRASH ROOM. SALVAGE ALL REMOVED TRAVERTINE FOR POTENTIAL REUSE.
- 16 REMOVE ALL WALL AND FLOOR TILE IN ITS ENTIRETY.
- 17 REMOVE RAISED FLOOR SYSTEM IN ITS ENTIRETY. PREP SLAB FOR INSTALLATION OF NEW FINISHES AS REQUIRED.
- 18 REMOVE WATER FOUNTAIN. CAP OFF/TERMINATE WATER SUPPLY LINE AS REQUIRED.
- 19 REMOVE EXTERIOR WALL SCONCE. PATCH HOLES WITH COLOR MATCHED CEMENT FILLER. VERIFY WITH ARCHITECT.
- 20 REMOVE AND RETAIN PORTION OF HISTORIC BRICK PAVERS. PREP SALVAGED PAVERS TO BE USED FOR PATCHWORK OF DAMAGED PAVERS ELSEWHERE ON SITE AS REQUIRED.
- 21 REMOVE ALL DRAPERY AND ROLLER SHADE TRACKS IN THEIR ENTIRETY.
- 22 GC TO UNINSTALL AND SALVAGE/PROTECT HISTORICAL WOOD PANELING FOR RELOCATED WALL. WOOD PANELING IS TO BE REINSTALLED.
- 23 REMOVE ALL PLUMBING FIXTURES, CASEWORK, MIRRORS, SHOWER ACCESSORIES AND SHOWER ROOM DOOR.
- 24 GC TO PROTECT AND RETAIN ALL HISTORICAL WOOD PANELING. REVIEW ALL DAMAGED PANELS WITH ARCHITECT AS REQUIRED.
- 25 REMOVE ALL EXISTING, NON-HISTORICAL BRICK PAVERS IN FRONT OF ENTRY VESTIBULE.
- 26 REMOVE ALL 12X12 TEXTURED CEILING TILES AND CAN LIGHTING IN THEIR ENTIRETY.
- 27 REMOVE EXISTING PRECAST CONCRETE PANELS AND WALL STRUCTURE ENTIRELY. PREP AREA FOR INSTALLATION OF NEW STOREFRONT SYSTEM TO MATCH EXISTING. SHORE PER STRUCTURAL.
- 28 REMOVE EXISTING WALK-IN COOLER/FREEZER AND ALL ASSOCIATED MEP EQUIPMENT.
- 29 REMOVE EXISTING MECHANICAL EQUIPMENT AND ALL ASSOCIATED COMPONENTS IN THEIR ENTIRETY.
- 30 REMOVE EXISTING MECHANICAL LEUVERS. PREP EXISTING STOREFRONT FRAME AS REQUIRED FOR INSTALLATION OF NEW GLAZING PANEL.
- 31 REMOVE EXISTING STOREFRONT INFILL PANELS. PATCH/REPAIR EXISTING FRAME AS REQUIRED.
- 32 REMOVE EXISTING STOREFRONT GLAZED PANEL AND MODIFY FRAME AS REQUIRED FOR INSTALLATION OF NEW DOOR AND HARDWARE.
- 33 REMOVE EXISTING PRECAST CONCRETE PANELS AND WALL STRUCTURE AS REQUIRED FOR NEW RECESSED WINDOW. REFER TO SECTION DETAILS FOR FULL EXTENT OF DEMOLITION. PROTECT ADJACENT PRECAST CONCRETE PANELS, WHICH ARE TO REMAIN, DURING CONSTRUCTION.
- 34 REMOVE LEAD-BASED PAINT FROM EXISTING RAILINGS AND PREP SURFACES FOR NEW PAINT FINISH.
- 35 GC TO CONFIRM IF EXISTING SNOW MELT SYSTEM IS STILL FUNCTIONING PROPERLY. IF NOT, REMOVE AND RETAIN EXISTING BRICK PAVERS AS REQUIRED FOR THE REMOVAL AND REPLACEMENT OF THE EXISTING SNOW MELT SYSTEM. PREP REMOVED PAVERS FOR RE-INSTALLATION.
- 36 REMOVE EXISTING LIGHT POLE. PROVIDE NEW LED FIXTURE.
- 37 REMOVE EXISTING LOCKERS AND ALL ASSOCIATED ACCESSORIES.
- 38 GC TO PROTECT AND RETAIN ALL HISTORICAL WOOD CASEWORK. REVIEW ALL DAMAGED CASEWORK WITH ARCHITECT.
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- 41



01 THIRTEENTH FLOOR DEMOLITION PLAN
1/8" = 1'-0"





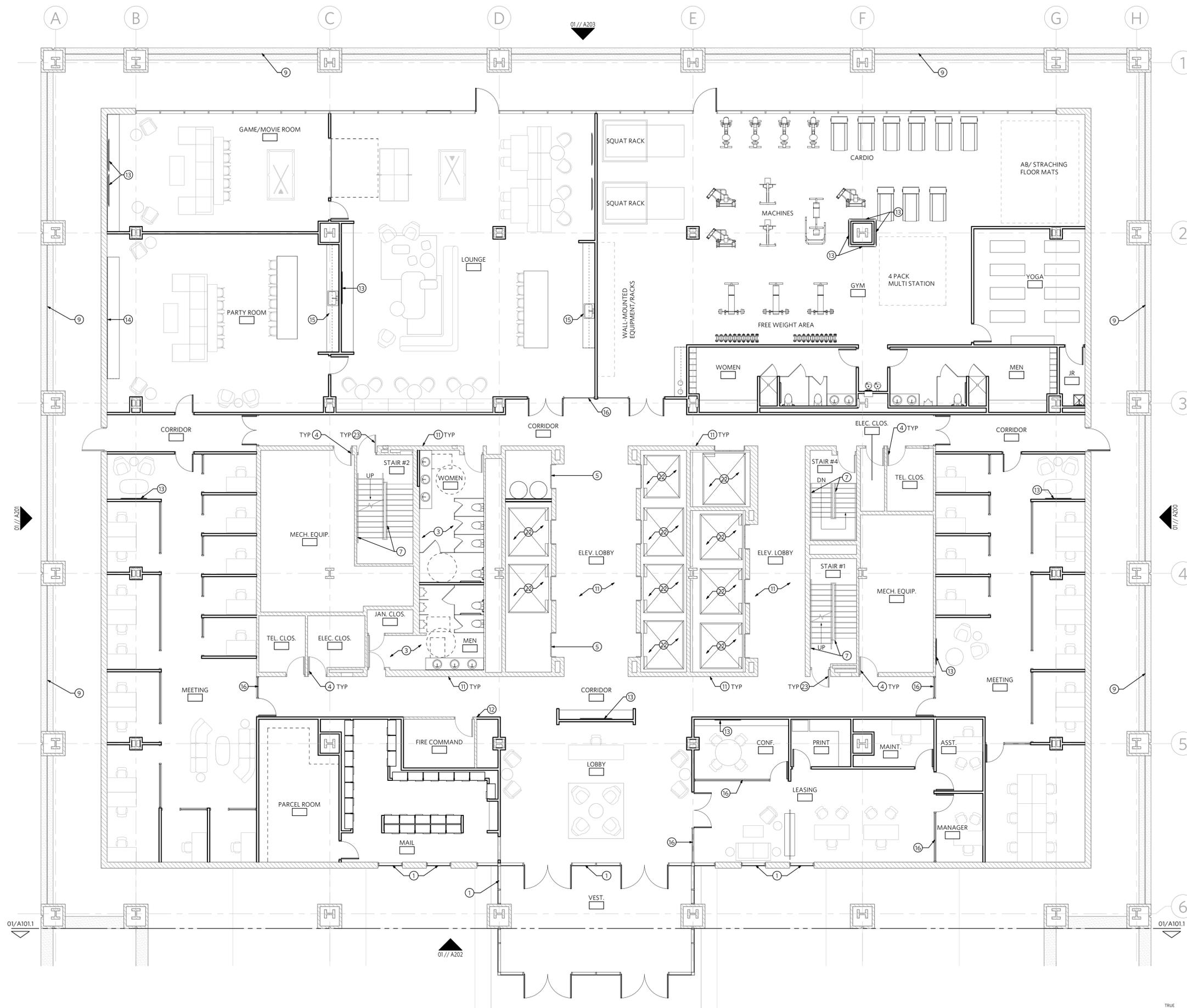
REV	ISSUE	DATE
	REVISED PART 2 SUBMISSION	2021 12 13
	KCMO PLANNING DEVELOPMENT SUBMISSION	2022 05 25

GENERAL FLOOR PLAN NOTES

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- B. REFER TO SHEET A001 FOR ALL WALL TYPES AND WALL TYPE DETAILS.
- C. DIMENSIONS FOR INTERIOR PARTITIONS ARE TO OUTSIDE FACE OF WALL FINISH.
- D. REFER TO CIVIL FOR ALL SITE RELATED FILL AND GRADING REQUIREMENTS.
- E. CONTRACTOR TO COORDINATE ALL STRUCTURAL, CIVIL, MEP, IT/AV/SECURITY & HISTORICAL REQUIREMENTS.
- F. CONTRACTOR TO PROVIDE CONDUIT AND PULL STRING FOR IT/AV/SECURITY WORK AND COORDINATE INSTALLATION REQUIREMENTS WITH ELECTRICAL & OWNER'S IT/AV/SECURITY VENDOR.
- G. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL REQUIREMENTS OF THE PART 2 FEDERAL HISTORIC TAX CREDIT APPLICATION AS REQUIRED TO SATISFY ALL HISTORICAL REVIEW APPROVALS, COMMENTS AND CONCERNS. IF DISCREPANCIES OR CONFLICTS EXIST BETWEEN THESE DOCUMENTS AND THE PART 2 APPLICATION, THE PART 2 SUPERCEDES. NOTIFY OWNER AND ARCHITECT IMMEDIATELY.
- H. CONTRACTOR TO PROVIDE LINTEL AT ALL NEW AND MODIFIED MASONRY OPENINGS. SHORE OPENINGS AS REQUIRED AND COORDINATE WITH STRUCTURAL LINTELS TO BE PRIMED AND PAINTED.
- I. CONTRACTOR TO PROVIDE METAL END DAMS AT JAMBS OF ALL WINDOW OPENINGS.
- J. CONTRACTOR SHALL COORDINATE ALL UNDERSLAB / TRENCHED ITEMS AS REQUIRED.
- K. CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND PROVIDING ALL BLOCKING AS REQUIRED FOR KITCHEN EQUIPMENT, CABINETS, TENANT PROVIDED LCDS, LIGHT FIXTURES, RESTROOM ACCESSORIES, ETC.
- L. CONTRACTOR TO ENSURE PROJECT SITE IS SECURE AFTER BUSINESS HOURS 6AM - 5PM MONDAY THROUGH FRIDAY.
- M. ALL EXISTING STOREFRONT GLASS TO BE REPLACED TO MATCH ORIGINAL. COORDINATE SPECIFIC COLOR AND SPECIFICATIONS WITH THESE DOCUMENTS AND THE PART 2 APPLICATION.
- N. INFILL ALL PENETRATION HOLES IN CONCRETE FLOOR TO MATCH AND ALIGN WITH EXISTING AS REQUIRED.

FLOOR PLAN KEYNOTES

- 1. NEW BRONZE ANODIZED ALUMINUM STOREFRONT GLAZING SYSTEM WITH 1" INSULATED GLASS. FRAME PROFILE AND FINISH TO MATCH EXISTING SYSTEM.
- 2. NEW BRONZE ANODIZED ALUMINUM STOREFRONT GLAZING SYSTEM WITH 1" INSULATED GLASS AND PRECAST CONCRETE PANELS AT SILL AND SIDE WALL TO MATCH EXISTING.
- 3. NEW FULLY ACCESSIBLE RESTROOMS WITH NEW TOILET PARTITIONS AND ALL PLUMBING FIXTURES, PIPING ETC.
- 4. REPAIR EXISTING DOOR/FRAME, PRIME AND PAINT.
- 5. ELEVATOR DOORS TO REMAIN AND SECURED SHUT FROM SHAFT SIDE.
- 6. INFILL CONCRETE FLOOR OPENING WHERE EXISTING ELEVATOR WAS REMOVED. REFER TO STRUCTURAL.
- 7. PROVIDE CODE COMPLIANT METAL GUARDRAILS & HANDRAILS IN ADDITION TO HISTORICAL RAILING AT ALL STAIRS/RAMP. INTERIOR RAILS TO BE PAINTED.
- 8. NEW TRASH AND RECYCLING CHUTES TO EXTEND FROM 13TH FLOOR TO TRASH ROOM ON FIRST PARKING LEVEL.
- 9. CLEAN & REPAIR ALUMINUM RAILING AS REQUIRED. STRAIGHTEN ALL BENT RODS/TUBES AND ENSURE RAILING IS STRAIGHT ALONG ENTIRE LENGTH. VERIFY THAT RAILING IS CODE COMPLIANT.
- 10. EXISTING PLANTERS TO BE REPAIRED TO "LIKE-NEW" CONDITION. PLANT NEW TREES TO RESEMBLE ORIGINAL VEGETATION. TREE SPECIES AND SIZE TBD.
- 11. ALL TRAVERTINE-CLAD WALLS TO BE CLEANED AND PATCHED IF DAMAGED.
- 12. ALIGN FACE OF NEW WALL WITH FACE OF EXISTING WALL OR COLUMN SURFACE.
- 13. WALL MOUNTED TV ON BRACKET. PROVIDE 3/4" FIRE RETARDANT PLYWOOD BLOCKING IN WALL. PROVIDE POWER / DATA / CABLE PER MEP.
- 14. WALL MOUNTED PROJECTOR SCREEN. PROVIDE POWER / DATA / CABLE PER MEP.
- 15. PROVIDE PLUMBING SUPPLY & WASTE LINES FOR CAFE EQUIPMENT. LOCATE FLOOR DRAINS UNDER ALL UC ICE MAKERS (AS REQUIRED). COORDINATE FINAL PLACEMENT WITH OWNER.
- 16. FULL HEIGHT 1/2" FRAMELESS TEMPERED GLASS PANELS SET IN 1 1/2" TOP CHANNEL AND 1" BOTTOM CHANNEL IN ANODIZED ALUMINUM. PROVIDE MINIMUM NUMBER OF PANELS POSSIBLE.
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- 18. INSTALL SALVAGED HISTORICAL WOOD PANELING ON NEW DEMISING WALL.
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- 21. INSTALL NEW BRICK PAVERS AROUND VESTIBULE. REFER TO FINISH SCHEDULE.
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- 24. INSTALL NEW VENEER FALSE DOOR TO MATCH THE ORIGINAL DOOR/VENEER COLOR.
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01 | FIRST FLOOR PLAN
1/8" = 1'-0"

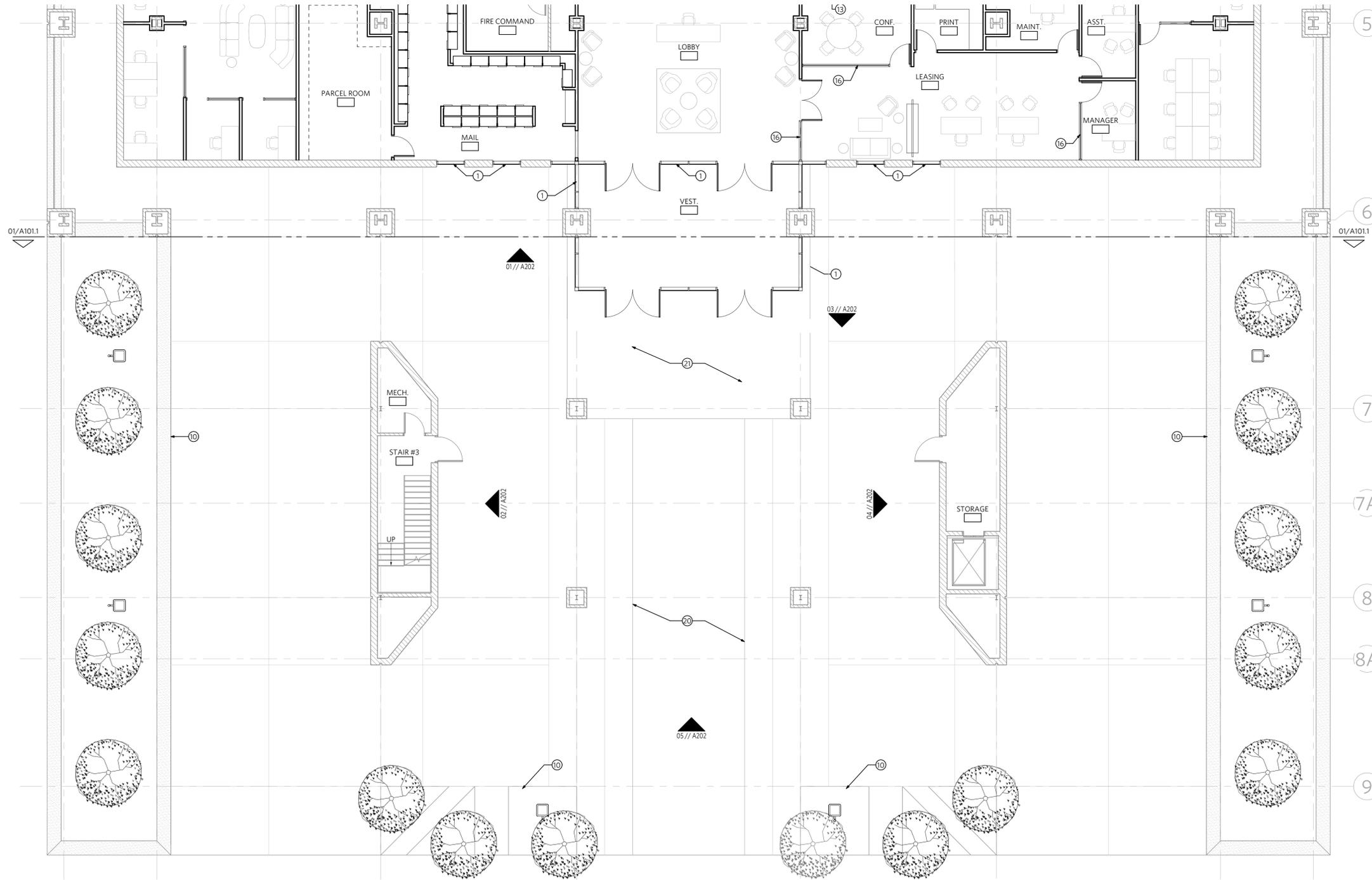


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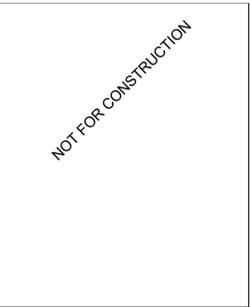
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01 FIRST FLOOR PLAN - SOUTH END
1/8" = 1'-0"



AT&T BUILDING MULTIFAMILY
500 EAST 8TH ST.
KANSAS CITY, MO.



REV	ISSUE	DATE
	REVISED PART 2 SUBMISSION	2021 12 13
	KCMO PLANNING DEVELOPMENT SUBMISSION	2022 05 25

FIRST FLOOR PLAN - SOUTH END

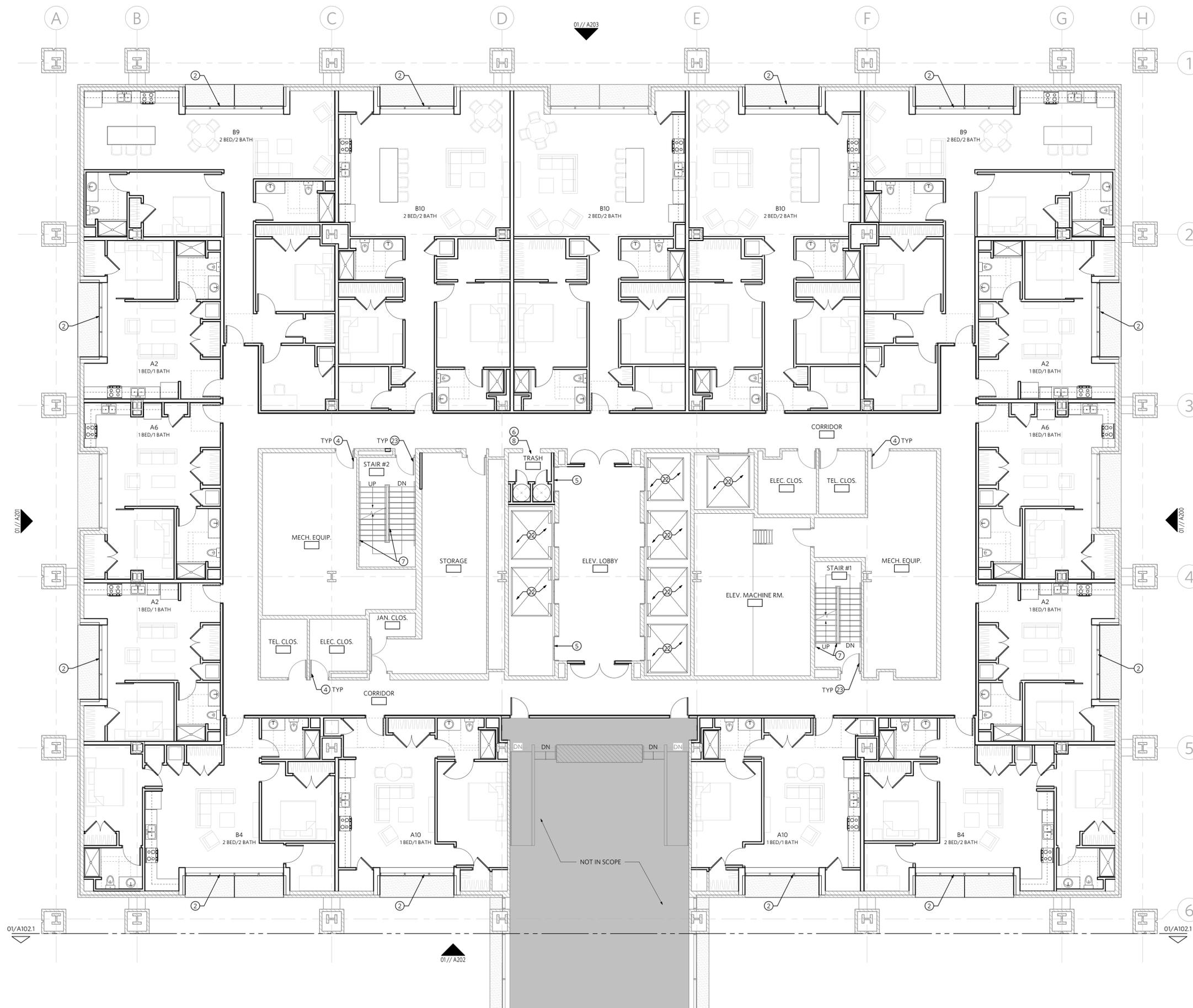
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- 7. PROVIDE CODE COMPLIANT METAL GUARDRAILS & HANDRAILS IN ADDITION TO HISTORICAL RAILING AT ALL STAIRS/RAMPS. INTERIOR RAILS TO BE PAINTED.
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- 9. CLEAN & REPAIR ALUMINUM RAILING AS REQUIRED. STRAIGHTEN ALL BENT RODS/TUBES AND ENSURE RAILING IS STRAIGHT ALONG ENTIRE LENGTH. VERIFY THAT RAILING IS CODE COMPLIANT.
- 10. EXISTING PLANTERS TO BE REPAIRED TO "LIKE-NEW" CONDITION. PLANT NEW TREES TO RESEMBLE ORIGINAL VEGETATION. TREE SPECIES AND SIZE TBD.
- 11. ALL TRAVERTINE-CLAD WALLS TO BE CLEANED AND PATCHED IF DAMAGED.
- 12. ALIGN FACE OF NEW WALL WITH FACE OF EXISTING WALL OR COLUMN SURFACE.
- 13. WALL MOUNTED TV ON BRACKET. PROVIDE 3/4" FIRE RETARDANT PLYWOOD BLOCKING IN WALL. PROVIDE POWER / DATA / CABLE PER MEP.
- 14. WALL MOUNTED PROJECTOR SCREEN. PROVIDE POWER / DATA / CABLE PER MEP.
- 15. PROVIDE PLUMBING SUPPLY & WASTE LINES FOR CAFE EQUIPMENT. LOCATE FLOOR DRAINS UNDER ALL UC ICE MAKERS (AS REQUIRED). COORDINATE FINAL PLACEMENT WITH OWNER.
- 16. FULL HEIGHT 1/2" FRAMELESS TEMPERED GLASS PANELS SET IN 1 1/2" TOP CHANNEL AND 1" BOTTOM CHANNEL IN ANODIZED ALUMINUM. PROVIDE MINIMUM NUMBER OF PANELS POSSIBLE.
- 17. HISTORICAL EXECUTIVE SUITE WALLS AND MILLWORK INCORPORATED INTO NEW TWO BEDROOM LIVING UNIT. PROTECT ALL HISTORICAL FINISHES TO REMAIN DURING CONSTRUCTION.
- 18. INSTALL SALVAGED HISTORICAL WOOD PANELING ON NEW DEMISING WALL.
- 19. EXTERIOR PRECAST DOOR PANEL TO BE FIXED SHUT. APPLY SEALANT AROUND ALL EDGES ON BOTH SIDES AND ENSURE WEATHERTIGHT SEAL.
- 20. IF REQUIRED, INSTALL NEW SNOW MELT SYSTEM AND REINSTALL SALVAGED PAVERS IN SAME CONFIGURATION.
- 21. INSTALL NEW BRICK PAVERS AROUND VESTIBULE. REFER TO FINISH SCHEDULE.
- 22. NEW ELEVATOR/DUMBWAITER/LIFT TO BE INSTALLED. EXISTING ELEVATOR DOORS TO REMAIN.
- 23. ALL STAIR DOORS TO HAVE RECREATED SIGNAGE TO MATCH HISTORICAL FONT AND SIZE.
- 24. INSTALL NEW VENEER FALSE DOOR TO MATCH THE ORIGINAL DOOR/VENEER COLOR.
- 25. NEW CASEWORK HARDWARE IS TO BE INSTALLED.



01 | SECOND FLOOR PLAN
1/8" = 1'-0"

REV	ISSUE	DATE
	REVISED PART 2 SUBMISSION	2021.12.13
	KCMO PLANNING DEVELOPMENT SUBMISSION	2022.05.25

SECOND FLOOR PLAN

A102

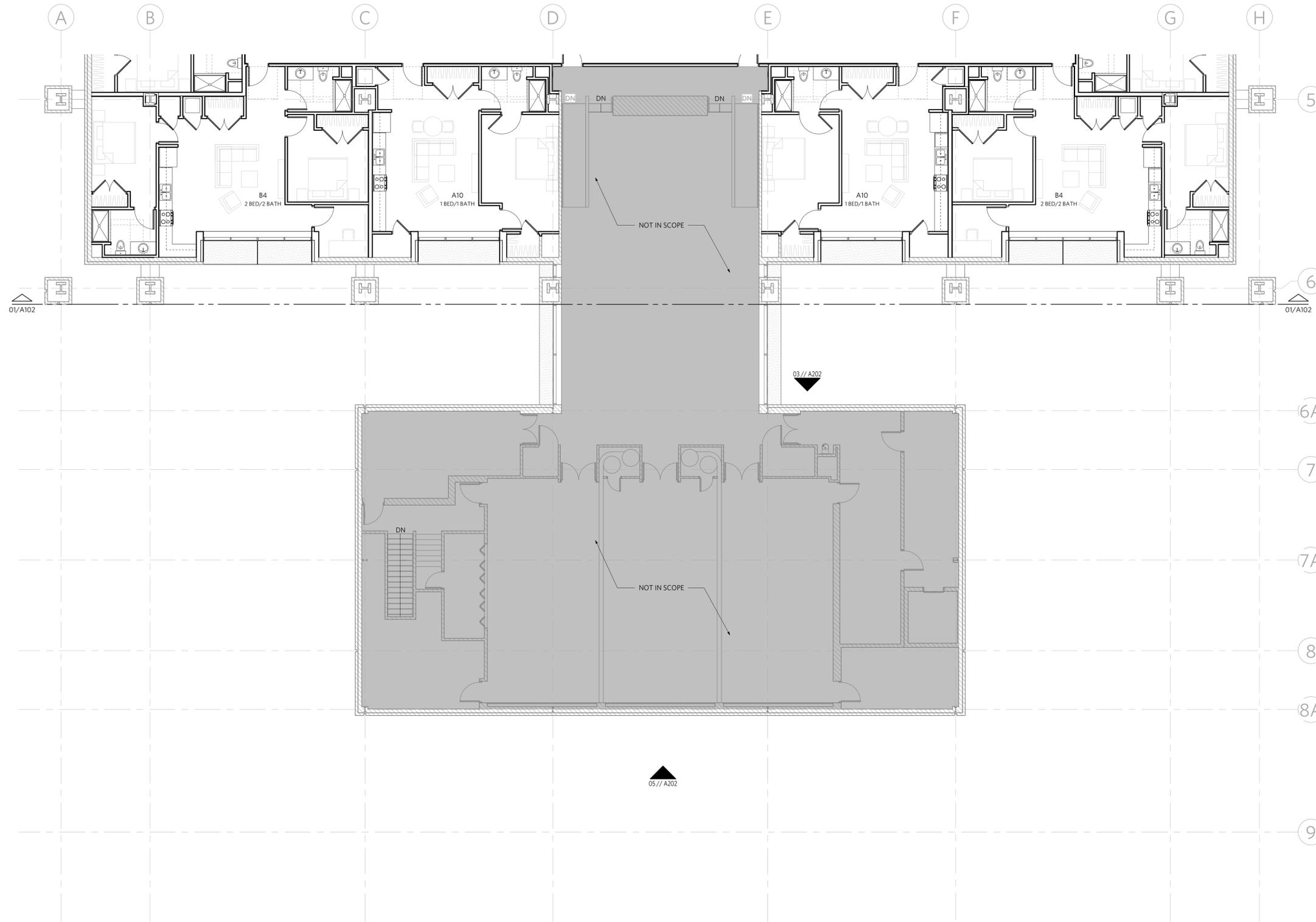
NOT FOR CONSTRUCTION

GENERAL FLOOR PLAN NOTES

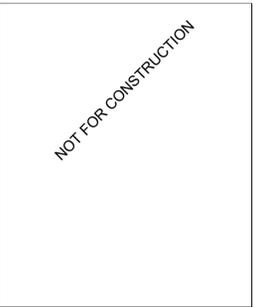
- A. ALL DIMENSIONS TO EXISTING ITEMS ARE +/-
- B. REFER TO SHEET A001 FOR ALL WALL TYPES AND WALL TYPE DETAILS.
- C. DIMENSIONS FOR INTERIOR PARTITIONS ARE TO OUTSIDE FACE OF WALL FINISH.
- D. REFER TO CIVIL FOR ALL SITE RELATED FILL AND GRADING REQUIREMENTS.
- E. CONTRACTOR TO COORDINATE ALL STRUCTURAL, CIVIL, MEP, IT/AV/SECURITY & HISTORICAL REQUIREMENTS.
- F. CONTRACTOR TO PROVIDE CONDUIT AND PULL STRING FOR IT/AV/SECURITY WORK AND COORDINATE INSTALLATION REQUIREMENTS WITH ELECTRICAL & OWNER'S IT/AV/SECURITY VENDOR.
- G. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL REQUIREMENTS OF THE PART 2 FEDERAL HISTORIC TAX CREDIT APPLICATION AS REQUIRED TO SATISFY ALL HISTORICAL REVIEW APPROVALS, COMMENTS AND CONCERNS. IF DISCREPANCIES OR CONFLICTS EXIST BETWEEN THESE DOCUMENTS AND THE PART 2 APPLICATION, THE PART 2 SUPERCEDES. NOTIFY OWNER AND ARCHITECT IMMEDIATELY.
- H. CONTRACTOR TO PROVIDE LINTEL AT ALL NEW AND MODIFIED MASONRY OPENINGS. SHORE OPENINGS AS REQUIRED AND COORDINATE WITH STRUCTURAL. LINTELS TO BE PRIMED AND PAINTED.
- I. CONTRACTOR TO PROVIDE METAL END DAMS AT JAMBS OF ALL WINDOW OPENINGS.
- J. CONTRACTOR SHALL COORDINATE ALL UNDERSLAB / TRENCHED ITEMS AS REQUIRED.
- K. CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND PROVIDING ALL BLOCKING AS REQUIRED FOR KITCHEN EQUIPMENT, CABINETS, TENANT PROVIDED LCDS, LIGHT FIXTURES, RESTROOM ACCESSORIES, ETC.
- L. CONTRACTOR TO ENSURE PROJECT SITE IS SECURE AFTER BUSINESS HOURS 6AM - 5PM MONDAY THROUGH FRIDAY.
- M. ALL EXISTING STOREFRONT GLASS TO BE REPLACED TO MATCH ORIGINAL. COORDINATE SPECIFIC COLOR AND SPECIFICATIONS WITH THESE DOCUMENTS AND THE PART 2 APPLICATION.
- N. INFILL ALL PENETRATION HOLES IN CONCRETE FLOOR TO MATCH AND ALIGN WITH EXISTING AS REQUIRED.

FLOOR PLAN KEYNOTES

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- 2. NEW BRONZE ANODIZED ALUMINUM STOREFRONT GLAZING SYSTEM WITH 1" INSULATED GLASS AND PRECAST CONCRETE PANELS AT SILL AND SIDE WALL TO MATCH EXISTING.
- 3. NEW FULLY ACCESSIBLE RESTROOMS WITH NEW TOILET PARTITIONS AND ALL PLUMBING FIXTURES, PIPING, ETC.
- 4. REPAIR EXISTING DOOR/FRAME, PRIME AND PAINT.
- 5. ELEVATOR DOORS TO REMAIN AND SECURED SHUT FROM SHAFT SIDE.
- 6. INFILL CONCRETE FLOOR OPENING WHERE EXISTING ELEVATOR WAS REMOVED. REFER TO STRUCTURAL.
- 7. PROVIDE CODE COMPLIANT METAL GUARDRAILS & HANDRAILS IN ADDITION TO HISTORICAL RAILING AT ALL STAIRS/RAMPS. INTERIOR RAILS TO BE PAINTED.
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AT&T BUILDING MULTIFAMILY
500 EAST 8TH ST.
KANSAS CITY, MO.



REV	ISSUE	DATE
	REVISED PART 2 SUBMISSION	2021 12 13
	KCMO PLANNING DEVELOPMENT SUBMISSION	2022 05 25

01 | SECOND FLOOR PLAN - SOUTH END
1/8" = 1'-0"



SECOND FLOOR PLAN - SOUTH END

A102.1

GENERAL FLOOR PLAN NOTES

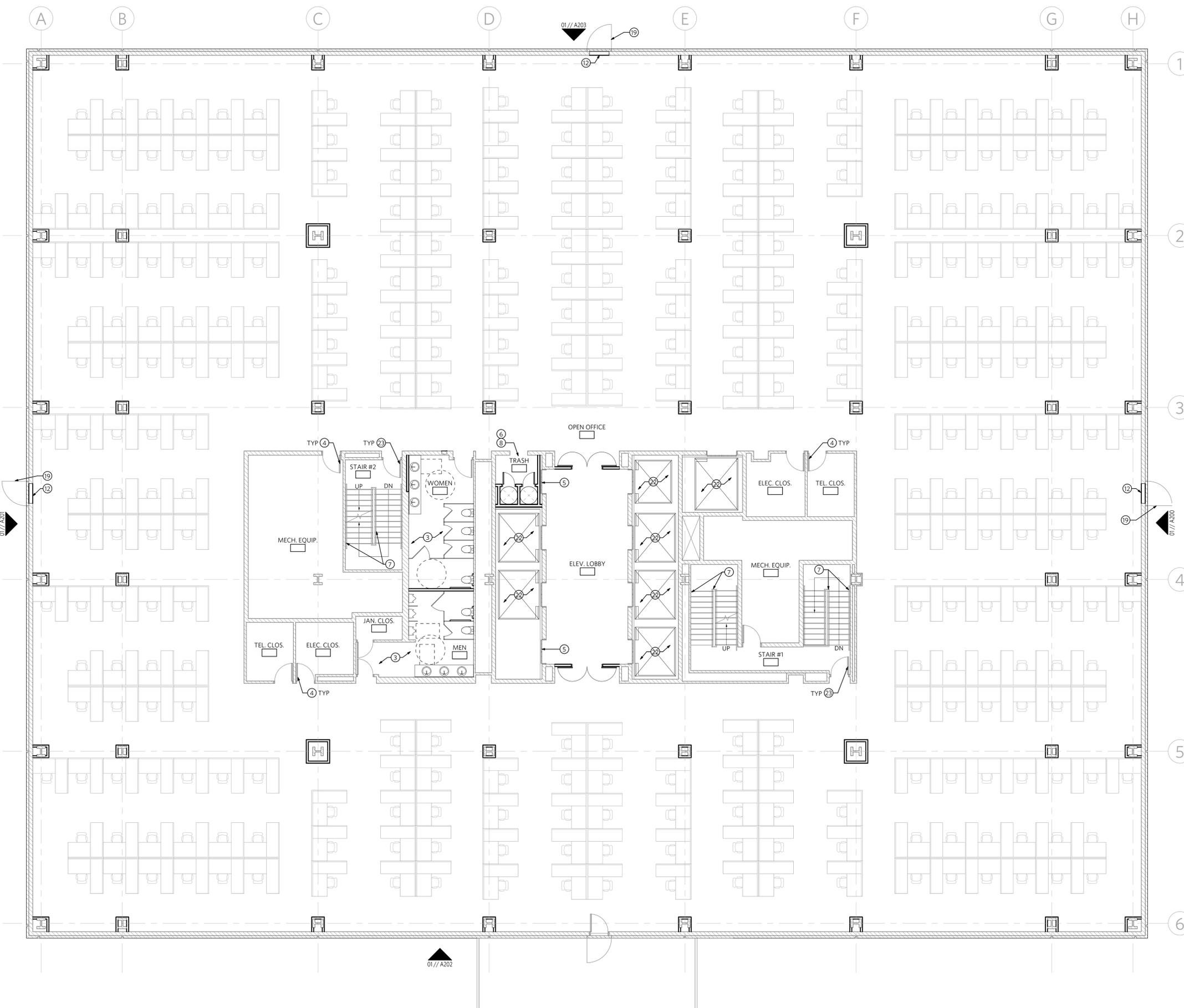
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- B. REFER TO SHEET A001 FOR ALL WALL TYPES AND WALL TYPE DETAILS.
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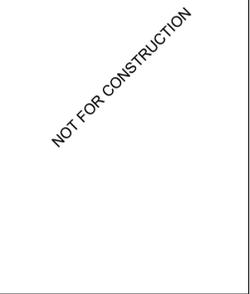
NOT FOR CONSTRUCTION

REV	ISSUE	DATE
	REVISED PART 2 SUBMISSION	2021 12 13
	KCMO PLANNING DEVELOPMENT SUBMISSION	2022 05 25



01 | THIRD FLOOR PLAN
1/8" = 1'-0"



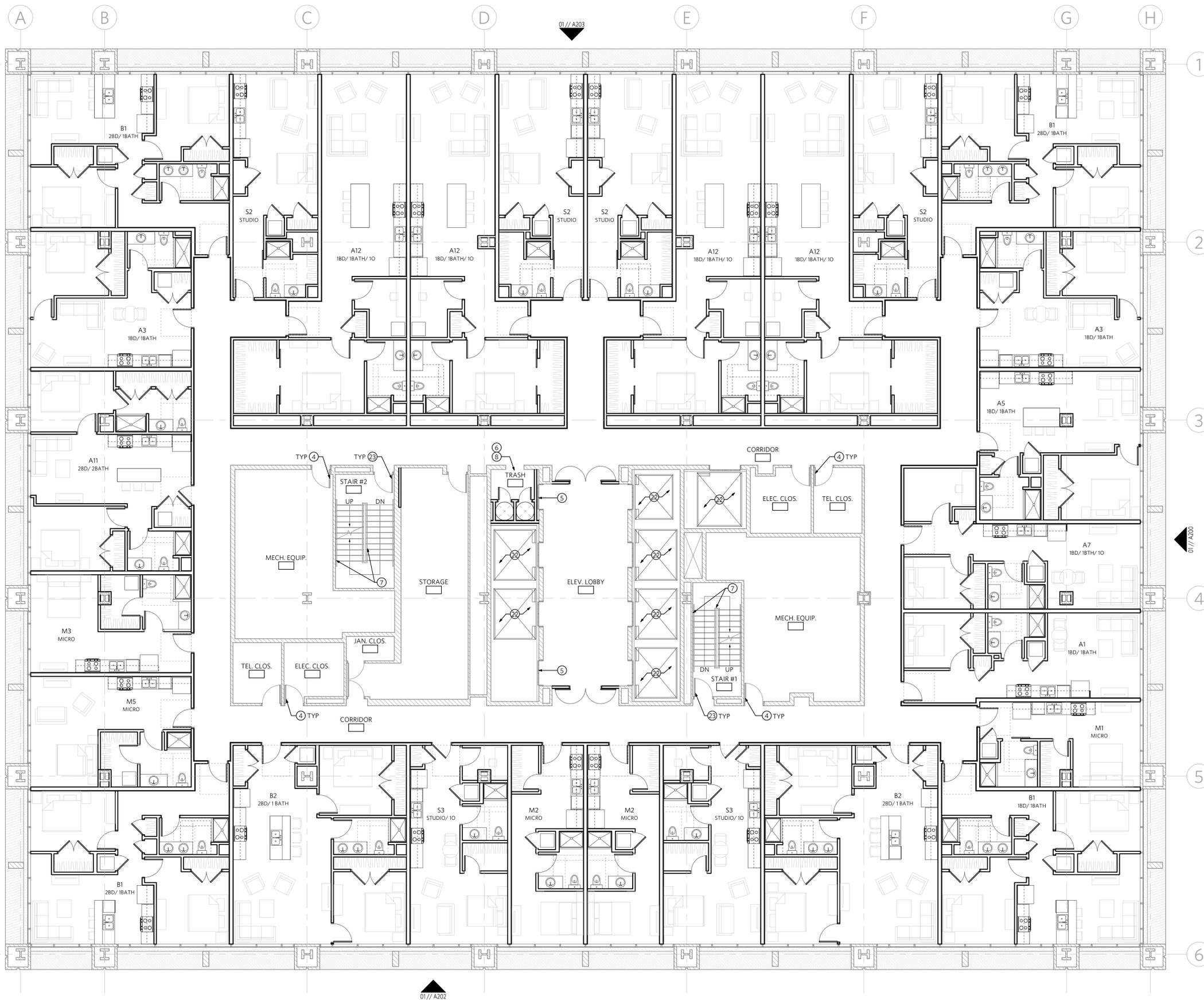


GENERAL FLOOR PLAN NOTES

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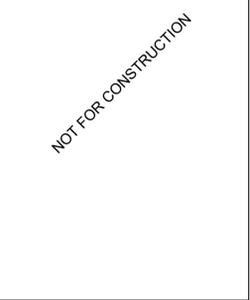


01 | 4TH-12TH TYPICAL FLOOR PLAN
1/8" = 1'-0"

TYPICAL FLOOR PLAN (FLOORS 4-12)

A104

REV	ISSUE	DATE
	REVISED PART 2 SUBMISSION	2021.12.13
	KCMO PLANNING DEVELOPMENT SUBMISSION	2022.05.25

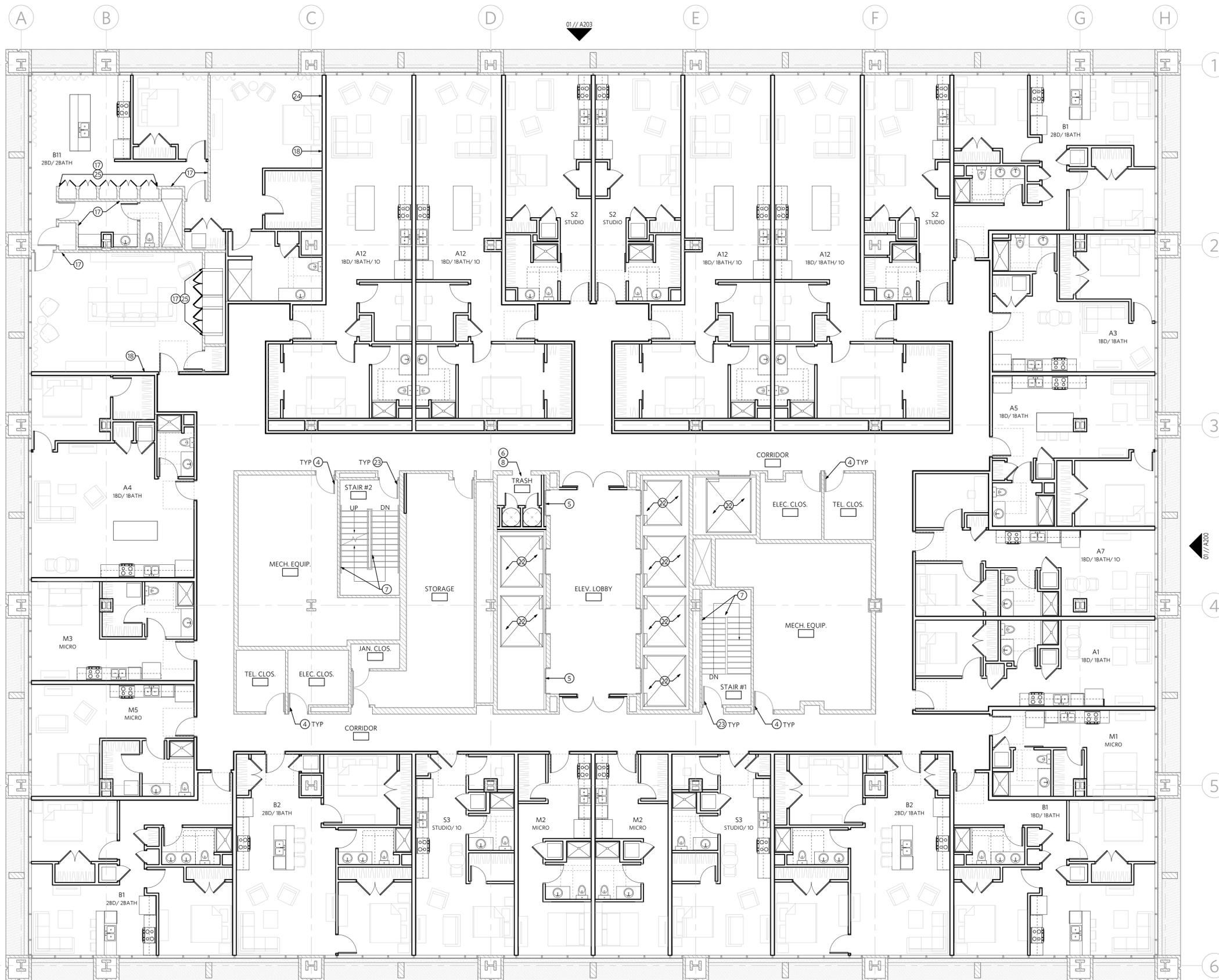


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- 14. WALL MOUNTED PROJECTOR SCREEN. PROVIDE POWER / DATA / CABLE PER MEP.
- 15. PROVIDE PLUMBING SUPPLY & WASTE LINES FOR CAFE EQUIPMENT. LOCATE FLOOR DRAINS UNDER ALL UC ICE MAKERS (AS REQUIRED). COORDINATE FINAL PLACEMENT WITH OWNER.
- 16. FULL HEIGHT 1/2" FRAMELESS TEMPERED GLASS PANELS SET IN 1 1/2" TOP CHANNEL AND 1" BOTTOM CHANNEL IN ANODIZED ALUMINUM. PROVIDE MINIMUM NUMBER OF PANELS POSSIBLE.
- 17. HISTORICAL EXECUTIVE SUITE WALLS AND MILLWORK INCORPORATED INTO NEW TWO BEDROOM LIVING UNIT. PROTECT ALL HISTORICAL FINISHES TO REMAIN DURING CONSTRUCTION.
- 18. INSTALL SALVAGED HISTORICAL WOOD PANELING ON NEW DEMISING WALL.
- 19. EXTERIOR PRECAST DOOR PANEL TO BE FIXED SHUT. APPLY SEALANT AROUND ALL EDGES ON BOTH SIDES AND ENSURE WEATHERTIGHT SEAL.
- 20. IF REQUIRED, INSTALL NEW SNOW MELT SYSTEM AND REINSTALL SALVAGED PAVERS IN SAME CONFIGURATION.
- 21. INSTALL NEW BRICK PAVERS AROUND VESTIBULE. REFER TO FINISH SCHEDULE.
- 22. NEW ELEVATOR/DUMBWAITER/LIFT TO BE INSTALLED. EXISTING ELEVATOR DOORS TO REMAIN.
- 23. ALL STAIR DOORS TO HAVE RECREATED SIGNAGE TO MATCH HISTORICAL FONT AND SIZE.
- 24. INSTALL NEW VENEER FALSE DOOR TO MATCH THE ORIGINAL DOOR/VENEER COLOR.
- 25. NEW CASEWORK HARDWARE IS TO BE INSTALLED.



01 THIRTEENTH FLOOR PLAN
1/8" = 1'-0"



GENERAL CEILING PLAN NOTES

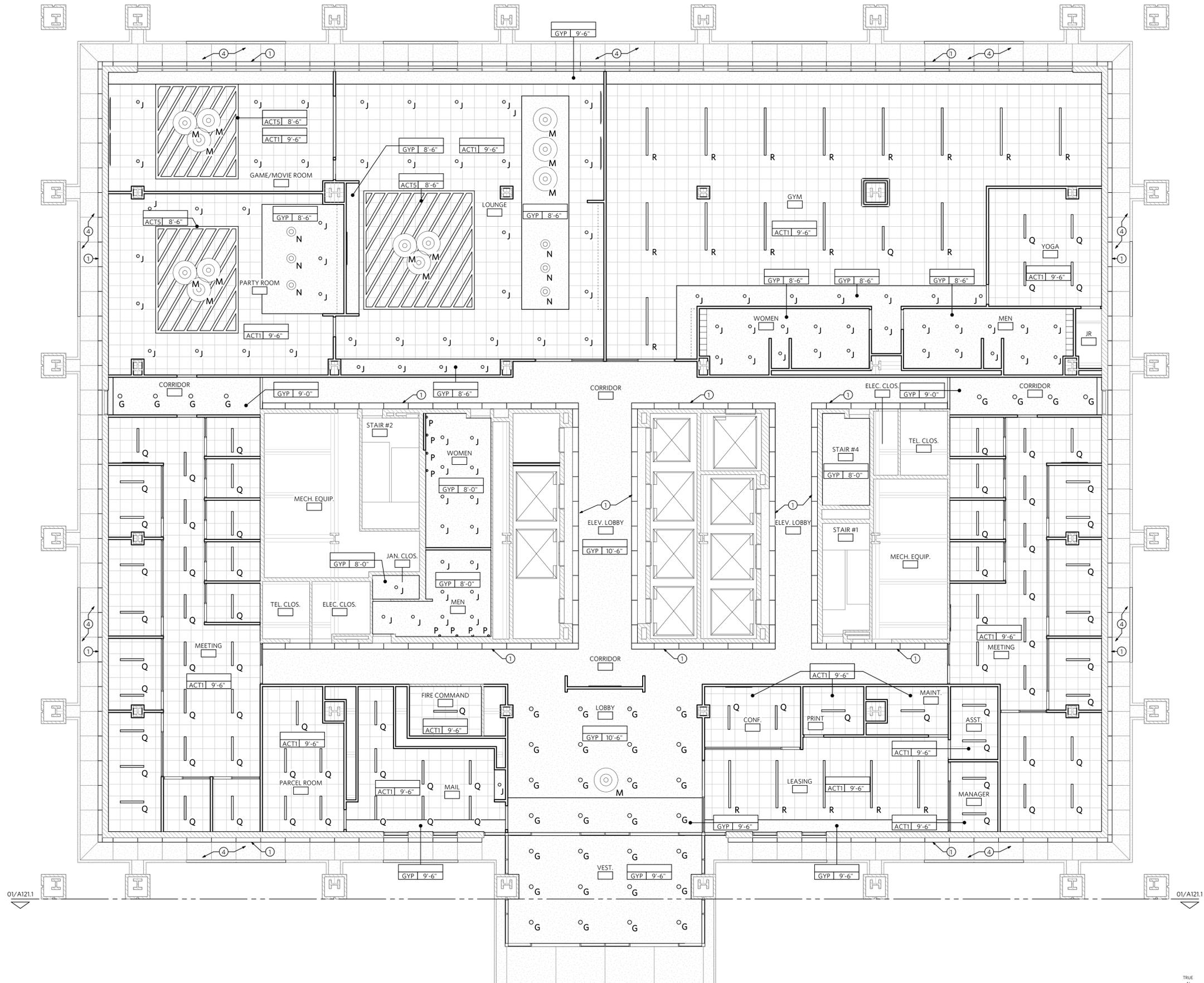
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C	LED PENDANT LIGHT FIXTURE
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E	SEMI-FLUSH LED ENTRY LIGHT FIXTURE
F	LED SCENCE AT ENTRY DOORS
G	LED 8" ROUND CAN LIGHT
H	LED 8" ROUND WALL WASHER CAN LIGHT
J	LED 6" ROUND CAN LIGHT
K	LED 6" ROUND WALL WASHER CAN LIGHT
M	DECORATIVE PENDANT
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Q	LED 4" RECESSED LINEAR LIGHT FIXTURE
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AT&T BUILDING MULTIFAMILY
500 EAST 8TH ST.
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NOT FOR CONSTRUCTION

REV	ISSUE	DATE
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	KCMO PLANNING DEVELOPMENT SUBMISSION	2022 05 25

01 | FIRST FLOOR RCP
1/8" = 1'-0"

FIRST FLOOR RCP

A121

GENERAL CEILING PLAN NOTES

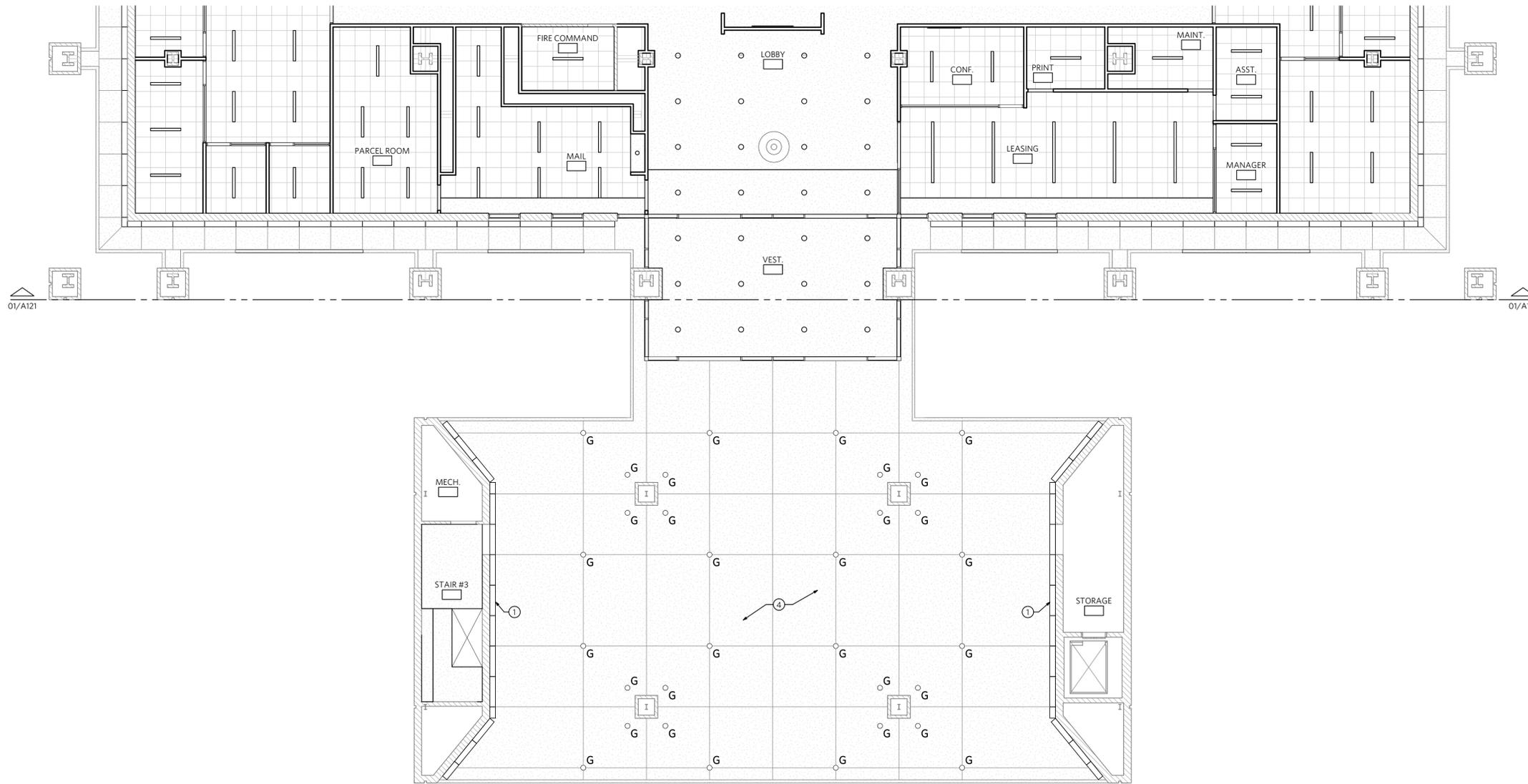
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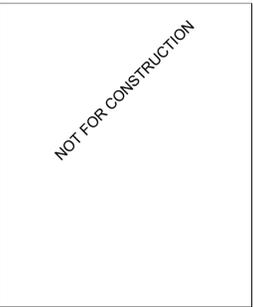
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AT&T BUILDING MULTIFAMILY

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01 FIRST FLOOR RCP - SOUTH END
1/8" = 1'-0"



FIRST FLOOR RCP - SOUTH END

A121.1

GENERAL CEILING PLAN NOTES

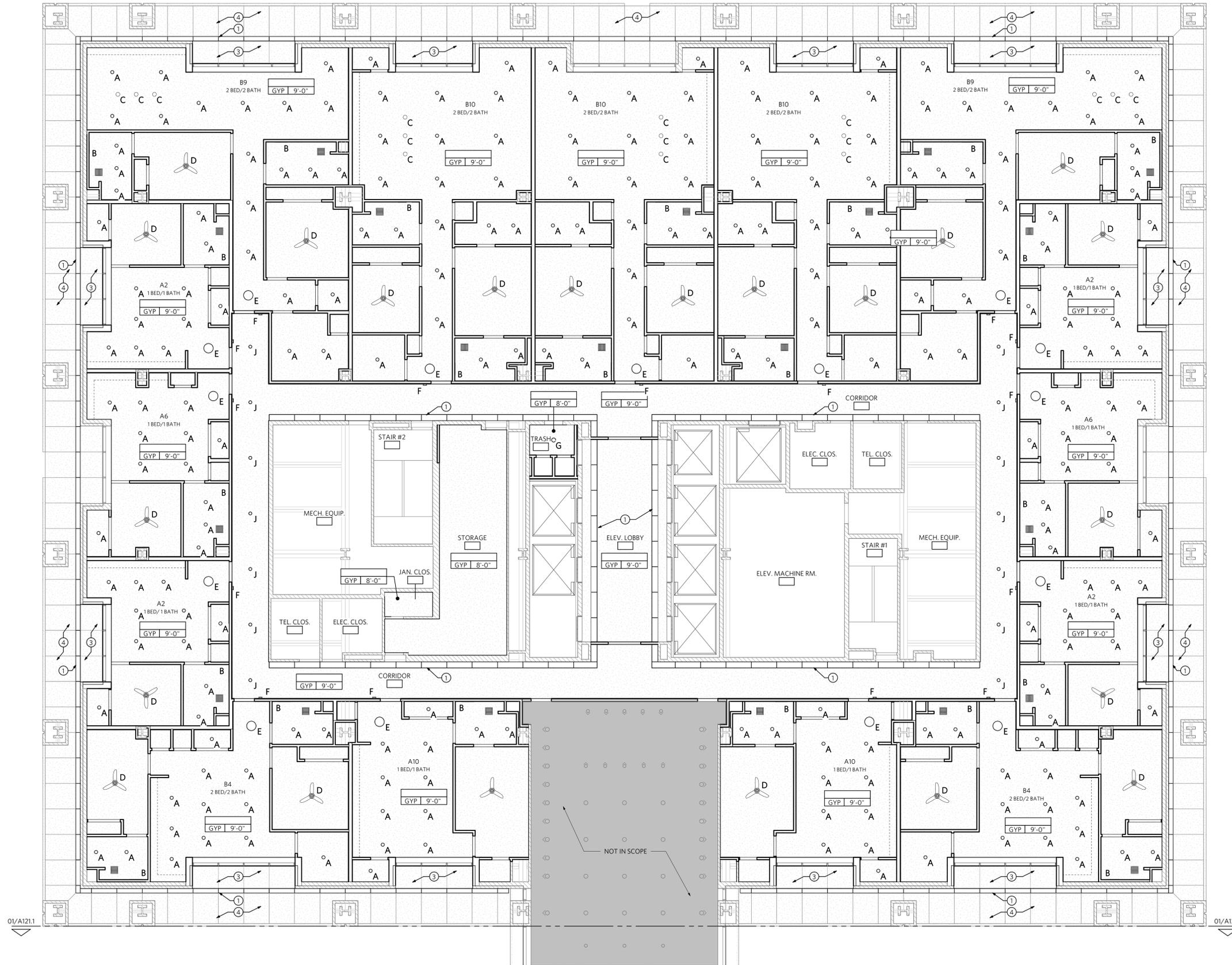
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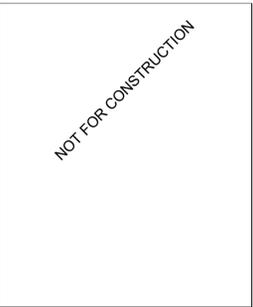
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AT&T BUILDING MULTIFAMILY

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GENERAL CEILING PLAN NOTES

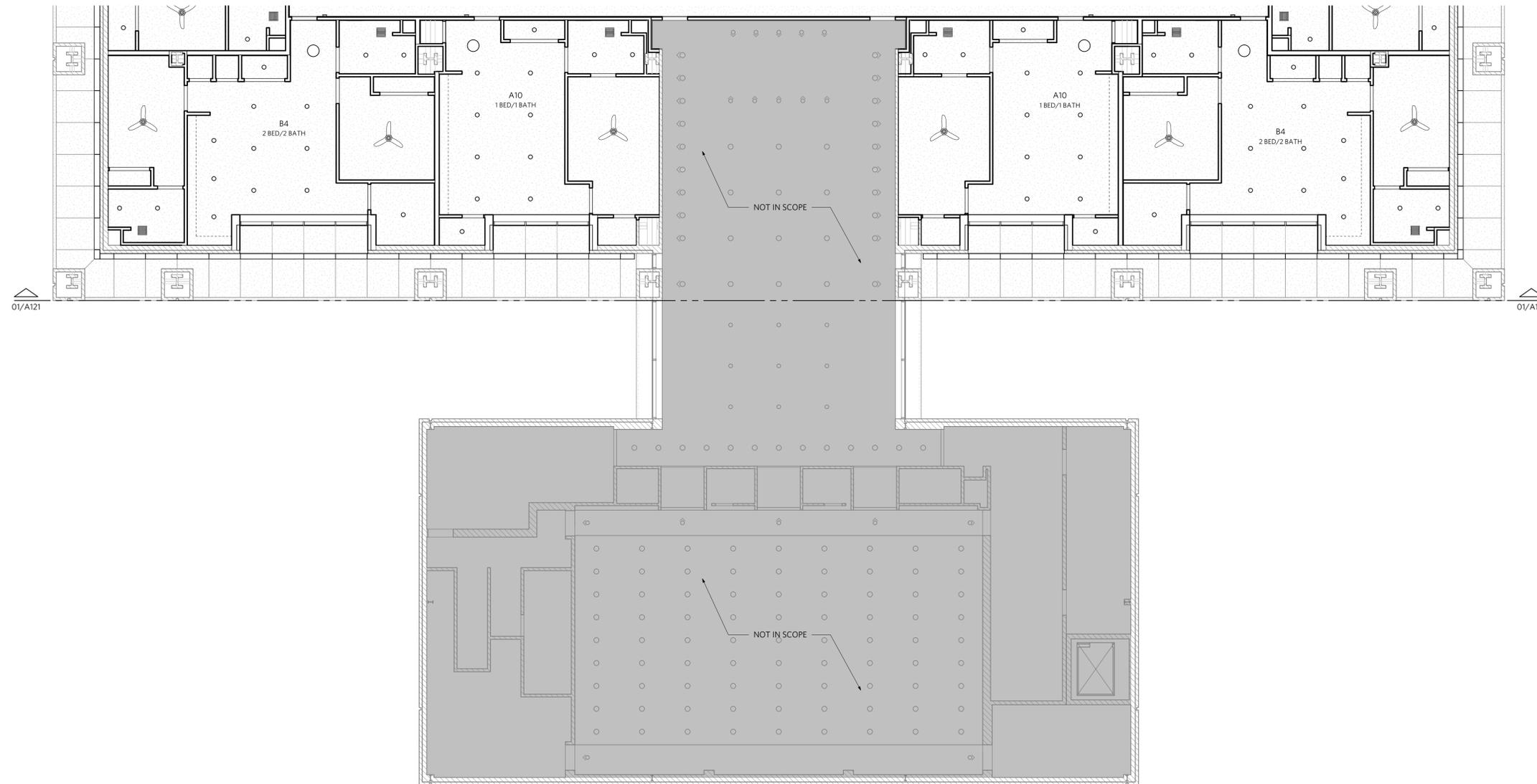
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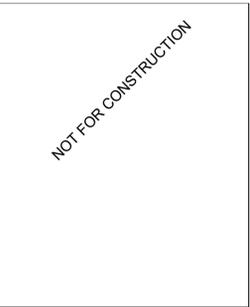
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01 | SECOND FLOOR RCP - SOUTH END
1/8" = 1'-0"



SECOND FLOOR RCP
- SOUTH END

A122.1

GENERAL CEILING PLAN NOTES

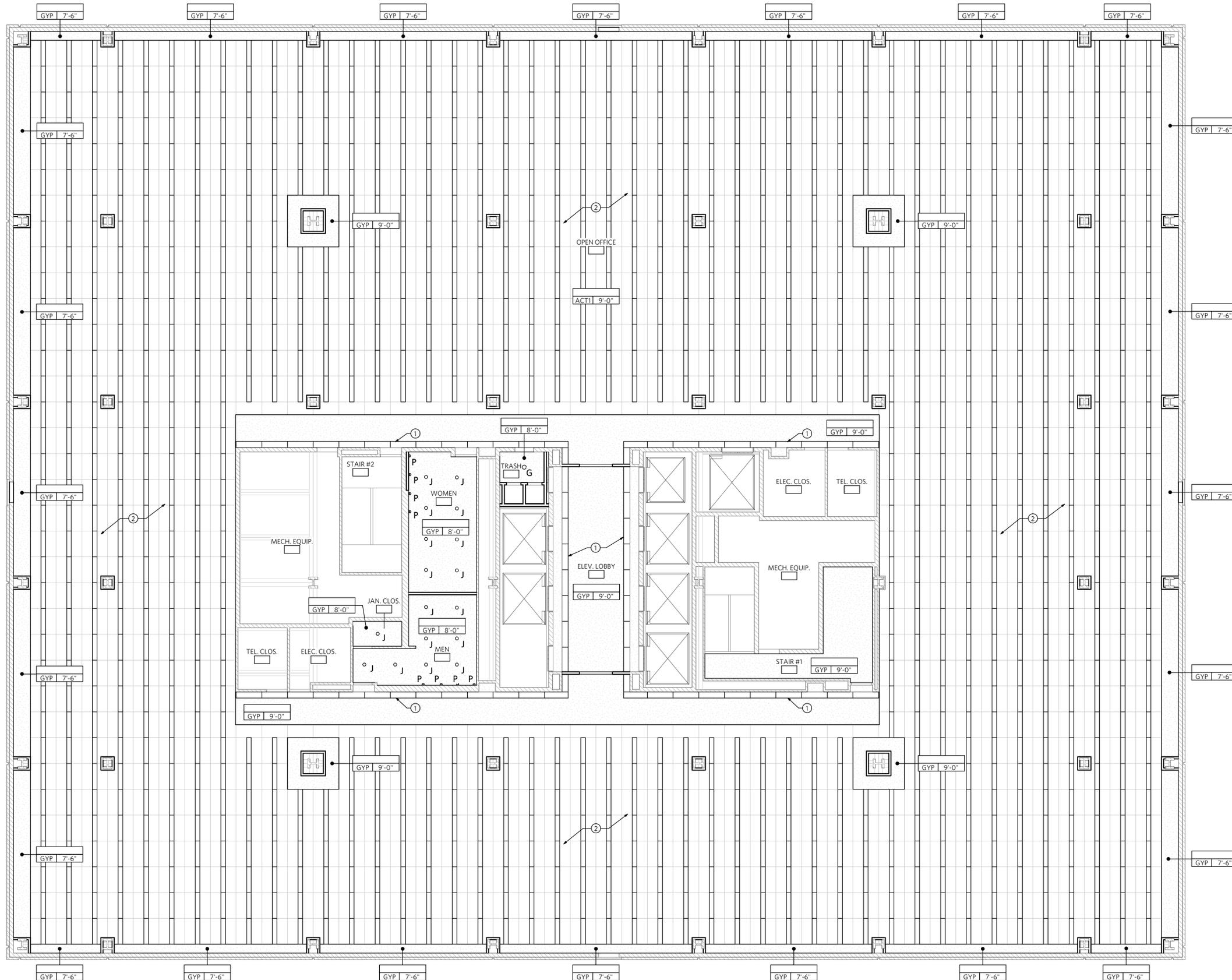
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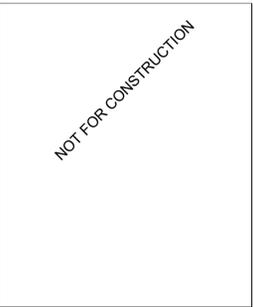
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AT&T BUILDING MULTIFAMILY

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GENERAL CEILING PLAN NOTES

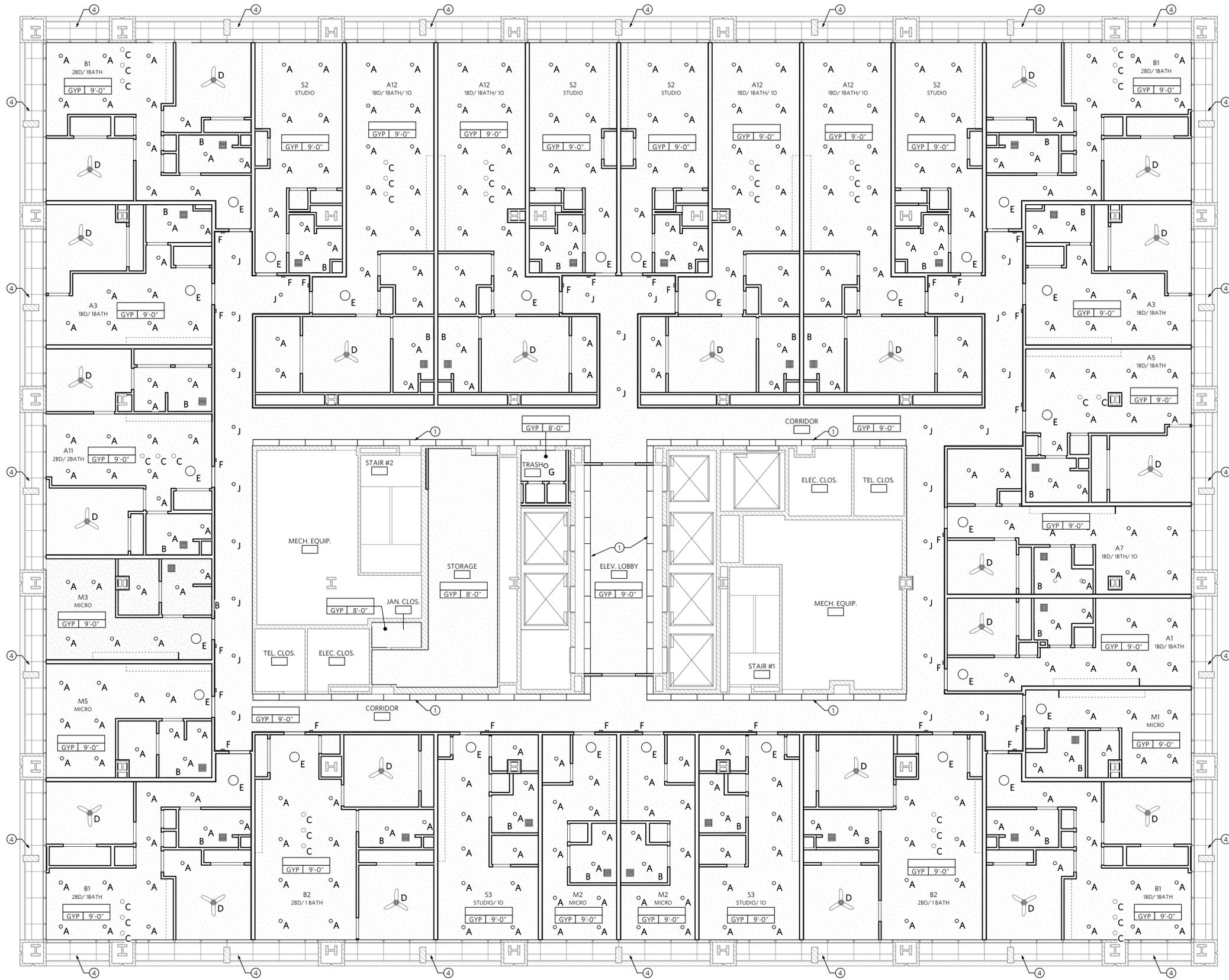
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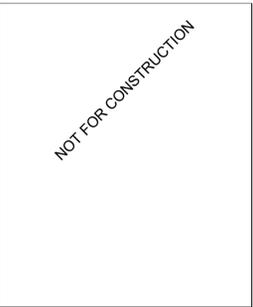
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01 TYPICAL FLOOR RCP
1/8" = 1'-0"

TYPICAL FLOOR RCP
(FLOORS 4-12)

A124

GENERAL CEILING PLAN NOTES

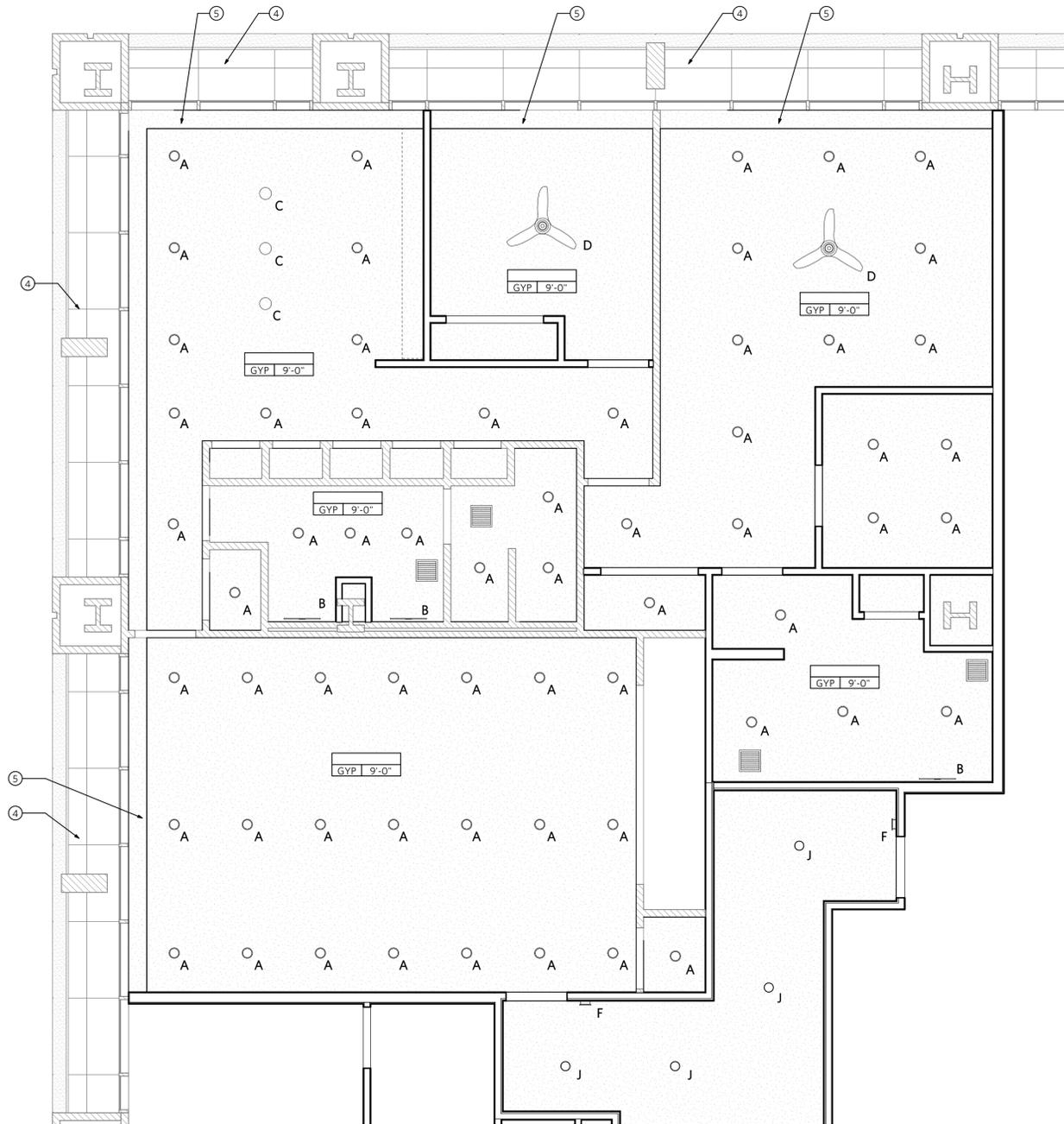
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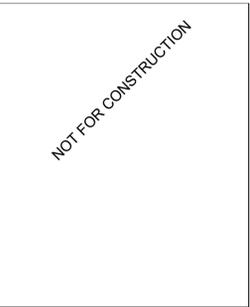
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ENLARGED RCP -
13TH FLOOR
EXECUTIVE SUITE

A125

01 | ENLARGED RCP - 13TH FLOOR EXECUTIVE SUITE
1/4" = 1'-0"

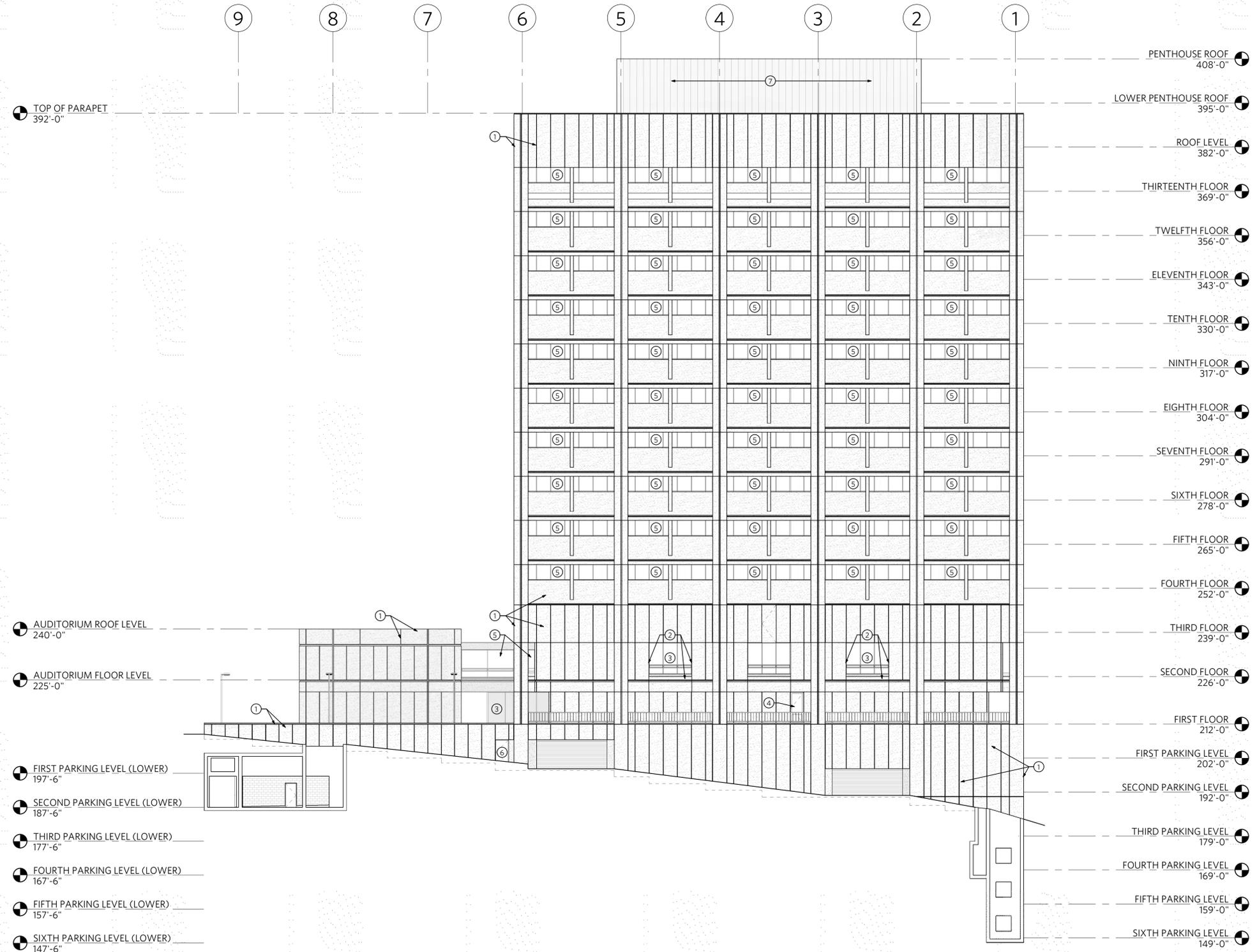


GENERAL NOTES-EXTERIOR ELEVATION

- A. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS AND REPORT TO ARCHITECT ANY CONFLICTS THAT MAY AFFECT DESIGN INTENTIONS SHOWN ON PROJECT DOCUMENTS.
- B. SEAL AROUND PERIMETER OF ALL EXTERIOR OPENINGS - AS RECOMMENDED BY THE SYSTEM MANUFACTURERS RECOMMENDATIONS. CONFIRM FENESTRATION WATER MANAGEMENT SYSTEM AND LOCATION OF WEEPS, IF PRESENT, PRIOR TO APPLYING SEALANT. SEALANT TO MATCH ADJACENT FINISH.
- C. PROVIDE FLASHING AT ALL HEADERS (DOOR + WINDOW). RUN BENEATH WALL SYSTEM MINIMUM OF 8" ABOVE OPENING AND ATTACH WITH NON-GALVANIC MECHANICAL FASTENERS.
- D. REFER TO CIVIL FOR FILL AND GRADING REQUIREMENTS.
- E. MATCH OPENINGS @ BRICK VENEER TO MODULE. ADJUST TRIM ACCORDINGLY.
- F. COORDINATE CLADDING DETAILS WITH MANUFACTURER'S BEST PRACTICES, COORDINATE WITH ARCHITECT PRIOR TO PROCUREMENT AND INSTALLATION.
- G. USE PRESSURE TREATED LUMBER WHERE IN CONTACT WITH CONCRETE OR MASONRY.
- H. ROUGH OPENING HEIGHTS ARE FROM TOP OF SUB FLOOR, NOT FINISHED FLOOR.

EXTERIOR ELEVATION KEYNOTES

- 1. CLEAN ALL EXISTING PRECAST CONCRETE PANELS. REPAIR/REALIGN ALL DAMAGED/MISALIGNED PANELS AS REQUIRED. PROVIDE NEW SEALANT AND BACKER RODS AT ALL PANEL JOINTS. SEALANT COLOR TO MATCH PRECAST PANELS.
- 2. NEW PRECAST CONCRETE PANELS AT SILL AND SIDE WALL TO MATCH EXISTING.
- 3. NEW BRONZE ANODIZED ALUMINUM STOREFRONT GLAZING SYSTEM WITH 1" INSULATED GLASS. FRAME PROFILE AND FINISH TO MATCH EXISTING SYSTEM.
- 4. NEW BRONZE ANODIZED ALUMINUM EGRESS DOOR WITH 1" INSULATED GLASS. FRAME PROFILE AND FINISH TO MATCH EXISTING SYSTEM.
- 5. REPLACE EXISTING GLASS WITH NEW 1" INSULATED GLASS. MODIFY EXISTING STOREFRONT SYSTEM AS REQUIRED. ALTERNATE: REPLACE EXISTING STOREFRONT GLAZING SYSTEM WITH NEW BRONZE ANODIZED ALUMINUM STOREFRONT GLAZING SYSTEM WITH 1" INSULATED GLASS. FRAME PROFILE AND FINISH TO MATCH EXISTING SYSTEM. SEE DETAILS 03 & 04/A203.
- 6. REPAIR EXISTING DOOR AS NEEDED. PRIME AND PAINT.
- 7. REPAIR EXISTING METAL PANEL CLADDING AND INTEGRAL MECHANICAL LOUVERS.



01 EAST ELEVATION
1/16" = 1'-0"

AT&T BUILDING MULTIFAMILY
500 EAST 8TH ST.
KANSAS CITY, MO.



REV	ISSUE	DATE
	REVISED PART 2 SUBMISSION	2021 12 13
	KCMO PLANNING DEVELOPMENT SUBMISSION	2022 05 25

EXTERIOR ELEVATIONS

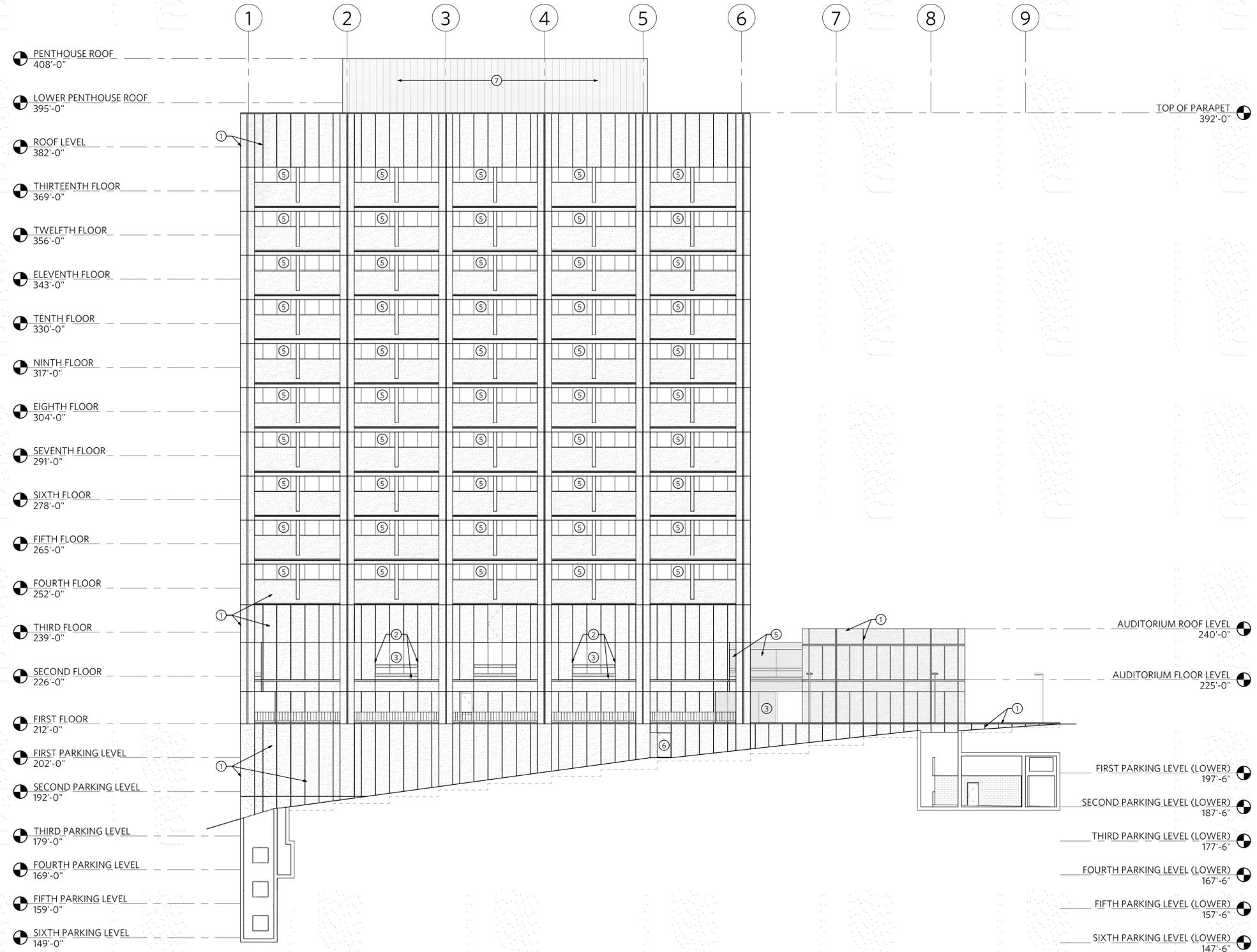
A200

GENERAL NOTES-EXTERIOR ELEVATION

- A. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS AND REPORT TO ARCHITECT ANY CONFLICTS THAT MAY AFFECT DESIGN INTENTIONS SHOWN ON PROJECT DOCUMENTS.
- B. SEAL AROUND PERIMETER OF ALL EXTERIOR OPENINGS - AS RECOMMENDED BY THE SYSTEM MANUFACTURERS RECOMMENDATIONS. CONFIRM FENESTRATION WATER MANAGEMENT SYSTEM AND LOCATION OF WEEPS, IF PRESENT, PRIOR TO APPLYING SEALANT. SEALANT TO MATCH ADJACENT FINISH.
- C. PROVIDE FLASHING AT ALL HEADERS (DOOR + WINDOW). RUN BENEATH WALL SYSTEM MINIMUM OF 8" ABOVE OPENING AND ATTACH WITH NON-GALVANIC MECHANICAL FASTENERS.
- D. REFER TO CIVIL FOR FILL AND GRADING REQUIREMENTS.
- E. MATCH OPENINGS @ BRICK VENEER TO MODULE. ADJUST TRIM ACCORDINGLY.
- F. COORDINATE CLADDING DETAILS WITH MANUFACTURER'S BEST PRACTICES. COORDINATE WITH ARCHITECT PRIOR TO PROCUREMENT AND INSTALLATION.
- G. USE PRESSURE TREATED LUMBER WHERE IN CONTACT WITH CONCRETE OR MASONRY.
- H. ROUGH OPENING HEIGHTS ARE FROM TOP OF SUB FLOOR, NOT FINISHED FLOOR.

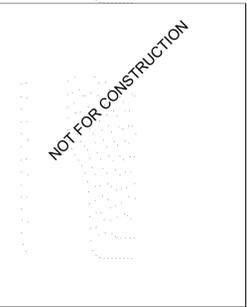
EXTERIOR ELEVATION KEYNOTES

- 1. CLEAN ALL EXISTING PRECAST CONCRETE PANELS. REPAIR/REALIGN ALL DAMAGED/MISALIGNED PANELS AS REQUIRED. PROVIDE NEW SEALANT AND BACKER RODS AT ALL PANEL JOINTS. SEALANT COLOR TO MATCH PRECAST PANELS.
- 2. NEW PRECAST CONCRETE PANELS AT SILL AND SIDE WALL TO MATCH EXISTING.
- 3. NEW BRONZE ANODIZED ALUMINUM STOREFRONT GLAZING SYSTEM WITH 1" INSULATED GLASS. FRAME PROFILE AND FINISH TO MATCH EXISTING SYSTEM.
- 4. NEW BRONZE ANODIZED ALUMINUM EGRESS DOOR WITH 1" INSULATED GLASS. FRAME PROFILE AND FINISH TO MATCH EXISTING SYSTEM.
- 5. REPLACE EXISTING GLASS WITH NEW 1" INSULATED GLASS. MODIFY EXISTING STOREFRONT GLAZING SYSTEM WITH NEW BRONZE ANODIZED ALUMINUM STOREFRONT GLAZING SYSTEM WITH 1" INSULATED GLASS. FRAME PROFILE AND FINISH TO MATCH EXISTING SYSTEM. SEE DETAILS 03 & 04/A203.
- 6. REPAIR EXISTING DOOR AS NEEDED. PRIME AND PAINT.
- 7. REPAIR EXISTING METAL PANEL CLADDING AND INTEGRAL MECHANICAL LOUVERS.



AT&T BUILDING MULTIFAMILY

500 EAST 8TH ST.
KANSAS CITY, MO.



REV	ISSUE	DATE
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	KCMO PLANNING DEVELOPMENT SUBMISSION	2022 05 25

EXTERIOR ELEVATIONS

A201

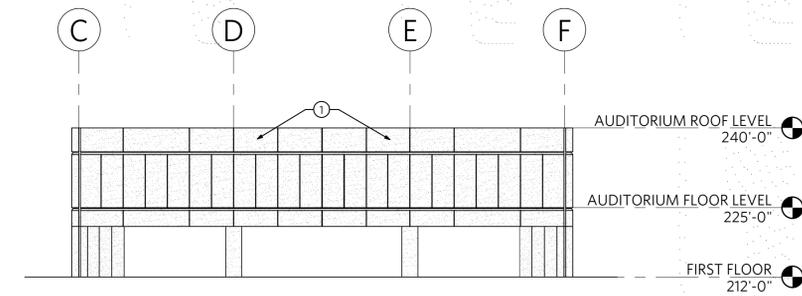
01 WEST ELEVATION
1/16" = 1'-0"

GENERAL NOTES-EXTERIOR ELEVATION

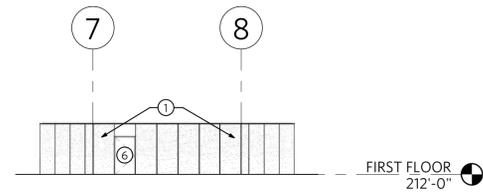
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- B. SEAL AROUND PERIMETER OF ALL EXTERIOR OPENINGS - AS RECOMMENDED BY THE SYSTEM MANUFACTURERS RECOMMENDATIONS. CONFIRM FENESTRATION WATER MANAGEMENT SYSTEM AND LOCATION OF WEEPS, IF PRESENT, PRIOR TO APPLYING SEALANT. SEALANT TO MATCH ADJACENT FINISH.
- C. PROVIDE FLASHING AT ALL HEADERS (DOOR + WINDOW). RUN BENEATH WALL SYSTEM MINIMUM OF 8" ABOVE OPENING AND ATTACH WITH NON-GALVANIC MECHANICAL FASTENERS.
- D. REFER TO CIVIL FOR FILL AND GRADING REQUIREMENTS.
- E. MATCH OPENINGS @ BRICK VENEER TO MODULE, ADJUST TRIM ACCORDINGLY.
- F. COORDINATE CLADDING DETAILS WITH MANUFACTURER'S BEST PRACTICES, COORDINATE WITH ARCHITECT PRIOR TO PROCUREMENT AND INSTALLATION.
- G. USE PRESSURE TREATED LUMBER WHERE IN CONTACT WITH CONCRETE OR MASONRY.
- H. ROUGH OPENING HEIGHTS ARE FROM TOP OF SUB FLOOR, NOT FINISHED FLOOR.

EXTERIOR ELEVATION KEYNOTES

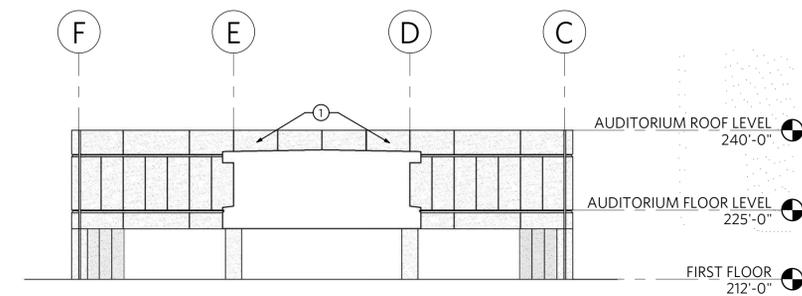
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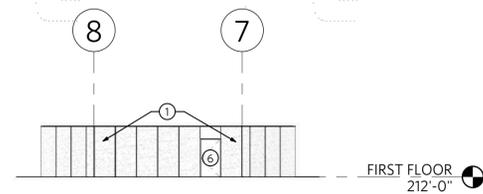
05 | SOUTH ELEVATION - AUDITORIUM
1/16" = 1'-0"



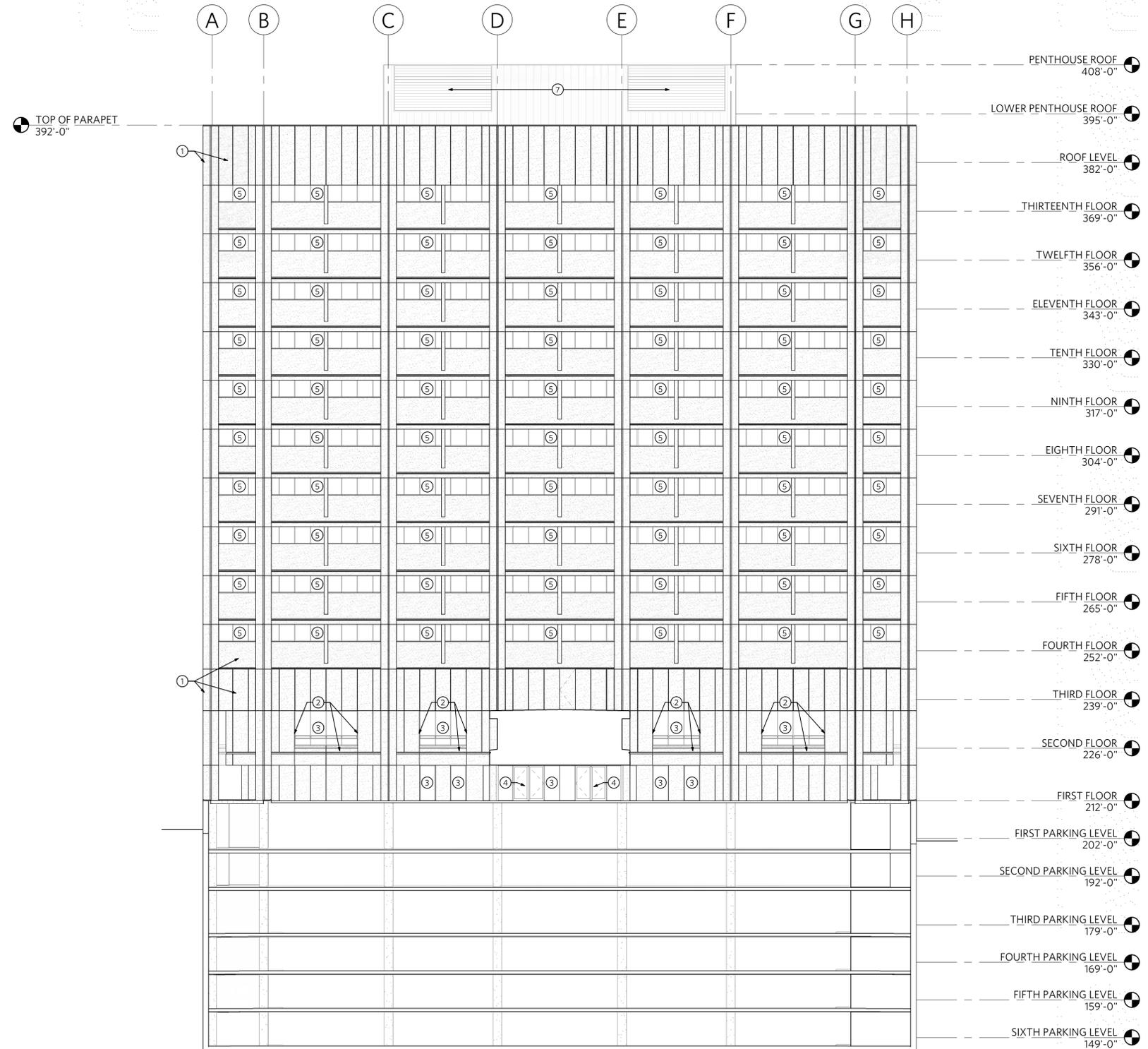
04 | WEST ELEV. OF EAST AUDITORIUM WALL
1/16" = 1'-0"



03 | NORTH ELEVATION - AUDITORIUM
1/16" = 1'-0"



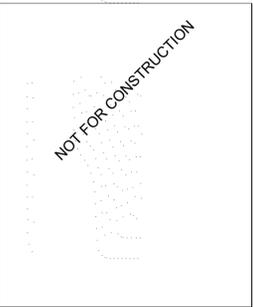
02 | EAST ELEV. OF WEST AUDITORIUM WALL
1/16" = 1'-0"



01 | SOUTH ELEVATION
1/16" = 1'-0"

AT&T BUILDING MULTIFAMILY

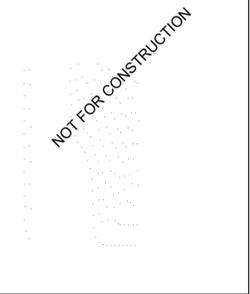
500 EAST 8TH ST.
KANSAS CITY, MO.



REV	ISSUE	DATE
	REVISED PART 2 SUBMISSION	2021 12 13
	KCMO PLANNING DEVELOPMENT SUBMISSION	2022 05 25

EXTERIOR ELEVATIONS

A202



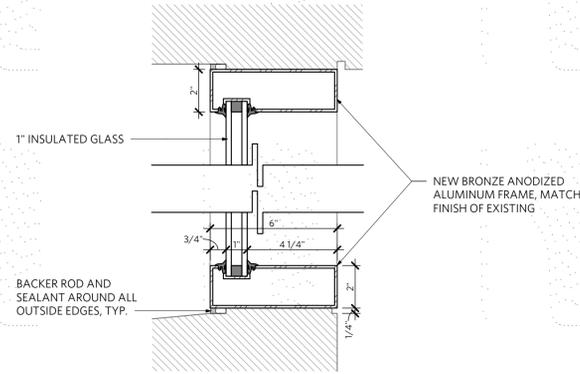
REV	ISSUE	DATE
	REVISED PART 2 SUBMISSION	2021.12.13
	KCMO PLANNING DEVELOPMENT SUBMISSION	2022.05.25

GENERAL NOTES-EXTERIOR ELEVATION

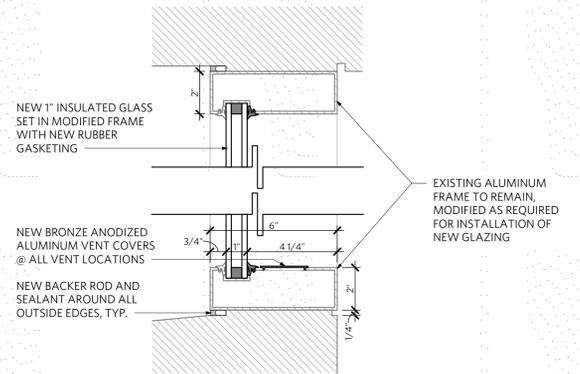
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- C. PROVIDE FLASHING AT ALL HEADERS (DOOR + WINDOW). RUN BENEATH WALL SYSTEM MINIMUM OF 8" ABOVE OPENING AND ATTACH WITH NON-GALVANIC MECHANICAL FASTENERS.
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- G. USE PRESSURE TREATED LUMBER WHERE IN CONTACT WITH CONCRETE OR MASONRY.
- H. ROUGH OPENING HEIGHTS ARE FROM TOP OF SUB FLOOR, NOT FINISHED FLOOR.

EXTERIOR ELEVATION KEYNOTES

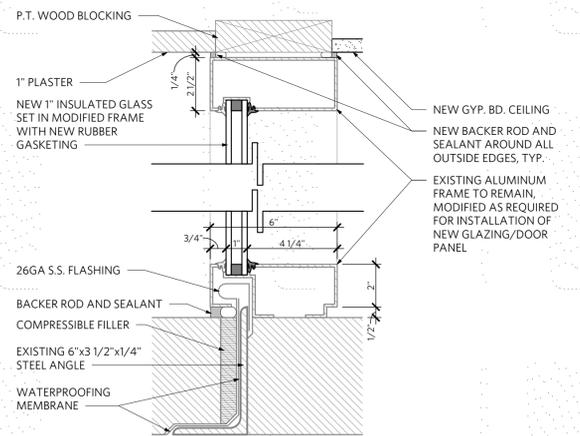
- 1. CLEAN ALL EXISTING PRECAST CONCRETE PANELS. REPAIR/REALIGN ALL DAMAGED/MISALIGNED PANELS AS REQUIRED. PROVIDE NEW SEALANT AND BACKER RODS AT ALL PANEL JOINTS. SEALANT COLOR TO MATCH PRECAST PANELS.
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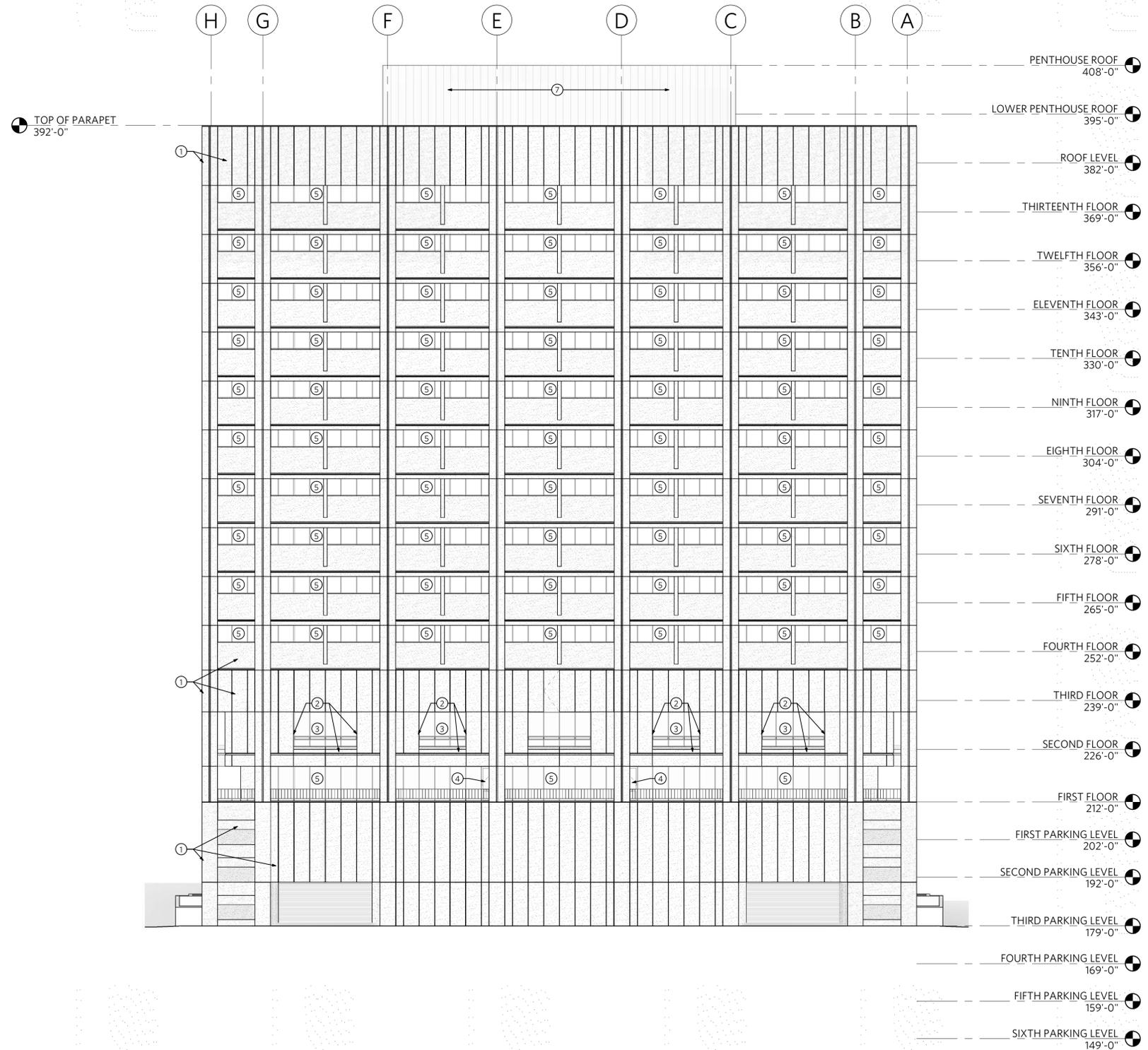
04 | TYPICAL WINDOW DETAIL - ALTERNATE
3" = 1'-0"



03 | TYPICAL WINDOW DETAIL
3" = 1'-0"



02 | DETAIL @ FIRST FLOOR STOREFRONT
3" = 1'-0"



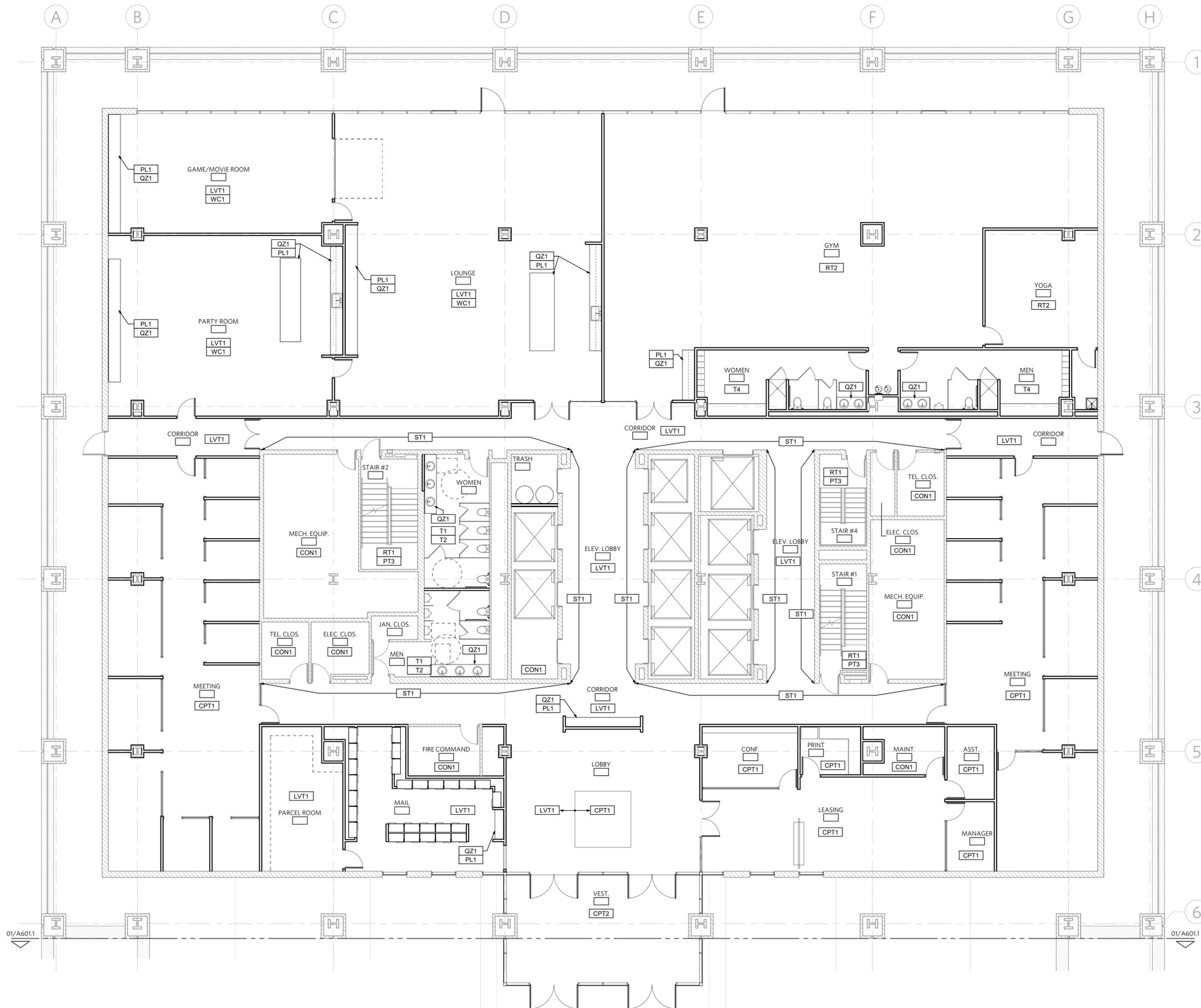
01 | NORTH ELEVATION
1/16" = 1'-0"

GENERAL FINISH PLAN NOTES

- A. ALL GYP BD WALLS SHALL BE PAINTED PT1, U.N.O. ON SCHEDULE.
- B. ALL RECEPTACLES SHALL BE WHITE, U.N.O.
- C. ALL WALLS WITH WALLCOVERING OR WHITEBOARD PAINT TO BE LEVEL 5 FINISH.
- D. CONTRACTOR TO PROVIDE 4'X4' PAINT SWATCH OF EACH COLOR SCHEDULED FOR APPROVAL BY OWNER.
- E. PAINT HM FRAMES TO MATCH ADJACENT WALLS (SEMI-GLOSS), U.N.O.
- F. ALL GYP WALLS TO BE PAINTED IN RESTROOMS OR OTHER WET LOCATIONS SHALL USE EPOXY TYPE PAINT.
- G. USE SCHLUTER PROFILE 'SCHIENE' IN FINISH AE- ANODIZED ALUMINUM, AT ALL TRANSITIONS BETWEEN FLOORING MATERIALS AND AT EXPOSED FLOORING EDGES, U.N.O. AT EXPOSED WALL LOCATIONS USE SCHLUTER JOLLY IN FINISH AE- ANODIZED ALUMINUM.
- H. ALL PAINT TO BE EGGSHELL U.N.O.
- I. SEMI-GLOSS PAINT ON WOOD AND METAL APPLICATIONS
- J. FLAT PAINT ON CEILINGS.
- K. ALL CARPET TO BE INSTALLED PER SPECIFICATION.

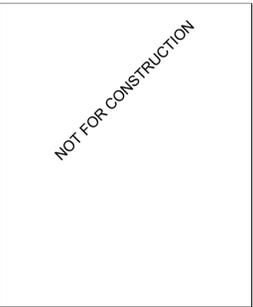
FINISH LEGEND

FINISH TYPE	FINISH CODE	SPECIFICATION
ACT - ACOUSTICAL CEILING TILE	ACT1	24"x24" CEILING TILE WITH 9/16" GRID. BASIS OF DESIGN: ARMSTRONG DUNE
	ACT2	ARKTURA CEILING CLOUDS SUSPENDED FROM ACT CEILING.
B - BASE	B1	TBD
	B2	WOOD BASE TO MATCH WD2
BR - BRICK	BR1	EXISTING BRICK PAVERS
	BR2	NEW BRICK PAVERS
CON - POLISHED CONCRETE	CON1	TBD
CPT - CARPET TILE	CPT1	TBD
	CPT2	WALKOFF CARPET - COLOR TBD
	CPT3	TBD
	CPT4	TBD
LVT - LUXURY VINYL TILE	LVT1	TEXTURED OR ABSTRACT PATTERNED, SIZE AND COLOR TBD
PL - PLASTIC LAMINATE	PL1	TBD
	PL2	LAMINATE OVER MOISTURE RESISTANT MDF. FINISH TO MATCH EXISTING WOOD PANELS
PT - PAINT	PT1	TBD
	PT2	TBD
	PT3	COLOR TO MATCH EXISTING
QZ - QUARTZ	QZ1	TBD
RT - RESILIENT TILE	RT1	VCT: COLOR TBD
	RT2	TBD
ST - STONE	ST1	EXISTING TRAVERTINE
T - TILE	T1	1" SQUARE: COLOR TBD
	T2	1" SQUARE WALL TILE: COLOR TBD
	T3	1" SQUARE: COLOR TBD
	T4	TBD
WC - WALLCOVERING	WC1	TBD
WD - WOOD	WD1	EXISTING WOOD PANELS
	WD2	SALVAGED WOOD PANELS/CASEWORK



AT&T BUILDING MULTIFAMILY

500 EAST 8TH ST.
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REV	ISSUE	DATE
	REVISED PART 2 SUBMISSION	2021 12 13
	KCMO PLANNING DEVELOPMENT SUBMISSION	2022 05 25

01 | FIRST FLOOR FINISH PLAN
1/8" = 1'-0"



FIRST FLOOR FINISH PLAN

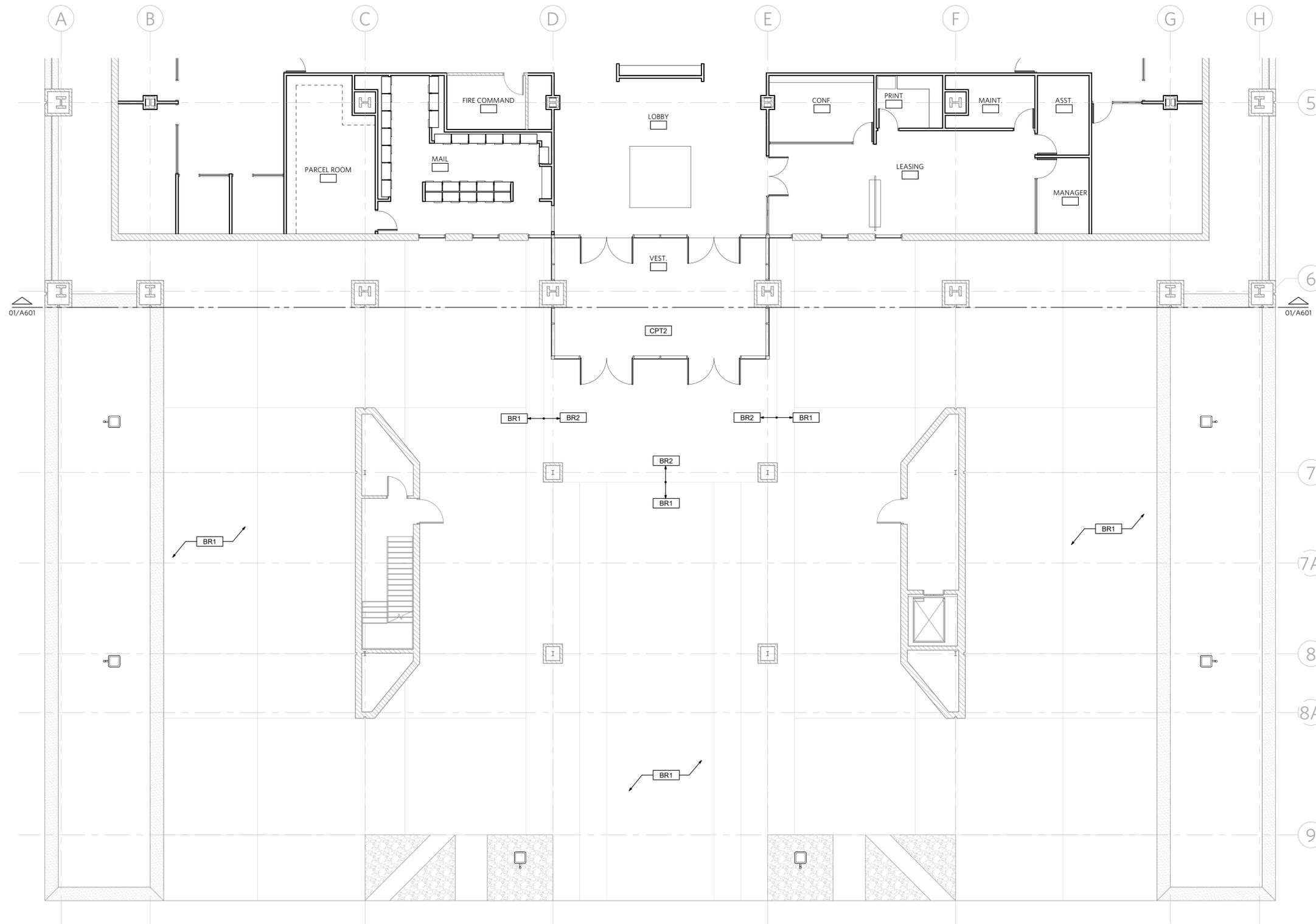
A601

GENERAL FINISH PLAN NOTES

- A. ALL GYP BD WALLS SHALL BE PAINTED PT1, U.N.O. ON SCHEDULE.
- B. ALL RECEPTACLES SHALL BE WHITE, U.N.O.
- C. ALL WALLS WITH WALLCOVERING OR WHITEBOARD PAINT TO BE LEVEL 5 FINISH.
- D. CONTRACTOR TO PROVIDE 4'X4' PAINT SWATCH OF EACH COLOR SCHEDULED FOR APPROVAL BY OWNER.
- E. PAINT HM FRAMES TO MATCH ADJACENT WALLS (SEMI-GLOSS), U.N.O.
- F. ALL GYP WALLS TO BE PAINTED IN RESTROOMS OR OTHER WET LOCATIONS SHALL USE EPOXY TYPE PAINT.
- G. USE SCHLUTER PROFILE 'SCHIENE' IN FINISH AE- ANODIZED ALUMINUM, AT ALL TRANSITIONS BETWEEN FLOORING MATERIALS AND AT EXPOSED FLOORING EDGES, U.N.O. AT EXPOSED WALL LOCATIONS USE SCHLUTER JOLLY IN FINISH AE- ANODIZED ALUMINUM
- H. ALL PAINT TO BE EGGSHELL U.N.O.
- I. SEMI-GLOSS PAINT ON WOOD AND METAL APPLICATIONS
- J. FLAT PAINT ON CEILINGS.
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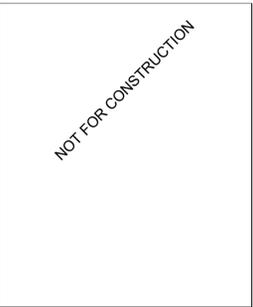
FINISH LEGEND

FINISH TYPE	FINISH CODE	SPECIFICATION
ACT - ACOUSTICAL CEILING TILE	ACT1	24"x24" CEILING TILE WITH 9/16" GRID. BASIS OF DESIGN: ARMSTRONG DUNE
	ACT2	ARKTURA CEILING CLOUDS SUSPENDED FROM ACT CEILING.
B - BASE	B1	TBD
	B2	WOOD BASE TO MATCH WD2
BR - BRICK	BR1	EXISTING BRICK PAVERS
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CON - POLISHED CONCRETE	CON1	TBD
CPT - CARPET TILE	CPT1	TBD
	CPT2	WALKOFF CARPET - COLOR TBD
	CPT3	TBD
	CPT4	TBD
LVT - LUXURY VINYL TILE	LVT1	TEXTURED OR ABSTRACT PATTERNED, SIZE AND COLOR TBD
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PT - PAINT	PT1	TBD
	PT2	TBD
	PT3	COLOR TO MATCH EXISTING
QZ - QUARTZ	QZ1	TBD
RT - RESILIENT TILE	RT1	VCT: COLOR TBD
	RT2	TBD
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T - TILE	T1	1" SQUARE: COLOR TBD
	T2	1" SQUARE WALL TILE: COLOR TBD
	T3	1" SQUARE: COLOR TBD
	T4	TBD
WC - WALLCOVERING	WC1	TBD
WD - WOOD	WD1	EXISTING WOOD PANELS
	WD2	SALVAGED WOOD PANELS/CASEWORK



AT&T BUILDING MULTIFAMILY

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KANSAS CITY, MO.



REV	ISSUE	DATE
	REVISED PART 2 SUBMISSION	2021 12 13
	KCMO PLANNING DEVELOPMENT SUBMISSION	2022 05 25

01 | FIRST FLOOR FINISH PLAN - SOUTH END
1/8" = 1'-0"



FIRST FLOOR FINISH PLAN - SOUTH END

A601.1

GENERAL FINISH PLAN NOTES

- A. ALL GYP BD WALLS SHALL BE PAINTED PT1, U.N.O. ON SCHEDULE.
- B. ALL RECEPTACLES SHALL BE WHITE, U.N.O.
- C. ALL WALLS WITH WALLCOVERING OR WHITEBOARD PAINT TO BE LEVEL 5 FINISH.
- D. CONTRACTOR TO PROVIDE 4'X4' PAINT SWATCH OF EACH COLOR SCHEDULED FOR APPROVAL BY OWNER.
- E. PAINT HM FRAMES TO MATCH ADJACENT WALLS (SEMI-GLOSS), U.N.O.
- F. ALL GYP WALLS TO BE PAINTED IN RESTROOMS OR OTHER WET LOCATIONS SHALL USE EPOXY TYPE PAINT.
- G. USE SCHLUTER PROFILE 'SCHIENE' IN FINISH AE- ANODIZED ALUMINUM, AT ALL TRANSITIONS BETWEEN FLOORING MATERIALS AND AT EXPOSED FLOORING EDGES, U.N.O. AT EXPOSED WALL LOCATIONS USE SCHLUTER JOLLY IN FINISH AE- ANODIZED ALUMINUM
- H. ALL PAINT TO BE EGGSHELL U.N.O.
- I. SEMI-GLOSS PAINT ON WOOD AND METAL APPLICATIONS
- J. FLAT PAINT ON CEILINGS.
- K. ALL CARPET TO BE INSTALLED PER SPECIFICATION.

GENERAL UNIT FINISH PLAN NOTES

- A. ALL BEDROOMS TO HAVE BROADLOOM CARPET WITH A PAINTED WOOD BASE U.N.O.
- B. ALL ENTRIES, KITCHENS AND LIVING ROOMS TO HAVE LUXURY VINYL TILE FLOORS WITH A PAINTED WOOD BASE U.N.O.
- C. ALL BATHROOMS TO HAVE TILE FLOORS AND TILE BASE U.N.O.
- D. ALL CLOSETS OFF BEDROOMS ARE TO HAVE CARPET FLOORS AND A PAINTED WOOD BASE U.N.O.
- E. ALL CLOSETS OFF ENTRIES, KITCHENS OR LIVING ROOMS TO HAVE LUXURY VINYL TILE FLOORS AND A PAINTED WOOD BASE.
- F. WET LOCATIONS SHALL USE EPOXY TYPE PAINT
- G. CEILINGS TO BE DRYWALL KNOCKDOWN TEXTURE U.N.O.
- H. WINDOW COVERINGS ALL WINDOWS IN UNITS. RE WINDOW TYPE LEGEND ON EXTERIOR ELEVATIONS, A200; FOR SIZES AND LOCATIONS.
- I. ALL MASTER BEDROOM CLOSETS TO HAVE (1) SWEATER STACK SHELVING, WOODEN CLOTHES ROD W/ HARDWARE, AND CONTINUOUS UPPER SHELF. PTD. TO MATCH WALL. SHELVING TO BE PARTICLE BOARD. RE: PLANS FOR EXTENTS.
- J. ALL OTHER BEDROOM & COAT CLOSETS TO HAVE CONTINUOUS UPPER SHELF AND CLOSET ROD. PTD. TO MATCH WALL. SHELVING TO BE PARTICLE BOARD. RE: PLANS FOR EXTENTS.
- K. LINEN CLOSET TO HAVE (3) EQUALLY SPACED VERTICAL SHELVING. PTD. TO MATCH WALL. SHELVING TO BE PARTICLE BOARD. SIM. TO SWEATER STACK CONSTRUCTION.
- L. EXPOSED DRYWALL IS TO RECEIVE GYPSUM BOARD WITH A LEVEL 4 PAINTED FINISH UNLESS OTHERWISE INDICATED.
- M. PROVIDE GYPSUM TILE BACKER BOARD BEHIND WALL TILE, AND EXTENDING UP 12-INCHES AFF MIN AT WET-AREA FLOOR TILE, SEAMLESS RESILIENT, OR RESINOUS FLOOR /BASE FINISHES.
- N. VERIFY FLATNESS AND LEVELNESS OF CONCRETE SLABS OR FLOORS BEFORE APPLICATION OF FINISHES. PROVIDE SELF-LEVELING EPOXY UNDERLAYMENT IF FLATNESS EXCEEDS 1/8 INCH OVER TEN (10) FEET OR AS OTHERWISE INDICATED.

FINISH LEGEND

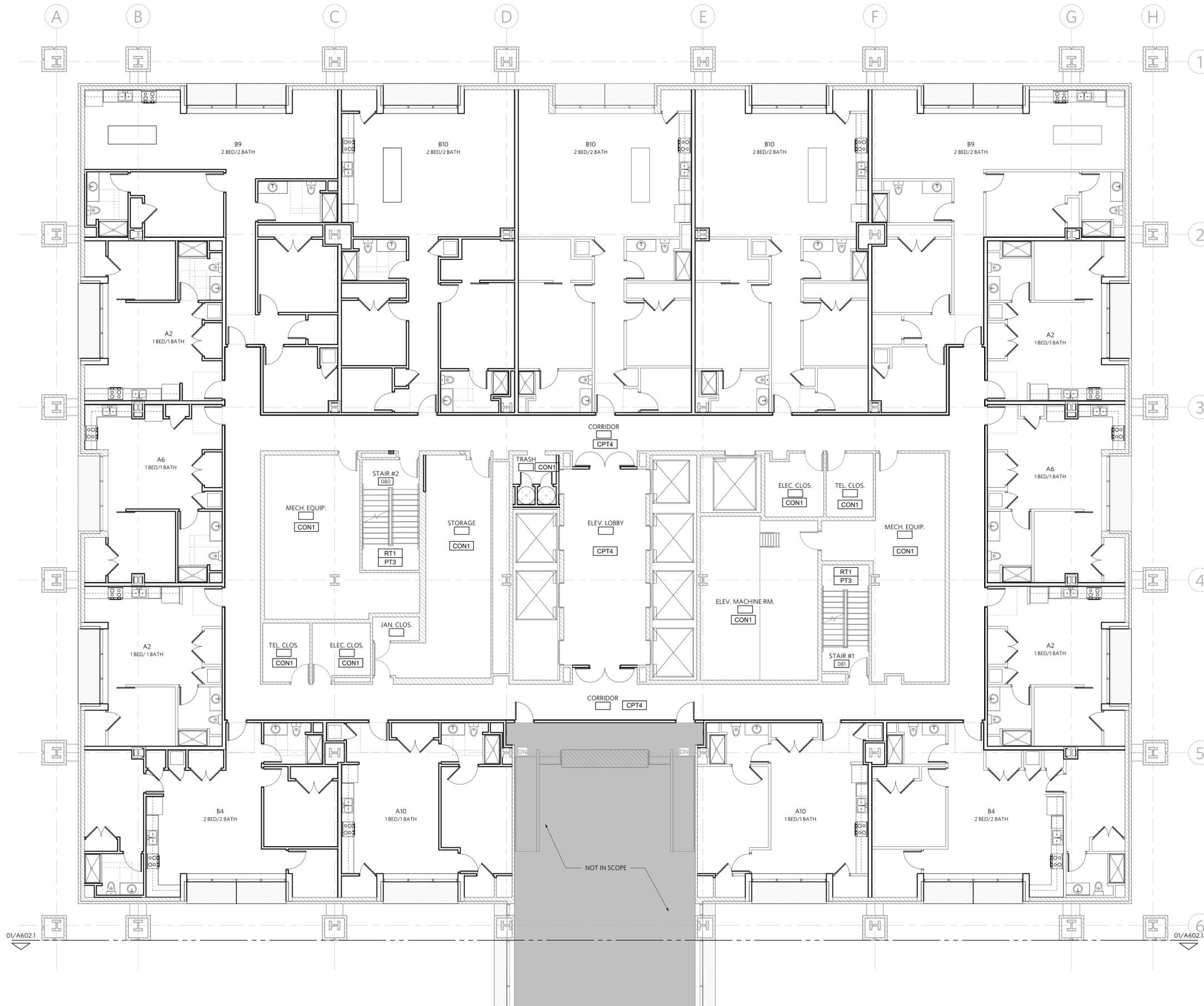
FINISH TYPE	FINISH CODE	SPECIFICATION
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	CPT4	TBD
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	T2	1" SQUARE WALL TILE: COLOR TBD
	T3	1" SQUARE: COLOR TBD
	T4	TBD
WC - WALLCOVERING	WC1	TBD
WD - WOOD	WD1	EXISTING WOOD PANELS
	WD2	SALVAGED WOOD PANELS/CASEWORK

NOT FOR CONSTRUCTION

REV	ISSUE	DATE
	REVISED PART 2 SUBMISSION	2021 12 13
	KCMO PLANNING DEVELOPMENT SUBMISSION	2022 05 25

SECOND FLOOR FINISH PLAN

A602



01 | SECOND FLOOR FINISH PLAN
1/8" = 1'-0"

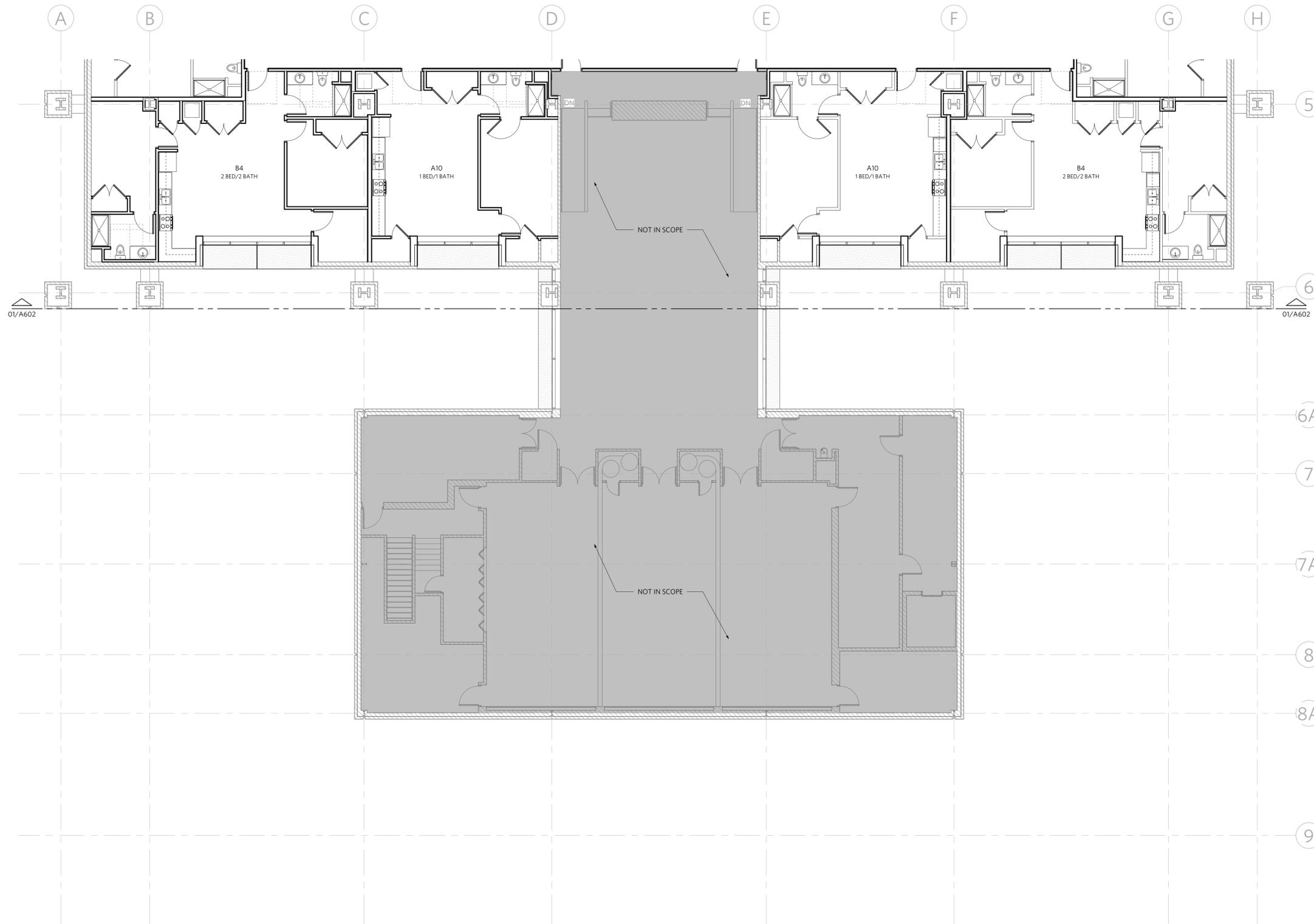


GENERAL FINISH PLAN NOTES

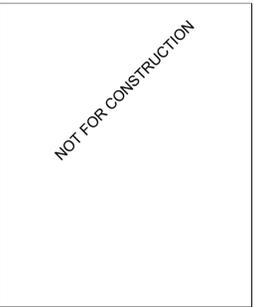
- A. ALL GYP BD WALLS SHALL BE PAINTED PT1, U.N.O. ON SCHEDULE.
- B. ALL RECEPTACLES SHALL BE WHITE, U.N.O.
- C. ALL WALLS WITH WALLCOVERING OR WHITEBOARD PAINT TO BE LEVEL 5 FINISH.
- D. CONTRACTOR TO PROVIDE 4'X4' PAINT SWATCH OF EACH COLOR SCHEDULED FOR APPROVAL BY OWNER.
- E. PAINT HM FRAMES TO MATCH ADJACENT WALLS (SEMI-GLOSS), U.N.O.
- F. ALL GYP WALLS TO BE PAINTED IN RESTROOMS OR OTHER WET LOCATIONS SHALL USE EPOXY TYPE PAINT.
- G. USE SCHLUTER PROFILE 'SCHIENE' IN FINISH AE- ANODIZED ALUMINUM, AT ALL TRANSITIONS BETWEEN FLOORING MATERIALS AND AT EXPOSED FLOORING EDGES, U.N.O. AT EXPOSED WALL LOCATIONS USE SCHLUTER JOLLY IN FINISH AE- ANODIZED ALUMINUM
- H. ALL PAINT TO BE EGGSHELL U.N.O.
- I. SEMI-GLOSS PAINT ON WOOD AND METAL APPLICATIONS
- J. FLAT PAINT ON CEILINGS.
- K. ALL CARPET TO BE INSTALLED PER SPECIFICATION.

FINISH LEGEND

FINISH TYPE	FINISH CODE	SPECIFICATION
ACT - ACOUSTICAL CEILING TILE	ACT1	24"x24" CEILING TILE WITH 9/16" GRID. BASIS OF DESIGN: ARMSTRONG DUNE
	ACT2	ARKTURA CEILING CLOUDS SUSPENDED FROM ACT CEILING.
B - BASE	B1	TBD
	B2	WOOD BASE TO MATCH WD2
BR - BRICK	BR1	EXISTING BRICK PAVERS
	BR2	NEW BRICK PAVERS
CON - POLISHED CONCRETE	CON1	TBD
CPT - CARPET TILE	CPT1	TBD
	CPT2	WALKOFF CARPET - COLOR TBD
	CPT3	TBD
	CPT4	TBD
LVT - LUXURY VINYL TILE	LVT1	TEXTURED OR ABSTRACT PATTERNED, SIZE AND COLOR TBD
	LVT2	TBD
PL - PLASTIC LAMINATE	PL1	TBD
	PL2	LAMINATE OVER MOISTURE RESISTANT MDF. FINISH TO MATCH EXISTING WOOD PANELS
PT - PAINT	PT1	TBD
	PT2	TBD
	PT3	COLOR TO MATCH EXISTING
QZ - QUARTZ	QZ1	TBD
RT - RESILIENT TILE	RT1	VCT: COLOR TBD
	RT2	TBD
ST - STONE	ST1	EXISTING TRAVERTINE
T - TILE	T1	1" SQUARE: COLOR TBD
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	T4	TBD
WC - WALLCOVERING	WC1	TBD
WD - WOOD	WD1	EXISTING WOOD PANELS
	WD2	SALVAGED WOOD PANELS/CASEWORK



AT&T BUILDING MULTIFAMILY
 500 EAST 8TH ST.
 KANSAS CITY, MO.



REV	ISSUE	DATE
	REVISED PART 2 SUBMISSION	2021 12 13
	KCMO PLANNING DEVELOPMENT SUBMISSION	2022 05 25

SECOND FLOOR
FINISH PLAN -
SOUTH END

A602.1

01 SECOND FLOOR FINISH PLAN - SOUTH END
1/8" = 1'-0"



GENERAL FINISH PLAN NOTES

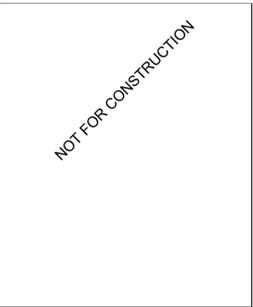
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	T3	1" SQUARE: COLOR TBD
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WD - WOOD	WD1	EXISTING WOOD PANELS
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AT&T BUILDING MULTIFAMILY

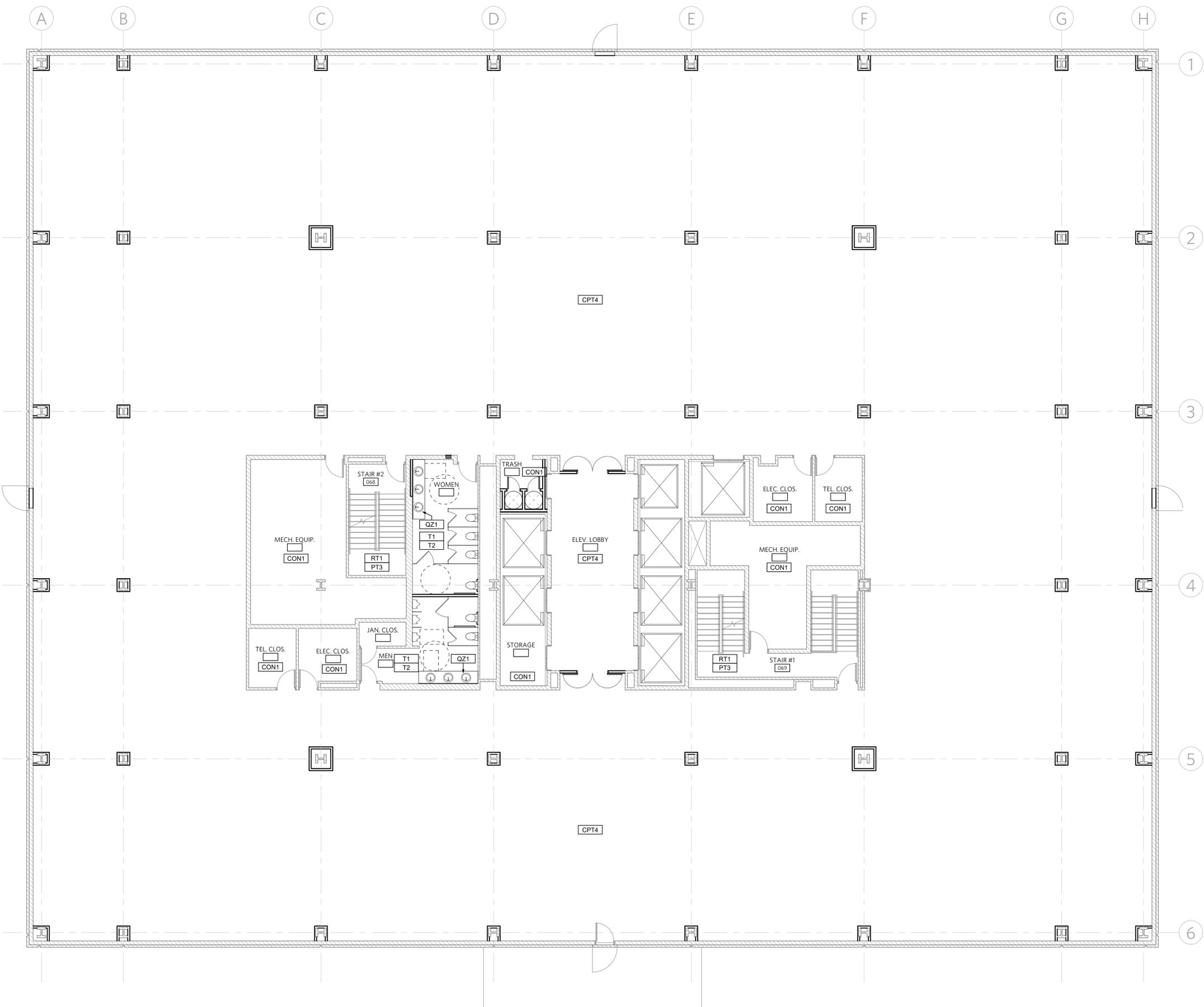
500 EAST 8TH ST.
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REV	ISSUE	DATE
	REVISED PART 2 SUBMISSION	2021 12 13
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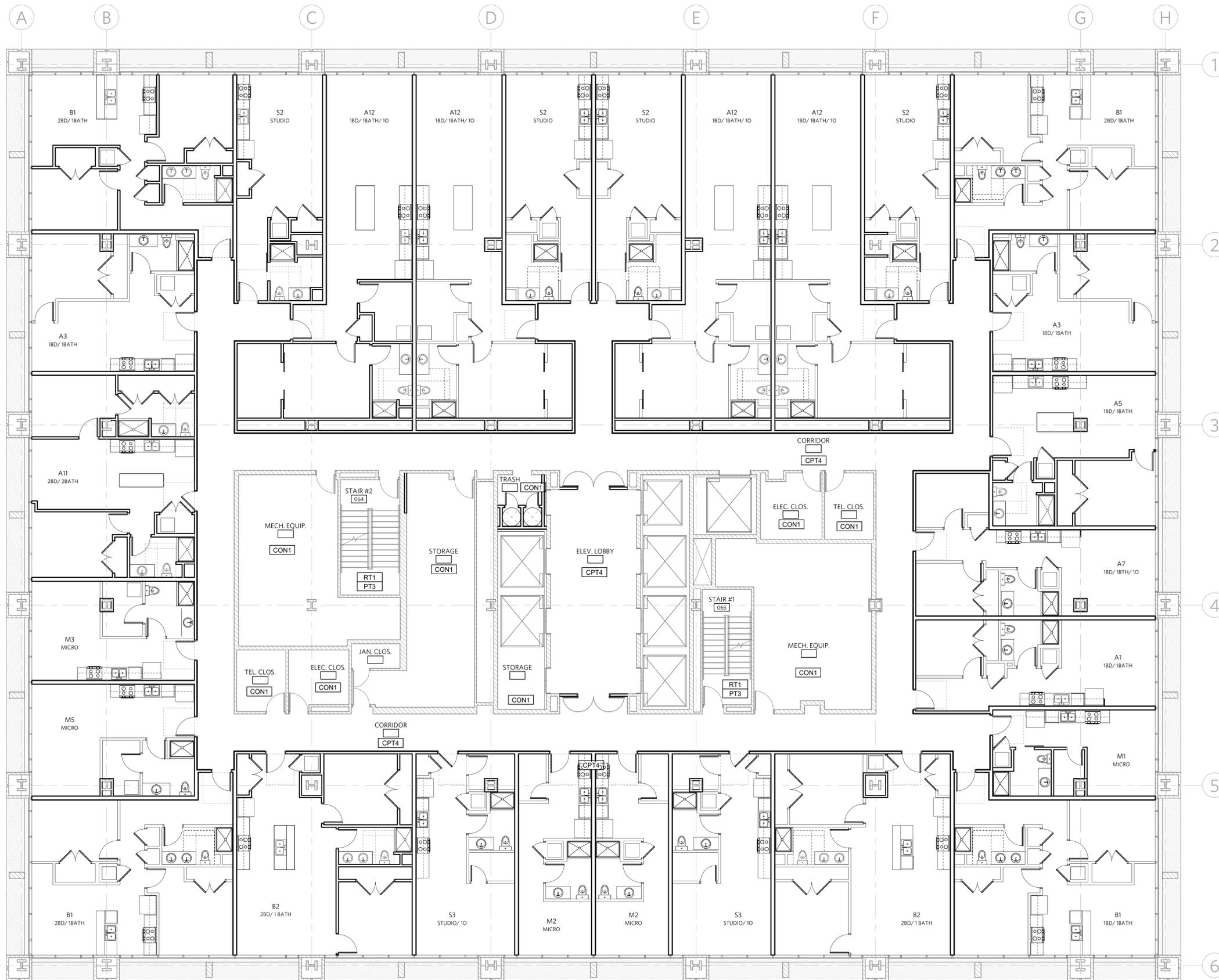
THIRD FLOOR FINISH PLAN

A603



01 | THIRD FLOOR FINISH PLAN
1/8" = 1'-0"





GENERAL FINISH PLAN NOTES

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GENERAL UNIT FINISH PLAN NOTES

- A. ALL BEDROOMS TO HAVE BROADLOOM CARPET WITH A PAINTED WOOD BASE U.N.O.
- B. ALL ENTRIES, KITCHENS AND LIVING ROOMS TO HAVE LUXURY VINYL TILE FLOORS WITH A PAINTED WOOD BASE U.N.O.
- C. ALL BATHROOMS TO HAVE TILE FLOORS AND TILE BASE U.N.O.
- D. ALL CLOSETS OFF BEDROOMS ARE TO HAVE CARPET FLOORS AND A PAINTED WOOD BASE U.N.O.
- E. ALL CLOSETS OFF ENTRIES, KITCHENS OR LIVING ROOMS TO HAVE LUXURY VINYL TILE FLOORS AND A PAINTED WOOD BASE.
- F. WET LOCATIONS SHALL USE EPOXY TYPE PAINT
- G. CEILINGS TO BE DRYWALL KNOCKDOWN TEXTURE, U.N.O.
- H. WINDOW COVERINGS ALL WINDOWS IN UNITS: RE: WINDOW TYPE LEGEND ON EXTERIOR ELEVATIONS, A200s; FOR SIZES AND LOCATIONS.
- I. ALL MASTER BEDROOM CLOSETS TO HAVE (1) SWEATER STACK SHELVING, WOODEN CLOTHES ROD W/ HARDWARE, AND CONTINUOUS UPPER SHELF. PTD. TO MATCH WALL. SHELVING TO BE PARTICLE BOARD. RE: PLANS FOR EXTENTS.
- J. ALL OTHER BEDROOM & COAT CLOSETS TO HAVE CONTINUOUS UPPER SHELF AND CLOSET ROD. PTD. TO MATCH WALL. SHELVING TO BE PARTICLE BOARD. RE: PLANS FOR EXTENTS.
- K. LINEN CLOSET TO HAVE (3) EQUALLY SPACED VERTICAL SHELVING. PTD. TO MATCH WALL. SHELVING TO BE PARTICLE BOARD. SIM. TO SWEATER STACK CONSTRUCTION.
- L. EXPOSED DRYWALL IS TO RECEIVE GYPSUM BOARD WITH A LEVEL 4 PAINTED FINISH UNLESS OTHERWISE INDICATED.
- M. PROVIDE GYPSUM TILE BACKER BOARD BEHIND WALL TILE, AND EXTENDING UP 12-INCHES AFF MIN AT WET-AREA FLOOR TILE, SEAMLESS RESILIENT, OR RESINOUS FLOOR /BASE FINISHES.
- N. VERIFY FLATNESS AND LEVELNESS OF CONCRETE SLABS OR FLOORS BEFORE APPLICATION OF FINISHES. PROVIDE SELF-LEVELING EPOXY UNDERLAYMENT IF FLATNESS EXCEEDS 1/8 INCH OVER TEN (10) FEET OR AS OTHERWISE INDICATED.

FINISH LEGEND

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WC - WALLCOVERING	WC1	TBD
WD - WOOD	WD1	EXISTING WOOD PANELS
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NOT FOR CONSTRUCTION

REV	ISSUE	DATE
	REVISED PART 2 SUBMISSION	2021.12.13
	KCMO PLANNING DEVELOPMENT SUBMISSION	2022.05.25

01 | TYPICAL FLOOR FINISH PLAN
1/8" = 1'-0"



TYPICAL FLOOR FINISH PLAN (FLOORS 4-12)

A604

NOTICE OF APPLICATION

To whom it may concern,

This letter serves as notice of our intent to file an application with the City Planning and Development Department in the City of Kansas City, Mo. The application is for consideration of a

- Permit
- Preliminary plat
- Development plan CD-CPC-2022-00089 - Change of use.
- Rezoning from District _____ to District _____

Project Description:

Change of use from B (Business) to R-2 (residential- apartments)

City Code Engagement Requirements:

You are receiving this letter since city code requires a public meeting be held regarding our application(s) and that all contacts associated to any registered neighborhood or civic organization whose boundaries include the project property address are notified. We are contacting you and all other registered contacts for your neighborhood organization to initiate a dialogue about a public meeting. This meeting may be hosted by your organization or ours, and we would like to discuss this with you. Please consult with your neighborhood organization and then contact us (contact information provided below) as soon as possible to discuss meeting details. After discussion, please select one member from your organization to email the City of Kansas City, Mo. at publicengagement@kcmo.org with written confirmation of who is hosting the meeting.

Name: Phil Aftuck
Email: attbuildingadaptivereuse@tbco.biz
Phone: (202) 333 - 9000
Title/Role: Director of Investments
Company/Employer: The Bernstein Companies

Representing:

If we do not receive the confirmation email referenced above within ten calendar days, we will host the meeting ourselves. And, as a registered contact, you will be invited. Our application requires approval from the Board of Zoning Adjustment or City Council following a recommendation from the City Plan Commission. After this meeting, the City Plan Commission will hold a public hearing at City Hall. If and when our application is docketed for City Plan Commission consideration, a notice of this hearing will be mailed to all property owners within 300 feet of our project address, as well as contacts with your organization that have provided a mailing address.

Sincerely,

Phil Aftuck

Public Meeting Notice

Please join The Bernstein Companies & Clockwork Architecture

for a meeting about AT&T Office Building Conversion to Apartments

case number CD-CPC-2022-00089

proposed for the following address: 500 E. 8th Street

Kansas City, MO 64106

Meeting Date: Friday, July 22, 2022

Meeting Time: 1:00pm CST

Meeting Location: Dial in @ (267) 807 - 9601

CODE: 715 076 316#

Project Description:

Change of use from B (Business) to R-2 (residential- apartment), all internal work.
263 new apartment units, utilizing the existing underground parking.

If you have any questions, please contact:

Name: Phil Aftuck

Phone: (202) 333 - 9000

Email: attbuildingadaptivereuse@tbco.biz

You are receiving this notice in accordance with city code that requires a public meeting with neighborhoods for certain types of development projects. You can read more about the process requirements at kcmo.gov/publicengagement



If you would like further information on this proposed project, please visit the city's planning and permitting system, Compass KC, at Compasskc.kcmo.org. You may search by project type and address/case number to find project details.

Sincerely,

Meeting Sign-In Sheet

Project Name and Address

AT&T Building Multifamily

500 E. 8th Street, KCMO

Name	Address	Phone	Email
Please see attached call log of phone numbers for attendees.			

Account Information

Date: July 22, 2022 1:25:02 PM
Dial-in number:  (267) 807-9601
Access code: 715-076-316
Account: #s3862834

Audio

Caller	Service Type	Start Time	End Time	Duration
+1 816 492 4670 - KANSAS CITY MO	 	1:25:02 PM	2:29:19 PM	65m
+1 949 291 8704 - CHRISTOPH TESKE	 	1:57:07 PM	2:26:47 PM	30m
+1 816 286 6657 - CARMEN LIIMATTA	 	1:57:39 PM	2:21:59 PM	25m
+1 816 241 5900 - INDUSTRIAL SALV	 	1:58:17 PM	2:29:08 PM	31m
+1 785 845 1362 - BRYAN MUNOZ	 	1:58:28 PM	2:29:06 PM	31m
+1 202 550 5693 - WESTERMANN CARO	 	1:58:40 PM	1:59:15 PM	1m
+1 949 412 1081 - KATSKI,BRANDON	 	1:59:18 PM	2:29:03 PM	30m
+1 913 485 5821 - DINKINS MIKE	 	1:59:19 PM	2:29:25 PM	31m
+1 202 550 5693 - WESTERMANN CARO	 	1:59:19 PM	2:29:14 PM	30m
+1 202 439 1694 - WASHINGTON DC	 	1:59:57 PM	2:20:25 PM	21m
+1 813 347 3139 - CHARLES MARTIN	 	1:59:58 PM	2:29:06 PM	30m
+1 202 603 9936 - PHILIP AFTUCK Host	 	2:00:58 PM	2:29:06 PM	29m
+1 816 257 6551 - KANSAS CITY MO	 	2:01:58 PM	2:09:19 PM	8m
+1 402 641 5167 - SEWARD NE	 	2:02:46 PM	2:29:15 PM	27m
+1 620 762 2840 - MOGLE,DOUGLAS	 	2:03:23 PM	2:29:02 PM	26m
+1 913 492 9994 - BROKERS EDGE	 	2:04:07 PM	2:28:59 PM	25m
+1 913 292 4979 - ALEX STEHL	 	2:04:25 PM	2:28:05 PM	24m
+1 816 590 2353 - JOYCE KELLY	 	2:05:49 PM	2:29:09 PM	24m
+1 816 508 9010 - MEGHAN STEEN	 	2:07:27 PM	2:29:01 PM	22m
+1 816 223 5703 - MARVIN ZIEGLER	 	2:08:42 PM	2:29:32 PM	21m
+1 816 217 5501 - WIRELESS CALLER	 	2:09:44 PM	2:29:13 PM	20m
+1 202 439 1694 - WASHINGTON DC	 	2:21:10 PM	2:29:12 PM	9m
+1 816 286 6657 - CARMEN LIIMATTA	 	2:22:32 PM	2:29:16 PM	7m

Number of attendees: 23
Toll minutes: 567m

Note: All times in Eastern Time

Thank you for choosing FreeConferenceCall.com, the most recognized conferencing brand on the planet. Enjoy the conference? [Refer A Friend](#) today.

If you have any questions, please call our Customer Service Department at (844) 844-1322 or email us at support@freeconferencecall.com.



CITY OF
KANSAS CITY,
MISSOURI

CITY PLANNING & DEVELOPMENT

Public Meeting Summary Form

Project Case # CD-CPC-2022-00089

Meeting Date: 7/22/2022

Meeting Location: Virtual Call-in

Meeting Time (include start and end time): 1:00 - 1:30cst

Additional Comments (optional):

Questions from attendees:

1. Rent rates, and if they will be more the higher up in the building you go?
Rates have not been set yet but will be comparable to the surrounding Market Rate rents.
2. When will pre-leasing start?
Quarter 1-2 of 2024
3. When will bids go out and how can sub contractors get on the list?
We asked that Chuck with Industrial Salvage email us his contact information.
4. Will there be commercial on the ground floor or opportunity for a coffee shop?
Possibility for commercial as there is currently space planned for office use (we-work type)
5. What is the construction time line?
Abatement will hopefully start in Quarter 3-4 of 2022
Full construction will follow hopefully Quarter 2-3 of 2023
6. Will there be any 3 or 4 bedroom units, or Penthouse suites?
Current unit mix is just Studios, 1 bedroom & 2 bedroom. There is the historic Executive suite on the 13th floor that will be available for rent.
7. Concern about construction debris (nails & screws) in the roadways?
Noted the remark, and all precautions will be taken to avoid this.
8. Has a traffic study been done, or will traffic increase?
All indications are that traffic will not increase and will likely be less than when the building was fully operating as an Office Building. The Occupant load with change of use will be way less.